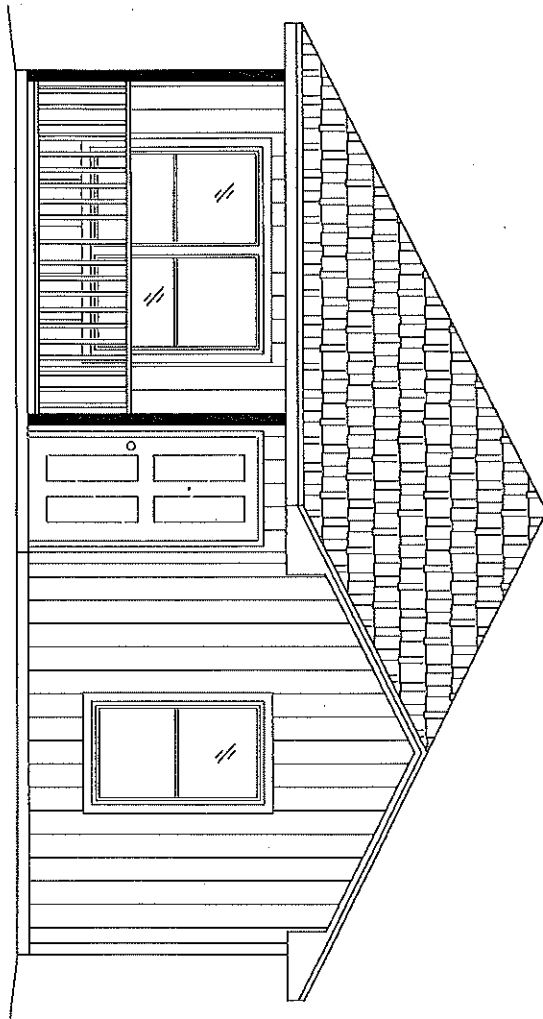


# REYES RESIDENCE



THOMASA REYES  
844 S. VERMONT AVE.  
MERCEDDES, TEXAS 78570  
CELL: 956-854-1246

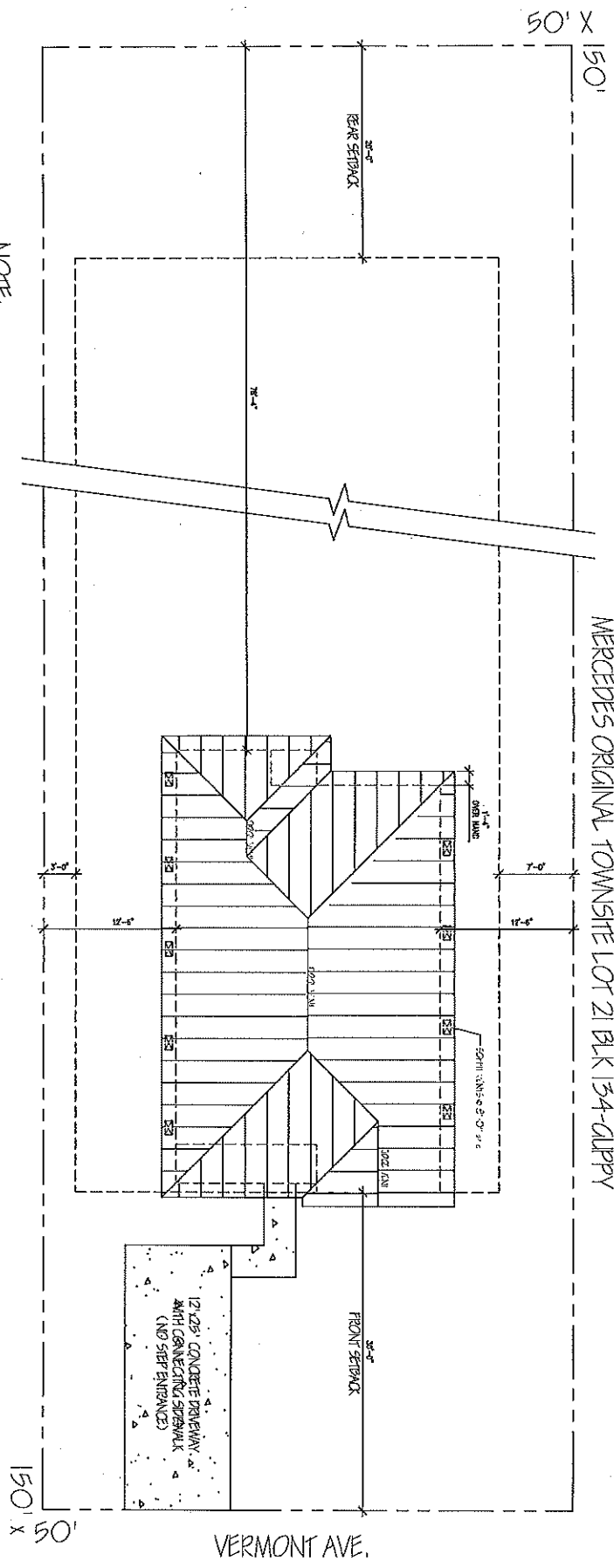
URBAN COUNTY PROGRAM  
1916 Tesoro Street Pharr Tx  
(956) 787-8127

URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

TOMASA REYES  
844 S. VERMONT AVE. MERCEDDES TX. 78570

TOTAL AREA  
989 SQ. FT.

