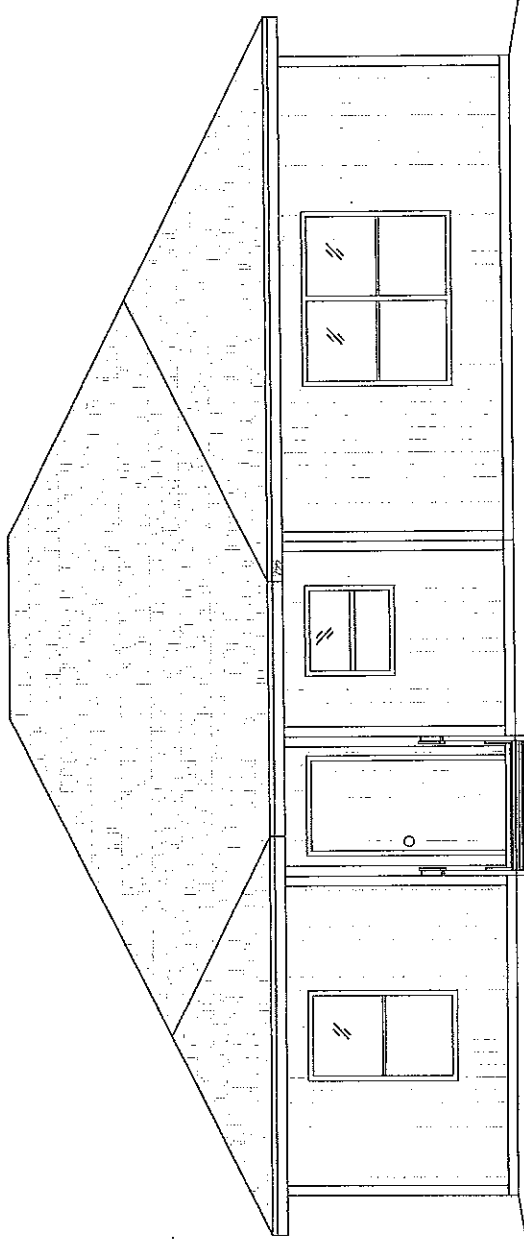


# FONSECA RESIDENCE



GILBERTO FONSECA  
255 S. INDIANA ST. MERCEDES  
(956) 407-2163

URBAN COUNTY PROGRAM  
1916 TESORO BLVD. - Pharr, TX  
(956) 787-8127

URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

GILBERTO FONSECA  
255 S. INDIANA ST. MERCEDES, TX

LIVING AREA  
1596 SQ. FT.





OWNER OCCUPIED HOUSING REHABILITATION PROGRAM  
 URBAN COUNTY PROGRAM

LIVING AREA  
 1396 SQ. FT.

ALBERTO FONSECA  
 255 S. INDIANA ST. MERCEDES, TX

**SQUARE FOOTAGE**

IBAC	
LIVING AREA	
KITCHEN/PANTRY	
TOTAL SQ. FT.	

**ELECTRICAL LEGEND**

- (M) WATER HEATER
- (L) LIGHT FIXTURE
- (R) REFRIG. ELECTRICAL ROOF
- (S) LIGHT SWITCH
- (220V) 220V ELECTRICAL RECEPTACLE
- (T) THERMOSTAT
- (GFI) GROUND-Fault CIRCUIT INTERRUPTER
- (C) SMOKE DETECTOR

