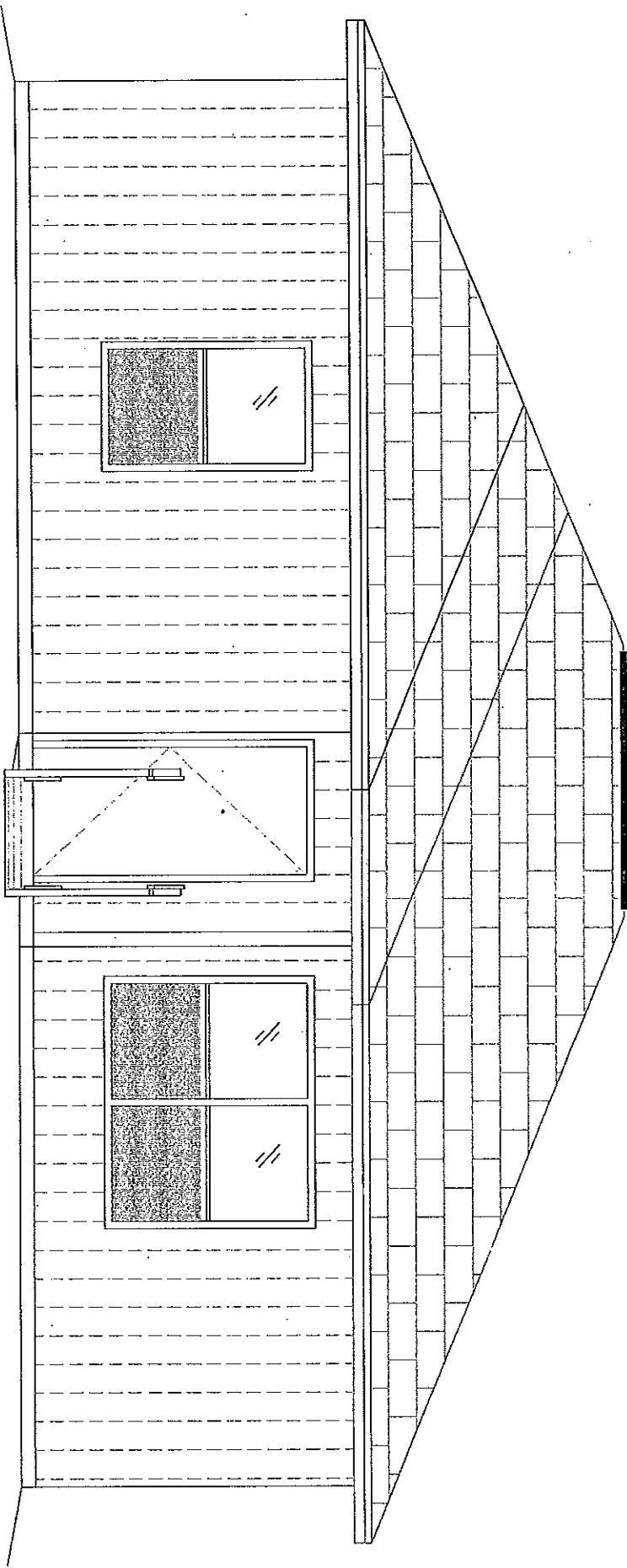


# URESTI RESIDENCE



GERONIMA URESTI  
903 N. VERMONT-MERCEDES  
956-313-4322

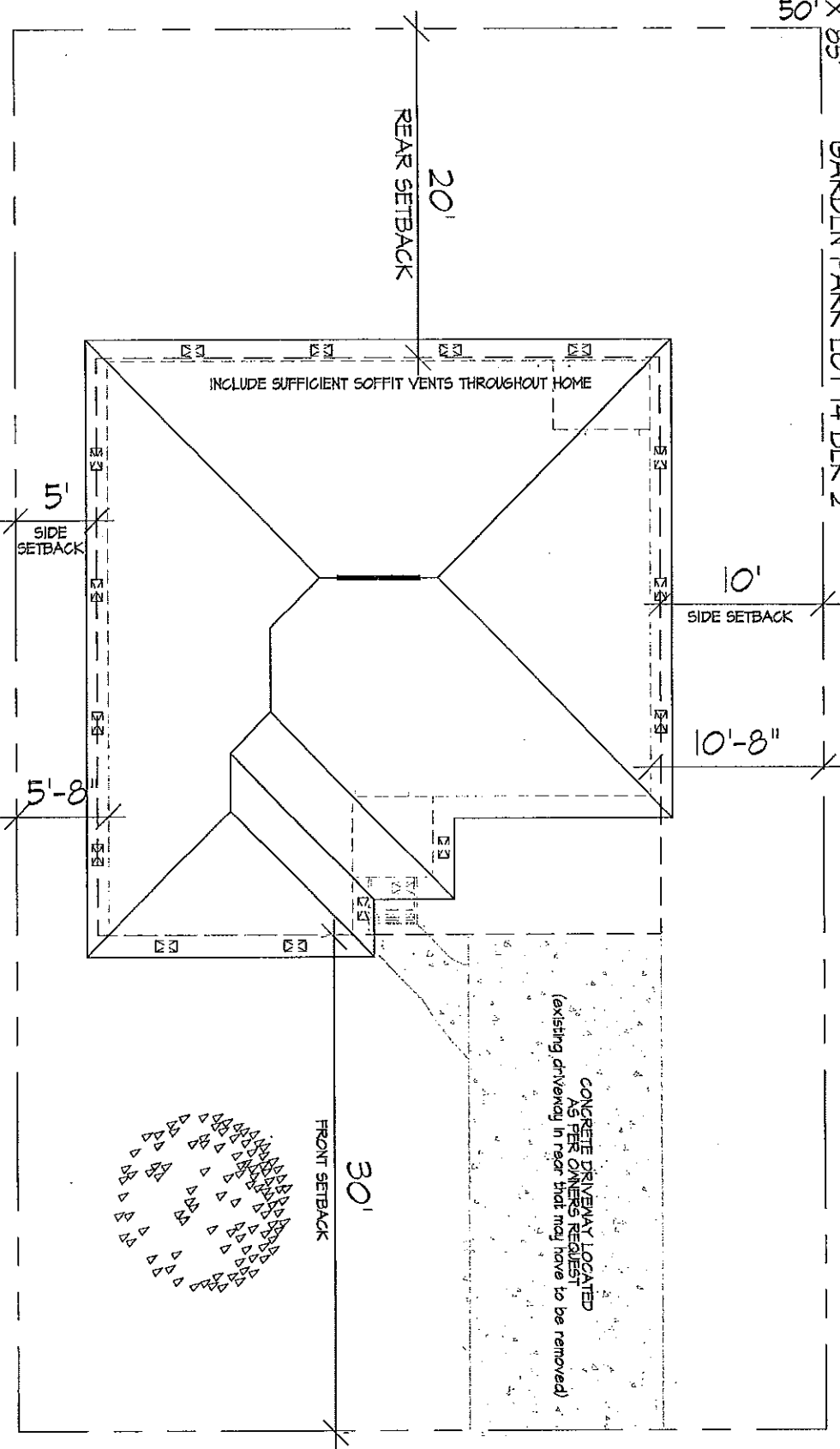
URBAN COUNTY PROGRAM  
1916 TESORO BLVD.  
(956) 787-8127

URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

GERONIMA T. URESTI  
903 N. VERMONT - MERCEDES

TOTAL AREA  
1040 SQ. FT.

50' X 85' GARDEN PARK LOT 14 BLK 2



**NOTE:**  
 Please verify with city/county on setbacks and for any requirements regarding sidewalk driveway, landscaping, and any other obligations as per city regulations/or ordinances.  
 HOWEVER, any house that is made for handicap accessibility WILL ALWAYS require driveway with connecting sidewalk to ramp.

Remember to provide 6" of landscape dirt around house with sufficient grass seed up to 10' of perimeter. In addition, remember to replace septic tank if needed and is more than 10 yrs old.  
 \* Please note that landscaping may have to be removed for driveway.



ROOF/PLOT PLAN

XREF

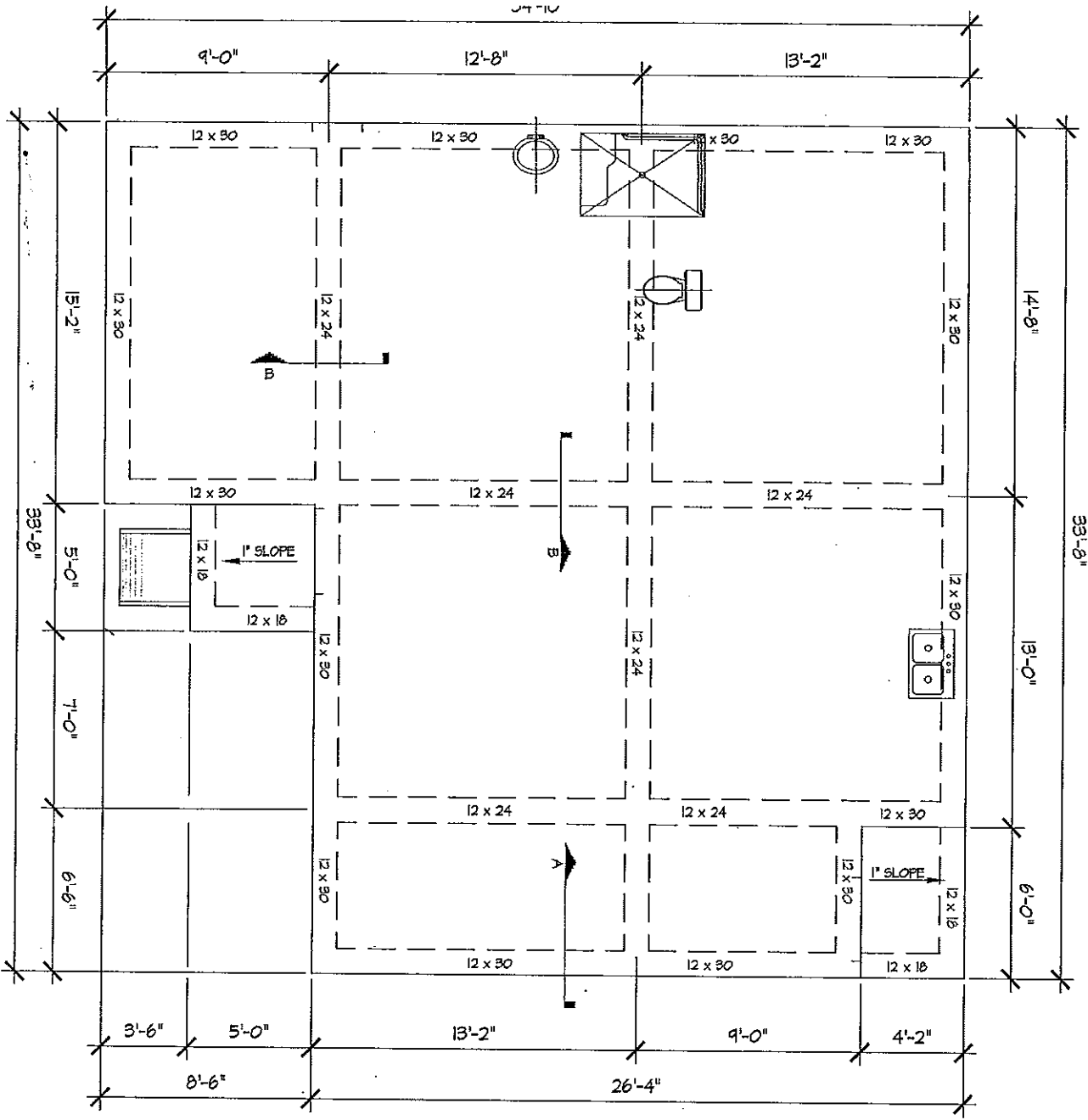
SCALE: 1" = 1'-0"

903 N. Vermont

URBAN COUNTY PROGRAM  
 OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

GERONIMA T. URESTI  
 903 N. VERMONT - MERCEDES

LIVING AREA  
 1040 SQ. FT.

