

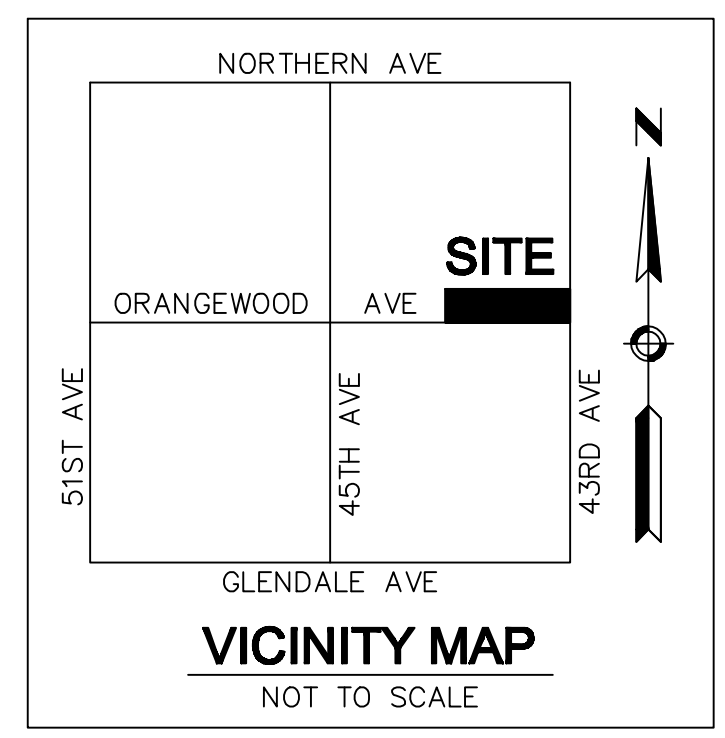
PRELIMINARY PLAT OF ORANGEWOOD MEADOWS II

A RE-PLAT OF LOT 12, ORANGEWOOD MEADOWS, ACCORDING TO BOOK 317 OF MAPS, PAGE 16, M.C.R.
A PORTION OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 2 EAST
OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

R1-6 PRD DEVELOPMENT STANDARDS

Minimum Net Lot Area	7650 sf.
Minimum Lot Width	60'
Minimum Lot Depth	127.5'
Minimum Front Setback	20' to 25' ²
Minimum Rear Setback	30'
Minimum Side Setback	5' & 10' ¹
Minimum distance between buildings on adjacent lots	15' ³
Minimum Street Side Yard Setback	10'
Maximum Structure Height	30'
Maximum % Lot Coverage	40%

1- Side Setbacks
2- Front setback 20 feet to living area, 25 feet to garages or carport
3- Minimum separation between buildings on adjacent lots shall be fifteen (15) feet



SITE DATA

GROSS AREA: 2.2289 ACRES
NET AREA: 1.52973 ACRES
EXISTING ZONING R1-6 PRD
APNs: 147-06-091A & 147-06-091B

PROJECT OWNER

RENAISSANCE G.C., LLC
MILLION ABRAHAM
623.755.4659
4248 E. ROMA AVE.
PHOENIX, AZ 85018

LAND SURVEYOR

MILLER LAND SURVEYING
131 S. 20TH ST.
PHOENIX, AZ 85034
CONTACT: DEJAN KNEZEVIC
PHONE: 602.243.7193
EMAIL: EMAIL@MILLERLS.COM

DENSITY

-MHDR 8 -----5-8 DU/AC
-TOTAL LOT AREA -----1.53 ACRE
-THE SUM OF 7 UNITS LOTS AREA-----1.30 ACRE

GROSS DENSITY

7 UNITS / 1.53 ACRE = 4 UNITS / AC.

NET DENSITY

7 UNITS / 1.30 ACRE = 5 UNITS / AC.

UTILITIES

UTILITY	PROVIDER
WATER & SEWER	CITY OF GLENDALE
TELEPHONE	CENTURY LINK
ELECTRICITY	SRP
CABLE TV	COX COMMUNICATIONS
GAS	SOUTHWEST GAS

NOTE

(i) IT IS THE RESPONSIBILITY OF THE SUBDIVIDER TO FURNISH THE MARICOPA COUNTY DEPARTMENT OF HEALTH SERVICES AND THE CITY ENGINEER SUCH EVIDENCE THAT MAY BE REQUIRED TO SATISFY THE DESIGN AND OPERATION OF SANITARY SEWAGE TREATMENT FACILITIES IF PROPOSED. A STATEMENT AS TO THE TYPES OF FACILITIES PROPOSED SHALL APPEAR ON THE PRELIMINARY PLAT AND THE PLAT APPLICATION. THE PROPOSED SANITARY SEWAGE TREATMENT FACILITIES, IF ANY, SHALL BE CONSISTENT WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS 208 WASTEWATER MANAGEMENT PLAN.
(ii) AS TO WATER SUPPLY, THE SUBDIVIDER SHALL SHOW EVIDENCE OF ADEQUATE VOLUME AND QUALITY SATISFACTORY TO THE MARICOPA COUNTY DEPARTMENT OF HEALTH SERVICES AND THE CITY ENGINEER.

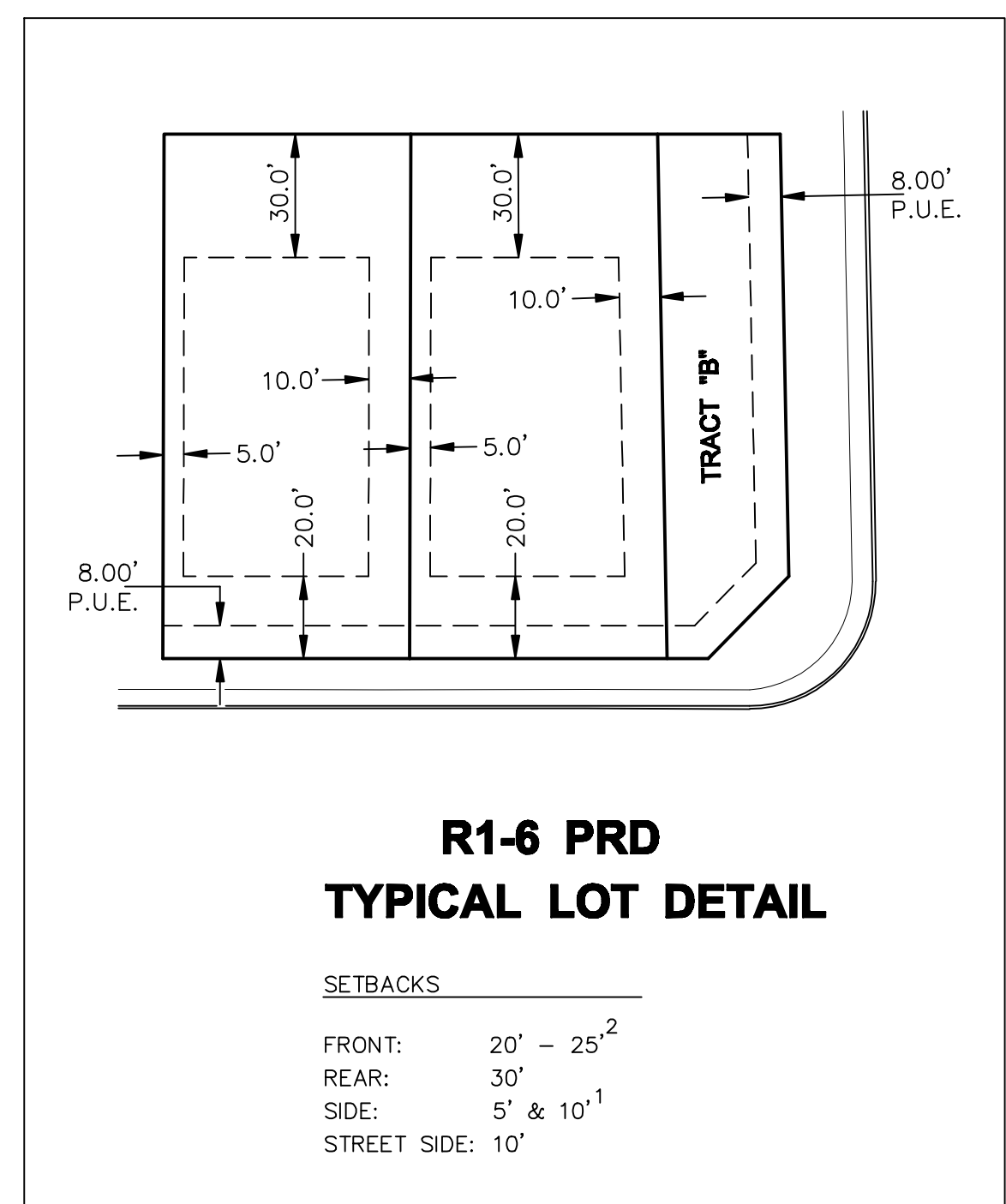
BASIS OF BEARINGS

THE MONUMENT LINE OF ORANGEWOOD AVE. BETWEEN 43RD AVE. & 45TH AVE. AS SHOWN HEREON. SAID BEARING BEING SOUTH 89°59'35" WEST (BOOK 317 OF MAPS, PAGE 16, M.C.R.)

LEGAL DESCRIPTIONS

PARCEL 1
LOT 12, ORANGEWOOD MEADOWS, ACCORDING TO THE PLAT RECORDED IN BOOK 317 OF MAPS, PAGE 16, RECORDS OF MARICOPA COUNTY, ARIZONA.
EXCEPT THE WEST 363.00 FEET THEREOF.

PARCEL 2
THE WEST 363 OF LOT 12, ORANGEWOOD MEADOWS, ACCORDING TO THE PLAT RECORDED IN BOOK 317 OF MAPS, PAGE 16, RECORDS OF MARICOPA COUNTY, ARIZONA.