C1.0



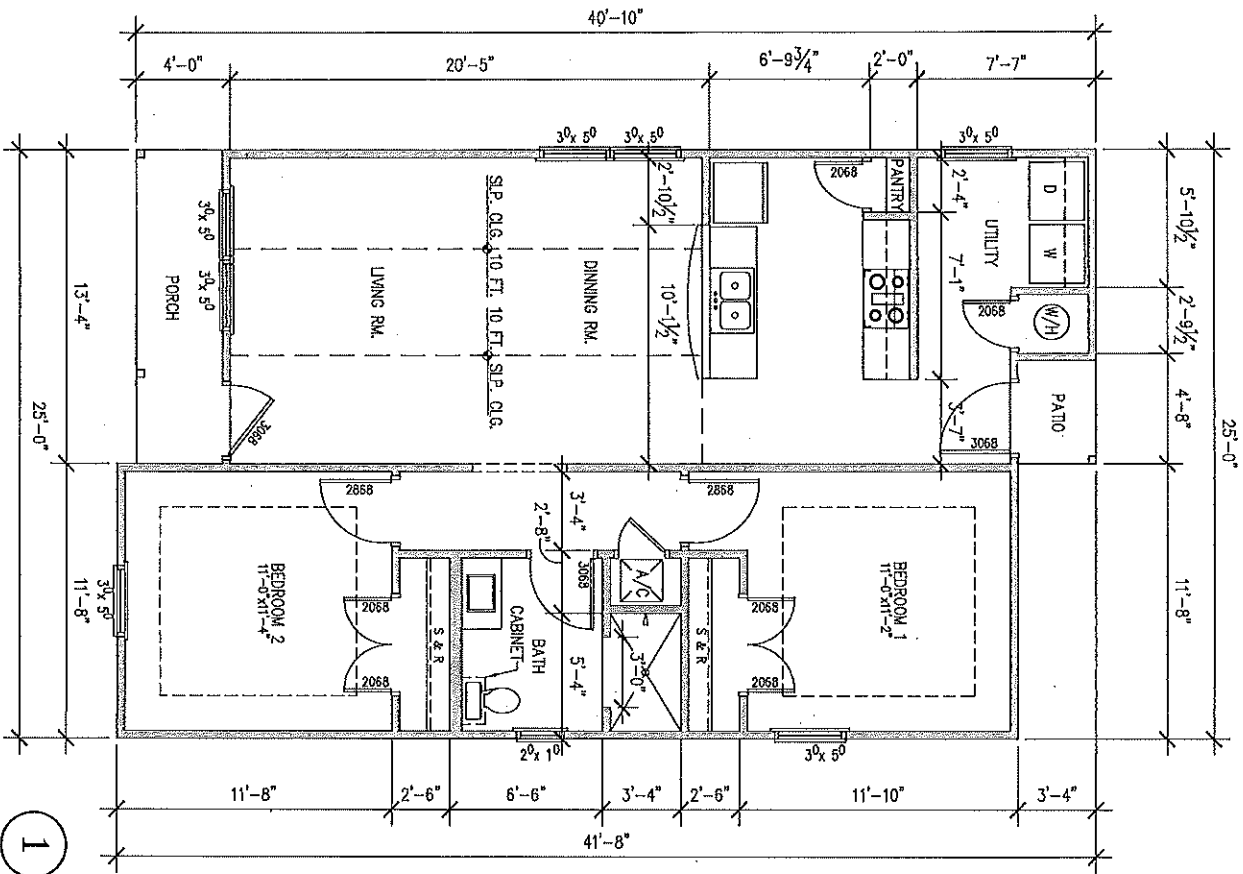
- NOTE:**
1. Please verify with city/ county on setbacks and for any requirements regarding sidewalk, driveway, landscaping, and any other obligations as per city regulations/ ordinances.
  2. It is the responsibility of the Contractor to locate the rods and string the property. To avoid any problems it is now required and the responsibility of the Contractor to order a property survey by a professional engineer.
  3. Any house that is made for handicap accessibility WILL ALWAYS require driveway with connecting sidewalk.
  4. Provide 6" of landscape dirt around house with sufficient grass seed up to 10' of perimeter. In addition, remember to replace septic tank if needed and is more than 10 yrs old.

**1 ROOF / PLOT PLAN**

URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

TOMASA REYES  
844 S. VERMONT AVE. MERCEDES TX. 78570

TOTAL AREA  
989 SQ. FT.

