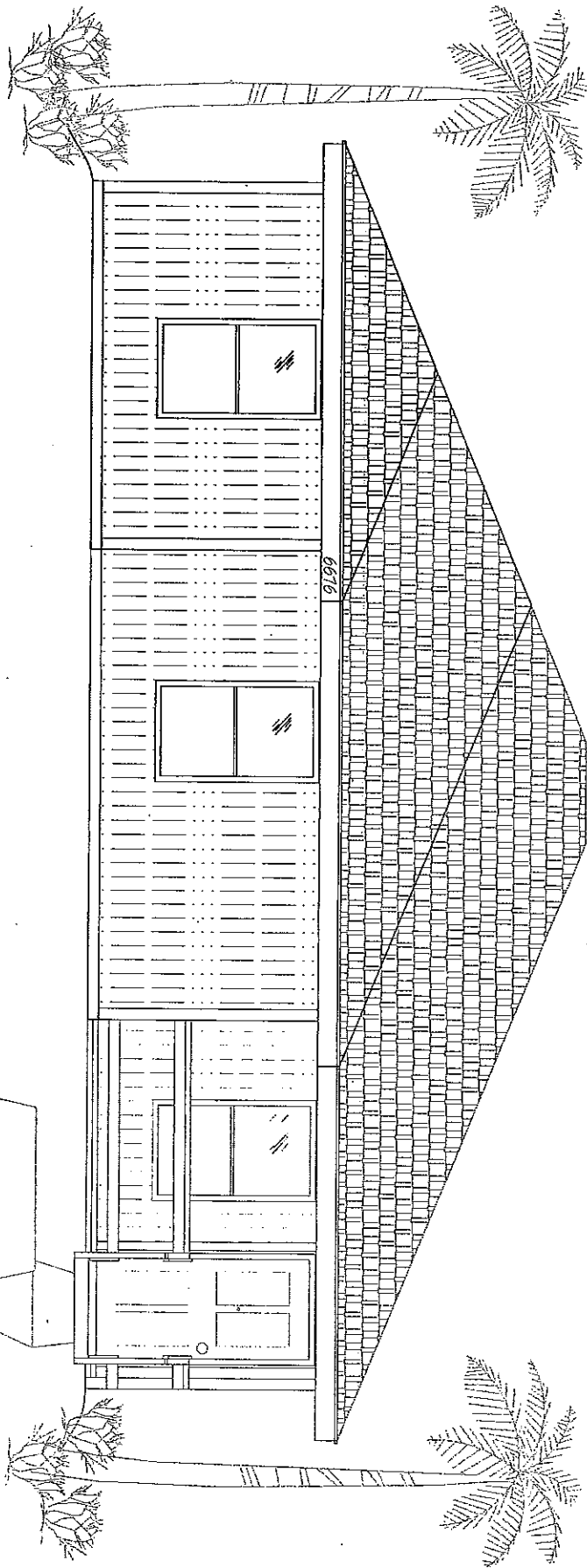


MATA RESIDENCE



VIRGINIA MATA
6676 CAMINO REAL - GRANJENO
(956) 432-2937

URBAN COUNTY PROGRAM
1916 TESORO BLVD.
(956) 787-8127

URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

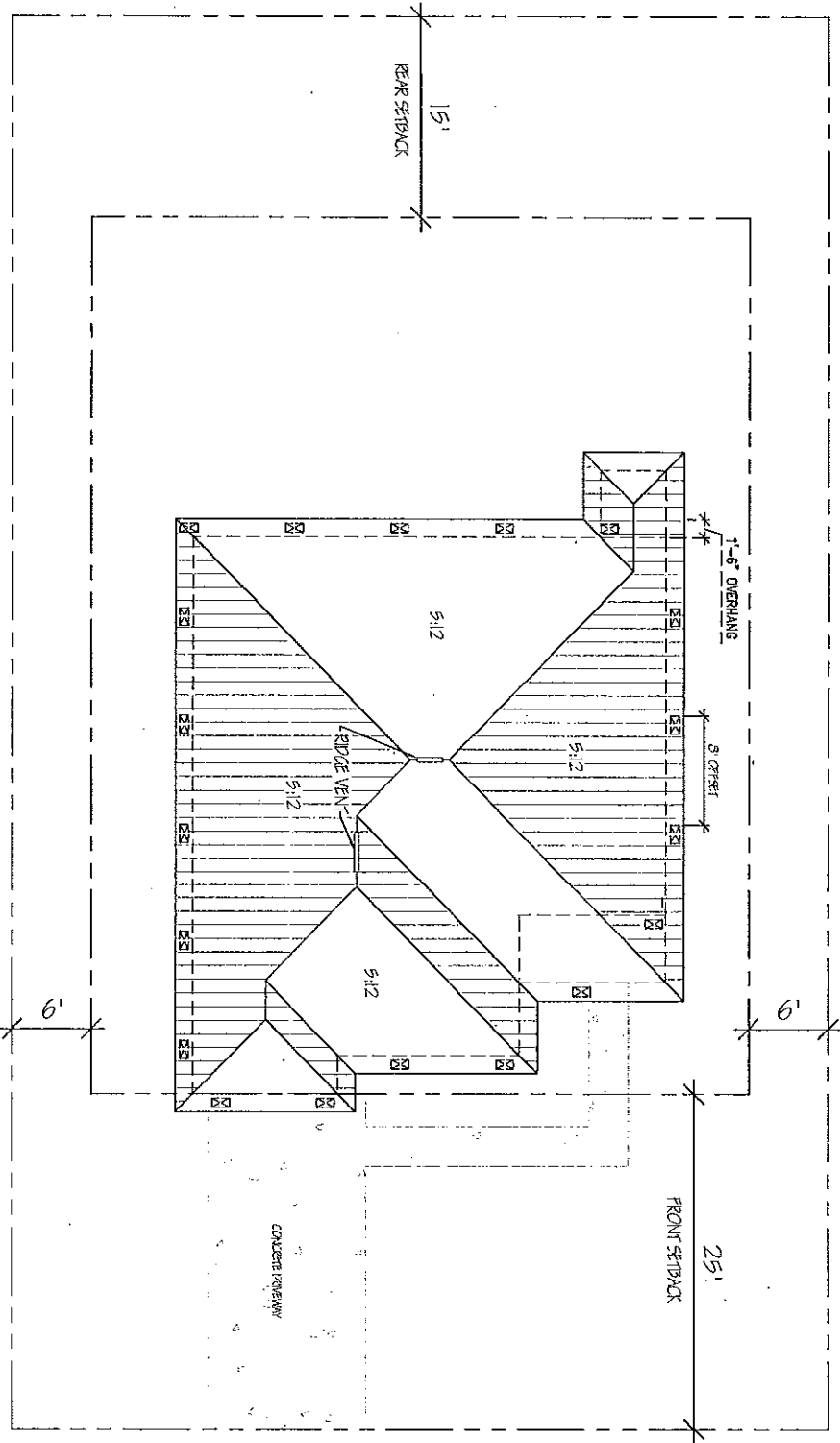
VIRGINIA MATA
6676 EL CAMINO REAL ST. - GRANJENO

LIVING AREA
1376 SQ. FT.

PORCION 58 GRANJENO, 0.278 AC.

X 105'

62'



NOTE:

Please verify with city/ county on setbacks and for any requirements regarding sidewalk, landscaping and any other obligations as per city regulations/ ordinances. HOWEVER, any house that is made for handicap accessibility WILL ALWAYS require driveway with connecting sidewalk to ramp.

Remember to provide 6" of landscape dirt around house with sufficient grass seed up to 10' of perimeter. Install both a ramp, steps and railings as per owners request of location. In addition, remember to replace septic tank if needed and is more than 10 yrs old. House to be built on original location.

Driveway to be 12" X 25" minimum, remain distance 5 to street if any is to be of asphalt, caliche or concrete.

CAMINO REAL ST.

105'
X 62'

1
PLOT ELEVATION

SCALE: 1/4" = 1'-0"