SETBACKS
FRONT: 20' - 25'²
REAR: 30'
SIDE: 5' & 10'¹
STREET SIDE: 10'

LOT MATRIX

LOT NO.	LOT AREA SF.	AVGERAGE WIDTH	AVERAGE LENGTH	LOT AREA (ACRES)	%
1.	7,821	61.2'	127.50'	0.17920	11.71
2.	7,650	60'	127.50'	0.17562	11.48
3.	7,650	60'	127.50'	0.17562	11.48
4.	7,650	60'	127.50'	0.17562	11.48
5.	7,650	60'	127.50'	0.17562	11.48
6.	7,650	60'	127.50'	0.17562	11.48
7.	10,399	81.56'	127.50'	0.23873	15.61
TRACT "A"	6,547	51.35'	127.50'	0.15030	9.83
TRACT "B"	3,618	30.00'	117.52'	0.08306	5.44
TOTAL:	66,635	-	-	1.52973	100.00

TRACT TABLE

TRACT NO.	TRACT AREA SF.	AVG. WIDTH	AVG. LENGTH	USE OF THE TRACTS
Tract "A"	6,547	51.35'	127.50'	RETENTION BASIN AND PASSIVE RECREATION AREA TO RESIDENTS
Tract "B"	3,618	30.00'	117.52'	THE LANDSCAPE BUFFER BETWEEN THE RESIDENTIAL LOT AND SIDEWALK IN THE RIGHT-OF-WAY

LAND SURVEY CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY AND SUBDIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WERE MADE UNDER MY DIRECTION DURING THE MONTH OF AUGUST, 2022; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Dejan Knezevic
DEJAN KNEZEVIC, RLS #57279
DATE 01/31/25

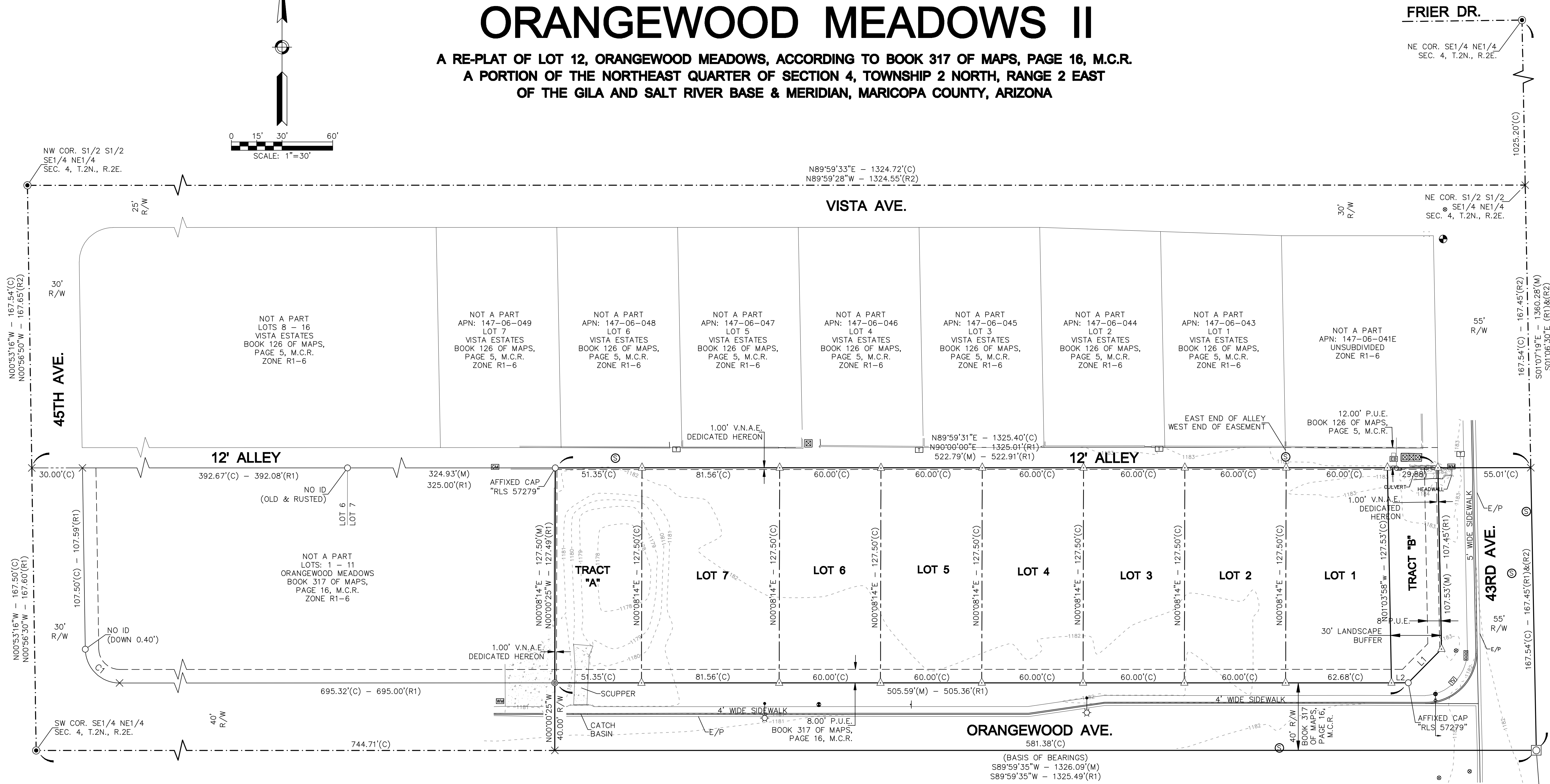
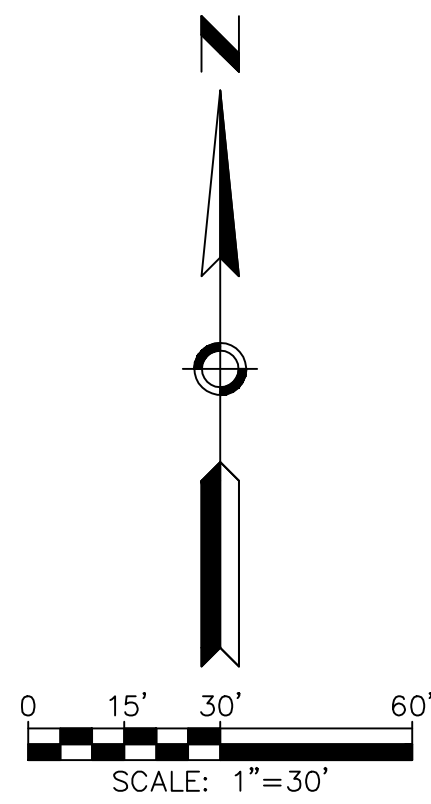
MILLER LAND SURVEYING
131 SOUTH 20TH STREET
PHOENIX, AZ 85034-2512
TEL 602.243.7193
FAX 602.712.1969



DATE | 01/31/2025
REVISION | 0
DRAWN | DM/DK
CHECKED | HC
PROJECT # | 22018PLAT
SHEET NUMBER

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OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA



LOT	AREA (SQ. FT.)	ACRES
LOT 1	±7,821	±0.17955
LOT 2	±7,650	±0.17562
LOT 3	±7,650	±0.17562
LOT 4	±7,650	±0.17562
LOT 5	±7,650	±0.17562
LOT 6	±7,650	±0.17562
LOT 7	±10,399	±0.23873
TRACT "A"	±6,547	±0.15030
TRACT "B"	±3,618	±0.08306

LINE	BEARING	LENGTH (M)(C)(R)
L1	N44°26'08"W	28.01' (M)
L2	N44°26'33"W	28.01' (R1)
L2	S89°59'35"W	10.01' (C)

CURVE	RADIUS	Δ	T	LENGTH (C)/(R1)
C1	20.33'	89°00'27"	19.98'	31.58' (C)
C1	20.33'	89°03'55"	20.00'	31.60' (R1)

LEGEND

- ☒ FOUND 3" MARICOPA CO. BRASS CAP IN HAND HOLE
- ⊙ FOUND 3" CITY OF GLENDALE BRASS CAP FLUSH
- FOUND & ACCEPTED 1/2" REBAR AS NOTED
- ⊙ SET CONCRETE NAIL WITH TAG "RLS 57279"
- × CALCULATED POSITION - NOTHING FOUND OR SET
- △ SET 1/2" REBAR & CAP "RLS 57279"
- STREET CENTERLINE
- - - SUBDIVISION LINE
- - - LOT LINES
- - - TIES
- - - EASEMENT LINE
- - - OVERHEAD ELECTRIC
- - - BLOCK WALL
- ⊕ ELECTRIC TRANSFORMER
- ⊕ POWER POLE
- ⊕ STANDARD LIGHT
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ GAS LINE MARKER
- ⊕ TELEPHONE J-BOX
- ⊕ TRAFFIC CONTROL BOX
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SIGN
- ⊕ FIRE HYDRANT
- ⊕ CONCRETE
- ⊕ TRAFFIC LIGHTS
- ⊕ TELEPHONE MANHOLE

M.C.R. MARICOPA COUNTY RECORDS
R/W RIGHT OF WAY
P.U.E. PUBLIC UTILITY EASEMENT
V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
(M) MEASURED
(C) CALCULATED
(R1) RECORDED (BOOK 317 OF MAPS, PAGE 16, M.C.R.)
(R2) RECORDED (BOOK 126 OF MAPS, PAGE 5, M.C.R.)

MILLER LAND SURVEYING
131 SOUTH 20TH STREET
PHOENIX, AZ 85034-2512
TEL 602.243.7193
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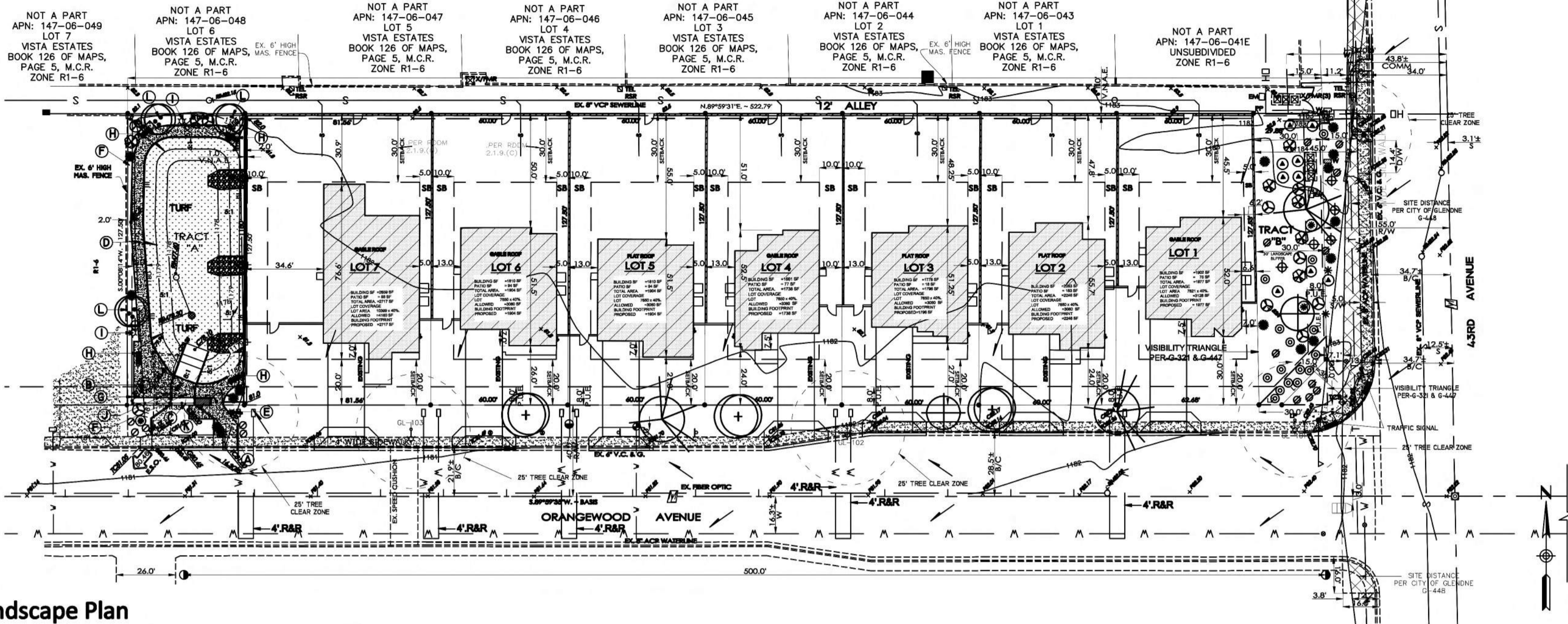


