

# Westgate Parc

6115 N. 91<sup>st</sup> Avenue

Planned Area Development and Minor General Plan Amendment  
Project Narrative

Received 2/18/2026



WITHEY  
MORRIS  
BAUGH

# Development Team



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# Introduction

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This application is being submitted on behalf of D.R. Horton, Inc., the proposed developer of approximately 10.11 gross acres on the east side of 91<sup>st</sup> Avenue between Rose Lane and Rovey Avenue in Glendale, Arizona (the "Property") as illustrated in the Aerial Map at **Tab 1**. The Property is currently zoned R1-8 PRD. See Zoning Map at **Tab 2**. The Property has a General Plan land use designation MDR 3.5 - Medium Density Residential 2.5 - 3.5 du/ac. See General Plan Map at **Tab 3**.

D.R. Horton seeks to redevelop this infill site as a Westgate Parc - a single-family attached residential community with seventy-eight (78) homes. The community is thoughtfully arranged into thirty-nine (39) two-story duplex townhomes carefully designed and configured to blend seamlessly with the surrounding single-family neighborhood. The proposed residential community is right-sized to meet the needs of the housing market surrounding the Westgate Entertainment District with an appropriate transitional density between the traditional single-family detached neighborhood that borders three sides of the Property and the high-intensity hub of activity to the west.

## Request

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This application requests the following:

1. Amend the General Plan Land Use Map designation *from* MDR 3.5 - Medium Density Residential 2.5 - 3.5 du/ac *to* MHDR 8 - Medium-High Density Residential 5.0 - 8.0 du/ac.
2. Rezone the Property from R1-8 PRD to Planned Area Development.

## Site Background

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The Property is an infill redevelopment site that straddles two different eras of growth and development in the City of Glendale. The church on the Property was originally constructed in 1982, prior to both the subdivision that now borders the site on three sides and massive entertainment, dining, and retail hub to the west consisting of State Farm Stadium and Westgate. At the time, the Property was surrounded by farmland and remained in that condition until 1989. Construction on the 397-lot La Buena Vida subdivision, which surrounds the property to the north, east, and south, began in late 1989 and was completed in 1993. The area remained predominantly residential and agricultural land uses until 2002, when construction commenced on the Cardinals football stadium, Coyotes hockey arena, and Westgate Entertainment District.

The development of the City's sports and entertainment district, which now consists of approximately 482 acres of development and includes a shopping, dining, and entertainment hub, an NFL stadium, an entertainment venue/arena, a conference and events center, multiple hotels, offices, and multiple residential communities, represented a seismic shift in the land use pattern in west Glendale. The growth in this area has had significant ripple effects, leading to the development of a major casino, a destination resort and theme park, and new residential communities in the immediate vicinity.

In this context, the Property poses significant challenges as an infill development site. Any new development must align with the modern development trends and patterns associated with

Westgate and State Farm Stadium, while also remaining compatible with the single-family community that surrounds the Property and predates the entertainment district. As detailed below, D.R. Horton’s proposed residential community threads this needle with a thoughtfully designed community of 78 for-sale residences on the 10.11 gross-acre site.

<b>Surrounding Land Uses</b>		
	<b>Existing Use</b>	<b>Zoning</b>
<b>North</b>	Single-Family Residential La Buena Vida Subdivision	R1-8 PRD
<b>East</b>	Single-Family Residential La Buena Vida Subdivision	R1-8 PRD
<b>South</b>	Single-Family Residential La Buena Vida Subdivision	R1-8 PRD
<b>West</b>	State Farm Stadium Westgate Entertainment District	Planned Area Development

## Minor General Plan Amendment Request

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In order to facilitate the proposed development and align the proposed residential density with the appropriate land use designation in the City of Glendale’s Envision 2040 General Plan, a Minor General Plan Amendment is requested as part of this application. The proposed amendment is an incremental shift from the existing MDR 3.5 designation, and simply reflects the changes in the residential housing market and the land use patterns adjacent to the site since the designation was first applied to this site in the 1990s.

In accordance with Table 1 in the General Plan, a request to amend the land use designation from MDR 3.5 to MDHR 8 for less than 160 acres in Area B (between 83<sup>rd</sup> Avenue and Highway 101) is categorized as a Minor General Plan Map Amendment. The proposed Minor General Plan Amendment is required to be consistent with the policies and objectives of the rest of the General Plan; and further the public health, safety and general welfare of the citizens of Glendale. As outlined below, this request meets many policies and objectives of the General Plan, including housing, socioeconomic and proximity to employment. In addition, this request furthers the public health, safety and general welfare for the surrounding area as the development will contribute to impact fees ensuring new developments pay for their proportional share of public services like police, fire, parks, and libraries. The proposed amendment meets many of the Goals and Objectives set forth in the Envision 2040 General Plan:

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**Goal HE-2: Glendale has a wide variety of housing types, styles, and options.**

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*Policy HE-2.3: The City should provide housing areas that allow homeowners to move up in home size, quality, and price.*

*Policy HE-2.6: The City shall develop a comprehensive strategy for attracting a variety of housing opportunities, including higher-end and move-up housing markets.*

The proposed Minor GPA aligns with the above policy goals by allowing the development of high-quality for-sale housing product that falls within what has often been referred to as the “missing middle” in the housing supply: housing opportunities that fall between traditional multi-family for-rent apartments and for-sale single-family detached residences. The proposed community offers a move-up opportunity for first-time home buyers seeking to both live within walking distance of the vibrant hub of activity at Westgate and also build equity in a home.

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**Goal HE-3: Glendale has housing options that meet the range of socioeconomic needs of the City’s current and future residents.**

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*Policy HE-3.5: The City should support adjustments to the housing mix based on demographic needs and economic changes within Glendale.*

This goal/policy within the General Plan perfectly encapsulates the basis of this Minor GPA request. At the time the land use designation was established for the Property, the City of Glendale and the Phoenix MSA as a whole was experiencing a massive boom in suburban residential growth with enormous demand for new single-family detached homes. As this area of Glendale evolved and the Westgate entertainment district sprang up to the west of the Property, the land use patterns in this area permanently shifted. More importantly, the housing crisis that now exists across the Valley and the State inform the need for more housing – particularly on infill sites where developers can create new ownership opportunities with duplexes, townhomes and the like.

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**Goal HE-6: Residential areas relate to work places.**

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*Policy HE-6.2: The City should encourage housing in close proximity to designated employment areas.*

The entertainment district to the west employs an enormous workforce, as do many of the surrounding office parks and industrial developments at the periphery. The proposed development creates new home ownership opportunities for the local workforce, thereby shortening commutes, encouraging alternative forms of transportation, and promoting better work/life balance.

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## Planned Area Development Plan

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### **A. Purpose and Overview**

The purpose of the proposed PAD is to facilitate the development of a 78-lot single-family attached residential development with development standards that ensure the appropriate flexibility to meet the needs of this infill redevelopment site. The PAD will utilize the R1-4 zoning district for its base development standards, modified to meet the specific needs of the duplex-style single-family attached residences.

As illustrated in the Site Plan attached at **Tab 4**, the residences are arranged around the interior of a dual-looped private road that runs around the perimeter of the site. The configuration of the site plan was the result of considerable feedback from the surrounding residents obtained through a voluntary neighborhood outreach process prior to the filing of this application. Previous iterations of the site plan included two-story homes around the perimeter of the site, which garnered considerable feedback from the adjacent homeowners with concerns about the proximity, privacy, and loss of views. To address these concerns, the site plan was reconfigured to remove the perimeter homes entirely, concentrate the new residences in the interior of the site, and create a significant buffer around the perimeter of the site with a landscape tract and perimeter road. Additionally, the orientation of the homes, with front doors/driveways facing outward, further addresses resident concerns regarding privacy. The combined setback of the perimeter landscape tract, road, and front yard/driveway ensures that the second-story windows do not have a viewing angle into the surrounding backyards of the existing residents.

The proposed residential community has been carefully designed to ensure a comfortable transition and buffer with the existing neighborhood, while allowing residential density appropriate for the site with respect to current market needs and prevailing land use trends. The conceptual site plan strikes a thoughtful balance between the concerns of the existing residents and the housing needs of the immediate area and Glendale as a whole.

**B. Permitted Uses**

Permitted uses for this PAD shall conform with the table below.

Table A

PAD Permitted Use Table	
Urban Agriculture, Noncommercial	Conditional Use
Dwelling, Duplex	Permitted
Dwelling, Single-Family Attached	Not Permitted
Dwelling, Single-Family Detached	Permitted
Dwelling, Modular Home	Permitted
Residential Care Home	Permitted
Model Home Complex	Permitted
Short-Term or Vacation Rental	Permitted
Cemetery or Mausoleum	Requires Special Use District
Community Playfields and Parks	Permitted
Community Recreation Center	Permitted
Country Club	Permitted

Golf Course	Requires Special Use District
Government Offices and Civic Buildings	Permitted
Place of Worship	Permitted
Private Schools, Colleges, and Universities; without Dormitories	Conditional Use
Utility Facility and Service Yard, Major	Requires Special Use District
Utility Facility, Minor	Permitted
Wireless Facility (Including Tower and Supporting Facilities)	Permitted
Commercial Entertainment, Outdoor	Requires Special Use District
Hotels, Resort	Requires Special Use District
Broadcast Tower	Requires Special Use District
Helistops or Heliports	Requires Special Use District
Resource Extraction and Processing	Requires Special Use District

**C. Development Standards**

As reflected in Table B below, the development standards for the proposed Planned Area Development are intended to facilitate the development of the Conceptual Site Plan at **Tab 4** by providing targeted relief and tailored standards for this specific residential community. Should a conflict exist between any provision in this PAD and the Glendale Unified Development Code, the PAD standards shall apply.

