



HIDALGO COUNTY PLANNING DEPARTMENT

T.J. Arredondo, CFM
Director of Planning

1304 SOUTH 25TH STREET
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 1-28-2020

PROPOSED DEL ANGEL ESTATES SUBDIVISION PRECINCT No. 3.

ENGINEER: FULCRUM CONSULTING SERVICES DEVELOPER: MARIA C. & NORMA ORTEGA

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 2 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INSTITUTIONAL

LOCATION DESCRIPTION: NORTH OF MILE 3 NORTH ROAD APPROXIMATELY 1/3 OF MILE WEST OF WESTERN AVENUE.

SUBDIVISION LIES WITHIN THE: ETJ OF MISSION AND WAS APPROVED ADMINISTRATIVELY BY SAID CITY.

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 7-26-2018 PROPERTY LIES WITHIN FLOOD ZONE: "C" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY NATURAL PERCULATION AND SURFACE RUNOFF WILL DRAIN INTO MILE 3 NORTH ROAD SIDE DITCH.

ROAD R.O.W. DEDICATION: 20.00 FEET ONTO MILE 3 NORTH ROAD.

H.C.R.O.W. FINAL APPROVAL DATE: 9-20-2018 BY, VICTOR GALLARDO, PCT. 3 R.O.W. AGENT

H.C.H.D. FINAL APPROVAL DATE: 12-02-2019 BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM: OSSF's HAVE BEEN INSTALLED.

WATER SERVICE PROVIDER: AGUA SUD LINE SIZE: 8" LOCATION: MILE 3 NORTH ROAD.

H.C.E.O.C. FINAL APPROVAL DATE: 4-27-2018; BY ENVIRONMENTAL COMPLIANCE COORDINATOR

SMALL CONSTRUCTION

The applicant has submitted the required small construction site notice as per Part II, Section E Of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed project.

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON:

N/A

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, other departments and the approval of the City of MISSION.

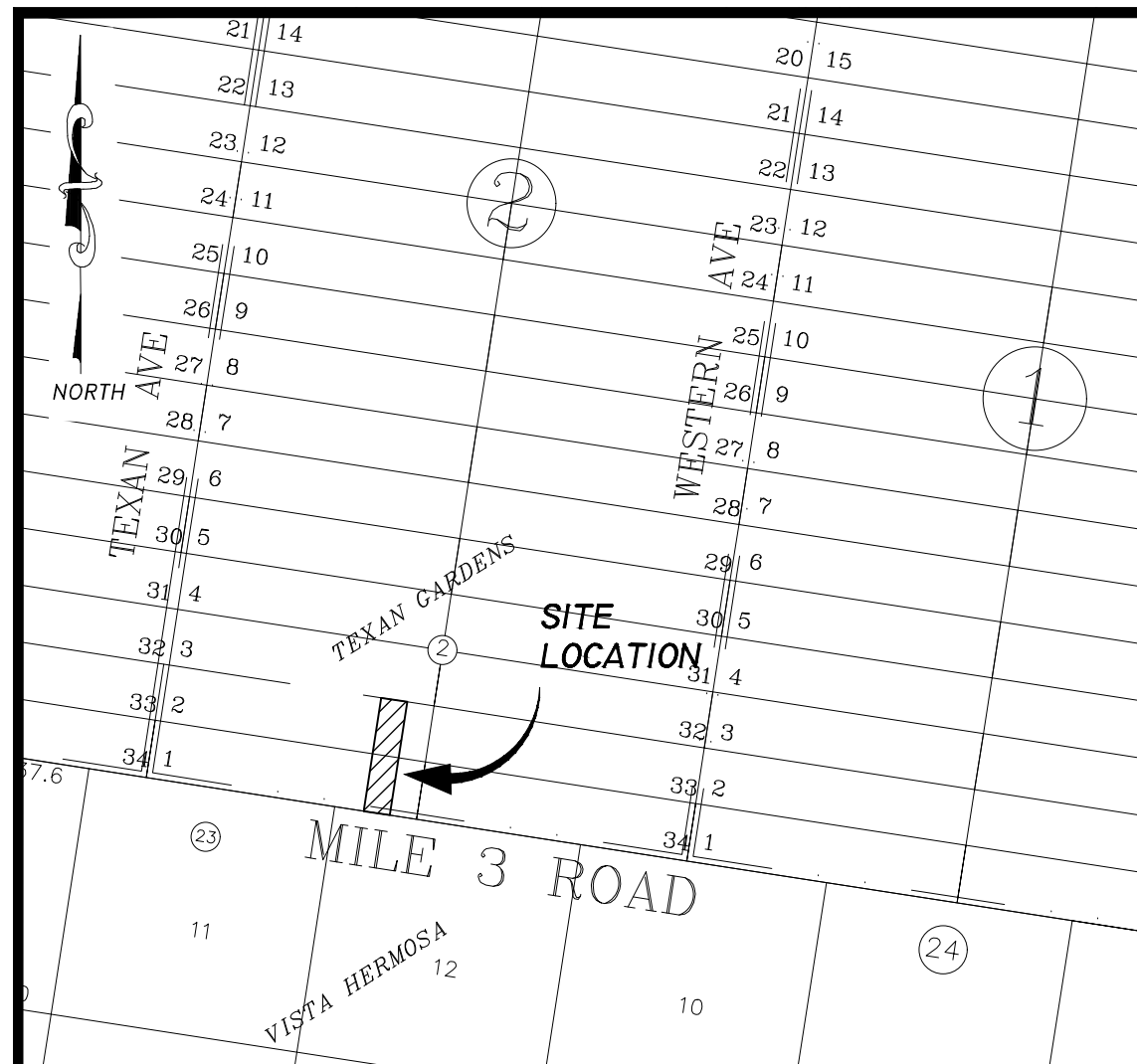
Final Approval subject to recommendations other departments

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,

* Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

DEL ANGEL ESTATES

A 2.0 ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOTS ONE (1) AND TWO (2), BLOCK TWO (2), TEXAN GARDENS SUBDIVISION, HIDALGO COUNTY, TEXAS AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGE 57, OF THE MAP RECORDS, HIDALGO COUNTY, TEXAS



LOCATION MAP
SCALE: 1"=1000'

DEL ANGEL ESTATES IS LOCATED WITHIN THE HIDALGO PRECINCT No. 3, IN THE NORTHWEST SIDE OF HIDALGO COUNTY ON MILE 3 ROAD, APPROXIMATELY ONE-THIRD OF A MILE WEST OF WESTERN AVE. THE ONLY MUNICIPALITY IS THE CITY OF MISSION, ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF MISSION (POPULATION 83,394). DEL ANGEL ESTATES LIES APPROXIMATELY 3 MILES FROM THE CITY LIMITS OF MISSION AND IS WITHIN THE CITY'S 5 MILE EXTRATERRITORIAL JURISDICTION(ETJ) UNDER LOCAL GOVERNMENT CODE 212.001.

