

PLANNING DEPT. PCTS 2 & 4 CERTIFICATE OF PLAT & UTILITY STATUS		
	APPLICANT	APPLICATION NO.
1.	Luis & Sarai Torres	2-1512
2.	Camino Real Builders	4-12888
3.	Camino Real Builders	4-12889
COMM. COURT: December 10, 2013		



PLANNING DEPARTMENT

Rev. 02-19-10

County of Hidalgo

Main Office
1304 South 25th Street
Edinburg, Texas 78542
956-318-2840
956-318-2844

Precinct No.1 Substation
1902 Joe Stephens Ave.
Weslaco, TX 78596
956-968-4734
956-973-7850

Precinct No.3 Substation
2401 N. Moorefield Rd.
Mission, TX 78572
956-205-7045
956-205-7049

Precinct 1 23 4

Raul E. Sesin, P.E., CFM
Planning Administrator

Application No: 2-1572

HIDALGO COUNTY CERTIFICATE OF PLAT AND UTILITY STATUS UNDER TEXAS LOCAL GOVT. CODE SECTION 232.028(b)

WE THE UNDERSIGNED CERTIFY AS FOLLOWS:

Upon the application of:

Name: Luis & Sarai Torres

Address: 416 Amanda Ct.
Alamo, TX. 78516

Phone: 956-961-9128

Approved by Environmental Health:	Temporary Service Authorized Signature	Final Service Authorized Signature
Inspection/Permit No:		
Date Approved:	<u>1 / 1</u>	<u>1 / 1</u>

Water Supplier: Military Hwy Water

Utility Provider: [] M.V.E.C. [x] AEP

Account/ESI No.: 10032789432293025
[] Temporary Pole [x] Permanent Service

regarding the land described as:

Paradise Palm Lot #5

on _____, 20____, the Hidalgo County Commissioners Court, at a meeting duly called and noticed in accordance with the Texas Open Meetings Act, made the following determinations regarding plat and utility status of the land herein described pursuant to Texas Local Government Code Section 232,028(b):

Fill in "yes" or "no" in each blank

- yes A plat has been prepared;
- yes A plat has been reviewed and approved by the Commissioners Court;
- yes water service facilities have been constructed or installed to service the subdivision under Local Government Code Section 232.023 and are fully operable;
- no an organized sewage collection and treatment system is to be used, and under sewer service facilities have been constructed or installed to service the subdivision under Section 232.023 and are fully operable;
- yes individual septic systems are to be used, and lots in the subdivision can be adequately and legally served by septic systems under Section 232.023;
- yes electrical and gas facilities, if available, have been constructed or installed to service the subdivision under Section 232.023.

(Date approved 05/04/15);

(verified by Maria Carr);

(verified by [Signature]);

(verified by [Signature]);

(verified by [Signature]);

Planning Department Authorized Signature

Hidalgo County Judge

Date

ATTEST:

Hidalgo County Clerk

Date



PLANNING DEPARTMENT

Rev. 02-19-10

County of Hidalgo

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956-205-7049

Precinct 1 2 3 4

Raul E. Sesin, P.E., CFM
Planning Administrator

Application No: 2-1512

REQUEST FOR HIDALGO COUNTY CERTIFICATE OF PLAT AND UTILITY STATUS UNDER TEXAS LOCAL GOVT. CODE SECTION 232.028(b)

In my status and for the land indicated below, which is located outside of any municipality, I request that the Hidalgo County Commissioners Court make the determinations regarding plat and utility status described in Texas Local Government Code § 232.028(b) and issue a certificate of such determinations:

PARTY MAKING REQUEST:

Name: Luis & Sarai Torres

Address: 416 Amanda Ct.