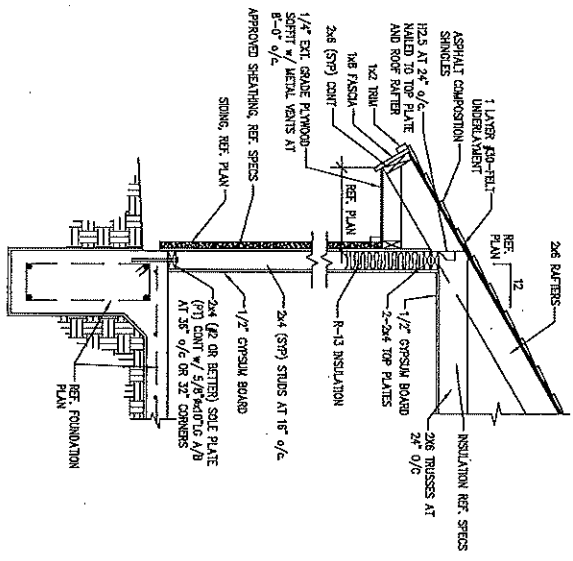


**1 FLOOR PLAN**  
3/16" = 1'-0"

**SQUARE FOOTAGE**

LIVING AREA	927
PORCH/PATIO	62
TOTAL SQ. FT.	989

**2 TYP. WALL SECTION**  
NTS



**GENERAL NOTES**

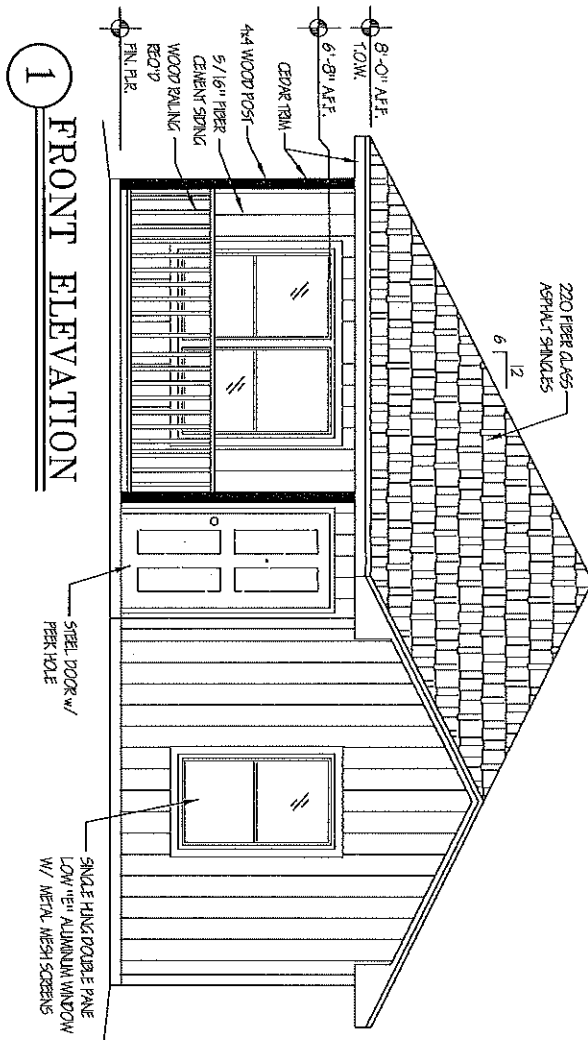
- 6/12 SLOPE WITH 1/8" OVERHANG
- SHEATHING BOARD / SOFT VENTS WHERE NEEDED
- ASTHMA PORCH RAILING WHERE FINISH GRADE IS LOWER THAN 1" FROM PORCH FLOOR
- ASTHMA PORCH STEPS WHERE FINISH GRADE IS LOWER THAN 6" FROM PORCH FLOOR
- ELECTRIC WIRING CONNECTIONS FOR A (25) ELECTRIC SERVICE
- INSTALL A RUN OF TWO PAIR E. JACS & CABLE CONNECTIONS AS PER OWNER'S REQUEST.
- EXTERIOR COLOR CHOICES TO BE OR MATCH SW 6958
- INTERIOR COLOR CHOICES TO BE OR MATCH SW 7005
- SW 6958
- SW 7005
- SW 6939
- SW 7005

I HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME THIS 17<sup>th</sup> DAY OF AUGUST 2009  
*Tomas Reyes*  
 Approved by *Tomas Reyes*

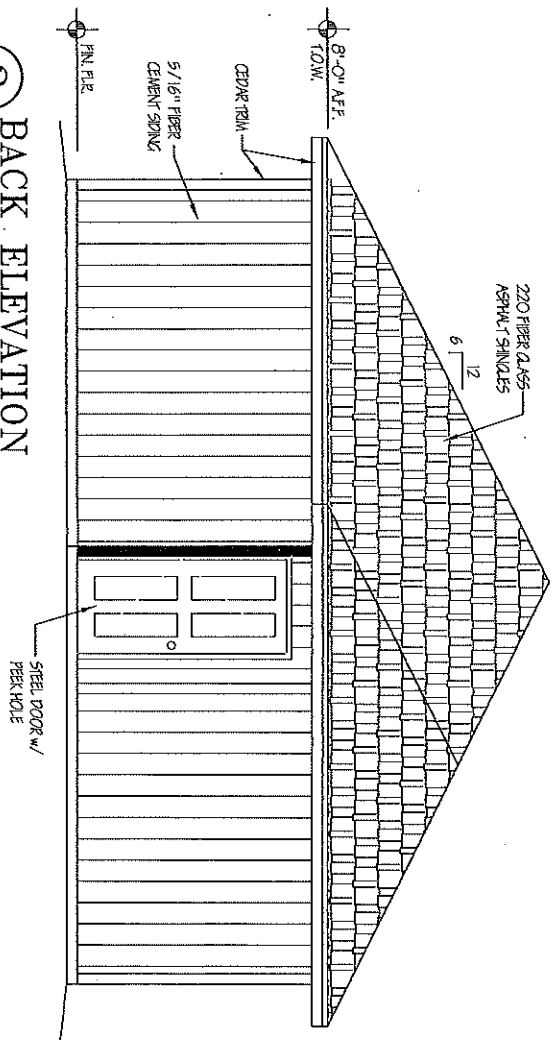
URBAN COUNTY PROGRAM  
 OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

TOMASA REYES  
 844 S. VERMONT AVE. MERCEDES TX. 78570

TOTAL AREA  
 989 SQ. FT.