**Table B**

<b>R1-4 Development Standards</b>		
<b>Regulation</b>	<b>Base UDC Standards (R1-4)</b>	<b>Proposed UDC Standards (R1-4)</b>
<b>Minimum Required Net Lot Area</b>	4,000 SF	<b>2,700 SF</b>
<b>Minimum Required Lot Width</b>	40 <sup>1</sup>	<b>30</b>
<b>Minimum Required Setbacks</b>	Front: 15-20 Feet <sup>2</sup> Side: 0-10 Feet <sup>3</sup> Rear: 15 Feet	<b>Front: 18 Feet</b> Side: 0-10 Feet <sup>3</sup> <b>Rear: 10 Feet</b>

	Within 35' of the South Perimeter Property Line: N/A	Within 35' of the South Perimeter Property Line: 15'
<b>Lot Coverage</b>	45% Maximum	<b>65% Maximum</b>
<b>Building Height Maximum</b>	30 feet	30 feet
<b>Minimum Required Common Open Space</b>	15%	<b>19%</b>
<b>Landscape Areas</b>	Lots within 35' of South Perimeter Property line: Not Applicable	Lots within 35' of South Perimeter Property line: Minimum fifteen (15) foot wide
<b>Planting Specifications</b>	<p><b>All landscape areas:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one tree and five shrubs (or groundcover subject to Table 4.100-5) per 400 square feet of landscape area.</li> <li>• No trees shall be permitted within a Public Utility Easement (PUE)</li> </ul> <p><b>Use Buffers:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one screening tree per 25 linear feet of required buffer area</li> </ul> <p><b>Street Frontage:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one tree and five shrubs (or groundcover subject to Table 4.100-5) per 30 linear feet of street frontage.</li> <li>• This minimum quantity of trees, shrubs, and vegetative groundcover shall be located in the street right-of-way landscaped area. Trees shall not be placed between the curb/gutter and a detached sidewalk.</li> <li>• Within the street right-of-way, no trees are to be planted within 25' of a street</li> </ul>	<p><b>All landscape areas:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one tree and five shrubs (or groundcover subject to Table 4.100-5) per 400 square feet of landscape area.</li> <li>• No trees shall be permitted within a Public Utility Easement (PUE)</li> </ul> <p><b>Use Buffers:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one screening tree per 25 linear feet of required buffer area</li> </ul> <p><b>Street Frontage:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one tree and five shrubs (or groundcover subject to Table 4.100-5) per 30 linear feet of street frontage.</li> <li>• This minimum quantity of trees, shrubs, and vegetative groundcover shall be located in the street right-of-way landscaped area. Trees shall not be placed between the curb/gutter and a detached sidewalk.</li> <li>• Within the street right-of-way, no trees are to be planted within 25' of a street</li> </ul>

	<p>light pole.</p> <ul style="list-style-type: none"> <li>• Trees and shrubs may be clustered to improve visibility of signage and store fronts and should be placed in a manner that provides shade for pedestrians.</li> <li>• Reverse street frontage. All developments that back or side onto a street and which have a six-foot screening wall constructed on the property line shall install within the street right-of-way contiguous with the property one tree and three shrubs for every thirty (30) feet of such reverse street frontage.</li> <li>• Groundcover placed within sight visibility triangle areas should adhere to the "Drought Tolerant Groundcover Selection For COG ROW Sight Triangle Areas".</li> </ul> <p><b>Parking Areas:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one tree and two shrubs per single landscape island</li> <li>• A minimum of two trees and four shrubs per double landscape island.</li> <li>• A minimum of one tree and three shrubs per 30 linear feet of landscape median.</li> </ul>	<p>light pole.</p> <ul style="list-style-type: none"> <li>• Trees and shrubs may be clustered to improve visibility of signage and store fronts and should be placed in a manner that provides shade for pedestrians.</li> <li>• Reverse street frontage. All developments that back or side onto a street and which have a six-foot screening wall constructed on the property line shall install within the street right-of-way contiguous with the property one tree and three shrubs for every thirty (30) feet of such reverse street frontage.</li> <li>• Groundcover placed within sight visibility triangle areas should adhere to the "Drought Tolerant Groundcover Selection For COG ROW Sight Triangle Areas".</li> </ul> <p><b>Parking Areas:</b></p> <ul style="list-style-type: none"> <li>• A minimum of one tree and two shrubs per single landscape island</li> <li>• A minimum of two trees and four shrubs per double landscape island.</li> </ul> <p>A minimum of one tree and three shrubs per 30 linear feet of landscape median.</p>
<b>Accessory Building Requirements</b>	Section 35.3.200 of the Unified Development Code will regulate.	Section 35.3.200 of the Unified Development Code will regulate.
<b>Parking</b>	Section 35.4.000 of the Unified Development Code will regulate.	Section 35.4.000 of the Unified Development Code will regulate.
<b>Outdoor Lighting</b>	Section 35.4.400 of the Unified Development Code will regulate.	Section 35.4.400 of the Unified Development Code will regulate.

1. Lot width is measured at front setback.
2. Front setback shall be fifteen (15) feet to living area or for side entry garages and/or covered front porch. Front setback shall be twenty (20) feet for front entry garages and carports.
3. For Single-Family Attached uses, side yard setbacks with common walls may be zero (0) feet.

#### **D. PAD Deviation Justification**

The requested deviations for lot area/width, setbacks, lot coverage, and common open space are all interrelated and are aimed to solve a single, collective problem. The Property is an infill redevelopment site with a non-uniform shape that requires creative design solutions to address the physical constraints of the site. Neither the R1-4 district nor the R-2 district are a perfect fit for the proposed duplex townhome product, and while selection of the R1-4 base standards requires greater modification, it also establishes permitted uses and a scale of development more compatible with the surrounding area.

#### **E. Landscape, Screening, and Walls**

A Conceptual Landscape Plan for the proposed development is attached at **Tab 5**. All landscaping for the proposed development shall comply with Section 35.4.100 of the Unified Development Code, as amended over time. Landscaping shall be designed to complement the overall design theme for the site. All materials must be included on the most recent edition of the Phoenix Active Management Area Low Water Using Plant List.

Tree plantings in the perimeter landscape tract along the north, east, and south perimeter shall be designed to ensure adequate screening and privacy for the adjacent single-family residents. A variety of tree species, combined with a colorful combination of shrubs and groundcovers, will provide an overall landscape composition of appropriate scale to enhance the overall development and its visual impact on its surroundings. Plantings, types, locations and quantities will be required to conform with Table B.

A Conceptual Wall Plan is attached at **Tab 6**, illustrating the perimeter and interior wall design for the project. Screening, walls, and fences for the development will comply with Section 35.4.200 of the Unified Development Code. An entirely opaque, masonry wall, with a minimum height of 6 feet, shall be provided along the development's abutting property lines, as depicted.

## PAD Findings

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This request meets the PAD findings as follows:

### **1. Encourage creative and effective use of land and circulation systems to accommodate changes in land development technologies.**

The proposed development demonstrates an effective use of land through the redevelopment of an underutilized property, utilizes an existing signalized intersection, and provides ample internal circulation. The site plan contemplates 78 homes, an outdoor community amenity area, retention, emergency access, sidewalks, and appropriate buffering. Given the unique location and geometry of the Property, the proposed project balances best practices with existing conditions.

**2. Encourage residential development to provide a mixture of housing types and designs.**

The proposed development includes single family attached duplex units, which provides diversity within an area with predominantly traditional single family homes. This new housing product will provide a new living opportunity for various lifestyles and stages of life.

**3. Encourage innovative development or redevelopment concepts for all land use types to provide a greater variety and intensity of uses.**

The redevelopment of this underutilized property will provide a greater variety in housing product and act as a buffer for existing homes from more intense entertainment uses and arterial roadways to the west. This proposed PAD seeks relief from Euclidian zoning districts to allow for a thoughtful infill residential development.

**4. Provide a process which relates the urban design and scale of the project to the unique characteristics of the site.**

As an infill development, the Property is impacted by land use patterns of the past while subject to development standards of the present. The Project is intended to provide additional housing that mitigates impacts to existing homes through maintaining a residential character with appropriate building heights, while acting as a buffer between more intense uses and the surrounding community.

**5. Require the nature and intensity of development to be supported by adequate utilities, transportation, drainage, and common open spaces to serve the development and to minimize impact on existing or future adjacent development.**

The development, as outlined by this narrative, will have access to adequate utilities, transportation, drainage, and open space. The transportation impact analysis for this project indicates that all studied intersections operate within an acceptable level of service. Additionally, pedestrian mobility will be enhanced through an on-site sidewalk network. On-site drainage is accommodated through two (2) retention basins located at the northeast of the project site. The project proposes 19% common area open space, exceeding the base zone requirements of 15%.

**6. Encourage development that is consistent with the policies and the guidelines established in any specific plan and the General Plan.**

As noted in the General Plan Amendment section of this narrative, this request is consistent with the policies and guidelines of the General Plan.

# Architectural Design

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As illustrated in the Conceptual Elevations attached at **Tab 7**, the proposed duplex townhomes will be developed in multiple architectural styles with a variety of materials to ensure that the community maintains a neighborhood feel. Pop-outs and recesses create movement in the facades along with awnings and overhangs – some masonry and wood, others metal – to provide architectural diversity along the internal street frontages. A mix of stacked stone and changes in color offer texture and visual interest to street facing elevations. The composition of these features creates visual diversity within the community, avoiding the monotony of a typical townhome development and creating a true neighborhood feel. The development is subject to the requirements of the City's Residential Design and Development Manual, as amended over time.

## Sign Standards

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Section 35.4.300 Signage of the Unified Development Code will regulate the applicable signage criteria/review, specifically utilizing the R1-4 Zoning District's signage regulations for this PAD.

## Circulation and Access

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Vehicular access to the site will be provided by the existing signalized access intersection at 91<sup>st</sup> Avenue. As illustrated on the Conceptual Circulation Plan at **Tab 8**, vehicles will enter off 91<sup>st</sup> Avenue and be provided with the option to continue ahead into the residential community via secured electronic gates, or turn into the adjacent property to the south, if and when the adjacent property develops, that is not included in this application. For motorists that turn into the development by mistake, a turnaround area is provided outside the electronic gates. The looped internal private drive providing access to the residences will be a 42-foot-wide tract consisting of a 32-foot-wide roadway section flanked by 5-foot sidewalks. See Street Section Exhibit at **Tab 9**.

Secondary emergency-only access is provided via the cul-de-sac at 90<sup>th</sup> Avenue to the south of the Property. Adequate contiguous right-of-way exists at the northern end of the cul-de-sac to provide emergency access, which will be secured via "crash gate" and landscaped with appropriately compacted decomposed granite and adjacent landscaping to provide a pleasant and attractive condition for adjacent residents.

## Grading and Drainage

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The grading and drainage for the site will be designed to retain the 100-year, 2-hour storm event in accordance with the City of Glendale drainage design guidelines. Storm drainage will be conveyed via internal drain or downspouts and overland flow to the streets where it will be conveyed into either catch basins or curb openings which will outfall to a combination of surface and/or underground retention areas. The required storage volume will dissipate within 36 hours via a combination of natural percolation and drywells. Any off-site drainage impacts to the site will be routed through the site in order to maintain its historical drainage pattern.