Alamo, TX. 78516

Phone: 956-961-9128

IDENTIFICATION OF LAND (e.g., lot and block number of recorded subdivision, designation on plat, address, description in deed, etc.):

Paradise Palm Lot # 5

STATUS OF PERSON OR ENTITY MAKING REQUEST:

- Subdivider
- Owner of lot in subdivision
- Resident of lot in a subdivision
- Entity that provides utility service

[Signature]
Requesting Party (Signature)

12-13
Date

ATTACHED COPY OF VERIFICATION OF OWNERSHIP OR RESIDENCY OF LOT:

- Deed
- Executory Contract
- Lease
- Rent Receipt
- Affidavit
- Other (describe) PMT

.....
This part to be filled out by receiving county official:

Location of land verified and completed request accepted by Hidalgo County for processing on:

12/05/13
Date

[Signature]
County Official

Chapter 232 Texas LGC Application

APPLICATION NO:
2-1512
Dec. 2, 2013

COUNTY OF HIDALGO
PLANNING DEPARTMENT
1304 S. 25th Ave EDINBURG TX 78539
TEL 318-2840 FAX 318-2844

P3295-00-000-0005-00

[1] OWNER: TORRES, LUIS A & SARAI O

[7] LEGAL DESC./NAME OF SUBDIVISION
PARADISE PALMS LOT 5

RR 4 BOX 49047
ALAMO, TX 78516-9603

Telephone No. 502-2313

LOCATION: 0 TOWER & EL GATO

[2] CONTRACTOR: SELF

[8] SEWAGE: INSTA

[3] WATER SYSTEM: MILI

[9] CONSTRUCTION TYPE: BLOC

[4] PURPOSE OF APPLICATION: NEW RESIDENCE
25- RESIDENTIAL NEW SINGLE DWELLING

[10] EST. COST OF CONST.: \$150,000

[5] SIZE OF STRUCTURE: 2,608 Sq. Ft.

[11] SPECIAL FLOOD HAZARD AREA: YES
 NO

[6] USE OF BUILDING: NEW-RESIDENTIAL

Special Conditions: No construction allowed over any easements.
MUST COMPLY WITH ALL COUNTY, STATE, CITY, FEMA
REGULATIONS FRONT-25' REAR-20' SIDES-6'

FOR COUNTY USE ONLY
APPLICATION FEES

OTHER _____
TOTAL AMOUNT \$30.00

Rodolfo P. Torres
Prepared by _____ #-12-2-13
Date

Light [X] Water [X]

Flood Zone: NO 440334 Pct: 2
Panel No. /Suffix: _____

Rodolfo P. Torres
Approved by _____ 11-27-13
Date

Community No.: 0425-C

Certification of Elevation
Required: YES / NO BFE

X [Signature]
Signature of Owner or Applicant _____ X 12-2-13
Date

- A. Setbacks front, side & rear shall be in any deed restrictions.
- B. No more than one single family residence per lot.
- C. Applicant shall comply with all of the plat and/or deed restrictions and requirements affecting the lot.
- D. Permit fee shall be doubled for construction commencing or structures moved in prior to obtaining a permit.
- E. Applicant/owner states that no structures exist on this tract of land. If found in violation, permit may be revoked.

[NOTICE]

SEPARATE PERMITS ARE REQUIRED FOR SEPTIC TANKS. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS. OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF ONE YEAR AT ANYTIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND REGULATIONS GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

158 - WARRANTY DEED

TEXAS STANDARD FORM

The State of Texas,

Know All Men by These

1209320
1209320

County of Hidalgo

THAT we, Apolinar Lopez and wife, Eva Lopez,

of the County of Hidalgo State of Texas for and in consideration
of the sum of TEN AND NO/100ths-----(\$10.00)-----DOLLARS

to us in hand paid by Luis Alberto Torres and wife, Sarai O. Torres,

as follows:

6-12-03

have Granted, Sold and Conveyed, and by these presents do Grant, Sell and Convey, unto the said
Luis Alberto Torres and wife, Sarai O. Torres

whose mailing address is RR. 4 Box 49047, Alamo, Texas 78516
of the County of Hidalgo State of Texas all that certain
property described as follows, to-wit:

ALL of Lot Five (5) PARADISE PALMS SUBDIVISION, Hidalgo County,
Texas, according to the map recorded in Volume 30, Page 62-B,
Map Records in the Office of the County Clerk of Hidalgo County,
Texas, reference to which record is here made for all purposes.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and
appurtenances thereto in anywise belonging unto the said

Luis Alberto Torres and wife, Sarai O. Torres, their
heirs and assigns forever and we do hereby bind ourselves, our
heirs, executors and administrators, to Warrant and Forever Defend, all and singular the said premises unto the said

Luis Alberto Torres and wife, Sarai O. Torres, their
heirs and assigns, against every person whomsoever lawfully claiming, or to claim the same, or any part thereof.