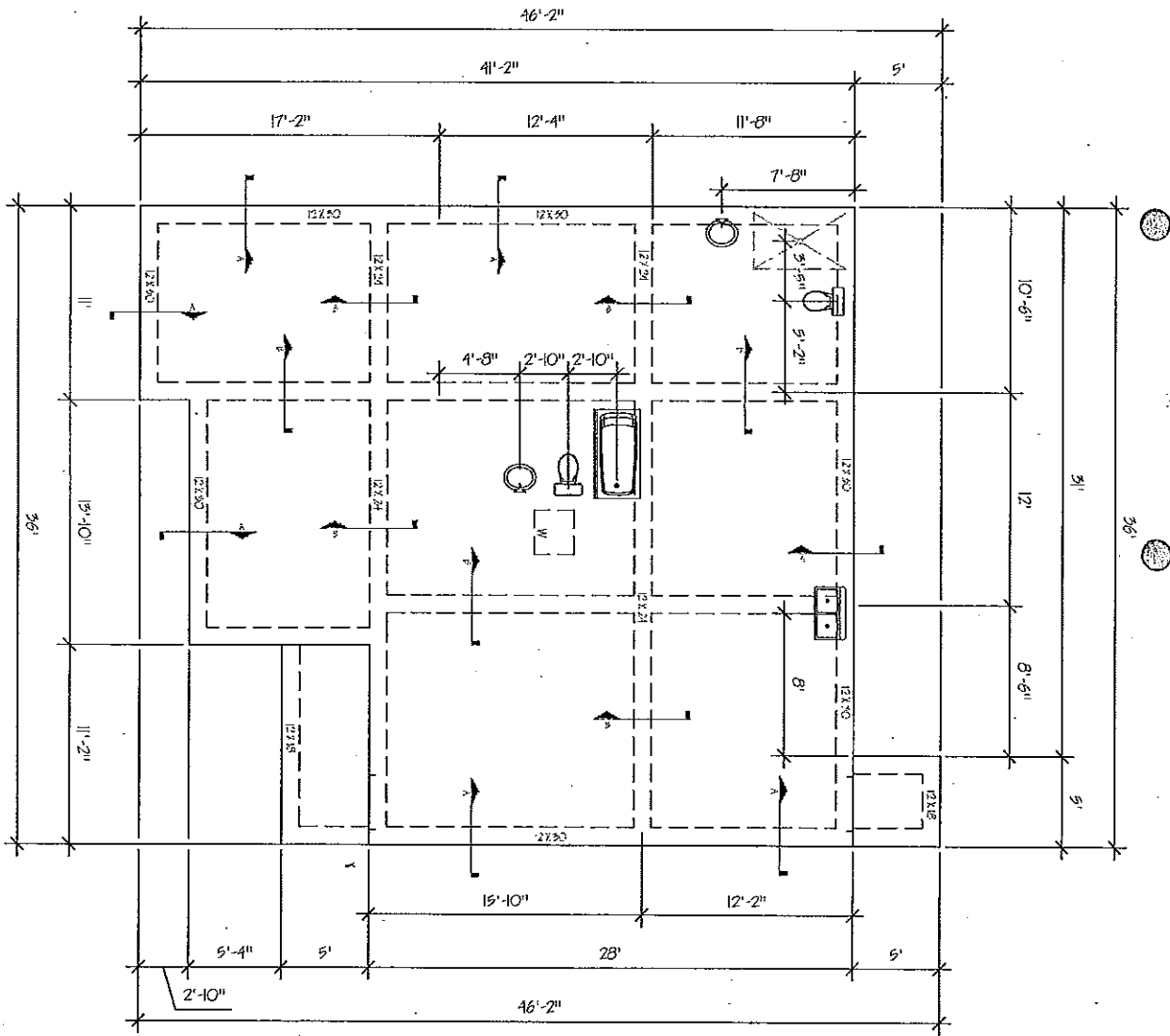
URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM



2 OF 7

VIRGINIA MATA
6676 EL CAMINO REAL ST. - GRANJENO

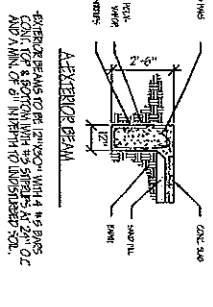
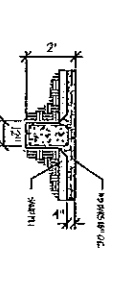
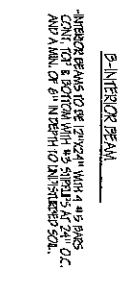
LIVING AREA
1376 SQ. FT.