DATE | 01/31/2025
REVISION | 0
DRAWN | DM/DK
CHECKED | HC
PROJECT # | 122018PLAT
SHEET NUMBER
2 OF 2

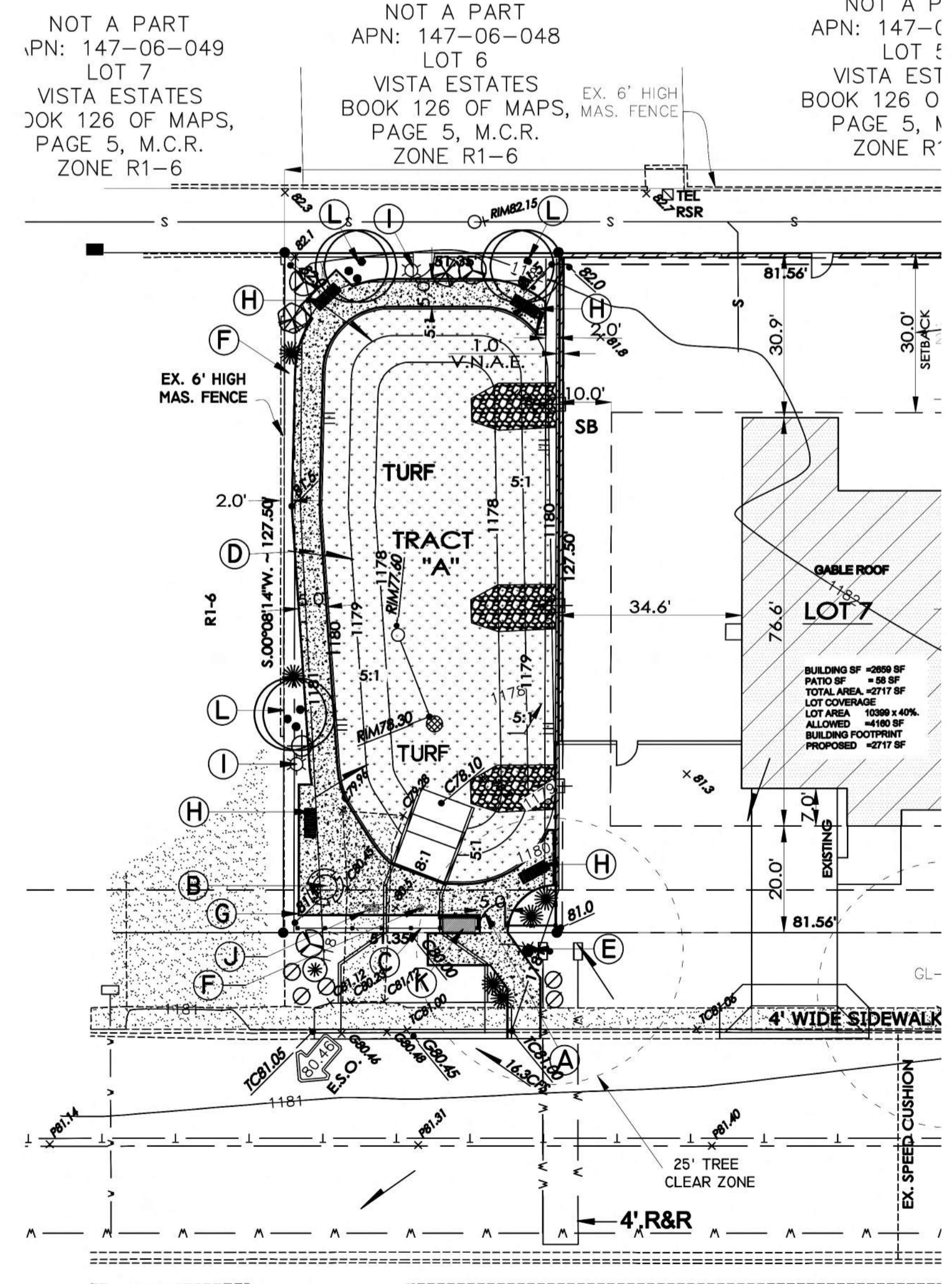
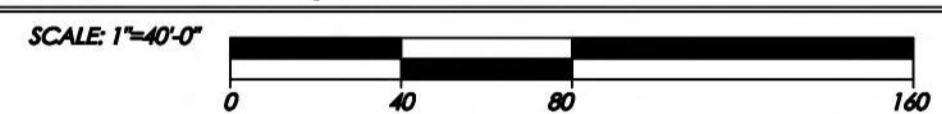
NOTE

- The total square footage of grass proposed for this project is 3,900sq.ft.
- Per Section 19-45 of City Code, all Irrigation systems and landscaped areas shall be designed, constructed, and maintained so as to promote water conservation and prevent water overflow or seepage into the street, sidewalk, or parking areas.
- Refer to ADEQ and EPA requirements for drywall registration.
- Percentage of passive recreation open space 9.8%.

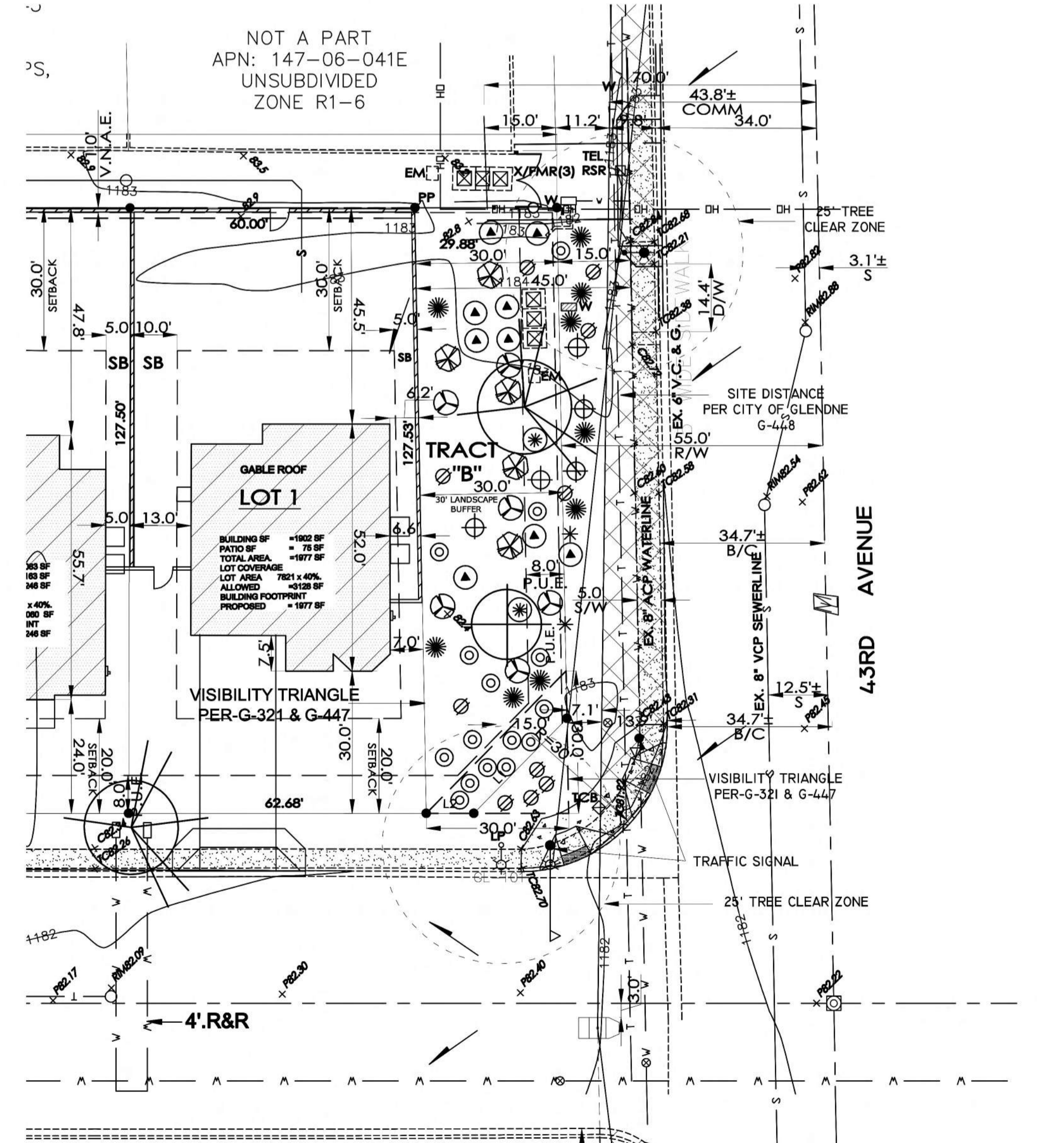
LINE	BEARING	LENGTH	(M)(C)(R)
L1	N44°26'08"W	28.01'	(M)
	N44°26'33"W	28.01'	(R1)
L2	S89°59'35"W	10.01'	(C)



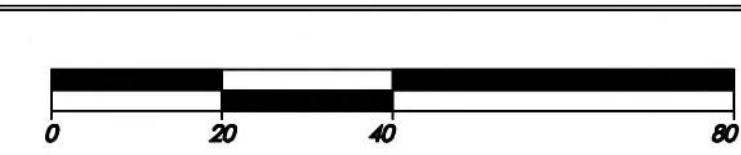
Overall Landscape Plan



Greenbelt/Retention Basin Landscape Plan



Streetscape Landscape Plan



PLANT MATERIAL LEGEND

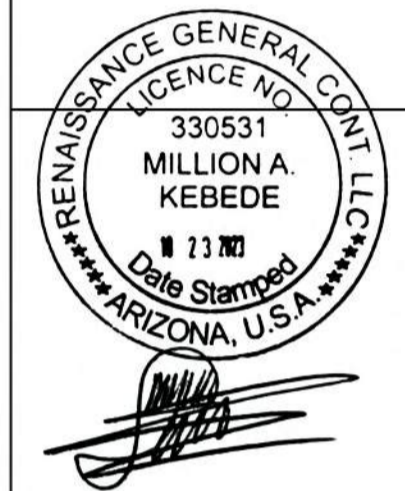
KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (HEIGHT, CANOPY, & CALIPER)	QTY.
TREES				
	(Symbol)	Acacia aneura Mulga Acacia	24" Box 7' 4" 1.5"	3
	(Symbol)	Pistache atlantic Res Push Pistache	24" Box 9' 4" 1.5"	3
	(Symbol)	Chilopsis linearis Desert Willow	24" Box 7' 4" 1.25" 36" Box 10' 8" 2.25"	2
	(Symbol)	Prosopis hybrid 'Phoenix' Thornless Hybrid Mesquite	24" Box 8' 4" 1.5"	3
LARGE SHRUBS				
	(Symbol)	Dodonaea viscosa purpurea Hopseed Bush	5 Gallon	7
	(Symbol)	Leucophyllum langmaniae Rio Bravo Texas Ranger	5 Gallon	3
	(Symbol)	Nerium o.'Petite Pink' Petite Pink Oleander	5 Gallon	9
MEDIUM AND SMALL SHRUBS				
	(Symbol)	Justicia californica Chuperosa	5 Gallon	6
	(Symbol)	Muhlenbergia capillaris 'Regal Mist' Regal Mist Deer Grass	5 Gallon	0
	(Symbol)	Ruellia peninsularis Baja Ruellia	5 Gallon	15
GROUDCOVERS				
	(Symbol)	Convolvulus cneorum Bush Morning Glory	1 Gallon	10
	(Symbol)	Lantana m. 'New Gold' New Gold Lantana	1 Gallon	5
ACCENTS				
	(Symbol)	Bougainvillea 'torch Glow' Torch Glow Bougainvillea	5 Gallon	9
	(Symbol)	Dasyliion wheeleri Desert Spoon	5 Gallon	4
	(Symbol)	Hesperaloe parviflora Red Yucca	5 Gallon	15
LANDSCAPE MATERIALS				
	(Symbol)	Decomposed Granite Desert Gold	1/2" size screened 2" Deep	
	(Symbol)	Concrete Header	4" x 6" Curbstyle	
	(Symbol)	Midiron Bermuda	2" Deep Sod	

