



HIDALGO COUNTY PLANNING DEPARTMENT

T.J. Arredondo, CFM
Director of Planning

1304 SOUTH 25TH STREET
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 2-26-2020

PROPOSED SAN JACINTO ESTATES NO. 10 PHASE 1 SUBDIVISION PRECINCT No. 1.

ENGINEER: QUINTANILLA HEADLEY & ASSOCIATES DEVELOPER: JACINTO GARZA, PRESIDENT OF SAN JACINTO ENTERPRISES, LLC.

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 144 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INDUSTRIAL

ESTIMATED NUMBER OF STREETLIGHTS: 22

LOCATION DESCRIPTION: NORTH WEST CORNER OF MILE 10 NORTH ROAD AND MILE 4 WEST ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF WESLACO AND WAS APPROVED BY THE P&Z AND CITY COMMISSION OF SAID CITY

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 7-17-2019 PROPERTY LIES WITHIN FLOOD ZONE: "X" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 35.00 FEET ONTO MILE 10 NORTH ROAD AND 25.00 FEET ONTO MILE 4 WEST ROAD.

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 5-30-2019 BY, DANNY GUZMAN, PCT. 1 R.O.W. AGENT

H.C.H.D. PRELIMINARY APPROVAL DATE: N/A BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM: SANITARY SEWER BY: WESLACO LINE SIZE: 12" LOCATION: MILE 10 NORTH ROAD.

WATER SERVICE PROVIDER: N.A.W.S.C. EXISTING LINE SIZE: 8" LOCATION: MILE 10 NORTH ROAD.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 6-03-2019 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed project.

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: _____

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, other departments and the approval of the City of WESLACO.

Final Approval subject to recommendations other departments

Final Approval with financial guarantee.

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

SUBDIVISION PLAT OF:

SAN JACINTO ESTATES No. 10 PHASE I

A 43.16 ACRE TRACT OF LAND BEING ALL OF FARM TRACT 87 AND 2.25 ACRES OUT OF FARM TRACT 94, WEST AND ADAMS TRACTS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2873612 AND 2873886, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

TRACT 1 METES AND BOUNDS

A 40.89 ACRE TRACT OF LAND BEING ALL OF FARM TRACT 87 AND 0.89 OF AN ACRE OUT OF FARM TRACT 94, WEST AND ADAMS TRACTS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2873612 AND 2873886, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING AT A COTTON PICKER SPINDLE FOUND AT THE INTERSECTION OF THE CENTERLINES OF MILE 10 NORTH ROAD AND MILE 4 WEST ROAD FOR THE SOUTHEAST CORNER OF FARM TRACT 87 AND THE SOUTHEAST CORNER OF THIS TRACT.

THENCE, WEST, ALONG THE SOUTH LINE OF FARM TRACT 87 AND THE CENTERLINE OF MILE 10 NORTH ROAD, PASSING AT 1,320.00 FEET A COTTON PICKER SPINDLE FOUND FOR A COMMON CORNER OF FARM TRACT 87 AND 94, AND CONTINUING ALONG THE SOUTH LINE OF FARM TRACT 94, A TOTAL DISTANCE OF 1,370.00 FEET TO A COTTON PICKER SPINDLE SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE, NORTH, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 25.00 FEET FOR THE NORTH RIGHT OF WAY LINE OF MILE 10 NORTH ROAD, A TOTAL DISTANCE OF 60.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' E, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 90.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' W, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 50.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' E, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 210.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' W, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 50.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' E, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 210.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' W, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 50.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' E, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 210.30 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, N 45°00' W, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 50.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE, EAST, A DISTANCE OF 50.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE, NORTH, A DISTANCE OF 140.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR THE NORTHWEST CORNER OF FARM TRACT 87, THE NORTHEAST CORNER OF FARM TRACT 94, AND THE NORTHWEST CORNER OF THIS TRACT.

THENCE, EAST, ALONG THE NORTH LINE OF FARM TRACT 87, PASSING A 1/2" IRON ROD FOUND AT 1,295.00 FEET FOR THE WEST RIGHT OF WAY LINE OF MILE 4 WEST ROAD, A TOTAL DISTANCE OF 1,320.00 FEET TO A COTTON PICKER SPINDLE SET FOR THE NORTHEAST CORNER OF FARM TRACT 87 AND THE NORTHEAST CORNER OF THIS TRACT.

THENCE, SOUTH, ALONG THE EAST LINE OF FARM TRACT 87, A DISTANCE OF 1,320.30 FEET (MAP RECORD: 1,320.00 FEET) TO THE POINT OF BEGINNING AND CONTAINING 40.89 ACRES OF LAND MORE OR LESS.

TRACT 2
A 2.27 ACRE TRACT OF LAND OUT OF FARM TRACT 94, WEST AND ADAMS TRACTS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2873612, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING AT A COTTON PICKER SPINDLE SET ON THE SOUTH LINE OF FARM TRACT 94, AND IN THE CENTERLINE OF MILE 10 NORTH ROAD FOR THE SOUTHWEST CORNER OF THIS TRACT, SAID SPINDLE BEARS WEST, 473.50 FEET TO A COTTON PICKER SPINDLE SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE, WEST, ALONG THE SOUTH LINE OF FARM TRACT 94, AND THE CENTERLINE OF MILE 10 NORTH ROAD, A DISTANCE OF 75.00 FEET TO A COTTON PICKER SPINDLE SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE, N 00°03'54" W, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 25.00 FEET FOR THE NORTH RIGHT OF WAY LINE OF MILE 10 NORTH ROAD, A TOTAL DISTANCE OF 1,320.13 FEET (MAP RECORD: 1,320.00 FEET) TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE NORTH LINE OF FARM TRACT 94 FOR THE NORTHWEST CORNER OF THIS TRACT.

THENCE, N 89°58'49" E (MAP RECORD: EAST), ALONG THE NORTH LINE OF FARM TRACT 94, A DISTANCE OF 75.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE, S 00°03'54" E, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 1,295.13 FEET FOR THE NORTH RIGHT OF WAY LINE OF MILE 10 NORTH ROAD, A TOTAL DISTANCE OF 1,320.13 FEET (MAP RECORD: 1,320.00 FEET) TO THE POINT OF BEGINNING, AND CONTAINING 2.27 ACRES OF LAND MORE OR LESS.