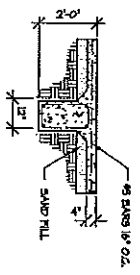


- GENERAL NOTES**
- 4" THICK SLAB ON GRADE W/ #3 BARS @ 16" O.C. EACH WAY AT MID-DEPTH OF SLAB OVER 6 MIL VISQUEEN OVER APPROVED COMPACTED FILL
  - EXTERIOR BEAMS TO BE 12"x30" WITH 4 #5 BARS CONT. TOP & BOTTOM WITH #3 STRIPS AT 24" O.C. AND A MIN. OF 6" IN DEPTH TO UNDISTURBED SOIL.
  - INTERIOR BEAMS TO BE 12"x24" WITH 4 #5 BARS CONT. TOP & BOTTOM WITH #3 STRIPS AT 24" O.C. AND A MIN. OF 6" IN DEPTH TO UNDISTURBED SOIL.
  - CORNER BARS, AT ALL CORNERS & INTERSECTIONS 2"x2" #5 APPLY 6x6 #6 WIRE MESH AT SIDEWALLS AND DRIVWAYS.
  - INSTALL ANCHOR BOLTS AT PERIMETER AT 4' O.C.
  - USE ONLY COMPACTED SELECTED FILL DIRT. FINISH FLOOR TO BE 1/2" FROM TOP OF CURB, UNLESS OTHERWISE NOTED.

**GENERAL NOTES**

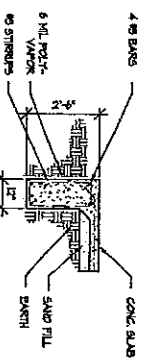
-INTERIOR BEAMS TO BE 12"x24" WITH 4 #5 BARS CONT. TOP & BOTTOM WITH #3 STRIPS AT 24" O.C. AND A MIN. OF 6" IN DEPTH TO UNDISTURBED SOIL.

**B-INTERIOR BEAM**



-EXTERIOR BEAMS TO BE 12"x30" WITH 4 #5 BARS CONT. TOP & BOTTOM WITH #3 STRIPS AT 24" O.C. AND A MIN. OF 6" IN DEPTH TO UNDISTURBED SOIL.