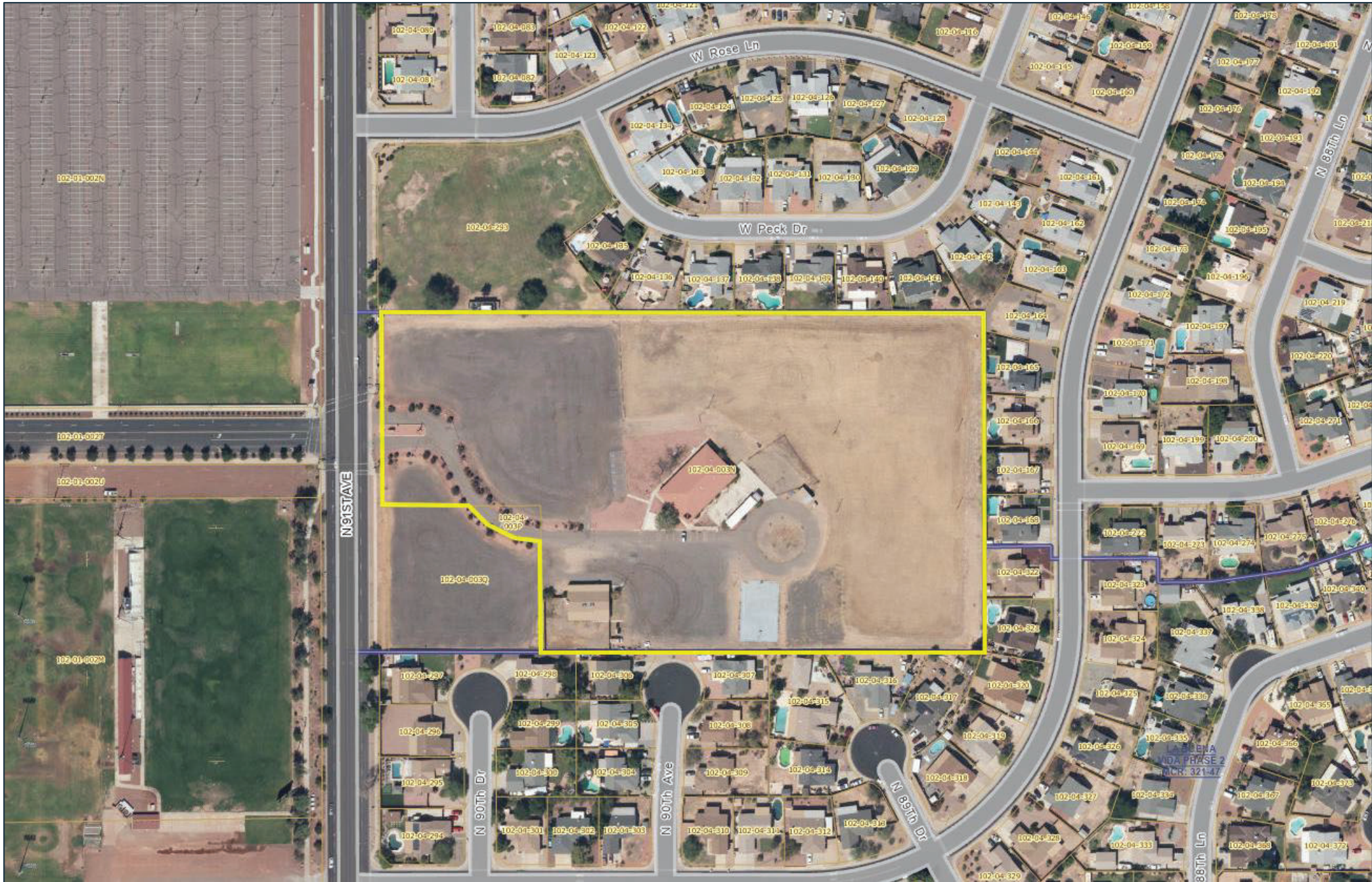
# Summary

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The proposed PAD is the ideal use of an infill parcel that is both surrounded by single-family homes and adjacent to the most intense commercial district in the City of Glendale. While it is not well-suited for new single-family detached development, the Property is perfectly positioned to create new home ownership opportunities in the missing middle. D.R. Horton has crafted a thoughtful and attractive residential community that appropriately balances the needs of existing residents, the prevailing land use patterns, and the realities of the current housing market.

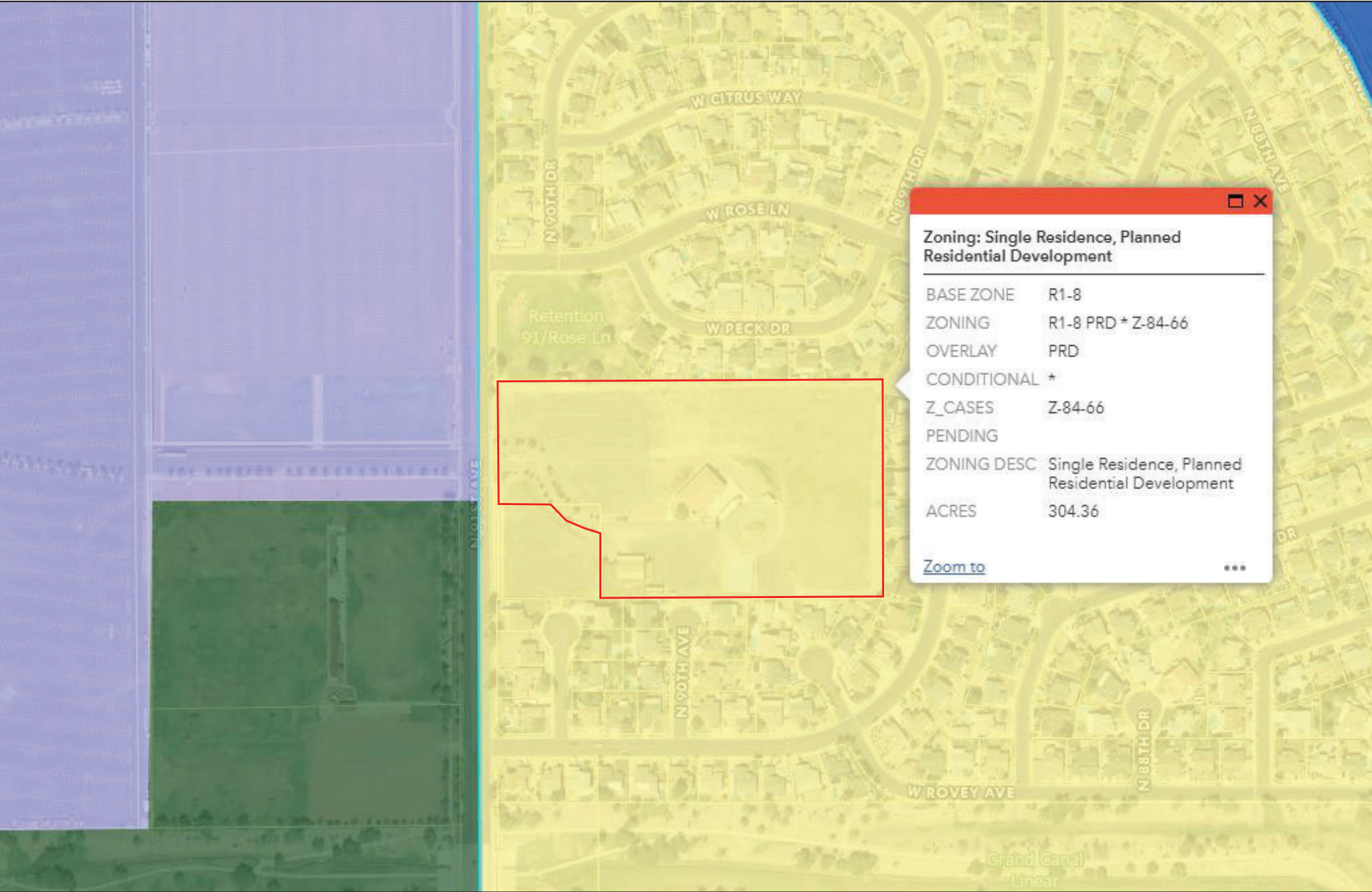
# TAB 1

# Aerial Map



**TAB 2**

# Zoning Map



**Zoning: Single Residence, Planned Residential Development**

BASE ZONE	R1-8
ZONING	R1-8 PRD + Z-84-66
OVERLAY	PRD
CONDITIONAL	*
Z_CASES	Z-84-66
PENDING	
ZONING DESC	Single Residence, Planned Residential Development
ACRES	304.36

[Zoom to](#) ...



**TAB 3**

# General Plan Map

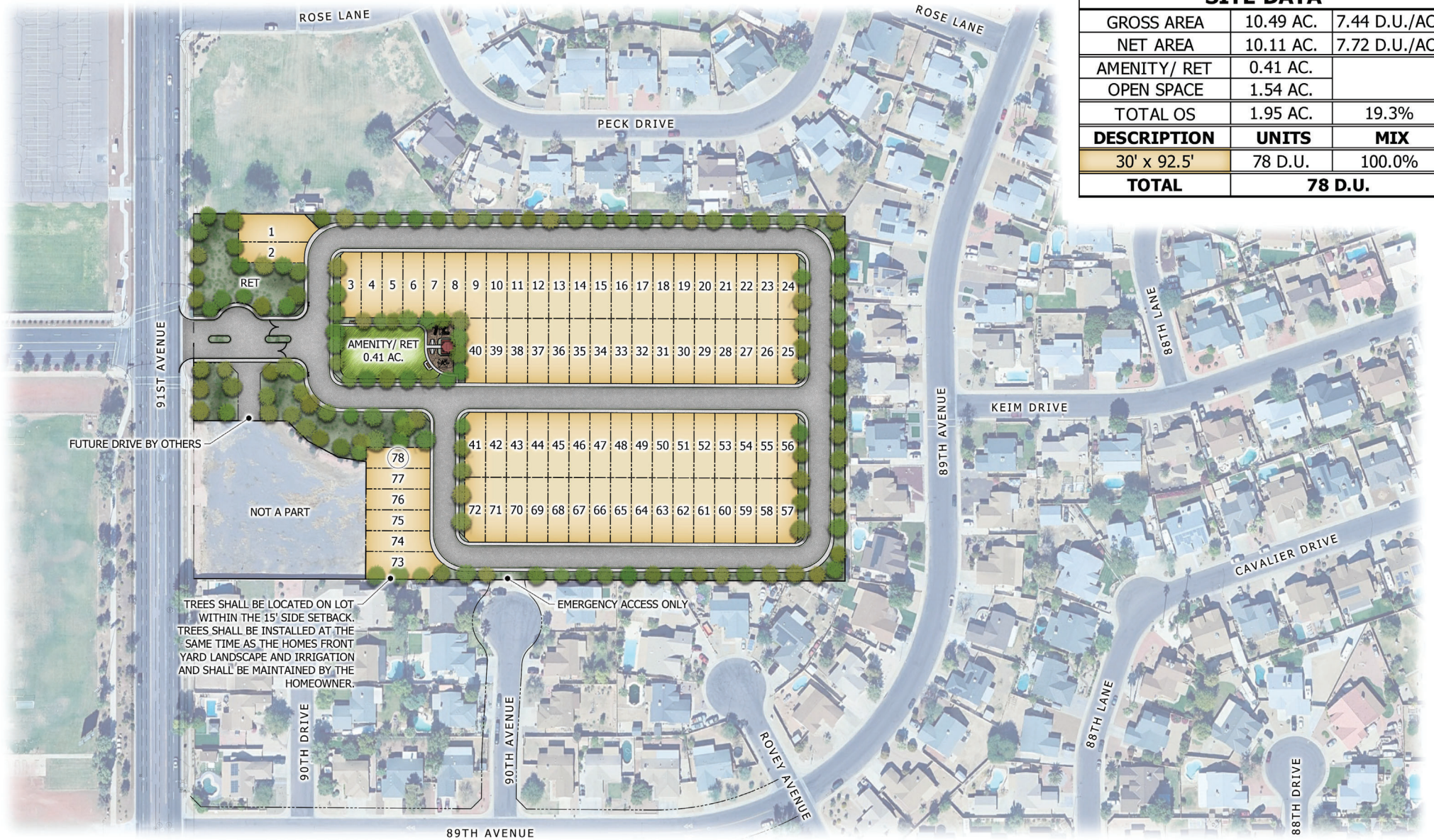
General Plan Categories	
<b>Residential</b>	
	LDR 1 - Low Density Residential 0 - 1 du/ac
	LDR 2.5 - Low Density Residential 1 - 2.5 du/ac
	MDR 3.5 - Medium Density Residential 2.5 - 3.5 du/ac
	MDR 5 - Medium Density Residential 3.5 - 5.0 du/ac
	MHDR 8 - Medium-High Density Residential 5.0 - 8.0 du/ac
	MHDR 12 - Medium-High Density Residential 8.0 - 12.0 du/ac
	HDR 20 - High Density Residential 12.0 - 20.0 du/ac
	HDR 30 - High Density Residential 20 - 30.0 du/ac
<b>Office</b>	
	OFC - Office
	BP - Business Park
<b>Commercial</b>	
	GC - General Commercial
	PC - Planned Commercial
<b>Industrial</b>	
	LI - Industrial
	HI - Heavy Industrial
<b>Mixed Use</b>	
	CCC - Corporate Commerce Center
	DMU - Downtown Mixed Use
	EMU - Entertainment Mixed Use
	RMU - Regional Mixed Use
<b>Special</b>	
	INST - Institutional
	EDU - Educational
	PF - Public Facilities
	LCLU - Luke Compatible Land Use Area
	POS - Parks And Open-Space

