



HAWTHORNE PLANNING COMMISSION STAFF REPORT

DATE: March 19, 2025
SUBJECT: 2022CU11 and 2022DR06
FROM: Gregg McClain, Director of Planning
BY: Nathan Levey, Associate Planner

PROJECT INFORMATION

SUMMARY: Conditional use permit (CUP), design review application, and street vacation for a new hotel
LOCATION: 5151 El Segundo Blvd. (APN 4142-011-034)
APPLICANT: Mohammad Pournamdari
OWNER: 5151 El Segundo LLC

CONDITIONAL USE PERMIT

Introduction

Title 17 of the Hawthorne Municipal Code (HMC) governs hotels and Section 17.28.020 (Permitted Uses) of the HMC stipulates that hotels be subject to approval of a CUP by the Planning Commission. The project site previously received entitlements from the Planning Commission in 2013 for a hotel of 129 rooms and 6 stories. In 2016, an amendment to increase the number of guestrooms to 135 was approved. These entitlements expired in June of 2019 so approval of a new CUP is required for the hotel. The current application is a request for approval to develop a Home2 branded 6-story hotel with 142 guestrooms, associated parking, and airport shuttle service.

Project Description

As shown on the floor plans and elevations (Attachment 1), the hotel will consist of 142 guestrooms and 132 parking spaces. The first and second floors contain the required parking and hotel guests will utilize the elevators to access the third floor check-in and reception areas. Additionally, the third floor consists of 25 guestrooms, a terrace, dining area, fitness center, meeting and media rooms, and laundry. The fourth thru sixth floors

contain 39 guestrooms each and the roof will house the building's mechanical equipment.

Hotel guests and employees will have access to the hotel from El Segundo Boulevard. There will be no access to the hotel from Bart Street in the unincorporated neighborhood of Del Aire.

Table 1: Guestroom and Parking

Floor	Guestrooms	Parking
1	0	62
2	0	70
3	25	0
4	39	0
5	39	0
6	39	0
TOTAL	142	132

The terrace on the third floor is overlooking some residential homes to the northeast of the property; therefore, Staff recommends a condition of approval to limit its use to between 7:00am and 10:00pm as well as restrictions related to private functions and management supervision. The applicant is not requesting authorization to obtain an alcohol permit for this hotel so, if desired, that will require a separate CUP. Additionally, a special events application is required for any event that exceeds the use authorized in this CUP.

Existing Conditions

As seen in the aerial photo below, the project site is located on the northeast corner of El Segundo Blvd. and the San Diego Freeway. The site is 28,269 square feet and contains a small building to be demolished. Residential uses are to the north, northeast, and southeast in unincorporated county neighborhoods. A commercial center is to the east with an intervening railroad right-of-way that cuts diagonally across El Segundo Boulevard in front of the project site.



General Plan Consistency

The property is zoned General Commercial (C-3) and has a General Plan land use designation of General Commercial (GC), which is consistent. This designation provides for uses that serve both a local and regional markets and a hotel is compatible with this designation.

The project is consistent with the Economic Development Element as follows:

***Goal 1:** The City will promote, assist and contribute to a sound local economy which attracts investments, increases the tax base, creates employment opportunities for Hawthorne residents and generates public revenues.*

The development will create jobs, generate tax revenue through transient occupancy taxes, and bring potential customers to adjacent commercial establishments. The increase of visitors to the City potentially boost business and contributes to the economy.

The development project is consistent with Goals and Policies of the Land Use Element as follows:

***Goal 1:** The City shall expand current efforts to attract and enhance commercial development.*

***Policy 1.1:** The Century Freeway (I-105) and San Diego Freeway (I-405) Corridors shall be planned for regionally-oriented commercial uses where appropriate.*

***Policy 1.4:** The City shall support and encourage the rehabilitation or renovation of existing buildings or structures or the conversion of obsolete and/or chronically vacant*

storefronts from their original or most recent use to a new compatible, economically viable, and sustainable use.

The development meets the goal and policies by revitalizing a long-vacant property. The hotel will be well situated with various commercial uses within walking distance and good freeway visibility.

Zoning Ordinance Compliance

The project is consistent with the C-3 zone, which allows for hospitality uses with approval of a CUP. The project meets the development standards of the C-3 zone as well. There is no height limitation within the zone but any structures above five stories requires a CUP. Since the hotel is proposed at six stories, the height issue also requires a CUP. Both the use and the height are covered by the same CUP application. Additionally, the C-3 zone does not have minimum setback requirements so the hotel is proposed to be built to the property lines with the exception of a triangular area to the northeast of the property (See page 2 of site plan).

Per HMC Section 17.58.030(B)(11)(a), parking for hotels that provide a restaurant or conference space is calculated at one space for the first 100 rooms; 0.75 space for each of the next 50 rooms; and 0.5 space for each room above 150. Compact spaces are permitted per HMC 17.58.040(H)(1) up to 30% of the total parking spaces for 31 spaces and up. Based on this formula, the hotel requires 132 parking spaces, of which 39 are compact spaces and 4 are ADA accessible.

Table 2: Parking

Rooms	Required	Provided
142 first 100 rooms	100	100
next 42 rooms	31.2	32
Total	131.2	132

HMC 17.28.050 specifies the maximum floor area to be contained in all buildings on a lot shall not exceed 2.5 times the area of the lot. The lot area measures 28,269 square feet and total floor area is 70,672 square feet, which makes the floor are ratio just under 2.5.

General Compatibility

The project is compatible with the surrounding area because the orientation of the parking and guest access does not provide for access from the adjacent residential neighborhood. Conditions of approval are proposed to minimize potential noise and security issues associated with the outdoor terrace.

There is a triangular portion of the east side of the lot that is not proposed to be used as part of the structure. This creates a potential nuisance so the applicant has provided landscape plans for this area.

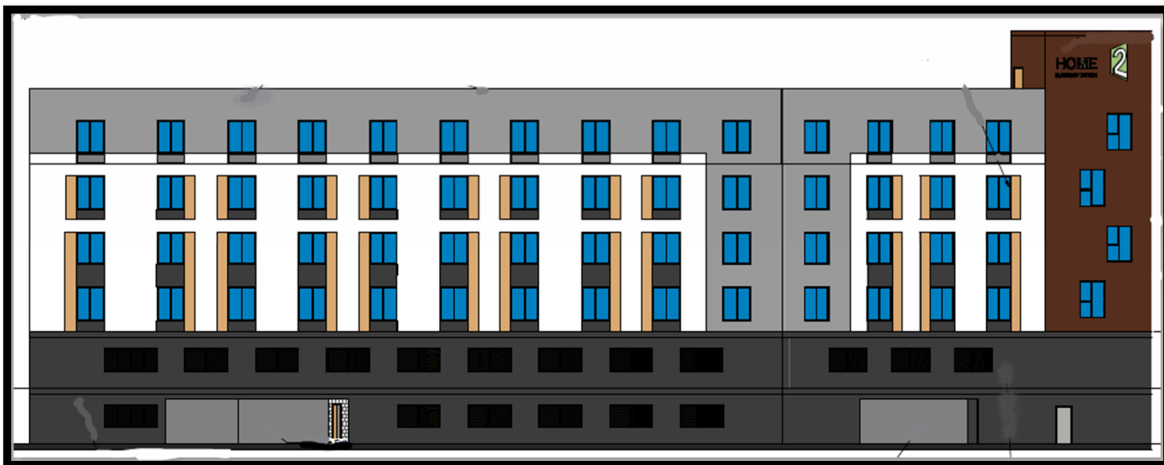
DESIGN REVIEW

Introduction

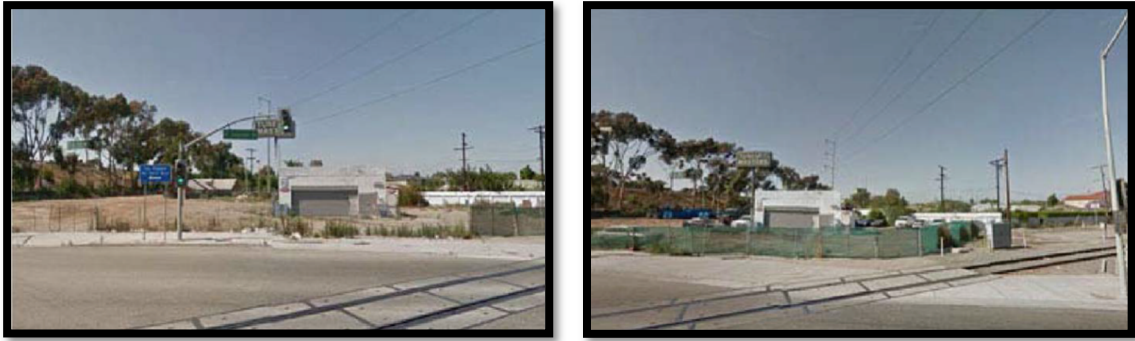
Design Review Application 2022DR06 is a request to approve the proposed exterior facade and site design for a new six-story hotel. In accordance with HMC Chapter 17.99, the design review process is intended to reasonably insure and encourage an orderly, attractive, and harmonious appearance of structures, property, and associated facilities, such as signs, landscaping, and parking areas. The Planning Commission was appointed as the design review authority and is tasked to ensure projects meet or exceed the requirements of Chapter 17.99.

Project Description

The applicant is proposing a new six-story hotel with a third floor terrace. The architectural style of the hotel is in concert with Hilton's Home2 brand, which provide a contemporary look as shown in the renderings below.



The renderings indicate driveway access to parking in the eastern portion of the building. This has been updated to provide entry and exit only through the opening in the western side of the building. Site plans have been updated to reflect this, but renderings have not be updated at this point.



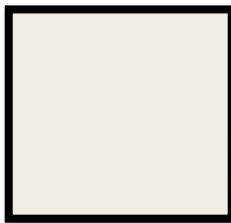
Street views looking north

Architectural Style—Materials and Colors:

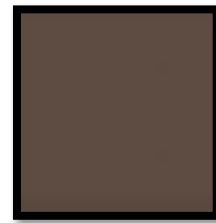
The applicant is proposing a contemporary exterior facade for the building. HMC Section 17.99.110—Design Guidelines, specifies architectural styles and materials proposed shall be consistent throughout the project site. The current design options of Hilton’s Home2 brand typically have a contemporary look, both in the interior and exterior. The applicant is proposing to utilize primarily stucco in a variety of colors with some walls containing stone facades in a dark color (See site plan, pages 12 & 13).



Dark Gray



Cream



Dark Brown

The color combinations above serve as the required base, accent, and trim colors and meet the requirements of the design review regulations and Section 17.30.010 for commercial buildings.

The Dark Stone indicated on the renderings for some of the exterior walls, on the lower levels of the hotel, were not provided. The applicant indicates that samples or photographs of the stone to be used will be presented at the public hearing. If, for some reason, this is not available by the time of the hearing, Staff will recommend a condition of approval requiring a rendering with all of the colors and materials utilized be submitted to bring back to the Planning Commission for approval at a later date.

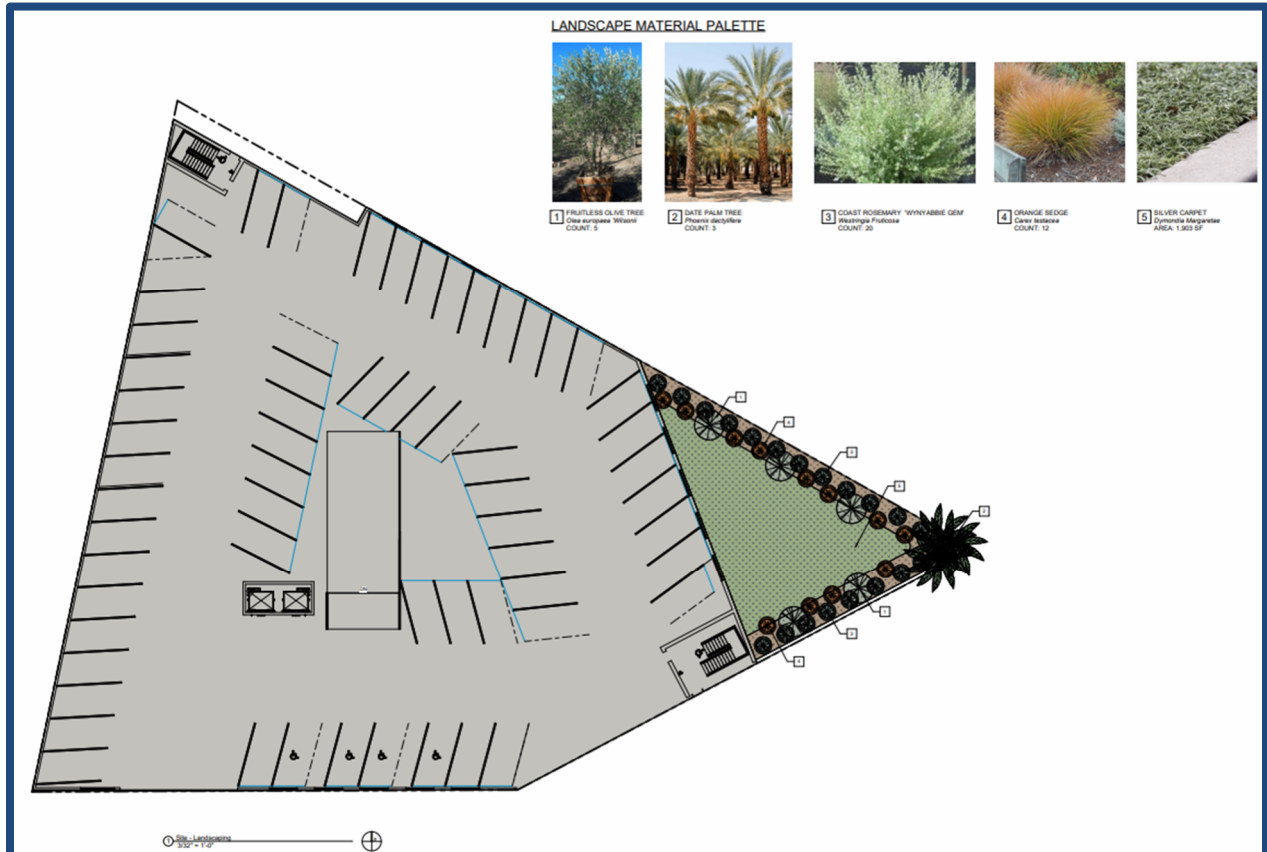
Landscaping

The applicant provided landscape plans for the eastern portion of the project. This landscaping covers approximately 3,000 square feet. All five of the proposed plants are drought tolerant and include:

- Fruitless Olive Trees
- Date Palm Trees

- Coast Rosemary
- Orange Sedge
- Silver Carpet

No further landscaping would be required under the HMC as there is no exterior parking being provided. The layout of the landscaping is seen, below.