**A-EXTERIOR BEAM**

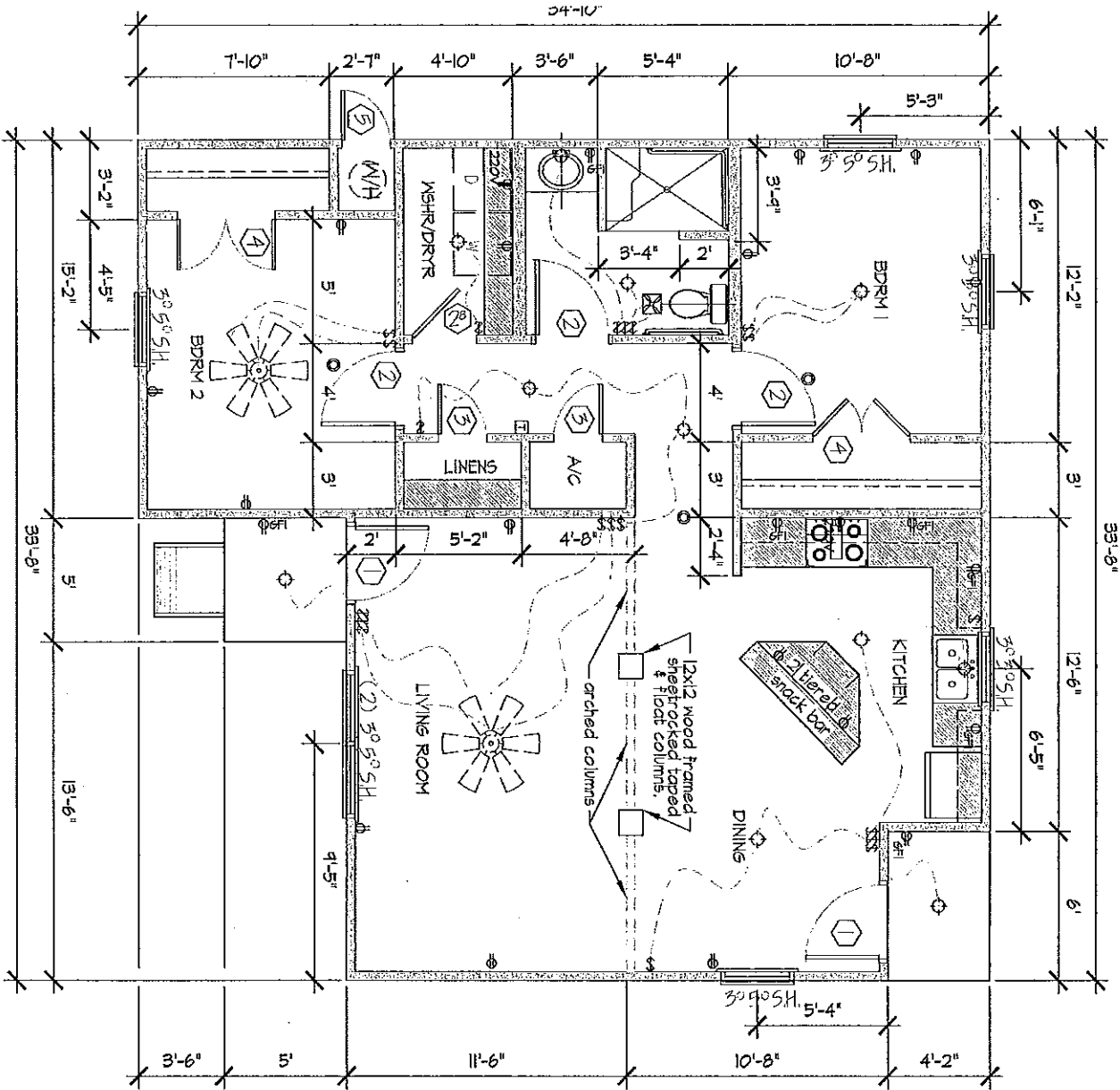


URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM.

GERONIMA T. URESTI  
903 N. VERMONT - MERCEDOS

TOTAL AREA  
1040 SQ. FT.

FLOORPLAN



**SQUARE FOOTAGE**

LIVING AREA	944
PORCH/PATIO	46
TOTAL SQ. FT.	1040

**ELECTRICAL LEGEND**

(WH)	WATER HEATER	(L)	LIGHT FIXTURE
(D)	DUPLEX ELECTRICAL RECEPT. \$	(S)	SINGLE SWITCH
(220V)	220V DUPLEX ELECTRICAL RECEPTACLE	(T)	THERMOSTAT
(OFF)	SECOND FAULT CIRCUIT INTERRUPTER	(SD)	SMOKE DETECTOR

**DOOR SCHEDULE**

DR#	TASK	SIZE	TYPE	LOCKS
1	INSTALL NEW UNIT W/ DUAL FEET HOLES	30"	METAL W/ LDM PROFILE THRESH.	LEVER TYPE ENTRY LOCK W/ DEADBOLT.
2	INSTALL NEW UNIT	30"	HOLLOW CORE	LEVER TYPE PRIVACY
3	INSTALL NEW UNIT	20"	HOLLOW CORE	PASSAGE
4	INSTALL NEW UNIT	(2) 20"	HOLLOW CORE	PASSAGE
5	INSTALL NEW UNIT	20"	HOLLOW METAL	LOCK W/ DEADLOCK

**GENERAL NOTES**

- 5/12 SLOPE WITH 16" OVERHANG
  - SUPPLY RIDGE/SOFTFIT VENTS WHERE NEEDED
  - INSTALL PORCH RAILING WHERE FINISH GRADE IS LOWER THAN 1" FROM PORCH FLOOR.
  - INSTALL PORCH STEPS WHERE FINISH GRADE IS LOWER THAN 6" FROM PORCH FLOOR.
  - CLIENT IS REQUESTING CONNECTIOS FOR A (GAS) ELECTRIC/ PROPANE STOVE.
  - INSTALL A MIN. OF TWO PHONE JACKS & CABLE CONNECTIONS AS PER OWNERS REQUEST.
  - EXTERIOR COLOR CHOICES TO BE OR MATCH:
- WALL: \_\_\_\_\_
- W/DOOR: \_\_\_\_\_
- W/FR: \_\_\_\_\_
- W/INT: \_\_\_\_\_
- W/INT: \_\_\_\_\_

