



Faron Garage Variance VAR24-21

Board of Adjustment Hearing – June 12, 2025

Gurnoor K. Tschudy
Planner





Request

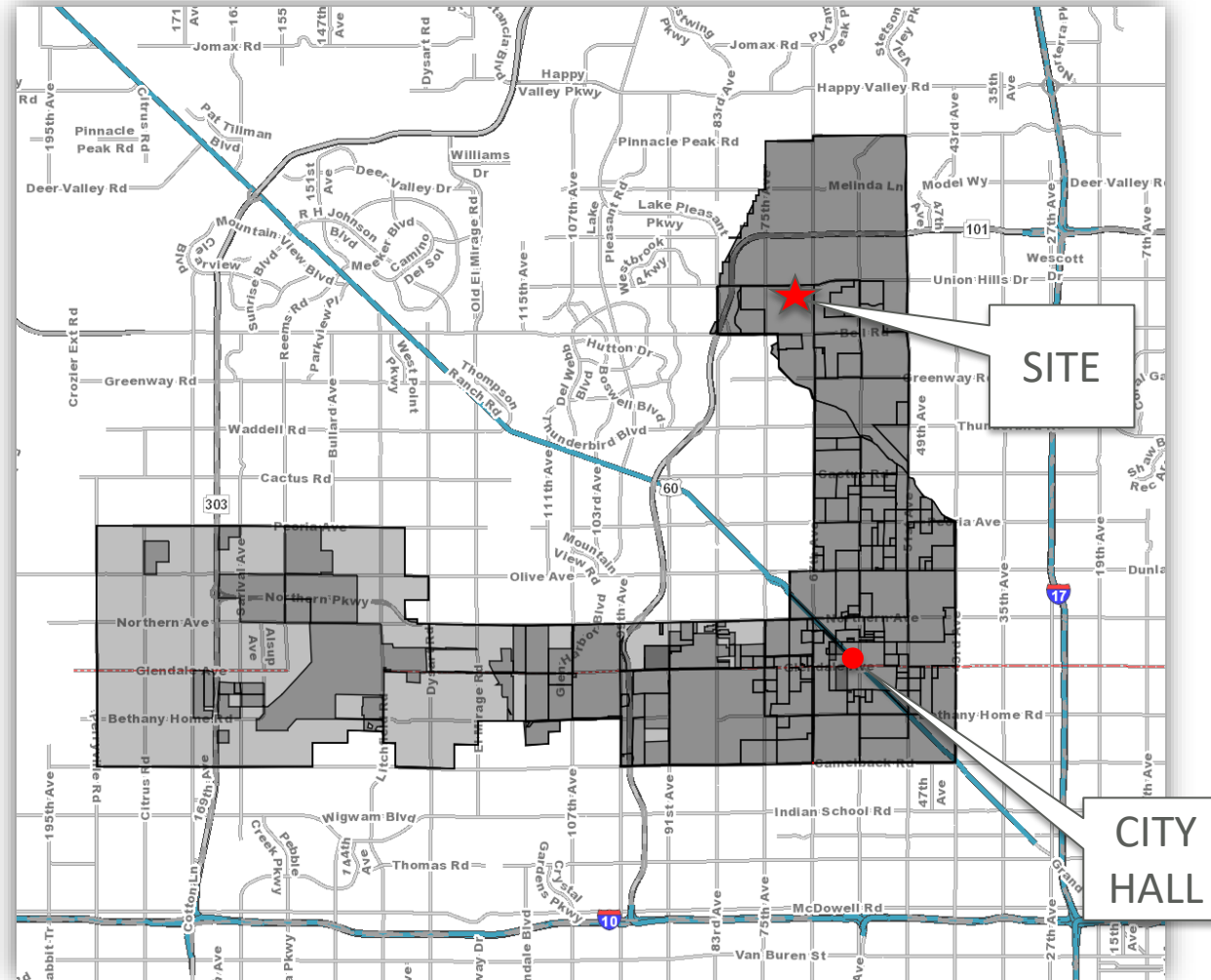
1. Reduce side setback from the required 15-feet to 7-feet.
2. Reduce rear setback from the required 19-feet to 8-feet.