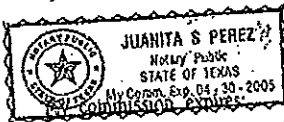
WITNESS our hands at Donna, Texas
this 12th day June 2003.
Witness at Request of Grantor:

x *Apolinar Lopez*
Apolinar Lopez
x *Eva Lopez*
Eva Lopez

(Acknowledgment)

STATE OF TEXAS
COUNTY OF Hidalgo

This instrument was acknowledged before me on the 12th day of June 2003,
by Apolinar Lopez and wife, Eva Lopez.



04-30-2005

Juanita S. Perez
Notary Public, State of Texas
Notary's printed name: JUANITA S. PEREZ



STATE OF TEXAS
COUNTY OF

(Acknowledgment)

This instrument was acknowledged before me on the _____ day of _____ by _____

My commission expires: _____

Notary Public, State of Texas
Notary's printed name:

STATE OF TEXAS
COUNTY OF

(Acknowledgment)

This instrument was acknowledged before me on the _____ day of _____ by _____

My commission expires: _____

Notary Public, State of Texas
Notary's printed name:

STATE OF TEXAS
COUNTY OF

(Acknowledgement)

This instrument was acknowledged before me on the _____ day of _____ by _____

My commission expires: _____

Notary Public, State of Texas
Notary's printed name:

Warranty Deed

FROM

Apolinar Lopez and wife,
Eva Lopez
TO
Luis Alberto Torres and wife,
Sara O. Torres

FILED FOR RECORD

This day of _____ M.
at _____ o'clock

County Clerk

By _____
Deputy

Rebecca Martiscal, Deputy

Receipt Number - 505584

Amount Document Number: 1899320
Total Fees 16.00

On Jun 12, 2003 at 04:50p
I, _____, Notary Public,
do hereby certify that the foregoing is a true and correct copy of the original as recorded in my records.

by _____
County Clerk

by _____
Deputy

Recording Fee \$ _____

This instrument should be filed immediately with
the County Clerk for record.

WHEN RECORDED RETURN TO:

RR- 4 Box 49047, Alamo, Tx. 78516



PLANNING DEPARTMENT

Rev. 02-19-10

County of Hidalgo

Main Office
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956-318-2844

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956-968-4734
956-973-7850

Precinct No.3 Substation
2401 N. Moorefield Rd.
Mission, TX 78572
956-205-7045
956-205-7049

Precinct 1 2 3 4

Raul E. Sesin, P.E., CFM
Planning Administrator

Application No: 4-12308

HIDALGO COUNTY CERTIFICATE OF PLAT AND UTILITY STATUS UNDER TEXAS LOCAL GOVT. CODE SECTION 232.028(b)

WE THE UNDERSIGNED CERTIFY AS FOLLOWS:

Upon the application of:

Approved by Environmental Health:	Temporary Service	Final Service
	Authorized Signature	Authorized Signature
Inspection/Permit No:		
Date Approved:	1 / 1	12/4/12

Name: Camino real Builders

Address: 13709 N 33rd STREET,
McAllen TX
78541

Phone: 239-16-18

Water Supplier: Sharyland

Utility Provider: M.V.E.C. [] AEP

Account/ESI No.: N/A
[] Temporary Pole [x] Permanent Service

regarding the land described as:

La Puerta Subdivision LOT 34

on _____, 20____, the Hidalgo County Commissioners Court, at a meeting duly called and noticed in accordance with the Texas Open Meetings Act, made the following determinations regarding plat and utility status of the land herein described pursuant to Texas Local Government Code Section 232,028(b):

Fill in "yes" or "no" in each blank

- A plat has been prepared;
- A plat has been reviewed and approved by the Commissioners Court;
- water service facilities have been constructed or installed to service the subdivision under Local Government Code Section 232.023 and are fully operable;
- an organized sewage collection and treatment system is to be used, and under sewer service facilities have been constructed or installed to service the subdivision under Section 232.023 and are fully operable;
- individual septic systems are to be used, and lots in the subdivision can be adequately and legally served by septic systems under Section 232.023;
- electrical and gas facilities, if available, have been constructed or installed to service the subdivision under Section 232.023.