Signs

The renderings are sparse in terms of signs on the property and indicate only one wall sign will be placed on the south elevation. Per HMC Section 17.35.110, the hotel is permitted to place signs on the property. Any additional signs will be evaluated by Staff to ensure they are in harmony with the style of the building and do not exceed the allocated permitted square footage for the property.

Required Design Review Findings

HMC Chapter 17.99 specifies the Planning Commission must make the following findings prior to granting an approval of a design review application:

1. The location, size, design and characteristics of the proposed project will be compatible with and will not be detrimental to the public health, safety, or welfare of persons residing in or working in or adjacent to the proposed project;

The proposed project is compatible with the surrounding area because the orientation of the parking and guest access does not provide for access from the residential neighborhood located to the north of the site. The General Commercial zone is an ideal use for hotels. Hotels are economically viable and a sustainable use for the City. The proposed façade includes updated architectural elements found in contemporary style commercial buildings and will significantly update a location that has been plagued by blight.

2. The proposed design is suitable for its purpose, is harmonious with and relates properly to, the surrounding neighborhood, contiguous parcels, and the site itself.

The proposed design will replace a blighted property by introducing a new hotel with a contemporary building style. The overall design will be of quality that will preserve the integrity of, and upgrade, the existing commercial area.

3. The design of the proposed project is in accordance with the general plan and all applicable provisions of the zoning ordinance.

As detailed earlier in this report, Staff reviewed the Hawthorne Municipal Code and the General Plan and, as a result, Staff determined that the project is consistent with the Land Use Element of the General Plan and is in accordance with all applicable provisions of Title 17.

Public Hearing Notice

Public Notice (Attachment 2) was given in accordance with Chapter 17.06 of the HMC. The Planning Department published a public hearing notice in the local paper on March 6, 2025, and mailed notification to property owners within a 300-foot radius of the site.

Environmental Analysis

Staff reviewed the proposed development project in accordance with the California Environmental Quality Act (CEQA) guidelines. The proposed project is exempt from the requirements of preparing an Environmental Impact Report (EIR) or Negative Declaration because the project meets the criteria for a Class 32 Categorical Exemption pursuant to Section 15332, (In-Fill Development Projects) of CEQA. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no less than five acres that is completely surrounded by urban uses. The project site has no value as habitat for endangered, rare, or threatened species, approval will not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site is adequately serviced by all required utilities and public services.

HABITAT VALUE

As established in the Phase I Environmental Site Assessment (ESA) for this site, the project site began development between 1952 and 1963 with multiple structures being developed for commercial purposes. Since then, a series of different developments have occurred with the most recent being removal of all structures on the western portion of

the lot by 2002 and a commercial structure for vehicle maintenance in the eastern portion which has been vacant since at least 2012. The site is entirely surrounded by urban uses, including a railroad, a freeway, a main arterial road, and single family homes. Due to the previous development of the site as well as the surrounding uses, the project site has been determined to have no value as habitat for endangered, rare, or threatened species.

ENVIRONMENTAL IMPACTS

During the Planning Commission meeting in February of 2023, the Commission requested technical studies to be conducted to ensure there would be no significant effects relating to traffic, noise, air quality, or water quality. These studies were conducted in 2023 and the results indicated that there would be no impacts related to traffic as vehicle miles traveled (VMT) would actually decrease with the project (Attachment 8). Further, air quality and noise studies (Attachments 6 and 7, respectively) revealed that no significant impacts would occur to either during both construction and operation of the project.

Finally, the Phase I ESA (Attachment 5) examined the site for its potential risk to health and human safety as well as possible contamination of soil that may impact underlying groundwater. The Phase I did not find significant levels of contaminants in any tested samples. The study did identify a possible source of contamination as aerielly deposited lead (ADL). While no samples indicated the presence of elevated lead levels, the Phase I recommended a Soil Management Plan (SMP) be implemented. While not a significant impact, the City has still incorporated the requirement for an approved SMP into the Conditions of Approval for the CUP resolution.

Another issue mentioned by the Phase I ESA were the soil samples remaining on site from a previous Phase II ESA (Attachment 5, Exhibit F) conducted in 2022. This Phase II ESA tested soil samples for any impact caused by the previous use of the site as an automotive repair facility and the previous underground storage tanks. All compounds and chemicals tested for were either not detectable or below any level that would indicate further investigation or that any remediation would be required. As such, these soil samples do not represent a potential impact.

Based upon the technical studies conducted for this project site, project approval would not result in any significant effects relating to traffic, noise, air quality, or water quality.

NOTICE OF EXEMPTION

The proposed project meets all the requirements found in CEQA State Guidelines Section 15332 for in-fill development. The site's size and location are appropriate, the project is consistent with the General Plan, there would be no impact to sensitive habitats, all utility services can be provided, and technical studies validated that there would be no significant effects relating to traffic, noise, air quality, or water quality. As such, adoption of a Notice of Exemption under Class 32 for In-Fill Development is appropriate. Upon Planning Commission action, staff will file the Notice of Exemption (Attachment 9) with the Los Angeles County Clerk's office in compliance with CEQA.

CONCLUSION AND RECOMMENDATION

Based on staff's analysis of the issues and the recommended conditions of approval, the proposed hotel: 1) complies with the requirements of the HMC; 2) is compatible with adjacent land uses; and 3) will not result in any negative impacts to the surrounding neighborhoods. Accordingly, the Planning Department recommends that the Planning Commission adopt attached PC Resolution 2025-02 (Attachment 3) approving the CEQA determination and Conditional Use Permit 2022CU11 and adopt attached PC Resolution 2025-03 (Attachment 4) approving Design Review 2022DR06, subject to the conditions included in the resolutions.

ATTACHMENTS

- 1) Site Plans
- 2) Public Hearing Notice
- 3) PC resolution 2025-02 for CUP with conditions of approval
- 4) PC resolution 2025-03 for design review with conditions of approval
- 5) Phase I ESA
- 6) Air Quality Memo
- 7) Noise Memo
- 8) VMT Analysis
- 9) Notices of Exemption

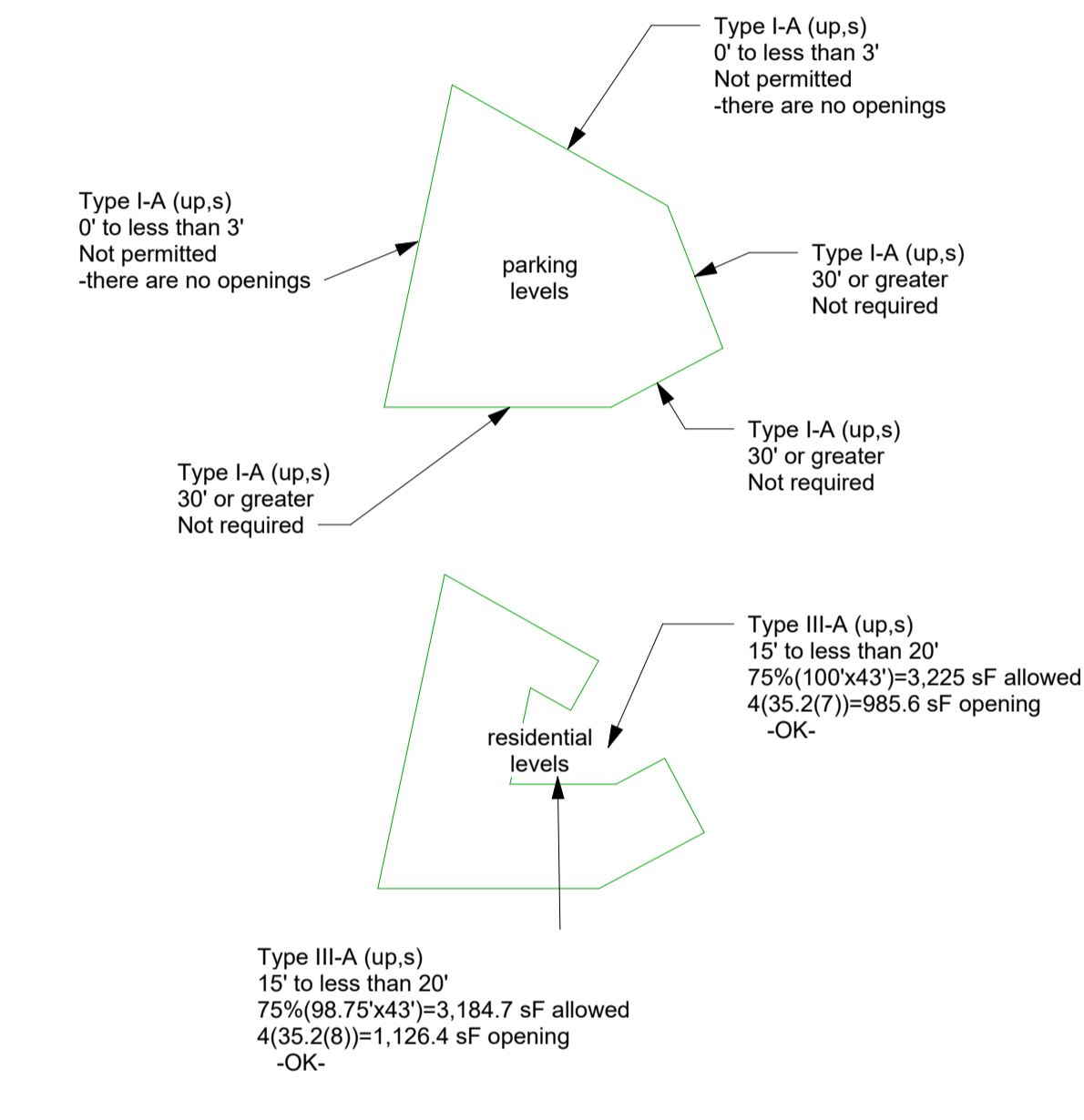
Attachment 1
Site Plans

Sheet List		
#	Sheet	Sheet Name
L-1	PRELIMINARY LANDSCAPING PLAN	
1	T 1.00	Title Sheet
2	A1.00	Site Plan
3	A2.00	Floor Plan 1st Floor Parking
4	A2.01	Floor Plan 2nd Floor Parking
5	A2.02	Floor Plan 1st Floor Residential
6	A2.03	Floor Plan 4th-6th Floor Residential
7	A2.04	Floor Plan Roof
8	A2.10	Reflected Ceiling Plan Parking
9	A2.11	Reflected Ceiling Plan Parking
10	A2.12	Reflected Ceiling Plan Residential
11	A2.13	Reflected Ceiling Plan Residential
12	A3.00	Elevations North & South
13	A3.01	Elevations West & East
14	A4.00	Details Enlarged Unit Plans
15	A4.01	Details Wall & Floor
16	A4.02	Details Stairs
17	A4.03	G2S 3500-CR
18	A5.00	Schedules Door
19	A6.00	Lanscaping Plan
20	A7.00	Perspective Renderings
21	F1.00	Fire Prevention Site Plan

Occupant Load & Exit Width Calculations:
per 11004.1.1 & cBc 1004, 1005.

1st Floor Residential:	19,258 sF	
R-1:	12,381.8 sF @200 gross	= 61.9
B:	(859.2+1,228.9) sF @100 gross	= 20.8
gYm:	873 sF @50 gross	= 17.4
aSm:	3,915 sF @15 net	= 261
		361.1
	361.1 / (2 Stairs) = 180.5 o.L. x (2) = 361.1	req 72" provided OK
2nd Floor Residential:	17,138 sF	
R-1:	17,138 sF @200 gross	= 85.6
	85.6 / (2 Stairs) = 42.8 o.L. x (2) = 85.6	req 72" provided OK
3rd Floor Residential:	17,138 sF	
R-1:	17,138 sF @200 gross	= 85.6
	85.6 / (2 Stairs) = 42.8 o.L. x (2) = 85.6	req 72" provided OK
4th Floor Residential:	17,138 sF	
R-1:	17,138 sF @200 gross	= 85.6
	85.6 / (2 Stairs) = 42.8 o.L. x (2) = 85.6	req 72" provided OK

Allowable Opening Calculations:
per 1602, 1715.4, & 715.5. cBc602.1, 705.8.2.