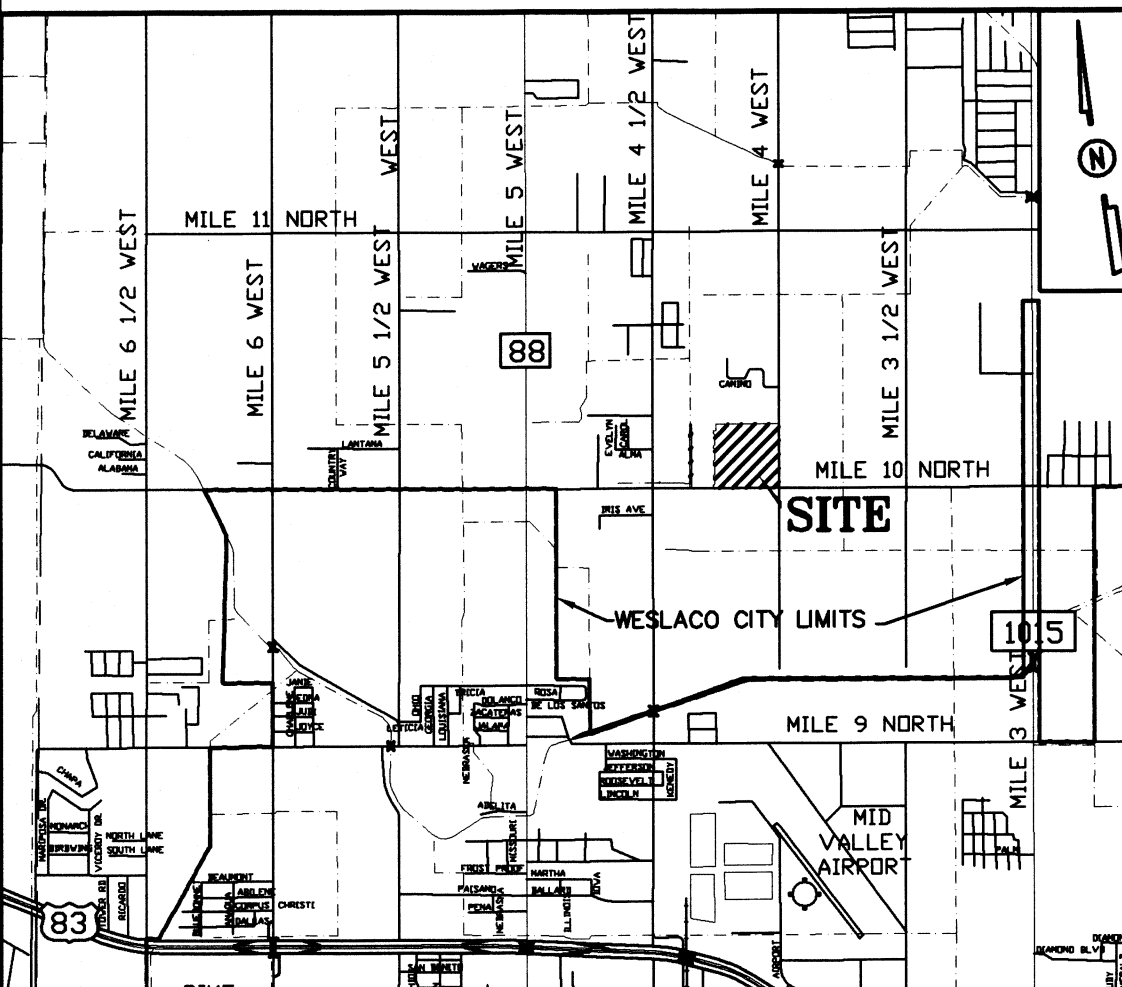
BEARINGS ARE IN ACCORDANCE WITH SAN JACINTO ESTATES No.7, RECORDED IN INSTRUMENT NUMBER 2223371, MAP RECORDS, HIDALGO COUNTY, TEXAS.

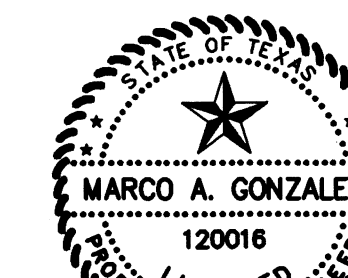
STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.


ALFONSO QUINTANILLA
R.L.S. No. 4856
DATE: 4-24-19

LOCATION MAP SCALE 1" = 4000'




MARCO A. GONZALEZ
P.E. No. 120016
DATE: 2-14-20

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

SAN JACINTO ESTATES No. 10 PHASE I IS LOCATED SOUTHEAST HIDALGO COUNTY ON THE NORTHWEST CORNER OF MILE 10 NORTH ROAD AND MILE 4 WEST ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF WESLACO ACCORDING TO THE OFFICIAL MAP OF THE OFFICE OF THE SECRETARY OF THE CITY OF WESLACO (POPULATION 37,797). SAN JACINTO ESTATES No. 10 PHASE I, IS APPROXIMATELY 0.50 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S THREE-MILE EXTRA-TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PCT. 1

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone	Fax
OWNER: SAN JACINTO ENTERPRISES, L.L.C.	2100 W. EXPRESSWAY 83	MERCEDES, TX 78570	(956)565-9813	565-9018
ENGINEER: MARCO A. GONZALEZ	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	381-0527
SURVEYOR: ALFONSO QUINTANILLA	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	381-0527

PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "X"
AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
FLOOD ZONE DESIGNATION: ZONE "X" (NO SHADING)
AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.
COMMUNITY-PANEL NUMBER 480334 0450 C
EFFECTIVE DATE: JUNE 6, 2000, L.O.M.R.: MAY 30, 2002.
LETTER OF MAP REVISION BASED ON FILL (LOMR-F) APPROVED BY FEMA ON September 21, 2018 CASE NO. 18-06-34474
THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT-OF-WAY ARE WITHIN THE 100-YEAR FLOOD PLAIN, C.P.N. 480334 0450 C. EFFECTIVE DATE: JUNE 6, 2000, REVISED MAY 30, 2002, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAN ADMINISTRATOR IDENTIFIES NO OTHER AREA WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.
CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOODPLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
NOTE: AS PER FEMA MAP (COMMUNITY-PANEL NUMBER 480334 0450 C EFFECTIVE DATE: JUNE 6, 2000, L.O.M.R.: MAY 30, 2002), THE BASE FLOOD ELEVATION IN THE ADJOINING AREA HAS BEEN DETERMINED TO BE ELEV. =64.00
- SETBACKS:
FRONT 25.00 FEET
REAR 15.00 FEET
REAR LOTS 1-22 & 123-144 30.00 FEET
SIDE 6.00 FEET
CORNER SIDE 10.00 FEET
OR EASEMENT WHICHEVER IS GREATER IN ALL CASES
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
- MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE CENTER LINE OF STREET, TOP OF CURB, OR ELEVATION 65.00, WHICHEVER IS GREATER.
ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- BENCHMARK NOTE:
THE FOLLOWING BENCHMARK IS IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:
BENCHMARK No. 1: ELEV.=63.10 TOP OF INLET LOCATED NEAR THE SOUTHEAST CORNER LOT 56. N.A.V.D. 88 DATUM
BENCHMARK No. 2: ELEV.=63.00 TOP OF INLET LOCATED NEAR THE SOUTHEAST CORNER LOT 102. N.A.V.D. 88 DATUM
- DRAINAGE:
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL OF 173,999.50 CUBIC FEET (3.98 ACRE FEET) OF STORM WATER RUNOFF DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS:
SEE DRAINAGE REPORT ON SHEET No.3.
- A 4.0 FT SIDEWALK IS REQUIRED ALONG EXTERIOR PERMETER UPON ISSUANCE OF BUILDING PERMIT AS REQUIRED BY THE CITY OF WESLACO.
- LEGEND: -- DENOTES 1/2"x24" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856, UNLESS OTHERWISE NOTED.
- NO ACCESS SHALL BE PERMITTED ONTO MILE 10 OR MILE 4 FOR LOTS 1-4, 5-22, 72, 73, 140-144. DEVELOPER SHALL PROVIDE LOTS WITH BUFFER FENCE ABUTTING MILE 4 WEST AND MILE 10 NORTH TO DENY ACCESS ONTO THE LOTS.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT.
EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DENOTED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES BY SIGNING THIS PLAT DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX C: COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4.
- GENERAL NOTE FOR SINGLE FAMILY RESIDENCES:
NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. NO COMMERCIAL USE SHALL BE ALLOWED. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- THE DEVELOPER WILL BE RESPONSIBLE FOR THE STREET LIGHT INSTALLATION. AS REQUIRED BY HIDALGO COUNTY. STREETLIGHT WILL BE EVERY 250 FEET.
- CLEARANCES FOR WATER METERS:
AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METERS(S).
- D.E. DENOTES DRAINAGE EASEMENT

THIS PLAT IS APPROVED BY THE HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No. 9, DATED THIS _____ DAY OF _____, 20____.

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No. 9 RIGHT-OF-WAYS AND/OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCOCD #9.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- HCOCD #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER SYSTEM TO ANY LOT WITHIN THIS SUBDIVISION. AS WELL, HCOCD #9 WILL NOT BE RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITHIN THIS SUBDIVISION. IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- HCOCD #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.

GENERAL MANAGER _____ DATE _____
HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No. 9

APPROVED BY DRAINAGE DISTRICT:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE (49.211 C-1). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER

RIGHT OF WAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, owners of the property shown on this plat, their successors, assigns, and transferees (hereinafter called "Grantor" whether one or more persons are named), in consideration of one dollar (\$1.00) and other good and valuable consideration paid by North Alamo Water Supply Corporation, (hereinafter called "Grantee"), the receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain, sell, transfer, and convey to said Grantee, its successors, and assigns, on perpetual easement with the right to erect, construct, install and thereafter use, operate, inspect, repair, maintain, replace, and remove water distribution lines and appurtenances over and across the lands shown on this plat, together with the right of ingress and egress over Grantor's adjacent lands of the purpose for which the above mentioned rights are granted. The easement hereby granted shall not exceed 15' in width, and Grantee is hereby authorized to designate the course of the easement herein conveyed except that when the pipeline(s) is installed, the easement herein granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline installed.

In the event the easement hereby granted abuts on a public road and the city, county or state hereafter widens or relocates the public road so as to require the relocation of this water line as installed, Grantor further grants to Grantee an additional easement over and across the land shown on this plat for the purpose of laterally relocate said water line as may be necessary to clear the road improvements, which easement hereby granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline as relocated.

The consideration recited herein shall constitute payment in full for all damages sustained by Grantor by reason of the installation, maintenance, repair, replacement and relocation of the structures referred to herein. This agreement together with other provisions of this grant shall constitute an easement for the benefit of the Grantee, its successors, and assigns. The Grantor covenants that it is the owner of the above-described lands and that said lands are free and clear of all encumbrances and liens except the following:

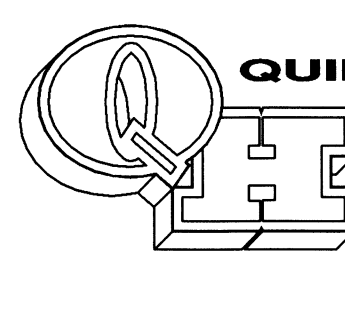
The easement conveyed herein was obtained or improved through Federal financial assistance. This easement is subject to the provisions of Title VI of the Civil Rights Act of 1964 and the regulations issued pursuant thereto for so long as the easement continues to be used for the same or similar purpose for which financial assistance was extended or for so long as the Grantee owns it, whichever is longer.

IN WITNESS WHEREOF the said Grantor executed this instrument this _____ day of _____, 20____.

JACINTO GARZA, PRESIDENT

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- SHEET 1
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- SHEET 2
LOCATION MAP, HEADING INDEX: LOCATION MAP AND ETJ: PRINCIPAL CONTACTS: MAP: LOT, STREETS, AND EASEMENT LAYOUT: LINE AND CURVE DATA: ENGINEER'S & SURVEYOR'S CERTIFICATION: COUNTY CLERK RECORDING CERTIFICATE, REVISION NOTES
- SHEET 3
WATER DISTRIBUTION AND SANITARY SEWER (OSSF) MAP, ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTE WATER/OSSF AND ENGINEER'S CERTIFICATION CERTIFICATE AND SPANISH VERSION) SUBDIVIDER CERTIFICATE & STATEMENT
- SHEET 4
DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DRAINAGE SWALES, MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERING CERTIFICATION: REVISION NOTES.
- SHEET 5
CONSTRUCTION DETAILS: ENGINEERING CERTIFICATION: REVISION NOTES.