PLAT GENERAL NOTES

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "C"
ZONE "C" AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN
COMMUNITY-PANEL NO. 480334 0400 C EFFECTIVE DATE: NOVEMBER 16, 1982
THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT OF WAY ARE WITHIN THE 100-YEAR FLOOD PLAIN, COMMUNITY-PANEL NO. 480334 0400 C EFFECTIVE DATE: NOVEMBER 16, 1982 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED AREAS SHOWN AREAS THAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.
- CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- SETBACKS:
FRONT: 50.00 FEET--SETBACK MUST BE 1/2 OF THE RIGHT OF WAY NOT TO EXCEED 50.00 FEET
REAR: 50.00 FEET--SETBACK FROM CALICHE PIT
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. (ANY OTHER USE SHALL REQUIRE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL APPROVAL). APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.
- NO COMMERCIAL USE SHALL BE ALLOWED ON ALL LOTS 1 & 2.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
--> B.M. NO. 1--ELEV.=214.66 N.A.V.D. 88 DESCRIPTION: TOP OF 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" FOUND ON THE EAST LINE, 40 FEET NORTH OF SOUTHEAST CORNER OF THIS SURVEY.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 3250.8 CUBIC-Feet 0.074 ACRE--FEET OF STORM WATER RUNOFF. DRAINAGE RETENTION WILL BE AS DESCRIBED IN SHEET No. 2. DRAINAGE REPORT.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.0 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS.
A. OSSF SYSTEM IS BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWERAGE ONLY. A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE.
B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.
C. OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
D. SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCERPTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM.
E. APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPANCY A LOT.
F. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
G. A SPECIAL DESIGN IS REQUIRED FOR ALL OSSF SYSTEMS LOCATED WITHIN A DESIGNATED FLOOD ZONE. THE DESIGN SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS:
ANCHORING OF SEPTIC TANK(S)
BACK FLOW VALVES
SEPTIC TANK COVER SHALL BE ABLE TO SEAL.
- MARIA C. ORTEGA, AND NORMA ORTEGA THE OWNERS AND SUBDIVIDER OF DEL ANGEL ESTATES, RETAINS A BLANKET EASEMENT UPON EACH LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET NO.2 OF THIS PLAT.
- CLEARANCES FOR WATER METERS: ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S)
- THE HOMEOWNERS AND/OR LOT OWNER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT. IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON LOTS 1 & 2 MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.

OWNERS ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, MARIA C. ORTEGA, AND NORMA ORTEGA, AS OWNERS OF THE 2.0 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED "DEL ANGEL ESTATES", HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS, PARKS, AND EASEMENTS SHOWN HEREIN.

WE CERTIFY THAT WE HAVE COMPLIED WITH THE REQUIREMENTS OF THE TEXAS LOCAL GOVERNMENT CODE, CHAPTER 232.032 AND THAT
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOT MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOT MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOT MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

MARIA C. ORTEGA _____ DATE _____
NORMA ORTEGA _____ DATE _____

ADDRESS: 7710 W. 3 MILE LINE RD.
MISSION, TX 78574
HIDALGO COUNTY

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME BY THE PERSON(S) WHOSE NAME(S) IS (ARE) _____ SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____ 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

MAYOR'S CERTIFICATION

I THE UNDERSIGNED, MAYOR OF THE CITY OF MISSION, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MISSION, TEXAS. _____ DATE _____

ATTEST: CITY SECRETARY _____ DATE _____

CITY OF MISSION, PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSION, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF MISSION WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING AND ZONING COMMISSION _____ DATE _____

THIS PLAN IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 16 SUBJECT TO THE CONDITION THAT IF IRRIGATION FROM SAID DISTRICT IS DESIRED TO THE INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENTS FOR THE INSTALLATION OF NECESSARY IRRIGATION DELIVERY FACILITIES, AS REQUIRED BY THE DISTRICT'S SUBDIVISION POLICIES, TO SUCH LOTS FROM THE CLOSEST DISTRICT DELIVERY POINT AND BY VIRTUE OF THESE REQUIREMENTS IT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY TO INSTALL AND MAINTAIN SUCH FACILITIES.

DATED THIS THE _____ DAY OF _____, 20____.

ATTEST: _____ SECRETARY _____ PRESIDENT _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE §232.028(c)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF THE "DEL ANGEL ESTATES" WAS REVIEWED AND

APPROVED BY THE HIDALGO COUNTY COMMISSIONER'S COURT ON _____

HIDALGO COUNTY JUDGE _____ ATTEST: HIDALGO COUNTY CLERK _____

DATE _____ DATE _____

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

DISTRICT MANAGER _____ DATE _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF "DEL ANGEL ESTATES" WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____ 2017

ENVIRONMENTAL HEALTH DIVISION MANAGER _____ DATE _____

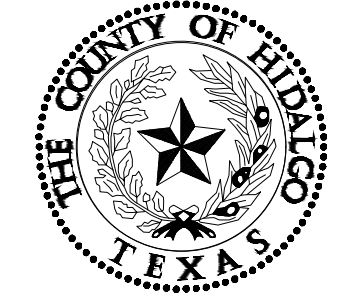
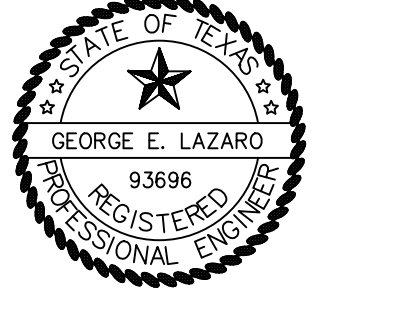
SURVEYOR CERTIFICATE
STATE OF TEXAS
COUNTY OF HIDALGO
I THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE MAP ON THIS SHEET SHOWING THE LOTS, EASEMENTS, AND STREETS OF "ORTEGA SUBDIVISION" AND ITS METES AND BOUNDS DESCRIPTION WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME UNDER MY SUPERVISION ON _____

REYNALDO ROBLES
REGISTERED PROFESSIONAL LAND SURVEYOR
REGISTRATION NO. 4032



ENGINEER CERTIFICATE
STATE OF TEXAS
COUNTY OF HIDALGO
I DANIEL CAMPOS, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

GEORGE E. LAZARO, P.E.
REGISTERED PROFESSIONAL ENGINEER No. 93696



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR
HIDALGO COUNTY CLERK

METES AND BOUNDS

BEING 2.00 ACRES OF LAND SITUATED IN HIDALGO COUNTY, TEXAS, AND BEING OUT OF LOTS 1 AND 2, BLOCK 2, TEXAN GARDENS SUBDIVISION AS PER MAP RECORDED IN VOLUME 8, PAGE 58 OF THE HIDALGO COUNTY MAP RECORDS, AND SAID 2.00 ACRE TRACT BEING THE SAME PROPERTY DESCRIBED IN DOC #2621946 OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 2.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

