



HIDALGO COUNTY PLANNING DEPARTMENT

T.J. Arredondo, CFM
Director of Planning

1304 SOUTH 25TH STREET
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 1-28-2020

PROPOSED CITRUS VILLAGE NO. 2 SUBDIVISION PRECINCT No. 4.

ENGINEER: QUINTANILLA, HEADLEY & ASSOC. DEVELOPER: TOP FRUIT, INC. (LAURA COFFMAN VICE PRESIDENT)

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 48 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INDUSTRIAL

ESTIMATED NUMBER OF STREETLIGHTS: 6

LOCATION DESCRIPTION: SOUTH OF BENITO RAMIREZ ROAD APPROXIMATELY 300.00 FEET EAST OF CESAR CHAVEZ ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF EDINBURG AND WAS APPROVED BY THE P&Z AND CITY COMMISSION OF SAID CITY

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 9-05-2019 PROPERTY LIES WITHIN FLOOD ZONE: "X" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 10.00 FEET ONTO BENITO RAMIREZ ROAD.

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 1-15-2020 BY, JOE OCHOA, PCT. 4 R.O.W. AGENT

H.C.H.D. PRELIMINARY APPROVAL DATE: N/A BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM: SANITARY SEWER BY: EDINBURG LINE SIZE: 8" LOCATION: CITRUS STREET.

WATER SERVICE PROVIDER: N.A.W.S.C. EXISTING LINE SIZE: 8" LOCATION: BENITO RAMIREZ ROAD.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 1-10-2020 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

THE APPLICANT HAS SUBMITTED THE REQUIRED NOI AS PER PART II, SECTION E OF THE TPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES (TXR150000) ALONG WITH A COPY OF THE EROSION CONTROL PLAN FOR THE PROPOSED PROJECT.

VARIANCE REQUEST FROM: Hidalgo County Subdivision Rules Title "B" Chapter 3 Section 3.5 "Front setback". Reduce from 25.00' to 20.00'.

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: _____

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, other departments and the approval of the City of EDINBURG.

Final Approval subject to recommendations other departments

Final Approval with financial guarantee.

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,

* Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

Subdivision Plat of: **CITRUS VILLAGE SUBDIVISION No. 2**

STATE OF TEXAS
COUNTY OF HIDALGO
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

- PLAT NOTES AND RESTRICTIONS:**
- FLOOD ZONE DESIGNATION: ZONE "X"
AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
COMMUNITY-PANEL NUMBER 480334 0325 D - REVISED TO REFLECT LOMR MAP REVISED: MAY 17, 2001
FLOOD ZONE DESIGNATION: ZONE "X" SHADED
AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OF WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND ARE PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
 - MINIMAL BUILDING SETBACKS:
FRONT: 20.00 FEET ON MEADOW ORCHARD DRIVE
FRONT CUL-DE-SAC: 15.00 FEET
GARAGE FRONT: 18.00 FEET
REAR: 6.00 FEET OR EASEMENT, WHICHEVER IS GREATER
CORNER SIDE: 10.00 FEET
OR EASEMENT WHICHEVER IS GREATER ON ALL CASES.
 - GENERAL NOTE FOR SINGLE FAMILY RESIDENTIAL:
NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. NO COMMERCIAL USE SHALL BE ALLOWED ON ANY OF THE LOTS.
 - MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE CENTERLINE OF THE STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER.
ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY THE ABOVE POST CONSTRUCTION FINISH FLOOR ELEVATIONS.
AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
 - BENCHMARK NOTE:
THE FOLLOWING BENCHMARK IS IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
B.M. No.1- ELEV= 82.00, TOP OF INLET LOCATED NEAR THE NORTHWEST CORNER OF THE LOT 40 OF THIS SUBDIVISION, N.A.V.D. 88 DATUM.
B.M. No.2- ELEV= 80.25, TOP OF INLET LOCATED NEAR THE NORTHEAST CORNER OF THE LOT 16 OF THIS SUBDIVISION, N.A.V.D. 88 DATUM.
 - DRAINAGE:
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT No. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIL A TOTAL OF 61,663.93 CUBIC FEET (1.42 ACRE FEET) OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS:
SEE DRAINAGE REPORT ON SHEET No. 3.
 - NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT.
EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
 - EACH PURCHASED CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
 - THIS SUBDIVISION HAS SANITARY SEWER SERVICE FROM THE CITY OF EDINBURG.
 - LEGEND * - DENOTES 1/2" IRON ROD SET UNLESS OTHERWISE NOTED.
 - ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES.
BY SIGNING THIS PLAT DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
 - AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE EXISTING SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S).
 - ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1:00 X SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4. AND CITY OF EDINBURG STANDARDS.
 - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
 - 5.0' WIDE SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG BENITO RAMIREZ RD BY DEVELOPER DURING SUBDIVISION CONSTRUCTION. LOT OWNER WILL BE RESPONSIBLE FOR SIDEWALK WITH ADA RAMPS OF THE SUBDIVISION AS PER LATEST CITY OF EDINBURG ENGINEERING DEPARTMENT AT BUILDING PERMIT STAGE.
 - NO ACCESS SHALL BE PERMITTED FROM BENITO RAMIREZ ROAD ONTO LOTS 1 AND 48.

A 10.00 ACRE TRACT OF LAND BEING ALL OF LOT 2, BLOCK 11, SANTA CRUZ GARDENS UNIT No. 2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3014764, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

A 10.00 ACRE TRACT OF LAND BEING ALL OF LOT 2, BLOCK 11, SANTA CRUZ GARDENS UNIT No. 2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3014764, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A COTTON PICKER SPINDLE FOUND IN THE CENTERLINE OF BENITO RAMIREZ ROAD FOR THE NORTHEAST CORNER OF LOT 2, AND THE NORTHEAST CORNER OF THIS TRACT.

THENCE, S 08°23' W, ALONG THE EAST LINE OF LOT 2, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 30.00 FEET FOR THE SOUTH RIGHT OF WAY LINE OF BENITO RAMIREZ ROAD, A TOTAL DISTANCE OF 1,452.33 FEET (MAP RECORD: 1,452.00 FEET) TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 FOUND FOR THE SOUTHWEST CORNER OF LOT 2, AND THE SOUTHWEST CORNER OF THIS TRACT.

THENCE, N 08°23' E, ALONG THE WEST LINE OF LOT 2, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 1,422.33 FEET FOR THE SOUTH RIGHT OF WAY LINE OF BENITO RAMIREZ ROAD, A TOTAL DISTANCE OF 1,452.33 FEET (MAP RECORD: 1,452.00 FEET) TO A COTTON PICKER SPINDLE SET IN THE CENTERLINE OF BENITO RAMIREZ ROAD FOR THE NORTHWEST CORNER OF LOT 2, AND THE NORTHWEST CORNER OF THIS TRACT.

THENCE, S 81°37' E, ALONG THE NORTH LINE OF LOT 2, AND THE CENTERLINE OF BENITO RAMIREZ ROAD, A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.00 ACRES OF LAND MORE OR LESS.

BEARINGS ARE IN ACCORDANCE WITH CITRUS VILLAGE SUBDIVISION, RECORDED IN INSTRUMENT NUMBER 2689617, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, ALFONSO QUINTANILLA, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREIN, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE 27 DAY OF MAY 2018

Alfonso Quintanilla
REGISTERED PROFESSIONAL SURVEYOR
No. 4856 STATE OF TEXAS



STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

I CERTIFY THAT THE WATER AND SEWER SERVICE FACILITIES FOR LOTS INTENDED FOR RESIDENTIAL PURPOSES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. THE ESTIMATED COSTS TO INSTALL UNCONSTRUCTED WATER AND SEWER FACILITIES DESCRIBED ABOVE ARE AS FOLLOWS: WATER FACILITIES: THESE WATER FACILITIES WILL BE CONSTRUCTED AT A COST OF \$

SEWER FACILITIES: SEWER SERVICE CONNECTIONS ARE ESTIMATED TO COST \$ FOR THE SUBDIVISION. IN ADDITION, THE SUBDIVIDER HAS PAID \$ TO THE CITY OF EDINBURG TO COVER THE COST OF THE SEWER TAPPING FEES.

DATED THIS THE 13 DAY OF Jan 2020

Alfonso Quintanilla P.E.
LICENSED PROFESSIONAL ENGINEER
No. 95534 STATE OF TEXAS



RIGHT OF WAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, owners of the property shown on this plat, their successors, assigns, and transferees (hereinafter called "Grantor" whether one or more persons are named), in consideration of one dollar (\$1.00) and other good and valuable consideration paid by North Alamo Water Supply Corporation, (hereinafter called "Grantee"), the receipt and sufficiency of which is hereby acknowledged, do hereby grant, bargain, sell, transfer, and convey to said Grantee, its successors, and assigns, a perpetual easement with the right to erect, construct, install and thereafter use, operate, inspect, repair, maintain, replace, and remove water distribution lines and appurtenances over and across the lands shown on this plat, together with the right of ingress and egress over Grantor's adjacent lands of the purpose for which the above mentioned rights are granted. The easement hereby granted shall not exceed 15' in width, and Grantee is hereby authorized to designate the course of the easement herein conveyed except that when the pipeline(s) is installed, the easement herein granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline installed.