1
 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

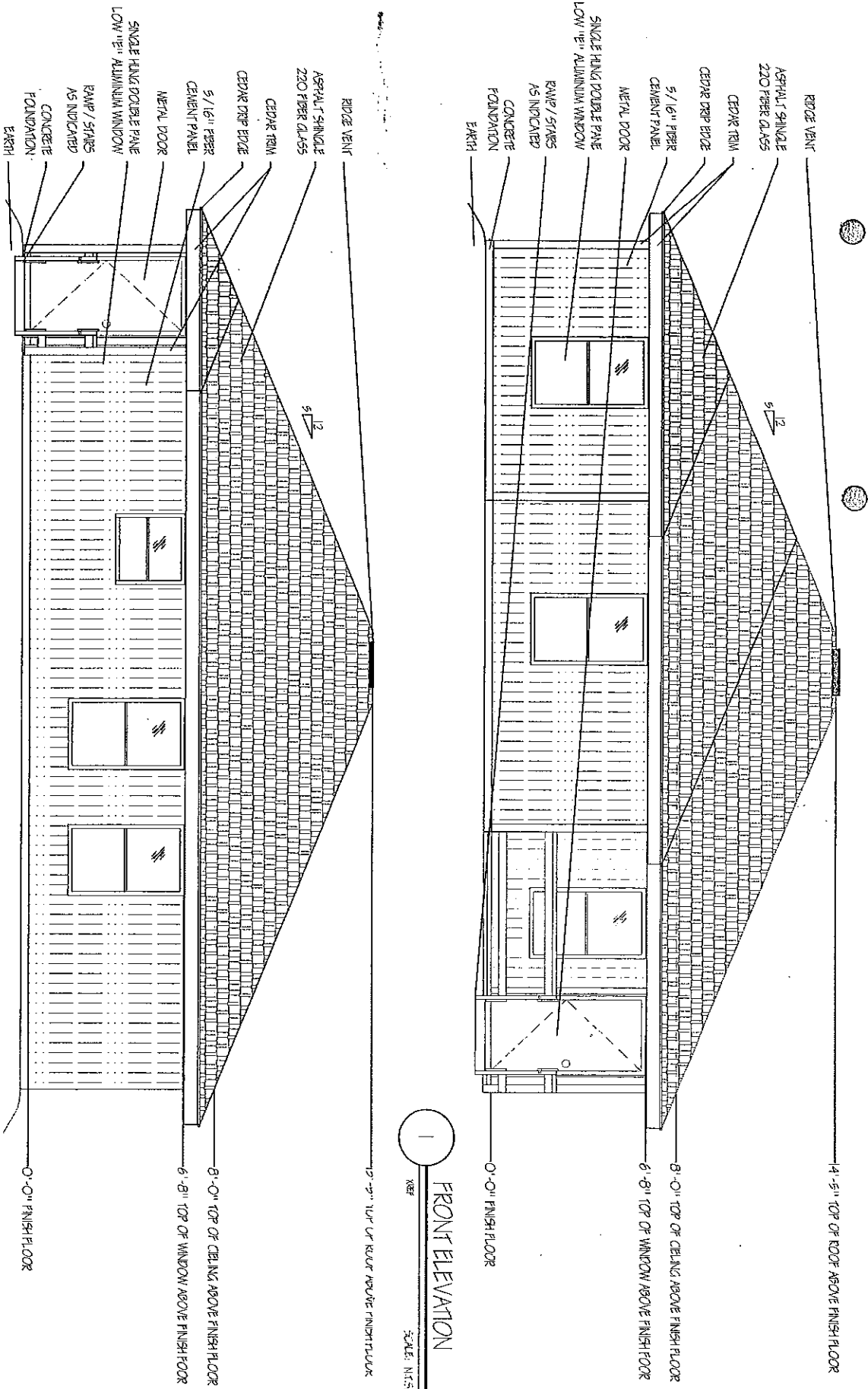
GENERAL NOTES

1. ALL BEAMS TO BE 12"x30" UNLESS OTHERWISE NOTED.
2. ALL BEAMS TO BE 12"x24" UNLESS OTHERWISE NOTED.
3. ALL BEAMS TO BE 12"x21" UNLESS OTHERWISE NOTED.
4. ALL BEAMS TO BE 12"x18" UNLESS OTHERWISE NOTED.
5. ALL BEAMS TO BE 2"x8" UNLESS OTHERWISE NOTED.
6. ALL BEAMS TO BE 2"x10" UNLESS OTHERWISE NOTED.
7. ALL BEAMS TO BE 2"x12" UNLESS OTHERWISE NOTED.
8. ALL BEAMS TO BE 2"x14" UNLESS OTHERWISE NOTED.
9. ALL BEAMS TO BE 2"x16" UNLESS OTHERWISE NOTED.
10. ALL BEAMS TO BE 2"x18" UNLESS OTHERWISE NOTED.
11. ALL BEAMS TO BE 2"x20" UNLESS OTHERWISE NOTED.
12. ALL BEAMS TO BE 2"x22" UNLESS OTHERWISE NOTED.
13. ALL BEAMS TO BE 2"x24" UNLESS OTHERWISE NOTED.
14. ALL BEAMS TO BE 2"x26" UNLESS OTHERWISE NOTED.
15. ALL BEAMS TO BE 2"x28" UNLESS OTHERWISE NOTED.
16. ALL BEAMS TO BE 2"x30" UNLESS OTHERWISE NOTED.
17. ALL BEAMS TO BE 2"x32" UNLESS OTHERWISE NOTED.
18. ALL BEAMS TO BE 2"x34" UNLESS OTHERWISE NOTED.
19. ALL BEAMS TO BE 2"x36" UNLESS OTHERWISE NOTED.
20. ALL BEAMS TO BE 2"x38" UNLESS OTHERWISE NOTED.
21. ALL BEAMS TO BE 2"x40" UNLESS OTHERWISE NOTED.
22. ALL BEAMS TO BE 2"x42" UNLESS OTHERWISE NOTED.
23. ALL BEAMS TO BE 2"x44" UNLESS OTHERWISE NOTED.
24. ALL BEAMS TO BE 2"x46" UNLESS OTHERWISE NOTED.