Applicant / Owner:
Edward Faron



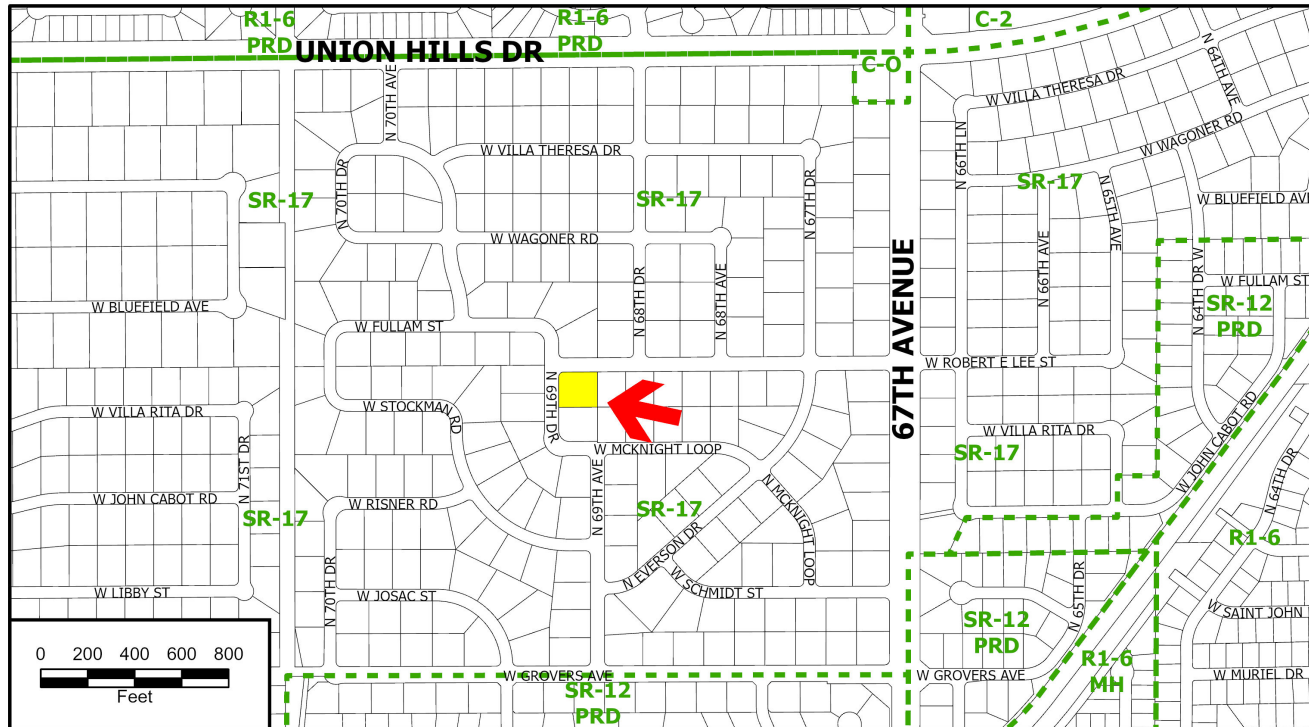
Vicinity Map


Southwest corner of
67th Avenue
and Union
Hills Drive



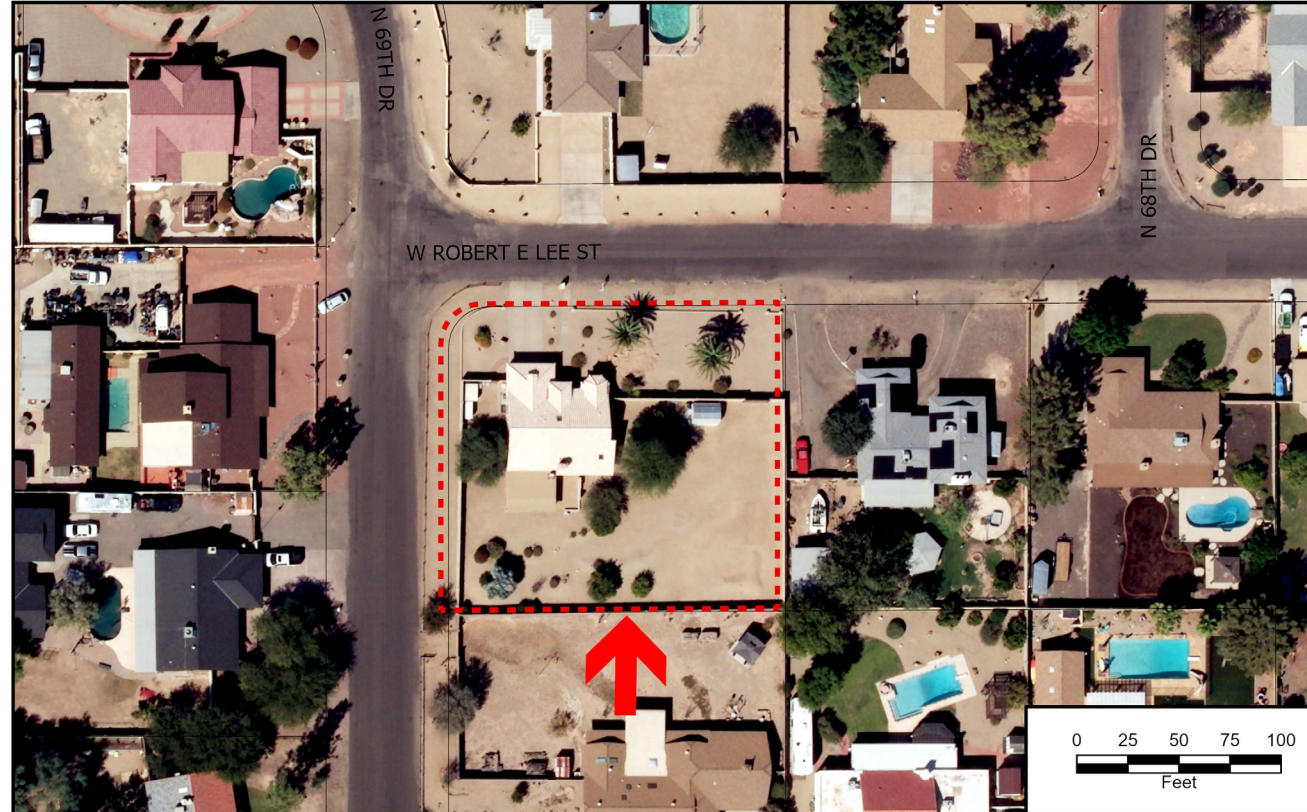


Zoning Map



 <p>FARON GARAGE VARIANCE (VAR24-21)</p>	<p>REQUEST REDUCE THE SIDE SETBACK FROM THE REQUIRED 15-FEET TO 7-FEET, AND TO REDUCE THE REAR SETBACK FROM THE REQUIRED 19-FEET TO 8- FEET, FOR A PROPOSED DETACHED ACCESSORY STRUCTURE (GARAGE), IN THE SR-17 (SUBURBAN RESIDENCE) ZONING DISTRICT.</p>
<p>LOCATION 6903 W. ROBERT E LEE STREET</p>	

Aerial Map



Aerial Date: October 2023

 **FARON GARAGE VARIANCE
(VAR24-21)** 



Project Details

- Size: 24,255 square feet
- Specific Use: Residential
- Proposal: Detached accessory structure
- Setbacks: 7-feet (7'-0") side / 8-feet (8'-0") rear
- The property owner purchased the property with the current 2,377 square feet existing house (primary structure) at the current location on the lot.
- Variance application is in response to a code violation notice.