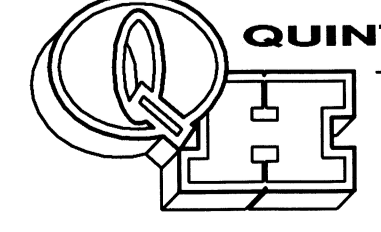
In the event the easement hereby granted abuts on a public road and the city, county or state hereafter widens or relocates the public road so as to require the relocation of this water line as installed, Grantor further grants to Grantee an additional easement over and across the land shown on this plat for the purpose of laterally relocate said water line as may be necessary to clear the road improvements, which easement hereby granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline as relocated.

The consideration recited herein shall constitute payment in full for all damages sustained by Grantor by reason of the installation, maintenance, repair, replacement and relocation of the structures referred to herein. This agreement together with other provisions of this grant shall constitute an easement for the benefit of the Grantee, its successors, and assigns. The Grantor covenants that it is the owner of the above-described lands and that said lands are free and clear of all encumbrances and liens except the following:

The easement conveyed herein was obtained or improved through Federal financial assistance. This easement is subject to the provisions of Title VI of the Civil Rights Act of 1964 and the regulations issued pursuant thereto for so long as the easement continues to be used for the same or similar purpose for which financial assistance was extended or for so long as the Grantee owns it, whichever is longer.

IN WITNESS WHEREOF the said Grantor executed this instrument this ____ day of _____, 20__.

TOP FRUIT INC.
LAURA COFFMAN, VICE-PRESIDENT.
P.O. BOX 720883
MCALLEN, TEXAS 78504



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS LAND SURVEYORS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-00
PHONE 956-381-6480
FAX 956-381-0527
ALFONSO@QHA-ENG.COM

I, LAURA COFFMAN, VICE-PRESIDENT OF TOP FRUIT INC., AS OWNER OF THE 10.00 ACRES TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED CITRUS VILLAGE SUBDIVISION No. 2, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.
I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT:
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

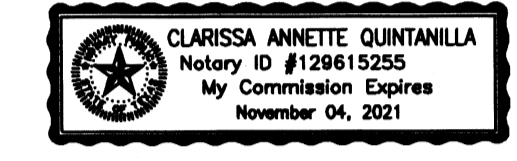
TOP FRUIT INC.
LAURA COFFMAN, VICE-PRESIDENT.
P.O. BOX 720883
MCALLEN, TEXAS 78504

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared LAURA COFFMAN, VICE-PRESIDENT OF TOP FRUIT INC.

proved to me through his Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purpose and consideration thereby expressed.

Given under my hand and seal of office this ____ day of _____, 20__.



CLARISSA ANNETTE QUINTANILLA - NOTARY PUBLIC

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028(g)

WE THE UNDERSIGNED CERTIFY that this plat of the CITRUS VILLAGE SUBDIVISION No. 2 was reviewed and approved by the Hidalgo County Commissioners Court on _____.

Hidalgo County Judge _____ Date _____
Hidalgo County Clerk _____ Date _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1
RAUL SESIN, P.E., C.F.M. DATE _____
GENERAL MANAGER

PLANNING & ZONING COMMISSION CERTIFICATION

I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as CITRUS VILLAGE SUBDIVISION No. 2 conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the ____ day of _____, 20__.

CHAIRPERSON-PLANNING & ZONING COMMISSION

MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

ATTEST:
MAYOR'S SIGNATURE _____ DATE _____ CITY SECRETARY _____ DATE _____

SANTA CRUZ IRRIGATION DISTRICT No. 15 CERTIFICATION

THIS PLAT APPROVED BY SANTA CRUZ IRRIGATION DISTRICT No. 15 ON THIS ____ DAY OF _____, 20__ SUBJECT TO THE FOLLOWING: 1) NO BUILDINGS ALLOWED ON TOP OF AN IRRIGATION LINE; 2) FIFTEEN FOOT (15') EASEMENT ON EACH SIDE OF IRRIGATION LINE OR CANAL; 3) ALL LOTS SUBJECT TO RULES, REGULATION, RIGHTS-OF-WAY AND EASEMENT OF DISTRICT; AND 4) IF SUBDIVISION IS NOT EXCLUDED FROM DISTRICT AND IRRIGATION TO INDIVIDUAL LOTS IS DESIRED, EASEMENTS FOR NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE CLOSEST DISTRICT DELIVERY POINT SHALL BE PROVIDED, WITH THE LOTS OWNER BEING RESPONSIBLE TO INSTALL SUCH NECESSARY FACILITIES.

PRESIDENT _____ SECRETARY _____



FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUAJARDO, JR. HIDALGO COUNTY CLERK

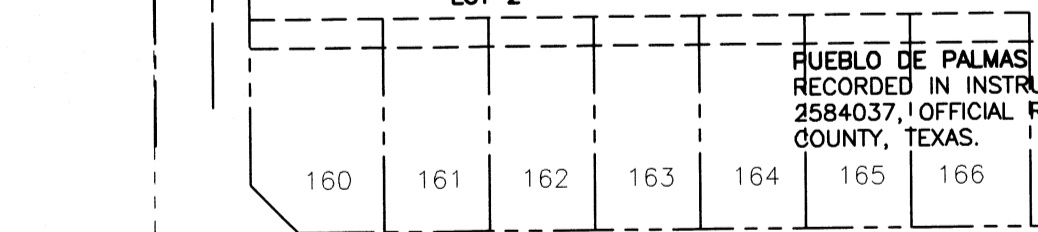
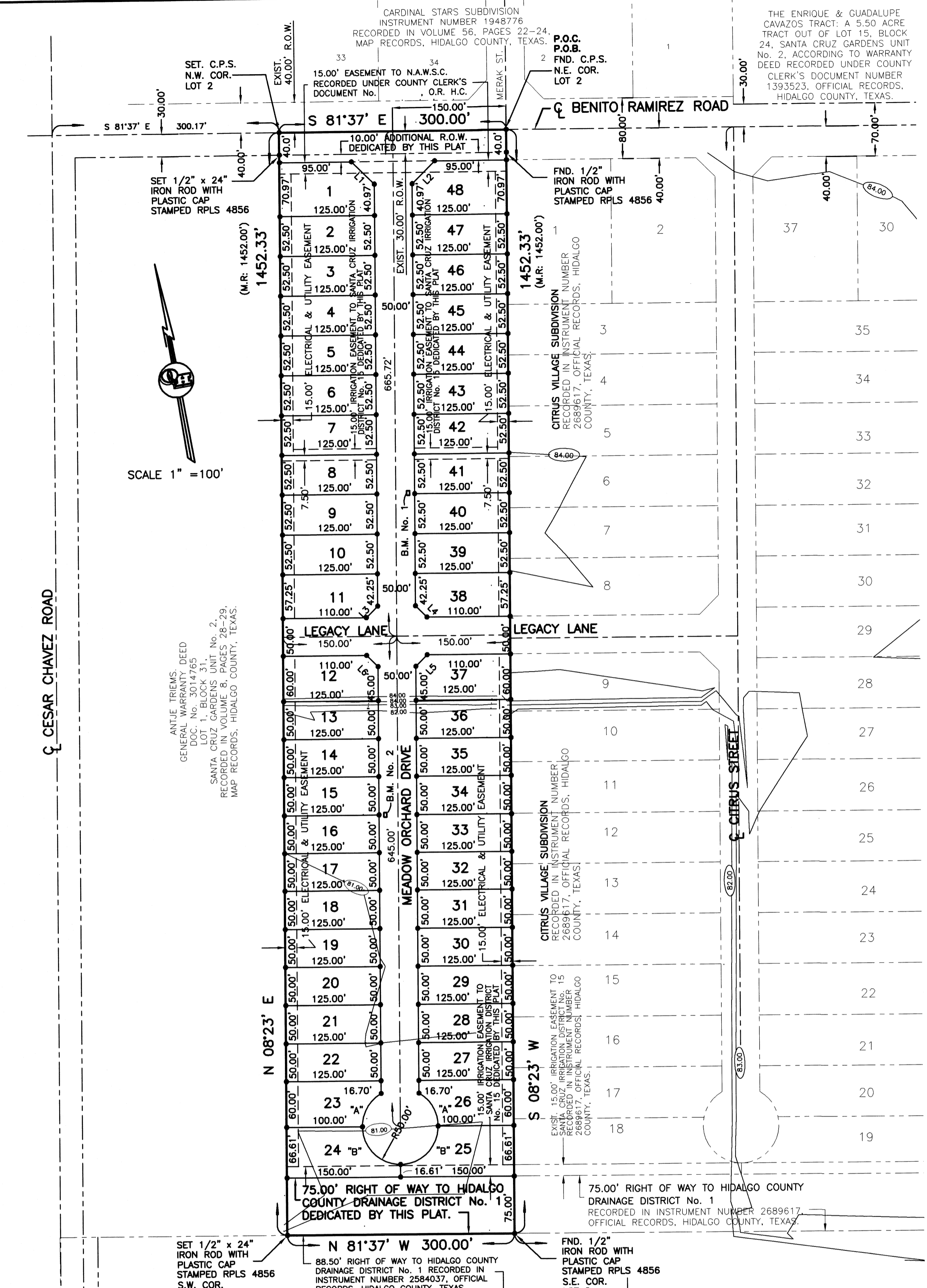
INDEX TO SHEETS