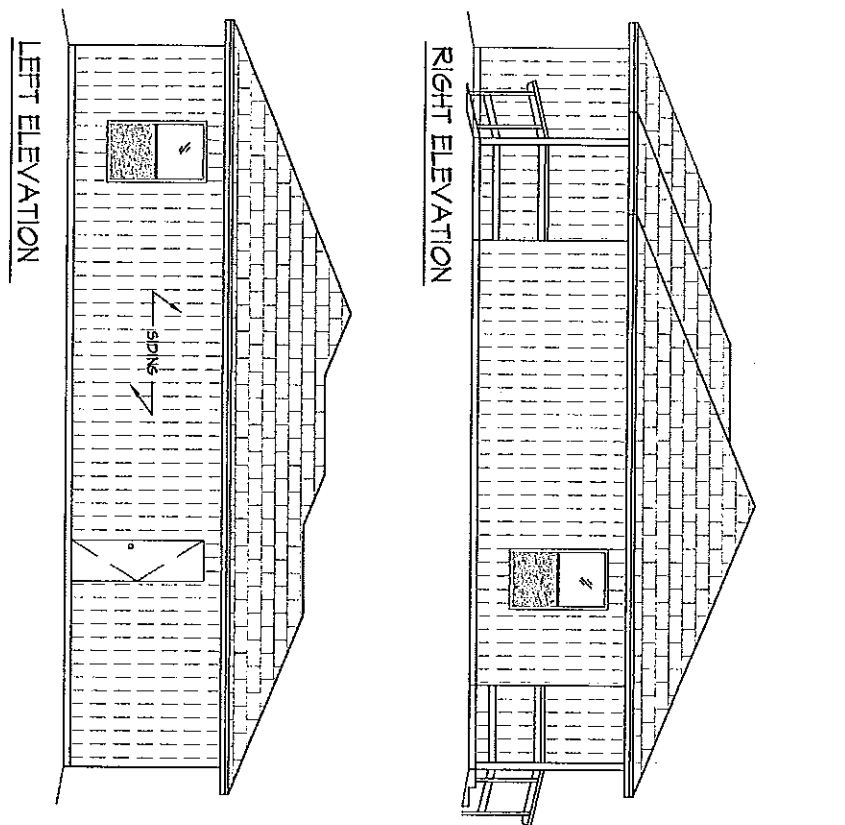
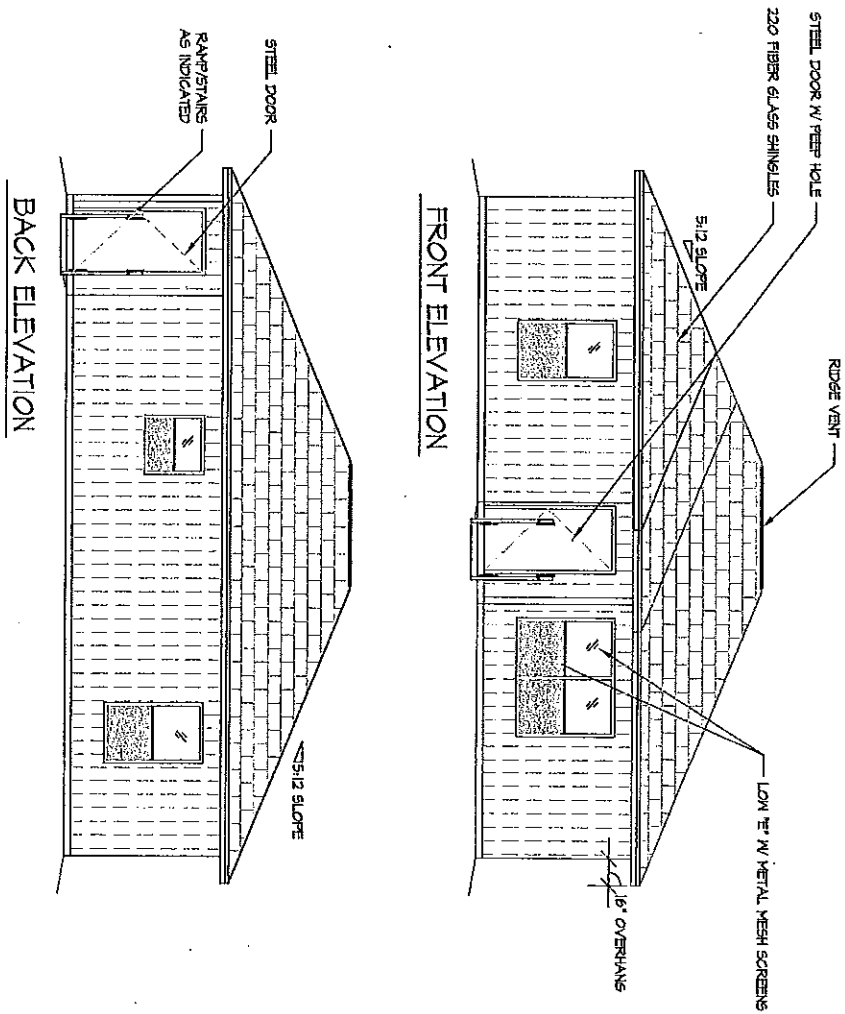
I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2012