(Date approved 08/10/09);

(verified by Maria Garcia);

12/4/12 Rubén Acosta
(verified by Rubén Acosta);

12/11/12 Rubén Acosta
(verified by Rubén Acosta);

Planning Department Authorized Signature

Hidalgo County Judge

Date

ATTEST:

Hidalgo County Clerk

Date



PLANNING DEPARTMENT

County of Hidalgo

Rev. 02-19-10

Main Office
1304 South 25th Street
Edinburg, Texas 78542
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Precinct No.3 Substation
2401 N. Moorefield Rd.
Mission, TX 78572
956-205-7045
956-205-7049

Precinct 1 2 3 4

Raul E. Sesin, P.E., CFM
Planning Administrator

Application No: 4-12888

REQUEST FOR HIDALGO COUNTY CERTIFICATE OF PLAT AND UTILITY STATUS UNDER TEXAS LOCAL GOVT. CODE SECTION 232.028(b)

In my status and for the land indicated below, which is located outside of any municipality, I request that the Hidalgo County Commissioners Court make the determinations regarding plat and utility status described in Texas Local Government Code § 232.028(b) and issue a certificate of such determinations:

PARTY MAKING REQUEST:

Name: Camero real Builders
Address: 13709 N 33rd STREET.
MCDALLER TX 78541
Phone: 239-16-18

IDENTIFICATION OF LAND (e.g., lot and block number of recorded subdivision, designation on plat, address, description in deed, etc.):

La Puente Lot# 34

STATUS OF PERSON OR ENTITY MAKING REQUEST:

- Subdivider
- Owner of lot in subdivision
- Resident of lot in a subdivision
- Entity that provides utility service

[Signature]
Requesting Party (Signature)

12/04/2013
Date

ATTACHED COPY OF VERIFICATION OF OWNERSHIP OR RESIDENCY OF LOT:

- Deed
- Executory Contract
- Lease
- Rent Receipt
- Affidavit
- Other (describe) PMT

.....
This part to be filled out by receiving county official:

Location of land verified and completed request accepted by Hidalgo County for processing on:

12/03/13
Date

[Signature]
County Official

Chapter 232 Texas LGC Application

APPLICATION NO:

4-12888

Nov. 8, 2013

COUNTY OF HIDALGO
PLANNING DEPARTMENT

1304 S. 25th Ave EDINBURG TX 78539
TEL 318-2840 FAX 318-2844

L1770-01-000-0034-00

[1] OWNER: ALAMO DAYS TRADE, INC. DBA
CAMINO REAL BUILDERS
2909 LA PUERTA AVE.
MCALLEN, TX. 78504

[7] LEGAL DESC./NAME OF SUBDIVISION
LA PUERTA LOT 34

Telephone No. 992-9501

LOCATION: 0 ROOTH & MILE 17

[2] CONTRACTOR: SELF

[8] SEWAGE: PUBLI

[3] WATER SYSTEM: SHAR

[9] CONSTRUCTION TYPE: OTHE

[4] PURPOSE OF APPLICATION: NEW RESIDENCE
01- RESIDENTIAL NEW SINGLE DWELLING

[10] EST. COST OF CONST.: \$140,000

[5] SIZE OF STRUCTURE: 2,708 Sq. Ft.

[11] SPECIAL FLOOD HAZARD AREA: YES
 NO

[6] USE OF BUILDING: RES.ZONE-X

Special Conditions: No construction allowed over any easements.
MUST COMPLY W/ALL REGULATIONS & SETBACKS
FRONT 25' SIDE'S 6' REAR 15' FINISH FLOOR OF ELEV.
18" FROM STREET.

FOR COUNTY USE ONLY APPLICATION FEES

Flora Cardillo
Prepared by

11/08/13
Date

OTHER _____
TOTAL AMOUNT \$30.00

Light [X] Water [X]

Flood Zone: NO Panel No. /Suffix: 0305D Pct: 4

Community No.: 00334

Certification of Elevation
Required: YES NO BFE

- A. Setbacks front, side & rear shall be in any deed restrictions.
- B. No more than one single family residence per lot.
- C. Applicant shall comply with all of the plat and/or deed restrictions and requirements affecting the lot.
- D. Permit fee shall be doubled for construction commencing or structures moved in prior to obtaining a permit.
- E. Applicant/owner states that no structures exist on this tract of land. If found in violation, permit may be revoked.