25. ALL BEAMS TO BE 2"x48" UNLESS OTHERWISE NOTED.
26. ALL BEAMS TO BE 2"x50" UNLESS OTHERWISE NOTED.
27. ALL BEAMS TO BE 2"x52" UNLESS OTHERWISE NOTED.
28. ALL BEAMS TO BE 2"x54" UNLESS OTHERWISE NOTED.
29. ALL BEAMS TO BE 2"x56" UNLESS OTHERWISE NOTED.
30. ALL BEAMS TO BE 2"x58" UNLESS OTHERWISE NOTED.
31. ALL BEAMS TO BE 2"x60" UNLESS OTHERWISE NOTED.
32. ALL BEAMS TO BE 2"x62" UNLESS OTHERWISE NOTED.
33. ALL BEAMS TO BE 2"x64" UNLESS OTHERWISE NOTED.
34. ALL BEAMS TO BE 2"x66" UNLESS OTHERWISE NOTED.
35. ALL BEAMS TO BE 2"x68" UNLESS OTHERWISE NOTED.
36. ALL BEAMS TO BE 2"x70" UNLESS OTHERWISE NOTED.
37. ALL BEAMS TO BE 2"x72" UNLESS OTHERWISE NOTED.
38. ALL BEAMS TO BE 2"x74" UNLESS OTHERWISE NOTED.
39. ALL BEAMS TO BE 2"x76" UNLESS OTHERWISE NOTED.
40. ALL BEAMS TO BE 2"x78" UNLESS OTHERWISE NOTED.
41. ALL BEAMS TO BE 2"x80" UNLESS OTHERWISE NOTED.
42. ALL BEAMS TO BE 2"x82" UNLESS OTHERWISE NOTED.
43. ALL BEAMS TO BE 2"x84" UNLESS OTHERWISE NOTED.
44. ALL BEAMS TO BE 2"x86" UNLESS OTHERWISE NOTED.
45. ALL BEAMS TO BE 2"x88" UNLESS OTHERWISE NOTED.
46. ALL BEAMS TO BE 2"x90" UNLESS OTHERWISE NOTED.
47. ALL BEAMS TO BE 2"x92" UNLESS OTHERWISE NOTED.
48. ALL BEAMS TO BE 2"x94" UNLESS OTHERWISE NOTED.
49. ALL BEAMS TO BE 2"x96" UNLESS OTHERWISE NOTED.
50. ALL BEAMS TO BE 2"x98" UNLESS OTHERWISE NOTED.
51. ALL BEAMS TO BE 2"x100" UNLESS OTHERWISE NOTED.