*Mercedes Uresti*

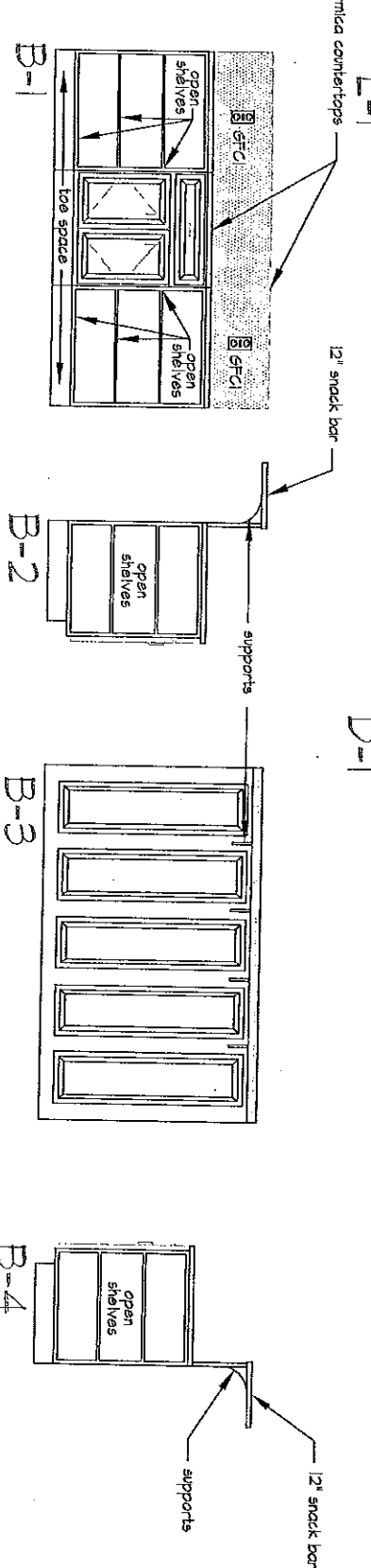
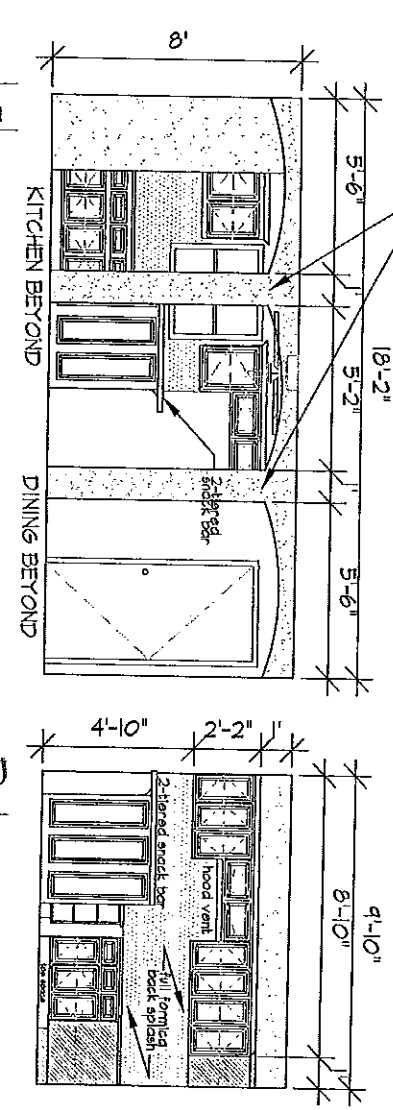
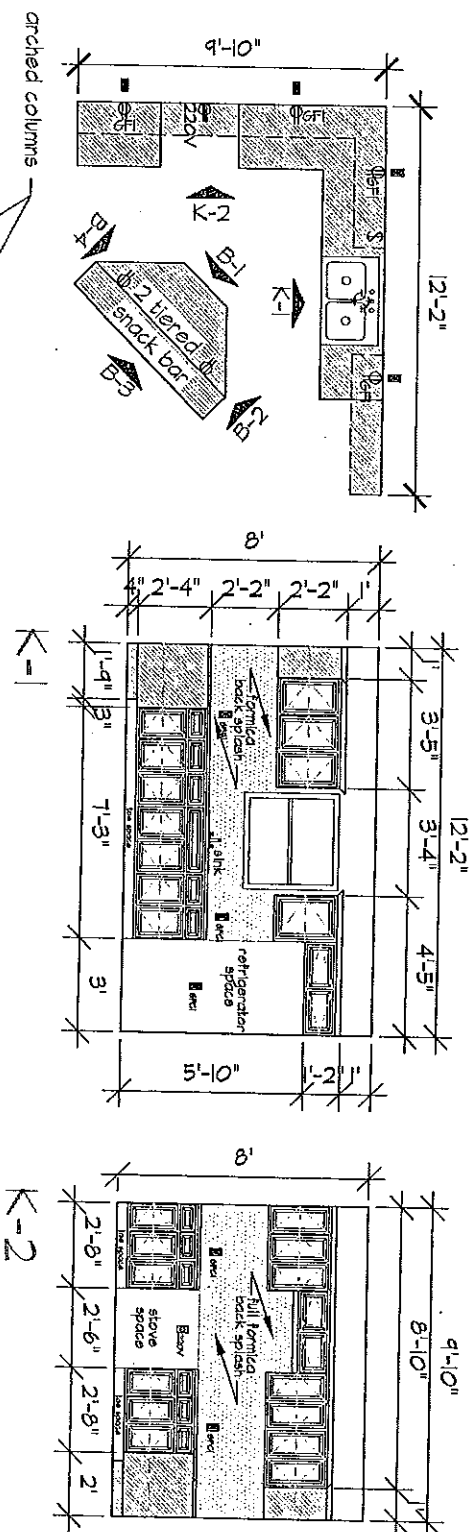
URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

GERONIMA T. URESTI  
903 N. VERMONT - MERCEDES, TX

TOTAL AREA  
1040 SQ. FT.



URBAN COUNTY PROGRAM OWNER OCCUPIED HOUSING REHABILITATION PROGRAM		
GERONIMA T. URESTI 903 N. VERMONT - MERCEDES	TOTAL AREA 1040 SQ. FT.	



URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

GERONIMA T. URESTI  
903 N. VERMONT - MERCEDES

TOTAL AREA  
1040 SQ. FT.

OWNER (S) GERONIMA URESTI CASE NO.: ME-50-11-01 DATE: 11-7-12 ADDRESS: 903 N YERMONT-MERCEDES PHONE: 956-313-4322 BY: Mo Guerra

### SPECIFICATIONS

#### 1. FOUNDATION WORK:

BUILD A NEW CONCRETE FOUNDATION TO COMPLY WITH PLANS, SPECS, CITY AND / COUNTY REQUIREMENTS. ON PROJECTS TO BE 18" ABOVE CENTER LINE OF STREET OR 12" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. PROVIDE CONCRETE SLAB FOR A/C UNIT & 12 X 25" CONC. DRIVEWAY THAT MUST HAVE ACCESS TO STREET.

#### 2. PLUMBING GENERAL: (SEE SPECS)

- ALL PLUMBING ROUGH SHALL BE AS FOLLOWS:
- WATER SUPPLY TO HOUSE SHALL HAVE A 3/4" CUTOFF VALVE BEFORE ENTRY TO HOUSE.
- INTERIOR WATER SUPPLY LINES FOR HOUSE SHALL BE ALL NEW PEY OF APPROPRIATE DIAMETER
- NEW PEY PIPES AND FITTINGS:
- OF 1" MINIMUM DIAMETER FOR ALL EXTERIOR WATER SUPPLY LINES BELOW GROUND.
- OF APPROPRIATE DIAMETER FOR DWV (DRAIN, WASTE, AND VENTS).
- SEWER CONNECTION SHALL HAVE (1) PLASTIC PVC SEWER CLEAN OUT.