12. GUESTROOM TYPES:		
-GUESTROOM Q	=	117 guestrooms
-GUESTROOM K XWIDE	=	16 guestrooms
-GUESTROOM K SUITE	=	9 guestrooms
TOTAL:		142 GUESTROOMS

Landscaping Notes:

1. Lot Area:	28,269 sF.
2. Landscape Area Required:	5% = .05(19,696 sF) = 985 sF
3. Landscape Provided:	2,891 sF.

Fire Flow Calculations:

Type of Construction per Building Code:	Type III-A
Fire-flow Calculation Area:	Area 70,672 sF
Fire-flow based on the Fire-flow Area:	3,750 gPm
Reduction for Fire Sprinklers (max 50%):	1,875 gPm (not less than 2,000)
Total Fire-flow Required:	min 2,000 gPm <6,645@20 psi provided

Building Code Classification:

First Floor	S-2
Second Floor	S-2
Third Floor	B & R-1
Fourth Floor	R-1
Fifth Floor	R-1
Sixth Floor	R-1

Building Construction Type:

Garage (1st-2nd floors)-	Type I-A
Upper (3rd-6th Floors)-	Type III-A, Exterior wall min. 2hr w/ fire retardant treated wood

Building Area & Height Calculations:

R1/Type III-A; fully sprinklered (55/4story/16,000sF)
 A(a) = {A(t) + [A(t) x I(s)]}
 A(t) = 16,000 sF
 I(s) = 2
 A(a) = {16,000sF + [16,000sF x 2]}
 A(a) = {16,000 sF + [32,000 sF]}
 A(a) = 48,000 sF/Floor
 Per cBc509: 4story upper floor heights are 40'-0"=55'-0" (OK for typ III-A)

Fire Department Notes:

- Structures and outdoor storage underneath High Voltage Transmission Lines (66 kilovolts or greater) shall comply with Fire Code 316.6 and County of Los Angeles Fire Department Regulation 27. Any proposed construction or land use within 100 feet of the drip line of High Voltage Transmission lines shall be subject to review by the Fire Marshal.
- The area of fire fighting operations, as determined by the fire code official, shall not be located underneath High Voltage Transmission Lines. Fire CoDe 503.2.9
- Fire apparatus access roads and structures located near high-voltage transmission lines shall be posted with approved signs stating CAUTION OVERHEAD HIGH-VOLTAGE TRANSMISSION LINES as required by Fire Code 503.3.1. Specific sign locations shall be determined by the Fire Inspector.
- Approved building address numbers, building numbers or approved building identification shall be provided and maintained so as to be plainly visible and legible from the street fronting the property. The numbers shall contrast with their background, be Arabic numerals or alphabet letters, and be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Fire Code 505.1
- An approved key box, listed in accordance with UL 1037 shall be provided as required by Fire Code 506. The location of each key box shall be determined by the Fire Inspector.
- The fire hydrant requirements for this project are as follows: Install 1 Public fire hydrant. Fire Code 507.5, C105.2.2, & County of Los Angeles Fire Department Regulation 8.
- All fire hydrants shall measure 6"x4"x2-1/2", brass or bronze, conforming to American Water Works Association Standard C503, or approved equal, and shall be installed in accordance with the County of Los Angeles Fire Department Regulation 8.
- All required PUBLIC fire hydrants shall be installed, tested and accepted prior to beginning construction. Fire Code 501.4
- Plans Showing underground piping for private on-site fire hydrants shall be submitted to the Sprinkler Plan Check Unit for review and approval prior to installation. Fire Code 901.2, County of Los Angeles Fire Department Regulation 7
- Building Code Classification: (R-1&B) / S-2
- Building Construction Type: Garage Upper
- Building Area & Height Calculations: fully A(a) = {A(t) + [A(t) x I(s)]} I(s) = 2 A(a) = 16,000 sF A(a) = {16,000sF + [32,000 sF]} A(a) = 48,000 sF/Floor Per cBc509: 4story upper floor heights are 40'-0"=55'-0" (ok for typ III-B) Fire-Resistive Assemblies Calculations: less than 20'/Unprotected/Sprinklered/Shell not exceed 75%

Floor	Wall Area	Opening Area	Percentage
3rd Floor	6,310sF	1,683sF	26.6%
4th Floor	6,310sF	1,683sF	26.6%
5th Floor	6,310sF	1,683sF	26.6%
6th Floor	6,310sF	1,683sF	26.6%
4th Floor	6,310sF	1,683sF	26.6%
- Elevators, escalators, and moving walks shall comply with the requirements set forth in Building Code Chapter 30. Buildings and structures with one or more passenger service elevators shall be provided with not less than one medical emergency service elevator to all landings meeting the requirements of 3002.4.1a through 3002.4.7a. Building Code 3002.4a
- Provide an approved automatic fire sprinkler system as set forth by Building Code 903 and Fire Code 903. Plans shall be submitted to the Sprinkler Plan Check Unit for review and approval prior to installation. CBC 903.2.8
- Provide an approved Class 1 Standpipe system as set forth by Building Code and Fire Code 905. Submit plans to the Sprinkler Plan Check Unit for review and approval prior to installation. CBC 905.4
- The means of egress, and exit discharge, shall be illuminated at any time the building is occupied with a light intensity of not less than 1 foot-candle at the walking surface level. Building Code 1006.2
- The power supply for means of egress illumination shall normally be provided by the premises electrical supply. In the event of power failure, the emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. Building Code 1006.3
- Egress doors shall be readily openable from egress side without the use of a key or any special knowledge or effort. Building Code 1008.1.9
- Portable fire extinguishers shall be installed in locations as required by Fire Code 906.
- Dumpsters and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eaves, unless areas containing dumpsters or containers are protected by an approved automatic fire sprinkler system. Fire Code 304.3.3.
- Provide an approved automatic fire sprinkler system in accordance with the provisions set forth in Building Code Section 903.3 as required for the uses specified in Building Code Chapter 4, building area increase allowances specified in Building Code Section 506 and 507 and the occupancy groups specified in Building Code Section 903.2. Fire sprinkler plans shall be submitted to the sprinkler plan check for review and approval prior to installation in accordance with Fire Code 901.2.
- Provide an approved manual fire alarm or automatic smoke detection system in accordance with the provisions set forth in Fire Code 907 as required for the uses specified in Building Code Chapter 4 plus the occupancy groups and uses specified in Fire Code 907.2 through 907.2.29. Fire alarm and smoke detection plans shall be submitted to the Fire Alarm Plan Check Unit for review and approval prior to installation in accordance with Fire Code 901.2.
- Portable fire extinguishers shall be installed and maintained in all occupancy groups and at such locations as required by Fire Code 906 and California Code of Regulations, Title 19, Division 1, Chapter 3.
- Where elevators are provided in buildings four or more stories above or below grade at least one elevator shall be provided for medical emergency service to all floors by the fire department. The elevator car shall be capable of accommodating an ambulance gurney or stretcher 24 inches by 84 with not less than 5 inch radius corners. Medical emergency service elevators shall be identified by the international star of life symbol for emergency medical services. The star of life symbol shall not be less than 3 inches in height and shall be placed on both sides of the hoistway door frame as required by Building Code 3002.4
- Elevators shall be provided with phase I emergency recall operations and phase II emergency in-car operation in accordance with California Code of Regulations, Title 8, Division I, Chapter 4, Subchapter 6, Elevator Safety Orders as required by Building Code 3003.2.
- All elevators shall be equipped to operate with a standardized fire service elevator key in accordance with Fire 607.5 as required by Building Code 3003.3.
- CFC 403.10.1 Provide an approved fire life safety plan evacuation plan in accordance with 404 and shall comply with CFC 403.10.1.1 thru CFC 403.10.1.3.
- Emergency radio coverage required by CFC 510.1 thru CFC 510.6.3. All new buildings shall have approved radio coverage for emergency responders. CFC 510.4.1.1 Minimum signal strength into building shall be no less than 95dB. The first floor and second floor parking garages shall be provided with a mechanical smoke removal system. The system shall be designed in accordance with fire code chapter 9, section 910.4.



COUNTY OF LOS ANGELES FIRE DEPARTMENT
 FIRE PREVENTION DIVISION
 Fire Prevention Engineering
 5923 Rickenbacker Road
 Commerce, CA 90040
 Telephone (323) 890-4125 Fax (323) 890-4129

Information on Fire Flow Availability for Building Permit
 For All Buildings Other Than Single Family Dwellings (R-3)

INSTRUCTIONS:
 Complete parts I, II (A) when:
 Verifying fire flow, fire hydrant location and fire hydrant size.
 Complete parts I, II (A), & II (B) when:
 For buildings equipped with fire sprinkler systems, and/or private on-site fire hydrants.

PROJECT INFORMATION (To Be Completed By Applicant)

PART I

Building Address: 5151 W. El Segundo Blvd.
 City or Area: Hawthorne CA 90250
 Nearest Cross Street: 405 HWY
 Distance of Nearest Cross Street: 120 ft. N. 405 HWY
 Applicant: Four Prairie Inc. Telephone: (310) 6791320
 Address: 3950 W. Imperial HWY
 City: Inglewood 90303
 Occupancy (Use of Building): Hotel Sprinklered: Yes No
 Type of Construction: R1
 Square Footage: 20,000 Number of Stories: 6
 Present Zoning: C

Applicant's Signature: [Signature] Date: 12-07-15

PART II-A INFORMATION ON FIRE FLOW AVAILABILITY (To be completed by Water Purveyor)

Location: El Segundo, 52' w/o La Cienega

Distance from Nearest Property Line: ~30ft Size of Hydrant: 6 Water main: 12
 Static PSI: 62 Residual PSI: 54 Orifice size: 4 Pitot: 40
 Fire Flow at 20 PSI: 6645 Duration: 2 hours Flow Test Date / Time: 1/12/16 @ 4:39pm

Location: _____ Hydrant Number: _____
 Distance from Nearest Property Line: _____ Size of Hydrant: _____ Water main: _____
 Static PSI: _____ Residual PSI: _____ Orifice size: _____ Pitot: _____
 Fire Flow at 20 PSI: _____ Duration: _____ Flow Test Date / Time: _____

PART II-B SPRINKLERED BUILDINGS/PRIVATE FIRE HYDRANTS ONLY

Detector Location (check one) Above Grade Below Grade Either
 Backflow Protection Required (Fire Sprinklers/Private Hydrant) (check one) Yes No
 Minimum Type of Protection Required (check one) Single Check Detector Assembly
 Double Check Detector Assembly Reduced Pressure Principle Detector Assembly

Golden State Water Company
 Water Purveyor
 Signature: [Signature]
 Title: Operations Engineering Technician
 Date: 1/13/16

This information is considered valid for twelve months

Fire Department approval of building plans shall be required prior to the issuance of a Building Permit by the jurisdictional Building Department. Any deficiencies in water systems will need to be resolved by the Fire Prevention Division prior to the department's approval of building plans.

PROJECT ADDRESS: 5151 W. El Segundo

Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Engineer

Seal

Printed name

Signature

Date issued

Reg no.

Project Address
 5151 El Segundo Blvd.
 Hawthorne, CA 90250

dWn	Revision Date	cKr
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/9/2016	eG
JC	12/9/2016	eG
RLJ	12/4/2016	eG

Project No. 15-8151 Date: 05/28/2019
 Drawn by: RLJ Checked by: eGMP
 Scale:

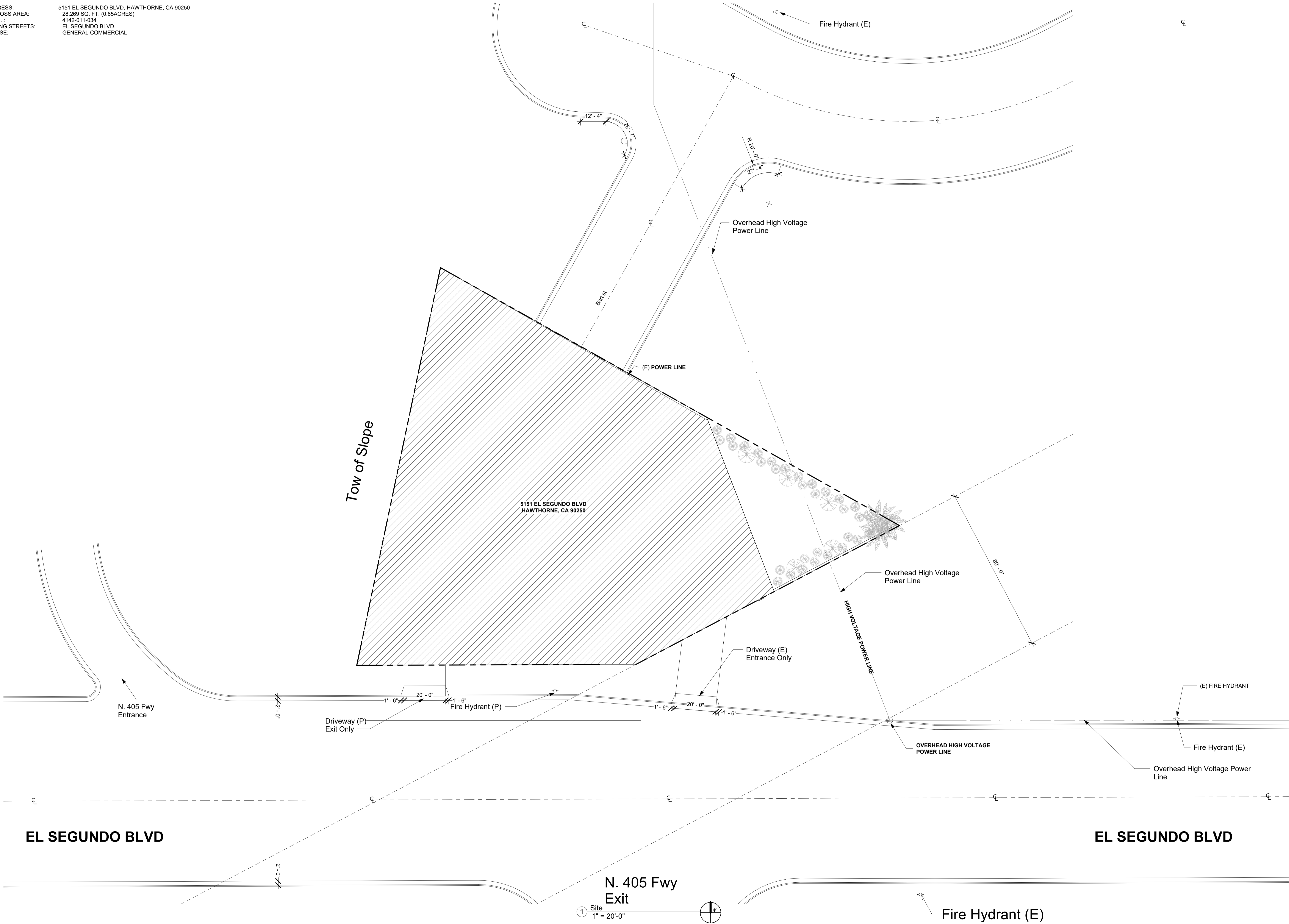
Title
 Title Sheet

Sheet number
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Sheet
 1 of 21

PROJECT NOTES:

PROJECT ADDRESS: 5151 EL SEGUNDO BLVD, HAWTHORNE, CA 90250
 1. LOT GROSS AREA: 28,269 SQ. FT. (0.65ACRES)
 2. APN NO.: 4142-011-034
 3. ABUTTING STREETS: EL SEGUNDO BLVD.
 4. LAND USE: GENERAL COMMERCIAL



Project Title
 Home2 (proposal)

Contact

Owner/Subdivider

Four Prairie Inc.
 3950 W. IMPERIAL HWY
 INGLEWOOD, CA 90303
 (310) 679-1320

Engineer

COOKE & ASSOCIATES
 3950 W. IMPERIAL HWY
 INGLEWOOD, CA 90303
 (310) 722-2707

Seal

Printed name

Signature

Date issued

Reg no.

Project Address

5151 El Segundo Blvd,
 Hawthorne, Ca 90250

ApN: 4142-011-034

dWn	Revision Date	ckr
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/9/2016	eG
JC	12/9/2016	eG

Project No.