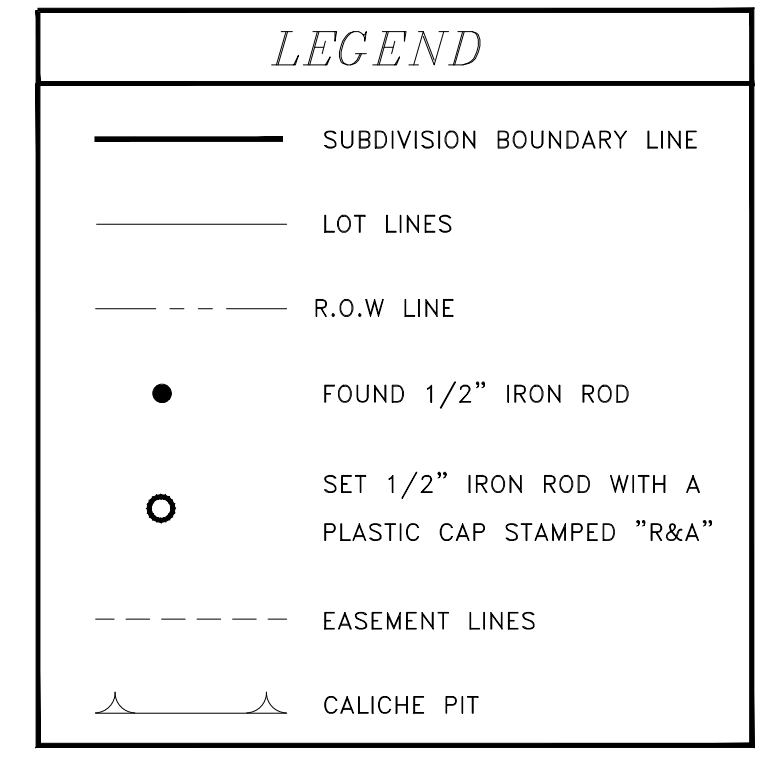
COMMENCING FOR REFERENCE AT A POINT FOR THE SOUTHEAST CORNER OF SAID LOT 1; THENCE, NORTH 81 09'15" WEST, 143.40 FEET, WITH THE CENTERLINE OF 3 MILE LINE ROAD AND WITH THE SOUTH LINE OF SAID LOT 1 TO A POINT FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF SAID OT SAID TRACT HEREIN DEESCRIBED;

THENCE, NORTH 81 09'15" WEST, 143.40 FEET, WITH THE SOUTH LINE OF SAID LOT 1 AND WITH THE CENTERLINE OF SAID 3 MILE LINE ROAD TO A POINT FOR THE SOUTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, NORTH 08 49'45" EAST, WITH A LINE THAT IS PARALLEL TO THE EAST LINE OF SAID LOTS 1 AND 2, AND WITH THE EAST LINE OF A TRACT OF LAND DESCRIBED IN DOC #521368 OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, AT A DISTANCE OF 40.00 FEET PASS A 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" FOUND FOR REFERENCE ON THE NORTH RIGHT OF WAY LINE OF SAID 3 MILE LINE ROAD, AND CONTINUING FOR A TOTAL DISTANCE OF 607.22 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "R&A" SET FOR THE NORTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

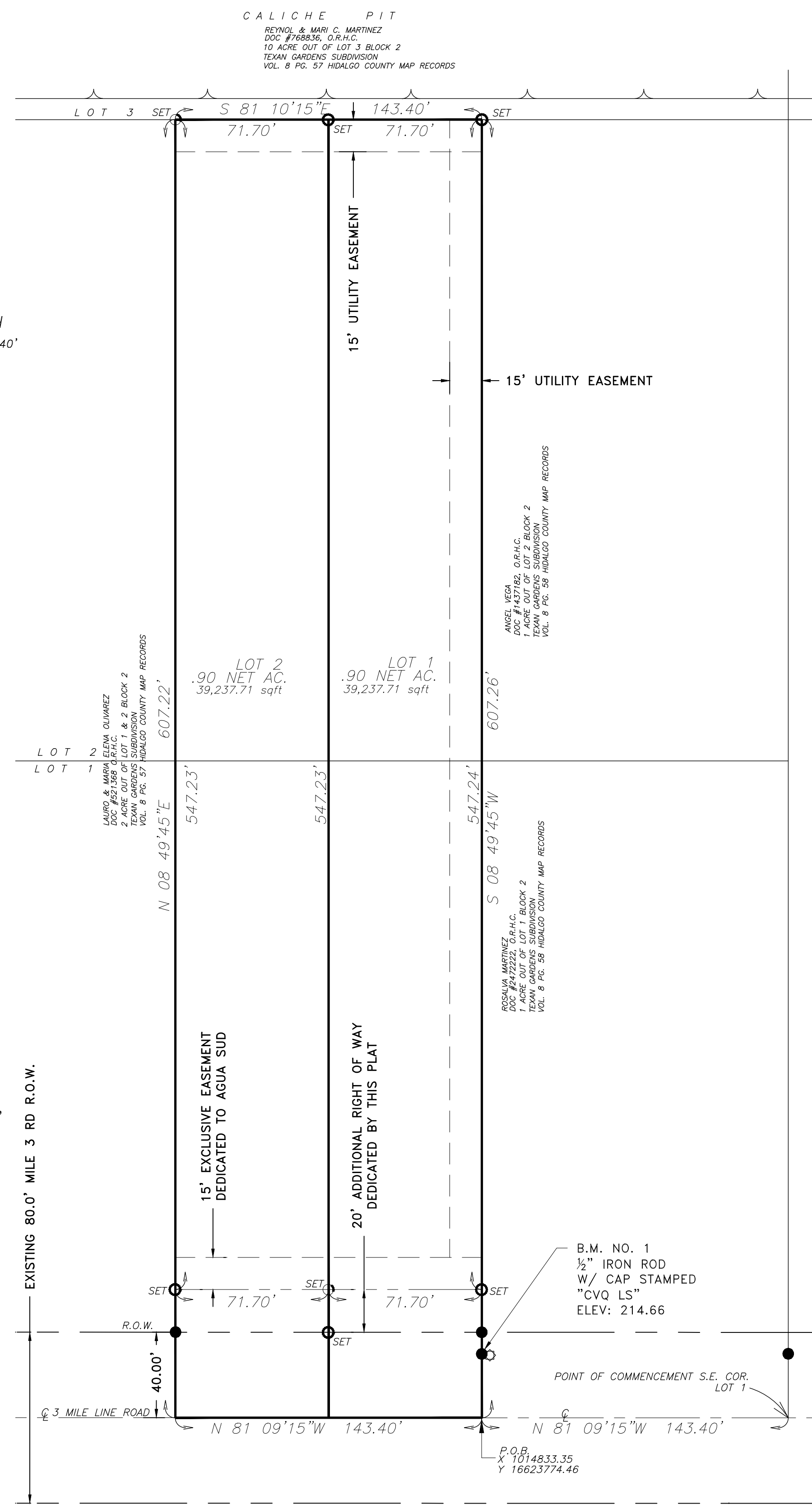
THENCE, SOUTH 81 10'15" EAST, 143.40 FEET, WITH THE NORTH LINE OF SAID LOT 2 AND THE SOUTH LINE OF LOT 3 TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "R&A" SET FOR THE NORTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED?