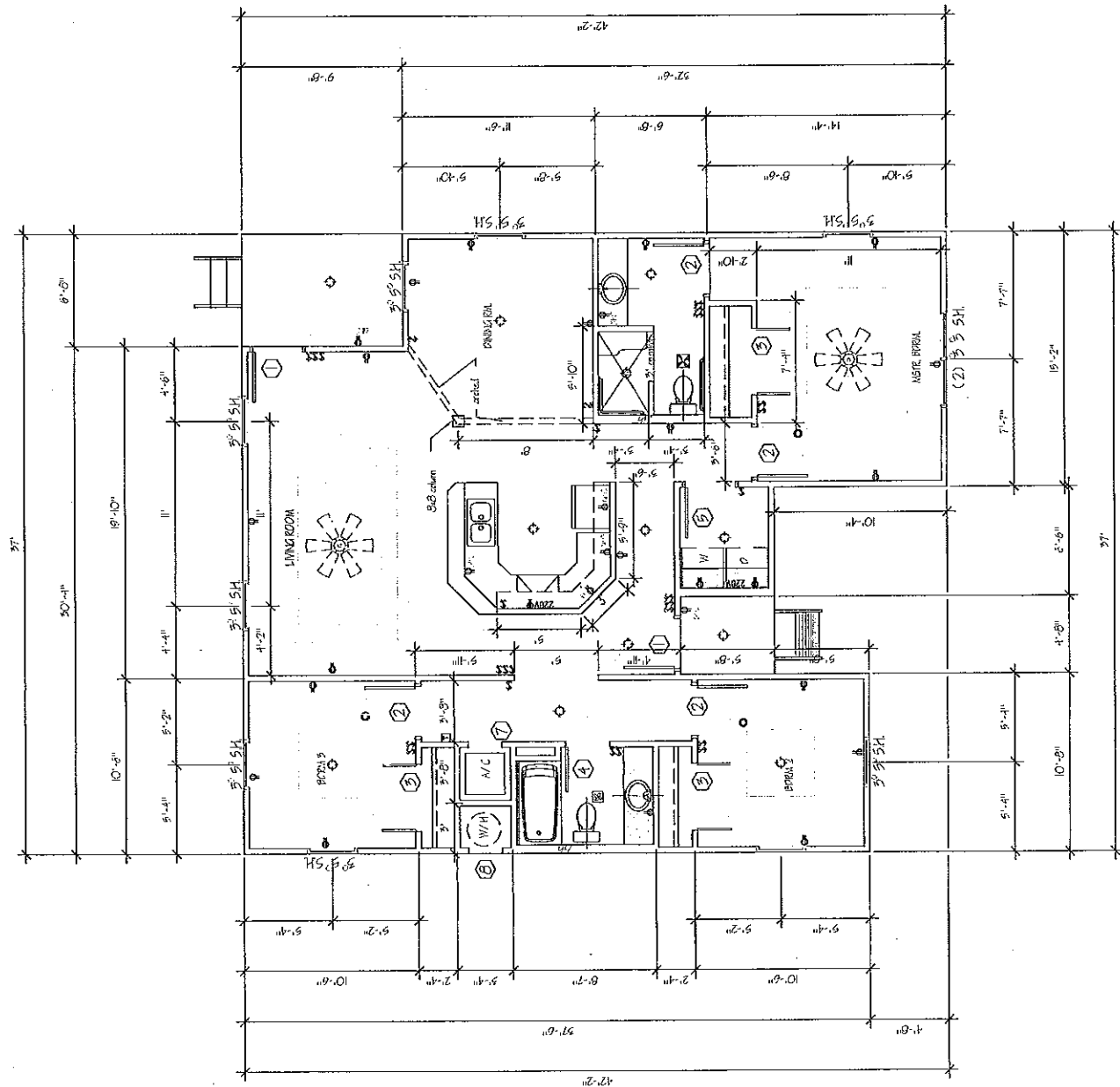
**DOOR SCHEDULE**

PR#	TASK	SIZE	TYPE	LOCKS
1	INSTALL NEW UNIT W/ TUB PREP HOLES	5'0"	METAL W/ LOW PROFILE DRESSING	LEAVE TYPE BARRY LOCK W/ DEADBOLT.
2	INSTALL NEW UNIT	5'0"	HOLLOW CORE	LEVER TYPE PRIVACY
3	INSTALL NEW UNIT	(2) 2'0"	HOLLOW CORE	PASSAGE
4	INSTALL NEW UNIT	2'6"	HOLLOW CORE	PASSAGE
5	INSTALL NEW UNIT	3'0"	HOLLOW CORE	PASSAGE
6	INSTALL NEW UNIT	3'0"	POCKET DOOR	PRIVACY LOCK
7	INSTALL NEW UNIT	2'0"	HOLLOW CORE	PASSAGE
8	INSTALL NEW UNIT	2'0"	METAL DOOR	LOCK WITH DEADBOLT