- SHEET 1- HEADING INDEX; LOCATION MAP AND ET; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); ENGINEER'S & SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S ACKNOWLEDGMENT; CITY APPROVAL CERTIFICATE; MAYOR'S CERTIFICATE; ADMINISTRATOR'S CERTIFICATE; COUNTY JUDGE SIGNATURE, PLANNING & ZONING CERTIFICATE; N.A.M.S.C. CERTIFICATE, HIDALGO COUNTY R.O.W. CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; H.C.D.D. No. 1 CERTIFICATION, SANTA CRUZ IRRIGATION DISTRICT No. 15 CERTIFICATION, REVISION NOTES.
- SHEET 2- ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND SANITARY SEWER AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION), COUNTY CLERK'S RECORDING CERTIFICATE.
- SHEET 3- DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERING CERTIFICATE; REVISION NOTES. COUNTY CLERK'S RECORDING CERTIFICATE.

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

DATE PREPARED	DATE REVISION	PREPARED BY	CHECKED BY	APPROVED BY
5-27-2019		LG		
06-07-2019		JG		



REVISION NOTES

No.	Sheet	REVISION	Date	Approved

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:
CITRUS VILLAGE SUBDIVISION No. 2 IS LOCATED IN MIDDLE HIDALGO COUNTY ON THE SOUTH SIDE OF BENITO RAMIREZ ROAD, APPROXIMATELY 300.17 FEET EAST OF CESAR CHAVEZ ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,970), CITRUS VILLAGE SUBDIVISION No. 2 LIES APPROXIMATELY 2.0 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S TWO-MILE EXTRA-TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PCT. 4.

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone	Fax
OWNER: TOP FRUIT INC. LAURA COFFMAN, VICE-PRESIDENT.	P.O. BOX 720883	MCALLEN, TX 78504		
ENGINEER: ALFONSO QUINTANILLA	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	(956)381-0527
SURVEYOR: ALFONSO QUINTANILLA	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	(956)381-0527

CURVE DATA CHART

CURVE	DELTA	RADIUS	LENGTH	CHORD
"A"	60°00'00"	50.00'	52.36'	50.00'
"B"	90°00'00"	50.00'	78.54'	70.71'

LOT DIMENSIONS DATA

DATA	BEARING	LENGTH
L1	S 36°37' E	42.43'
L2	N 53°23' E	42.43'
L3	S 53°23' W	21.21'
L4	N 36°37' W	21.21'
L5	N 53°23' E	21.21'
L6	S 36°37' E	21.21'

LOT AREA DATA

LOT No.	AREA (S.F.)	AREA (AC.)
1	8421.09	0.19
2-10	6562.50	0.15
11	7043.75	0.16
12	7387.50	0.17
13-22	6250.00	0.14
23	6732.27	0.15
24-25	8028.20	0.18
26	6732.27	0.15
27-36	6250.00	0.14
37	7387.50	0.17
38	7043.75	0.16
39-47	6562.50	0.15
48	8421.09	0.19

MAP OF WATER AND SANITARY SEWER DISTRIBUTION SYSTEM/ MAPA DE DISTRIBUCION DE AGUA Y DRENAJE SANITARIO

FINAL ENGINEERING REPORT FOR CITRUS VILLAGES SUBDIVISION No. 2
BY ALFONSO QUINTANILLA P.E.

WATER SUPPLY: Description and Costs.

CITRUS VILLAGE SUBDIVISION NO. 2 WILL BE PROVIDED WITH POTABLE WATER BY THE NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION. CURRENTLY, N.A.W.S.C. HAS AN EXISTING 8" DIAMETER WATERLINE RUNNING ALONG THE NORTH SIDE OF BENITO RAMIREZ ROAD AND LEGACY LANE.

THE WATER SYSTEM FOR CITRUS VILLAGE SUBDIVISION NO. 2 CONSISTS OF THE 8" DIAMETER WATERLINE THAT CONNECTS TO THE EXISTING 8" DIAMETER WATERLINE ON BENITO RAMIREZ ROAD. THE 8" DIAMETER WATERLINE RUNS SOUTH ALONG THE WEST SIDE OF MEADOW ORCHARD DRIVE, ENDING WITH A 2" FLUSH VALVE AT THE SOUTH SIDE OF THE SUBDIVISION. ANOTHER PROPOSED 8" DIAMETER WATERLINE CONNECTS INTO AN EXISTING 8" DIAMETER WATERLINE ON LEGACY LANE AND RUNS EAST & WEST ALONG THE NORTH SIDE OF LEGACY LANE, ENDING WITH A 2" FLUSH VALVE LOCATED ON THE WEST SIDE OF THE SUBDIVISION. IT CONNECTS WITH THE 8" DIAMETER WATERLINE ON MEADOW ORCHARD DRIVE.

FROM THE 8" WATERLINE, NINETEEN (19) 1" DUAL WATER SERVICES RUN TO PAIRS OF LOTS BEFORE SPLITTING INTO 3/4" DIAMETER SINGLE SERVICES AND TEN (10) 3/4" DIAMETER SINGLE SERVICES GOING TO THE METER BOXES FOR EACH LOT.

THE 8" DIAMETER WATERLINE, THE 1" DUAL SERVICE LINES, 3/4" SINGLE SERVICE LINES, AND THE WATER METER BOXES HAVE BEEN INSTALLED AT A TOTAL COST OF \$ OR \$ PER LOT. IN ADDITION, THE SUBDIVIDER WILL PAY N.A.W.S.C. THE SUM OF \$ OR \$ PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES AND ALL MEMBERSHIPS OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.A.W.S.C. UPON REQUEST BY THE LOT OWNER OF A LOT, N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE SUBDIVIDER HAS INSTALLED THREE (3) FIRE HYDRANTS AT A UNIT COST OF \$3,200.00 FOR A TOTAL COST OF \$9,600.00. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

SEWAGE FACILITIES: Description and Costs.

CITRUS VILLAGE SUBDIVISION NO. 2 IS TREATED BY WASTEWATER SERVICE FROM THE CITY OF EDINBURG. THE SUBDIVIDER AND THE CITY OF EDINBURG HAVE ENTERED INTO A CONTRACT IN WHICH THE CITY OF EDINBURG PROMISED TO TREAT WASTE WATER FOR AT LEAST 30 YEARS AND THE CITY OF EDINBURG HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISHED THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THE SUBDIVISION.

THE CITY OF EDINBURG HAS AN EXISTING 8" DIAMETER SANITARY SEWER LINE THAT RUNS NORTH AND SOUTH ALONG THE WEST SIDE OF CITRUS STREET.

THE WASTEWATER SYSTEM FOR CITRUS VILLAGE No. 2 CONSISTS OF 8" DIAMETER SANITARY SEWER LINE THAT CONNECTS TO THE EXISTING 8" DIAMETER SANITARY SEWER LINE. THE 8" DIAMETER SEWERLINE RUNS WEST ALONG THE NORTH SIDE OF THE 75.00' HIDALGO COUNTY DRAINAGE DISTRICT No. 1 DRAIN DITCH RIGHT OF WAY TO A MANHOLE LOCATED NEAR THE SOUTHWEST CORNER OF LOT 25. THE 8" DIAMETER SANITARY SEWER LINE TURNS NORTH AND RUNS ALONG THE EAST SIDE OF MEADOW ORCHARD DRIVE, ENDING WITH A MANHOLE LOCATED NEAR THE NORTH WEST CORNER OF LOT 48.

FROM THE 8" LINE, FORTY EIGHT (48) 4" DIAMETER SEWER SERVICE LINES RUN FOR EACH LOT.

THE 8" SANITARY SEWER LINE, THE 4" SEWER SERVICE AND THE FIVE (5) SANITARY SEWER MANHOLES HAVE BEEN INSTALLED, AT A TOTAL COST OF \$ OR \$ PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID CITY OF EDINBURG THE SUM OF \$ WHICH COVERS THE \$ PER LOT AS STATED IN THE 30 YEAR WASTE WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF THE SERVICES AND ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO THE CITY OF EDINBURG. THE ENTIRE WASTE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY CITY OF EDINBURG AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

CERTIFICATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES - THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, HAVE COST A GRAND TOTAL OF \$ WHICH EQUALS TO \$ PER LOT.

SEWAGE FACILITIES - THESE FACILITIES FULLY CONSTRUCTED HAVE COST A GRAND TOTAL OF \$ WHICH EQUALS TO \$ PER LOT.