15-5151

Date

05/28/2019

Drawn by

J

Checked by

eGMP

Scale

1" = 20'-0"

Title

Site Plan

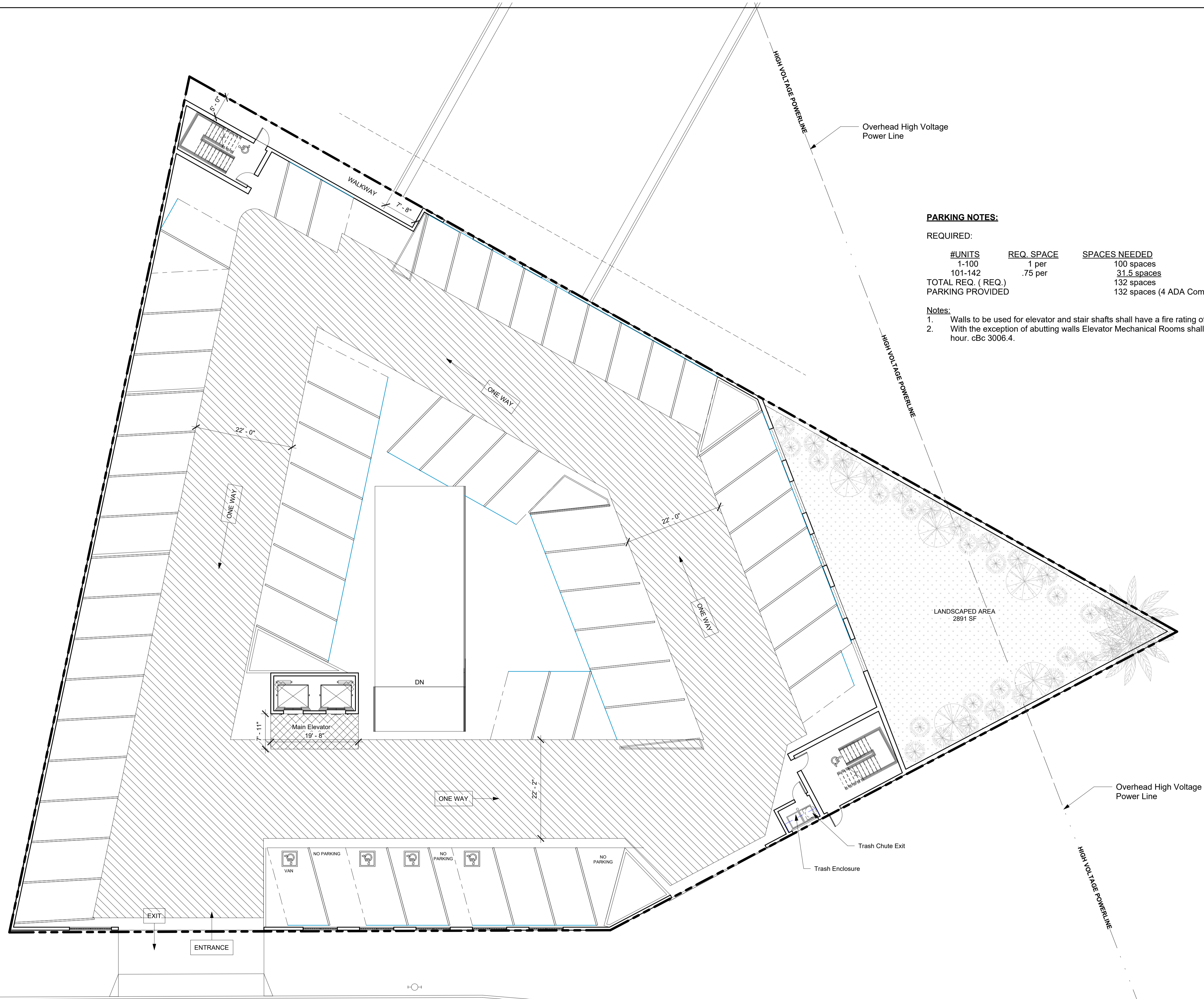
Sheet number

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Sheet

2 of 21

25/05/2019 4:38 PM



PARKING NOTES:

REQUIRED:

#UNITS	REQ. SPACE	SPACES NEEDED
1-100	1 per	100 spaces
101-142	.75 per	31.5 spaces
TOTAL REQ. (REQ.)		132 spaces
PARKING PROVIDED		132 spaces (4 ADA Compliant)

Notes:

1. Walls to be used for elevator and stair shafts shall have a fire rating of not less than 2 hour.
2. With the exception of abutting walls Elevator Mechanical Rooms shall walls shall have a fire rating of not less than 1 hour. cBc 3006.4.

- Notes:**
1. Walls to be used for elevator and stair shafts shall have a fire rating of not less than 2 hour.
 2. With the exception of abutting walls Elevator Mechanical Rooms shall walls shall have a fire rating of not less than 1 hour. cBc 3006.4.

① 1st Floor Parking
3/32" = 1'-0"



Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Four Prairie Inc.
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 679-1320

Engineer

COOKE & ASSOCIATES
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 722-2707

Seal

Printed name

Signature

Date issued

Reg. no.

Project Address

5151 El Segundo Blvd.
Hawthorne, CA 90250

Apk: 4142-011-034

dWn	Revision Date	cKr
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/5/2016	eG
JC	12/9/2016	eG

Project No.

15-8151

Drawn by

JC

Scale

3/32" = 1'-0"

Date

05/28/2019

Checked by

eGMP

Title

Floor Plan 1st Floor
Parking

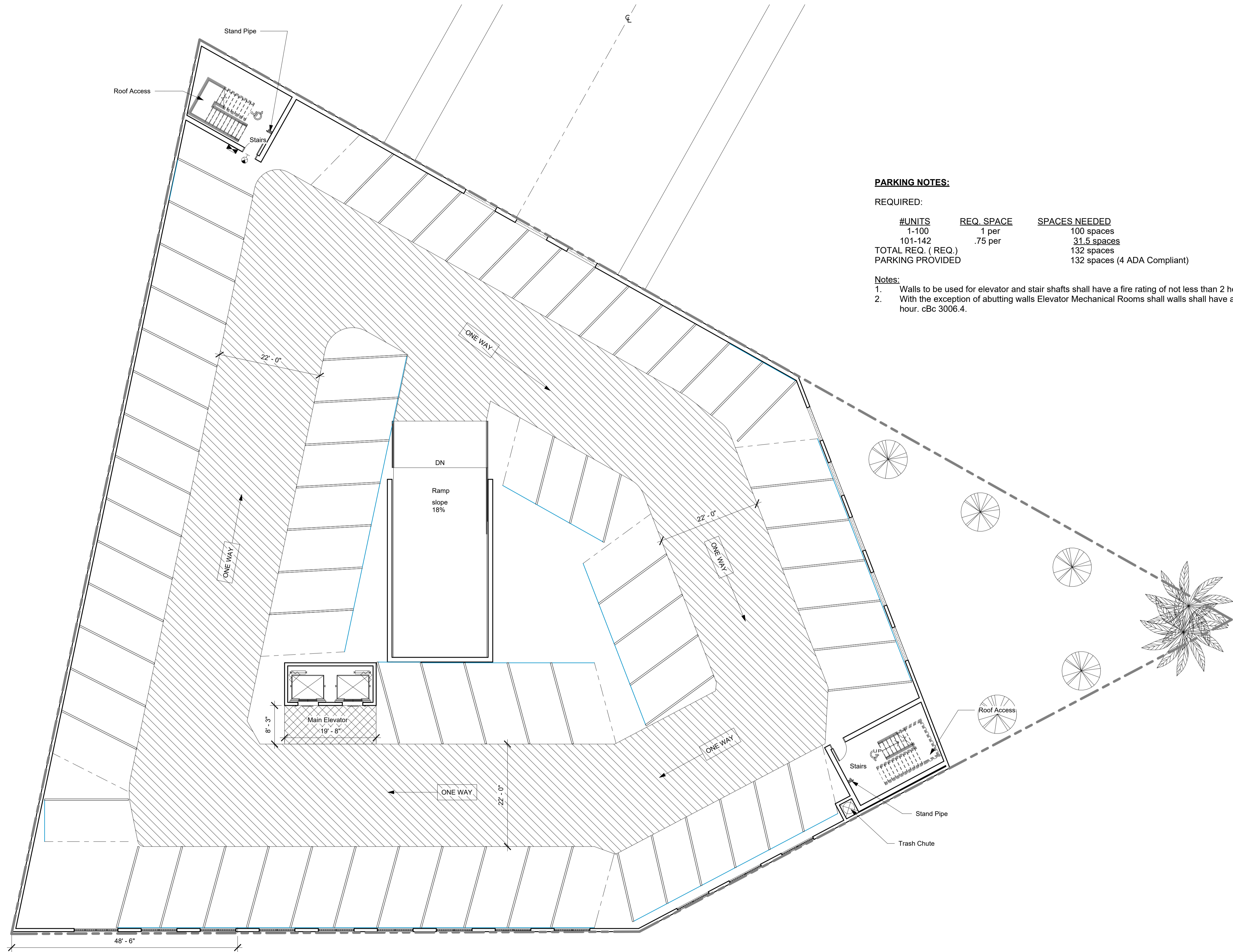
Sheet number

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PARKING NOTES:

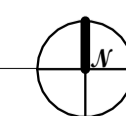
REQUIRED:

#UNITS	REQ. SPACE	SPACES NEEDED
1-100	1 per	100 spaces
101-142	.75 per	31.5 spaces
TOTAL REQ. (REQ.)		132 spaces
PARKING PROVIDED		132 spaces (4 ADA Compliant)

Notes:

1. Walls to be used for elevator and stair shafts shall have a fire rating of not less than 2 hour.
2. With the exception of abutting walls Elevator Mechanical Rooms shall walls shall have a fire rating of not less than 1 hour. cBc 3006.4.

1 2nd Floor Parking
3/32" = 1'-0"



Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Four Prairie Inc.
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 679-1520

Engineer

COOKE & ASSOCIATES
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 722-2707

Seal

Printed name

Signature

Date issued

Reg no.

Project Address

5151 El Segundo Blvd.
Hawthorne, Ca 90250

APN: 4142-011-034

dWn	Revision Date	cKr
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/5/2016	eG
JC	12/9/2016	eG

Project No.

Date

15-8151

05/26/2019

Drawn by

Checked by

JC

eGmP

Scale

3/32" = 1'-0"

Title

Floor Plan 2nd Floor
Parking

Sheet number

A2.01

Sheet

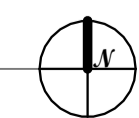
4 of 21

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- Notes:**
1. Walls to be used for elevator and stair shafts shall have a fire rating of not less than 2 hour.
 2. With the exception of abutting walls Elevator Mechanical Rooms shall have a fire rating of not less than 1 hour. cBc 3006.4.
 3. All exterior walls shall have a fire rating of 2 hours per t601 cBc 601.

① 3rd Floor Main Lobby
3/32" = 1'-0"



Home2 (proposal)

Project Title

Contact

Owner/Subdivider
Four Prairie Inc.
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 679-1320

Engineer
COOKE & ASSOCIATES
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 722-2707

Seal

Printed name _____

Signature _____

Date issued _____

Proj no. _____

Project Address
5151 El Segundo Blvd.
Hawthorne, Ca 90250

ApN: 4142-011-034

dWn	Revision Date	cKr
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/5/2016	eG
JC	12/9/2016	eG

Project No. 15-5151 Date 05/28/2019

Drawn by JC Checked by eGmP

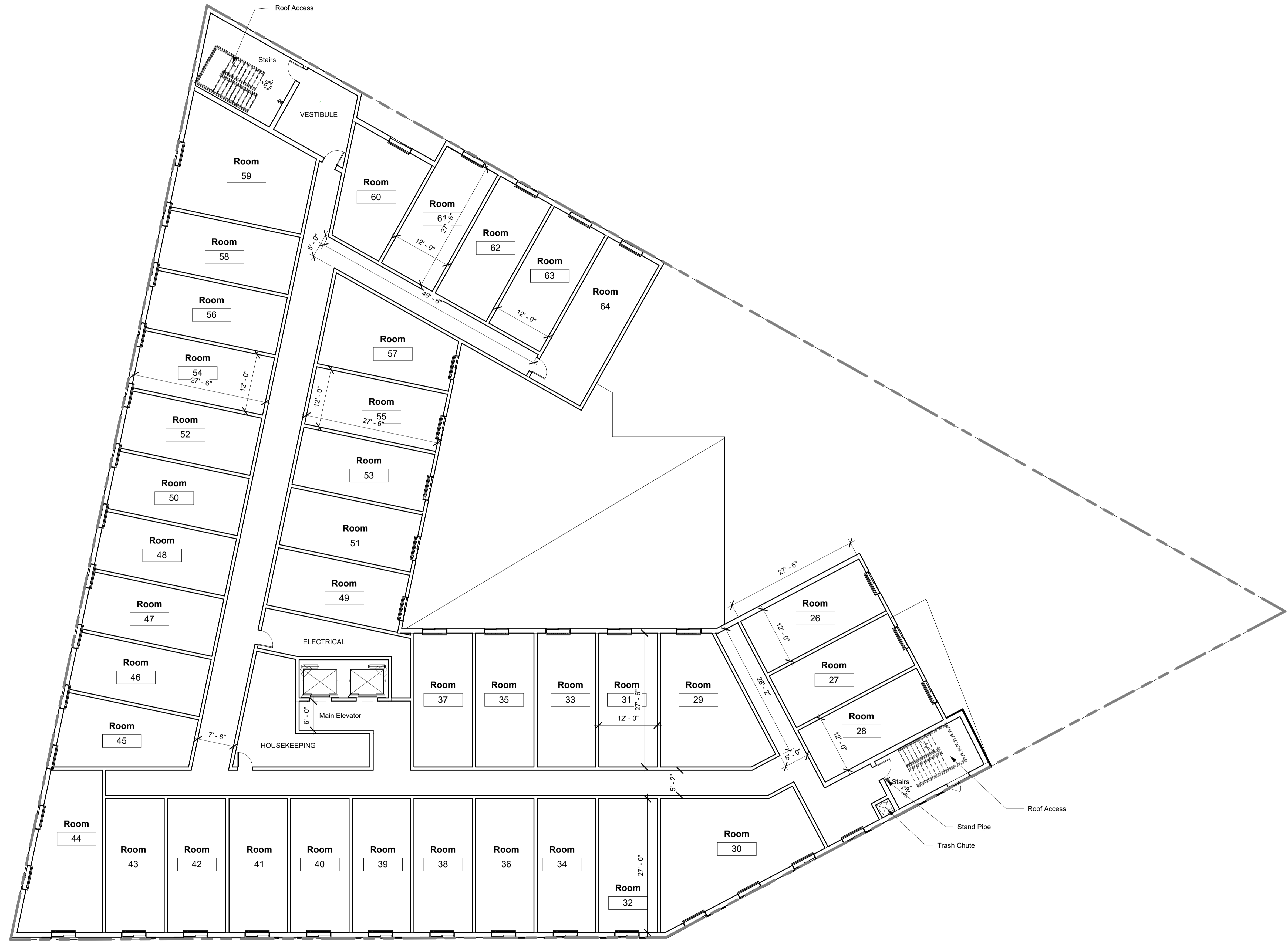
Scale 3/32" = 1'-0"

Title
Floor Plan 1st Floor Residential

Sheet number
A2.02

Sheet
5 of 21

25/02/2016 4:31:38 PM



① 4th, 5th, & 6th Floor Guestrooms
3/32" = 1'-0"

- Notes:**
1. Walls to be used for elevator and stair shafts shall have a fire rating of not less than 2 hour.
 2. With the exception of abutting walls Elevator Mechanical Rooms shall walls shall have a fire rating of not less than 1 hour. cBc 3006.4.
 3. All exterior walls shall have a fire rating of 2 hours per t601 cBc 601.

Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Four Prairie Inc.
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 679-1320

Engineer

COOKE & ASSOCIATES
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 722-2707

Seal

Printed name

Signature

Date issued

Reg no.

Project Address

5151 El Segundo Blvd.
Hawthorne, CA 90250

ApN: 4142-011-034

dWn	Revision Date	cKr
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/5/2016	eG
JC	12/9/2016	eG

Project No. 15-8151 Date 05/28/2019

Drawn by Checked by

Scale 3/32" = 1'-0"

Title

Floor Plan 4th-6th Floor Residential

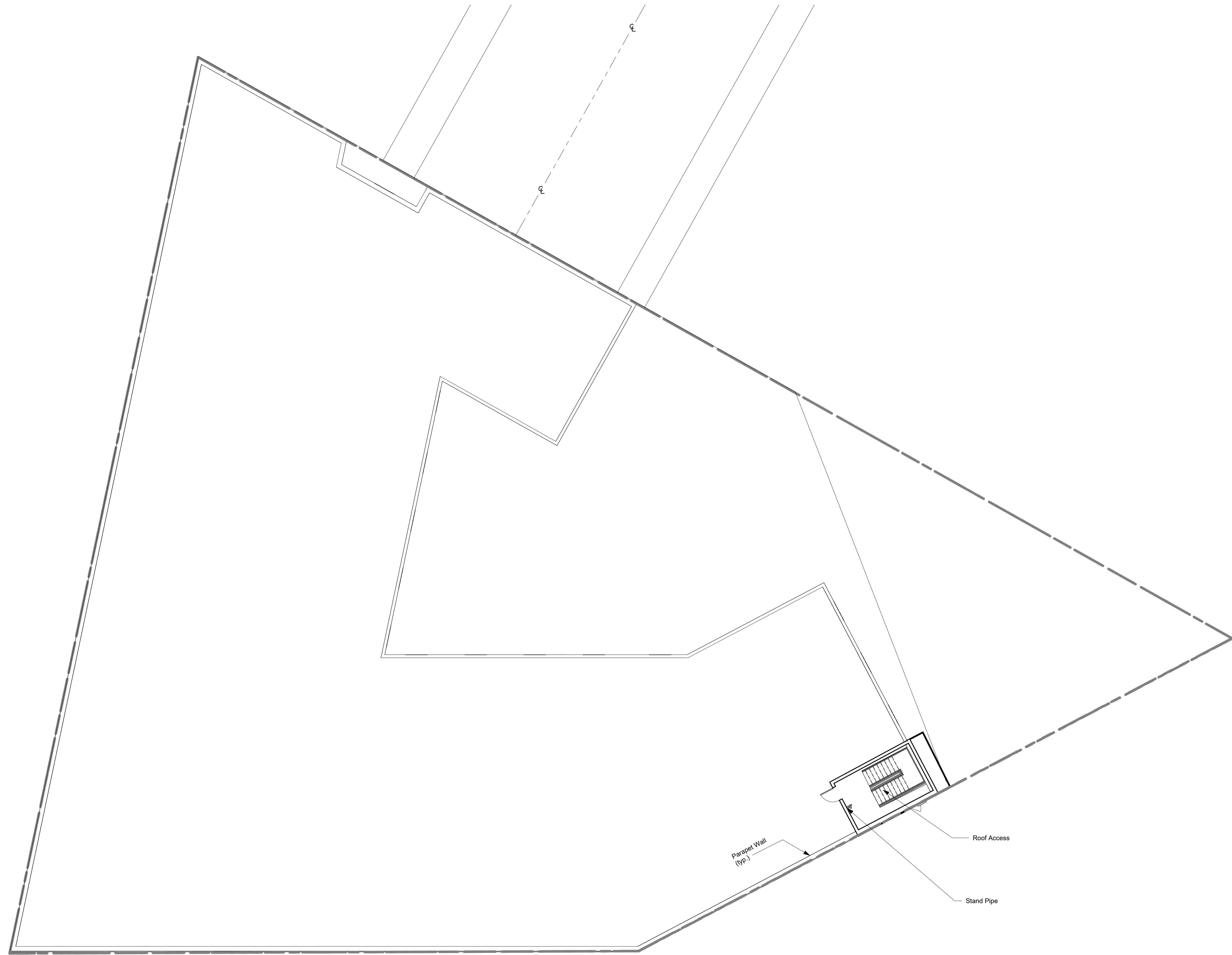
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Sheet

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25/02/2019 4:31:38 PM



1 Roof
3/32" = 1'-0"



Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Four Prairie Inc.
3950 W. Imperial Hwy.
Inglewood, Ca 90303
(310) 679-1320

Engineer

COOKE & ASSOCIATES
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 722-2707

Seal

Printed name

Signature

Date issued

Reg. no.

Project Address

5151 El Segundo Blvd.
Hawthorne, Ca 90250

APN: 4142-011-034

dWn	Revision Date	eG
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/5/2016	eG
JC	12/9/2016	eG

Project No.

15-8151

Date

05/28/2019

Drawn by

JC

Checked by

eG/Mp

Scale

3/32" = 1'-0"

Sheet number

A2.04

Sheet

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25/05/2019 4:37:39 PM



② North Elevation
1/8" = 1'-0"



① South Elevation
1/8" = 1'-0"

Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Four Prairie Inc.
3950 W. Imperial Hwy
Inglewood, Ca 90303
(310) 679-1320

Engineer

COOKE & ASSOCIATES
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310)722-2707

Seal

Printed name

Signature

Date issued

Reg no.

Project Address

5151 El Segundo Blvd
Hawthorne, Ca 90250

Apk: 4142-011-034

dWn	Revision Date	ckd
J.C.	7/8/2016	eG
J.C.	7/13/2016	eG
J.C.	10/19/2016	eG
J.C.	11/9/2016	eG
J.C.	12/9/2016	eG

Project No.

15-9151

Date

05/26/2019

Drawn by

JC

Scale

1/8" = 1'-0"

Title

Elevations North & South

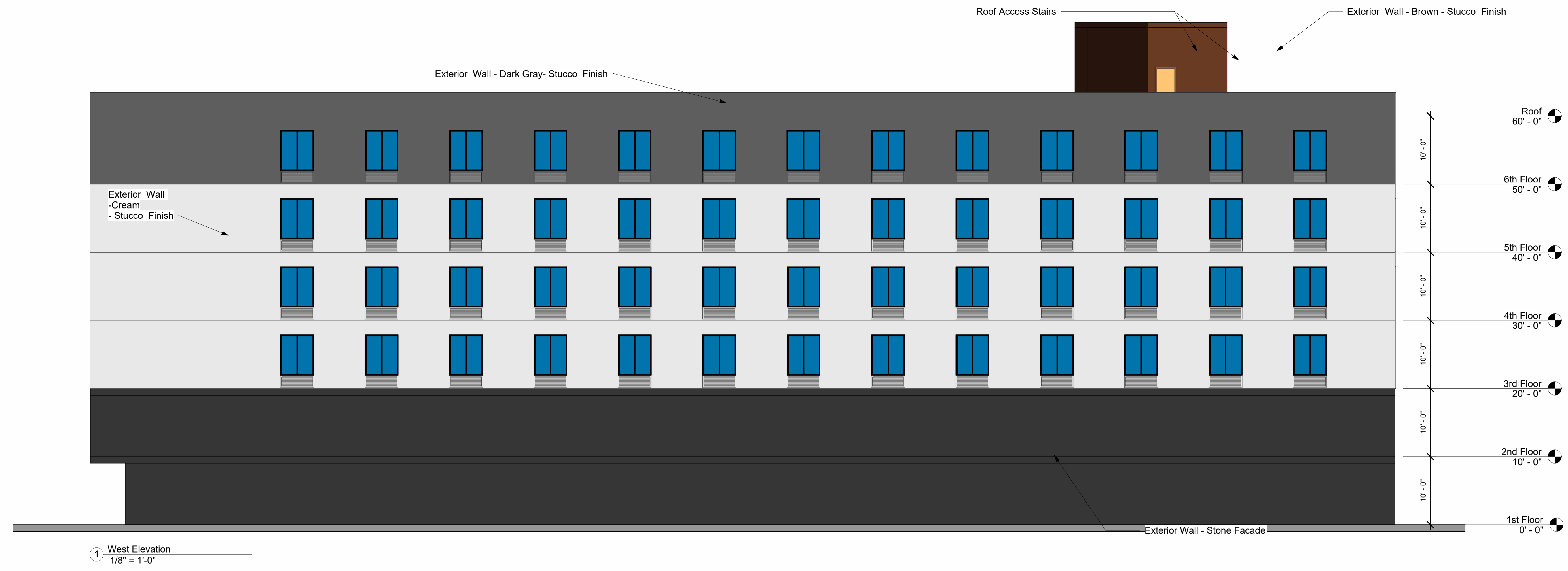
Sheet number

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Sheet

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2/20/2019 4:38 PM



① West Elevation
1/8" = 1'-0"



② East Elevation
1/8" = 1'-0"

Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Four Prairie Inc.
3950 W. Imperial Hwy.
Inglewood, Ca 90303
(310) 679-1320

Engineer

COOKE & ASSOCIATES
3950 W. IMPERIAL HWY
INGLEWOOD, CA 90303
(310)722-2707

Seal

Printed name

Signature

Date issued

Reg no.

Project Address

5151 El Segundo Blvd.
Hawthorne, Ca 90250

APN: 4142-011-034

dWn	Revision Date	ckd
JC	7/8/2016	eG
JC	7/13/2016	eG
JC	10/19/2016	eG
JC	11/5/2016	eG
JC	12/8/2016	eG

Project No.

Date

15-8151

05/28/2019

Drawn by

Checked by

JC

eG

Scale

1/8" = 1'-0"

Title

Elevations West & East

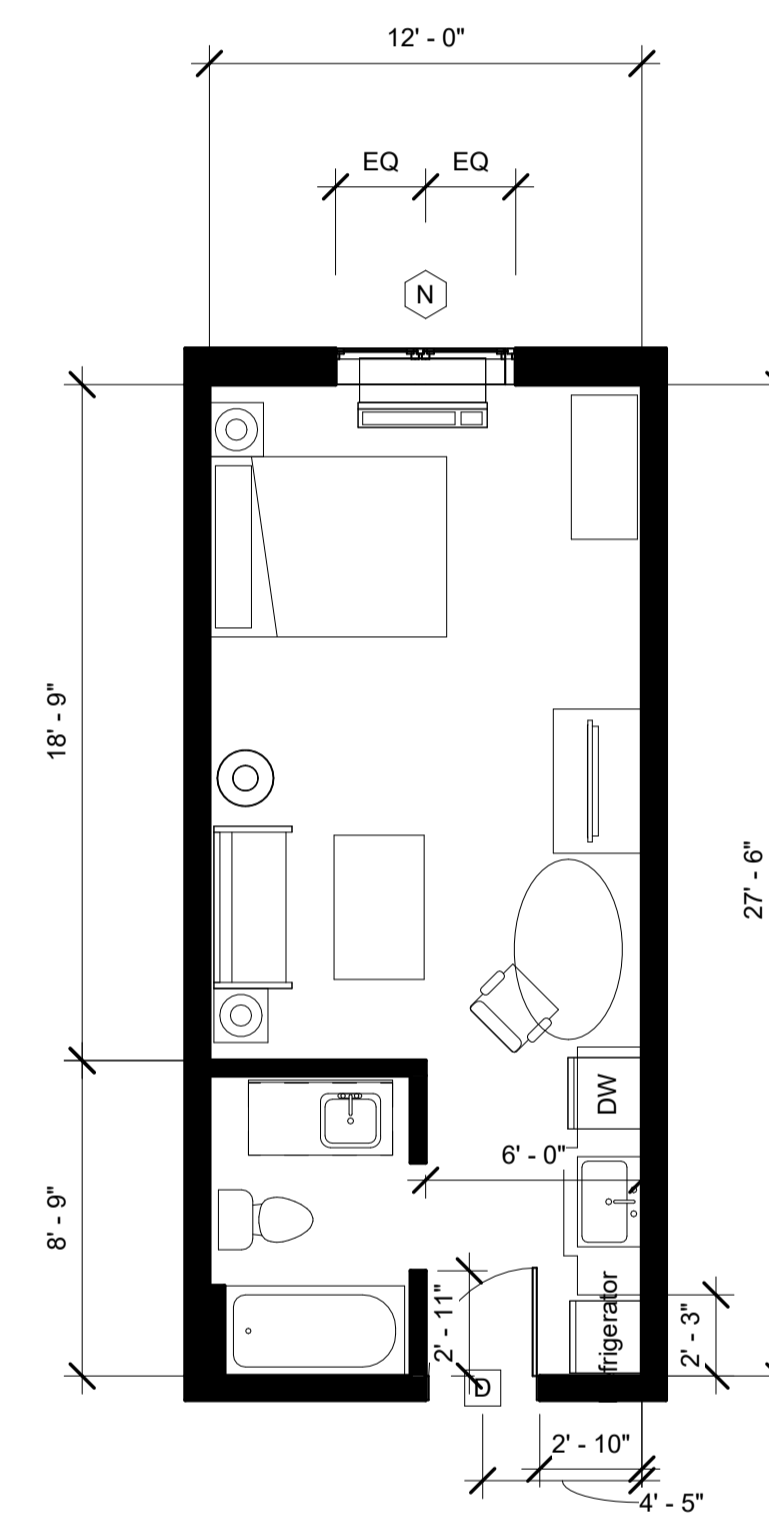
Sheet number

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Sheet

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2/20/2019 4:38:28 PM



**DOUBLE QUEEN
GUESTROOM**

① Enlarged Unit Floor Plans
3/16" = 1'-0"

Notes:

- 1- One hour common party wall assembly tested in accordance with ASTM E119 or UL 263 is permitted for townhouses and shall not contain plumbing or mechanical equipment, ducts, or vents. the wall shall be rated for fire exposure from both sides and shall extend to and be installed in accordance with the California Electrical Code. Penetration of electrical outlet boxes shall be in accordance with cRc section R-302.4.
- 2- Residential design shall conform with chapter 4 of the Residential Mandatory Measures of the 2010 California Green Building Standard Code.