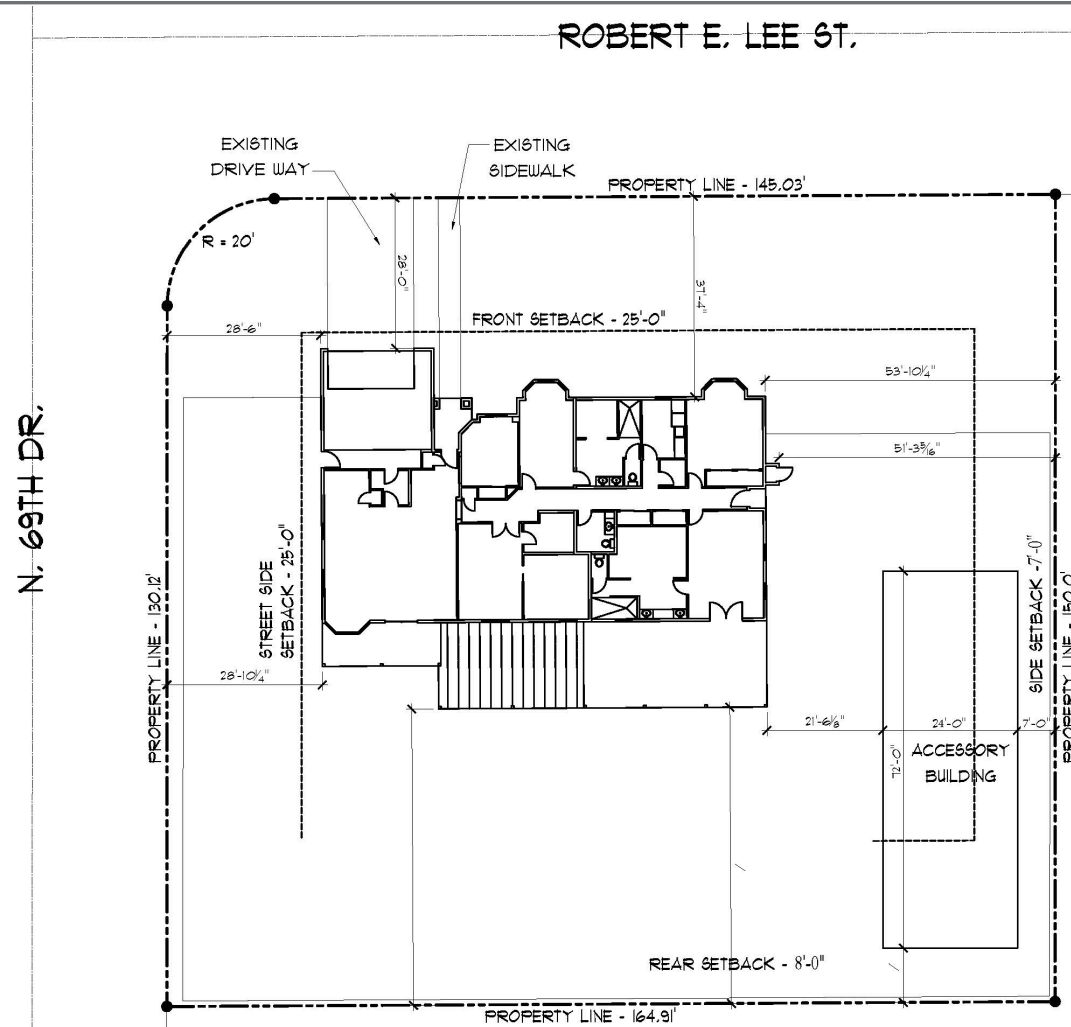


Public Involvement

- Notification Letters: March 15, 2025
- Site Posting: May 19, 2025
- Reminder Postcards: May 16, 2025
- Notice of Public Hearing: May 21, 2025
- The applicant received three (3) letters and two (2) emails, all in support. The project planner received one (1) voice message in support.