ALFONSO QUINTANILLA
P.E. No. 95534
DATE 1-13-2020



ALFONSO QUINTANILLA
P.E. No. 95534
DATE 1-13-2020

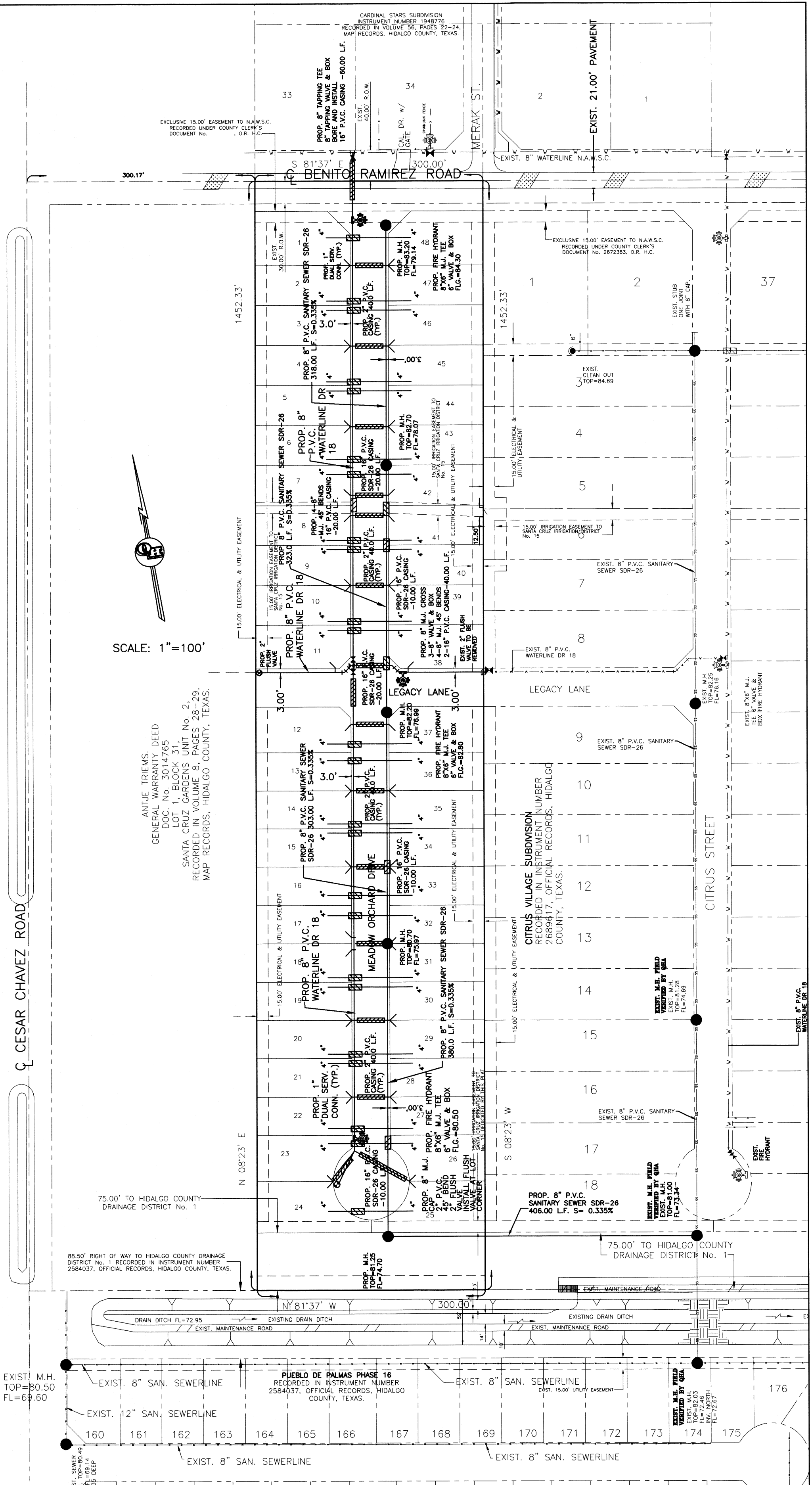


CERTIFICATION:

CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CÓDIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

AGUA: EL SISTEMA/SERVICIO DE AGUA SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECANICO DE AGUA QUE COSTARA UN TOTAL DE US\$ O US\$ POR LOTE.

DRENAJE: SE ESTIMA QUE EL DRENAJE COSTARA UN COSTO TOTAL DE US\$ O US\$ POR LOTE.



SCALE: 1"=100'

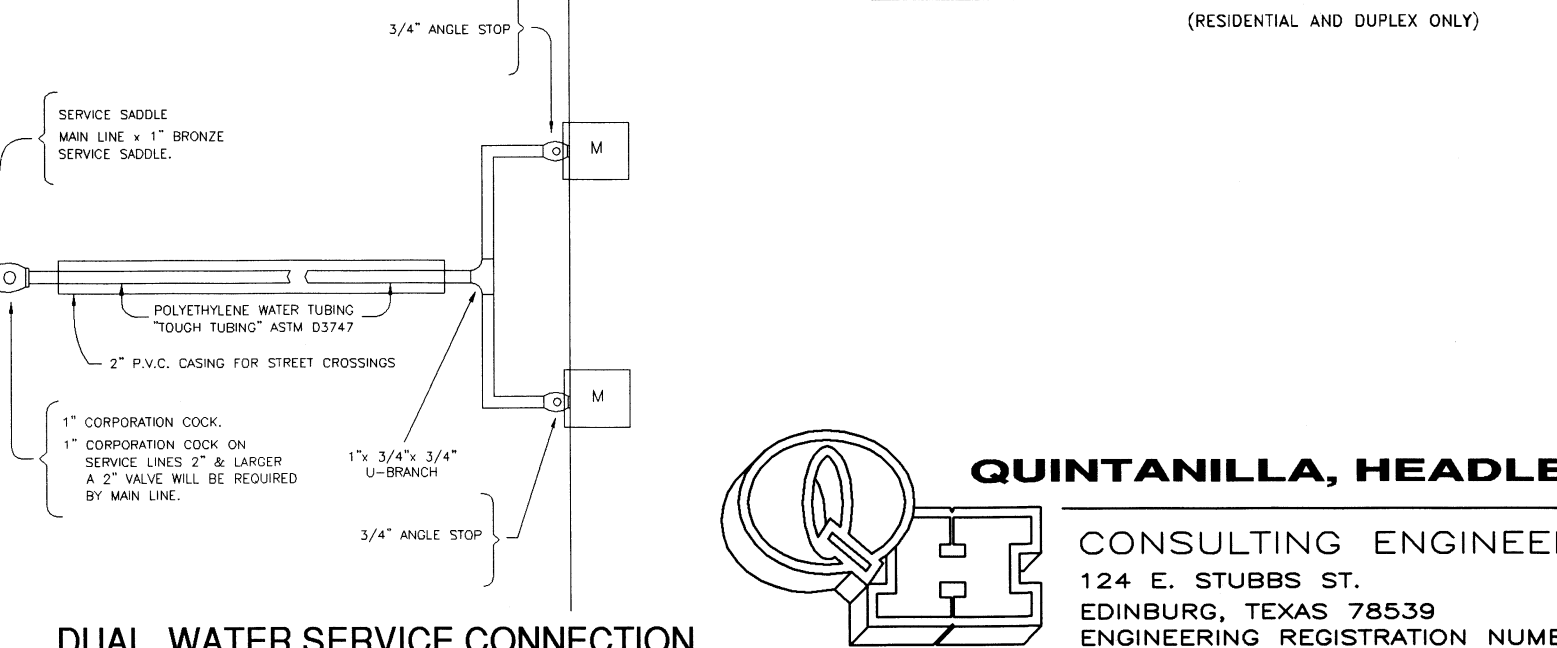
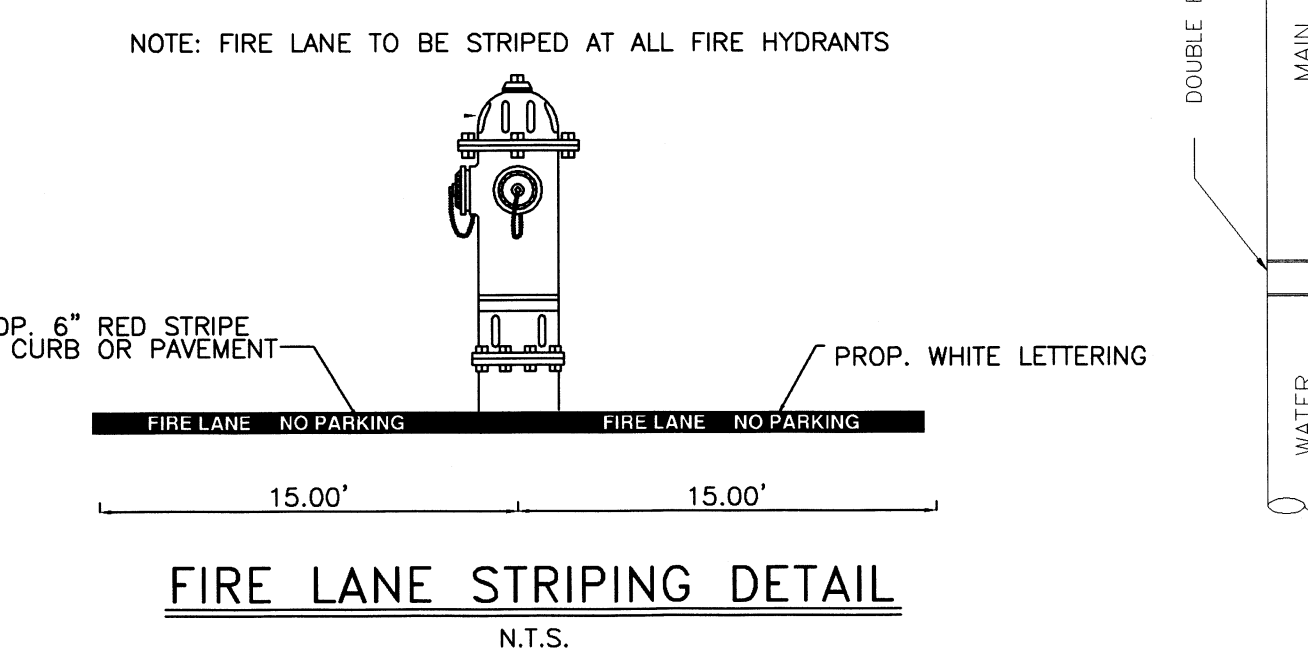
ANTLE TRIEMS
GENERAL WARRANTY DEED
LOT 1 BLOCK 31
SANTA CRUZ GARDENS UNIT No. 2,
RECORDED IN VOLUME 8, PAGES 15-23,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