Principal  
Port

SITE

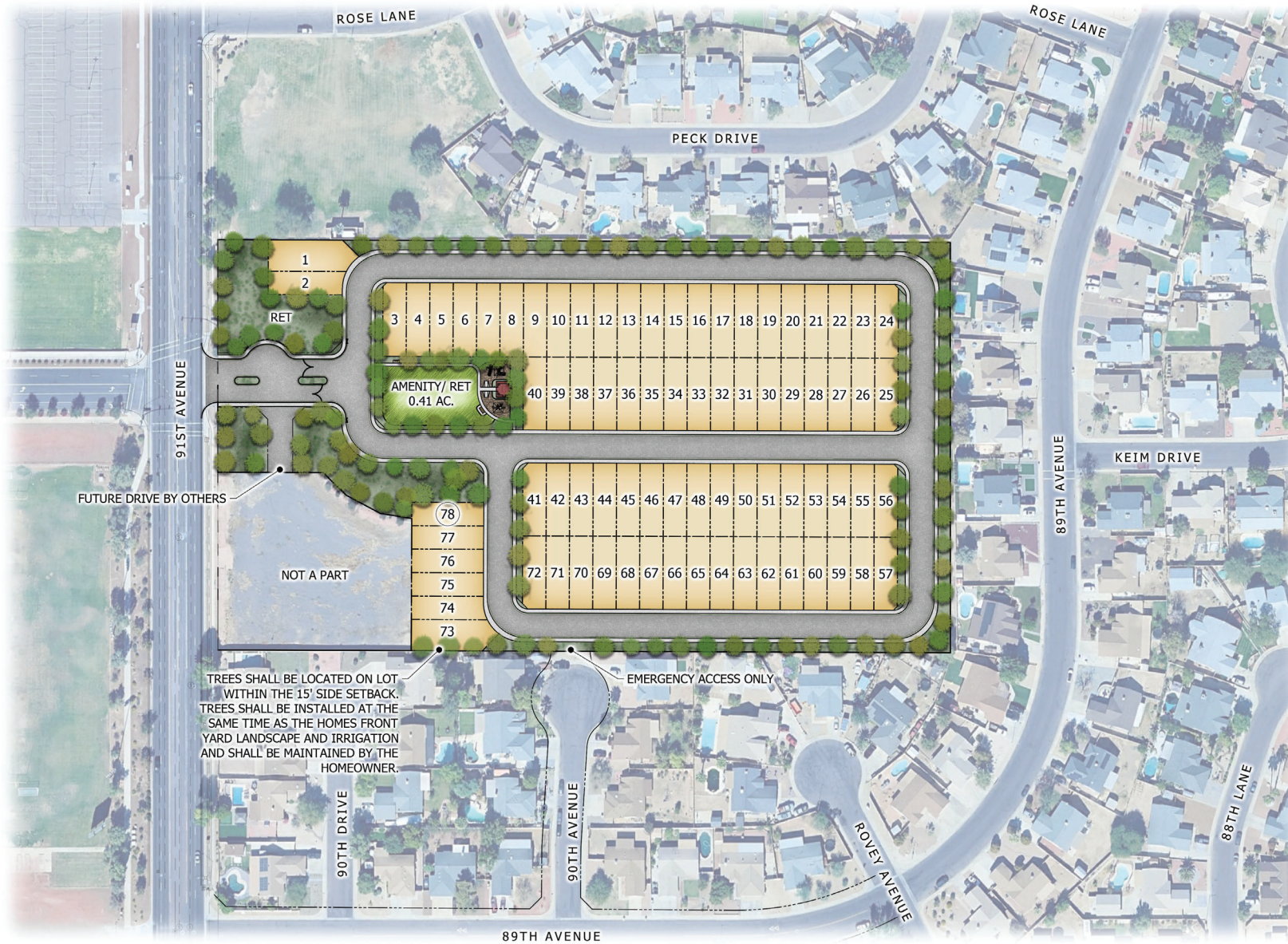


**TAB 4**



SITE DATA		
GROSS AREA	10.49 AC.	7.44 D.U./AC.
NET AREA	10.11 AC.	7.72 D.U./AC.
AMENITY/ RET	0.41 AC.	
OPEN SPACE	1.54 AC.	
TOTAL OS	1.95 AC.	19.3%
DESCRIPTION	UNITS	MIX
30' x 92.5'	78 D.U.	100.0%
<b>TOTAL</b>	<b>78 D.U.</b>	

# TAB 5



FUTURE DRIVE BY OTHERS

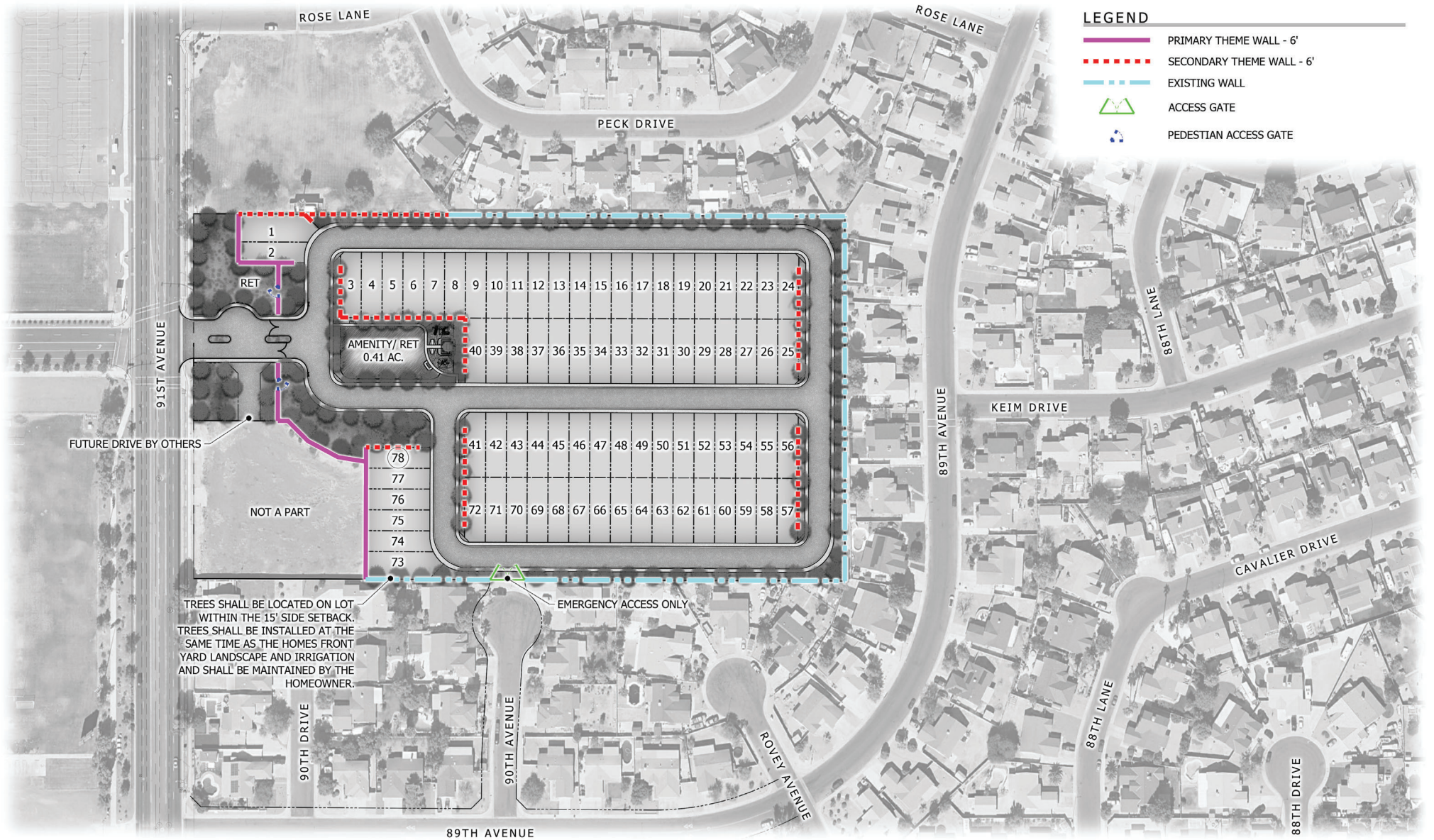
TREES SHALL BE LOCATED ON LOT WITHIN THE 15' SIDE SETBACK. TREES SHALL BE INSTALLED AT THE SAME TIME AS THE HOMES FRONT YARD LANDSCAPE AND IRRIGATION AND SHALL BE MAINTAINED BY THE HOMEOWNER.