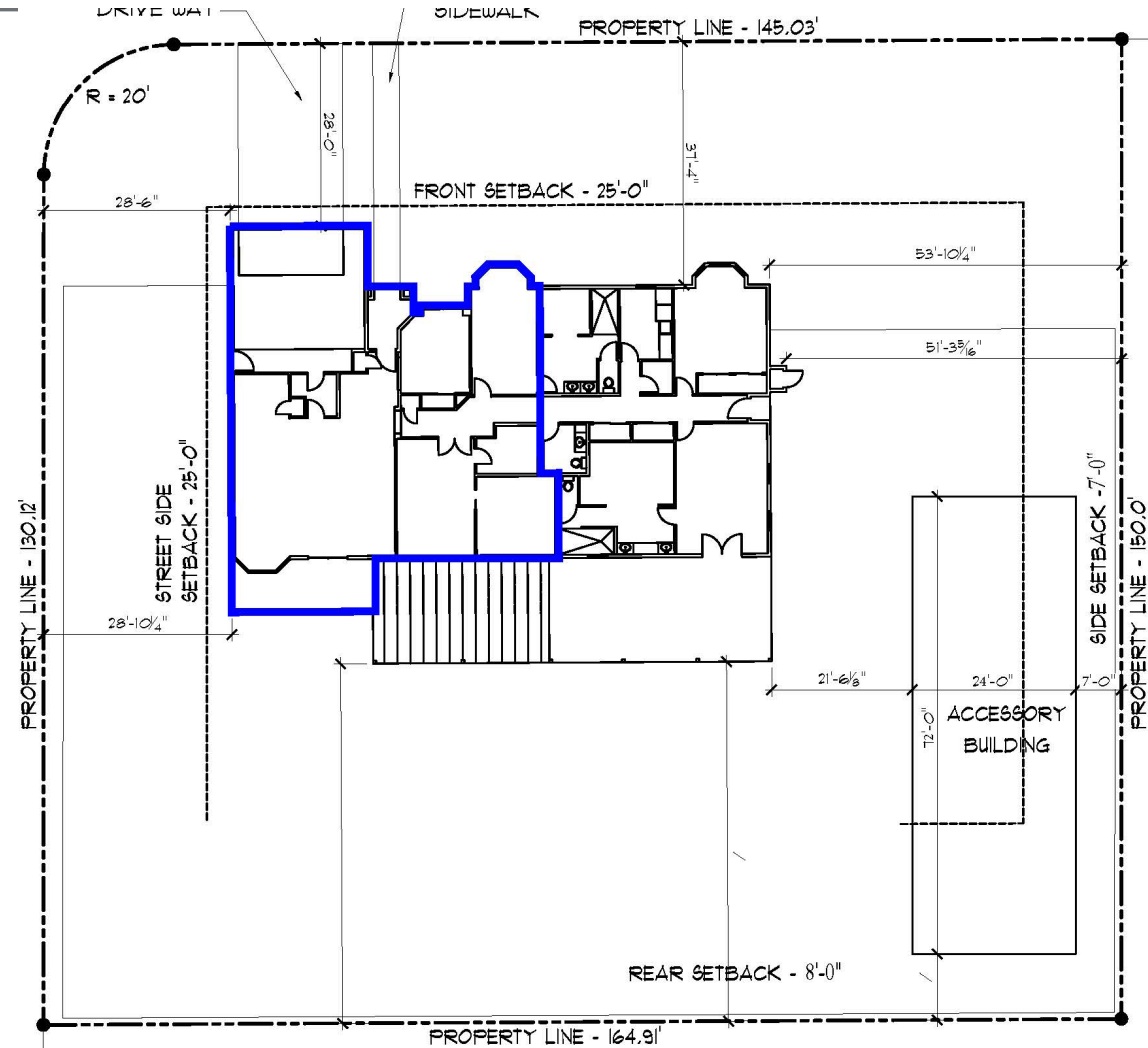


Conceptual Site Plan



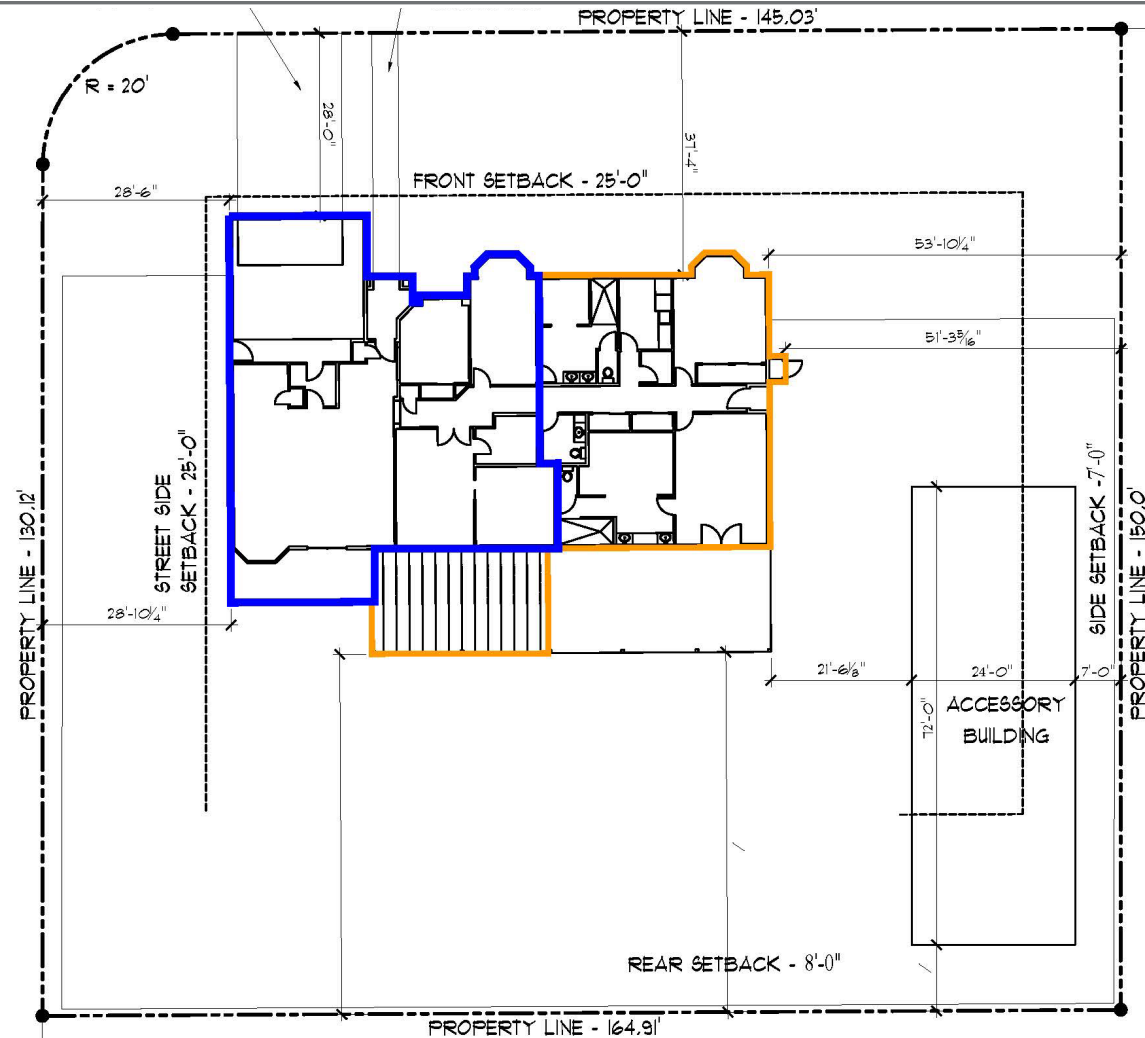