**GENERAL NOTES**

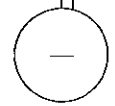
- 5/12 SLOPE WITH 18" OVERHANG.
- SUPPLY RIDGE / SOFFIT VENTS WHERE NEEDED.
- INSTALL PORCH RAILING WHERE FINISH GRADE IS LOWER THAN 1" FROM PORCH FLOOR.
- INSTALL PORCH STEPS WHERE FINISH GRADE IS LOWER THAN 6" FROM PORCH FLOOR.
- INSTALL CONNECTIONS FOR A NATURAL GAS / PROPANE / OR ELECTRICAL STOVE.
- INSTALL A MIN. OF 2 CABLE CONNECTIONS & 2 PHONE JACKS PER CHANGES REQUEST.
- INT. TRIM: **WALL: 66H INT. WALL: WHITE 619**
- EXT. TRIM: **WHITE** EXT. WALL: **STONE-TALL 2018**

I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME THIS 1 DAY OF DEC 2018  
*Alberto Fonseca*  
*Almona Fonseca*

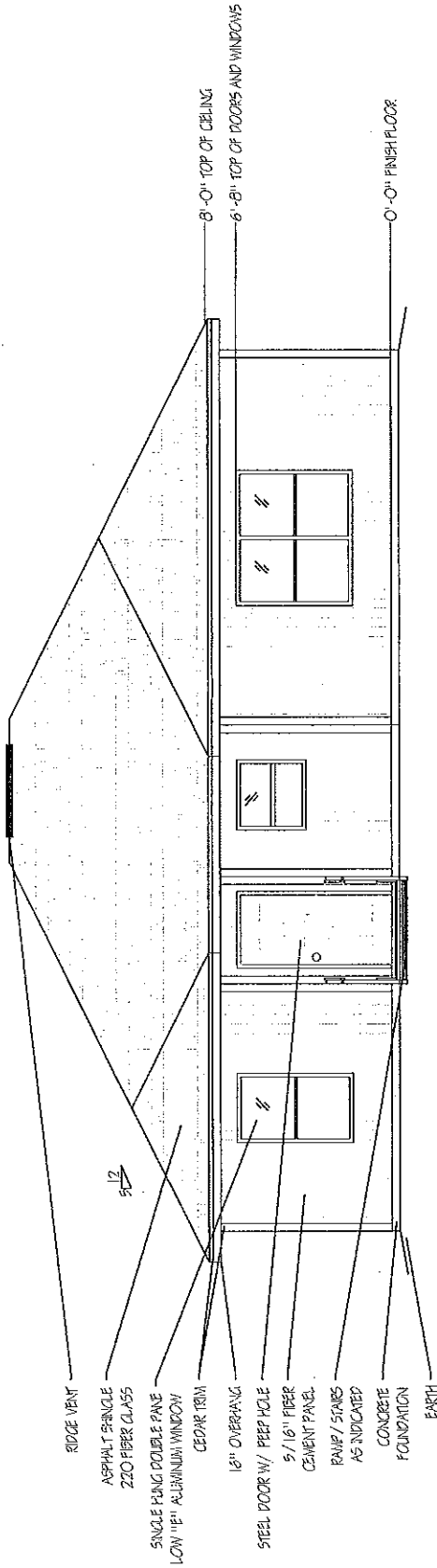


**FLOOR PLAN**

N.T.S.