THENCE, SOUTH 08 49'45" WEST, WITH THE EAST LIE OF SAID LOTS 1 AND 2, AT A DISTANCE OF 567.26 FEET PASS A 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" FOUND FOR REFERENCE ON THE NORTH RIGHT OF WAY LINE OF SAID 3 MILE LINE ROAD AND CONTINUING FOR A TOTAL DISTANCE OF 607.26 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.00 ACRES OF LAND MORE OR LESS.



NO.	SHEET	REVISION	DATE	APPROVED

FCS FULCRUM CONSULTING SERVICES
PLANNERS * ENGINEERS * ARCHITECTS
P.O. BOX 530540 HARLINGEN, TX 78553
P.O. BOX 476, WESLACO, TX 78596
PH: 956-797-3411
FAX: 956-797-3400
TBAE FIRM No. BR 44



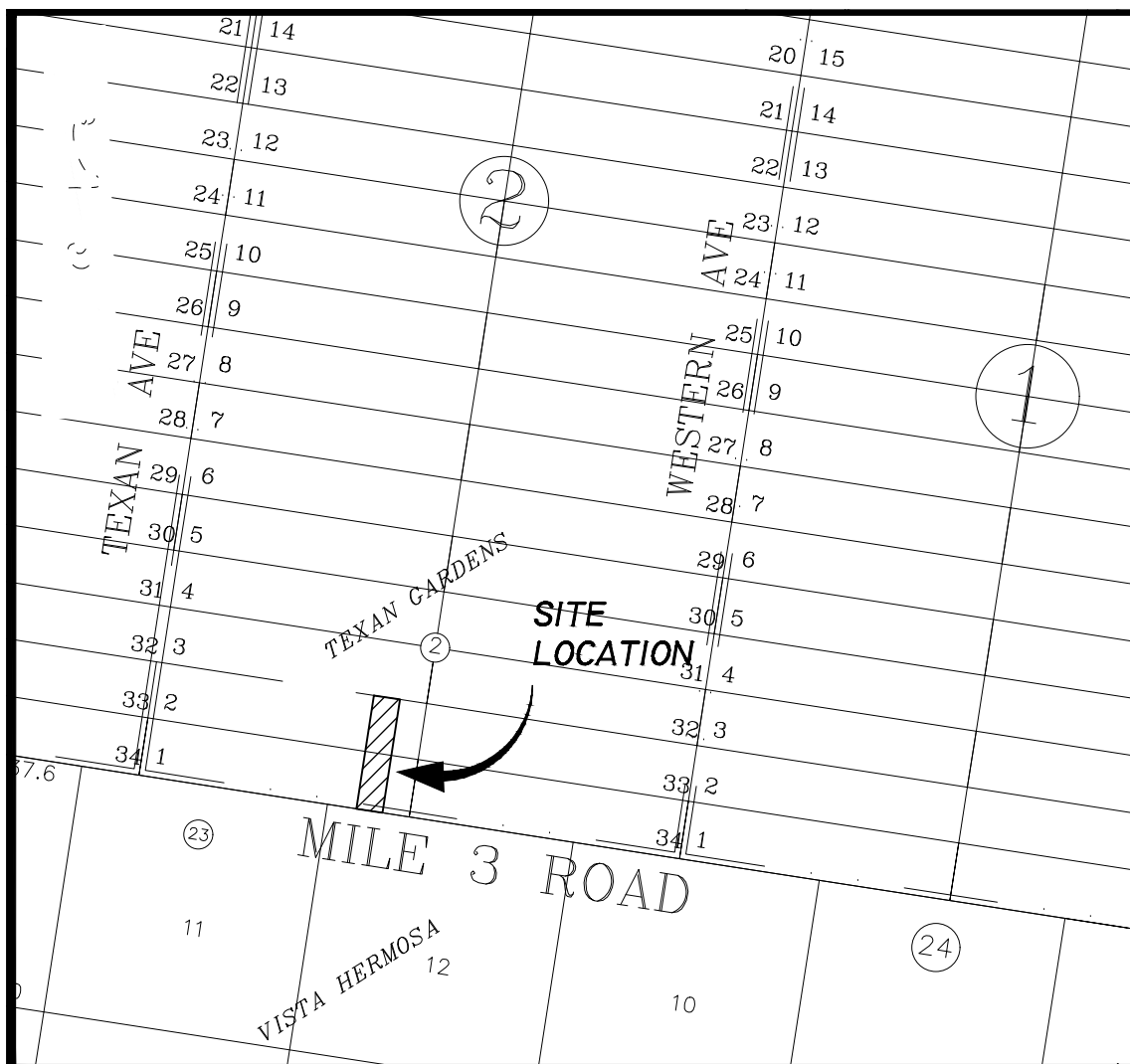
LOT 12, BLOCK 23
VILLA HERMOSA SUBDIVISION
VOLUME 4, PAGE 43, H.C.M.R.

INDEX TO SHEETS DEL ANGEL ESTATES SHEET 1 OF 2

1	LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES & BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; CITY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE ETJ OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. #1 CERTIFICATION; IRRIGATION DISTRICT CERTIFICATE OF APPROVAL; HCHD CERTIFICATION; REVISION NOTES.
2	WATER DISTRIBUTION AND SANITARY SEWER (OSSF) MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER (OSSF) AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION); SAMPLE OF LOG BORE FOR OSSF SYSTEM. TYPICAL WATER SERVICE CONNECTION; SUBDIVIDER CERTIFICATE AND STATEMENT. DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERS CERTIFICATION; REVISION NOTES; TYPICAL ROADWAY SECTION; CURB AND GUTTER SECTION VALLEY GUTTER SECTION.