Rudox Rioo
Approved by

10/30/13
Date

[Signature]
Signature of Owner or Applicant

11/8/13
Date

[NOTICE]

SEPARATE PERMITS ARE REQUIRED FOR SEPTIC TANKS. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS. OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF ONE YEAR AT ANYTIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND REGULATIONS GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

CHARGE TO: VLTC
F# 135751

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

State Bar of Texas Form

STATE OF TEXAS
COUNTY OF HIDALGO

DEED OF TRUST

DATE: September 5, 2013

GRANTOR: Alamo Days Trade, Inc. dba Camino Real Builders

GRANTOR'S MAILING ADDRESS (including county): 4116 Nightshade Ave., McAllen, Hidalgo County, Texas 78504

TRUSTEE: S. David Deanda, Jr.

TRUSTEE'S MAILING ADDRESS (including county): 520 E. Nolana, McAllen, Hidalgo County, Texas 78504

BENEFICIARY: Lone Star National Bank

BENEFICIARY'S MAILING ADDRESS: 520 E. Nolana, McAllen, Hidalgo County, Texas 78504

NOTE(S):

DATE: September 5, 2013

AMOUNT: One Hundred Sixty-Two Thousand and No/100ths Dollars (\$162,000.00)

MAKER: Alamo Days Trade, Inc. dba Camino Real Builders

PAYEE: Lone Star National Bank

FINAL MATURITY DATE: September 5, 2018

TERMS OF PAYMENT (optional): As therein provided

PROPERTY (including any improvements):

All of Lots 32, 33, 34, 35, 36, 37, 38, 39, and 40, LA PUERTA SUBDIVISION PHASE I, Hidalgo County, Texas, according to the map recorded in Volume 51, Pages 62-67, Map Records in the Office of the County Clerk of Hidalgo County, Texas, reference to which is here made for all purposes.

PRIOR LIEN(S) (including recording information): None

OTHER EXCEPTIONS TO CONVEYANCE AND WARRANTY:

For value received and to secure payment of the note, Grantor conveys the property to Trustee in trust. Grantor warrants and agrees to defend the title to the property. If Grantor performs all the covenants and pays the note according to its terms, this deed of trust shall have no further effect, and Beneficiary shall release it at Grantor's expense.

GRANTOR'S OBLIGATIONS

GRANTOR AGREES TO:

1. keep the property in good repair condition;
2. pay all taxes and assessments on the property when due;



PLANNING DEPARTMENT

County of Hidalgo

Rev. 02-19-10

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Mission, TX 78572
956-205-7045
956-205-7049

Precinct 1 2 3 4

Raul E. Sesin, P.E., CFM
Planning Administrator

Application No: 4-12889

11-08-13

HIDALGO COUNTY CERTIFICATE OF PLAT AND UTILITY STATUS UNDER TEXAS LOCAL GOVT. CODE SECTION 232.028(b)

WE THE UNDERSIGNED CERTIFY AS FOLLOWS:

Upon the application of:

Name: Camino real Builders

Address: 13713 N. 33rd ST.
MCDALLEN TX
78541

Phone: 239-16-18

Approved by Environmental Health:	Temporary Service	Final Service
Inspection/Permit No:	Authorized Signature	Authorized Signature
Date Approved:	<u>1 1</u>	<u>12/11/13</u>

Water Supplier: Sharyland

Utility Provider: M.V.E.C. AEP

Account/ESI No.: N/A
 Temporary Pole Permanent Service

regarding the land described as: La Puente Lot ~~34~~ 35

on 11-08-13, 2013, the Hidalgo County Commissioners Court, at a meeting duly called and noticed in accordance with the Texas Open Meetings Act, made the following determinations regarding plat and utility status of the land herein described pursuant to Texas Local Government Code Section 232,028(b):

Fill in "yes" or "no" in each blank

- yes A plat has been prepared;
- yes A plat has been reviewed and approved by the Commissioners Court;
- yes water service facilities have been constructed or installed to service the subdivision under Local Government Code Section 232.023 and are fully operable;
- yes an organized sewage collection and treatment system is to be used, and under sewer service facilities have been constructed or installed to service the subdivision under Section 232.023 and are fully operable;
- NO individual septic systems are to be used, and lots in the subdivision can be adequately and legally served by septic systems under Section 232.023;
- yes electrical and gas facilities, if available, have been constructed or installed to service the subdivision under Section 232.023.