Conceptual Site Plan (Zoomed In)



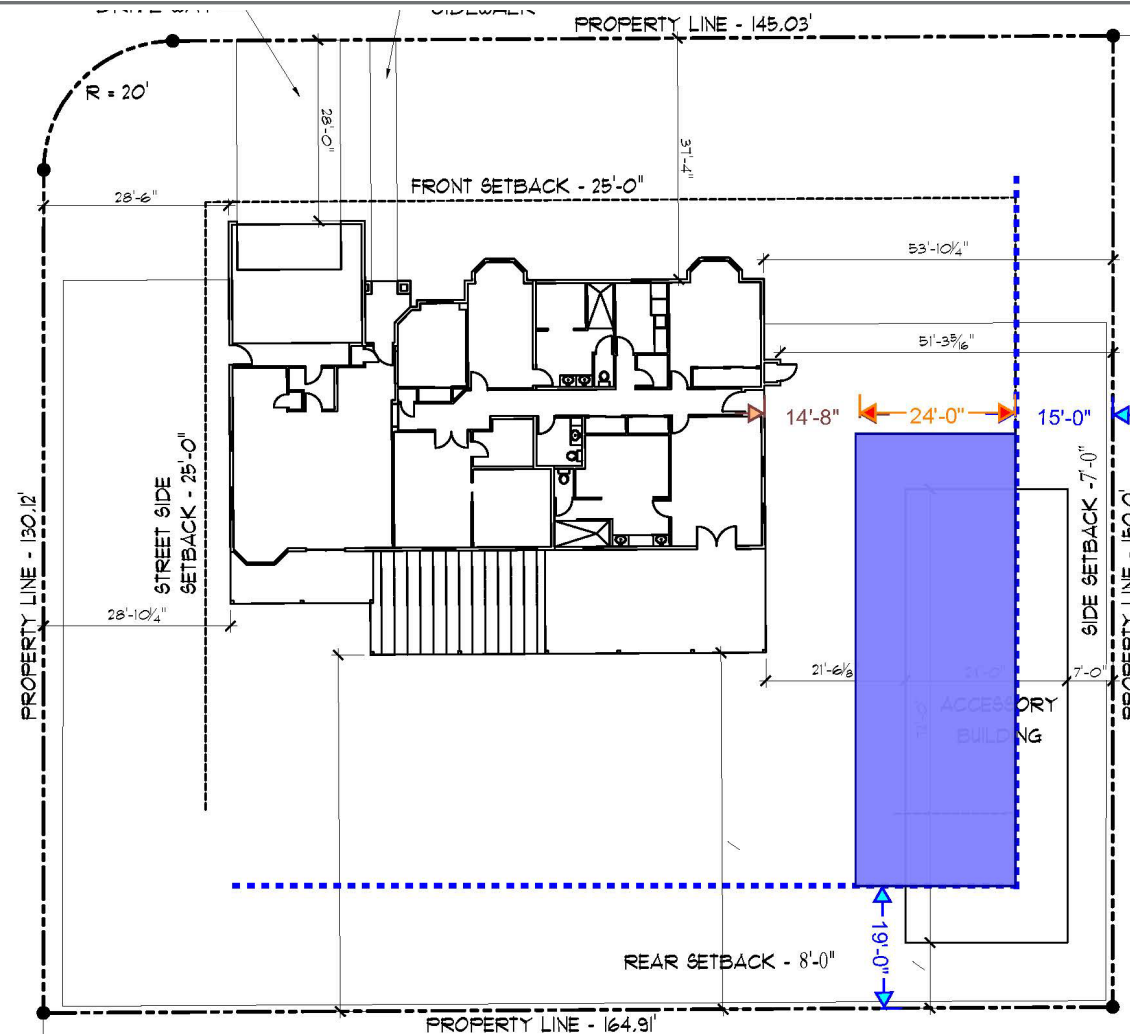


Conceptual Site Plan (Zoomed In)