 **QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**
CONSULTING ENGINEERS LAND SURVEYORS
124 E. STUBBS ST. PHONE 956-381-6480
EDINBURG, TEXAS 78539 FAX 956-381-0527
ENGINEERING REGISTRATION NUMBER F-1513 ALFONSO@QQA-ENG.COM
SURVEYING REGISTRATION NUMBER 100411-00

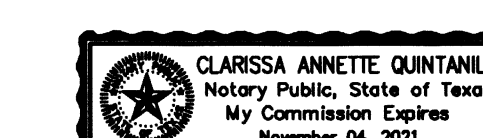
REVISION NOTES

No.	Sheet	REVISION	Date	Approved

STATE OF TEXAS
COUNTY OF HIDALGO
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION
I, JACINTO GARZA, PRESIDENT, AS OWNER OF THE 43.16 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED SAN JACINTO ESTATES No. 10 PHASE I, HEREBY SUBMIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.
I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT:
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

SAN JACINTO ENTERPRISES, L.L.C. _____ DATE _____
JACINTO GARZA, PRESIDENT
2100 W. EXPRESSWAY 83
MERCEDES, TEXAS 78570

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, the undersigned notary public, on this day personally appeared JACINTO GARZA, PRESIDENT, proved to me through his Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that he executed the same for the purposes and consideration thereby expressed.
Given under my hand and seal of office this _____ day of _____, 20____.



CLARISSA ANNETTE QUINTANILLA - NOTARY PUBLIC

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028(c)
WE THE UNDERSIGNED CERTIFY that this plat of the SAN JACINTO ESTATES No. 10 PHASE I, was reviewed and approved by the Hidalgo County Commissioners Court on _____


Hidalgo County Judge _____ Date _____
ATTEST: Hidalgo County Clerk _____ Date _____

CITY OF WESLACO
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE §212.009(c) AND §212.0115(b)
WE THE UNDERSIGNED CERTIFY that this plat of the SAN JACINTO ESTATES No. 10 PH I, was reviewed and approved by the City Council of the City of Weslaco on _____

Mayor of the City of Weslaco _____ Date _____
ATTEST: Secretary of the City of Weslaco _____ Date _____

STATE OF TEXAS
COUNTY OF WESLACO
I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WESLACO, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING COMMISSION

 FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

SHEET NO. 1 OF 5 SHEETS

FILENAME: F:\DATA\SUBDIVISIONS\WESLACO\SAN JACINTO ESTATES No. 10\PLAT			
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
APRIL 24, 2019	M. GONZALEZ		
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY

**SUBDIVISION PLAT OF:
SAN JACINTO ESTATES No. 10
PHASE I**

A 43.16 ACRE TRACT OF LAND BEING ALL OF FARM TRACT 87 AND 2.25 ACRES OUT OF FARM TRACT 94, WEST AND ADAMS TRACTS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2873612 AND 2873886, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



Alfonso Quintanilla
ALFONSO QUINTANILLA
R.P.L.S. No. 4856

4-24-19
DATE

STATE OF TEXAS
COUNTY OF HIDALGO

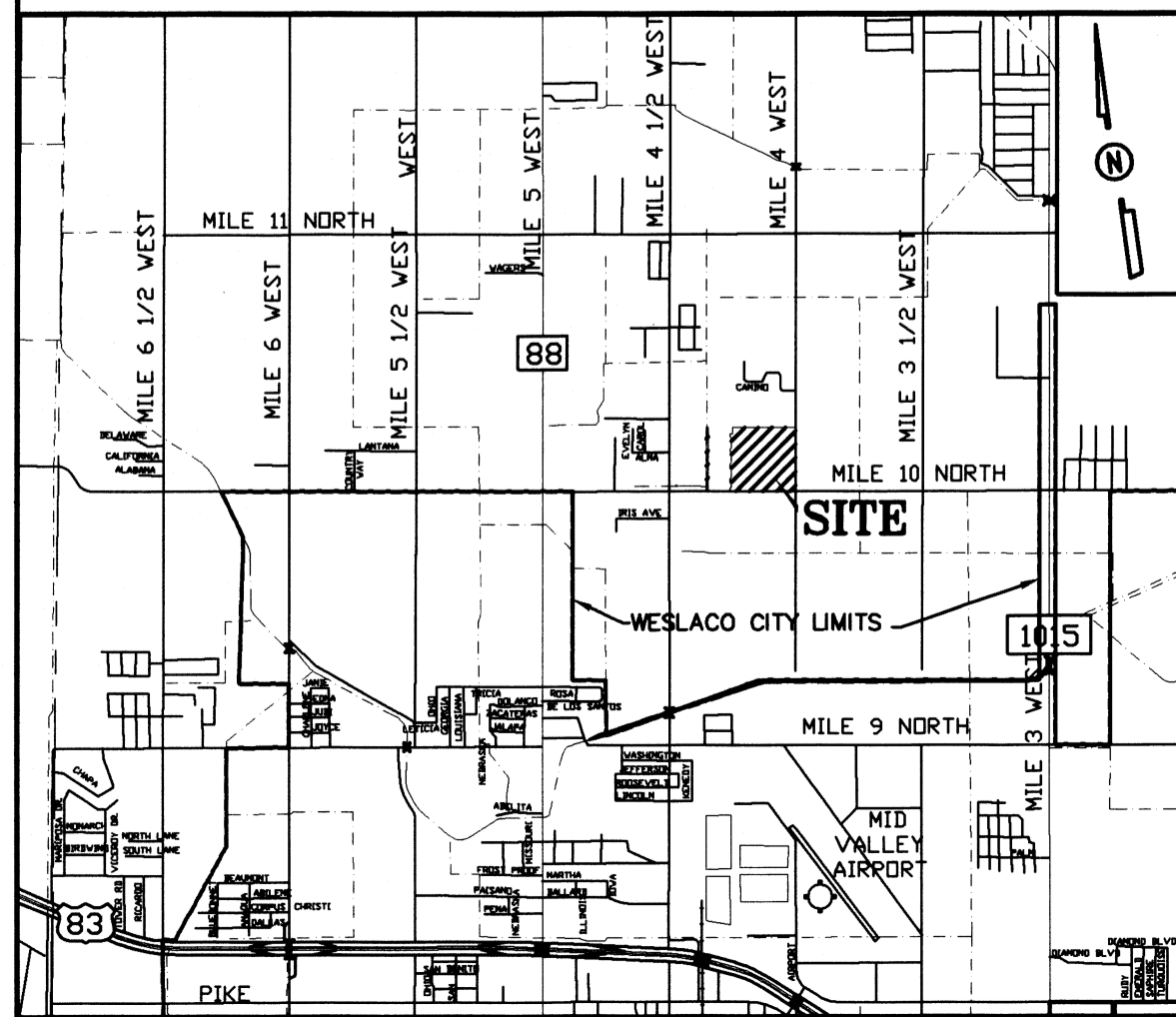
I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