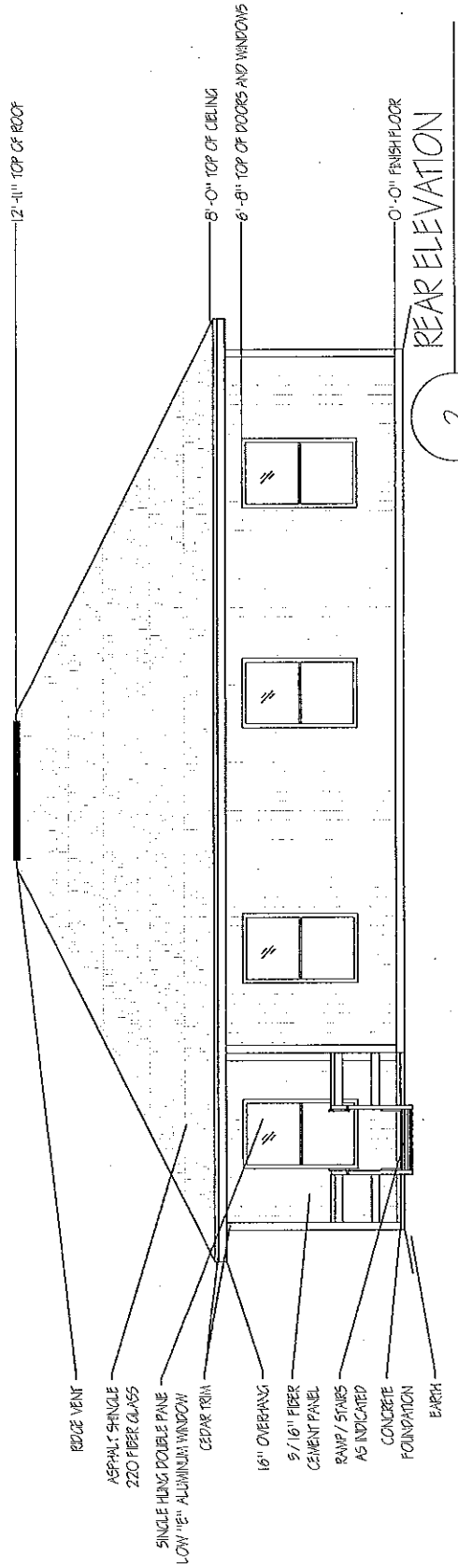


URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM



FRONT ELEVATION

N.T.S.



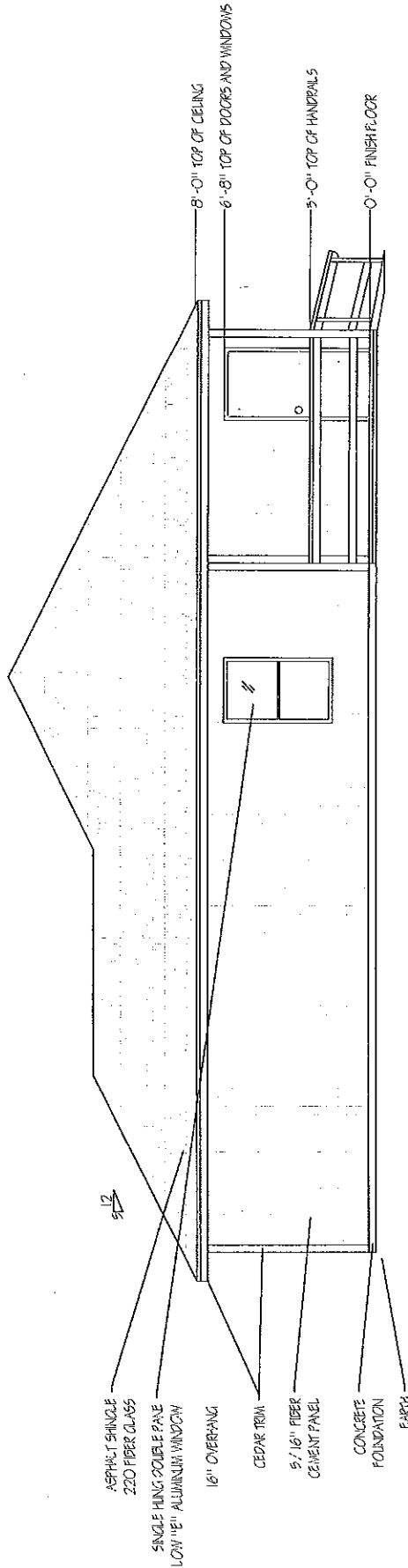
REAR ELEVATION

N.T.S.