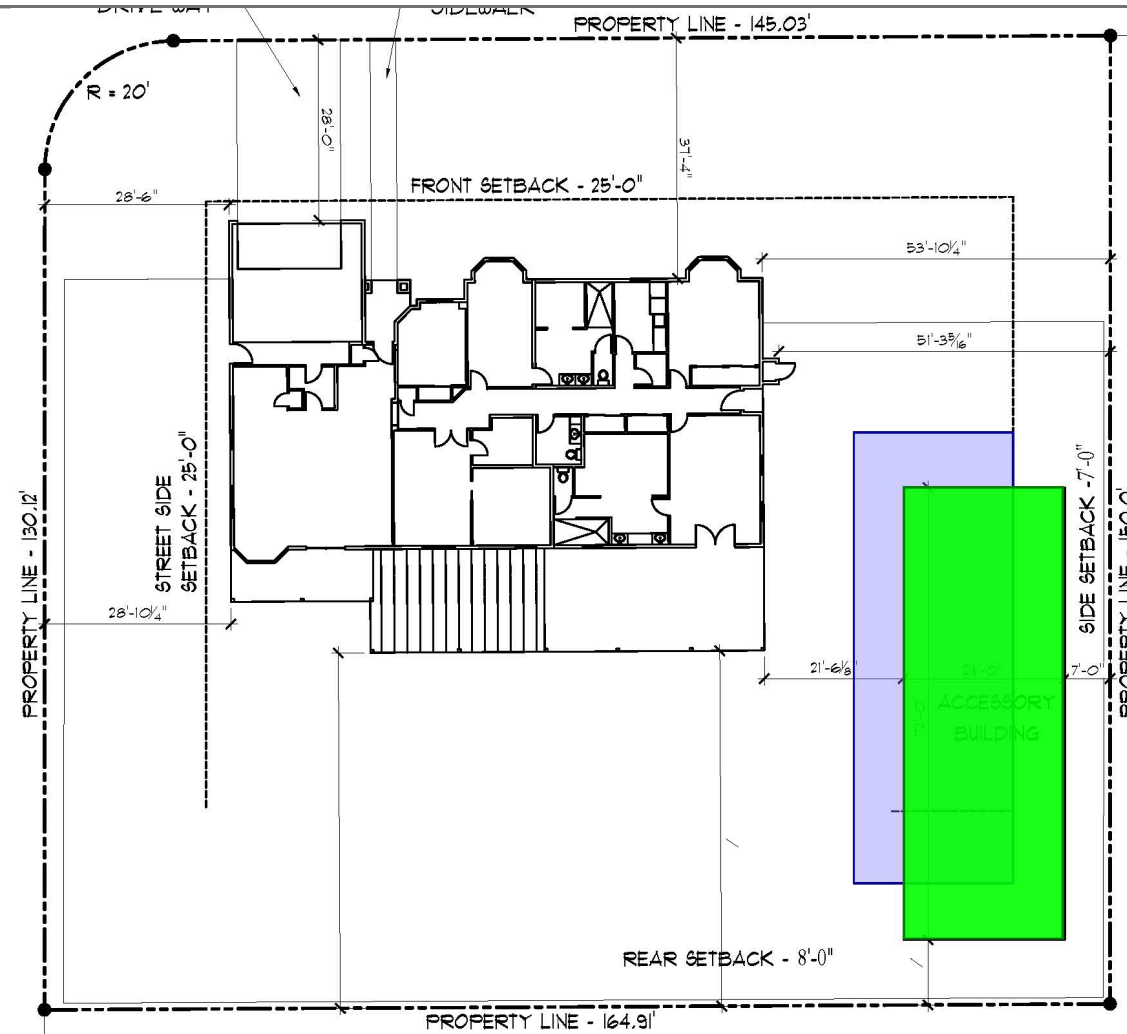


Conceptual Site Plan (Zoomed In)