PASSIVE RECREATION OPEN SPACE AREA LEGEND

- A- SELF CLOSED & LOCKABLE WROUGHT IRON GATE TO WALKWAY ENTRANCE.-4.1.20.
- B- 4' ROUND PICNIC TABLE.
- C- 6' HIGH WROUGHT IRON FENCE 4.1.20
- D- 5' WIDE KIDS BIKE LANE AND WALKWAY 4.1.6,4.1.11,4.1.16, AND 4.1.24
- E- PROPOSED STEET LIGHT 4.2.1,4.2.7,4.3.2, AND 4.1.13
- F- TRASH RECEPTACLE 4.1.6,4.1.11,4.1.16, AND 4.1.13
- G- SET ON 12' SQUARE CONCRETE PAD.
- H- NEW GLOBAL INDUSTRIAL 6' OUTDOOR PARK BENCH WITH BACK STEEL SLAT-4.1.13
- I- PROPOSED PEDESTRIAN LIGHT 4.2.2,4.2.6,4.2.9, &4.1.23
- J- DRINKING FOUNTAIN 4.1.13
- K- CONSTRUCT 30"x6'x6' BRICK MASONRY WALL WITH CONCRETE COPING TO HOLD 8 RESIDENT DOOR MAILBOX TO THE STANDARD OF USPS WITH PEDESTAL ACCESS 4.3.3.
- L- MULGA ACACIA.

- (Symbol) PROPOSED FIRE HYDRANT
- (Symbol) PROPOSED STREET LIGHT
- (Symbol) EXISTING STREET LIGHT
- (Symbol) PROPOSED PEDESTRIAN LIGHT
- (Symbol) GAS LINE MARKER TO BE RELOCATED
- (Symbol) EXISTING FIRE HYDRANT
- (Symbol) SIGN TO BE RELOCATED

RENAISSANCE G.C. LLC
SINGLE FAMILY UNITS DEV -
AT 7510N, 43RD AVENUE
GLENDALE, AZ, 85301



MILLION A. KEBEDE
4248 E. ROMA AVENUE
PHOENIX, AZ, 85018
623-755-4659

DATE:
06/03/2024

SHEET SCALE:
1"=20' AND 1"=40'

REVISIONS:

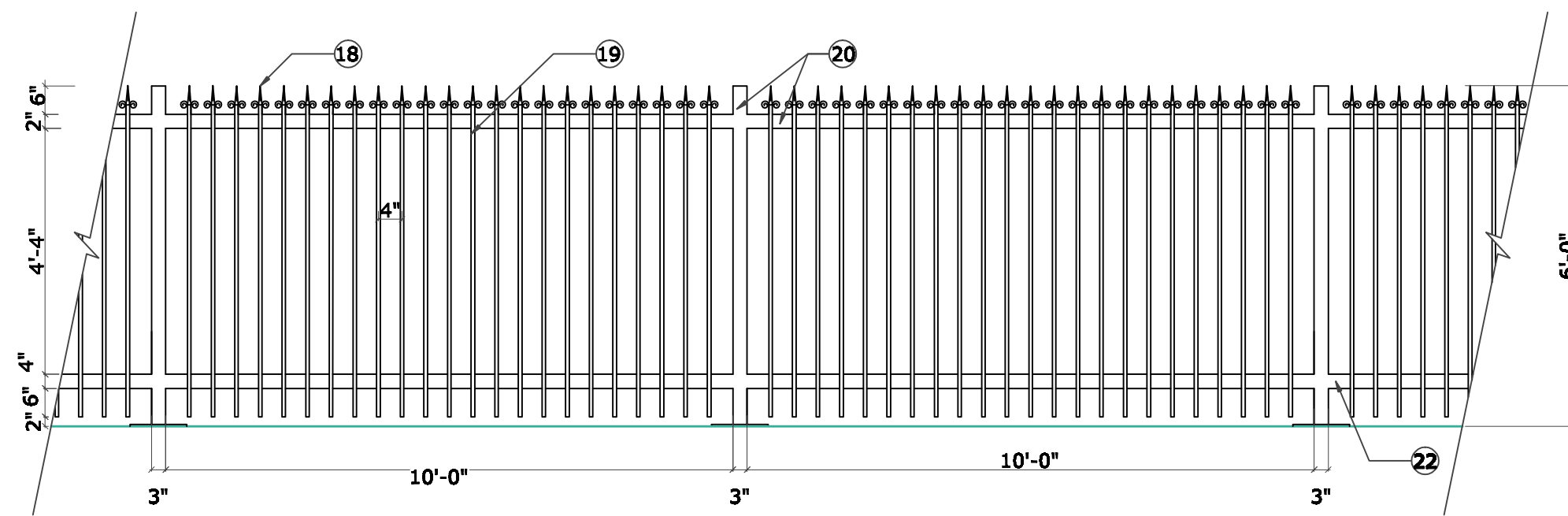
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LANDSCAPE PLAN

FENCE AND GATE PLANS FOR KEBEDE RESIDENCES

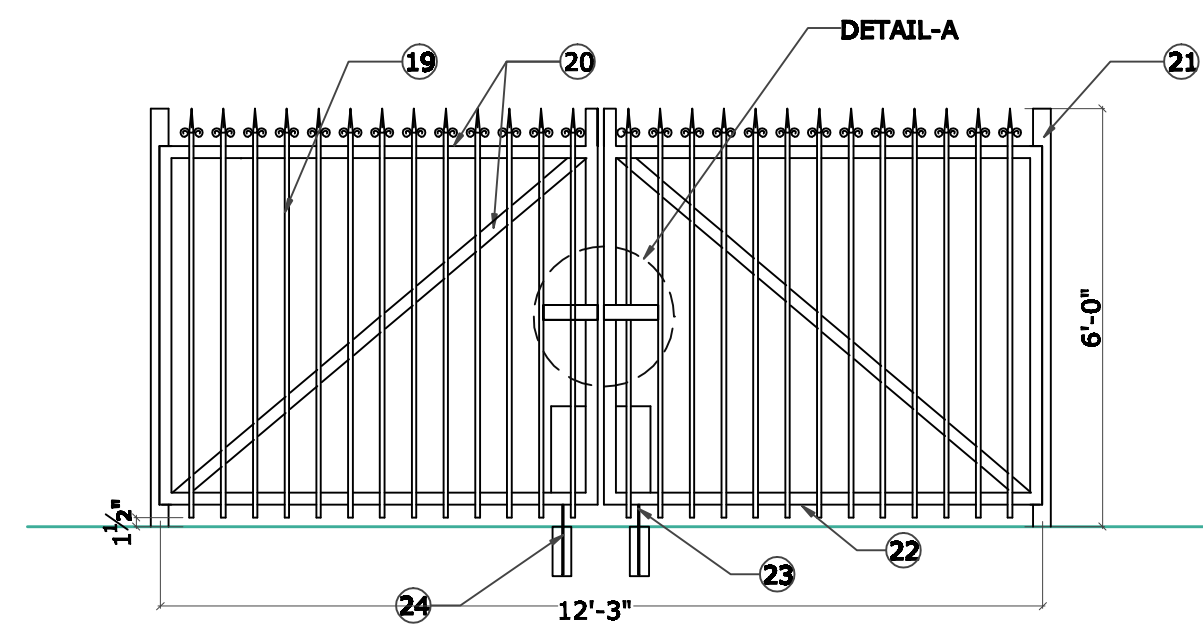
ORANGEWOOD
MEADOWS-TWO
7510 N,43RD.AVENUE
GLENDALE,AZ,85301

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SINGLE FAMILY UNITS DEV-
AT 7510N,43RD AVENUE
GLENDALE, AZ,85301

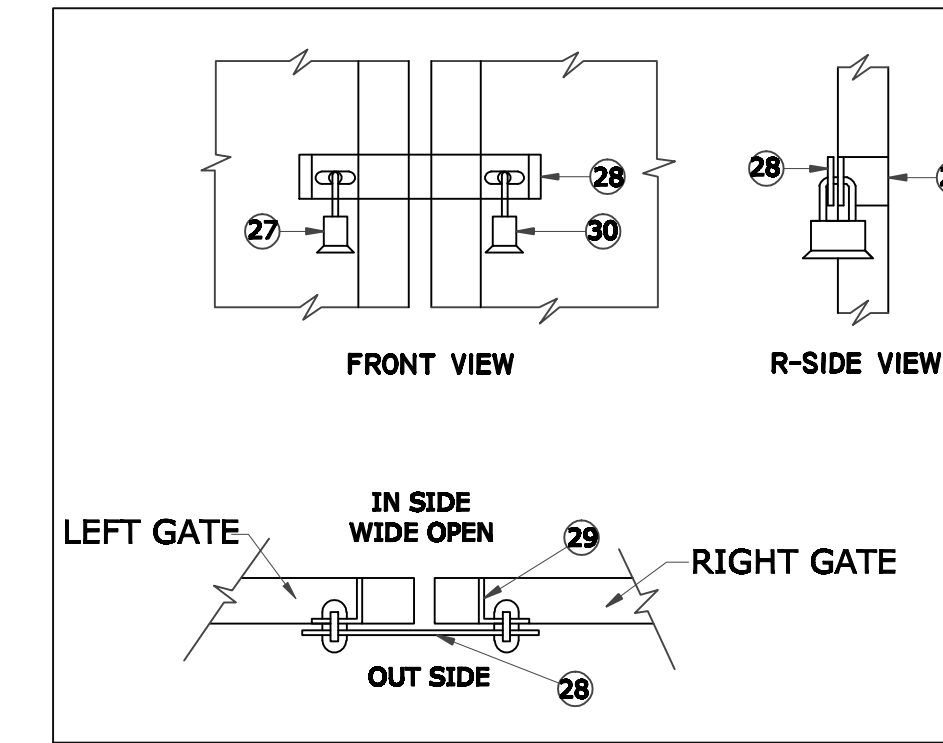
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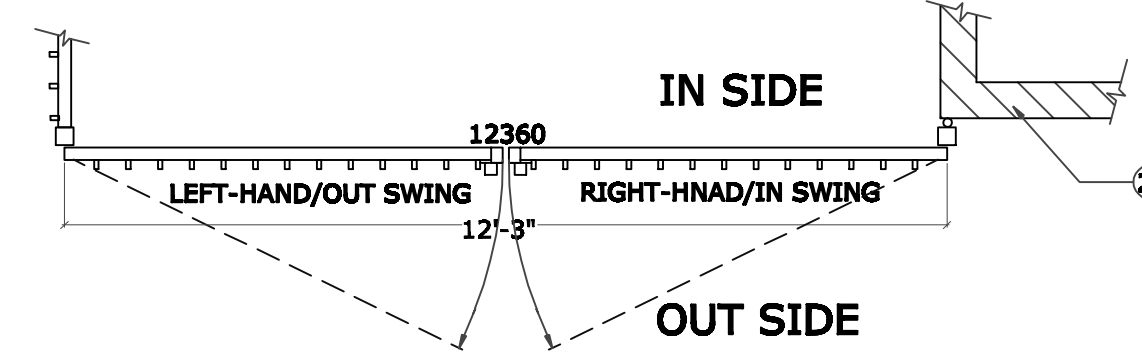
4 WROUGHT IRON FENCE ELEVATION
Scale 3/8"=1'-0"