URBAN COUNTY PROGRAM
 OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

VIRGINIA MATA
 6676 EL CAMINO REAL ST. - GRANLEINO



2 REAR ELEVATION

SCALE: N.T.S.

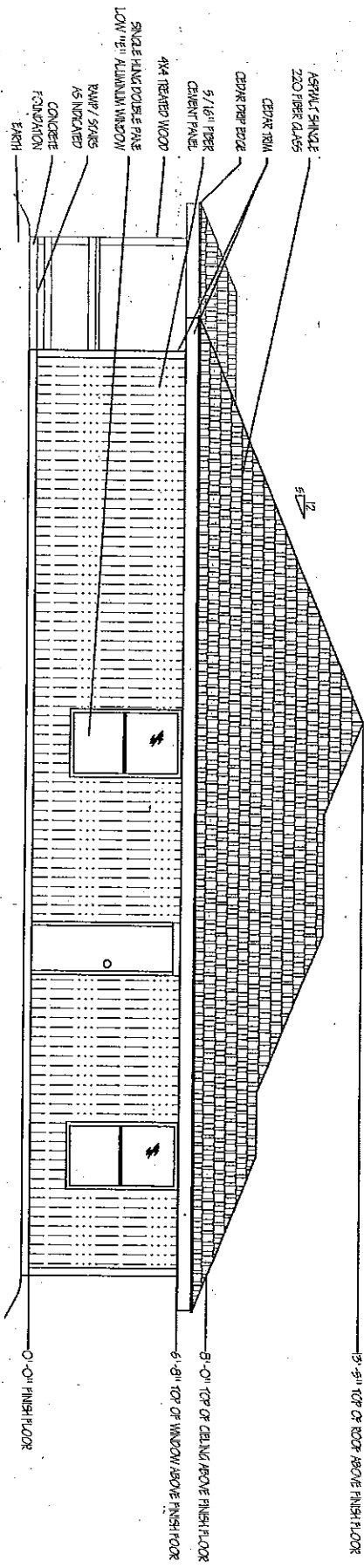
1 FRONT ELEVATION

SCALE: N.T.S.