CESAR CHAVEZ ROAD

75.00' TO HIDALGO COUNTY DRAINAGE DISTRICT No. 1

EXIST. M.H. TOP=80.50 FL=69.60

No.	Sheet	REVISION	Date	Approved



CITRUS VILLAGE SUBDIVISION NO. 2

A 10.00 ACRE TRACT OF LAND BEING ALL OF LOT 2, BLOCK 11, SANTA CRUZ GARDENS UNIT No. 2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3014764, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

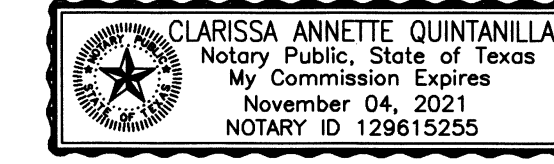
SUBDIVIDER CERTIFICATION:
1. - BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE BY THE SELLER AS REQUIRED BY STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:
1. - I (WE), LAURA COFFMAN VICE-PRESIDENT (S) OF CITRUS VILLAGE SUBDIVISION, HEREBY CERTIFY SEWER FEES, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT. THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS TO THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

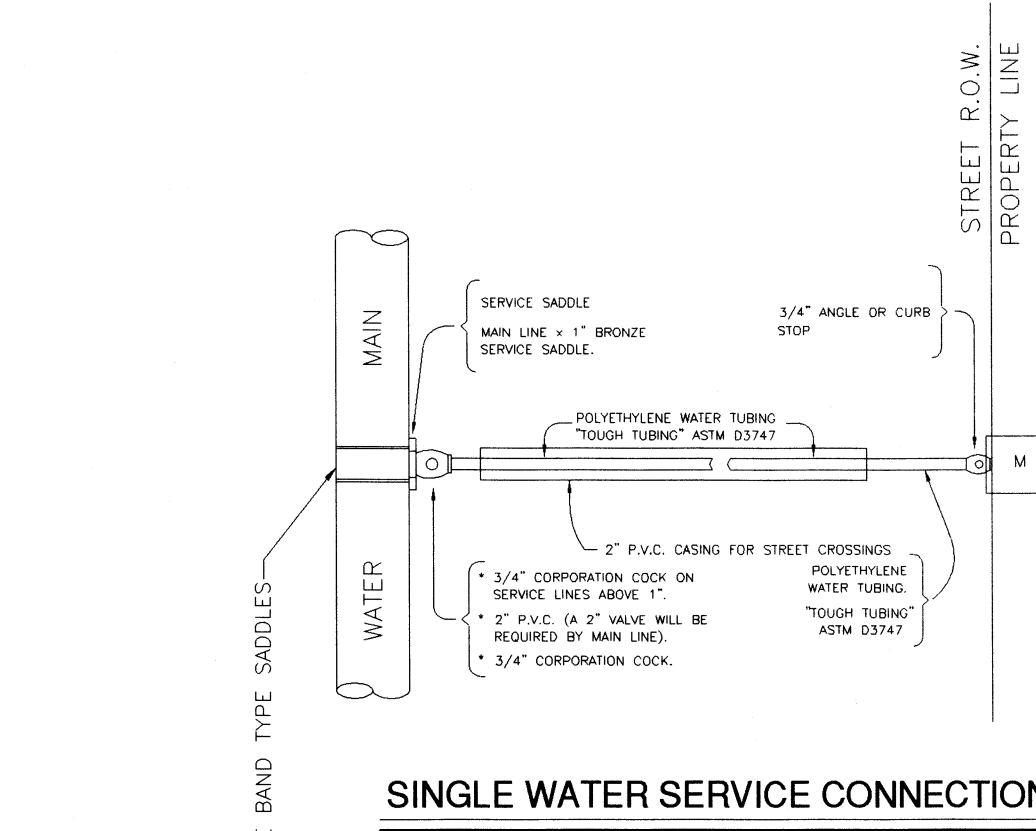
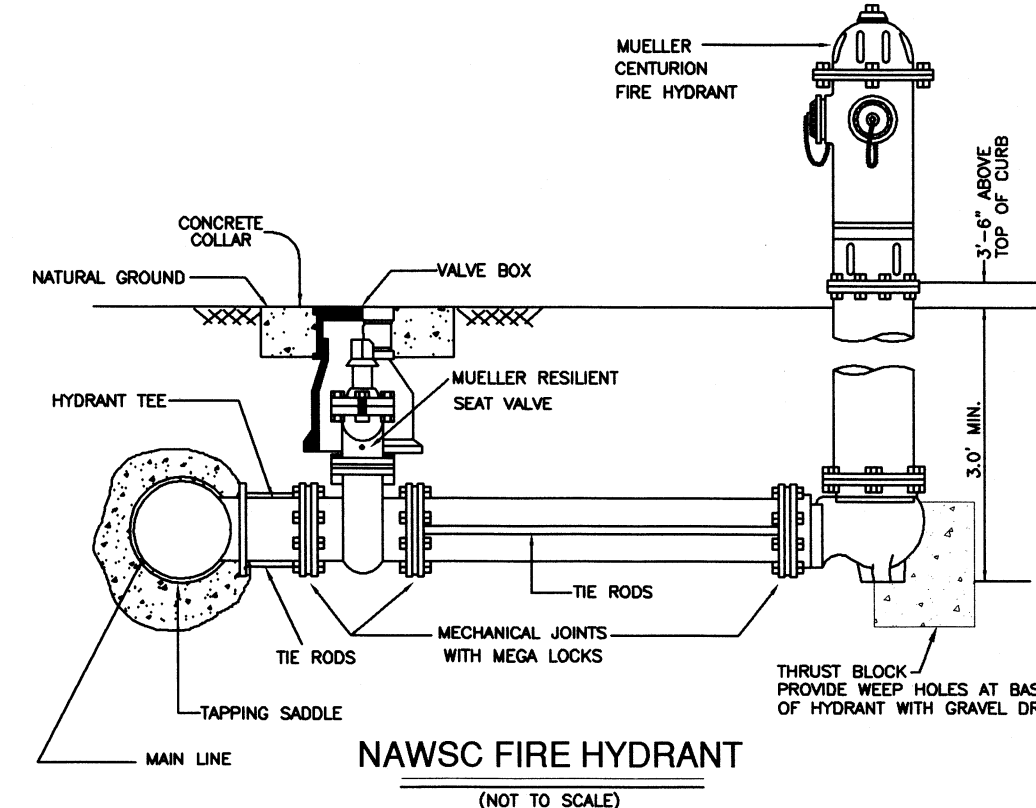
TOP FRUIT INC.
LAURA COFFMAN, VICE-PRESIDENT,
P.O. BOX 720883
McALLEN, TEXAS 78504

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, the undersigned authority, on this day personally appeared LAURA COFFMAN VICE-PRESIDENT known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for purposes and considerations therein stated.

Given under my hand and seal of office this _____ day of _____, 20____.