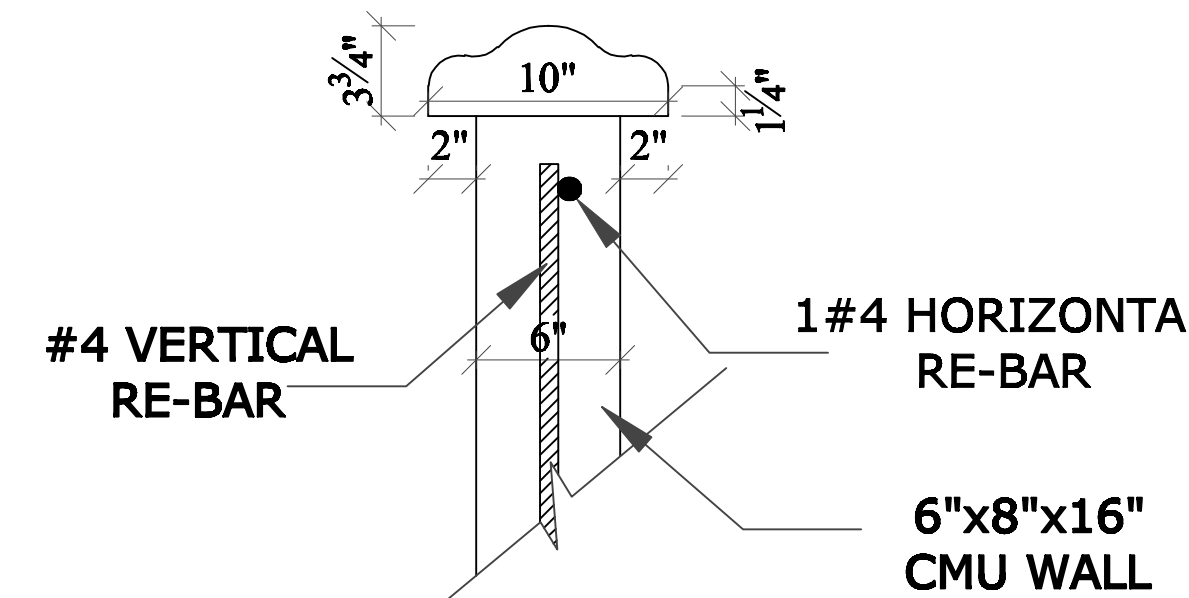
6 MANUALLY OPERATED ALLEY ACCESS GATE ELEVATION
Scale 3/8"=1'-0"



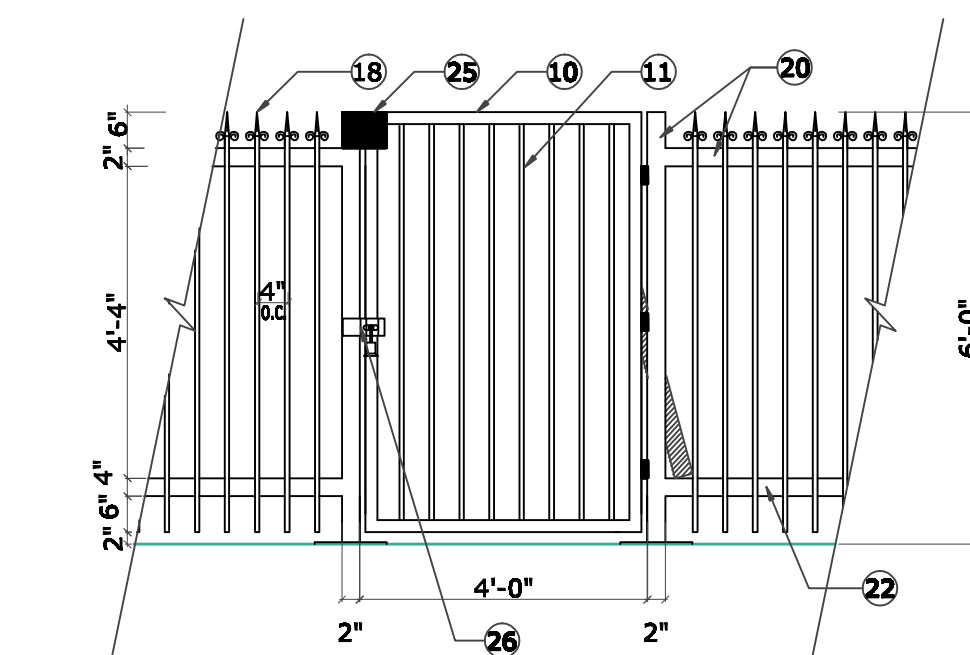
**DETAIL-A/ GATE-6
LOCKING MECHANISM DETAIL**
Scale 3/8"=1'-0"



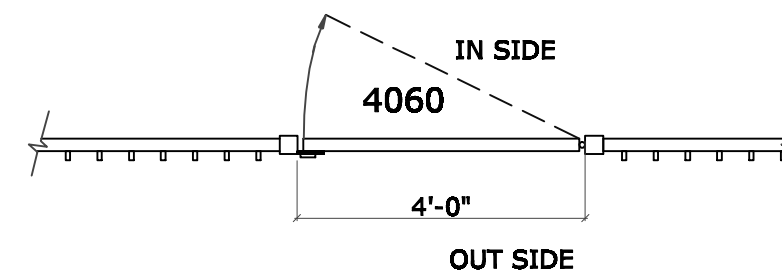
6 MANUALLY OPERATED ALLEY ACCESS GATE FLOOR PLAN
Scale 3/8"=1'-0"



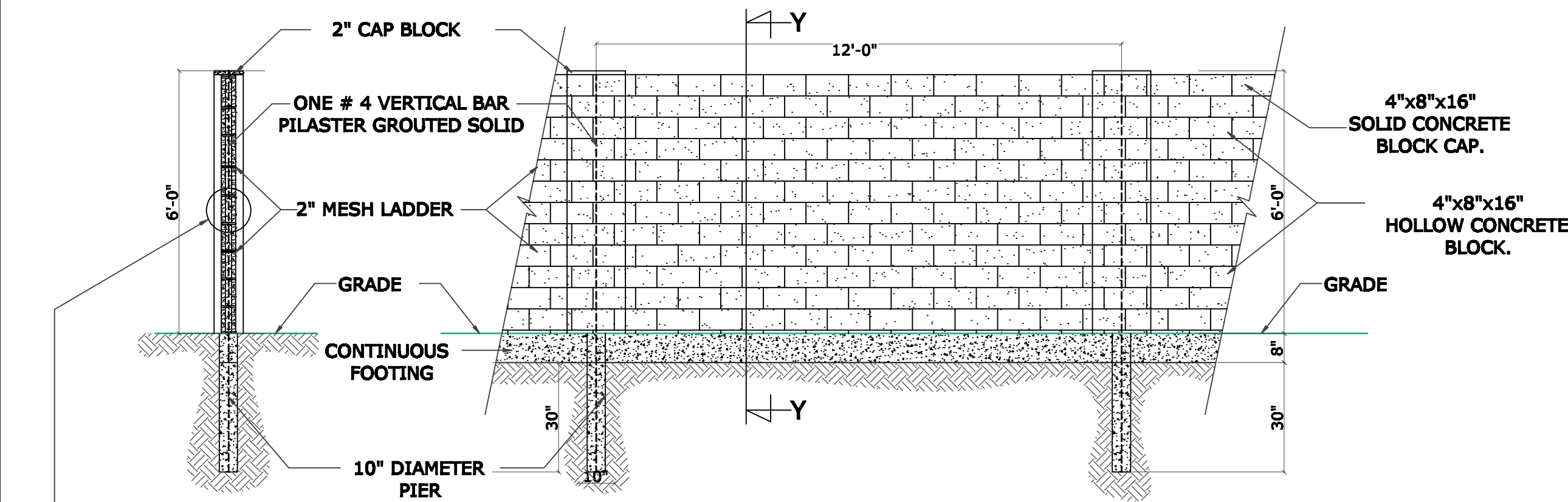
**DETAIL-B
WALL CAP**
Scale 1 1/2"=1'-0"



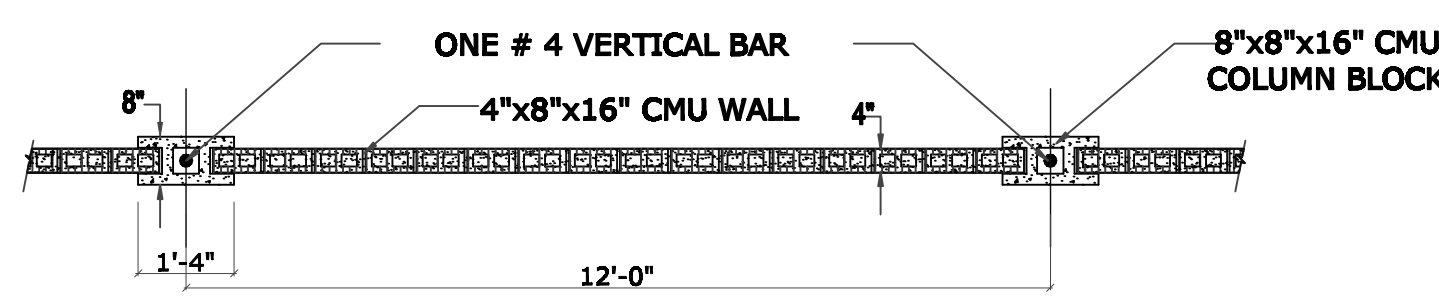
5 SELF CLOSE WROUGHT IRON GATE ELEVATION
Scale 3/8"=1'-0"