1 FRONT ELEVATION



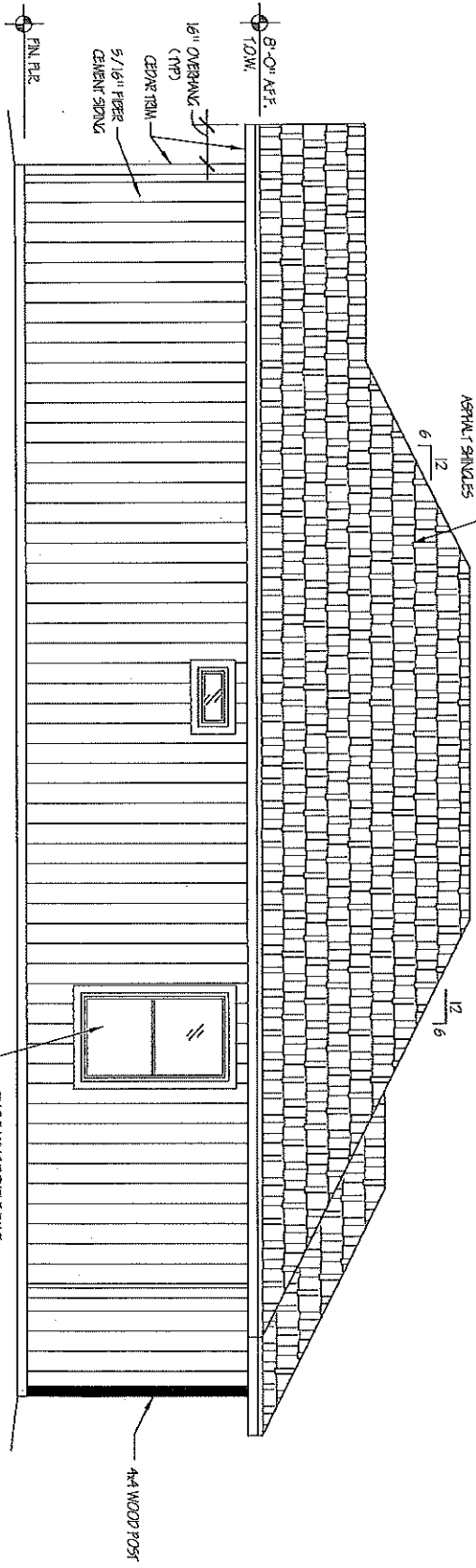
2 BACK ELEVATION

URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

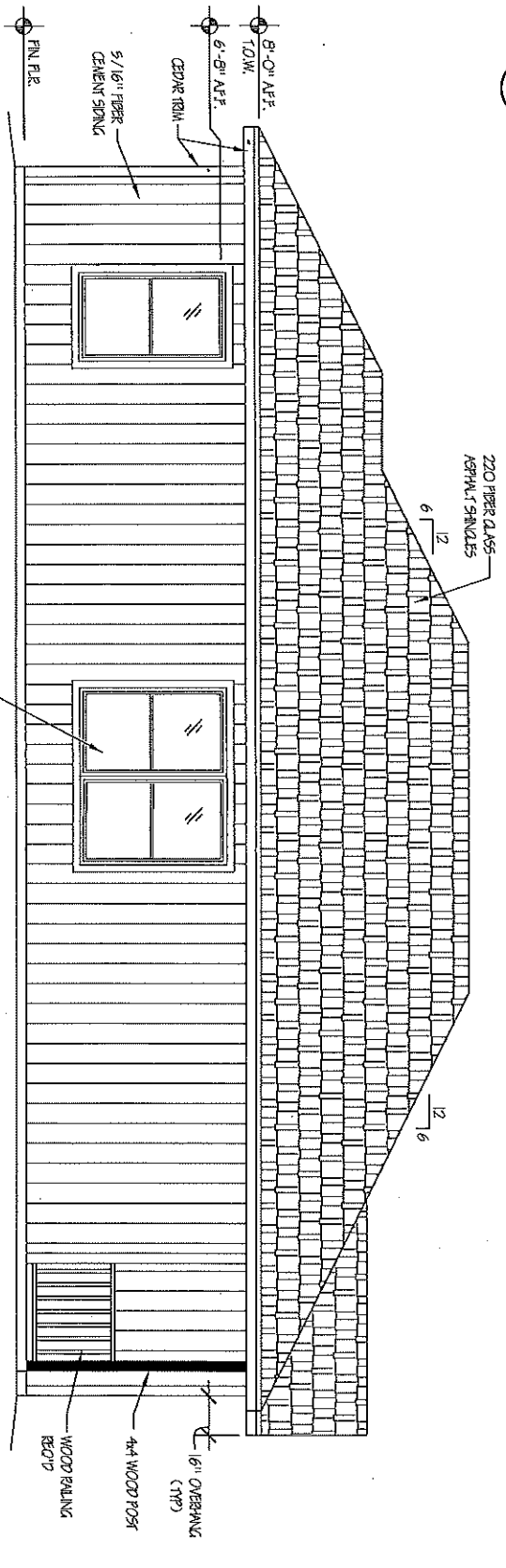
TOMASA REYES  
844 S. VERMONT AVE. MERCEDES TX. 78570

TOTAL AREA  
989 SQ. FT.