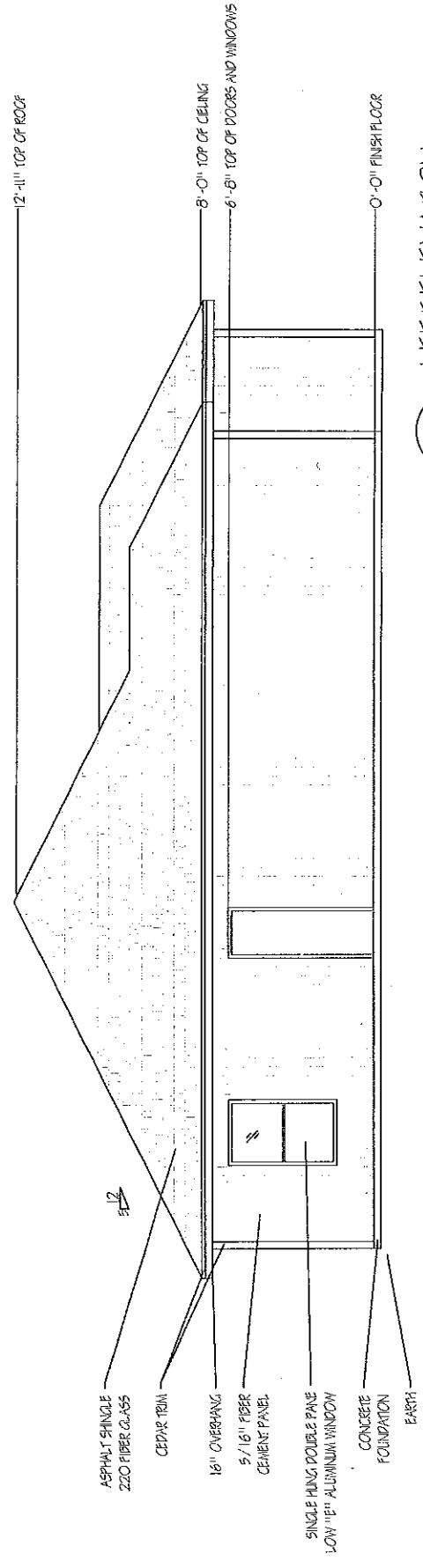
- RIDGE VENT
- ASPHALT SHINGLE  
220 FIBER GLASS
- SINGLE HING DOUBLE PANE  
LOW "E" ALUMINUM WINDOW
- CEGAR TRIM
- 16" OVERHANG
- STEEL DOOR W/ PEEP HOLE
- 5/16" FIBER  
CEMENT PANEL
- RAMP / STAIRS  
AS INDICATED
- CONCRETE  
FOUNDATION
- EARTH

- RIDGE VENT
- ASPHALT SHINGLE  
220 FIBER GLASS
- SINGLE HING DOUBLE PANE  
LOW "E" ALUMINUM WINDOW
- CEGAR TRIM
- 16" OVERHANG
- 5/16" FIBER  
CEMENT PANEL
- RAMP / STAIRS  
AS INDICATED
- CONCRETE  
FOUNDATION
- EARTH

URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM



1 RIGHT ELEVATION  
N.T.S.



2 LEFT ELEVATION  
N.T.S.

ALL SPECIFICATIONS SHALL ASSUME THE USE OF CONTRACTOR'S MINIMUM GENERAL SPECIFICATIONS MANUAL

OWNER (S) GILBERTO FONSECA CASE NO.: ME 50-12-02 DATE: 10-1-13 ADDRESS: 255 S. INDIANA ST., MERCEDES, TX PHONE: 956-407-2163 BY: ERIC TREVIÑO

1. FOUNDATION WORK:

BUILD A NEW CONCRETE FOUNDATION TO COMPLY WITH PLANS. SPECS CITY AND / COUNTY REQUIREMENTS. PRODUCTS TO BE 18" ABOVE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. PROVIDE CONCRETE SLAB FOR A/C UNIT & A MIN. OF 12 X 25 DRIVEWAY (depending on city).