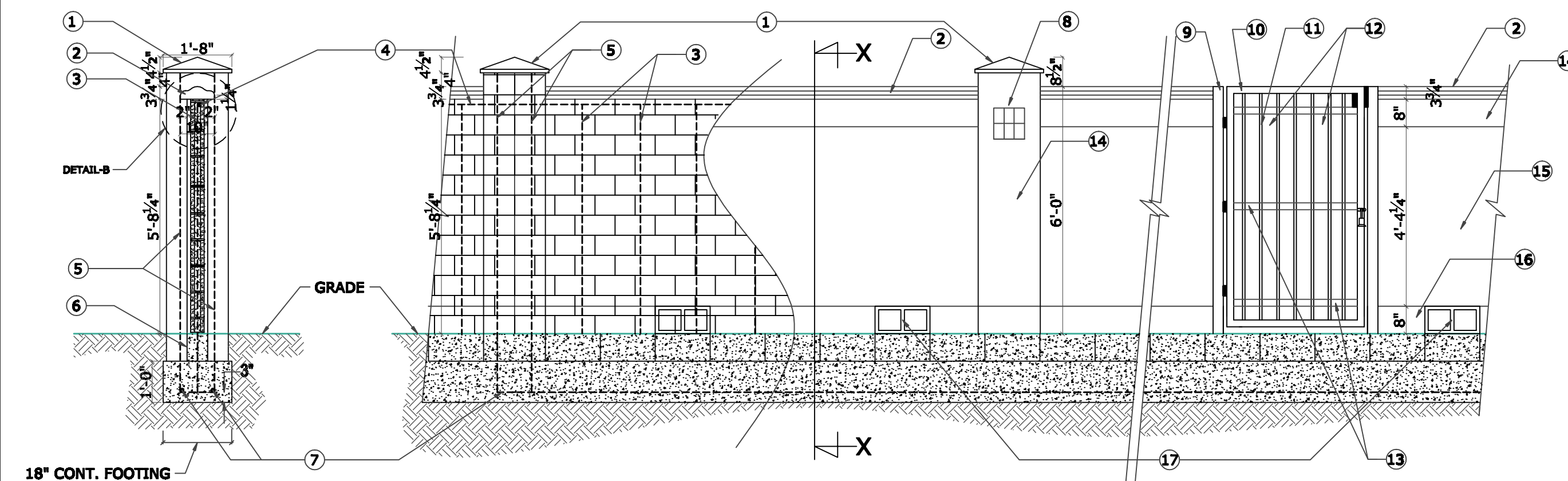
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Scale 3/8"=1'-0"



2 CMU BLOCK FENCE ELEVATION
Scale 3/8"=1'-0"



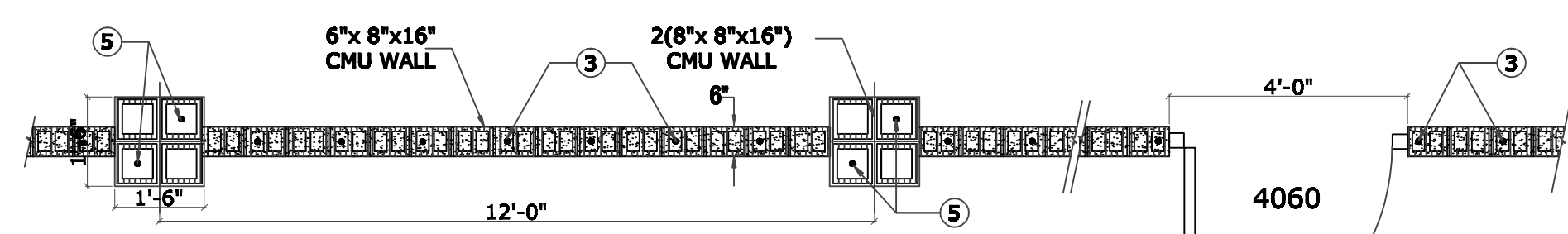
2 CMU BLOCK FENCE FLOOR PLAN
Scale 3/8"=1'-0"



SECTION X-X
Scale 3/8"=1'-0"

1 DECORATIVE -FENCE ELEVATION
Scale 3/8"=1'-0"

3 ACCESS GATE ELEVATION
Scale 3/8"=1'-0"



1 DECORATIVE -FENCE FLOOR PLAN
Scale 3/8"=1'-0"

3 ACCESS GATE FLOOR PLAN
Scale 3/8"=1'-0"

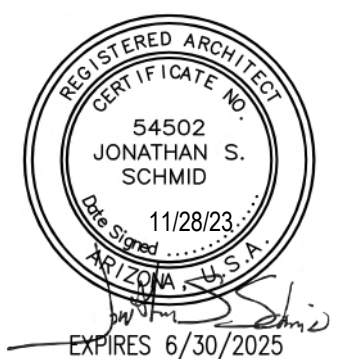
NOTES

1. 18"x18"-PRE CAST CONCRETE CAP
2. 10" WIDE PRE CAST COOPING.
3. #4 VERTICAL BAR 32" O.C. ALTERNATIVE & BENDING.
4. 1#4 HORIZONTAL BAR IN CONTINUOUS BOND BEAM AT TOP COURSE.
5. 2#4 VERTICAL BAR.
6. 6"x8"x16"STEM GROUTED SOLID.
7. 2#4 HORIZONTAL BAR CONTINUOUS IN FOOTING.
8. 9"x12" GLAZING CERAMIC TILE.
9. 1 1/2" X 2 1/2" SQUARE METAL POST.
10. 1 1/2" X 2 1/2" FRAME.
11. 3/4" X 3/4" PICKET.
12. WOOD SLAT.
13. 1" X 1/4" FLAT BAR.
14. PLASTERED,STUCCO & PAINTING SW- 6226 (LANGUID BLUE)
15. PLASTERED,STUCCO & PAINTING SW-6036 (ANGORA)
16. PLASTERED,STUCCO & PAINTING SW-7604 (SMOKY BLUE)
17. 4"X 8"X 16" DRAIN BLOCK.
18. 3/4" SPEAR.
19. 3/4" SQUARE.
20. 2" X 2"X 11" GAUGE UP RIGHT TOP RAIL AND BRACING.
21. 3"x3" GATE GUIDE POST.
22. 4"x2"- BOTTOM RAIL.
23. GATE DROP ROD WITH CENTRAL ROD SUPPORT AND RELEASE BAR.
24. ROD BAR RECIEVER HOLE.
25. DOOR LATCH.
26. CYLINDER LOCK.
27. REGULAR PAD LOCK FOR RESIDENT & UTILITY COMPANIES ACCESS.
28. 1/4" X 2"x10" FLAT IRON WITH 3/8" ADJUSTABLE HOLE TO SUPPORT PAD LOCK.
29. 1/4" X 2"x2" ANGLE IRON WITH 3/8" CENTER HOLE TO PAD LOCK SUPPORT.
30. RED PAD LOCK FOR FIRE FIGHTERS ACCESS USED BY THE FIRE DPT. ONLY BREAKABLE OR WITH MASTER LOCK APPROVED TYPE.

DATE:
9/28/2023

SHEET SCALE:
3/8"=1'-0", & 1 1/2"=1'-0"

REVISIONS:



Avid
ARCHITECTS
20165 N. 67th Avenue, #122A
Glendale, AZ 85308
P: 602.682.7665
F: 602.595.8399

SHEET NUMBER

D2.0

FENCE AND GATE PLANS

FENCE AND GATE PLANS FOR KEBEDE RESIDENCES

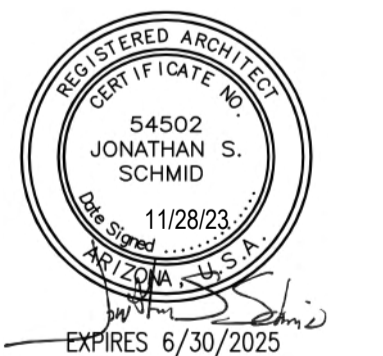
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DATE:
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SHEET SCALE:
3/8"=1'-0", & 1 1/2"=1'-0"

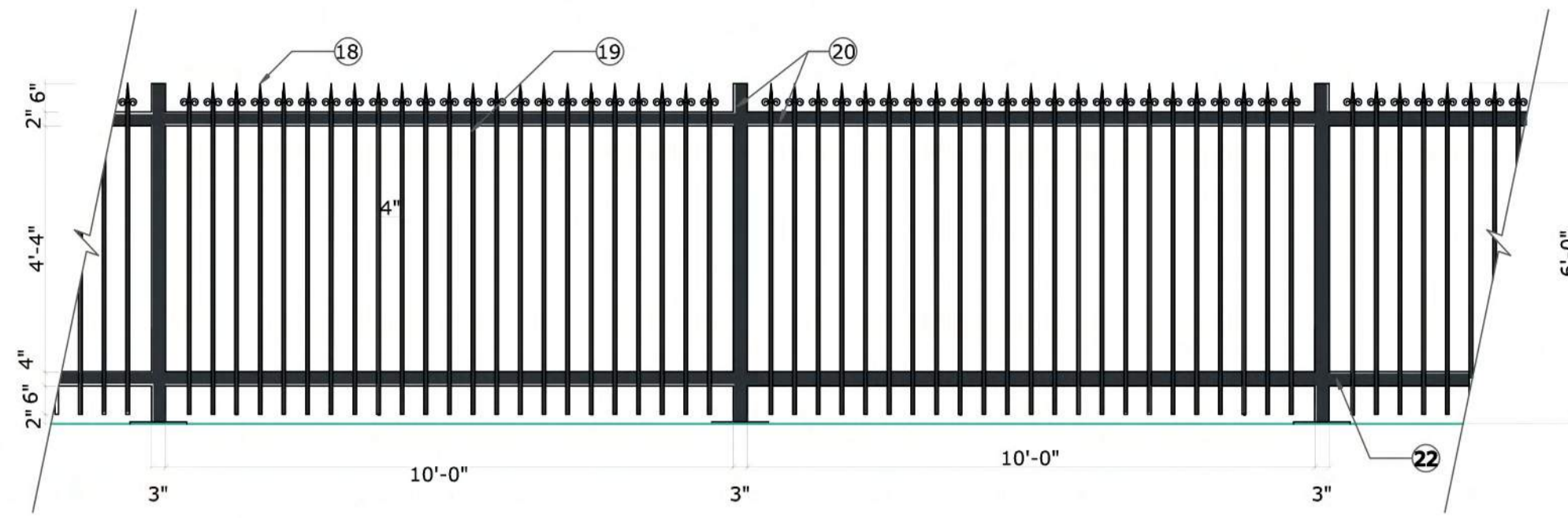
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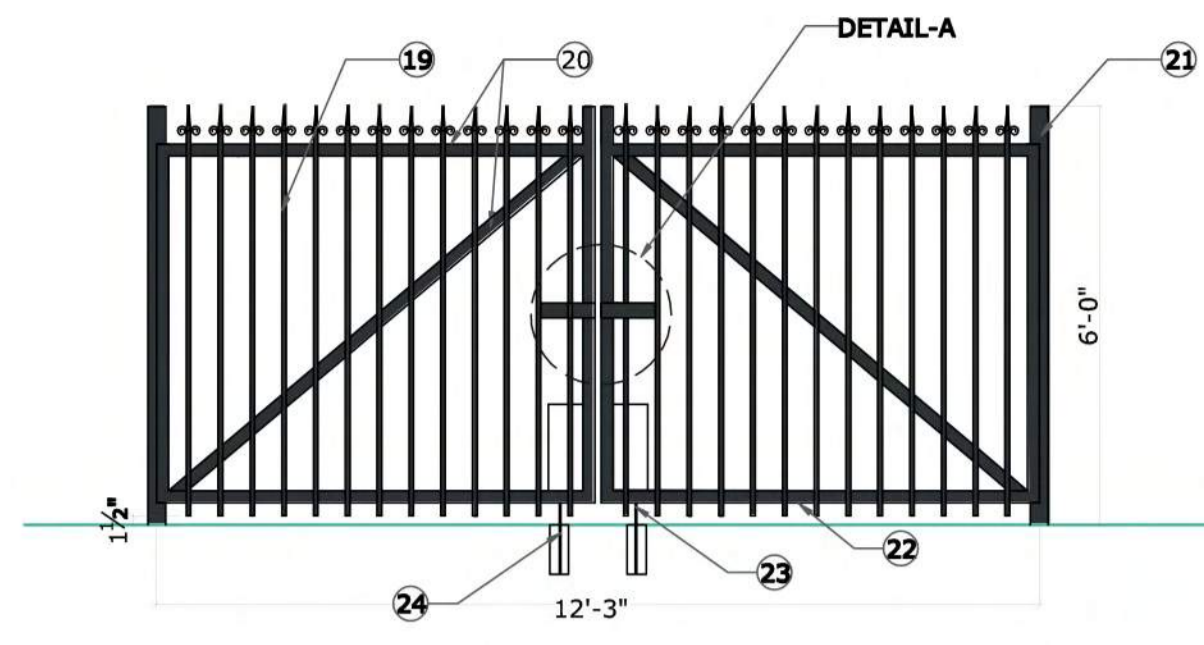
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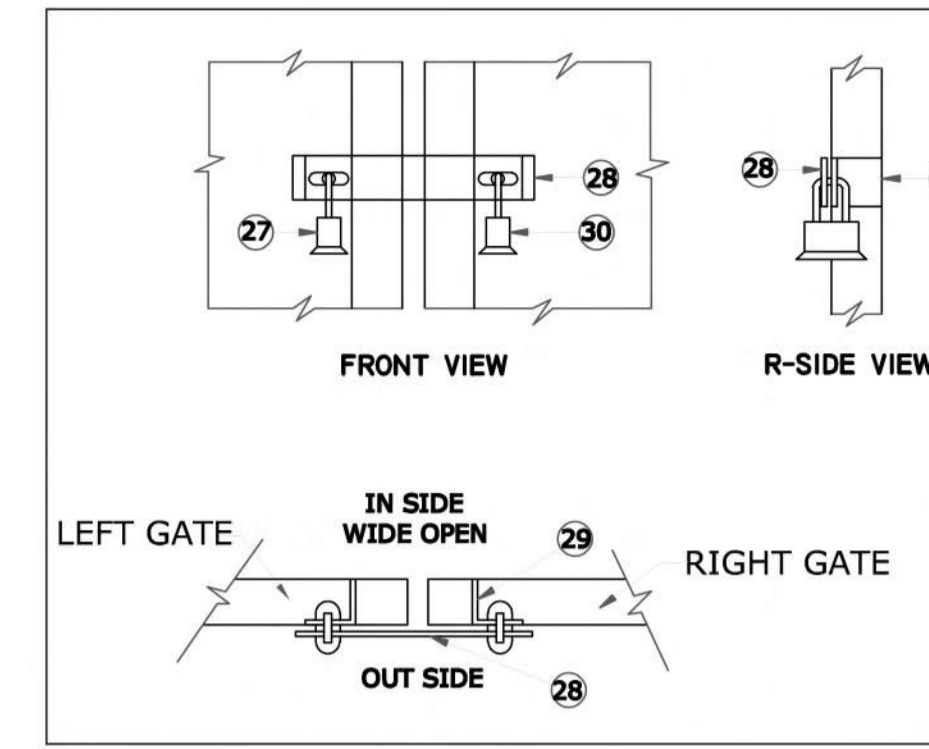
FENCE AND GATE PLANS