#### ALL PLUMBING FINISH SHALL BE AS FOLLOWS:

- RELATED PLUMBING ITEMS:
- (2) EXTERIOR HOSE BRASS AIR FAUCETS.
- 1/2" CUTOFF VALVES WITH ESCUTCHEONS FOR ALL FIXTURES, FIXTURES:
- PLUMBING SEALANT FOR ALL DRAINS, AND SINK PERIMETERS
- ALL OTHER RELATED PLUMBING (SEE SPECS)
- KITCHEN SINK W/ RELATED PLUMBING & FAUCETS
- VANITY SINK WITH RELATED PLUMBING & FAUCETS
- TOILET OF MATCHING COLOR
- ONE PIECE FIBER GLASS HANDICAP ACCESSIBLE SHOWER WITH GLASS TUBSHOWER FOR 2nd BATHROOMS UNLESS OTHERWISE NOTED.
- FIBER GLASS TUBSHOWER FOR 2nd BATHROOMS UNLESS OTHERWISE NOTED.
- MEDICINE CABINET/TOWEL RACKS/ T/P DISPENSER/ TOOTHBRUSH & SOAP HOLDER, & SHOWER ROD (SEE SPECS)
- WATER HEATER INSTALLED AS PER SPECS. (GAS OR ELECTRIC AS PER OWNER REQUEST)

#### OTHER RELATED ITEMS:

- RANGE CONNECTIONS AS PER OWNERS REQUEST (SEE SECTION 23)
- 4" DRYER EXHAUST VENT.
- IN WALL WASHING MACHINE BOX WITH BRASS FAUCETS & RELATED PLUMBING.
- HOOK UP ALL DRAINAGE LINES TO CITY SEWER SYSTEM IF AVAILABLE. SEE CITY FOR INFORMATION, TEST SEPTIC SYSTEM IF EXISTING FOR INTEGRITY AND REPLACE IF NECESSARY AND MORE THAN 10 YEARS OF AGE

#### 3. INTERIOR/EXTERIOR WALLS & CEILINGS:

- ALL INTERIOR AND EXTERIOR WALL FRAMING:
- 2x4" (2 OR BETTER) FOR USE IN: SOLE PLATES (TREATED LUMBER)
- DOUBLE TOP PLATES
- 32 SPT PRE-CUT STUDS @ 16" O.C.
- WINDOW SILLS
- CEILING JOIST CHAIN BLOCKING @ 48" O.C.
- 2x6" (2 OR BETTER) FOR USE IN:
- WINDOW & DOOR HEADERS WITH 1" X 2"

#### 4. ROOF (1: SLOPE=5/12)

- ROOF SHALL HAVE:
- A HINGABLE STYLE ROOF WITH 18" OVERHANGS.
- A HINGABLE STYLE FRONT PORCH AS PER PLANS.
- PORCH COLUMNS MUST BE FASTENED TO CONCRETE.
- AN ADEQUATE COMBINATION OF RIDGE & SOFFIT VENTS WITH AIR CHUTES.
- ADEQUATE RAIN GUTTERS WITH DOWN SPOUTS FOR THE ROOF AREA THAT MAY AFFECT OWNERS.
- SHINGLES TO BE OF LIGHT COLOR (no black shingles)

#### 5. PORCH & CANOPY FLOORS:

- THE HOUSE SHALL HAVE PORCH FLOORS AS FOLLOWS:
- A FRONT PORCH FLOOR.
- A SIDERACK PORCH FLOOR.
- PROVIDE PAINT & (2)-HANDRAILS TO EACH FRONT AND/OR SIDE PORCH STEPS

#### 6. INSULATION:

- ALL LIVING AREA CEILINGS WITH BLOWN IN INSULATION TO AN R-49 FACTOR. (feed a combined R-30 & R-19 to meet requirement)
- INSULATION FOAM SHALL BE USED AROUND ALL WINDOWS, WIRES, PLUMBING, ELECTRICAL, 2x4 BOTTOM PLATES, AND ALL PENETRATED AREAS.
- ALL PRIMERED WALLS WITH R-15 F.G. BATT.
- ALL EXTERIOR PIPES EXPOSED TO WEATHER.

#### 7. INTERIOR FINISH:

- ALL TRIM SHALL BE INSTALLED AS PER SPECS. (2-COATS) WITH ALL PAINT SHALL BE APPLIED AS PER SPECS (2-COATS) WITH PAINT COMPARABLE IN QUALITY TO SHERWIN WILLIAMS. ALLOW A VARIETY OF DIFFERENT COLORS FOR CLIENT TO CHOOSE FROM. (2 COLOR CHOICE MIN).

#### 8. EXTERIOR FINISH:

- PAINT ENTIRE HOUSE AS PER SPECS WITH PAINT COMPARABLE IN QUALITY TO SHERWIN WILLIAMS. PRIMER TO BE OIL BASED & PAINT MUST BE EQUIVALENT TO A-100. (2 COLOR CHOICE MIN).

#### 9. SIDING:

THE SIDING SHALL BE 5/16" FIBER CEMENT WITH ALL CEDAR TRIM TO ENTIRE HOUSE.

#### 10. WINDOWS:

SHALL BE NEW 1/2" DOUBLE PANE INSULATED ALUMINUM WINDOWS. SIZE AS PER PLAN.

#### 11. CABINETS GENERAL:

- BUILD AND/OR INSTALL NEW KITCHEN CABINETS TO INCLUDE:
- A RANGE CABINET.
- A KITCHEN BATHROOM FORMICA COUNTER TOP OF MATCHING COLOR.
- BUILD AND/OR INSTALL A NEW VANITY CABINET FOR BATHROOM WITH FORMICA TO MATCH LAVATORY, SINK AND WALLS.
- ALL CABINERY PIECES SHOULD BE NEW AND COMPLETE AND BUILT TO PROFESSIONAL STANDARDS.

#### 12. FLOOR, SUBFLOOR, & FINISH FLOORING:

APPLY VOT FLOOR TILE TO ALL LIVING AREA HOUSE FLOORS.