DEL ANGEL ESTATES

DRAINAGE PLAN, UTILITY LAYOUT, AND MAP OF TOPOGRAPHY LAYOUT



LOCATION MAP
SCALE: 1"=1000'

DEL ANGEL ESTATES IS LOCATED WITHIN THE HIDALGO PRECINCT No. 3, IN THE NORTHWEST SIDE OF HIDALGO COUNTY ON MILE 3 ROAD APPROXIMATELY ONE-THIRD OF A MILE WEST OF WESTERN AVE. THE ONLY MUNICIPALITY IS THE CITY OF MISSION, ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF MISSION (POPULATION 82,431). DEL ANGEL ESTATES LIES APPROXIMATELY 3 MILES FROM THE CITY LIMITS OF MISSION AND IS WITHIN THE CITY'S 5 MILE EXTRATERRITORIAL JURISDICTION(ETJ) UNDER LOCAL GOVERNMENT CODE 212.001.

DRAINAGE REPORT: DEL ANGEL ESTATES

MARCH 29, 2017
DRAINAGE REPORT:
BY **GEORGE E. LAZARO, P.E.**
DEL ANGEL ESTATES
MISSION, HIDALGO COUNTY, TEXAS

LOCATION OF PROPERTY
DEL ANGEL ESTATES IS A TWO (2) LOT 2.00 ACRE TRACT OF LAND BEING THE WEST 143.4 FEET OF THE EAST 286.8 FEET OF LOT 1 AND THE WEST 143.3 FEET OF THE WEST 286.8 FEET OF LOT 2 BLOCK 2 TEXAN GARDENS, RECORDED IN VOLUME 8, PAGE 58, OF THE MAP RECORDS OF HIDALGO COUNTY TEXAS. THE SUBDIVISION IS LOCATED IN THE ETJ OF THE CITY OF MISSION ON THE NORTH SIDE OF MILE 3 ROAD BETWEEN WESTERN AVE. AND TEXAN RD.

EXISTING USE AND DRAINAGE PATTERNS
THIS PROPERTY IS CURRENTLY RESIDENTIAL LAND. THE EXISTING RUNOFF FLOW IS IN A NORTH WESTERLY DIRECTION VIA EXISTING NATURAL DRAINAGE PATTERNS. LARGE QUARRIES OR CALICHE PITS OF SIGNIFICANT DEPTH (APPROXIMATELY 15-30 FT. BASED ON VISUAL INSPECTION) EXIST TO THE NORTH, SOUTH, EAST AND WEST IN CLOSE PROXIMITY TO THE TRACT OF LAND. THE NORTH BORDER OF THE TRACT BORDERS TO A LARGE QUARRY OCCUPYING APPROXIMATELY 14-ACRES. BECAUSE THERE IS NO EXISTING CURB AND GUTTER SYSTEM AND MINIMAL TO FLAT DRAINAGE SWALES ALONG THE NORTH RIGHT-OF-WAY ALONG SMILE LINE RD., THE QUARRIES AND THE SUBDIVISION GREEN AREAS PROVIDE DRAINAGE TO THE TRACT AND SURROUNDING AREA.

PROPOSED USE AND DRAINAGE IMPROVEMENTS
THE PROPOSED USE FOR THIS LOT IS DESIGNATED FOR RESIDENTIAL AND AGRICULTURAL USE ONLY.
THERE ARE NO PLANNED IMPROVEMENTS FOR THE SUBDIVISION AT THIS TIME. THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 SHALL REVIEW THE DRAINAGE PLAN OF ANY PROPOSED DEVELOPMENT. APPROVAL BY THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 FOR FUTURE IMPROVEMENTS WILL BE REQUIRED AT THE TIME OF ISSUANCE OF BUILDING PERMIT. FUTURE IMPROVEMENTS SHALL BE DESIGNED SO THAT ANY ADDITIONAL PEAK RATE OF RUNOFF IN THIS SUBDIVISION IS NOT INCREASED DURING A 10-YEAR RAINFALL EVENT. THE ADDITIONAL PEAK RUNOFF SHALL BE RETAINED IN DETENTION AREAS ON EACH OF THE 2-LOTS.

CALCULATIONS:
FEMA FLOOD ZONE "C" COMMUNITY-PANEL NO. 480334 0400 C EFFECTIVE DATE: NOVEMBER 16, 1982.
SOIL HYDRAULIC GROUP IS "B". EXISTING STORM RUNOFF BASED ON THE RATIONAL METHOD FOR A 10 YEAR FREQUENCY STORM IS 1.2 CFS. TOTAL DETENTION REQUIREMENT IS 3,250.80 CF

CERTIFICATION:
BY MY SIGNATURE BELOW, I CERTIFY THAT THIS SUBDIVISION LIES IN A ZONE "C" AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN. COMMUNITY-PANEL NO. 480334 0400 C, EFFECTIVE DATE: NOVEMBER 16, 1982.

GEORGE E. LAZARO, P.E.
LICENSED PROFESSIONAL ENGINEER No. 93696

DATE _____

FINAL ENGINEERING REPORT: DEL ANGEL ESTATES

MARCH 29, 2017
ENGINEERING REPORT:
BY **GEORGE E. LAZARO, P.E.**
DEL ANGEL ESTATES
MISSION, HIDALGO COUNTY, TEXAS

WATER SUPPLY: DESCRIPTION AND COST
THE DEL ANGEL ESTATES WILL BE SUPPLIED POTABLE WATER BY AGUA SUD. THE SUBDIVIDER AND AGUA SUD HAVE ENTERED INTO CONTRACT IN WHICH AGUA SUD HAS PROMISED TO RESERVE A WATER METER FOR EACH OF THESE LOTS AND TO PROVIDE SUFFICIENT WATER TO THIS SUBDIVISION FOR AT LEAST 30 YEARS AND AGUA SUD HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF DEL ANGEL ESTATES.

AGUA S.U.D. HAS AN EXISTING 8IN DIAMETER WATER LINE RUNNING ALONG THE NORTH SIDE OF THE RIGHT-OF-WAY OF MILE 3 ROAD. FROM THE BIN LINE, A 1IN DUAL SERVICE LINE RUNS TO THE PAIR OF LOTS BEFORE SPLITTING INTO TWO 3/4IN DIAMETER SINGLE SERVICE LINES TO CONNECT TO THE EXISTING WATER METER BOXES FOR EACH LOT. THE WATER METERS HAVE ALREADY BEEN INSTALLED AND THE SUBDIVIDER HAS PAID AGUA SUD A SUM OF \$1,000.00 FOR A NON-STANDARD WATER SERVICE REQUIREMENTS OF THE AGUA SPECIAL UTILITY DISTRICT RULES.