A1.2



**1** RIGHT ELEVATION



**2** LEFT ELEVATION

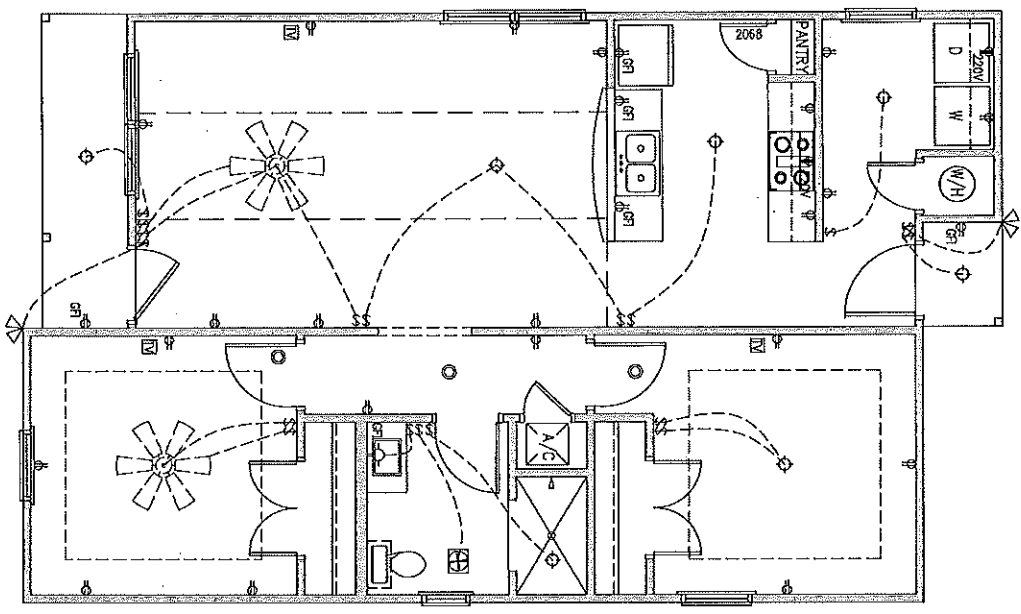
URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

TOMASA REYES  
844 S. VERMONT AVE. MERCEDES TX. 78570

TOTAL AREA  
989 SQ. FT.

A1.3

1  
 3/16" = 1'-0"  
 ELECTRICAL PLAN



ELECTRICAL LEGEND

(WH)	WATER HEATER	⊕	LIGHT FIXTURE
⊖	DUPLEX ELECTRICAL RECEPT.	\$	LIGHT SWITCH
⊖	220V DUPLEX ELECTRICAL RECEPT	⊠	THERMOSTAT
⊖	GROUND FAULT CIRCUIT INTERRUPTER	⊙	SMOKE DETECTOR
⊠	BARBECUE EXHAUST FAN		

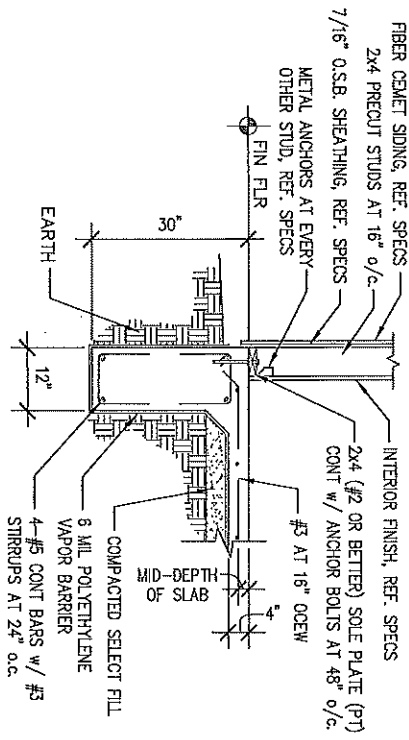
URBAN COUNTY PROGRAM  
 OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

TOMASA REYES  
 844 S. VERMONT AVE. MERCEDES TX. 78570

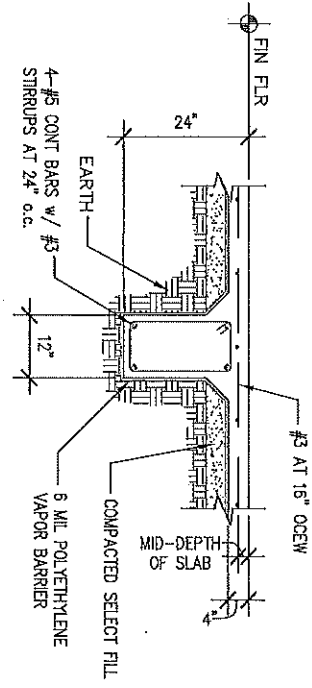
TOTAL AREA  
 989 SQ. FT.