4 WROUGHT IRON FENCE ELEVATION
Scale 3/8"=1'-0"



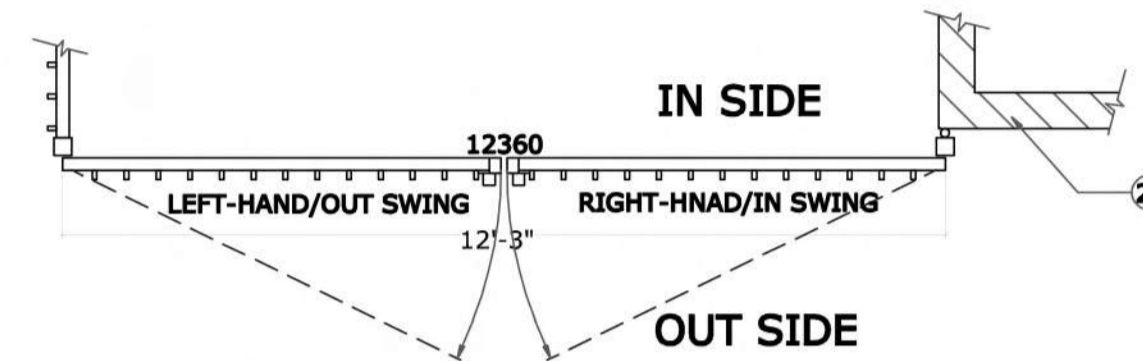
6 MANUALLY OPERATED ALLEY ACCESS GATE ELEVATION
Scale 3/8"=1'-0"



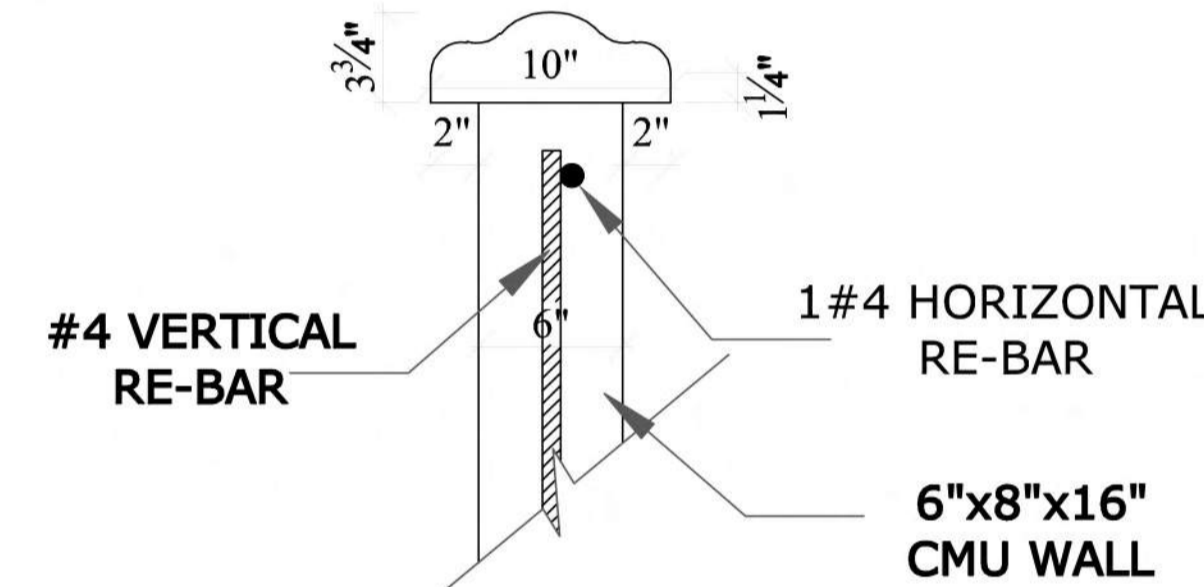
**DETAIL-A/ GATE-6
LOCKING MECHANISM DETAIL**
scale 3/8"=1'-0"

NOTES

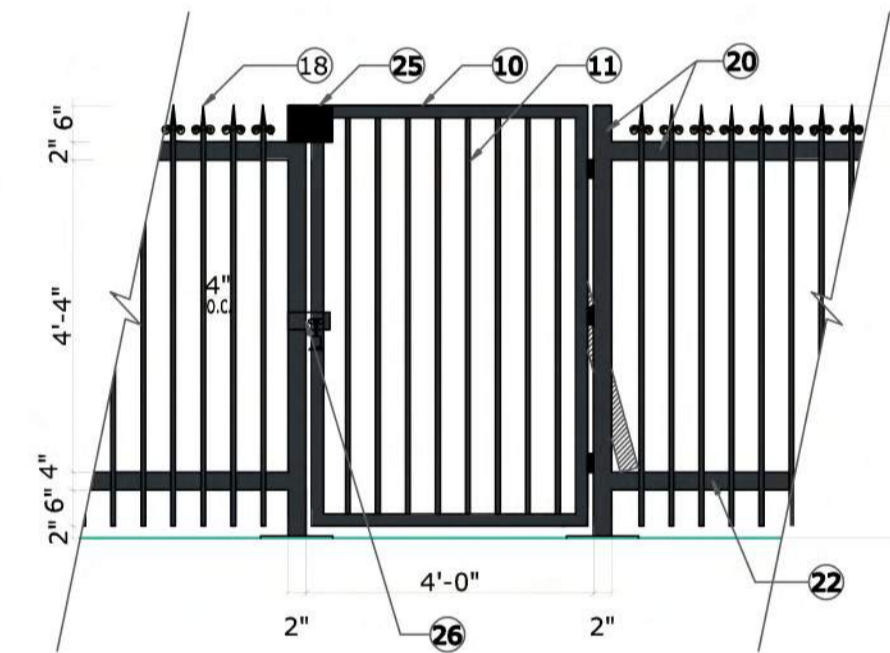
- 18"x18"-PRE CAST CONCRETE CAP
- 10" WIDE PRE CAST COPING.
- #4 VERTICAL BAR 32" O.C. ALTERNATIVE & BENDING.
- 1#4 HORIZONTAL BAR IN CONTINUOUS BOND BEAM AT TOP COURSE.
- 2#4 VERTICAL BAR.
- 6"x8"x16"STEM GROUTED SOLID.
- 2#4 HORIZONTAL BAR CONTINUOUS IN FOOTING.
- 9"x12" GLAZING CERAMIC TILE.
- 1 1/2" X 2 1/2" SQUARE METAL POST.
- 1 1/2" X 2 1/2" FRAME.
- 3/4" X 3/4" PICKET.
- WOOD SLAT.
- 1" X 1/2" FLAT BAR.
- PLASTERED,STUCCO & PAINTING -Steamed Milk SW 7554
- PLASTERED,STUCCO & PAINTING -Marshmallow SW 7001
- PLASTERED,STUCCO & PAINTING -Cocoa Whip SW 9084
- 4"X 8"X 16" DRAIN BLOCK.
- 3/4" SPEAR.
- 3/4" SQUARE.
- 2" X 2"X 11" GAUGE UP RIGHT TOP RAIL AND BRACING.
- 3"x3" GATE GUIDE POST.
- 4"x2"- BOTTOM RAIL.
- GATE DROP ROD WITH CENTRAL ROD SUPPORT AND RELEASE BAR.
- ROD BAR RECIEVER HOLE.
- DOOR LATCH.
- CYLINDER LOCK.
- REGULAR PAD LOCK FOR RESIDENT & UTILITY COMPANIES ACCESS.
- 1/4" X 2"x10" FLAT IRON WITH 3/8" ADJUSTABLE HOLE TO SUPPORT PAD LOCK.
- 1/4" X 2"x2" ANGLE IRON WITH 3/8" CENTER HOLE TO PAD LOCK SUPPORT.
- RED PAD LOCK FOR FIRE FIGHTERS ACCESS USED BY THE FIRE DPT. ONLY BREAKABLE OR WITH MASTER LOCK APPROVED TYPE.