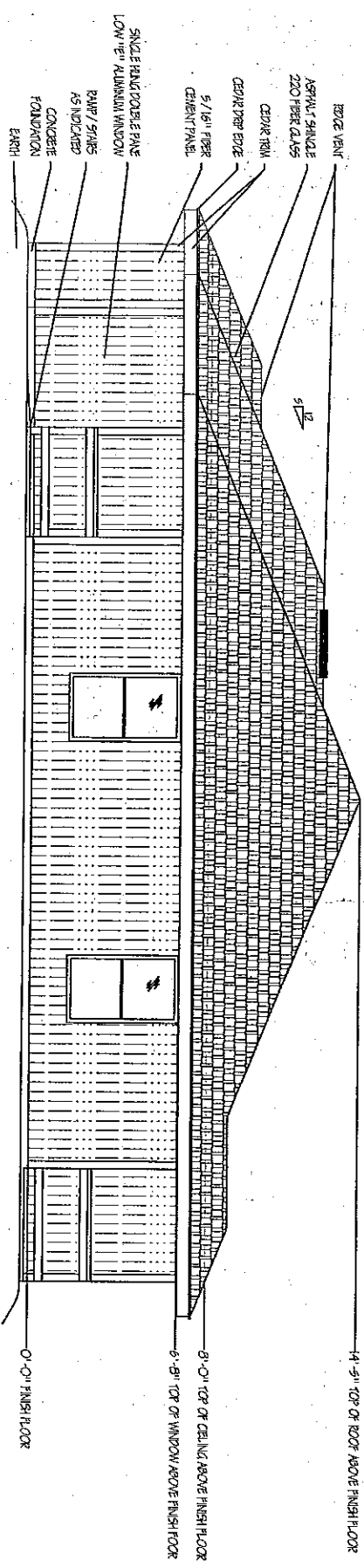
URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

VIRGINIA MATA
6676 EL CAMINO REAL ST. - GRANLENO

LIVING AREA
1376 SQ. FT.



1
RIGHT ELEVATION
SCALE: N.T.S.



2
LEFT ELEVATION
SCALE: N.T.S.



URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM



ALL SPECIFICATIONS SHALL ASSUME THE USE OF CONTRACTOR'S MINIMUM GENERAL SPECIFICATIONS MANUAL SPECIFICATIONS

1. FOUNDATION WORK: BUILD A NEW CONCRETE FOUNDATION TO COMPLY WITH PLANS, SPECS, QIT AND /COUNT REQUIREMENTS. PROJECTS TO BE 18" ABOVE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. INCLUDE CONCRETE SLAB FOR A/C UNIT, CONCRETE DRIVEWAY THAT MEASURES 12X25'. MUST CONNECT TO STREET.

2. PLUMBING GENERAL: (SEE SPECS) ALL PLUMBING ROUGH SHALL BE AS FOLLOWS:

- > WATER SUPPLY TO HOUSE SHALL HAVE A 3/4" CUTOFF VALVE BEFORE ENTRY TO HOUSE.
> INTERIOR WATER SUPPLY LINES FOR HOUSE SHALL BE ALL NEW PEV OF APPROPRIATE DIAMETER
> NEW PEV PIPES AND FITTINGS.
> OF 1" MINIMUM DIAMETER FOR ALL EXTERIOR WATER SUPPLY LINES BELOW GROUND.
> OF APPROPRIATE DIAMETER FOR DWV (DRAIN, WASTE, AND VENTS)
> SEWER CONNECTION SHALL HAVE (1) PLASTIC PVC SEWER CLEAN OUT.

ALL PLUMBING FINISH SHALL BE AS FOLLOWS:

- > RELATED PLUMBING ITEMS:
(2) EXTERIOR HOSE BRASS BIB FAUCETS.
1/2" CUTOFF VALVES WITH ESCUTCHEONS FOR ALL FIXTURES.
PLUMBING SEALANT FOR ALL DRAINS, AND SINK PERIMETERS
ALL OTHER RELATED PLUMBING (SEE SPECS)
FIXTURES: (SEE SPECS)
KITCHEN SINK FAUCETS/RELATED PLUMBING
CABINET SINK WITH ROMINAL COUNTERTOP FAUCETS
SHOWERS WITH RELATED PLUMBING & FIXTURES
TOILET OF MATCHING COLOR
MEDICINE CABINETS/TOWEL RACKS/T.P. DISPENSER/ TOOTHBRUSH SOAP HOLDER & SHOWER ROD (SEE SPECS)
WATER HEATER INSTALLED AS PER SPECS. (GAS OR ELECTRIC AS PER OWNER REQUEST)
OTHER RELATED ITEMS
RANGE CONNECTIONS AS PER OWNERS REQUEST (SEE SECTION 23)
4" DRYER EXHAUST VENT.
IN WALL WASHING MACHINE BOX WITH BRASS FAUCETS & RELATED PLUMBING.
HOOK UP ALL DRAINAGE LINES TO CITY SEWER SYSTEM IF AVAILABLE. SEE CITY FOR INFORMATION TEST SEPTIC SYSTEM IF EXISTING FOR INTEGRITY AND REPLACE IF NECESSARY AND MORE THAN 10 YEARS OF AGE

3. INTERIOR/EXTERIOR WALLS & CEILINGS:

- > ALL INTERIOR AND EXTERIOR WALL FINISHES:
2x4" (#2 OR BETTER) FOR USE IN SOLE PLATES (TREATED LUMBER)
DOUBLE TOP PLATES
92 5/8" PRE-CUT STUDS @ 16" O.C.
WINDOW SILLS
CEILING JOIST CHAIN BLOCKING @ 48" O.C.