2. PLUMBING GENERAL: (SEE SPECS)

ALL PLUMBING ROUGH SHALL BE AS FOLLOWS:
- WATER SUPPLY TO HOUSE SHALL HAVE A 1/2" CUTOFF VALVE BEFORE ENTRY TO HOUSE
- INTERIOR WATER SUPPLY LINES FOR HOUSE SHALL BE ALL NEW NEW 1/2" DIA. PIPES AND FITTINGS
- OF 1" MINIMUM DIAMETER FOR ALL EXTERIOR WATER SUPPLY LINES BELOW GROUND.
- OF APPROPRIATE DIAMETER FOR DWV (DRAIN, WASTE, AND VENTS)

ALL PLUMBING FINISH SHALL BE AS FOLLOWS:

- 1/2" EXTERIOR HOSE BRASS BALL FAUCETS.
- 1/2" CUTOFF VALVES WITH ESCUTCHEONS FOR ALL FIXTURES, FIXTURES:
- PLUMBING SEALANT FOR ALL DRAINS, AND SINK PERIMETERS
- ALL OTHER RELATED PLUMBING (SEE SPECS)
- KITCHEN SINK W/ RELATED PLUMBING & FAUCETS
- PEDESTAL SINK W/ RELATED PLUMBING & FAUCETS
- TOILET OF MATCHING COLOR
- SHOWER WITH RELATED PLUMBING AND HANDICAP ACCESSIBLE
- SHOWER FAUCETS & REMOVABLE SHOWER HEAD
- MEDICINE CABINET/STOWEL, RACKS/ T.P. DISPENSER/ TOOTHBRUSH & SOAP HOLDER & SHOWER ROD (SEE SPECS)
- WATER HEATER INSTALLED AS PER SPECS. (GAS OR ELECTRIC AS PER OWNER REQUEST)
- OTHER RELATED ITEMS
- RANGE CONNECTIONS AS PER OWNERS REQUEST (SEE SECTION 2A).

3. INTERIOR/EXTERIOR WALLS & CEILINGS:

ALL INTERIOR AND EXTERIOR WALL FRAMING:
- 2x4 (#2 OR BETTER) FOR USE IN SOLE PLATES (TREATED LUMBER)
- DOUBLE TOP PLATES
- 92 5/8" PRE-CUT STUDS @ 16" O.C.
- WINDOW SILLS
- CEILING JOIST CHAIN BLOCKING @ 48" O.C.
- 2x6 (#2 OR BETTER) FOR USE IN WINDOW & DOOR HEADERS WITH 1/2" SPACER.

CEILING JOIST @ 24" O.C. FOR CLEARANCES LARGER THAN 12' CEILING JOIST SHALL BE @ 16" O.C.
INSTALL BOOT TIES IN EVERY CORNER OF THE HOUSE ALONG WITH METAL ANCHORS ON BOTH BOTTOM AND TOP PLATES OF HOME
ALL EXTERIOR CEILING COVERINGS:
- 3/4" CD EXTERIOR PLYWOOD FOR PORCH CEILINGS.
- ALL INTERIOR WALL & CEILING COVERINGS.
- 1/2" SHEETROCK FINISHED AS PER SPECS.
- 1/2" DAMP RESISTANT SHEETROCK FOR BATH AREAS.
- ALL INTERIOR CEILINGS SHALL HAVE ORANGE PEEL TEXTURE
- ALL INTERIOR WALL SURFACES SHALL HAVE ORANGE PEEL TEXTURE
- ALL EXTERIOR TRIMMINGS SHOULD CONSIST OF CEDAR WOOD.

4. ROOF: (SLOPE=5/12)

ROOF SHALL HAVE:
- A HIPGABLE STYLE ROOF WITH 18" OVERHANGS.
- A HIPGABLE STYLE FRONT PORCH AS PER PLANS.
- PORCH COLUMNS MUST BE FASTENED TO CONCRETE
- AN ADEQUATE COMBINATION OF RIDGE & SOFFIT VENTS WITH AIR CHUTES.
- ADEQUATE RAIN GUTTERS WITH DOWN SPOUTS FOR THE ROOF AREA THAT MAY AFFECT OWNERS.
- SHINGLES TO BE OF LIGHT COLOR (no black shingles)

5. PORCH & CANOPY FLOORS:

THE FLOOR SHALL HAVE PORCH FLOORS AS FOLLOWS:
- A FRONT PORCH FLOOR.
- A SIDEBACK PORCH FLOOR.
- PROVIDE RAMP & (2) HANDRAILS TO EACH FRONT AND/OR SIDE PORCH STEPS