CLARISSA ANNETTE QUINTANILLA - NOTARY PUBLIC



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

COST ESTIMATE
PAVING IMPROVEMENTS: \$
DRAINAGE IMPROVEMENTS: \$
WATER DISTRIBUTION: \$
SANITARY SEWER: \$

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

SHEET NO.	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
2 OF 3	10-11-19	M. GONZALEZ		

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1315
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
ALFONSO@QHA-ENG.COM

A 10.00 ACRE TRACT OF LAND BEING ALL OF LOT 2, BLOCK 11, SANTA CRUZ GARDENS UNIT No.2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3014764, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

DRAINAGE REPORT FOR: CITRUS VILLAGE SUBDIVISION No. 2
BY: ALFONSO QUINTANILLA, P.E.

Citrus Village Subdivision No. 2 is a 10.00 acre tract being all of Lot 2, Block 31, Santa Cruz Gardens Unit No. 2, Hidalgo County, Texas, according to the map or plat thereof recorded in Volume 8, Pages 28 and 29, map records, Hidalgo County, Texas, and according to general warranty deed recorded in instrument number 3014764, official records, Hidalgo County, Texas. This subdivision is located on the south side of Benito Ramirez Road, approximately 300.17 feet east of Cesar Chavez Road and is in the City of Edinburg ETJ. The proposed subdivision consists of 48 residential lots.

The tract is Zone "X" (shaded), areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood, and "X" (unshaded), areas determined to be outside 500-year floodplain, as per FEMA Flood Insurance Rate Map, Community Panel No. 480334 0325 D, and dated June 6, 2000 with LOMR dated May 17, 2001.

The soil is Hidalgo (25) and Wilacy (70) and in soil group B. It is fine sandy loam (SM-SC), sandy clay loam (SC), and clay loam (CL). This soil is well drained. Permeability is moderate. Plasticity index has a range of 4-23. See attached Soil Survey of Hidalgo County, Texas tables.

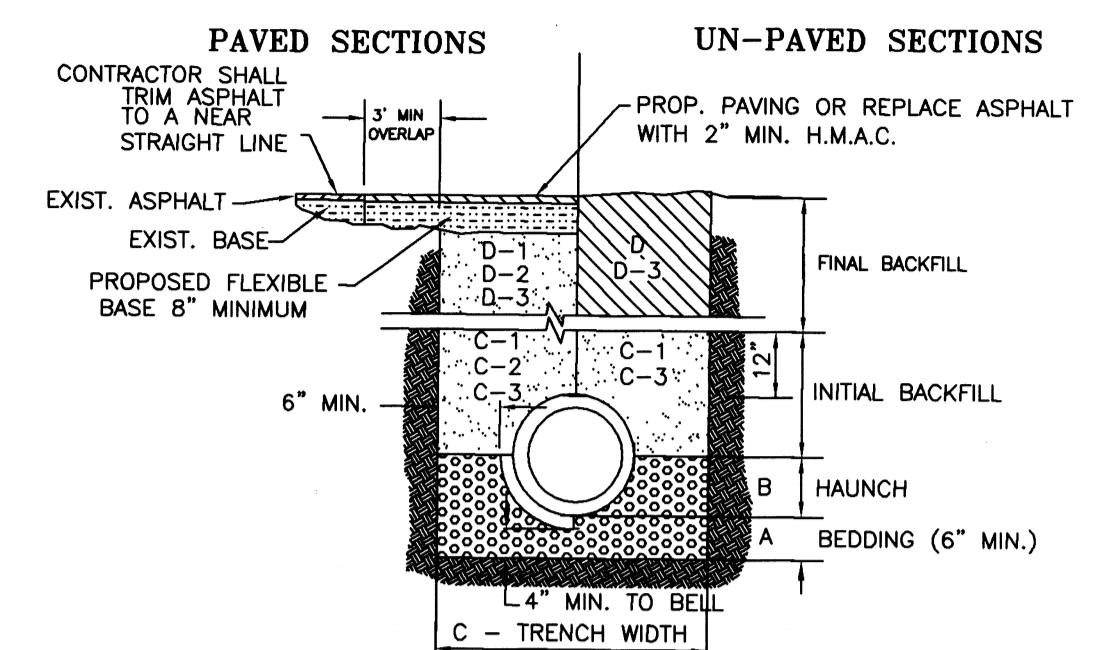
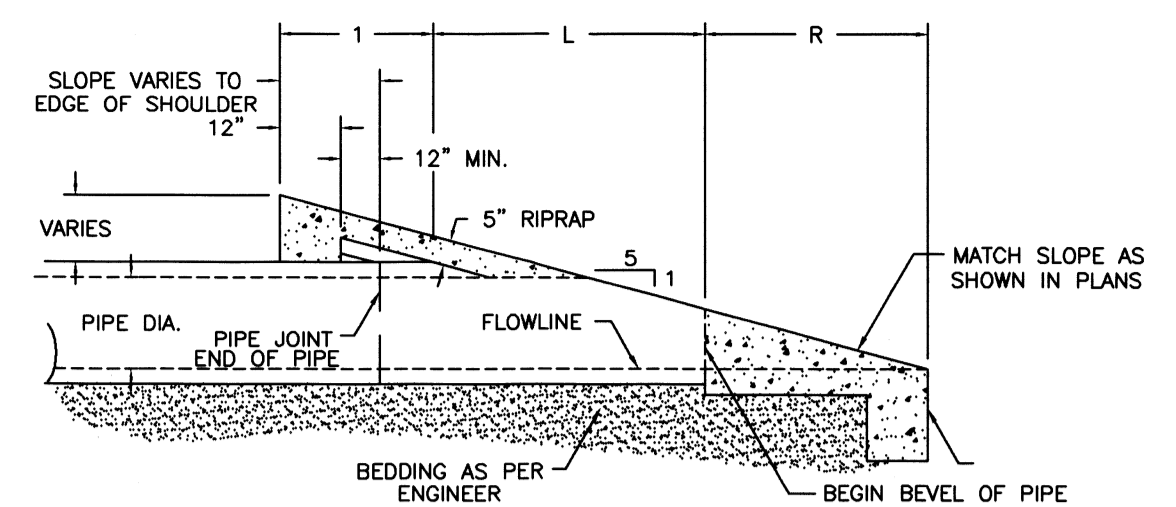
Presently, the site has very minimal runoff on a southerly direction with an approximate 1% slope. The existing runoff for the proposed subdivision is $Q = 3.12$ cubic feet per second based on a 10-year storm and currently outfalls into the existing Hidalgo County Drainage District No. 1 U-01-02 Drain Ditch.

After development the runoff will be $Q = 18.16$ cubic feet per second for an increase of $Q = 15.04$ cubic feet per second. Detention will be 61,663.93 cubic feet (142 acre feet) and will be accomplished by excavating the existing H.C.D.D. No.1 Drain Ditch on the south side of the subdivision. The stream runoff will be collected by a storm sewer system consisting of 18" and 24" pipes and Type "A" inlets that will discharge into the existing Hidalgo County Drainage District No. 1 U-01-02 Drain Ditch. Additional 75.0 feet right of way for the Drain Ditch is being dedicated to the Hidalgo County Drainage District No.1 by the plat.

CERTIFICATION:
BY MY SIGNATURE BELOW, I CERTIFY THAT THE FLOODPLAIN FOR ZONE "X" (SHADED), AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, AND "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS PER FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480334 0325 D, AND DATED JUNE 6, 2000 WITH LOMR DATED MAY 17, 2001 IS CONTAINED WITHIN THE DRAINAGE OF THE SUBDIVISION, AS SHOWN BELOW.



Alfonso Quintanilla
ALFONSO QUINTANILLA
P.E. No. 95534
DATE 1-13-2020



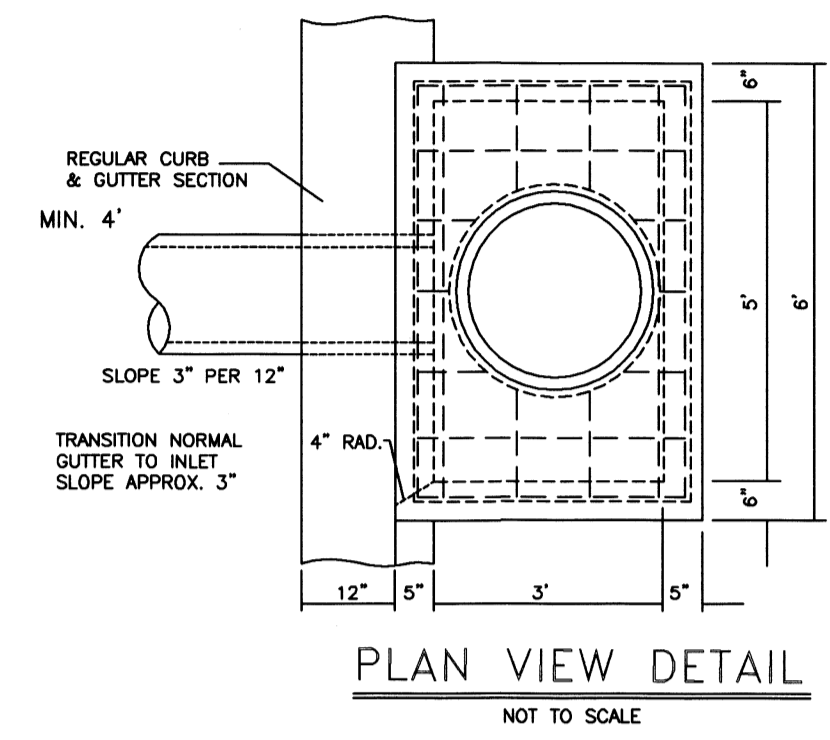
STORM TRENCH BEDDING AND BACKFILL DETAILS
N.T.S.