Marco A. Gonzalez
MARCO A. GONZALEZ
P.E. No. 120016

2-14-20
DATE

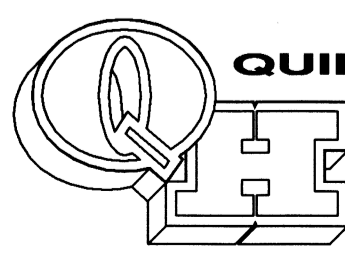
LOCATION MAP SCALE 1" = 4000'



LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:
SAN JACINTO ESTATES No. 10 PHASE I IS LOCATED SOUTHEAST HIDALGO COUNTY ON THE NORTHWEST CORNER OF MILE 10 NORTH ROAD AND MILE 4 WEST ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF WESLACO ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF WESLACO (POPULATION 37,797). SAN JACINTO ESTATES No. 10 PHASE I, IS APPROXIMATELY 0.50 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S THREE-MILE EXTRA-TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021, IT LIES IN PCT. 1

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone	Fax
OWNER: SAN JACINTO ENTERPRISES, L.L.C.	2100 W. EXPRESSWAY 83	MERCEDES, TX 78570	(956)955-8813	565-9018
ENGINEER: MARCO A. GONZALEZ	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	381-0527
SURVEYOR: ALFONSO QUINTANILLA	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	381-0527



CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
ALFONSO@QQA-ENG.COM

REVISION NOTES

No.	Sheet	REVISION	Date	Approved

LINE DATA TABLE

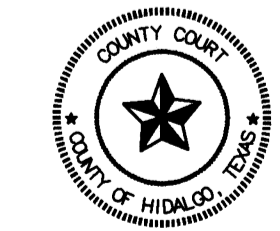
DATA	BEARING	LENGTH
L1	S 45°00'00" E	35.36'
L2	S 45°00'00" W	35.36'
L3	N 45°00'00" W	35.36'
L4	N 45°00'00" E	35.36'
L5	S 45°00'00" W	70.71'
L6	S 45°00'00" W	21.21'
L7	S 45°00'00" E	21.21'
L8	N 45°00'00" E	21.21'
L9	N 45°00'00" W	21.21'

CURVE DATA TABLE

CURVE	Δ	RADIUS	LENGTH	CHORD
"A"	78°21'00"	50.00'	66.63'	61.81'
"B"	57°18'00"	50.00'	50.00'	47.95'
"C"	64°47'06"	50.00'	56.54'	53.57'
"D"	57°18'00"	50.00'	50.00'	47.95'
"E"	23°07'48"	50.00'	20.18'	20.05'

LOT AREA TABLE

LOT	AREA (S.F.)	AREA (AC.)
1	10775.00	0.247
2-3	10850.00	0.249
4	9351.33	0.215
5	15039.62	0.345
6	9398.45	0.216
7	8986.65	0.206
8-21	9100.00	0.209
22	9875.00	0.227
23	8900.00	0.204
24-37	8450.00	0.194
38-39	8987.50	0.206
40-53	8450.00	0.194
54	8500.00	0.204
55	10087.50	0.232
56-71	8450.00	0.194
72-73	10087.50	0.232
74-89	8450.00	0.194
90	10087.50	0.232
91	8910.50	0.204
92-105	8459.75	0.194
106-107	8998.00	0.206
108-121	8459.75	0.194
122	8910.50	0.204
123-138	9100.00	0.209
139	12939.99	0.297
140	16046.07	0.368
141	10840.00	0.249
142-143	10850.00	0.249
144	10816.98	0.248



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET NO. 2 OF 5 SHEETS

FILENAME	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
F:\DATA\SUBDIVS\WESLACO\SAN JACINTO ESTATES No. 10_PLAT	APRIL 24, 2019	M. GONZALEZ		
	DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY

MAP OF WATER DISTRIBUTION SYSTEM/ MAPA DE DISTRIBUCION DE AGUA

SAN JACINTO ESTATES No. 10 PHASE I

A 43.17 ACRE TRACT OF LAND BEING ALL OF FARM TRACT 87 AND 3.17 ACRES OUT OF FARM TRACT 94, WEST AND ADAMS TRACTS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2873612 AND 2873886, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

FINAL ENGINEERING REPORT FOR SAN JACINTO ESTATES No. 10 PHASE I
BY MARCO A. GONZALEZ, P.E.

WATER SUPPLY: Description and Costs.

SAN JACINTO ESTATES No. 10 PHASE I WILL BE PROVIDED WITH POTABLE WATER BY NORTH ALAMO WATER SUPPLY CORPORATION ("N.A.W.S.C."). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAVE PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THE SUBDIVISION. N.A.W.S.C. HAS EXISTING 8" DIAMETER WATERLINE ALONG THE NORTH SIDE OF MILE 10 NORTH ROAD AND AN EXISTING 4" DIAMETER WATERLINE RUNNING ALONG THE EAST SIDE OF MILE 4 WEST ROAD.

THE WATER SYSTEM FOR SAN JACINTO ESTATES No. 10 PHASE I WILL CONSIST OF A PROP. 8" DIAMETER WATERLINE THAT CONNECTS TO THE SAID EXIST. 4" WATERLINE, THE WATERLINE RUN WEST ON THE NORTH SIDE OF MILE 10 NORTH ROAD AND CONNECTS TO THE 8" DIAMETER WATERLINE ON THE WEST SIDE OF MILE 10 NORTH ROAD, THE WEST END CORNER OF LOT 22, AN 8" DIAMETER WATERLINE RUN NORTH ALONG THE EAST SIDE OF SALINAS STREET, TURN EAST ON RANCHO VIEJO STREET AND RUN EAST ALONG SAID STREET, TURN SOUTH ON TIO AVENUE, IT CONNECTS WITH AN 8" WATERLINE IN ALMA STREET.