E1.1

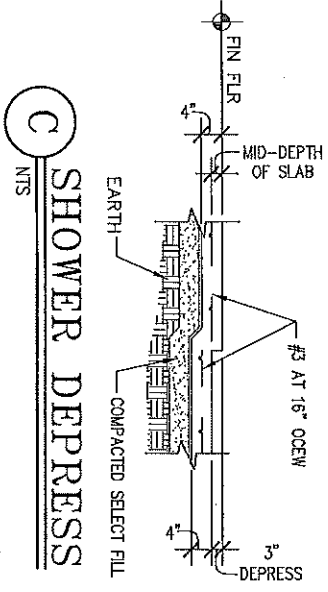




**A**  
NTS  
**EXTERIOR BEAM**



**B**  
NTS  
**INTERIOR BEAM**



**C**  
NTS  
**SHOWER DEPRESS**

URBAN COUNTY PROGRAM  
OWNER OCCUPIED HOUSING REHABILITATION PROGRAM

TOMASA REYES  
844 S. VERMONT AVE. MERCEDES TX. 78570

S2.2

TOTAL AREA  
989 SQ. FT.

# SPECIFICATIONS

ALL SPECIFICATIONS SHALL ASSUME THE USE OF CONTRACTOR'S MINIMUM GENERAL SPECIFICATIONS MANUAL  
OWNER (S) TOMASA REYES CASE NO. 7/31/19 DATE: 7/31/19 ADDRESS: 844 S. VERMONT AVE. MERCEDES TX. PHONE: 956-854-1246 BY: ROBERT CAVAZOS

## 1. FOUNDATION WORK:

- BUILD A NEW CONCRETE FOUNDATION TO COMPLY WITH PLANS, SPECS, CITY AND COUNTY REQUIREMENTS. PROJECTS TO BE 18" ABOVE CENTER LINE OF STREET OR 12" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. PROVIDE CONCRETE SLAB FOR A/C UNIT & A MIN. OF 12 X 25 DRIVEWAY (depending on city).

## 2. PLUMBING GENERAL: (SEE SPECS)

- ALL PLUMBING ROUGH SHALL BE AS FOLLOWS:
  - WATER SUPPLY TO HOUSE SHALL HAVE A 1/2" CUTOFF VALVE BEFORE ENTRY TO HOUSE.
  - INTERIOR WATER SUPPLY LINES FOR HOUSE SHALL BE ALL NEW PEV OF APPROPRIATE DIAMETER.
  - NEW PEV PIPES AND FITTINGS:
    - OF 1" MINIMUM DIAMETER FOR ALL EXTERIOR WATER SUPPLY LINES BELOW GROUND.
    - OF APPROPRIATE DIAMETER FOR DWV (DRAIN, WASTE, AND VENTS).
  - SEWER CONNECTION SHALL HAVE (1) PLASTIC PVC SEWER CLEAN OUT.
- ALL PLUMBING FINISH SHALL BE AS FOLLOWS:
  - RELATED PLUMBING ITEMS:
    - (2) EXTERIOR HOSE BRASS BIB FAUCETS.
    - 1/2" CUTOFF VALVES WITH BSOUTHOONS FOR ALL FIXTURES.
  - FIXTURES:
    - PLUMBING SEALANT FOR ALL DRAINS, AND SINK PERIMETERS
    - ALL OTHER RELATED PLUMBING (SEE SPECS)
  - FIXTURES: (SEE SPECS)
    - KITCHEN SINK W/ RELATED PLUMBING & FAUCETS
    - PEDESTAL SINK W/ RELATED PLUMBING & FAUCETS
    - TOILET OF MATCHING COLOR
    - SHOWER WITH RELATED PLUMBING AND HANDICAP ACCESSIBLE.
    - SHOWER FAUCETS & REMOVABLE SHOWER HEAD
    - MEDICINE CABINET/STOWEL RACKS/T.I.P. DISPENSER/ TOOTHBRUSH & SOAP HOLDER, & SHOWER ROD (SEE SPECS)
    - WATER HEATER INSTALLED AS PER SPECS. (GAS OR ELECTRIC AS PER OWNER REQUEST)
  - OTHER RELATED ITEMS
    - RANGE CONNECTIONS AS PER OWNERS REQUEST (SEE SECTION 23)
    - 4" DRYER EXHAUST VENT.
    - IN WALL WASHING MACHINE BOX, WITH BRASS FAUCETS & RELATED PLUMBING.
    - HOOK UP ALL DRAINING LINES TO CITY SEWER SYSTEM IF AVAILABLE. SEE CITY FOR INFORMATION TEST SEPTIC SYSTEM IF EXISTING FOR INTEGRITY AND REGRADE IF NECESSARY AND MORE THAN 10 YEARS OF AGE

## 3. INTERIOR/EXTERIOR WALLS & CEILINGS:

- ALL INTERIOR AND EXTERIOR WALL FINISHING:
  - 2x4" (2 OR BETTER) FOR USE IN SOLE PLATES (TREATED LUMBER)
  - DOUBLE TOP PLATES
  - 92 SPS PRE-CUT STUDS @ 16" O.C.
  - WINDOW SILLS
  - CEILING JOIST CHAIN BLOCKING @ 48" O.C.
  - 2x6" (2 OR BETTER) FOR USE IN:
  - WINDOW & DOOR HEADERS WITH 1"Z SPACER
  - CEILING JOIST @ 24" O.C. FOR CLEARANCES LARGER THAN 12'
  - CEILING JOIST SHALL BE @ 16" O.C.