(Date approved 10/10/13)
 (verified by [Signature])
 (verified by [Signature])
 (verified by [Signature])
 (verified by [Signature])

Planning Department Authorized Signature

Hidalgo County Judge

Date

ATTEST: _____
Hidalgo County Clerk

Date



PLANNING DEPARTMENT

Rev. 02-19-10

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956-205-7049

Precinct 1 2 3 4

Raul E. Sesin, P.E., CFM
Planning Administrator

Application No:

4-12889

REQUEST FOR HIDALGO COUNTY CERTIFICATE OF PLAT AND UTILITY STATUS UNDER TEXAS LOCAL GOVT. CODE SECTION 232.028(b)

In my status and for the land indicated below, which is located outside of any municipality, I request that the Hidalgo County Commissioners Court make the determinations regarding plat and utility status described in Texas Local Government Code § 232.028(b) and issue a certificate of such determinations:

PARTY MAKING REQUEST:

Name: Camino real Builders

Address: 13713 N 33rd STREET.
McALLEN TX 78541

Phone: 239-16-18

IDENTIFICATION OF LAND (e.g., lot and block number of recorded subdivision, designation on plat, address, description in deed, etc.):

La Puente Lot #25

STATUS OF PERSON OR ENTITY MAKING REQUEST:

- Subdivider
- Owner of lot in subdivision
- Resident of lot in a subdivision
- Entity that provides utility service

[Signature]
Requesting Party (Signature)

12/04/2013
Date

ATTACHED COPY OF VERIFICATION OF OWNERSHIP OR RESIDENCY OF LOT:

- Deed
- Executory Contract
- Lease
- Rent Receipt
- Affidavit
- Other (describe) PMT

.....
This part to be filled out by receiving county official:

Location of land verified and completed request accepted by Hidalgo County for processing on:

12/03/13
Date

[Signature]
County Official

Chapter 232 Texas LGC Application

APPLICATION NO:
4-12889
Nov. 8, 2013

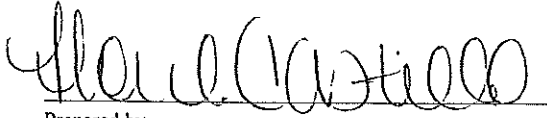
COUNTY OF HIDALGO
PLANNING DEPARTMENT
1304 S. 25th Ave EDINBURG TX 78539
TEL 318-2840 FAX 318-2844

L1770-01-000-0035-00

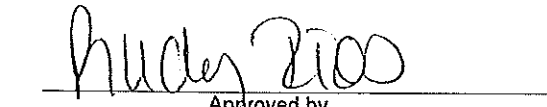
- [1] OWNER: CAMINO REAL BUILDERS
2909 LA PUERTA AVE.
MCALLEN, TX. 78504
Telephone No. 992-9501
- [2] CONTRACTOR: SELF
- [3] WATER SYSTEM: SHAR
- [4] PURPOSE OF APPLICATION: NEW RESIDENCE
01- RESIDENTIAL NEW SINGLE DWELLING
- [5] SIZE OF STRUCTURE: 2,708 Sq. Ft.
- [6] USE OF BUILDING: RES.ZONE-X
- [7] LEGAL DESC./NAME OF SUBDIVISION
LA PUERTA LOT 35
- LOCATION: 0 ROOTH & MILE 17
- [8] SEWAGE: PUBLI
- [9] CONSTRUCTION TYPE: OTHE
- [10] EST. COST OF CONST.: \$140,000
- [11] SPECIAL FLOOD HAZARD AREA: YES
 NO

Special Conditions: No construction allowed over any easements.
MUST COMPLY W/ALL REGULATIONS & SETBACKS
FRONT 25' SIDES 6' REAR 15' FINISH FLOOR OF ELEV.
18" FROM STREET.