EMERGENCY ACCESS ONLY

### Plant Materials Legend

Tree	
Acacia aneura	
Mulga Acacia	
Acacia willardiana	
Palo Blanco	
Caesalpinia cacalaco	
Cascalote	
Olea europaea 'Wilsonii'	
Wilsonii Olive	
Pistacia chinensis	
Chinese Pistache	
Quercus fusiformis	
Escarpment Oak	
Extra Large Shrubs	Size
Bougainvillea 'Rosenka'	5 gal.
Rosenka Bougainvillea	5 gal.
Caesalpinia mexicana	5 gal.
Mexican Bird of Paradise	5 gal.
Cordia parvifolia	5 gal.
Little Leaf Cordia	5 gal.
Tecoma alata 'Orange Jubilee'	15 gal.
Orange Jubilee	15 gal.
Large Shrubs	Size
Calliandra californica	
Red Fairy Duster	5 gal.
Cassia nemophila	
Desert Cassia	5 gal.
Leucophyllum langmaniae 'Lynn's Legacy'	
Lynn's Legacy Sage	5 gal.
Medium Shrubs	Size
Eremophila glabra spp. carnea	
Winter Blaze	5 gal.
Leucophyllum candidum 'Thunder Cloud'	
Thunder Cloud Sage	5 gal.
Rosmarinus officinalis	
Rosemary	5 gal.
Ruellia peninsularis	
Desert Ruellia	5 gal.
Small Shrubs	Size
Callistemon viminalis 'Little John'	
Little John Bottle Brush	5 gal.
Olea europaea 'Little Olive'	
Dwarf Olive	5 gal.
Groundcovers	Size
Eremophila prostrata	
Outback Sunrise Eremophila	gal.
Lantana sp.	
'New Gold' Lantana	1 gal.
Lantana sp.	
'New Red' Lantana	1 gal.
Cacti/ Accents	Size
Aloe hyb. 'Blue Elf'	
Blue Elf Aloe	5 gal.
Asclepias subulata	
Desert Milkweed	5 gal.
Dasyliirion longissimum	
Toothless Desert Spoon	5 gal.
Hesperaloe funifera	
Giant Hesperaloe	5 gal.
Hesperaloe parviflora 'Yellow'	
Yellow Yucca	5 gal.
Inerts	Qty
Decomposed Granite; 2" deep	
3/4" screened Color: Carmel	
Cobble	
See Detail X, Sheet LA7.X	
Midiron Sod	
See Detail X, Sheet LA7.X	
Concrete Header - 6" Wide	
See Detail X, Sheet LA6.X	

**TAB 6**



**TAB 7**

**1,966 SQ. FT. | 4 Bed 2.5 Bath 2 Story 2 Car**



**Elevation C**



**Elevation D**

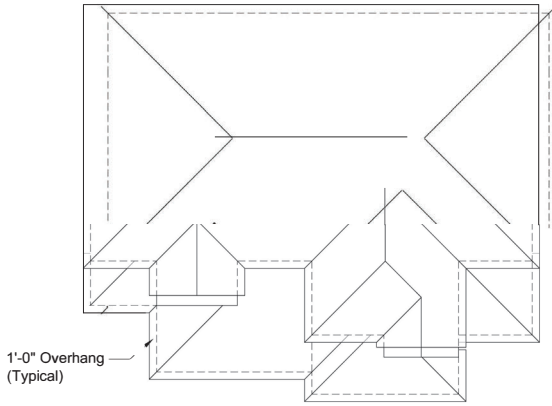
**1,983 SQ. FT. | 3 Bed 2.5 Bath 2 Story 2 Car**



**Elevation C**



**Elevation D**



1'-0" Overhang  
(Typical)

**Roof Plan**  
1/8" = 1'-0"



**Front Elevation**  
1/4" = 1'-0"

- Elevation Legend**
- Stucco exterior - Spanish Lace
  - Concrete Flat-Tile roof
  - Roll-up garage doors
  - Carriage lights
  - Decorative metal awning
  - Balconies
  - 1'-0" eaves
  - Recessed windows



**Left Elevation**



**Rear Elevation**



**Right Elevation**

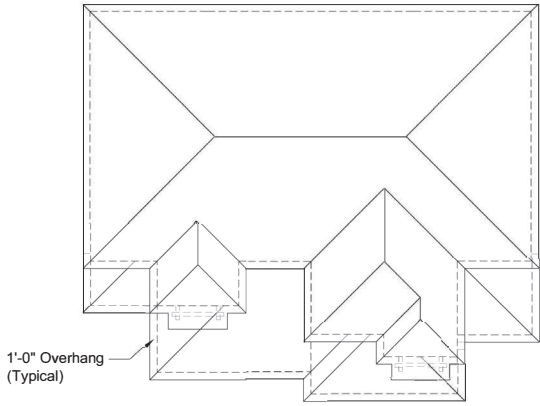
**Townhome - Plans 1 & 2 - Modern Elevation**

**91st Ave & Rovey**

Glendale, Arizona



PROJECT NO. 2022-000  
08.08.2023

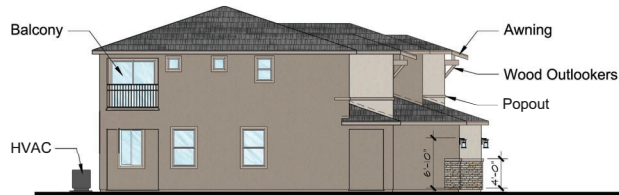


**Roof Plan**  
1/8" = 1'-0"



**Front Elevation**  
1/4" = 1'-0"

- Elevation Legend**
- Stucco exterior - Spanish Lace
  - Concrete Flat-Tile roof
  - Roll-up garage doors
  - Carriage lights
  - Painted wood kicker details
  - Brick accent
  - Balconies
  - 1'-0" eaves
  - Recessed windows