SEWAGE FACILITIES: DESCRIPTION AND COSTS
SEWAGE FROM THE DEL ANGEL ESTATES WILL BE TREATED BY INDIVIDUAL ON-SITE SEWAGE FACILITY ("OSSF") CONSISTING OF STANDARD DESIGN DUAL COMPARTMENT SEPTIC TANK AND A DRAIN FIELD. THE UNDERSIGNED PROFESSIONAL ENGINEER HAS EVALUATED THE SUITABILITY OF THE SUBDIVISION SITE FOR OSSF AND SUBMITTED A REPORT CONCLUDING THAT THE SITE IS ADEQUATE FOR OSSF. THE REPORT HAS BEEN REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT. EACH LOT HAS ADEQUATE AREA FOR A REPLACEMENTS DRAIN FIELD.

EACH LOT IN THE SUBDIVISION IS APPROXIMATELY 1 ACRE IN SIZE. THE NATURAL RESOURCE CONSERVATION SERVICE SOIL SURVEY BOOK INDICATED A BRENNAN FINE SANDY LOAM AND RAMADERO SANDY CLAY LOAM. SOIL TEXTURE WAS SILTY CLAY LOAM, SOIL CLASS III. AT LEAST TWO SOIL EXCAVATIONS WERE PERFORMED ON THE SITE, AT OPPOSITE ENDS OF THE PROPOSED DISPOSAL AREA. (ADDITIONAL BORINGS WERE UNNECESSARY BECAUSE THE SOILS ARE VERY UNIFORM WITHIN THIS LIMIT AREA.) THE SOIL IS A UNIFORM SILTY CLAY LOAM EXTENDING UP TO 36" BELOW THE BOTTOM OF ANY PROPOSED EXCAVATIONS. THERE IS NO INDICATION OF GROUNDWATER OR A RESTRICTIVE LAYER WITHIN 24" OF BOTTOM OF THE PROPOSED EXCAVATIONS. THE SUBDIVISION DRAINS WELL.

THE ESTIMATED COST TO INSTALL A SEPTIC SYSTEM ON AN INDIVIDUAL LOT IS \$4,500 INCLUDING THE COSTS FOR THE REQUIRED PERMIT AND LICENSE. NO OSSF'S HAVE BEEN INSTALLED AS OF THE TIME OF THIS APPLICATION FOR FINAL PLAT APPROVAL. THE SUBDIVIDER WILL POST A LETTER OF CREDIT WITH THE FILING OF THIS FINAL PLAT WITH HIDALGO COUNTY TO COVER THE TOTAL SEPTIC SYSTEM COST OF \$4,500. THE SUBDIVIDER WILL INCLUDE THE COST OF A SEPTIC TANK SYSTEM IN THE SALE PRICE OF THE LOT.

CERTIFICACION:
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

WATER FACILITIES - THESE FACILITIES ARE FULLY CONSTRUCTED, INCLUDING WATER METERS AND WATER METER BOXES. THE TOTAL COST FOR THIS WATER SYSTEM INCLUDING ALL AGUA S.U.D. WAS \$1000.00, FOR THE ENTIRE SUBDIVISION.

SEWAGE FACILITIES - SEPTIC TANK SYSTEM (OSSF) IS ESTIMATED TO COST \$4,500 FOR THE ENTIRE SUBDIVISION.

GEORGE E. LAZARO, P.E.
LICENSED PROFESSIONAL ENGINEER No. 93696

DATE _____

FINAL ENGINEERING REPORT: (SPANISH VERSION)

MARCH 29, 2017
ENGINEERING REPORT:
BY **GEORGE E. LAZARO, P.E.**
DEL ANGEL ESTATES
MISSION, HIDALGO COUNTY, TEXAS

PROVISIONES DE AGUA: DESCRIPCION, GASTOS Y FECHAS DE INICIO:
DEL ANGEL ESTATES RECIBIRÁ SU PROVISIÓN DE AGUA DE AGUA SPECIAL UTILITY DISTRICT (LA COMPAÑIA DE AGUA SUD). EL DUEÑO DE LA SUBDIVISION Y AGUA SUD HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRÁ SU PROVISIÓN DE AGUA POR LOS PRÓXIMOS 30 AÑOS. AGUA SUD TENDRÁ QUE PRESENTAR DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

EL SISTEMA DE PROVISIÓN DE AGUA PARA LA SUBDIVISION CONSISTE DE UN CONDUCTO DE AGUA DE 8 PULGADAS DE DIÁMETRO QUE PASA POR EL LADO NORTE DEL DERECHO DE VÍA (RIGHT OF WAY) DE LA CARRETERA MILLA 3. DEL CONDUCTO DE AGUA DE 8 PULGADAS SE PRODUCE UN CONDUCTO DE UNA(1") PULGADA PARA LOS DOS LOTES. ESTOS CONDUCTOS SE SEPARAN PARA PRODUCIR DOS CONDUCTOS DE AGUA DE 3/4 DE PULGADA DE DIÁMETRO PARA CADA LOTE. YA SE HAN INSTALADO LOS CONDUCTOS DE AGUA LOS MEDIDORES MECÁNICOS DE AGUA Y EL DUEÑO A PAGADO UN COSTO TOTAL DE 1,000.00 A AGUA SUD POR EL CONTRATO REQUERIDO.

AGUAS RESIDUALES: INSTALACIÓN Y COSTOS:
SE INSTALARÁ UNA FOSA SÉPTICA EN CADA SOLAR. ESTA FOSA CONSISTE DE UN TANQUE SÉPTICO DE MODELO DUAL Y DE UN CAMPO DE DRENAJE PARA EL SOLAR. EL INGENIERO AUTOR DE ESTE DOCUMENTO HA EVALUADO EL ÁREA DONDE SE ENCUENTRA LA SUBDIVISION Y HA PREPARADO UN REPORTE QUE CONCLUYE QUE ESTE TERRENO ES ADECUADO PARA ESAS FOSAS SÉPTICAS (OSSF). EL REPORTE FUE APROBADO POR EL DEPARTAMENTO DE SALUBRIDAD DEL CONDADO DE HIDALGO (HIDALGO COUNTY HEALTH DEPARTMENT) SEGÚN EL REPORTE.

CADA LOTE EN LA SUBDIVISION MIDE APROXIMADAMENTE 1 ACRE. SE HICIERON DOS EXCAVACIONES DE EVALUACIÓN EN LUGARES OPUESTOS EN LA SUBDIVISION (EXCAVACIONES ADICIONALES NO FUERON NECESARIAS PORQUE EL TERRENO EN ESTA ÁREA ES SIGNIFICANTE UNIFORME). EL TERRENO ES UNIFORME SILTY ARCILLOSO Y SUELO FRANCO Y SE EXTIENDE A 36 PULGADAS BAJO TODAS LAS EXCAVACIONES PROPUESTAS. EL AGUA EN ESTA ÁREA FLUYE BIEN.