THREE ADDITIONAL 8" DIAMETER WATERLINES RUNS ALONG THE SOUTH SIDE OF ALMA STREET, NORTH SIDE OF AURORA STREET, NORTH SIDE OF SUMMERVIEW DRIVE AND CONNECT AT SALINAS STREET WATERLINE ENDING WITH A 2" FLUSH VALVE LOCATED ON THE WEST SIDE OF THE SUBDIVISION.

FROM THE 8" WATERLINE, SIXTY-SIX (66) 1" DUAL WATER SERVICES RUN TO PAIRS OF LOTS AND TWELVE (12) 3/4" DIAMETER SINGLE SERVICES GOING TO THE METER BOXES FOR EACH LOT, AND EIGHT (8) FIRE HYDRANTS WILL BE INSTALLED.

THE 8" DIAMETER WATERLINE, THE 1" DUAL SERVICE LINES, AND THE 3/4" SINGLE SERVICE LINES, AND THE WATER METER BOXES HAVE BEEN INSTALLED AT A TOTAL COST OF \$ _____ PER LOT. IN ADDITION, THE SUBDIVIDER WILL PAY N.A.W.S.C. THE SUM OF \$ _____ OR \$ _____ PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SHOWS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES AND ALL MEMBERSHIPS OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.A.W.S.C. UPON REQUEST BY THE LOT OWNER OF A LOT, N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT, THE SUBDIVIDER WILL INSTALL EIGHT (8) FIRE HYDRANTS AT A UNIT COST OF \$ _____ FOR A TOTAL COST OF \$ _____ OF THE ENTIRE FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

SEWAGE FACILITIES: Description and Costs.

SAN JACINTO ESTATES No. 10 PHASE I IS TREATED BY WASTEWATER UTILITY FROM THE CITY OF WESLACO, THE SUBDIVIDER AND THE CITY OF WESLACO HAVE ENTERED INTO A CONTRACT IN WHICH THE CITY OF WESLACO PROMISED TO TREAT WASTEWATER FOR AT LEAST 30 YEARS AND THE CITY OF WESLACO HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THE SUBDIVISION.

THE CITY OF WESLACO HAS AN EXISTING 12" SANITARY SEWER LINE THAT RUNS ALONG THE SOUTH SIDE OF MILE 10 NORTH ROAD.

THE SANITARY SEWER SYSTEM FOR SAN JACINTO ESTATES No. 10 PHASE I CONSIST OF NINETEEN (19) MANHOLES AND A LINE 8" DIAMETER SEWER LINE THAT TIES IN TO THE EXISTING 12" SANITARY SEWER LINE, THEN RUNS NORTH A DISTANCE OF 1200.00 FEET ALONG THE WEST SIDE OF ALMA STREET CONTINUING EAST A DISTANCE OF 1149.00 FEET ALONG THE NORTH SIDE OF RANCHO VIEJO STREET CONTINUING SOUTH ALONG THE EAST SIDE OF TIO AVENUE A DISTANCE OF 311.00 FEET WHERE IT CONNECTS WITH A MANHOLE, THREE (3) DIAMETER SEWER LINES RUN WEST ALONG THE NORTH SIDE OF ALMA STREET A DISTANCE OF 1267.00 FEET, SOUTH SIDE OF AURORA STREET A DISTANCE OF 1149.00 FEET AND SOUTH SIDE WILL OF SUMMERVIEW A DISTANCE OF 1267.00 FEET ENDING WITH A MANHOLE AT THE 12" SEWER LINE OF SALINAS STREET.

FROM THE 8" LINE, ONE HUNDRED FORTY-FOUR (144) 4" DIAMETER SEWER SERVICE LINES RUN FOR EACH LOT.

THE 8" LINE, THE 4" SERVICE LINE AND THE NINETEEN (19) SANITARY SEWER MANHOLES WILL BE INSTALLED AT A TOTAL COST OF \$ _____ OR \$ _____ PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID CITY OF WESLACO THE SUM OF \$ _____ WHICH COVERS THE \$ _____ PER LOT AS STATED IN THE 30 YEAR WASTE WATER SERVICE AGREEMENT WHICH SHOWS THE TOTAL COST OF THE SEWER SYSTEM, RIGHTS ACQUISITION FEES AND ALL MEMBERSHIPS OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO THE CITY OF WESLACO, THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

CERTIFICATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SANITARY SEWER DISTRIBUTION SYSTEM DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.043, WATER CODE, TITLE 16, CHAPTER 16.043, WHICH PROVIDES THAT THE ESTIMATED COSTS TO INSTALL CONSTRUCTED WATER AND SANITARY SEWER DISTRIBUTION SYSTEM, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES- THESE FACILITIES ARE FULLY CONSTRUCTED, WITH INSTALLATION OF WATER METERS, AT A TOTAL COST OF \$ _____ OR \$ _____ PER LOT.

SEWAGE FACILITIES- SANITARY SEWER DISTRIBUTION SYSTEM WILL BE CONSTRUCTED AT A COST OF \$ _____ WHICH EQUALS TO \$ _____ PER LOT.



Marco A. Gonzalez
MARCO A. GONZALEZ
P.E. 120016
DATE 2-14-20

REPORTE FINAL DE INGENIERIA PARA LA SUBDIVISION SAN JACINTO ESTATES No. 10 PHASE I
POR MARCO A. GONZALEZ, P.E.

PROVISION DE AGUA: Descripción y Costos.

SAN JACINTO ESTATES No. 10 PHASE I SERA PROVISITA DE AGUA POTABLE POR LA COMPANIA DE AGUA DE NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). EL DUEÑO DE LA SUBDIVISION Y LA COMPANIA DE AGUA N.A.W.S.C. SE HAN COMPROMETIDO A PROVEER DE AGUA SUFICIENTE A LA SUBDIVISION POR UN PERIODO DE 30 AÑOS. LA COMPANIA DE AGUA N.A.W.S.C. HA PRESENTADO LA DOCUMENTACION DEMOSTRANDO LA DISPONIBILIDAD DE CANTIDAD Y CALIDAD DE AGUA A LARGO PLAZO QUE SERVIRA PARA EL FUTURO DESARROLLO DE LA SUBDIVISION. N.A.W.S.C. TIENE UNA LINEA EXISTENTE DE 8" DE DIAMETRO DE AGUA QUE CORRE POR EL LADO NORTE DE MILE 10 NORTH ROAD Y UNA LINEA EXISTENTE DE 4" DE DIAMETRO DE AGUA QUE CORRE POR EL ESTE DE LA CALLE MILE 4 WEST ROAD.