Project Title

Contact

Owner/Subdivider

FOUR PRAIRIE INC.
3950 W. IMPERIAL HWY.
INGLEWOOD, CA 90303
(310) 679-1320

Engineer

COOKE & ASSOCIATES
3950 W IMPERIAL HWY
INGLEWOOD, CA 90303
(310) 722-2707

Seal

Printed name

Signature

Date issued

Reg no.

Project Address

5151 EL SEBUNDO BLVD.
HAWTHORNE, CA 90250

APN: 4142-011-034

dWn	Revision Date	cRc
JJC	7/8/2016	EG
JJC	7/13/2016	EG
JJC	10/19/2016	EG
JJC	11/5/2016	EG
JJC	12/9/2016	EG

Project No.

15-2151

Date

05/28/2019

Drawn by

JJC

Checked by

eGMP

Scale

3/16" = 1'-0"

Title

Details Enlarged Unit Plans

Sheet number

A4.00

Sheet

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LANDSCAPE MATERIAL PALETTE



1 FRUITLESS OLIVE TREE
Olea europaea 'Wilsonii'
COUNT: 5



2 DATE PALM TREE
Phoenix dactylifera
COUNT: 3



3 COAST ROSEMARY 'WYNYABBIE GEM'
Westringia fruticosa
COUNT: 20



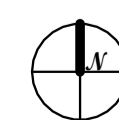
4 ORANGE SEDGE
Carex testacea
COUNT: 12



5 SILVER CARPET
Dymondia margaretae
AREA: 1,903 SF



1 Site - Landscaping
3/32" = 1'-0"



Home2 (proposal)

Project Title

Contact

Owner/Subdivider

Engineer

Seal

Printed name

Signature

Date issued

Reg no.

Project Address

dWn

Revision Date

ckr

Project No.

Date

15-5151

05/28/2019

Drawn by

Checked by

Author

Checker

Scale

As indicated

Title

PRELIMINARY
LANDSCAPING PLAN

Sheet number

L-1

Sheet

of

11/20/2019 2:38:58 PM

Attachment 2 Public Hearing Notice



Herald Publications
531 Main St., #1160.
El Segundo, CA 90245
(310) 322-1830 • Fax (310) 322-2787

PROOF OF PUBLICATION

(2015.5 C.C.P.)

STATE OF CALIFORNIA,
County of Los Angeles,

I declare, that I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principal clerk responsible for accepting, formatting and publishing legal notices in the **Hawthorne Press Tribune**, a newspaper of general circulation, printed and published weekly in the City of **Hawthorne**, County of Los Angeles, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California, under the date of **July 31, 1959**, Case Number **187530**; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

3/6/2025

All in the year **2025**

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at **Hawthorne**, California,

this **6** day of **February 2025**

.....
Signature

Code # HH-28886

This space is for the County Clerk's Filing Stamp

Proof of Publication of:

NOTICE OF PUBLIC HEARING
CONDITIONAL USE PERMIT 2022CU11,
DESIGN REVIEW 2022DR06

PUBLIC NOTICE is hereby given that the Planning Commission of the City of Hawthorne will hold a public hearing to consider the following matter:

CONDITIONAL USE PERMIT NO. 2022CU11: A request to approve a new Home2 branded 7-story hotel with 142 guestrooms and associated parking (1st & 2nd floors for parking, 4th thru 6th floors for guestrooms, and 7th floor roof access).

DESIGN REVIEW 2022DR06: A request to approve the proposed site design (exterior architectural building facade, landscaping, etc.) for a new Home2 branded hotel.

PROJECT LOCATION: 5151 El Segundo Blvd. - City of Hawthorne, Los Angeles County, State of California.

MEETING DETAILS:

Day: Wednesday
Date: March 19, 2025
Time: 6:00 PM
Place: City Council Chambers
4455 West 126th Street
Hawthorne, CA 90250

Those interested in this item may appear at the meeting and submit oral or written comments. Written information pertaining to this item must be submitted to the Planning and Community Development Department prior to 5:00 PM March 19, 2025, at 4455 West 126th Street, Hawthorne, California 90250 or emailed to

nlevey@cityofhawthorne.org. For additional information, you may contact Nathan Levey at (310) 349-2970 or at the email noted above.
ENVIRONMENTAL REVIEW: Conditional Use Permit No. 2022CU11 and Design Review 2022DR06 are Categorically Exempt per Section 15332, Class 32. The proposed development occurs within city limits on a project site of no more than five acres and is substantially surrounded by urban uses, it has no value as habitat for endangered, rare or threatened species and approval would not result in significant effects related to traffic, noise, air quality, or water quality. The project is consistent with general plan policies as well as with applicable zoning designation and regulations. The proposed 7-story hotel will consist of 142 rooms with associated parking. The site area is 28,269 sq. ft. and is located within the C-3 (General Commercial) zone.

PLEASE NOTE that pursuant to Government Code Section 65009: In an action or proceeding to attack, review, set aside, void, or annul a finding, determination or decision of the Planning Commission or City Council, the issues raised shall be limited to those raised at the public hearing in this notice or in written correspondence delivered to the Planning Commission or City Council at or prior to the public hearing.
Hawthorne Press Tribune Pub. 3625

HH-28886

Attachment 3
PC Resolution 2025-02

**PLANNING COMMISSION RESOLUTION NO. 2025-02
CONDITIONAL USE PERMIT 2022CU11**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY
OF HAWTHORNE ADOPTING A NOTICE OF EXEMPTION UNDER
THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND
APPROVING CONDITIONAL USE PERMIT 2022CU11 TO ALLOW
THE DEVELOPMENT OF A 6-STORY, 142 GUESTROOM HOTEL ON
THE PROPERTY LOCATED AT 5151 EL SEGUNDO BLVD (APN
4142-011-034) AND MAKING FINDINGS IN SUPPORT THEREOF**

WHEREAS, on March 19, 2014, Mohammad Pournamdari (Applicant), obtained approval of Conditional Use Permit (CUP) 2013CU10, PC Resolution 2014-07, for a 6-story, 129 guest room hotel; and

WHEREAS, on June 15, 2016, the Applicant obtained approval of Conditional Use Permit (CUP) 2016CU05, PC Resolution 2016-23, which amended the original approval to increase the number of guestrooms from 129 to 135 guestrooms; and

WHEREAS, in June 2019, entitlements expired for CUP 2016CU05 and the Applicant was required to file a new CUP application to develop a hotel project on the property; and

WHEREAS, on November 16, 2022, the Applicant filed an application requesting the approval of Conditional Use Permit application 2022CU11 and Design Review 2022DR06 for approval of a 6-story, 142 guestroom hotel (Project) in the City of Hawthorne; and

WHEREAS, on February 1, 2023, the Planning Commission heard and considered the project in a properly noticed public hearing and requested more information from the applicant regarding the design and potential environmental impacts; and

WHEREAS, during the meeting of February 1, 2023, concerns were raised by the Commissioners and the public concerning hours of operation and noise; and

WHEREAS, during the meeting of February 1, 2023, the Planning Commission requested technical studies to be performed to ensure no significant environmental impacts would occur to air quality, water quality, noise, and traffic; and

WHEREAS, technical studies were conducted to examine traffic impacts, including Vehicle Miles Traveled (VMT), noise impacts, air quality impacts, and water quality impacts; and

WHEREAS, the technical studies found there to be no impacts by project construction or operation to noise, air quality, or water quality; and

WHEREAS, the Phase I ESA technical study found there to be no impacts as long as a Soil Management Plan was approved and implemented prior to issuance of demolition or grading permits; and

WHEREAS, the Application applies to a 28,269 square foot property that contains a vacant one-story vacant building (APN 4042-011-034); and

WHEREAS, the Land Use Element of the General Plan designates the project as General Commercial. The project is consistent with the General Plan because this designation allows for commercial uses, including hotels; and

WHEREAS, in accordance with Hawthorne Municipal Code (HMC), Section 17.28.020, a CUP is required to be approved by the Planning Commission for the proposed project; and

WHEREAS, a duly noted public hearing on the Conditional Use and Design Review applications was held before the Planning Commission on March 19, 2025; and

WHEREAS, evidence was heard and presented from all persons in favor of the application, from all persons opposed to the application and from members of the City staff; and that the Planning Commission having heard and received all of said evidence, testimony and statements and being fully informed of the application, approves Resolution No. 2025-02.

THE PLANNING COMMISSION OF THE CITY OF HAWTHORNE DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission finds that all of the facts set forth in the Recitals are true and correct, and are incorporated herein by reference.

SECTION 2. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State law and the HMC.

SECTION 3. Upon independent review and consideration of the written and oral comments of interested parties thereon, the responses thereto by City staff, the Conditions of Approval (Exhibit A) as well as the entire record of its proceedings, and the Notice of Exemption and its associated technical studies concerning the project, and having exercised its independent judgment thereon, the Planning Commission hereby finds that the proposed project will not have a significant impact on the environment and that it qualifies as exempt from CEQA pursuant to State CEQA Guidelines Sections 15332 that is intended to promote infill development within urbanized areas. The class of exemption (Class 32) consists of environmentally benign in-fill projects that are consistent with the general plan and zoning requirements, and do not result in any significant traffic, noise, air quality, or water quality effects. The general plan designation is GC (General Commercial), which permits hotel development; is zoned General Commercial (C-3), which allows and contains standards for hotel development; and properties surrounding the site have similar zoning designations. The proposed development occurs on a property of no more than five acres and is completely surrounded by urban uses. The previously graded property has no value as habitat for endangered, rare, or threatened

species. Several technical studies were conducted which demonstrated that approval will not result in any significant effects relating to traffic, noise, air quality, or water quality, and the property is adequately serviced by all required utilities and public services.

SECTION 4. Based on substantial evidence presented to the Planning Commission during the March 19, 2025 public hearing, including public testimony and written and oral staff reports, as well as CEQA, the CEQA Guidelines, technical studies, the Notice of Exemption, and the City's Municipal Code, the Planning Commission makes the following findings:

A. The proposed project is consistent with the Hawthorne General Plan. As noted in the accompanying staff report, the General Plan land use designation is General Commercial (GC), which allows development consistent with the proposed hotel. The General Plan allows the City to leverage the proximity to the Los Angeles International Airport, beaches, and the broader South Bay region by encouraging hotel development and related uses that attract travelers and tourists.

B. The design and improvement of the proposed development is consistent with Title 17 of the Hawthorne municipal code. As detailed in the accompanying staff report, the lot size, widths, and depths are appropriate for the project and it meets the development standards for setbacks, height, access, parking, and landscaping specified in the Hawthorne Municipal Code.

C. The site is physically suitable for hotel development. The property is generally flat, is currently vacant with the exception of a small, vacant one-story building, and is adjacent to existing commercial uses.

D. The proposed project is suitable for the future intended use because a hotel development, as proposed, is consistent with the provisions of the General Plan and Hawthorne Municipal Code in a location characterized by a mix of commercial uses.

E. The design of the project will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. Specifically, the property had been previously graded, is located in an urbanized area, and is not located in an area or region where such habitats exist, as detailed on the Notice of Exemption included with the staff report.

F. That the proposed use is properly one for which a conditional use permit is authorized by this code. Section 17.28.020 of the Hawthorne Municipal Code requires that an application for a new hotel obtain approval of a CUP from the Planning Commission.

G. That the proposed use will not adversely affect the adjoining land uses, or the growth and development of the area in which it is proposed to be located. The project is proposed in an area characterized by a mix of existing commercial uses and is designed with adequate parking. The project is also consistent with the direction of the general plan.

H. That the size and shape of the site proposed for the use is adequate to allow the full development of the proposed use, in a manner not detrimental to either the particular area or health and safety. The project meets requirements for minimum lot size, frontage, and access and has access to all necessary utilities.

I. That the traffic generated by the proposed expansion will not impose an undue burden upon the streets and highways designed and improved to carry the traffic in the area. The City's Public Works and Engineering Department reviewed the project and determined that the project will not cause significant affects. Further, a traffic study conducted for the project did not estimate any significant impacts. Entrances to the I-405 are located adjacent to the project to allow hotel guests to easily access both north and south directions.

J. That the granting of the conditional use permit under the conditions imposed (Exhibit A), will not be detrimental to the health and safety of the citizens of the City of Hawthorne because the proposed hotel will not result in any significant traffic, noise, air quality, or water quality effects and will be constructed to comply with all applicable building, fire, electrical, mechanical, and plumbing codes.

SECTION 5. Based on the forgoing, the Planning Commission hereby grants Conditional Use Permit 2022CU11 subject to the conditions set forth in Exhibit "A" attached hereto.

SECTION 6. This resolution shall become effective ten days after its adoption, unless within that period of time it is appealed to the City Council. In the event of an appeal, this Resolution shall not become effective unless reinstated by the City Council after the hearing on the appeal. The City Council Resolution determining the appeal shall be controlling, and unless the matter is remanded to the Planning Commission, the Resolution of the City Council shall be final.

SECTION 7. The time within which and the manner in which a legal action seeking judicial review of this resolution, if not appealed to the City Council, on grounds other than failure to comply with the California Environmental Quality Act, may be filed is governed by Government Code Section 65009 and California Code of Civil Procedure Sections 1094.5 and 1094.6.

SECTION 8. A copy of this Resolution shall be mailed to the applicant and copies shall be filed with the City.

PASSED, APPROVED, and ADOPTED this 19th day of March 2025.