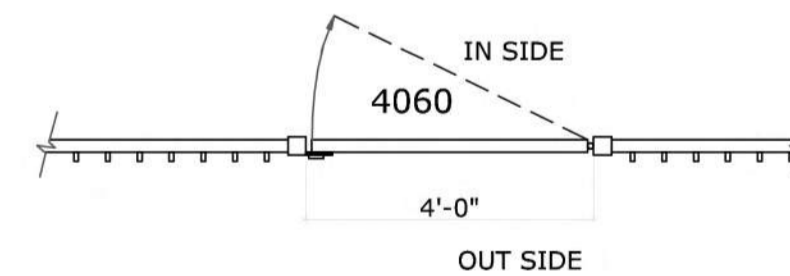
6 MANUALLY OPERATED ALLEY ACCESS GATE FLOOR PLAN
Scale 3/8"=1'-0"



**DETAIL-B
WALL CAP**
scale 1 1/2"=1'-0"



5 SELF CLOSE WROUGHT IRON GATE ELEVATION
Scale 3/8"=1'-0"

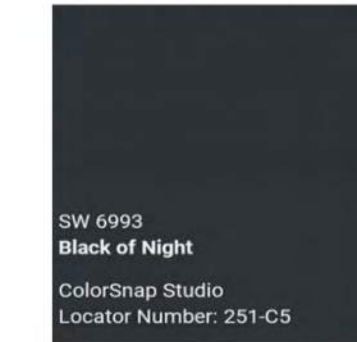


5 SELF CLOSE WROUGHT IRON GATE FLOOR PLAN
Scale 3/8"=1'-0"

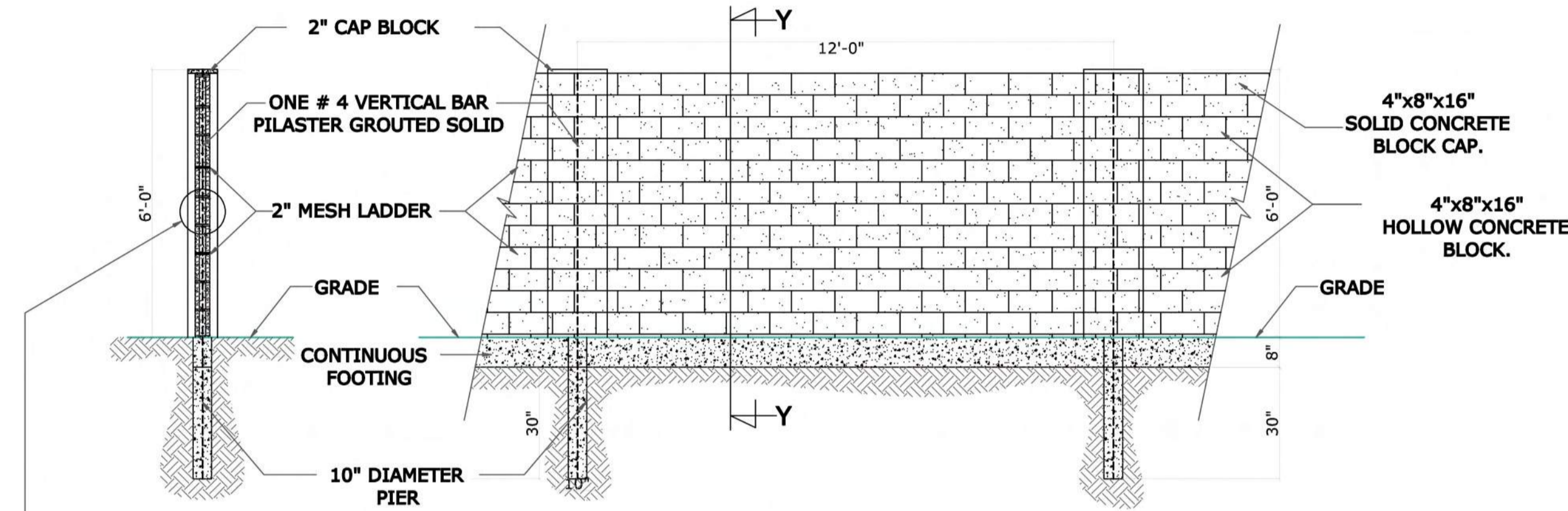
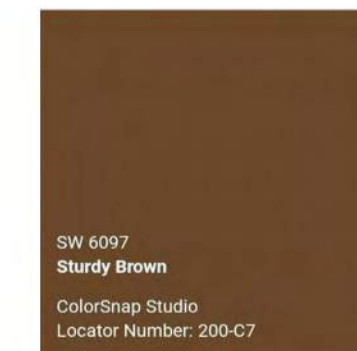
STUCCO & ACCENT



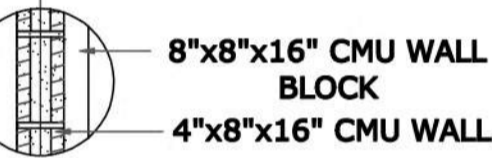
**SEMI-GLOSS
WROUGHT IRON FENCE**



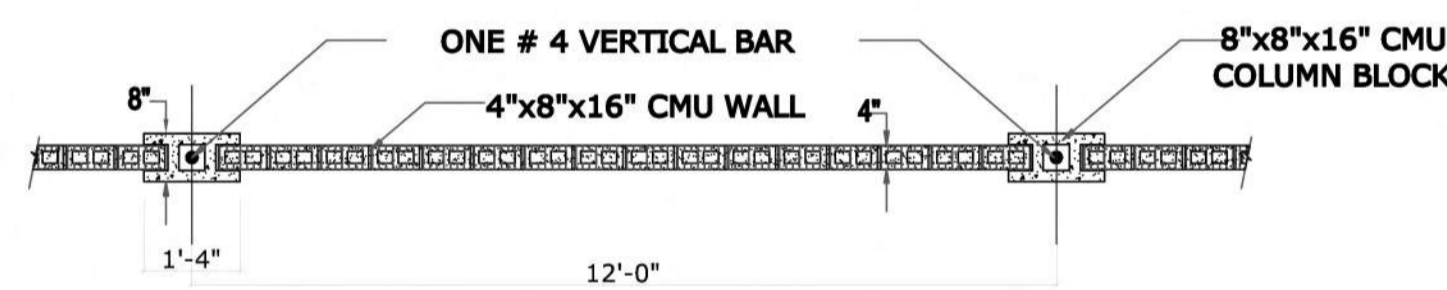
WOOD SLAT



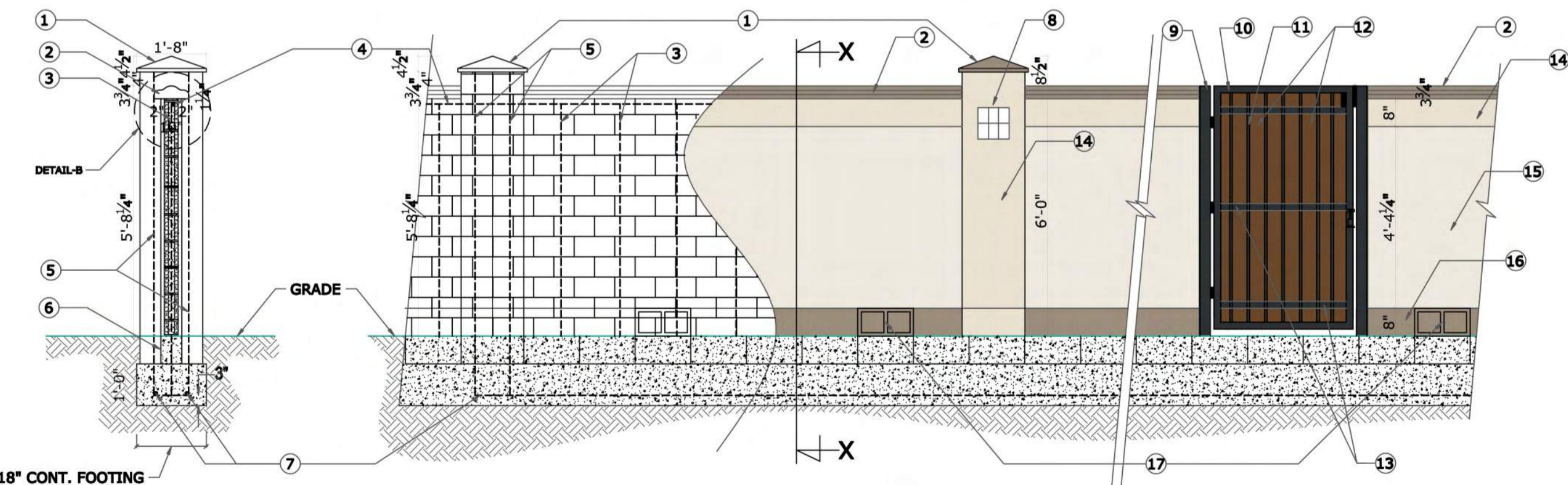
2 CMU BLOCK FENCE ELEVATION
Scale 3/8"=1'-0"



SECTION Y-Y
Scale 3/8"=1'-0"



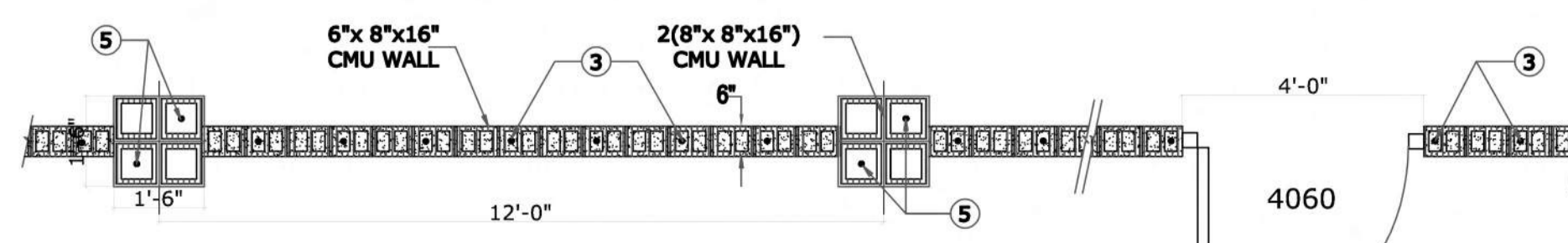
2 CMU BLOCK FENCE FLOOR PLAN
Scale 3/8"=1'-0"



1 DECORATIVE -FENCE ELEVATION
Scale 3/8"=1'-0"

3 ACCESS GATE ELEVATION
Scale 3/8"=1'-0"

SECTION X-X
Scale 3/8"=1'-0"



1 DECORATIVE -FENCE FLOOR PLAN
Scale 3/8"=1'-0"

3 ACCESS GATE FLOOR PLAN
Scale 3/8"=1'-0"