EL SISTEMA DE AGUA PARA SAN JACINTO ESTATES No. 10 PHASE I CONSISTIRÁ DE UNA LINEA DE AGUA DE 8" DE DIAMETRO QUE SE CONECTA CON LA LINEA EXISTENTE DE AGUA DE 4" DE DIAMETRO Y CORRE OESTE POR EL LADO NORTE DE LA CALLE MILE 10 NORTH ROAD Y SE CONECTA CON LA LINEA DE AGUA DE 8" DE DIAMETRO EN EL LADO OESTE DE LA CALLE MILE 10 NORTH ROAD, EN LA ESQUINA DE LA LOTE 22, LA LINEA DE AGUA DE 8" DE DIAMETRO CORRE NORTE EN EL LADO ESTE DE LA CALLE SALINAS STREET, VOLTEA EN LA CALLE RANCHO VIEJO AL ESTE Y VOLUEVE A VOLTEAR AL LADO SUR DE LA CALLE TIO AVENUE, TERMINA CONTACTADA CON LA LINEA DE 8" DIAMETRO EN LA CALLE ALMA STREET.

ADEMAS TRES LINEAS DE AGUA DE 8" DE DIAMETRO CORRE OESTE POR EL LADO SUR DE ALMA STREET Y NORTE POR AURORA STREET AND SUMMERVIEW DRIVE, SE CONECTA CON LINEA DE AGUA DE 8" DE DIAMETRO DE LA CALLE SALINAS STREET.

DE LA LINEA DE 8" DE DIAMETRO, SE DESPRENDEN SESENTA Y SEIS (66) SERVICIOS DOBLES DE 1" DE DIAMETRO QUE CORREN EN PARES HACIA LOS LOTES, DOCE (12) SERVICIOS SENCILLOS DE 3/4" QUE VAN HACIA LOS MEDIDORES DE CADA LOTE Y OCHO (8) BOCAS DE REGO (FIRE HYDRANT).

LA LINEA DE 8" DE DIAMETRO, LAS LINEAS DE SERVICIO DOBLE DE 1" DE DIAMETRO, LAS LINEAS DE SERVICIO SENCILLO DE 3/4" DE DIAMETRO Y LAS CAJAS DE LOS MEDIDORES DE AGUA SERAN INSTALADOS A UN COSTO TOTAL DE US\$ _____ O US\$ _____ POR LOTE. ADICIONALMENTE, EL DUEÑO DE LA SUBDIVISION PAGARA A N.A.W.S.C. LA CANTIDAD DE US\$ _____ O US\$ _____ POR LOTE DE ACUERDO AL CONTRATO Y DOCUMENTO DE 30 AÑOS DE SERVICIO DE AGUA POTABLE EL CUAL CUBRE LOS MEDIDORES DE AGUA, INSTALACION, CONEXION Y MEMBRIAS. CUANDO EL DUEÑO DE CADA LOTE SOLICITE UN MEDIDOR DE AGUA, LA COMPANIA N.A.W.S.C. LO INSTALARA SIN ALGUN GASTO AL DUEÑO. EL DUEÑO DE LA SUBDIVISION TAMBIEN INSTALARA OCHO (8) BOCAS DE REGO (FIRE HYDRANT) A UN COSTO DE US\$ _____ POR CADA UNA CUAL CUESTA UNA CANTIDAD TOTAL US\$ _____. EL SISTEMA DE AGUA ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

DRENAJE: Descripción y Costos.

LA SUBDIVISION SAN JACINTO ESTATES No. 10 PHASE I RECIBIRA SU PROVISION DE DRENAJE SANITARIO DE LA CIUDAD DE WESLACO. EL DUEÑO DE LA SUBDIVISION Y LA CIUDAD DE WESLACO, HAN FIRMADO UN CONTRATO POR EL CUAL, LA SUBDIVISION RECIBIRA SU PROVISION DE DRENAJE SANITARIO POR LOS PROXIMOS 30 AÑOS. LA CIUDAD DE WESLACO HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE DRENAJE SANITARIO ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

LA CIUDAD DE WESLACO CUENTA CON UNA LINEA DE DRENAJE DE 12" PULGADAS DE DIAMETRO QUE CORRE AL COSTADO DEL LADO SUR DE LA CALLE MILE 10 NORTH ROAD.

EL SISTEMA DE DRENAJE SANITARIO PARA SAN JACINTO ESTATES No. 10 PHASE I CONSISTIRÁ DE DIECINUEVE (19) ALICANTARILLAS Y CON UNA LINEA DE DRENAJE SANITARIO DE 8" PULGADAS DE DIAMETRO QUE SE CONECTA CON LA LINEA EXISTENTE DE 12" PULGADAS DE DIAMETRO Y CORRE AL NORTE A UNA DISTANCIA DE 1200.00 PIES AL COSTADO OESTE DE LA CALLE SALINAS STREET CONTINUANDO ESTE A UNA DISTANCIA DE 1149.00 PIES AL LARGO DEL LADO NORTE DE LA CALLE RANCHO VIEJO STREET, CONTINUANDO ASIA EL SUR A UNA DISTANCIA DE 311.00 PIES POR EL LADO ESTE DE LA CALLE TIO AVENUE TERMINADO CON UNA ENTRADA DE LIMPIADOR DE ALICANTARILLAS. TRES LINEAS DE 8" PULGADAS DE DIAMETRO CORREN ASIA EL LADO OESTE, UNA LINEA CORRE AL LADO NORTE DE ALMA STREET A UNA DISTANCIA DE 1267.00 PIES, OTRA LINEA CORRE AL LADO SUR DE AURORA STREET A UNA DISTANCIA DE 1149.00 PIES Y LA ULTIMA LINEA CORRE AL SUR DE LA CALLE SUMMERVIEW A UNA DISTANCIA DE 1267.00 PIES TERMINADO CON UNA ENTRADA DE LIMPIADOR DE ALICANTARILLAS EN LA LINEA DE LA CALLE SALINAS STREET.

DE ESTAS LINEAS DE DRENAJE SANITARIO DE 8 PULGADAS CIENTO CATORCE (144) LINEAS DE SERVICIO DE 4 PULGADAS SERAN EXTENDIDAS HACI CADA LOTE.