EL COSTO TOTAL PARA LA INSTALACIÓN DE UN SISTEMA INDIVIDUAL DE FOSAS SÉPTICAS POR SOLAR SON 4,500 DÓLARES, INCLUYENDO EL COSTO DEL PERMISO REQUERIDO Y LICENCIA. EN ESTOS MOMENTOS TODAS LAS FOSAS SÉPTICAS HAN SIDO INSTALADAS EN EL PROCESO DE LA APROBACIÓN FINAL. EL DEPARTAMENTO DE SALUBRIDAD DEL CONDADO DE HIDALGO HA INSPECCIONADO LAS FOSAS SÉPTICAS Y AH APROBADO LA INSTALACIÓN DE LAS FOSAS SÉPTICAS DESDE _____

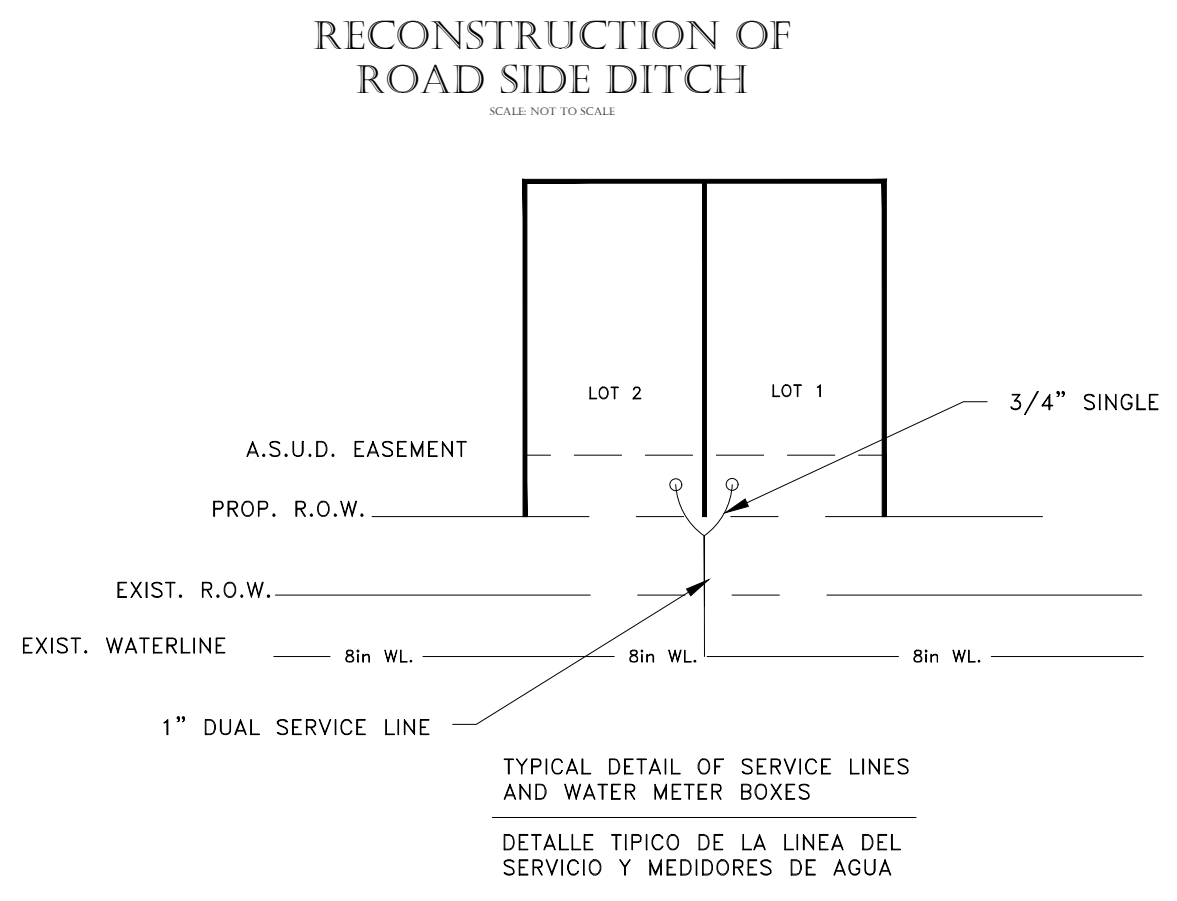
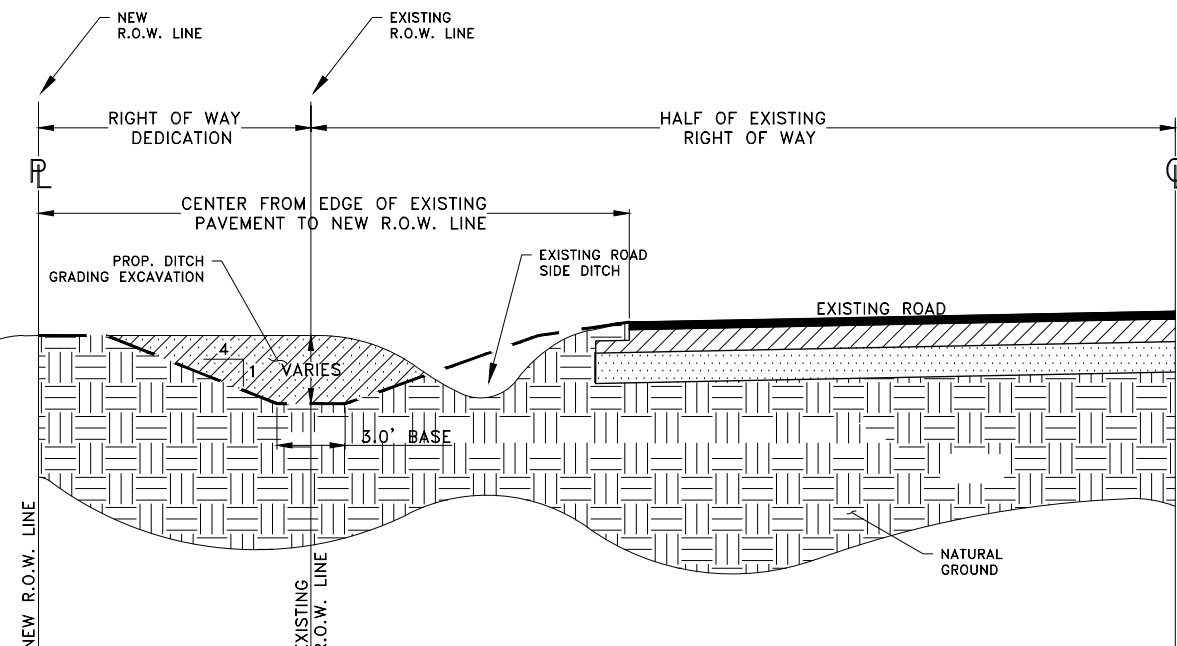
CERTIFICACION:
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

AGUA: EL SISTEMA/SERVICIO DE AGUA YA ESTA INSTALADO, INCULYENDO CONDUCTOS DE AGUA Y MEDIDORES MECANICOS DE AGUA. EL COSTO TOTAL PARA LA SUBDIVISION ES DE \$1,000.00, POR EL CONTRATO DE AGUA SUD.

DRENAJE: SE ESTIMA QUE LA FOSA SÉPTICA COSTARÁ \$4,500 PARA LA SUBDIVISION.

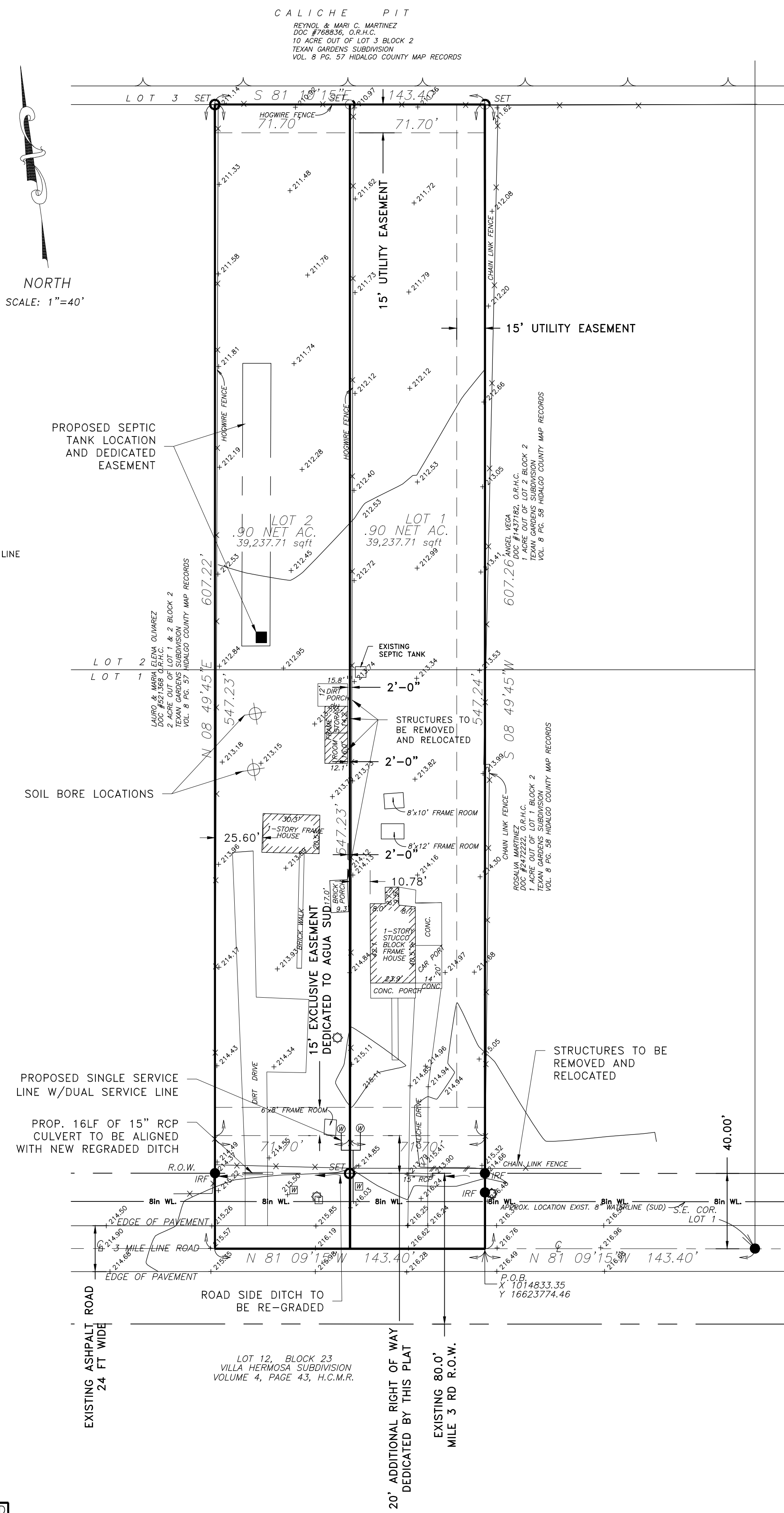
GEORGE E. LAZARO, P.E.
LICENSED PROFESSIONAL ENGINEER No. 93696

DATE _____



LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINES
- R.O.W LINE
- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "R&A"
- EASEMENT LINES
- SETBACK LINES
- ▲ CALICHE PIT GRADE
- 8in WL EXISTING 8IN ASUD WATER LINE
- × CHAINLINK FENCE
- /// WOOD FENCE
- AE< ANCHOR EYE
- W EXISTING WATER METER
- W PROPOSED WATER METER
- UTILITY POLE
- TELEPHONE PEDESTAL



SUBDIVIDER CERTIFICATION
I.- BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:
I.- I (WE), MARIA C. ORTEGA AND NORMA ORTEGA SUBDIVIDER OF DEL ANGEL ESTATES HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

MARIA C. ORTEGA _____ NORMA ORTEGA _____
7710 W MILE 3 ROAD, MISSION TX. 78574

PRINCIPAL CONTACTS:
OWNER: MARIA C. ORTEGA & NORMA ORTEGA 7710 W MILE 3 ROAD, MISSION, TX 78574 (956) 780-2543
ENGINEER: GEORGE E. LAZARO, P.E. P.O. BOX 530540, HARLINGEN, TX 78553 (956) 797-3411
SURVEYOR: REYNALDO ROBLES, R.P.L.S. P.O. BOX 476, WESLACO, TX 78596 (956) 968-2422

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DEL ANGEL ESTATES KNOWN TO ME BY THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

NO.	SHEET	REVISION	DATE	APPROVED

FULCRUM CONSULTING SERVICES
PLANNERS * ENGINEERS * ARCHITECTS
P.O. BOX 530540 HARLINGEN, TX 78553
PH: 956-797-3411 FAX: 956-797-3400
TBP# FIRM No. F12369 TBAE FIRM No. BR 44

INDEX TO SHEETS DEL ANGEL ESTATES SHEET 2 OF 2

1	LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES & BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; CITY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE ETJ OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. CERTIFICATION; IRRIGATION DISTRICT CERTIFICATE OF APPROVAL; RIGHT OF WAY CERTIFICATION; HCHD CERTIFICATION; REVISION NOTES.
2	WATER DISTRIBUTION AND SANITARY SEWER (OSSF) MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER (OSSF) AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION); SAMPLE OF LOG BORE FOR OSSF SYSTEM. TYPICAL WATER SERVICE CONNECTION; SUBDIVIDER CERTIFICATE AND STATEMENT. DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERS CERTIFICATION; REVISION NOTES.