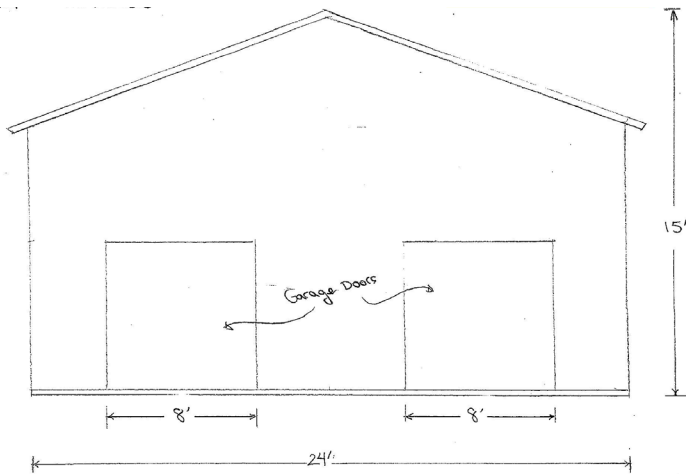


Conceptual Site Plan (Zoomed In)

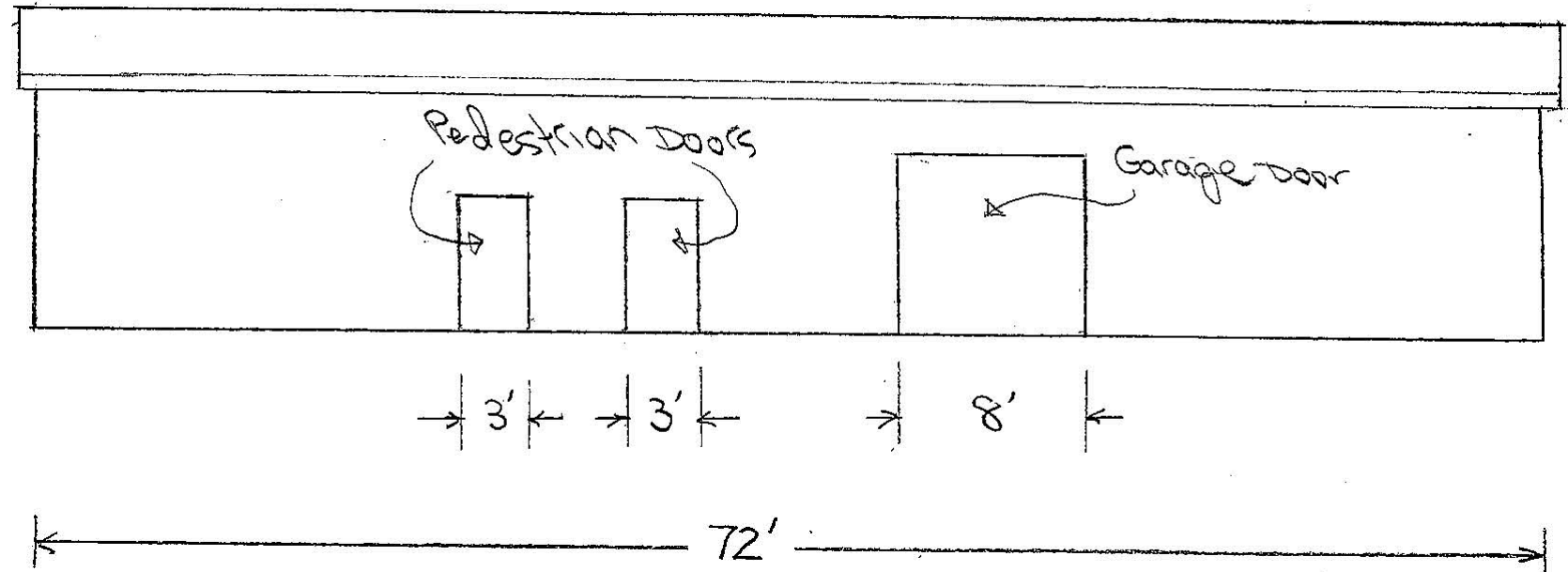


Conceptual Elevations

North Elevation



West Elevation



Note: Elevations Not To Scale.



Findings & Analysis

1. There are special circumstances or conditions applicable to the property including its size, shape, topography, location, or surroundings which were not self-imposed by the owner;
2. Due to the special circumstances, the strict application of the Unified Development Code would deprive the property of privileges enjoyed by other properties in the same classification in the same zoning district;



Findings & Analysis

3. Granting the variance will not have a detrimental effect on the property, adjoining property, the surrounding neighborhood, or the City in general.



Recommendation

If the Board decides to grant the variance, it should be subject to the following stipulations:

1. Development shall be in substantial conformance with the applicable project narrative, planner date stamped 03.07.2025. The building's eastern and southern elevations shall not have any openings, such as windows, unless required by City's Building Safety staff and/or the Fire Marshall.



Recommendation

2. The proposed detached accessory building size is contingent upon the primary structure being built per the Approved Zoning Clearance Letter, ZCL24-122 issued dated 12.16.2024.



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