- INSTALL BOOT TIES IN EVERY CORNER OF THE HOUSE ALONG WITH METAL ANCHORS ON BOTH BOTTOM AND TOP PLATES OF HOME
2x4" (#2 OR BETTER) FOR USE IN:
WINDOW & DOOR HEADERS WITH 1/2" SPACER.
CEILING JOIST @ 24" O.C. FOR CLEARANCES LARGER THAN 12' CEILING JOIST SHALL BE @ 16" O.C.
(2) 2x12 WHERE NEEDED
ALL EXTERIOR CEILING COVERINGS:
3/8" CD EXTERIOR PLYWOOD FOR PORCH CEILINGS.
ALL INTERIOR WALL & CEILING COVERINGS.
1/2" SHEETROCK FINISHED AS PER SPECS.
1/2" DAMP RESISTANT SHEETROCK FOR BATH AREAS.
ALL INTERIOR CEILINGS & WALLS TO HAVE ORANGE PEEL TEXTURE
ALL EXTERIOR TRIMMINGS SHOULD CONSIST OF CEDAR WOOD.

4. ROOF (SLOPE=5/12) ROOF SHALL HAVE:

- A HIGGABLE STYLE ROOF WITH 16" OVERHANGS.
• A HIGGABLE STYLE FRONT PORCH AS PER PLANS.
• PORCH COLUMNS MUST BE FASTENED TO CONCRETE.
• AN ADEQUATE COMBINATION OF RIDGE & SOFTI VENTS WITH AIR CHUTES.
• ADEQUATE RAIN GUTTERS WITH DOWN SPOUTS FOR THE ROOF AREA THAT MAY AFFECT OWNERS.
• SHINGLES TO BE OF LIGHT COLOR (no black shingles)

5. PORCH & CANOPY FLOORS:

- THE HOUSE SHALL HAVE PORCH FLOORS AS FOLLOWS:
A FRONT PORCH FLOOR.
A SIDE/BACK PORCH FLOOR.
PROVIDE RAMP & (2) HANDRAILS TO EACH FRONT AND/OR SIDE PORCH STEPS IF FINISH GRADE IS MORE THAN 6" ABOVE ORIGINAL GROUND LEVEL OF PROPERTY.

6. INSULATION:

- > ALL LIVING AREA CEILINGS WITH BLOWN IN INSULATION TO R-19 FACTOR
INSULATION FOAM SHALL BE USED AROUND ALL WINDOWS, WIRES, PLUMBING, ELECTRICAL, 2x4 BOTTOM PLATES, AND ALL PENETRATED AREAS.
ALL PERIMETER WALLS WITH R-15 F.G. BATT.
ALL EXTERIOR PIPES EXPOSED TO WEATHER.

7. INTERIOR FINISH:

- ALL TRIM SHALL BE INSTALLED AS PER SPECS
ALL PAINT SHALL BE APPLIED AS PER SPECS (2 COATS) AND SHOULD BE COMPARABLE IN QUALITY TO SHEWAN WILLIAMS PAINT ALLOW A VARIETY OF DIFFERENT COLORS FOR CLIENT TO CHOOSE FROM. (2 COLOR CHOICE MIN).

8. EXTERIOR FINISH:

PAINT ENTIRE HOUSE AS PER SPECS WITH PAINT COMPARABLE IN QUALITY TO SHEWAN WILLIAMS. PRIMER TO BE OIL BASED & PAINT MUST BE EQUIVALENT TO A-100. (2 COLOR CHOICE MIN).

9. SIDING:

THE SIDING SHALL BE 5/16" FIBER CEMENT WITH ALL CEDAR TRIM TO ENTIRE HOUSE.

10. WINDOWS:

SHALL BE NEW LOW-E DOUBLE PANE INSULATED ALUMINUM WINDOWS. SIZE AS PER PLAN.

11. CABINETS GENERAL:

- > BUILD AND/OR INSTALL NEW KITCHEN CABINETS TO INCLUDE A RANGE CABINET.
A KITCHEN ROMICA COUNTER TOP OF MATCHING COLOR.
BATH AND /OR INSTALL A NEW VANITY CABINET FOR EACH BATHROOM WITH ROMICA TO MATCH LAVATORY, SINK/TOILET AND WALLS. ALL CABINETRY PIECES SHOULD BE NEW AND COMPLETE AND BUILT TO PROFESSIONAL STANDARDS.

12. FLOOR, SUBFLOOR, & FINISH FLOORING:

APPLY VOT FLOOR TILE TO ALL LIVING AREA HOUSE FLOORS. SECOND FLOOR TO BE BUILT WITH 2 X 12 FLOOR JOISTS @ 16" O.C.