- A. BEDDING FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SAND AND/OR GRAVEL MIX BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW OF PIPE (MIN THICKNESS = 6") - PIT RUN GRAVEL 3/4" MAX. SIZE.
- B. HAUNCH FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS I OR CLASS II (ASTM D2321) BACKFILL MATERIAL COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C. TRENCH WIDTH - SHALL BE BELL O.D. + 1.5 + 12" MINIMUM TRENCH WIDTH SHALL EQUAL STRUCTURE WIDTH + 4 FT. THROUGHOUT THE HEIGHT OF THE STRUCTURE.
- C-1 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON CITY STREETS, PARKING AREA, DRIVEWAYS, COUNTY ROAD & UNPAVED AREAS - SHALL BE SOL. TYPE A1, A2, A3, WITH A MAXIMUM P.I. OF 19 (ASHTO M145) COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-2 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON STATE MAINTAINED ROADWAYS - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D4253 AND ASTM D-698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-3 INITIAL BACKFILL FOR HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS I OR CLASS II WITH A MAXIMUM P.I. OF 19 (ASTM D2321) BACKFILL MATERIAL COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D. FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE UNDER UNPAVED SECTIONS - SHALL BE CLASS I, II, III OR IV, COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-1 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON CITY STREETS, PARKING AREA, DRIVEWAYS, AND COUNTY ROAD - SHALL BE SOL. TYPE A1, A2, A3, WITH A MAXIMUM P.I. OF 19 (ASHTO M145) COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-2 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON STATE MAINTAINED ROADWAYS - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D-4253 AND ASTM D4253 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-3 FINAL BACKFILL FOR STRUCTURES (INLETS, MANHOLES, ETC.) - STRUCTURES UNDER THE ROADWAY AND UP TO 5 FT. BEYOND THE EDGE OF PAVEMENT/BACK OF CURB SHALL HAVE CLASS I OR CLASS II (ASTM D2321) OR SOL. TYPE A1, A2, OR A3 (ASHTO M145) WITH A MAXIMUM P.I. OF 19 BACKFILL MATERIAL. STRUCTURES BEYOND 5 FT. FROM THE E.O.P./B.O.C. SHALL HAVE CLASS I, II, III OR IV (ASTM D2321) BACKFILL MATERIAL. FOUNDATION PREPARATION (WELLPONTS, MINIMUM 4" GRAVEL OR CEMENTS STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT AND COMPACTED TO 92% S.P.D. (USE RELATIVE DENSITY TEST PER ASTM D4253 & ASTM D698). THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 8".

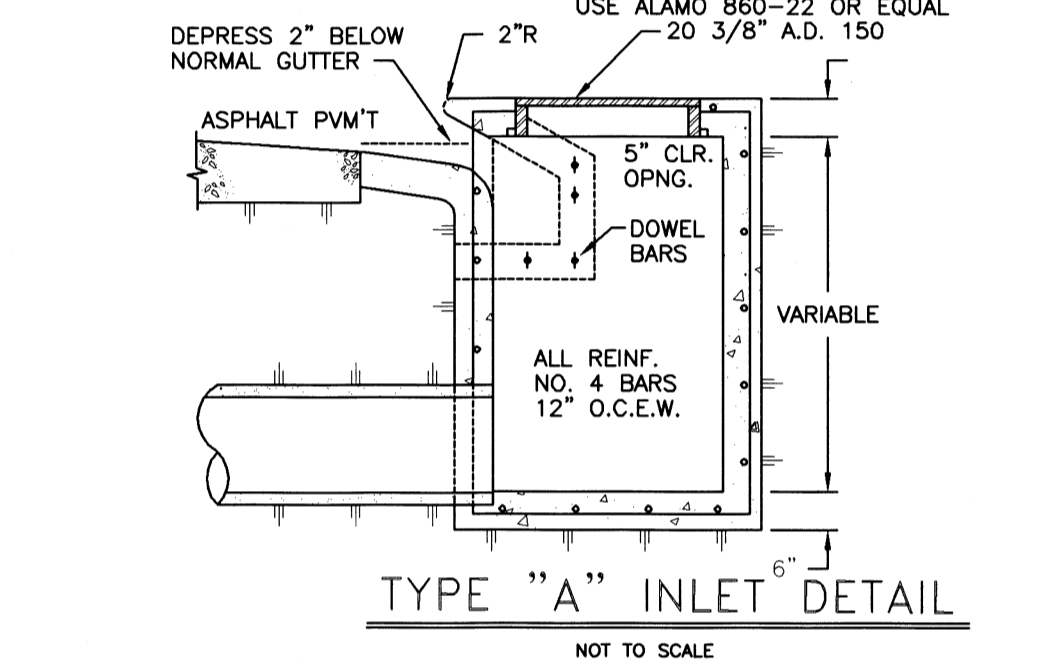
- NOTES: 1. MAXIMUM COVER SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. FOR D-1 AND D-2 THE COMPACTION REQUIREMENT SHALL BE 92% S.P.D. WITHIN 12 IN. BELOW THE FLEXIBLE BASE.
3. FOR PAVED SECTIONS THE ABOVE REQUIREMENTS SHALL APPLY WHEN ANY PART OF TRENCH WIDTH IS WITHIN 5 FT. FROM THE E.O.P./B.O.C.
4. THE ABOVE REQUIREMENTS SHALL APPLY TO UTILITY PIPELINES AND UTILITY STRUCTURES OF OTHER UTILITY ENTITIES.

STORM TRENCH BEDDING AND BACKFILL NOTES
N.T.S.