FOR COUNTY USE ONLY APPLICATION FEES


Prepared by _____ Date 11-08-13

OTHER _____
TOTAL AMOUNT \$30.00


Approved by _____ Date 11-06-13

Light Water

Flood Zone: NO 03015D Pct: 4
Panel No./Suffix: _____

Community No.: 400324

Certification of Elevation
Required: YES NO BFE


Signature of Owner or Applicant _____ Date 11/08/13

- A. Setbacks front, side & rear shall be in any deed restrictions.
- B. No more than one single family residence per lot.
- C. Applicant shall comply with all of the plat and/or deed restrictions and requirements affecting the lot.
- D. Permit fee shall be doubled for construction commencing or structures moved in prior to obtaining a permit.
- E. Applicant/owner states that no structures exist on this tract of land. If found in violation, permit may be revoked.

[NOTICE]

SEPARATE PERMITS ARE REQUIRED FOR SEPTIC TANKS. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS. OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF ONE YEAR AT ANYTIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND REGULATIONS GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

CHARGE TO: VLTC
F# 135751

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

State Bar of Texas Form

STATE OF TEXAS
COUNTY OF HIDALGO

DEED OF TRUST

DATE: September 5, 2013

GRANTOR: Alamo Days Trade, Inc. dba Camino Real Builders

GRANTOR'S MAILING ADDRESS (including county): 4116 Nightshade Ave., McAllen, Hidalgo County, Texas 78504

TRUSTEE: S. David Deanda, Jr.

TRUSTEE'S MAILING ADDRESS (including county): 520 E. Nolana, McAllen, Hidalgo County, Texas 78504

BENEFICIARY: Lone Star National Bank

BENEFICIARY'S MAILING ADDRESS: 520 E. Nolana, McAllen, Hidalgo County, Texas 78504

NOTE(S):

DATE: September 5, 2013

AMOUNT: One Hundred Sixty-Two Thousand and No/100ths Dollars (\$162,000.00)

MAKER: Alamo Days Trade, Inc. dba Camino Real Builders

PAYEE: Lone Star National Bank

FINAL MATURITY DATE: September 5, 2018

TERMS OF PAYMENT (optional): As therein provided

PROPERTY (including any improvements):

All of Lots 32, 33, 34, 35, 36, 37, 38, 39, and 40, LA PUERTA SUBDIVISION PHASE I, Hidalgo County, Texas, according to the map recorded in Volume 51, Pages 62-67, Map Records in the Office of the County Clerk of Hidalgo County, Texas, reference to which is here made for all purposes.

PRIOR LIEN(S) (including recording information): None

OTHER EXCEPTIONS TO CONVEYANCE AND WARRANTY:

For value received and to secure payment of the note, Grantor conveys the property to Trustee in trust. Grantor warrants and agrees to defend the title to the property. If Grantor performs all the covenants and pays the note according to its terms, this deed of trust shall have no further effect, and Beneficiary shall release it at Grantor's expense.

GRANTOR'S OBLIGATIONS

GRANTOR AGREES TO:

1. keep the property in good repair condition;
2. pay all taxes and assessments on the property when due;

ALAMO DAYS TRADE, INC., A TEXAS CORPORATION DBA CAMINO REAL BUILDERS

BY: [Signature]
MICHAEL PAVON DIAZ, PRESIDENT

CORPORATE ACKNOWLEDGMENT

STATE OF TEXAS §
 §
COUNTY OF HIDALGO §

This instrument was acknowledged before me on the 11th day of September, 2013, by Michael Pavon Diaz, President of Alamo Days Trade, Inc., a Texas corporation, in behalf of said corporation dba Camino Real Builders.



[Signature]
Notary Public, State of Texas
Notary's Printed Name: _____
Commission Expires: _____

AFTER RECORDING RETURN TO:
LONE STAR NATIONAL BANK
REAL ESTATE DEPT.
612 W. NOLANA, SUITE 100
MCALLEN, TEXAS 78504

PREPARED IN THE OFFICE OF:
LAW OFFICE OF MICHAEL J. DALEY, PLLC
1801 S. 2ND ST., SUITE 370
MCALLEN, TEXAS 78503
(113-5990)