**Left Elevation**



**Rear Elevation**  
Ground Mounted Mechanical Equipment



**Right Elevation**

**Townhome - Plans 1 & 2 - Modern Desert Elevation**  
**91st Ave & Rovey**

Glendale, Arizona

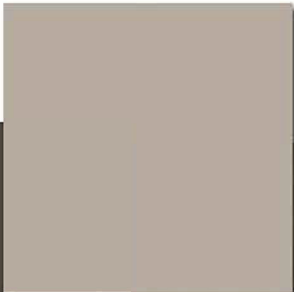


PROJECT NO. 2022-000  
08.08.2023

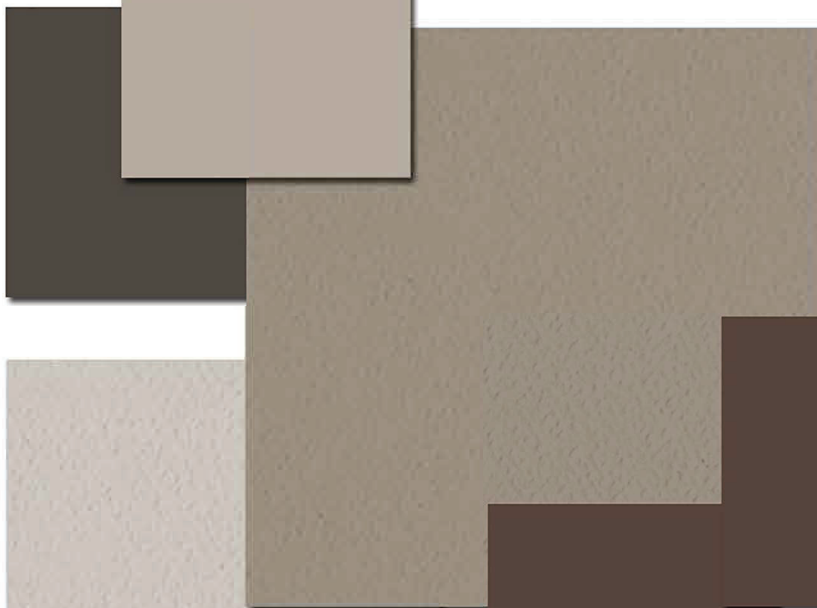
# *Westgate Parc*

## *Scheme - 1*

*Fascia/Trim*



*Stucco Base*



*Iron Detail*



*Entry Door*



*Stucco Accent*



*Garage Doors*



*Roof Tile*

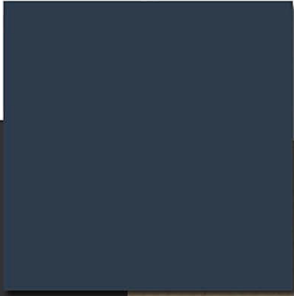


*Stone Veneer*

# Westgate Parc

## Scheme - 2

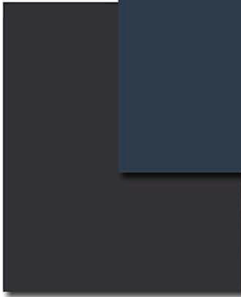
*Fascia/Trim*



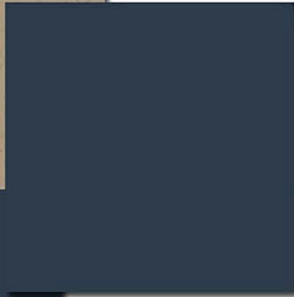
*Stucco Base*



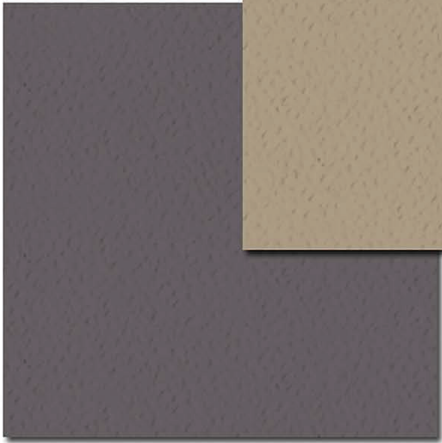
*Iron Detail*



*Entry Door*



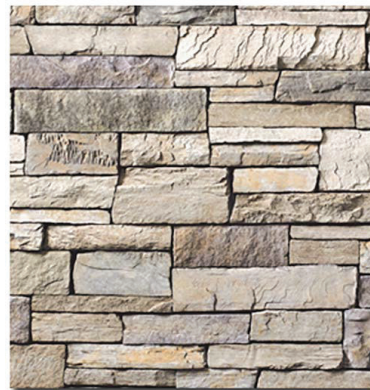
*Stucco Accent*



*Garage Doors*



*Roof Tile*

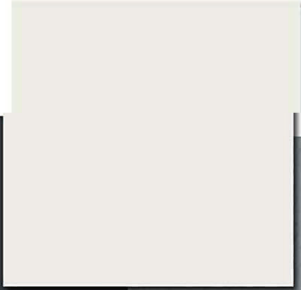


*Stone Veneer*

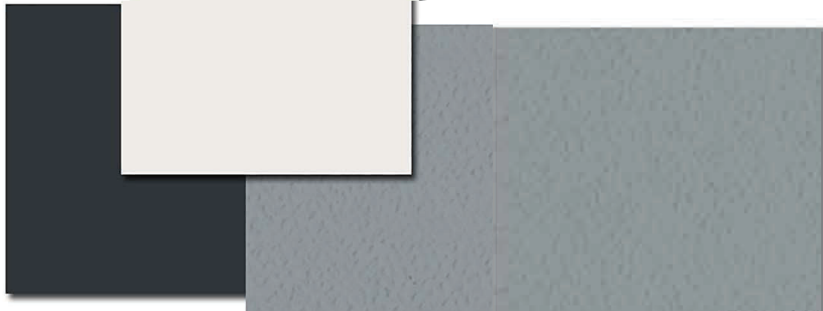
# Westgate Parc

## Scheme - 3

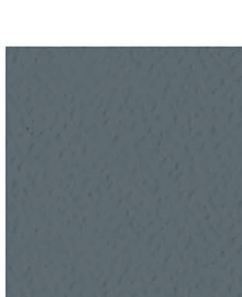
*Fascia/Trim*



*Stucco Base*



*Iron Detail*



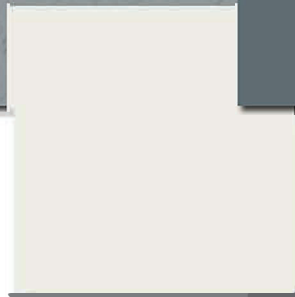
*Entry Door*



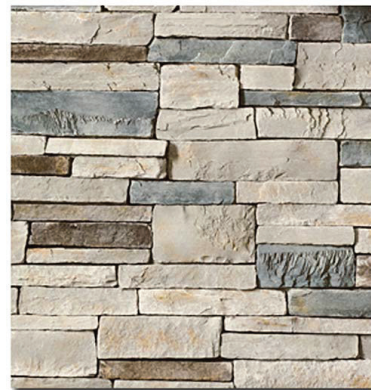
*Stucco Accent*



*Garage Doors*

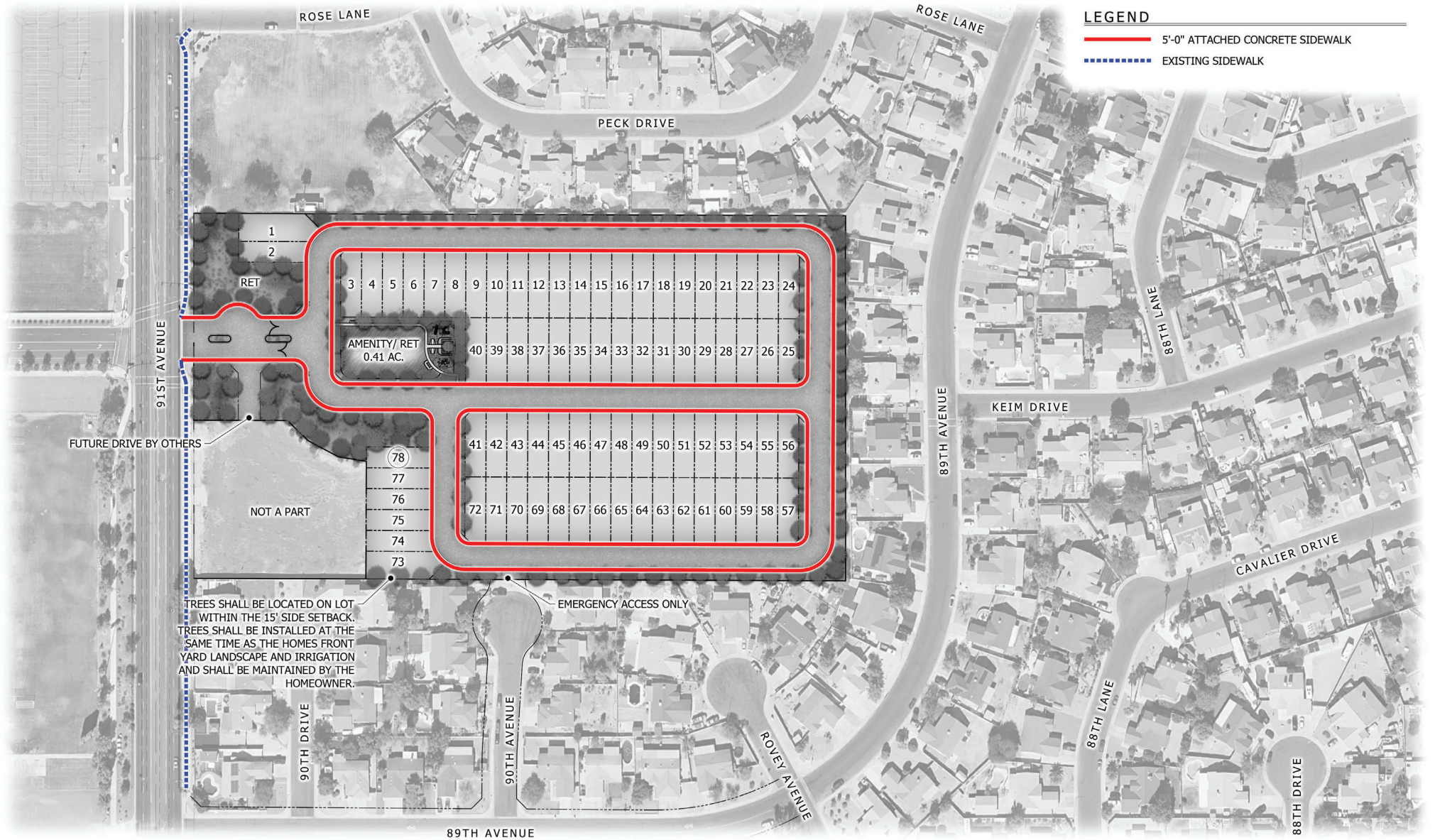


*Roof Tile*

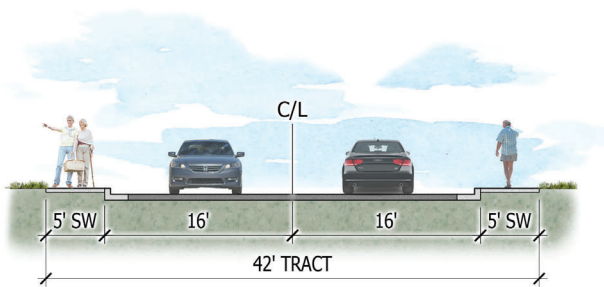


*Stone Veneer*

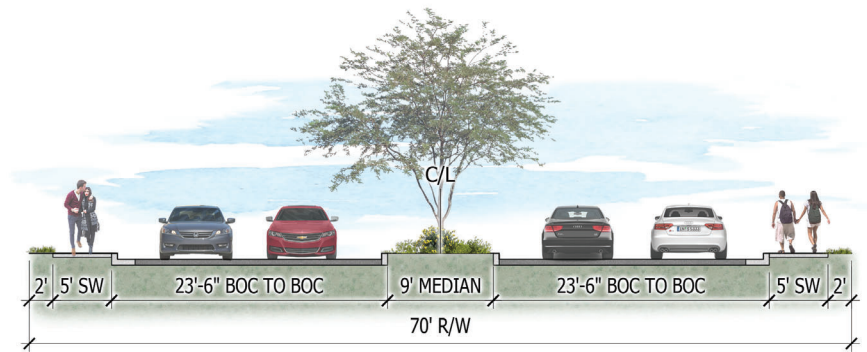
**TAB 8**



**TAB 9**



1 42' PRIVATE STREET



2 ENTRY ROAD

# Master Development Plan Set

1. Applicable Fire Code – 2024 International Fire Code (IFC) with local amendments.
2. Fire Department Permit Checklist shall be filled out and submitted with each permit application. The check list may be found on the city web page with the commercial application form.
3. Fire Hydrants – Number and spacing shall comply with 2024 IFC.
4. Fire lanes shall be a minimum of 20 feet wide. See 2024 IFC Appendix D for specific conditions requiring additional fire lane width.
5. Deferred plans shall be listed as deferred on the cover sheet of plans. (Ex: Sprinkler, fire alarm, gates, etc.)
6. Fire Access plans shall be submitted and include the following: fire hydrant locations, FDC locations, fire lane width, turn radius, sprinkler riser room location, fire lane sign locations (see 2024 IFC Appendix D and detail G434), Aerial fire apparatus access road (buildings over 30 feet), hose pull distances, etc.
7. Fire sprinkler and alarm system shall comply with 2024 IFC and local amendments.
8. The water supply for the building shall comply with 2024 IFC Appendix B. A water supply test shall be provided to document the available water supply complies with Appendix B.
9. New buildings with unknown occupancy type or hazard classification shall comply with 2024 IFC Code Amendment Section 903.2.13 for fire sprinkler density (.495 gpm/2000 sq.ft.).
10. Gates shall comply with Regulation 503 Fire Access Gates.

**Land Development**  
No additional comments at this time.

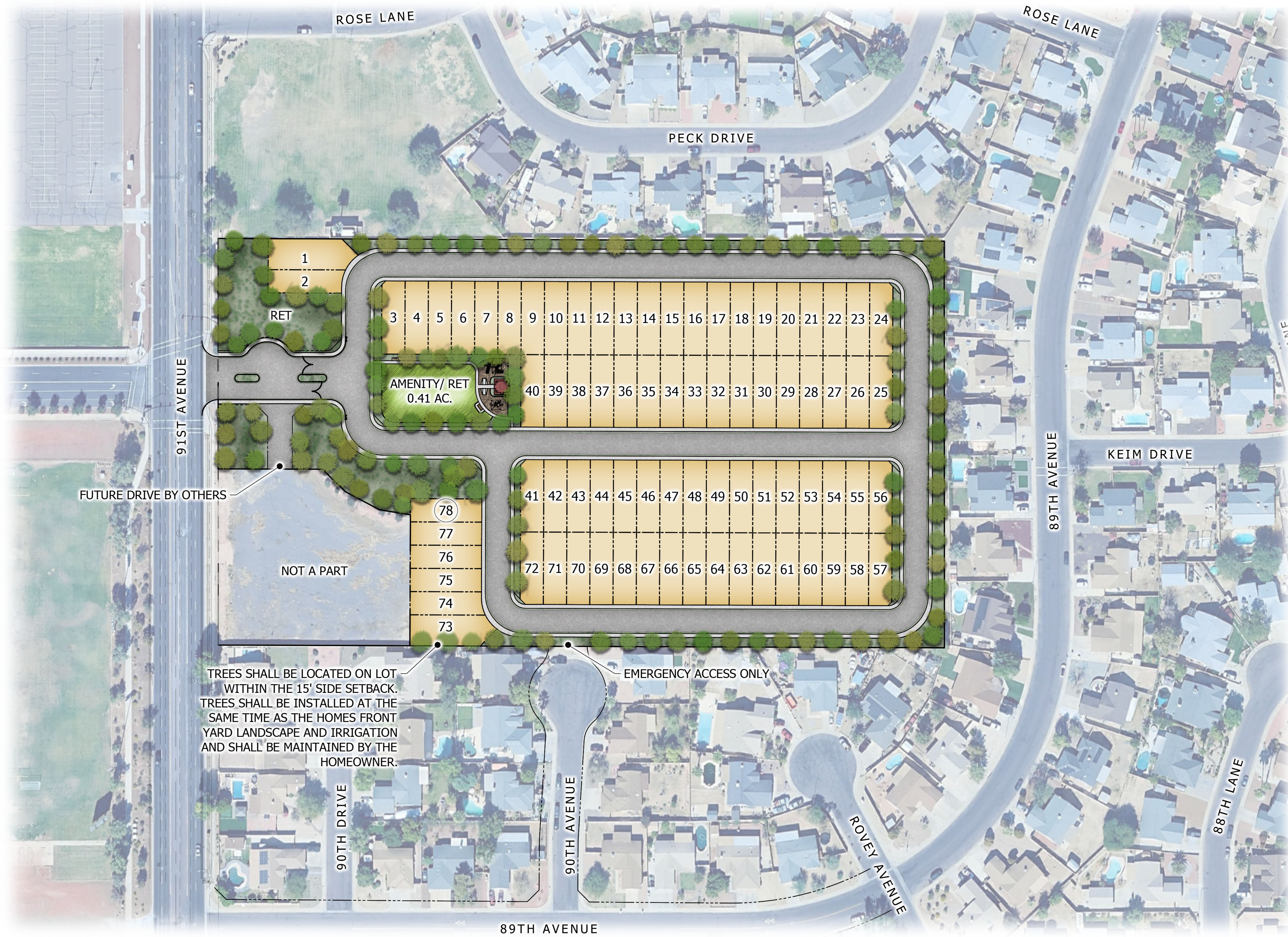
SITE DATA		
GROSS AREA	10.49 AC.	7.44 D.U./AC.
NET AREA	10.11 AC.	7.72 D.U./AC.
AMENITY/ RET	0.41 AC.	
OPEN SPACE	1.54 AC.	
TOTAL OS	1.95 AC.	19.3%
DESCRIPTION	UNITS	MIX
30' x 92.5'	78 D.U.	100.0%
<b>TOTAL</b>	<b>78 D.U.</b>	