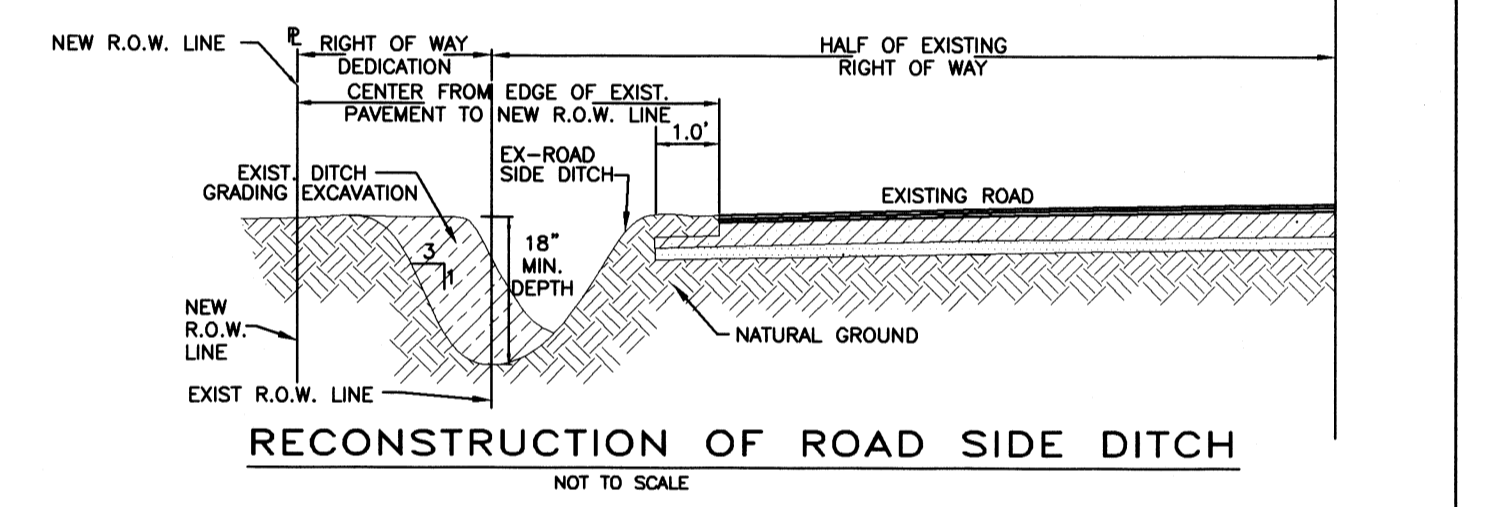
SAFETY END TREATMENT
NOT TO SCALE



PLAN VIEW DETAIL
NOT TO SCALE

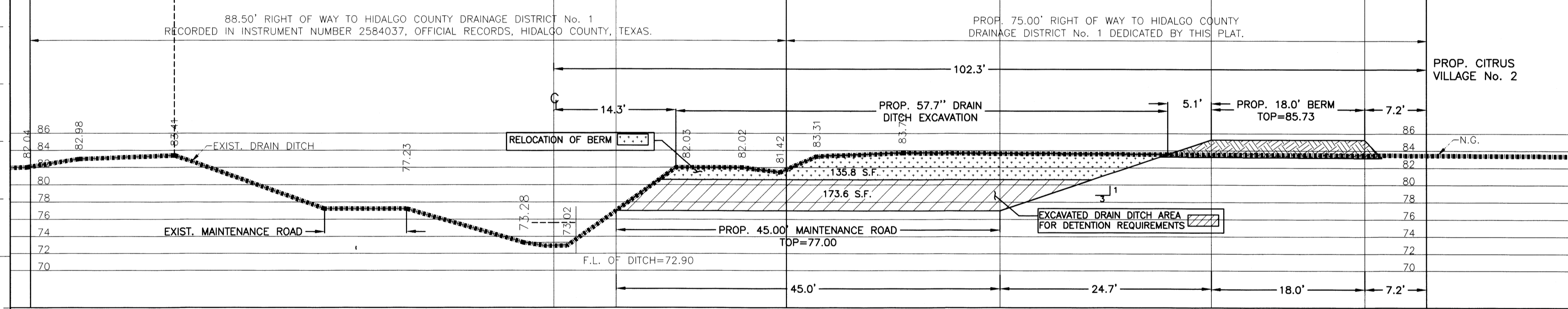


TYPE "A" INLET DETAIL
NOT TO SCALE



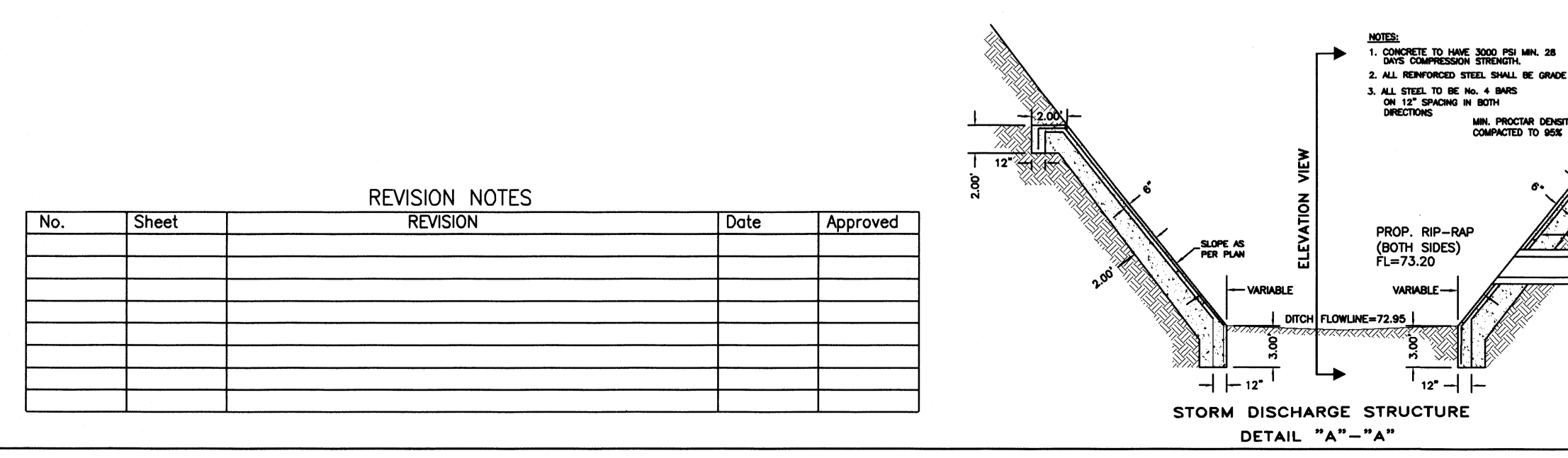
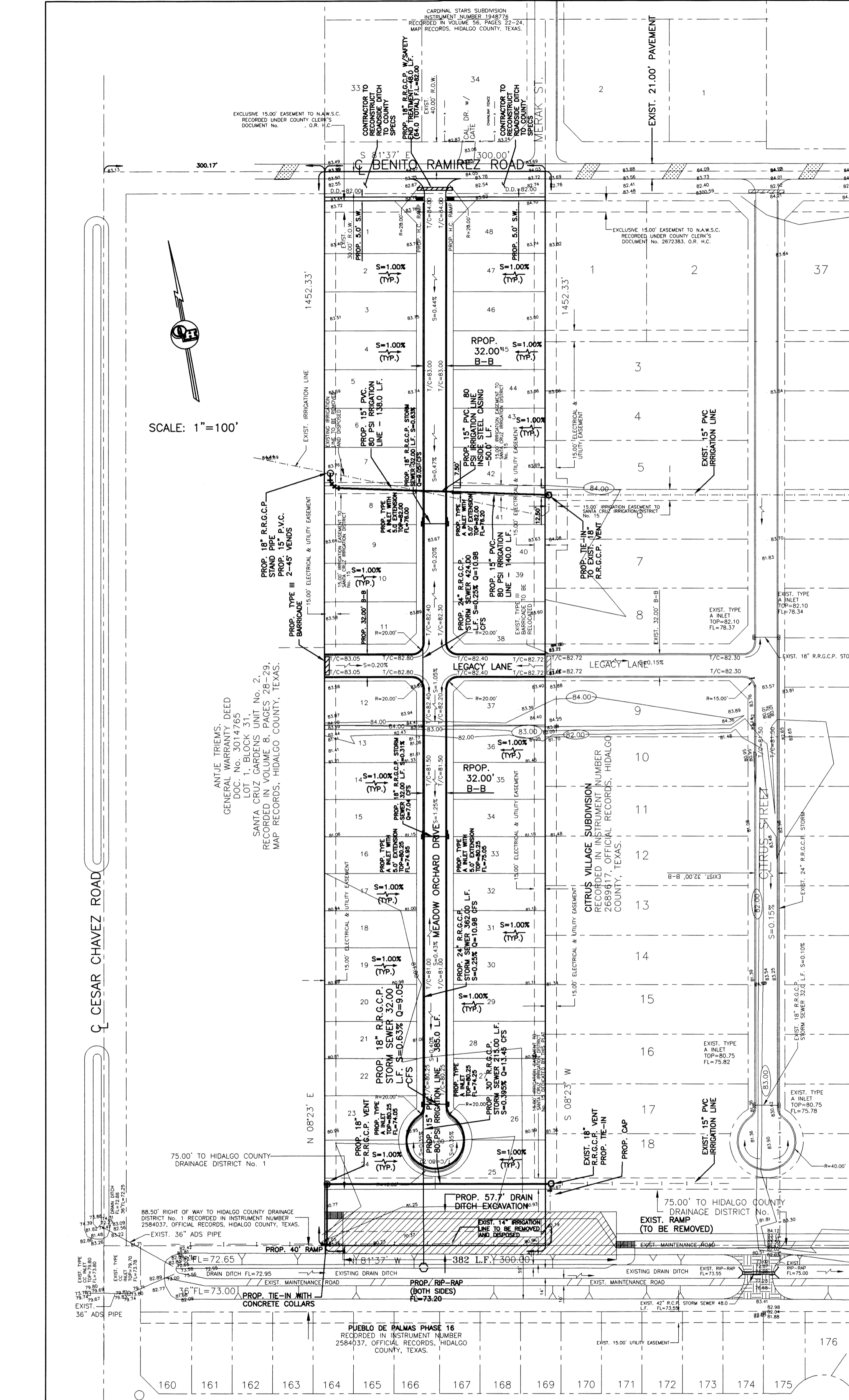
RECONSTRUCTION OF ROAD SIDE DITCH
NOT TO SCALE

CROSS SECTION "A-A" SCALE: HORIZONTAL 1" = 10', VERTICAL 1" = 10'



LEGEND
 TOTAL DETENTION REQUIRED - 61,663.93 C.F.
 TOTAL DETENTION PROVIDED - 71,176.00 C.F.
 (410 L.F. X 173.6 S.F.)
 TOTAL EXCAVATION NEEDED - 126,854.00 C.F.
 (410 L.F. X 309.4 S.F.)

NOTE:
DIRT EXCAVATED FROM DRAIN DITCH SHALL BE SPREAD AT LOCATION DETERMINED BY ENGINEER



REVISION NOTES			
No.	Sheet	REVISION	Date

COST ESTIMATE	
PAVING IMPROVEMENTS:	\$
DRAINAGE IMPROVEMENTS:	\$
WATER DISTRIBUTION:	\$
SANITARY SEWER:	\$

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
 CONSULTING ENGINEERS
 124 E. STUBBS ST.
 EDINBURG, TEXAS 78539
 ENGINEERING REGISTRATION NUMBER F-1315
 SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
 PHONE 956-381-6480
 FAX 956-381-0527
 ALFONSO@QHA-ENG.COM

SHEET NO. 2 OF 3			
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
10-1-19	M. GONZALEZ		
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY