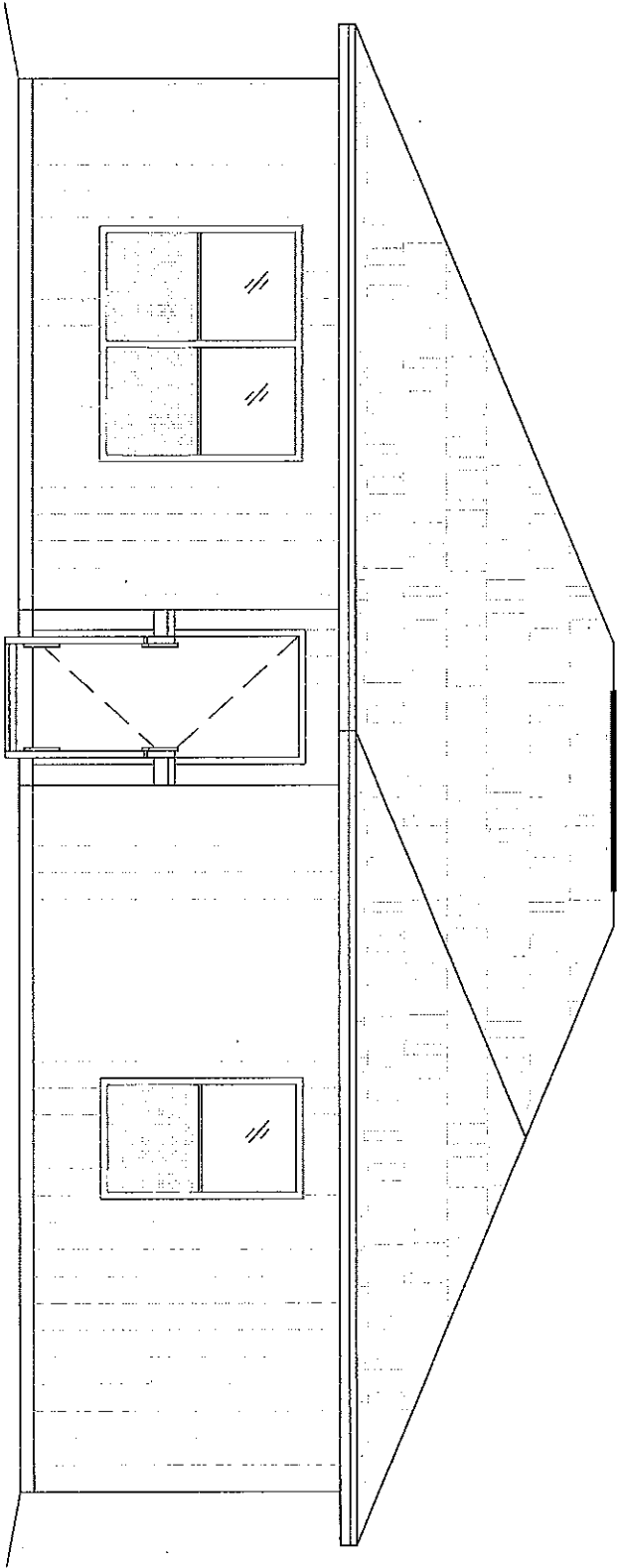


LOPEZ RESIDENCE



LYDIA S. LOPEZ
708 EBONY ST-SAN JUAN
956-475-4742

URBAN COUNTY PROGRAM
3304 W. ALBERTA-EDINBURG
(956) 787-8127

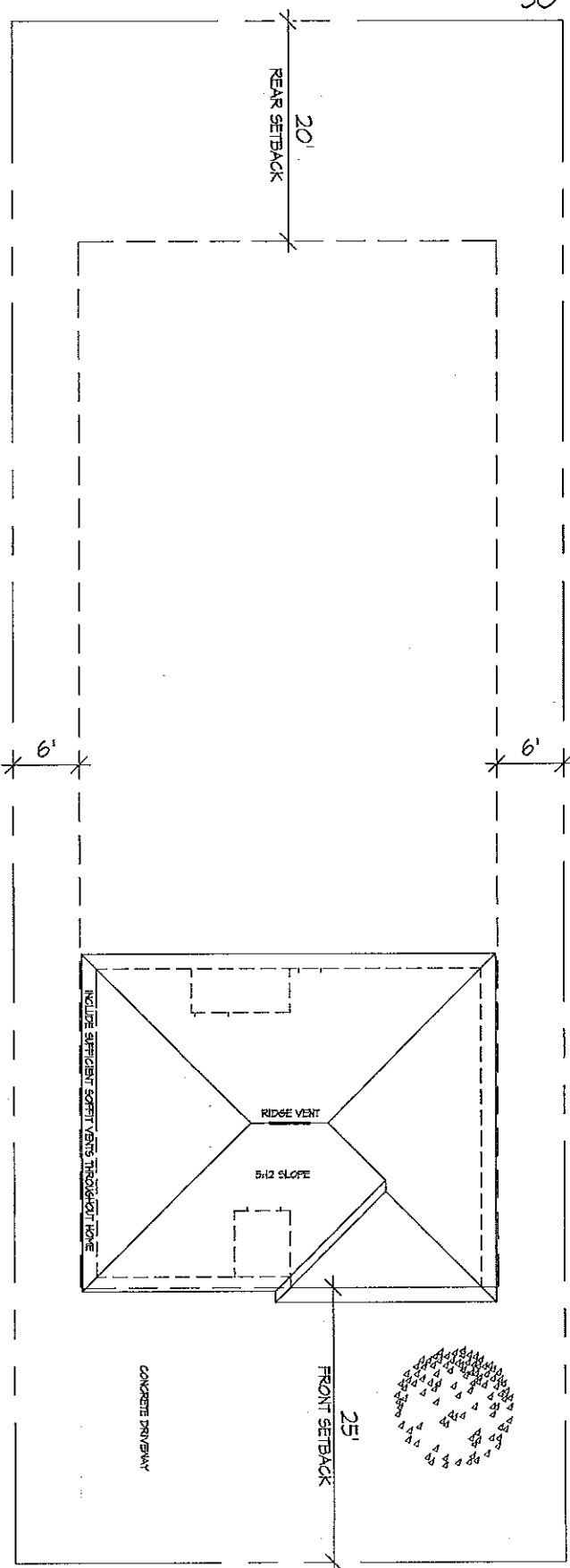
URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

LYDIA S. LOPEZ
708 EBONY ST- SAN JUAN, TX

TOTAL AREA
998 SQ. FT.

X 140'
50'

EBONY LOT 15



708 EBONY ST.

URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

LYDIA S. LOPEZ
708 EBONY ST- SAN JUAN, TX

LIVING AREA
998 SQ. FT.

NOTE:

Please verify with city/county on setbacks and for any requirements regarding sidewalk, driveway, landscaping and any other obligations as per city regulations/ordinances. **HOWEVER,** any house that is made for handicap accessibility **WILL ALWAYS** require driveway with connecting sidewalk to ramp.

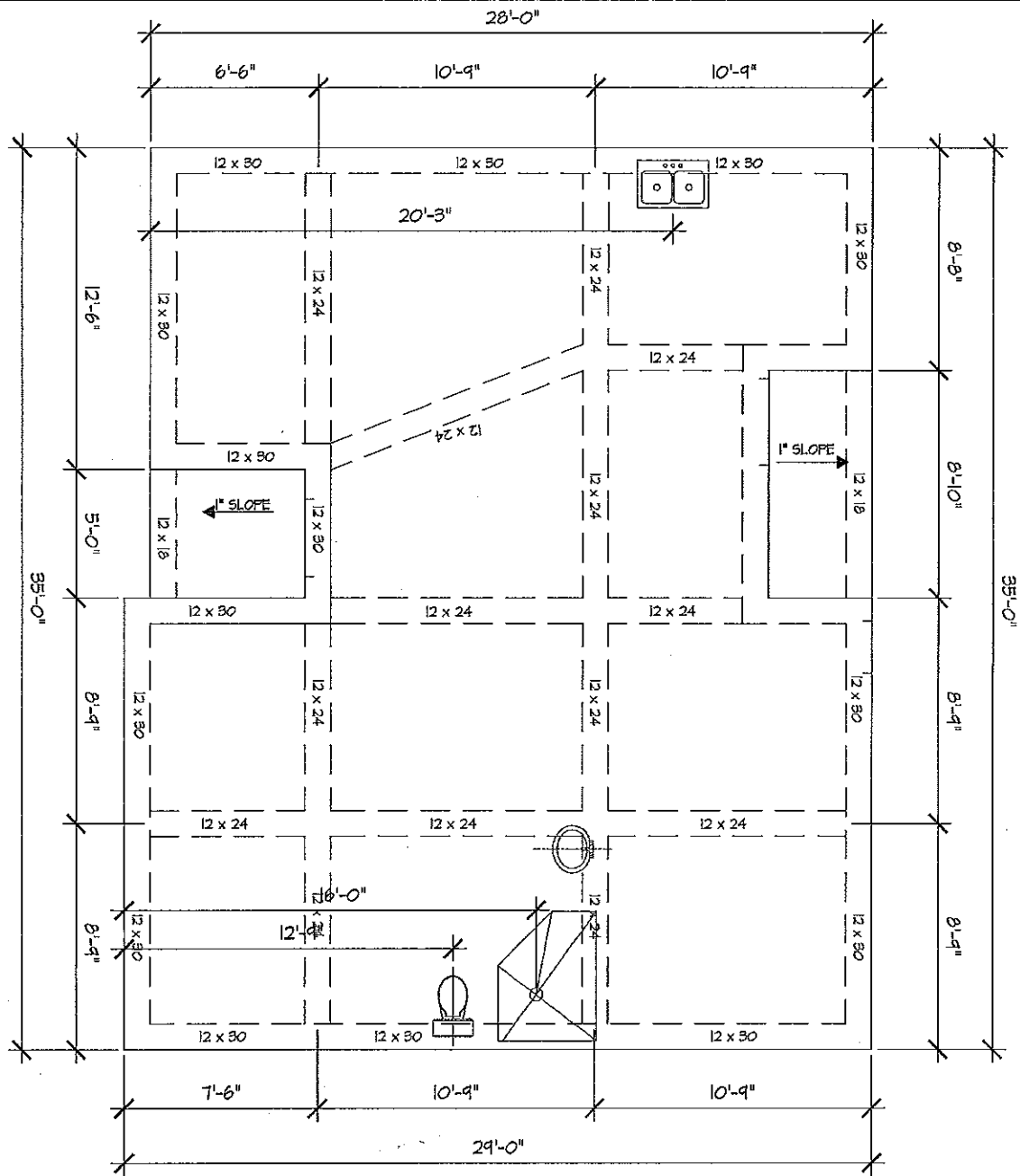
Remember to provide 6" of landscape dirt around house with sufficient grass seed up to 10' of perimeter. In addition, remember to replace septic tank if needed and is more than 10 yrs old.

1

ROOF/PLOT PLAN

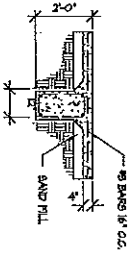
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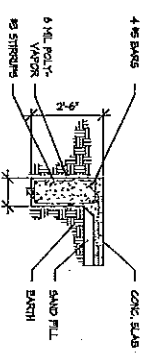


- GENERAL NOTES**
- 2" THICK SLAB ON GRADE W/ #3 BARS @ 16" O.C. EACH WAY AT MID-DEPTH OF SLAB OVER 6 MIL. VISCOUS OVER APPROVED COMPACTED FILL
 - EXTERIOR BEAMS TO BE 12"x24" WITH 4 #5 BARS CONT. TOP & BOTTOM WITH #3 STRIPS AT 24" O.C. AND A MIN. OF 6" IN DEPTH TO UNDISTURBED SOIL.
 - INTERIOR BEAMS TO BE 12"x24" WITH 4 #5 BARS CONT. TOP & BOTTOM WITH #3 STRIPS AT 24" O.C. AND A MIN. OF 6" IN DEPTH TO UNDISTURBED SOIL.
 - CORNER BARS, AT ALL CORNERS & INTERSECTIONS 2"x2" - #5 APPLY 6x6 #6 MESH AT SIDEWALKS AND DRIVEWAYS.
 - INSTALL ANCHOR BOLTS AT PERIMETER AT 4' O.C.
 - USE ONLY COMPACTED SELECTED FILL DIRT. FINISH FLOOR TO BE 1/2" FROM TOP OF CURB, UNLESS OTHERWISE NOTED.

B-INTERIOR BEAM



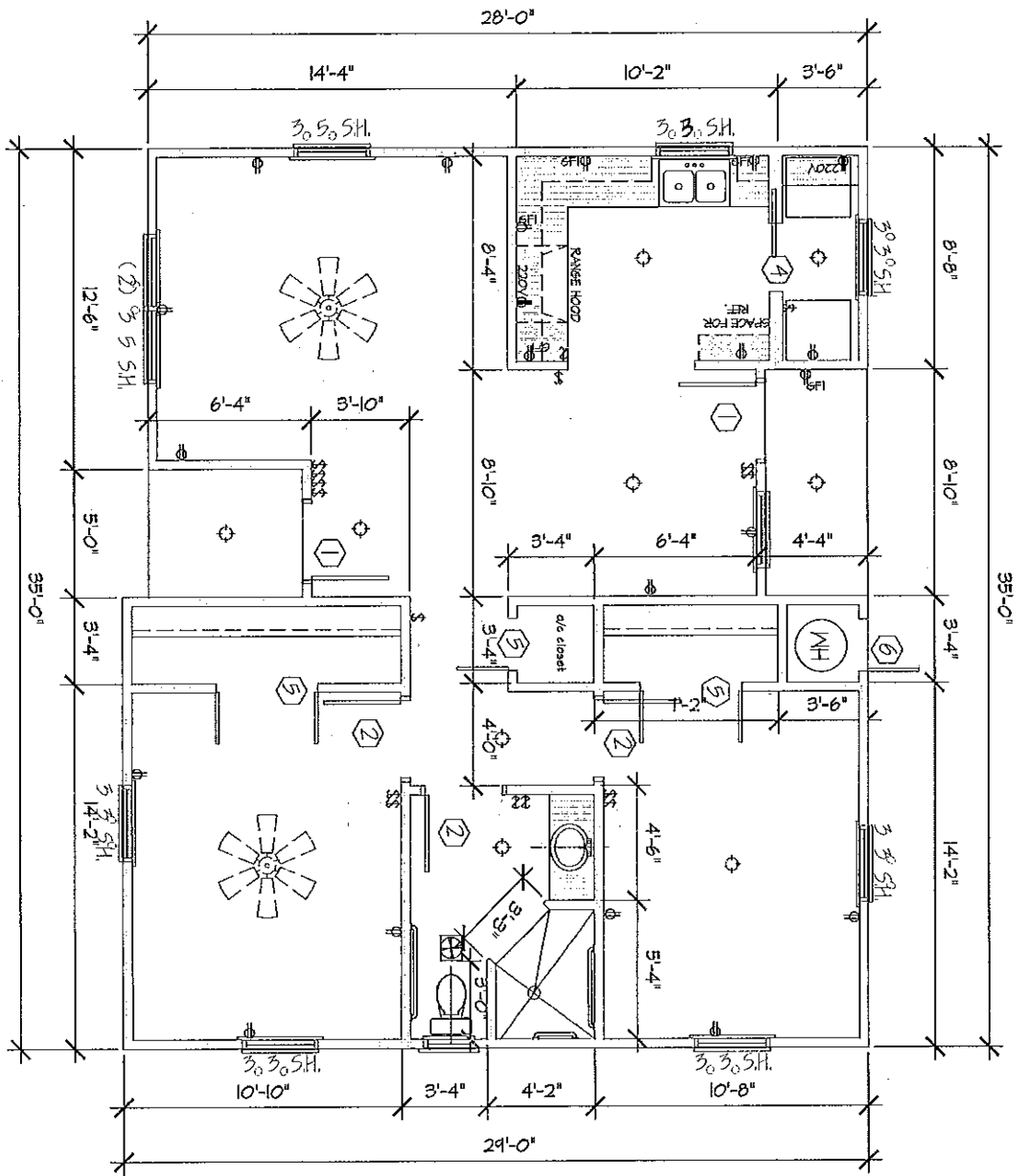
A-EXTERIOR BEAM



- EXTERIOR BEAMS TO BE 12"x24" WITH 4 #5 BARS CONT. TOP & BOTTOM WITH #3 STRIPS AT 24" O.C. AND A MIN. OF 6" IN DEPTH TO UNDISTURBED SOIL.

URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

LYDIA S. LOPEZ
708 EBONY ST- SAN JUAN, TX



* As per owners request, THE KITCHEN SINK WAS SHIFTED OVER TO MAKE ROOM FOR FUTURE PLACEMENT OF DISHWASHER.

Lydia S. Lopez

35'-0"

35'-0"

SQUARE FOOTAGE

LIVING AREA	498
PORCH/PATIO	65
TOTAL SQ. FT.	498

ELECTRICAL LEGEND

⊕	WATER HEATER	⊕	LIGHT FIXTURE
⊕	DUPLEX ELECTRICAL RECEPT. \$	⊕	LIGHT SWITCH
⊕	ELECTRICAL RECEPTACLE	⊕	THERMOSTAT
⊕	GROUND FAULT CIRCUIT INTERRUPTER	⊕	SMOKE DETECTOR
⊕	BATHROOM EXHAUST FAN		

DOOR SCHEDULE

DR#	TASK	SIZE	TYPE	LOCKS
1	INSTALL NEW UNIT W/ DUAL FEED HOSES	30	METAL W/ LOM PROFILE THRESHOLD	LEVER TYPE ENTRY LOCK W/ DEADBOLT
2	INSTALL NEW UNIT	30	HOLLOW CORE	LEVER TYPE PRIVACY
3	INSTALL NEW UNIT	28	HOLLOW CORE	PASSAGE
4	INSTALL NEW UNIT	28	POCKET DOOR	PASSAGE
5	INSTALL NEW UNIT	20	HOLLOW CORE	PASSAGE
6	INSTALL NEW UNIT	20	HOLLOW METAL	LOCK W/ DEADBOLT

GENERAL NOTES

- 5/12 SLOPE WITH 1/4" OVERHANG
- SUPPLY RIDGES/SOFT VENTS WHERE NEEDED
- INSTALL PORCH RAILING WHERE FINISH GRADE IS LOWER THAN 1" FROM PORCH FLOOR
- INSTALL PORCH STEPS WHERE FINISH GRADE IS LOWER THAN 6" FROM PORCH FLOOR
- CLIENT IS REQUESTING CONNECTIOS FOR A GAS ELECTRIC STOVE
- INSTALL TYPING OF TWO PHONE JACKS & CABLE CONNECTIONS AS PER OWNERS REQUEST.
- EXTERIOR COLOR CHOICES TO BE OR MATCH:

INTERIOR COLOR CHOICES TO BE OR MATCH:

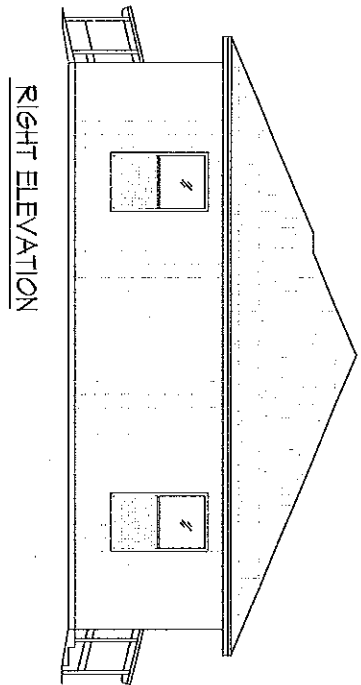
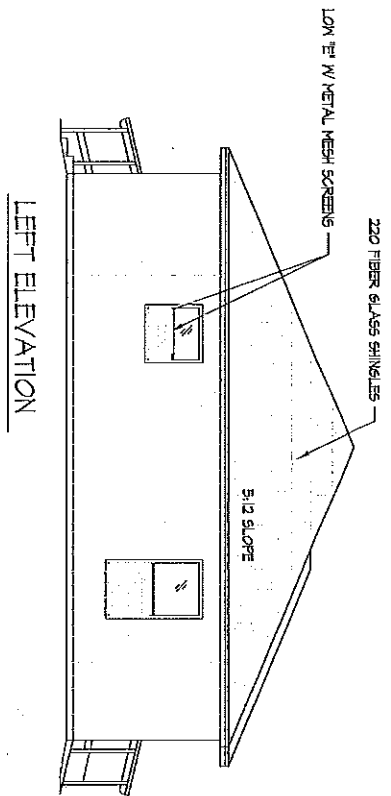
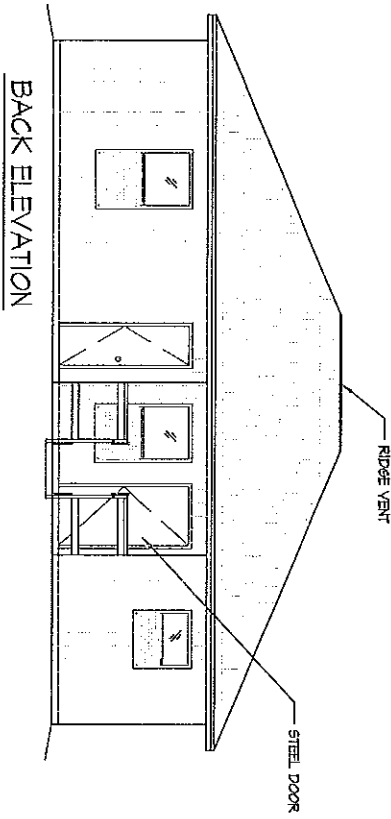
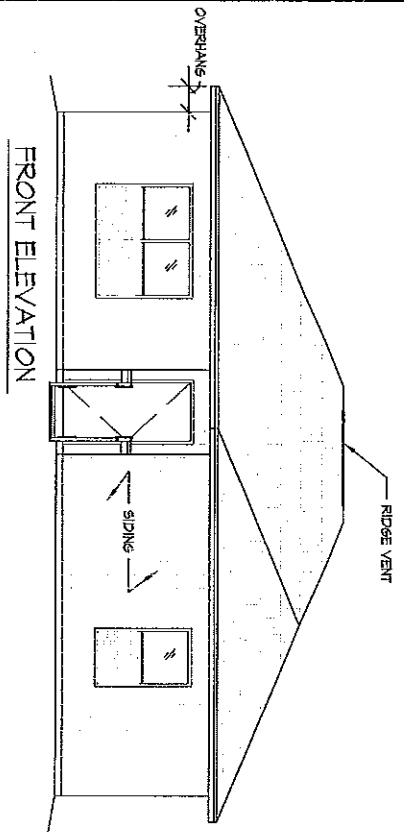
I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME THIS DAY OF July 2018

Lydia S. Lopez

URBAN COUNTY PROGRAM
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

LYDIA S. LOPEZ
708 EBONY ST- SAN JUAN, TX

TOTAL AREA
998 SQ. FT.



URBAN COUNTY PROGRAM
 OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

LYDIA S. LOPEZ
 708 EBONY ST- SAN JUAN, TX

TOTAL AREA
 998 SQ. FT.

SPECIFICATIONS

ALL SPECIFICATIONS SHALL ASSUME THE USE OF CONTRACTOR'S MINIMUM GENERAL SPECIFICATIONS MANUAL

OWNER (S) LYDIA S. LOPEZ CASE NO. SJ-15-12-01 DATE: 8-19-2-13 ADDRESS: 708 Ebony St - San Juan PHONE: 956-475-4742 BY: Mo Guerra

1. FOUNDATION WORK:

- BUILD A NEW CONCRETE FOUNDATION TO COMPLY WITH PLANS, SPECS, CITY AND COUNTY REQUIREMENTS... ABOVE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND...

2. PLUMBING GENERAL: (SEE SPECS)

- ALL PLUMBING ROUGH SHALL BE AS FOLLOWS:
- WATER SUPPLY TO HOUSE SHALL HAVE A 1/2" CUTOFF VALVE BEFORE ENTRY TO HOUSE.
- INTERIOR WATER SUPPLY LINES FOR HOUSE SHALL BE ALL NEW...

ALL PLUMBING FINISH SHALL BE AS FOLLOWS:

- RELATED PLUMBING ITEMS:
- (1) EXTERIOR HOSE BRASS BIB FAUCETS.
- (2) CUTOFF VALVES WITH ESCUTCHEONS FOR ALL FIXTURES.

OTHER RELATED ITEMS

- RANGE CONNECTIONS AS PER OWNERS REQUEST (SEE SECTION 23)
- 4" DRYER EXHAUST VENT.
- IN WALL WASHING MACHINE BOX WITH BRASS FAUCETS & RELATED PLUMBING.

3. INTERIOR/EXTERIOR WALLS & CEILING:

- ALL INTERIOR AND EXTERIOR WALL FRAMING:
- 2x4 (#2 OR BETTER) FOR USE IN SOLE PLATES (TREATED LUMBER)
- DOUBLE TOP PLATES
- 92 5/8" PRE-CUT STUDS @ 16" O.C.
- WINDOW SILLS
- CEILING JOIST CHAIN BLOCKING @ 48" O.C.
- 2x6 (#2 OR BETTER) FOR USE IN:
- WINDOW & DOOR HEADERS WITH 1/2"

4. ROOF (1: SLOPE=8/12)

- ROOF SHALL HAVE:
- A HINGABLE STYLE ROOF WITH 18" OVERHANGS.
- A HINGABLE STYLE FRONT PORCH AS PER PLANS.
- PORCH COLUMNS MUST BE FASTENED TO CONCRETE.

5. PORCH & CANOPY FLOORS:

- THE HOUSE SHALL HAVE PORCH FLOORS AS FOLLOWS:
- A FRONT PORCH FLOOR.
- A SIDEWALK PORCH FLOOR.
- PROVIDE RAMP & (2) HANDRAILS TO EACH FRONT AND/OR SIDE PORCH STEPS

6. INSULATION:

- ALL LIVING AREA CEILINGS WITH BLOWN IN INSULATION TO AN R-49 FACTOR (need a combined R-30 & R-19 to meet requirement)
- INSULATION FOAM SHALL BE USED AROUND ALL WINDOWS, WIRES, PLUMBING, ELECTRICAL, 2x4 BOTTOM PLATES, AND ALL PENETRATED AREAS.
- ALL PERIMETER WALLS WITH R-15 F.G. BATT.
- ALL EXTERIOR PIPES EXPOSED TO WEATHER.

7. INTERIOR FINISH:

- ALL TRIM SHALL BE INSTALLED AS PER SPECS. (COATS) WITH PAINT COMPATIBLE IN QUALITY TO SHERWIN WILLIAMS. ALLOW A VARIETY OF DIFFERENT COLORS FOR CLIENT TO CHOOSE FROM. (2 COLOR CHOICE MIN)
- PAINT ENTIRE HOUSE AS PER SPECS WITH PAINT COMPATIBLE IN QUALITY TO SHERWIN WILLIAMS. PRIMER TO BE OIL BASED & PAINT MUST BE EQUIVALENT TO A-100. (2 COLOR CHOICE MIN).

8. EXTERIOR FINISH:

- PAINT ENTIRE HOUSE AS PER SPECS WITH PAINT COMPATIBLE IN QUALITY TO SHERWIN WILLIAMS. PRIMER TO BE OIL BASED & PAINT MUST BE EQUIVALENT TO A-100. (2 COLOR CHOICE MIN).

9. SIDING:

- THE SIDING SHALL BE 5/8" FIBER CEMENT WITH ALL CEDAR TRIM TO ENTIRE HOUSE

10. WINDOWS:

- SHALL BE NEW LOW-E DOUBLE PANE INSULATED ALUMINUM WINDOWS, SIZE AS PER PLAN.

11. CABINETS GENERAL:

- BUILD AND/OR INSTALL NEW KITCHEN CABINETS TO INCLUDE:
- A RANGE CABINET.
- A KITCHEN BATHROOM FORMICA COUNTER TOP OF MATCHING COLOR.
- BUILD AND/OR INSTALL A NEW VANITY CABINET FOR BATHROOM WITH FORMICA TO MATCH LAZYBOY, SINK, AND WALLS.
- ALL CABINETS PIECES SHOULD BE NEW AND COMPLETE AND BUILT TO PROFESSIONAL STANDARDS.

12. FLOOR, SUBFLOOR, & FINISH FLOORING:

- APPLY VOT FLOOR TILE TO ALL LIVING AREA HOUSE FLOORS.

13. ELECTRICAL GENERAL

- ALL ELECTRICAL INSTALLATIONS & WORK AS PER ELECTRICAL CODE WITH THE FOLLOWING CONDITIONS:
- PROVIDE RANGE OUTLET AS PER OWNERS REQUEST.
- PROVIDE APPROPRIATE WASHER & DRYER CONNECTION.
- (2) 52 CEILING FAN (ICILING HUGGER STYLE) COMPARABLE IN QUALITY TO THE HUNTER BRAND. THE CONTRACTOR SHALL ALLOW \$120.00 FOR MATERIAL & LABOR. LOCATION AS PER OWNER REQUEST.
- INSTALL GFCI OUTLETS IN BATHROOMS, KITCHEN, AND EXTERIOR WALLS.
- EACH ELECTRICAL PANEL OR BREAKERBOX LIGHT SWITCH & THERMOSTAT NO HIGHER THAN 48" ABOVE FLOOR.
- EACH ELECTRICAL PLUG TO BE 15' ABOVE THE FLOOR.
- ANY OUTLETS WITHIN 6' FROM KITCHEN OR BATHROOM SINKS MUST BE GFCI.

14. RANGE HOOD:

- INSTALL A RANGE TO FIT OWNERS RANGE SIZE (30" OR 36").

15. BATHROOM ACCESSORIES:

- ALL ACCESSORIES & BUILT IN MEDICINE CABINETS AS PER SPECS. INCLUDE CURTAIN ROD & PLASTIC THRESHOLD TO HELP PREVENT ESCAPING WATER FROM SHOWER. INSTALL SINK AND CABINET ABOVE TOILET WHEN INDICATED. (ALSO INCLUDE TOILET PAPER, TOOTHBRUSH, AND SOAP HOLDER).

16. ACCESS FOR PHYSICAL DISABILITIES:

- INSTALL ONE CONC. RAMP AS PER OWNERS REQUEST THAT CONNECTS WITH 12 X 20-25 DRIVEWAY AND STEPS WITH HANDRAILS.
- BATHROOM SHOULD ACCOMMODATE GRAB BARS WHERE INDICATED BY PLANS.

17. HEATING & A/C:

- PROVIDE & INSTALL A 14 SEER CENTRAL AIR CONDITIONING COMPARABLE IN QUALITY TO A CARRIER BRAND UNIT FOR THE ENTIRE HOUSE. INCLUDE DIGITAL THERMOSTAT.

18. SMOKE DETECTORS:

- INSTALL A SMOKE DETECTOR INSIDE EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS, ALL WIRED IN SERIES.

19. GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR:
- YOUR BID TO INCLUDE ANY COST RELATED TO REQUIREMENTS FROM CITY, CHANGE ORDERS FOR THIS PARTICULAR PURPOSE WILL NOT BE ACCEPTED OR PROCESSED TO CORRECT THE ABOVE MENTIONED.
- YOUR BID TO INCLUDE ANY COST RELATED TO RES-CHECK & ENERGY COMPLIANCE REQUIREMENTS.
- THE DEMOLISH AND DISPOSAL EXISTING STRUCTURE.
- THE COMPLIANCE OF ALL THE REQUIRED BUILDING ELEVATIONS.
- PROVIDE 8' OF LANDSCAPE DIRT AROUND THE HOUSE ALONG WITH SUPPLEMENT GRASS SEEDS UP TO 10' OF PERIMETER.
- PROVIDING THE APPROPRIATE ELECTRICAL AND JOE GAS CONNECTIONS FOR RANGE AS PER APPLICANT'S REQUEST AND ACCORDING TO APPLICABLE PLUMBING/ELECTRICAL CODE.
- PROVIDE PHONE JACKS & CABLE CONNECTIONS IN EVERY BRM & LIVING SPACE. KITCHEN PHONE IF REQUESTED.
- PROVIDE THERMITE PRE-TREATMENT TO ENTIRE HOUSE. OBTAINING, DISPLAYING, AND SUBMITTING ALL PROPER PERMITS & INSPECTIONS.
- ALL CONTRACTORS WILL BE RESPONSIBLE FOR ANY ADDITIONAL PLANS, SPECIFICATIONS AND/OR DETAILS THAT ARE REQUIRED BY CITIES OR COUNTY AT THE TIME OF ATTAINING PERMITS.
- MINIMUM 12x20x28 CONC. DRIVEWAY WITH CONNECTING SIDEWALK TO RAMP FOR HANDICAP APPLICANTS.
- ALL THE GENERAL INFORMATION CONTAINED WITHIN SECTION 23 GENERAL NOTES OF THE CONTRACTOR'S GENERAL SPECIFICATIONS MANUAL.
- PROVIDE AND INSTALL PROJECTS SIGNS AT EACH CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR SUPPLYING PORT A POTTY THROUGHOUT CONSTRUCTION PROCESS.
- SHOWER ENTRANCES TO BE 36" WIDE.
- ALL UPOR HOMES MUST COMPLY WITH TEXAS GOVERNMENT CODE §2306.614, TEXAS & INTERNATIONAL BUILDING CODES 2012.

THE HOMEOWNER SHALL BE RESPONSIBLE FOR REMOVE AND DISPOSE OF ALL DEBRIS ON SITE BEFORE THE BEGINNING OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO TIRES, ABANDONED VEHICLES, OLD LUMBER, ETC. MAKING NECESSARY DEPOSITS FOR ANY UTILITIES TO BE CONNECTED TO THE NEW DWELLING.

I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME.

NAME OF APPLICANT