- INSTALL BOOT TIES IN EVERY CORNER OF THE HOUSE ALONG WITH METAL ANCHORS ON BOTH BOTTOM AND TOP PLATES OF HOME.
- ALL EXTERIOR CEILING COVERINGS:
  - 3/8" CD EXTERIOR PLYWOOD FOR PORCH CEILINGS.
  - ALL INTERIOR WALL & CEILING COVERINGS:
    - 1/2" SHEETROCK FINISHED AS PER SPECS.
    - 1/2" SHEETROCK RESISTANT SHEETROCK FOR BATH AREAS.
  - ALL INTERIOR CEILINGS SHALL HAVE ORANGE PEEL TEXTURE
  - ALL INTERIOR WALL SURFACES SHALL HAVE ORANGE PEEL TEXTURE
  - ALL EXTERIOR TRIMMINGS SHOULD CONSIST OF CEDAR WOOD.

## 4. ROOF: (SLOPE=8/12)

- ROOF SHALL HAVE:
  - A HIPPABLE STYLE ROOF WITH 18" OVERHANGS.
  - A HIPPABLE STYLE FRONT PORCH AS PER PLANS.
  - PORCH COLUMNS MUST BE FASTENED TO CONCRETE.
  - AN ADEQUATE COMBINATION OF RIDGE & SOFT VENTS WITH AIR CHUTES.
  - ADEQUATE RAIN GUTTERS WITH DOWN SPOUTS FOR THE ROOF AREA THAT MAY AFFECT OWNERS.
  - SHINGLES TO BE OF LIGHT COLOR (no black shingles)

## 5. PORCH & CANOPY FLOORS:

- THE HOUSE SHALL HAVE PORCH FLOORS AS FOLLOWS:
  - A FRONT PORCH FLOOR.
  - A SIBERBACK PORCH FLOOR.

## 6. INSULATION:

- INSULATE:
  - ALL LIVING AREA, CEILINGS WITH BLOWN IN INSULATION TO AN R-19 FACTOR. (read a combined R-30 & R-19 to meet requirement)
  - HAVE RULER INSTALLED FOR EVERY 300 SQUARE FEET BEFORE FRAMING AND ROUGH-IN INSPECTION IS SCHEDULED.
  - INFILTRATION FOAM SHALL BE USED AROUND ALL WINDOWS, WIRES, PLUMBING, ELECTRICAL, 2X4 BOTTOM PLATES, AND ALL PENETRATED AREAS.
  - ALL PERIMETER WALLS WITH 3/4" 5/8" BATT.
  - ALL EXTERIOR PIPES EXPOSED TO WEATHER.
- 7. INTERIOR FINISH:
  - ALL TRIM SHALL BE INSTALLED AS PER SPECS.
  - ALL PAINT SHALL BE APPLIED AS PER SPECS (2-COATS) WITH PAINT COMPARABLE IN QUALITY TO SHERWIN WILLIAMS. ALLOW A VARIETY OF DIFFERENT COLORS FOR CLIENT TO CHOOSE FROM. (2 COLOR CHOICE MIN).
- 8. EXTERIOR FINISH:
  - PAINT ENTIRE HOUSE AS PER SPECS WITH PAINT COMPARABLE IN QUALITY TO SHERWIN WILLIAMS. PERMIT TO BE OIL BASED & PAINT MUST BE EQUIVALENT TO A-160 (2 COLOR CHOICE MIN).
- 9. SIDING:
  - THE SIDING SHALL BE 5/8" FIBER CEMENT WITH ALL CEDAR TRIM TO ENTIRE HOUSE.
  - INSTALL 7/16" O.S.B. AS PER MANUFACTURERS SPECIFICATIONS. REFERENCE DETAIL.

## 10. WINDOWS:

- SHALL BE NEW LOW-E DOUBLE PANE INSULATED ALUMINUM WINDOWS. SIZE AS PER PLAN. KEEP LABELS ON WINDOWS UNTIL FINAL INSPECTION HAS BEEN CLEARED.

## 11. CABINETS GENERAL:

- BUILD AND/OR INSTALL NEW KITCHEN CABINETS TO INCLUDE:
  - A RANGE CABINET.
  - A KITCHEN BATHROOM FORMICA COUNTER TOP OF MATCHING COLOR.
- BUILD AND/OR INSTALL A NEW VANITY CABINET (IF APPLICABLE) FOR BATHROOM WITH FORMICA TO MATCH LAVATORY SINK AND WALLS. ALL CABINETRY PIECES SHOULD BE NEW AND COMPLETE AND BUILT TO PROFESSIONAL STANDARDS.

## 12. FLOOR, SUBFLOOR, & FINISH FLOORING:

- APPLY VCT FLOOR TILE TO ALL LIVING AREA HOUSE FLOORS.