ATTEST:

RYAN RICHARD, CHAIRPERSON
HAWTHORNE PLANNING COMMISSION

GREGG McCLAIN, SECRETARY
HAWTHORNE PLANNING COMMISSION

EXHIBIT A

STANDARD REQUIREMENTS AND CONDITIONS OF APPROVAL

Application: 2022CU11

Applicant: Mohammad Pournamdari (5151 El Segundo LLC)

Location: 5151 El Segundo Blvd. (APN 4142-011-034)

CODE REQUIREMENTS AND STANDARDS

The following is a list of code requirements and standards deemed applicable to the proposed project. The list is intended to assist the Applicant by identifying requirements that must be satisfied during the various stages of project permitting, implementation, and operation. It should be noted that this list is in addition to any approved “conditions of approval” noted below. Please note that if the design of your project or site conditions change, the list may also change. If you have any questions regarding these requirements, please contact the City of Hawthorne.

1. Failure of the applicant to comply with the conditions as set forth above shall be cause for the Planning Commission to immediately institute a Public Hearing for revocation purposes.
2. The property shall be developed in complete conformity with the plans approved by the Planning Commission on April 17, 2024, as revised and conditioned by the requirements contained in this resolution of approval for Conditional Use Permit application 2022CU11. Any more intensive use of the property, or deviation from said plans, shall first be reviewed as a modification of this permit.
3. Conditions of approval shall be attached to plans upon submittal for plan check.
4. A temporary construction fence of no less than six feet in height, or an equivalent screening barrier, shall be provided along the site boundaries at the onset of construction activities to protect adjacent properties and uses from noise, dust, and visual nuisance.
5. Any graffiti painted or marked upon the premises or any adjacent area under the control of the applicant shall be removed or painted over within 24 hours of being applied. If graffiti is not removed within 24 hours of notification, the City of Hawthorne shall remove the graffiti and invoice the applicant for the cost of clean-up.
6. Any changes or modifications of the conditions, as set below, require prior approval from the Department of Public Works:
 - All right-of-ways/easements affecting and/or within the project limits shall be noted on plan submitted for building permits.
 - Legal description shall be shown on plans.
 - Repair of cracked and/or deteriorated sidewalk, curb and gutter prior to issuance of building permits.
 - Provide dimensions for all driveway and all driveway approaches and width of adjacent parkway and sidewalk on all future plans.

- Provide curb drains as necessary.
 - Locate and indicate all traffic control devices (such as signal, stop no parking signs, etc.) and driveways adjacent to this property.
 - Locate all utilities within the project, on the street, side street, and alleyways bordering this project.
 - Locate and indicate all existing streetlights adjacent to this project.
 - Locate and indicate all streets striping adjacent to the project.
 - Project shall comply with City's NPDES requirements. Submit plans for NPDES review as soon as possible. Plans must address SWPPP, bioswale, infiltration chambers and other required features of LID plan. Percolation test for the property shall be provided. LID shall be done in accordance to the latest State NPDES permit requirements and Hawthorne Municipal code (HMC 8.50.170). On-site storm water runoff shall be retained by using infiltration chamber/s.
 - Project will require a Construction and Demolition Materials Report detailing all disposal, recycling and reuse activities. Final permit approval requires submittal of this report. A deposit may also be required upon issuance of demo permit. Contact Engineering Department 310-349-2980.
 - All new driveways shall meet the current ADA standards.
 - Existing driveway/s not utilized by the proposed project shall be removed and replaced with curb, gutter, parkway and sidewalk per City's standards.
 - Landscape and any structure adjacent to the driveway shall not be more than 3.5' high to provide adequate sight distance.
 - All overhead utilities shall be moved underground.
 - Additional studies may be required by the Engineering/Public Works Department per State and Federal regulations.
7. The applicant shall comply with all applicable requirements and provisions of the Uniform Building Code, Uniform Fire Code, and the Hawthorne Municipal Code. The applicant shall also comply with any additional requirements of the Chief of Fire Services, Director of Building and Safety, and the Director of Planning, as related to this application.

CONDITIONS OF APPROVAL

Conditions of approval are unique provisions, beyond the requirements of law, the municipal code, or standard practices that are applied to a project per Section 17.48.060 of the Zoning Code. Please note that if the design of your project or site conditions change, the conditions of approval may also change. If you have any questions regarding these requirements, please contact the City of Hawthorne.

8. The building shall be required to be maintained in an "as-new" state and updated as colors and materials chip, flake, discolor, fade, or break. If notified by the City, the operator will

have 30 days in which to make substantial progress toward repairing and refurbishing the facility to an “as new” state.

9. Applicant(s)/Operator shall install and maintain security cameras pursuant HMC Chapter 17.78.020 and provide a Security Plan, subject to the approval of the Police Department and City Planning Department. The security cameras shall cover all common areas of the property, high-risk areas, sidewalks areas, and entrances or exits. As deemed required by the Police Department, the Security Plan shall provide remote access to the Police Department for any web based wire security camera system.
10. A minimum of 132 vehicle parking spaces shall be provided in accordance to HMC Chapter 17.58. Parking spaces shall be double striped (two striped lines, three inches in width each with an intervening space of six inches). The applicant shall provide at least five accessible parking stalls, including one for vans, unless more is indicated by the Building and Safety Department or as required by federal or state law. Site plans shall clearly indicate the location, size, and dimensions of all parking provided on site. The parking lot shall be continuously maintained and repaired at all times to prevent breakage, holes, and vegetation growth in the paved areas.
11. Access to the hotel and parking lot by guests shall only be permitted from El Segundo Blvd., other than emergency exits as required by the Building and Safety Department and the Fire Department. Access shall not be across property owned or managed by a 3rd party without explicit written agreement from authorized parties for the proposed hotel, the 3rd party and the City of Hawthorne.
12. Trash/Recycling area shall be provided per the Hawthorne Municipal Code Chapter 17.54 and State Regulations. The trash/recycle storage area shall not be less than 56 sq. ft. If this storage area is not sufficient, additional pickups shall be scheduled by the applicant.
13. Trash/Recycling area shall be locked at all times when not in use and containers shall not be placed in or block access to required parking. Trash and recycling pick-up and emptying or disposing of trash/recycling is permitted to occur only between the hours of 7:00am and 8:00pm.
14. Hours of Operation:
 - Hotel may operate 24 hours per day, 7 days a week.
 - Kitchen service may operate 24 hours, daily, to serve hotel guest rooms and enclosed common areas only.
 - Terrace deck activities and amenities – hours of operation are limited between 7:00am to 10:00pm daily and available to hotel guests.
15. Noise/Music/Entertainment:
 - Property shall abide by the special noise provisions per HMC Section 17.28.070.
 - Only low-volume, ambient, background music may be permitted within the rooftop terrace and hotel lobby areas between 7:00am to 10:00pm.

- Live entertainment features or amplified music is prohibited in the rooftop outdoor areas during all hours of operation, except during preapproved special event occasions approved by the City of Hawthorne.
 - The applicant shall not sublet, lease or rent the premises to outside promoters for public access activities unless a special events permit has been approved by the City of Hawthorne.
 - The applicant shall monitor any use of the rooftop terrace area by individuals who are not registered guests.
16. Prior to issuance of building permits, the landscape plans must demonstrate compliance with the City's Water Efficient Landscaping ordinance, found in HMC Chapter 17.89.
 17. Prior to site demolition and grading, a Soil Management Plan (SMP) must be approved by the City. The SMP must establish guidelines to address potential areas of impact as described in the Phase I ESA completed by Kimley Horn in 2023.
 18. The applicant shall provide exterior lighting and/or landscape lighting to the exterior of the 1st floor level parking, fronting El Segundo Blvd.
 19. Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential or commercial properties and the public right-of-way.
 20. Applicant shall not provide alcoholic beverage sales or services unless a conditional use permit separate from 2022CU11 is first approved by the Planning Commission.
 21. The applicant shall provide a shuttle that runs between the project site and a location designated by Los Angeles International Airport (LAX) for hotel shuttle drop-off and pick-up on a regular schedule to provide transportation for guests to and from the airport.
 22. Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Planning Department and any designated agency, and in accordance with any stated laws or regulations, or any amendments thereto.
 23. The Planning Department, Public Works Department, Police Department, Building and Safety Department, and contract agencies (Los Angeles County Fire Department) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. Any questions of intent or interpretations of any condition of approval shall be resolved by the appropriate Department or Agency upon written request of such interpretation.
 24. The Planning Director may interpret the implementation of each condition of approval and, with advanced notice, grant minor amendments to approved plans or conditions of approval based on changed circumstances, new information, or relevant factors as long as the spirit and intent of the approved condition of approval is satisfied. Permits shall not be issued until the proposed minor amendment is reviewed and approved for conformance with the intent of the approved condition of approval. If the proposed changes are substantial in nature, an amendment to the original entitlement may be required pursuant to the provisions of Hawthorne Municipal Code.

25. The Applicant, and each of its heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Hawthorne and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council and Planning Commission concerning this project. The City shall promptly notify the Applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.
26. As established in HMC Section 17.06.090, Planning Commission approvals of the Conditional Use Permit expire three years from the date of the final decision unless the property is used in conformance with the planning approvals.

Attachment 4
PC Resolution 2025-03

**PLANNING COMMISSION RESOLUTION NO. 2025-03
DESIGN REVIEW APPLICATION 2022DR06**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY
OF HAWTHORNE ADOPTING A NOTICE OF EXEMPTION UNDER
THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND
APPROVING DESIGN REVIEW APPLICATION 2022DR06 TO
ALLOW THE DEVELOPMENT OF A 6-STORY, 142 GUESTROOM
HOTEL ON THE PROPERTY LOCATED AT 5151 EL SEGUNDO
BLVD (APN 4142-011-034) AND MAKING FINDINGS IN SUPPORT
THEREOF**

WHEREAS, on March 19, 2014, Mohammad Pournamdari (Applicant), obtained approval of Conditional Use Permit (CUP) 2013CU10, PC Resolution 2014-07, for a 6-story, 129 guest room hotel; and

WHEREAS, on June 15, 2016, the Applicant obtained approval of Conditional Use Permit (CUP) 2016CU05, PC Resolution 2016-23, which amended the original approval to increase the number of guestrooms from 129 to 135 guestrooms; and

WHEREAS, in June 2019, entitlements expired for CUP 2016CU05 and the Applicant was required to file a new CUP application to develop a hotel project on the property; and

WHEREAS, on November 16, 2022, the Applicant filed an application requesting the approval of Conditional Use Permit application 2022CU11 and Design Review 2022DR06 for approval of a 6-story, 142 guestroom hotel (Project) in the City of Hawthorne; and

WHEREAS, on February 1, 2023, the Planning Commission heard and considered the project in a properly noticed public hearing and requested more information from the applicant regarding the design and potential environmental impacts; and

WHEREAS, during the meeting of February 1, 2023, concerns were raised by the Commissioners and the public concerning hours of operation and noise; and

WHEREAS, during the meeting of February 1, 2023, the Planning Commission requested technical studies to be performed to ensure no significant environmental impacts would occur to air quality, water quality, noise, and traffic; and

WHEREAS, technical studies were conducted to examine traffic impacts, including Vehicle Miles Traveled (VMT), noise impacts, air quality impacts, and water quality impacts; and

WHEREAS, the technical studies found there to be no impacts by project construction or operation to noise, air quality, or water quality; and

WHEREAS, the Phase I ESA technical study found there to be no impacts as long as a Soil Management Plan was approved and implemented prior to issuance of demolition or grading permits; and

WHEREAS, the Application applies to a 28,269 square foot property that contains a vacant one-story vacant building (APN 4042-011-034); and

WHEREAS, the Land Use Element of the General Plan designates the project as General Commercial. The project is consistent with the General Plan because this designation allows for commercial uses, including hotels; and

WHEREAS, in accordance with HMC Chapter 17.99 – Design Review, which states approval by the Planning Commission, appointed as the Design Review Board (DRB), is required to ensure projects meet the requirements of the chapter; and

WHEREAS, the subject property is situated adjacent to existing residentially zoned properties and the proposed improvements encompass more than 1,000 sq. ft. of building and site surfaces. As such, it is not exempted from the requirements of Chapter 17.99 – Design Review per HMC Section 17.99.030 – Exceptions; and

WHEREAS, a duly noted public hearing on the Conditional Use and Design Review applications was held before the Planning Commission on March 19, 2025; and

WHEREAS, evidence was heard and presented from all persons in favor of the application, from all persons opposed to the application and from members of the City staff; and that the Planning Commission having heard and received all of said evidence, testimony and statements and being fully informed of the application, approves Resolution No. 2025-03.

THE PLANNING COMMISSION OF THE CITY OF HAWTHORNE DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission finds that all of the facts set forth in the Recitals are true and correct, and are incorporated herein by reference.

SECTION 2. All necessary public meetings and opportunities for public testimony and comment have been conducted in compliance with State law and the HMC.

SECTION 3. Upon independent review and consideration of the written and oral comments of interested parties thereon, the responses thereto by City staff, the Conditions of Approval (Exhibit A) as well as the entire record of its proceedings and the Notice of Exemption and its associated technical studies concerning the project, and having exercised its independent judgment thereon, the Planning Commission hereby finds that the proposed project will not have a significant impact on the environment and that it qualifies as exempt from CEQA pursuant to State CEQA Guidelines Sections 15332 that is intended to promote infill development within urbanized areas. The class of exemption (Class 32) consists of environmentally benign in-fill projects that are consistent

with the general plan and zoning requirements, and do not result in any significant traffic, noise, air quality, or water quality effects. The general plan designation is GC (General Commercial) and permits hotel development; is zoned General Commercial (C-3), which allows and contains standards for hotel development; and properties surrounding the site have similar zoning designations. The proposed development occurs on a property of no more than five acres and is completely surrounded by urban uses. The previously graded property has no value as habitat for endangered, rare, or threatened species. Several technical studies were conducted which demonstrated that approval will not result in any significant effects relating to traffic, noise, air quality, or water quality, and the property is adequately serviced by all required utilities and public services.

SECTION 4. Based on substantial evidence presented to the Planning Commission during the March 19, 2025 public hearing, including public testimony and written and oral staff reports, as well as CEQA, the CEQA Guidelines, technical studies, the Notice of Exemption, and the City's Municipal Code, the Planning Commission makes the following findings:

A. The proposed project is consistent with the Hawthorne General Plan. As noted in the accompanying staff report, the General Plan land use designation is General Commercial (GC), which allows development consistent with the proposed hotel. The General Plan allows the City to leverage the proximity to the Los Angeles International Airport, beaches, and the broader South Bay region by encouraging hotel development and related uses that attract travelers and tourists.

B. The design and improvement of the proposed development is consistent with Title 17 of the Hawthorne municipal code. As detailed in the accompanying staff report, the lot size, widths, and depths are appropriate for the project and it meets the development standards for setbacks, height, access, parking, and landscaping specified in the Hawthorne Municipal Code.