13. ELECTRICAL GENERAL

- > ALL ELECTRICAL INSTALLATIONS & WORK AS PER ELECTRICAL CODE WITH THE FOLLOWING CONDITIONS:
PROVIDE RANGE OUTLET AS PER OWNERS REQUEST.
PROVIDE APPROPRIATE WASHER & DRYER CONNECTION.
(2) 32" CEILING FANS (CEILING HUGGER STYLE) COMPARABLE IN QUALITY TO THE HUNTER BRAND. THE CONTRACTOR SHALL ALLOW \$120.00 FOR MATERIAL & LABOR. LOCATION AS PER OWNER REQUEST. INSTALL GFCI OUTLETS IN BATHROOMS, KITCHEN, AND EXTERIOR WALLS.
EACH ELECTRICAL PANEL ON BREAKER BOX, LIGHT SWITCH OR THERMOSTAT NO HIGHER THAN 24" ABOVE FLOOR.
EACH ELECTRICAL OUTLET TO BE PLACED 15" ABOVE THE FLOOR.

- > ALL RECEPTACLES PLACED WITHIN 6" FROM KITCHEN OR BATHROOM SINKS MUST BE GFI
EACH ELECTRICAL PLATES ARE TO BE CALLED

14. RANGE HOOD:

INSTALL A RANGE TO FIT OWNERS RANGE SIZE (30" OR 36").

15. BATHROOM ACCESSORIES:

ALL ACCESSORIES & MEDICINE CABINET AS PER SPECS. (CURTAIN ROD, TOILET PAPER, TOOTHBRUSH & SOAP HOLDER)

16. HEATING & A/C:

PROVIDE & INSTALL A 16 SEER CENTRAL AIR CONDITIONING COMPAREABLE IN QUALITY TO A CARRIER BRAND UNIT FOR THE ENTIRE HOUSE. INSTALL DIGITAL THERMOSTAT. PLANS MUST BE

REVIEWED BY A LICENSED A/C TECHNICIAN TO DETERMINE PROPER INSTALLATION OF VENTS, DUCTS, AND REQUIRED 2 X 2 #0 CHASE

17. SMOKE DETECTORS:

INSTALL A SMOKE DETECTOR INSIDE EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS, ALL WIRED IN SERIES.

18. GENERAL NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR:

- > YOUR BID TO INCLUDE ANY COST RELATED TO REQUIREMENTS FROM CITY. CHANGE ORDERS FOR THIS PARTICULAR PURPOSE WILL NOT BE ACCEPTED OR PROCESSED TO CORRECT THE ABOVE MENTIONED.
YOUR BID TO INCLUDE ANY COST RELATED TO RES-CHECK & ENERGY COMPLIANCE REQUIREMENTS
THE DEMOLISH AND DISPOSAL EXISTING STRUCTURE ELEVATIONS.
PROVIDE 6" OF LANDSCAPE DIRT AROUND THE HOUSE ALONG WITH SUFFICIENT GRASS SEEDS UP TO 10' OF PERIMETER.
PROVIDING THE APPROPRIATE ELECTRICAL AND JOE GAS CONNECTIONS FOR RANGE AS PER APPLICANTS REQUEST AND ACCORDING TO APPLICABLE PLUMBING/ELECTRICAL CODE.
PROVIDE PHONE JACKS & CABLE CONNECTIONS IN EACH BEDRM & LIVING ROOM. KITCHEN PHONE IF REQUESTED.
PROVIDE THERMITE PRE-TREATMENT TO ENTIRE HOUSE.
OBTAINING, DISPLAYING, AND SUBMITTING ALL PROPER PERMITS & INSPECTIONS.
ALL CONTRACTORS WILL BE RESPONSIBLE FOR ANY ADDITIONAL PLANS, SPECIFICATIONS AND/OR DETAILS THAT ARE REQUIRED BY CITIES OR COUNTY AT THE TIME OF AT-TAINING PERMITS.
ALL THE GENERAL INFORMATION CONTAINED WITHIN SECTION 23 GENERAL NOTES OF THE CONTRACTORS GENERAL SPECIFICATIONS MANUAL.
PROVIDE AND INSTALL PROJECTS SIGNS AT EACH CONSTRUCTION SITE
CONTRACTOR IS RESPONSIBLE FOR SUPPLYING PORT A POTTY THROUGHOUT CONSTRUCTION PROCESS (based on final (dependent))
SHOWER ENHANCERS TO BE 36" WIDE
INSTALL TOP HOMES MUST COMPLY WITH TEXAS GOVERNMENT CODE §2909.514

THE HOMEOWNER SHALL BE RESPONSIBLE FOR REMOVE AND DISPOSE OF ALL DEBRIS ON SITE BEFORE THE BEGINNING OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO TREES, ABANDONED VEHICLES, OLD LUMBER, ETC. MAKING NECESSARY DEPOSITS FOR ANY UTILITIES TO BE CONNECTED TO THE NEW DWELLING.

I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME
Name of Applicant

NAME OF APPLICANT