## 13. ELECTRICAL GENERAL

- ALL ELECTRICAL INSTALLATIONS & WORK AS PER ELECTRICAL CODE WITH THE FOLLOWING CONDITIONS:
  - PROVIDE RANGE OUTLET AS PER OWNERS REQUEST.
  - PROVIDE APPROPRIATE WASHER & DRYER CONNECTION.
  - (2) 52 CEILING FANS (CEILING HUGGER STYLE) COMPARABLE IN QUALITY TO THE HUNTER BRAND. THE CONTRACTOR SHALL ALLOW \$1200 FOR MATERIAL & LABOR. LOCATION AS PER OWNER REQUEST.
  - INSTALL GFCI OUTLETS IN BATHROOMS, KITCHEN AND EXTERIOR WALLS.
  - EACH ELECTRICAL PANEL OR BREAKERBOX, LIGHT SWITCH & THERMOSTAT NO HIGHER THAN 48" ABOVE FLOOR.
  - EACH ELECTRICAL PLUS TO BE 18" ABOVE THE FLOOR.
  - ANY OUTLETS WITHIN 8' FROM KITCHEN OR BATHROOM SINKS MUST BE GFCI.

## 14. RANGE HOOD:

- INSTALL A RANGE HOOD TO FIT OWNERS RANGE SIZE (30" OR 36") AND VENT TO EXTERIOR.

## 15. BATHROOM ACCESSORIES:

- ALL ACCESSORIES & MEDICINE CABINETS AS PER SPECS. INCLUDE CURTAIN ROD & PLASTIC REMAINING DAM TO HELP PREVENT WATER FROM ESCAPING SHOWER. INSTALL PEDestal SINK AND CABINET ABOVE TOILET (ALSO INCLUDE TOILET PAPER TOOTHBRUSH, AND SOAP HOLDER).

## 16. ACCESS FOR PHYSICAL DISABILITIES:

- INSTALL ONE CONC. RAMP AS PER OWNERS REQUEST THAT CONNECTS WITH 12 X 25 DRIVEWAY AND STEPS WITH HANDRAILS.
- BATHROOM SHOULD ACCOMMODATE GRAB BARS WHERE INDICATED IN PLANS.

## 17. HEATING & A/C:

- PROVIDE & INSTALL A 16 SEER CENTRAL AIR CONDITIONING COMPAREABLE IN QUALITY TO A CARRIER BRAND UNIT FOR THE ENTIRE HOUSE. INCLUDE DIGITAL THERMOSTAT.

## 18. SMOKE DETECTORS:

- INSTALL A SMOKE DETECTOR INSIDE EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS. ALL WIRED IN SERIES.

## 19. GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR:
  - YOUR BID TO INCLUDE ANY COST RELATED TO REQUIREMENTS FROM CITY. CHANGE ORDERS FOR THIS PARTICULAR PURPOSE WILL NOT BE ACCEPTED OR PROCESSED TO CORRECT THE ABOVE MENTIONED.
  - YOUR BID TO INCLUDE ANY COST RELATED TO RES-CHECK & ENERGY COMPLIANCE REQUIREMENTS.
  - THE DEMOLISH AND DISPOSAL EXISTING STRUCTURE THE COMPLIANCE OF ALL THE REQUIRED BUILDING ELEVATIONS.
  - PROVIDE 6" OF LANDSCAPE DIRT AROUND THE HOUSE ALONG WITH SUFFICIENT GRASS SEEDS UP TO 4" OF PERIMETER.
  - PROVIDING THE APPROPRIATE ELECTRICAL AND/OR GAS CONNECTIONS FOR RANGE AS PER APPLICANTS REQUEST AND ACCORDING TO APPLICABLE PLUMBING/ELECTRICAL CODE.
  - PROVIDE PHONE JACKS & CABLE CONNECTIONS IN EVERY ROOM & LIVING SPACE. KITCHEN PHONE IF REQUESTED. PROVIDE TERNITE PRE-TREATMENT TO ENTIRE HOUSE, OBTAINING, DISPLAYING, AND SUBMITTING ALL PROPER PERMITS & INSPECTIONS.
  - ALL CONTRACTORS WILL BE RESPONSIBLE FOR ANY ADDITIONAL PLANS, SPECIFICATIONS AND/OR DETAILS THAT ARE REQUIRED BY CITY OR COUNTY AT THE TIME OF AT-TENDING PERMITS.
  - MINIMUM 12x26 CONC. DRIVEWAY WITH CONNECTING SIDEWALK TO RAMP FOR HANDICAP APPLICANTS.
  - ALL THE GENERAL INFORMATION CONTAINED WITHIN SECTION 23. GENERAL NOTES OF THE CONTRACTORS GENERAL SPECIFICATIONS MANUAL.
  - PROVIDE AND INSTALL PROJECTS SIGNS AT EACH CONSTRUCTION SITE.
  - CONTRACTOR IS RESPONSIBLE FOR SUPPLYING PORT A POTTY THROUGHOUT CONSTRUCTION PROCESS (Items to final inspection)
  - SHOWER ENTRANCES TO BE 36" WIDE
  - ALL UPR HOMES MUST COMPLY WITH TEXAS GOVERNMENT CODE §2306.514
- THE HOMEOWNER SHALL BE RESPONSIBLE FOR:
  - REMOVE AND DISPOSE OF ALL DEBRIS ON SITE BEFORE THE BEGINNING OF CONSTRUCTION. INCLUDING BUT NOT LIMITED TO TREES, ABANDONED VEHICLES, OLD LUMBER, ETC. MAKING NECESSARY DEPOSITS FOR ANY UTILITIES TO BE CONNECTED TO THE NEW DWELLING.
- HAVE READ AND FULLY AGREE WITH THE WRITE-UP AND PLANS AS PRESENTED TO ME.

NAME OF APPLICANT

*Tomas Reyes*  
NAME OF CO-APPLICANT