6. INSULATION:

ALL LIVING AREA CEILINGS WITH BLOWN IN INSULATION TO AN R-49 FACTOR. (need a combined R-30 & R-19 to meet requirement)
INFILTRATION FOAM SHALL BE USED AROUND ALL WINDOWS, WIRES, PLUMBING, ELECTRICAL, 2x4 BOTTOM PLATES, AND ALL PENETRATED AREAS.
ALL PERIMETER WALLS WITH R-15 F.G. BATT
ALL EXTERIOR PIPES EXPOSED TO WEATHER.

7. INTERIOR FINISH:

ALL TRIM SHALL BE INSTALLED AS PER SPECS (2 COATS) WITH ALL PAINT SHALL BE APPLIED AS PER SPECS (2 COATS) WITH PAINT COMPARABLE IN QUALITY TO SHERWIN WILLIAMS. ALLOW A VARIETY OF DIFFERENT COLORS FOR CLIENT TO CHOOSE FROM. (2 COLOR CHOICE MIN).

8. EXTERIOR FINISH:

PAINT ENTIRE HOUSE AS PER SPECS WITH PAINT COMPARABLE IN QUALITY TO SHERWIN WILLIAMS. PRIMER TO BE OIL BASED & PAINT MUST BE EQUIVALENT TO A-100. (2 COLOR CHOICE MIN).

9. SIDING:

THE SIDING SHALL BE 5/8" FIBER CEMENT WITH ALL CEDAR TRIM TO ENTIRE HOUSE.

10. WINDOWS:

SHALL BE NEW LOW E DOUBLE PANE INSULATED ALUMINUM WINDOWS. SIZE AS PER PLAN.

11. CABINETS GENERAL:

BUILD AND/OR INSTALL NEW KITCHEN CABINETS TO INCLUDE:
- A KITCHEN CABINET.
- A KITCHEN BATHROOM FORMICA COUNTER TOP OF MATCHING COLOR.
- BUILD AND /OR INSTALL A NEW VANITY CABINET (IF APPLICABLE) FOR BATHROOM WITH FORMICA TO MATCH LAVATORY SINK AND WALLS. ALL CABINERY PIECES SHOULD BE NEW AND COMPLETE AND BUILT TO PROFESSIONAL STANDARDS.

12. FLOOR, SUBFLOOR, & FINISH FLOORING:

APPLY VOT FLOOR TILE TO ALL LIVING AREA HOUSE FLOORS.

13. ELECTRICAL GENERAL

ALL ELECTRICAL INSTALLATIONS & WORK AS PER ELECTRICAL CODE WITH THE FOLLOWING CONDITIONS:
- PROVIDE RANGE CUTOFF AS PER OWNERS REQUEST.
- PROVIDE APPROPRIATE WASHERS & DRYER CONNECTION.
- (2) 92' CEILING FANS (CEILING HUGGER STYLE) COMPARABLE IN QUALITY TO THE HUNTER BRAND. THE CONTRACTOR SHALL ALLOW \$120.00 FOR MATERIAL & LABOR. LOCATION AS PER OWNER REQUEST.
- INSTALL GFCI OUTLETS IN BATHROOMS, KITCHEN, AND EXTERIOR WALLS.
- EACH ELECTRICAL PANEL OR BREAKER BOX, LIGHT SWITCH, & THERMOSTAT NO HIGHER THAN 48" ABOVE FLOOR.
- EACH ELECTRICAL PLUG TO BE 15" ABOVE THE FLOOR.
- ANY OUTLETS WITHIN 6' FROM KITCHEN OR BATHROOM SINKS MUST BE GFCI.

14. RANGE HOOD:

INSTALL A RANGE HOOD TO FIT OWNERS RANGE SIZE (30" OR 36") AND VENT TO EXTERIOR.