C. The site is physically suitable for hotel development. The property is generally flat, is currently vacant with the exception of a small, vacant one-story building, and is adjacent to existing commercial uses.

D. The proposed project is suitable for the future intended use because a hotel development, as proposed, is consistent with the provisions of the General Plan and Hawthorne Municipal Code in a location characterized by a mix of commercial uses.

E. The design of the project will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. Specifically, the property had been previously graded, is located in an urbanized area, and is not located in an area or region where such habitats exist, as detailed on the Notice of Exemption included with the staff report.

F. That the proposed use is properly one for which a conditional use permit is authorized by this code. Section 17.28.020 of the Hawthorne Municipal Code requires that an application for a new hotel obtain approval of a CUP from the Planning Commission.

G. That the proposed use will not adversely affect the adjoining land uses, or the growth and development of the area in which it is proposed to be located. The project is proposed in an area characterized by a mix of existing commercial uses and is designed with adequate parking. The project is also consistent with the direction of the general plan.

H. That the size and shape of the site proposed for the use is adequate to allow the full development of the proposed use, in a manner not detrimental to either the particular area or health and safety. The project meets requirements for minimum lot size, frontage, and access and has access to all necessary utilities.

I. That the traffic generated by the proposed expansion will not impose an undue burden upon the streets and highways designed and improved to carry the traffic in the area. The City's Public Works and Engineering Department reviewed the project and determined that the project will not cause significant affects. Further, a traffic study conducted for the project did not estimate any significant impacts. Entrances to the I-405 are located adjacent to the project to allow hotel guests to easily access both north and south directions.

J. That the granting of the conditional use permit under the conditions imposed (Exhibit A), will not be detrimental to the health and safety of the citizens of the City of Hawthorne because the proposed hotel will not result in any significant traffic, noise, air quality, or water quality effects and will be constructed to comply with all applicable building, fire, electrical, mechanical, and plumbing codes.

SECTION 5. Based on the forgoing, the Planning Commission hereby grants Design Review 2022DR06 subject to the conditions set forth in Exhibit "A" attached hereto.

SECTION 6. This resolution shall become effective ten days after its adoption, unless within that period of time it is appealed to the City Council. In the event of an appeal, this Resolution shall not become effective unless reinstated by the City Council after the hearing on the appeal. The City Council Resolution determining the appeal shall be controlling, and unless the matter is remanded to the Planning Commission, the Resolution of the City Council shall be final.

SECTION 7. The time within which and the manner in which a legal action seeking judicial review of this resolution, if not appealed to the City Council, on grounds other than failure to comply with the California Environmental Quality Act, may be filed is governed by Government Code Section 65009 and California Code of Civil Procedure Sections 1094.5 and 1094.6.

SECTION 8. A copy of this Resolution shall be mailed to the applicant and copies shall be filed with the City.

PASSED, APPROVED, and ADOPTED this 19th day of March, 2025.

ATTEST:

RYAN RICHARD, CHAIRPERSON
HAWTHORNE PLANNING COMMISSION

GREGG McCLAIN, SECRETARY
HAWTHORNE PLANNING COMMISSION

EXHIBIT A

STANDARD REQUIREMENTS AND CONDITIONS OF APPROVAL

Application: 2022DR06

Applicant: Mohammad Pournamdari (5151 El Segundo LLC)

Location: 5151 El Segundo Blvd. (APN 4142-011-034)

CODE REQUIREMENTS AND STANDARDS

The following is a list of code requirements and standards deemed applicable to the proposed project. The list is intended to assist the Applicant by identifying requirements that must be satisfied during the various stages of project permitting, implementation, and operation. It should be noted that this list is in addition to any approved “conditions of approval” noted below. Please note that if the design of your project or site conditions change, the list may also change. If you have any questions regarding these requirements, please contact the City of Hawthorne.

1. Failure of the applicant to comply with the conditions as set forth above shall be cause for the Planning Commission to immediately institute a Public Hearing for revocation purposes.
2. The property shall be developed in complete conformity with the plans approved by the Planning Commission on March 19, 2025, as revised and conditioned by the requirements contained in this resolution of approval for Design Review 2022DR06. Any more intensive use of the property, or deviation from said plans, shall first be reviewed as a modification of this permit.
3. Conditions of approval shall be attached to plans upon submittal for plan check.
4. A temporary construction fence of no less than six feet in height, or an equivalent screening barrier, shall be provided along the site boundaries at the onset of construction activities to protect adjacent properties and uses from noise, dust, and visual nuisance.
5. Any graffiti painted or marked upon the premises or any adjacent area under the control of the applicant shall be removed or painted over within 24 hours of being applied. If graffiti is not removed within 24 hours of notification, the City of Hawthorne shall remove the graffiti and invoice the applicant for the cost of clean-up.
6. Any changes or modifications of the conditions, as set below, require prior approval from the Department of Public Works:
 - All right-of-ways/easements affecting and/or within the project limits shall be noted on plan submitted for building permits.
 - Legal description shall be shown on plans.
 - Repair of cracked and/or deteriorated sidewalk, curb and gutter prior to issuance of building permits.
 - Provide dimensions for all driveway and all driveway approaches and width of adjacent parkway and sidewalk on all future plans.

- Provide curb drains as necessary.
 - Locate and indicate all traffic control devices (such as signal, stop no parking signs, etc.) and driveways adjacent to this property.
 - Locate all utilities within the project, on the street, side street, and alleyways bordering this project.
 - Locate and indicate all existing streetlights adjacent to this project.
 - Locate and indicate all streets striping adjacent to the project.
 - Project shall comply with City's NPDES requirements. Submit plans for NPDES review as soon as possible. Plans must address SWPPP, bioswale, infiltration chambers and other required features of LID plan. Percolation test for the property shall be provided. LID shall be done in accordance to the latest State NPDES permit requirements and Hawthorne Municipal code (HMC 8.50.170). On-site storm water runoff shall be retained by using infiltration chamber/s.
 - Project will require a Construction and Demolition Materials Report detailing all disposal, recycling and reuse activities. Final permit approval requires submittal of this report. A deposit may also be required upon issuance of demo permit. Contact Engineering Department 310-349-2980.
 - All new driveways shall meet the current ADA standards.
 - Existing driveway/s not utilized by the proposed project shall be removed and replaced with curb, gutter, parkway and sidewalk per City's standards.
 - Landscape and any structure adjacent to the driveway shall not be more than 3.5' high to provide adequate sight distance.
 - All overhead utilities shall be moved underground.
 - Additional studies may be required by the Engineering/Public Works Department per State and Federal regulations.
7. The applicant shall comply with all applicable requirements and provisions of the Uniform Building Code, Uniform Fire Code, and the Hawthorne Municipal Code. The applicant shall also comply with any additional requirements of the Chief of Fire Services, Director of Building and Safety, and the Director of Planning, as related to this application.

CONDITIONS OF APPROVAL

Conditions of approval are unique provisions, beyond the requirements of law, the municipal code, or standard practices that are applied to a project per Section 17.48.060 of the Zoning Code. Please note that if the design of your project or site conditions change, the conditions of approval may also change. If you have any questions regarding these requirements, please contact the City of Hawthorne.

8. The building shall be required to be maintained in an "as-new" state and updated as colors and materials chip, flake, discolor, fade, or break. If notified by the City, the operator will

have 30 days in which to make substantial progress toward repairing and refurbishing the facility to an “as new” state.

9. Applicant(s)/Operator shall install and maintain security cameras pursuant HMC Chapter 17.78.020 and provide a Security Plan, subject to the approval of the Police Department and City Planning Department. The security cameras shall cover all common areas of the property, high-risk areas, sidewalks areas, and entrances or exits. As deemed required by the Police Department, the Security Plan shall provide remote access to the Police Department for any web based wire security camera system.
10. A minimum of 132 vehicle parking spaces shall be provided in accordance to HMC Chapter 17.58. Parking spaces shall be double striped (two striped lines, three inches in width each with an intervening space of six inches). The applicant shall provide at least five accessible parking stalls, including one for vans, unless more is indicated by the Building and Safety Department or as required by federal or state law. Site plans shall clearly indicate the location, size, and dimensions of all parking provided on site. The parking lot shall be continuously maintained and repaired at all times to prevent breakage, holes, and vegetation growth in the paved areas.
11. Access to the hotel and parking lot by guests shall only be permitted from El Segundo Blvd., other than emergency exits as required by the Building and Safety Department and the Fire Department. Access shall not be across property owned or managed by a 3rd party without explicit written agreement from authorized parties for the proposed hotel, the 3rd party and the City of Hawthorne.
12. Trash/Recycling area shall be provided per the Hawthorne Municipal Code Chapter 17.54 and State Regulations. The trash/recycle storage area shall not be less than 56 sq. ft. If this storage area is not sufficient, additional pickups shall be scheduled by the applicant.
13. Trash/Recycling area shall be locked at all times when not in use and containers shall not be placed in or block access to required parking. Trash and recycling pick-up and emptying or disposing of trash/recycling is permitted to occur only between the hours of 7:00am and 8:00pm.
14. Hours of Operation:
 - Hotel may operate 24 hours per day, 7 days a week.
 - Kitchen service may operate 24 hours, daily, to serve hotel guest rooms and enclosed common areas only.
 - Terrace deck activities and amenities – hours of operation are limited between 7:00am to 10:00pm daily and available to hotel guests.
15. Noise/Music/Entertainment:
 - Property shall abide by the special noise provisions per HMC Section 17.28.070.
 - Only low-volume, ambient, background music may be permitted within the rooftop terrace and hotel lobby areas between 7:00am to 10:00pm.

- Live entertainment features or amplified music is prohibited in the rooftop outdoor areas during all hours of operation, except during preapproved special event occasions approved by the City of Hawthorne.
 - The applicant shall not sublet, lease or rent the premises to outside promoters for public access activities unless a special events permit has been approved by the City of Hawthorne.
 - The applicant shall monitor any use of the rooftop terrace area by individuals who are not registered guests.
16. Prior to issuance of building permits, the landscape plans must demonstrate compliance with the City's Water Efficient Landscaping ordinance, found in HMC Chapter 17.89.
 17. Prior to site demolition and grading, a Soil Management Plan (SMP) must be approved by the City. The SMP must establish guidelines to address potential areas of impact as described in the Phase I ESA completed by Kimley Horn in 2023.
 18. The applicant shall provide exterior lighting and/or landscape lighting to the exterior of the 1st floor level parking, fronting El Segundo Blvd.
 19. Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential or commercial properties and the public right-of-way.
 20. Applicant shall not provide alcoholic beverage sales or services unless a conditional use permit separate from 2022CU11 is first approved by the Planning Commission.
 21. The applicant shall provide a shuttle that runs between the project site and a location designated by Los Angeles International Airport (LAX) for hotel shuttle drop-off and pick-up on a regular schedule to provide transportation for guests to and from the airport.
 22. Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Planning Department and any designated agency, and in accordance with any stated laws or regulations, or any amendments thereto.
 23. The Planning Department, Public Works Department, Police Department, Building and Safety Department, and contract agencies (Los Angeles County Fire Department) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. Any questions of intent or interpretations of any condition of approval shall be resolved by the appropriate Department or Agency upon written request of such interpretation.
 24. The Planning Director may interpret the implementation of each condition of approval and, with advanced notice, grant minor amendments to approved plans or conditions of approval based on changed circumstances, new information, or relevant factors as long as the spirit and intent of the approved condition of approval is satisfied. Permits shall not be issued until the proposed minor amendment is reviewed and approved for conformance with the intent of the approved condition of approval. If the proposed changes are substantial in nature, an amendment to the original entitlement may be required pursuant to the provisions of Hawthorne Municipal Code.

25. The Applicant, and each of its heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Hawthorne and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council and Planning Commission concerning this project. The City shall promptly notify the Applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.

26. As established in HMC Section 17.06.090, Planning Commission approvals of the Conditional Use Permit and Design Review expire three years from the date of the final decision unless the property is used in conformance with the planning approvals.

Attachment 5
Phase I ESA

See separate attachment

Attachment 6
Air Quality Memo

See separate attachment

Attachment 7
Noise Memo

See separate attachment

Attachment 8
VMT Analysis

See separate attachment

Attachment 9
Notice of Exemption

NOTICE OF EXEMPTION
CONDITIONAL USE PERMIT APPLICATION 2022CU11

NOTICE OF EXEMPTION

TO: County Clerk/Registrar-Recorder County of Los Angeles Environmental Filings 12400 East Imperial Highway, Room 2001 Norwalk, CA 90650	FROM: Planning Department City of Hawthorne 4455 West 126th St. Hawthorne, CA 90250
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Project Title and Location (including county): Conditional Use Permit 2022CU11
5151 W. El Segundo Blvd.
City of Hawthorne, County of Los Angeles

Project Description: A request to approve a new Home2 branded 6-story hotel with 142 guestrooms and associated parking.

Name of Public Agency Approving Project: City of Hawthorne Planning Department
Name of Person/Agency Carrying Out Project: Mohammad Pournamdari

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption: Section: 15332 Class: 32
- Statutory Exemption: Section: _____ Class: _____

Reasons why project is exempt:

Staff reviewed the proposed development project in accordance with the California Environmental Quality Act (CEQA) guidelines. The proposed project is exempt from the requirements of preparing an Environmental Impact Report (EIR) or Negative Declaration because the project meets the criteria for a Class 32 Categorical Exemption pursuant to Section 15332, (In-Fill Development Projects) of CEQA. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no less than five acres that is completely surrounded by urban uses. The project site has no value as habitat for endangered, rare, or threatened species, approval will not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site is adequately serviced by all required utilities and public services.

HABITAT VALUE

As established in the Phase I Environmental Site Assessment (ESA) for this site, the project site began development between 1952 and 1963 with multiple structures being developed for commercial purposes. Since then, a series of different developments have occurred with the most recent being

NOTICE OF EXEMPTION
DESIGN REVIEW APPLICATION 2022DR06

NOTICE OF EXEMPTION

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Project Title and Location (including county): Design Review Application 2022DR06
5151 W. El Segundo Blvd.
City of Hawthorne, County of Los Angeles

Project Description: A request to approve the proposed site design (exterior architectural building facade, landscaping, etc.) for a new Home2 branded hotel.

Name of Public Agency Approving Project: City of Hawthorne Planning Department
Name of Person/Agency Carrying Out Project: Mohammad Pournamdari

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
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