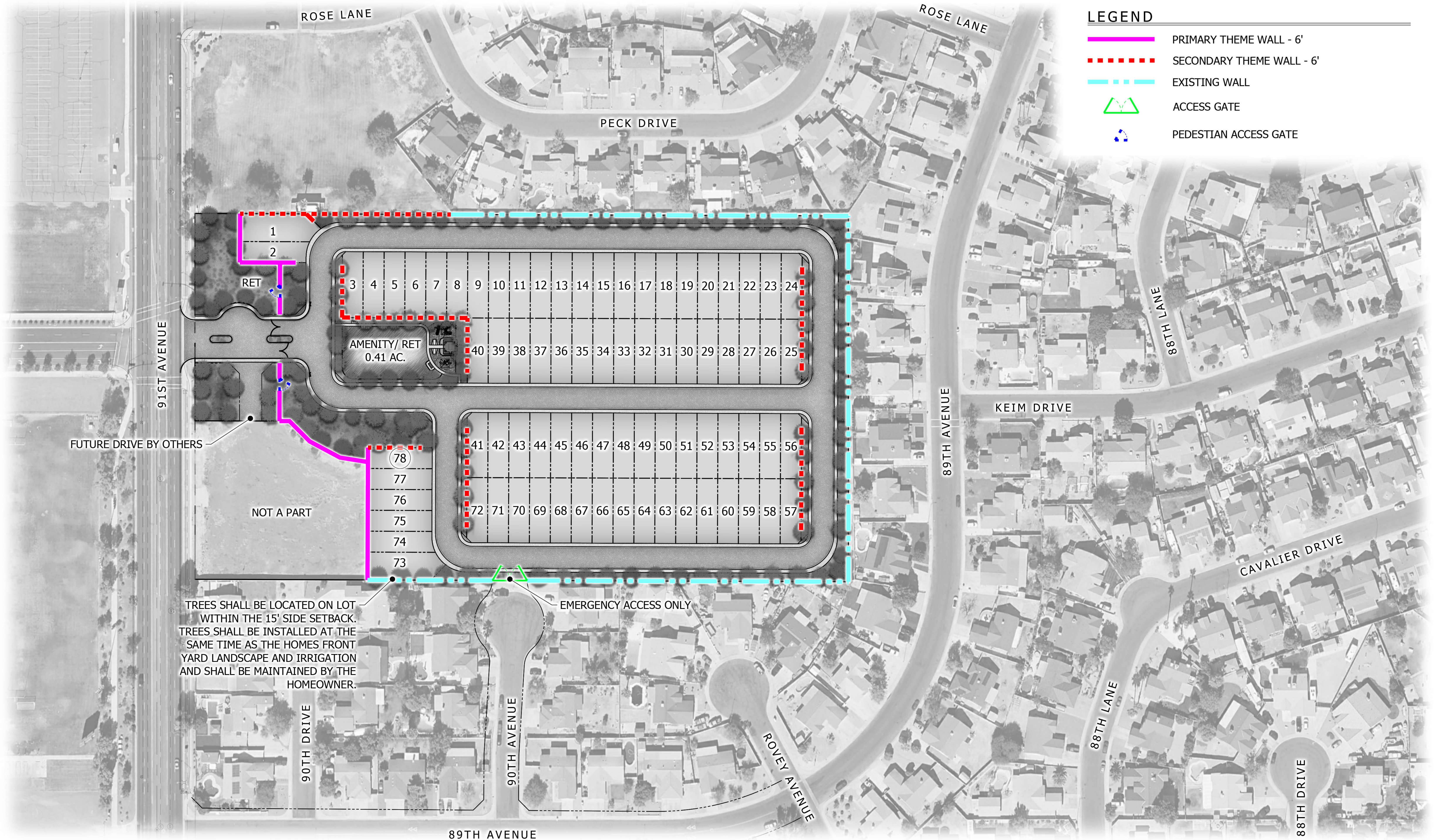


# Plant Materials Legend



Tree	
Acacia aneura	
Mulga Acacia	
Acacia willardiana	
Palo Blanco	
Caesalpinia cacalaco	
Cascalote	
Olea europaea 'Wilsonii'	
Wilsonii Olive	
Pistacia chinensis	
Chinese Pistache	
Quercus fusiformis	
Escarpment Oak	
Extra Large Shrubs	
Size	
⊙	Bougainvillea 'Rosenka'
⊙	Rosenka Bougainvillea
5 gal.	
⊙	Caesalpinia mexicana
5 gal.	Mexican Bird of Paradise
⊙	Cordia parvifolia
5 gal.	Little Leaf Cordia
⊙	Tecoma alata 'Orange Jubilee'
15 gal.	Orange Jubilee
Large Shrubs	
Size	
⊙	Calliandra californica
5 gal.	Red Fairy Duster
⊙	Cassia nemophila
5 gal.	Desert Cassia
⊙	Leucophyllum langmaniae 'Lynn's Legacy'
5 gal.	Lynn's Legacy Sage
Medium Shrubs	
Size	
⊙	Eremophila glabra spp. carnosa
5 gal.	Winter Blaze
⊙	Leucophyllum candidum 'Thunder Cloud'
5 gal.	Thunder Cloud Sage
⊙	Rosmarinus officinalis
5 gal.	Rosemary
⊙	Ruellia peninsularis
5 gal.	Desert Ruellia
Small Shrubs	
Size	
⊙	Callistemon viminalis 'Little John'
5 gal.	Little John Bottle Brush
⊙	Olea europaea 'Little Ollie'
5 gal.	Dwarf Olive
Groundcovers	
Size	
⊙	Eremophila prostrata
gal.	Outback Sunrise Eremophila
⊙	Lantana sp.
1 gal.	'New Gold' Lantana
⊙	Lantana sp.
1 gal.	'New Red' Lantana
Cacti/ Accents	
Size	
⊙	Aloe hyb. 'Blue Elf'
5 gal.	Blue Elf Aloe
⊙	Asclepias subulata
5 gal.	Desert Milkweed
⊙	Dasylium longissimum
5 gal.	Toothless Desert Spoon
⊙	Hesperaloe funifera
5 gal.	Giant Hesperaloe
⊙	Hesperaloe parviflora 'Yellow'
5 gal.	Yellow Yucca
Inerts	
Qty	
No Symbol	Decomposed Granite; 2" deep
3/4" screened Color: Carmel	
⊙	Cobble
See Detail X, Sheet LA7.X	
⊙	Midiron Sod
See Detail X, Sheet LA7.X	
⊙	Concrete Header - 6" Wide
See Detail X, Sheet LA6.X	