15. BATHROOM ACCESSORIES:

ALL ACCESSORIES & MEDICINE CABINETS AS PER SPECS. INCLUDE CURTAIN ROD & PLASTIC THRESHOLD TO HELP PREVENT WATER FROM ESCAPING SHOWER. INSTALL PEDESTAL SINK AND CABINET ABOVE TOILET. (ALSO INCLUDE TOILET PAPER, TOOTHBRUSH, AND SOAP HOLDER.)

16. ACCESS FOR PHYSICAL DISABILITIES:

INSTALL ONE CONC. RAMP AS PER OWNERS REQUEST THAT CONNECTS WITH 12 X 25 DRIVEWAY AND STEPS WITH HANDRAILS. BATHROOM SHOULD ACCOMMODATE GRAB BARS WHERE INDICATED IN PLANS.

17. HEATING & A/C:

PROVIDE & INSTALL A 14 SEER CENTRAL AIR CONDITIONING COMPARABLE IN QUALITY TO A CARRIER BRAND UNIT FOR THE ENTIRE HOUSE. INCLUDE DIGITAL THERMOSTAT.

18. SMOKE DETECTORS:

INSTALL A SMOKE DETECTOR INSIDE EACH SLEEPING ROOM OUTSIDE SLEEPING ROOMS. ALL WIRED IN SERIES.

19. GENERAL NOTES.

CONTRACTOR IS RESPONSIBLE FOR:
- YOUR BID TO INCLUDE ANY COST RELATED TO REQUIREMENTS FROM CITY CHANGE ORDERS FOR THIS PARTICULAR PURPOSES WILL NOT BE ACCEPTED OR PROCESSED TO CORRECT THE ABOVE MENTIONED. YOUR BID TO INCLUDE ANY COST RELATED TO RES-CHECK & ENERGY COMPLIANCE REQUIREMENTS.
- THE DEMOLISH AND DISPOSAL EXISTING STRUCTURE THE COMPLIANCE OF ALL THE REQUIRED BUILDING ELEVATIONS.
- PROVIDE 9' OF LANDSCAPE DIRT AROUND THE HOUSE ALONG WITH SUFFICIENT GRASS SEEDS UP TO 10' OF PERIMETER.
- PROVIDING THE APPROPRIATE ELECTRICAL AND /OR GAS CONNECTIONS FOR RANGE AS PER APPLICANTS REQUEST AND ACCORDING TO APPLICABLE PLUMBING/ELECTRICAL CODE.
- PROVIDE PHONE JACKS & CABLE CONNECTIONS IN EVERY BDRM & LIVING SPACE. KITCHEN PHONE IF REQUESTED.
- PROVIDE TRIMME PRE-TREATMENT TO ENTIRE HOUSE OBTAINING, DISPLAYING, AND SUBMITTING ALL PROPER PERMITS & INSPECTIONS.
- ALL CONTRACTORS WILL BE RESPONSIBLE FOR ANY ADDITIONAL PLANS, SPECIFICATIONS AND/OR DETAILS THAT ARE REQUIRED BY CITIES OR COUNTY AT THE TIME OF ATTAINING PERMITS.
- MINIMUM 12x-26 CONC. DRIVEWAY WITH CONNECTING SIDEWALK TO RAMP FOR HANDICAP APPLICANTS.
- ALL THE GENERAL INFORMATION CONTAINED WITHIN SECTION 2A. GENERAL NOTES OF THE CONTRACTORS GENERAL SPECIFICATIONS MANUAL.
- PROVIDE AND INSTALL PROJECTS SIGNS AT EACH CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR SUPPLYING PORT A POTTY THROUGHOUT CONSTRUCTION PROCESS (demo to final inspection)
- SHOWER ENTRANCES TO BE 36" WIDE
- ALL UCP HOMES MUST COMPLY WITH TEXAS GOVERNMENT CODE §2306.514
- THE HOMEOWNER SHALL BE RESPONSIBLE FOR REMOVE AND DISPOSE OF ALL DEBRIS ON SITE BEFORE THE BEGINNING OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO TREES, ABANDONED VEHICLES, OLD LUMBER, ETC. MAKING NECESSARY DEPOSITS FOR ANY UTILITIES TO BE CONNECTED TO THE NEW DWELLING.

I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME.

NAME OF APPLICANT

NAME OF CO-APPLICANT