#### 13. ELECTRICAL GENERAL

- ALL ELECTRICAL INSTALLATIONS & WORK AS PER ELECTRICAL CODE WITH THE FOLLOWING CONDITIONS:
- PROVIDE RANGE OUTLET AS PER OWNERS REQUEST.
- PROVIDE APPROPRIATE WASHERS & DRYER CONNECTION.
- (2) 22" CEILING FANS (CEILING HUGGER STYLE) COMPARABLE IN QUALITY TO THE "HILTI" BRAND. THE CONTRACTOR SHALL ALLOW \$120.00 FOR MATERIAL & LABOR. LOCATION AS PER OWNER REQUEST.
- INSTALL GFCI OUTLETS IN BATHROOMS, KITCHEN, AND EXTERIOR WALLS.
- EACH ELECTRICAL PANEL OR BREAKER BOX LIGHT SWITCH & THERMOSTAT NO HIGHER THAN 48" ABOVE FLOOR
- 5' EACH ELECTRICAL RIG TO BE 15' ABOVE THE FLOOR
- ANY OUTLETS WITHIN 6' FROM KITCHEN OR BATHROOM SINKS MUST BE GFCI

#### 14. RANGE HOOD:

INSTALL A RANGE TO FIT OWNERS RANGE SIZE (30" OR 36").

#### 15. BATHROOM ACCESSORIES:

ALL ACCESSORIES & BUILT IN MEDICINE CABINETS AS PER SPECS. INCLUDE CURTAIN ROD & PLASTIC THRESHOLD TO HELP PREVENT ESCAPING WATER FROM SHOWER. INSTALL SINK AND CABINET ABOVE TOILET WHEN INDICATED. (ALSO INCLUDE TOILET PAPER, TOOTHBRUSH, AND SOAP HOLDER.)

#### 16. ACCESS FOR PHYSICAL DISABILITIES:

INSTALL ONE CONC. RAMP AS PER OWNERS REQUEST THAT CONNECTS WITH 12 X 20-25 DRIVEWAY AND STEPS WITH HANDRAILS

BATHROOM SHOULD ACCOMMODATE GRAB BARS WHERE INDICATED IN PLANS

#### 17. HEATING & A/C:

PROVIDE & INSTALL A 14 SEER CENTRAL AIR CONDITIONING COMPARABLE IN QUALITY TO A CARRIER BRAND UNIT FOR THE ENTIRE HOUSE. INCLUDE DIGITAL THERMOSTAT.

#### 18. SMOKE DETECTORS:

INSTALL A SMOKE DETECTOR INSIDE EACH SLEEPING ROOM OUTSIDE SLEEPING ROOMS. ALL WIRED IN SERIES.

#### 19. GENERAL NOTES.

##### CONTRACTOR IS RESPONSIBLE FOR:

- YOUR BID TO INCLUDE ANY COST RELATED TO REQUIREMENTS FROM CITY. CHANGE ORDERS FOR THIS PARTICULAR PURPOSE WILL NOT BE ACCEPTED OR PROCESSED TO CORRECT THE ABOVE MENTIONED.
- YOUR BID TO INCLUDE ANY COST RELATED TO RE-CHECK & ENERGY COMPLIANCE REQUIREMENTS.
- THE DEMOLISH AND DISPOSAL EXISTING STRUCTURE.
- THE COMPLIANCE OF ALL THE REQUIRED BUILDING ELEVATIONS.
- PROVIDE 6" OF LANDSCAPE DIRT AROUND THE HOUSE ALONG WITH SUFFICIENT GRASS SEEDS UP TO 10' OF PERIMETER.
- PROVIDING THE APPROPRIATE ELECTRICAL AND /OR GAS CONNECTIONS FOR RANGE AS PER APPLICANT'S REQUEST AND ACCORDING TO APPLICABLE PLUMBING/ELECTRICAL CODE.
- PROVIDE PHONE JACKS & CABLE CONNECTIONS IN EVERY BRN & LIVING SPACE. KITCHEN PHONE IF REQUESTED.
- PROVIDE THERMITE PRE-TREATMENT TO ENTIRE HOUSE. (DRINKING, DISPLAYING, AND SUBMITTING ALL PROPER PERMITS & INSPECTIONS.
- ALL CONTRACTORS WILL BE RESPONSIBLE FOR ANY ADDITIONAL PLANS, SPECIFICATIONS AND/OR DETAILS THAT ARE REQUIRED BY CITIES OR COUNTY AT THE TIME OF AT TAINING PERMITS.
- MINIMUM 12x24x24 CONC. DRIVEWAY WITH CONNECTING SIDEWALK TO RAMP FOR HANDICAP APPLICANTS.
- ALL THE GENERAL INFORMATION CONTAINED WITHIN SECTION 23. GENERAL NOTES OF THE CONTRACTORS GENERAL SPECIFICATIONS MANUAL.
- PROVIDE AND INSTALL PROJECTS SIGNS AT EACH CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR SUPPLYING PORT A POTTY THROUGHOUT CONSTRUCTION PROCESS. (leave to find independently)
- SHOWER ENTRIES TO BE 36" WIDE
- ALL UOE HOMES MUST COMPLY WITH TEXAS GOVERNMENT CODE §2906.514

THE HOMEOWNER SHALL BE RESPONSIBLE FOR REMOVE AND DISPOSE OF ALL DEBRIS ON SITE BEFORE THE BEGINNING OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO TREES, ABANDONED VEHICLES, OLD LUMBER, ETC. MAKING NECESSARY DEPOSITS FOR ANY UTILITIES TO BE CONNECTED TO THE NEW DWELLING.

I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME.

NAME OF APPLICANT

*Geronima Uresti*