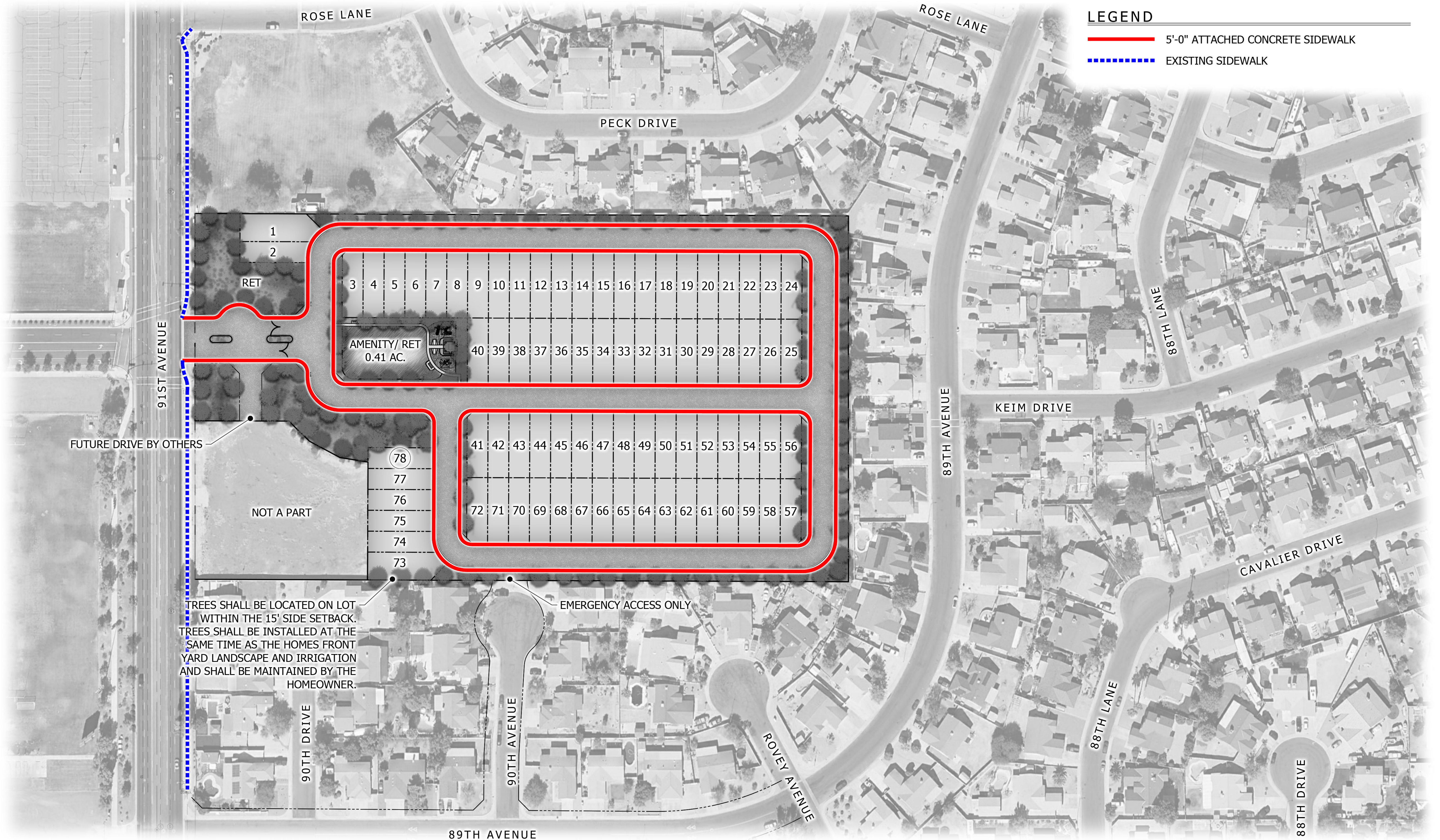


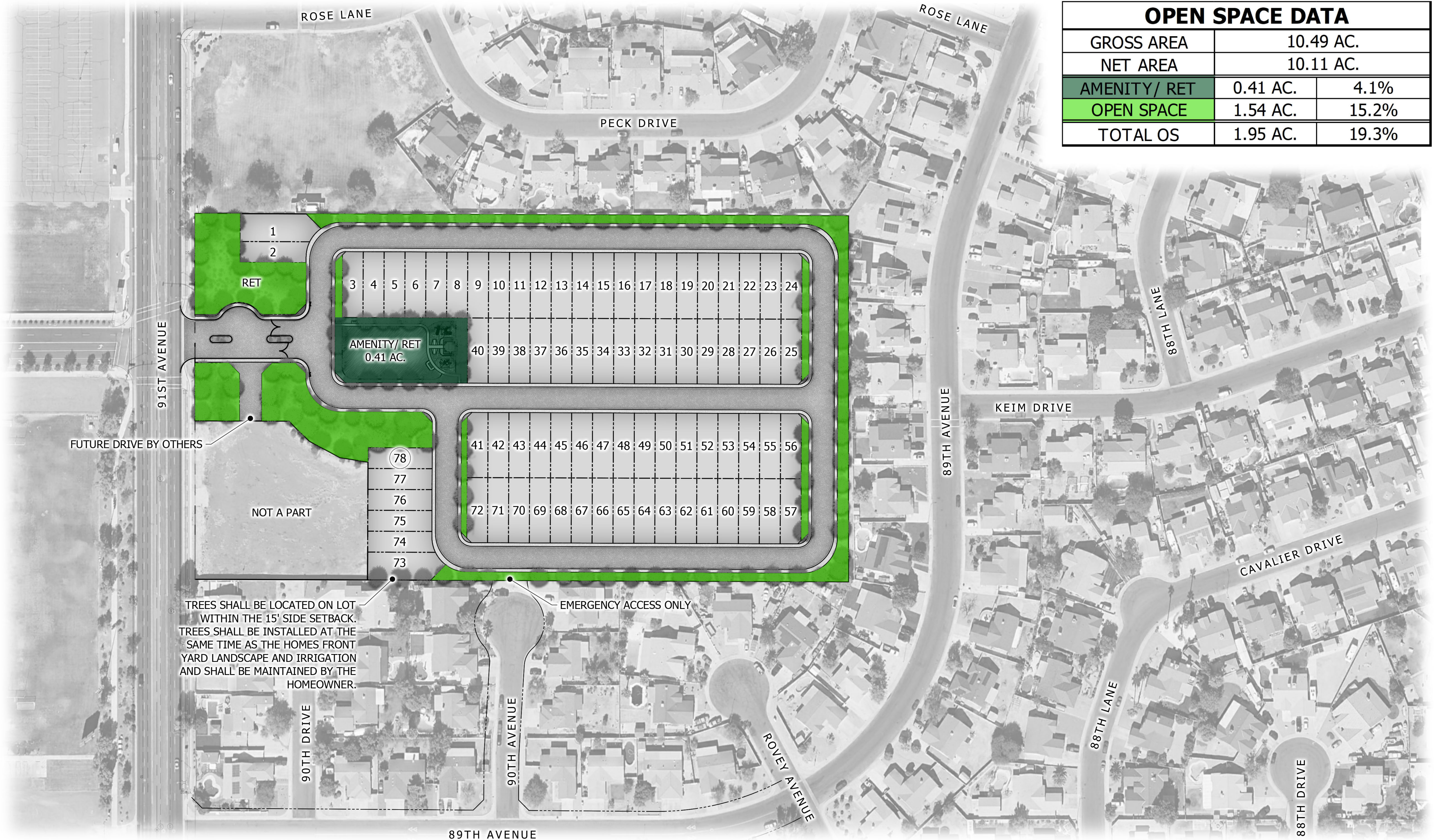
**LEGEND**

- PRIMARY THEME WALL - 6'
- - - SECONDARY THEME WALL - 6'
- · - · - EXISTING WALL
- ▲ ACCESS GATE
- ▲ PEDESTIAN ACCESS GATE

TREES SHALL BE LOCATED ON LOT WITHIN THE 15' SIDE SETBACK. TREES SHALL BE INSTALLED AT THE SAME TIME AS THE HOMES FRONT YARD LANDSCAPE AND IRRIGATION AND SHALL BE MAINTAINED BY THE HOMEOWNER.

EMERGENCY ACCESS ONLY





OPEN SPACE DATA		
GROSS AREA	10.49 AC.	
NET AREA	10.11 AC.	
AMENITY/ RET	0.41 AC.	4.1%
OPEN SPACE	1.54 AC.	15.2%
TOTAL OS	1.95 AC.	19.3%

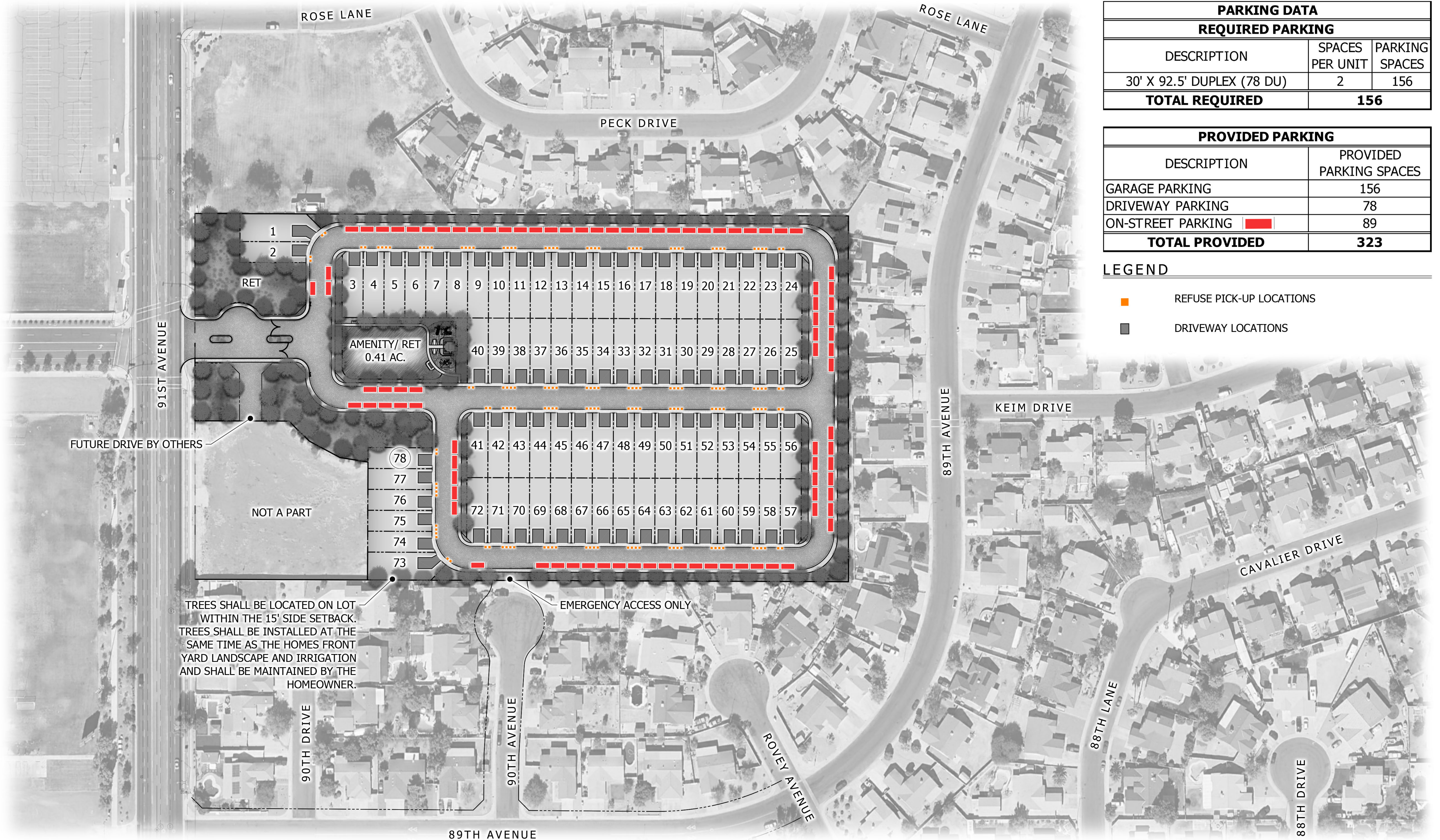
FUTURE DRIVE BY OTHERS

NOT A PART

AMENITY/ RET  
0.41 AC.

TREES SHALL BE LOCATED ON LOT WITHIN THE 15' SIDE SETBACK. TREES SHALL BE INSTALLED AT THE SAME TIME AS THE HOMES FRONT YARD LANDSCAPE AND IRRIGATION AND SHALL BE MAINTAINED BY THE HOMEOWNER.

EMERGENCY ACCESS ONLY



PARKING DATA		
REQUIRED PARKING		
DESCRIPTION	SPACES PER UNIT	PARKING SPACES
30' X 92.5' DUPLEX (78 DU)	2	156
<b>TOTAL REQUIRED</b>		<b>156</b>

PROVIDED PARKING	
DESCRIPTION	PROVIDED PARKING SPACES
GARAGE PARKING	156
DRIVEWAY PARKING	78
ON-STREET PARKING	89
<b>TOTAL PROVIDED</b>	<b>323</b>

**LEGEND**

- REFUSE PICK-UP LOCATIONS
- DRIVEWAY LOCATIONS