LAS LINEAS DE 8 PULGADAS, LA LINEA 4 Y LAS ALICANTARILLAS SERAN INSTALADAS, HA UN COSTO TOTAL DE US\$ _____ O US\$ _____ POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A LA CIUDAD DE WESLACO UN COSTO TOTAL DE US\$ _____ O US\$ _____ POR LOTE. EL SISTEMA DE DRENAJE SANITARIO ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

CERTIFICACION:

CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO, CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.043 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS), CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

AGUA: EL SISTEMA DE AGUA SERA CONSTRUIDO, CON LA INSTALACION DE LOS MEDIDORES DE AGUA, EL COSTO TOTAL DE US\$ _____ O \$ _____ POR LOTE.

DRENAJE: SE ESTIMA QUE TODO EL SISTEMA DE DRENAJE SANITARIO SERA INSTALADO Y COSTARAN US\$ _____ POR TODOS(1000 INCLUSO) A UN COSTO DE US\$ _____ POR LOTE.



Marco A. Gonzalez
MARCO A. GONZALEZ
P.E. 120016
DATE 2-14-20

COUNTY OF HIDALGO
BEFORE ME, the undersigned notary public, on this day personally appeared JACINTO GARZA, PRESIDENT OF SAN JACINTO ENTERPRISES, L.L.C., proved to me through his Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that he executed the same for the purposes and consideration therein expressed. Given under my hand and seal of office this _____ day of _____, 20____.

SAN JACINTO ENTERPRISES, L.L.C.
JACINTO GARZA, PRESIDENT
2100 W. EXPRESSWAY 83
MERCEDRES, TEXAS 78750

DATE _____

CLARISSA ANNETTE QUINTANILLA - NOTARY PUBLIC

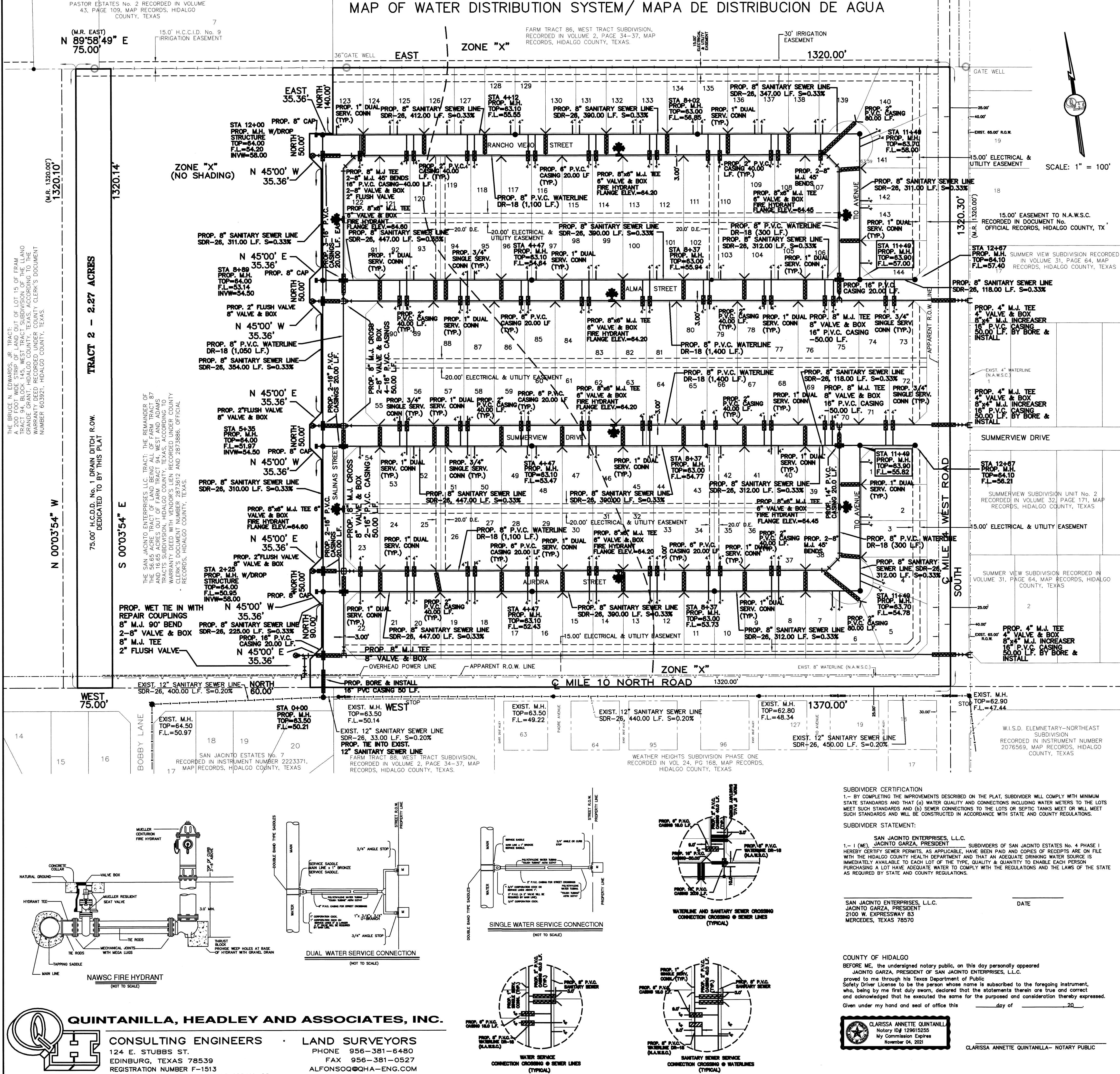
FILED FOR RECORD IN HIDALGO COUNTY, TEXAS
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

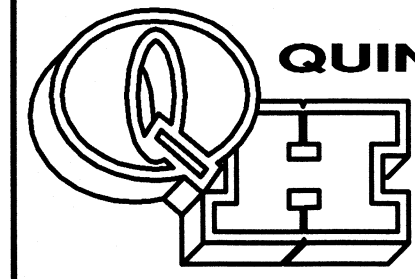
COST ESTIMATE

WATER DISTRIBUTION:	\$ _____
DRAINAGE IMPROVEMENTS:	\$ _____
PAVING IMPROVEMENTS:	\$ _____
SANITARY SEWER IMPROVEMENTS:	\$ _____

SHEET NO. 3 OF 5 SHEETS	FILENAME : F:\DATA\WESLACO\SAN JACINTO ESTATES No. 10 PHASE I\WATER
DATE PREPARED: SEP 11, 2019	DATE CHECKED: _____
DATE REVISED: _____	DATE APPROVED: _____



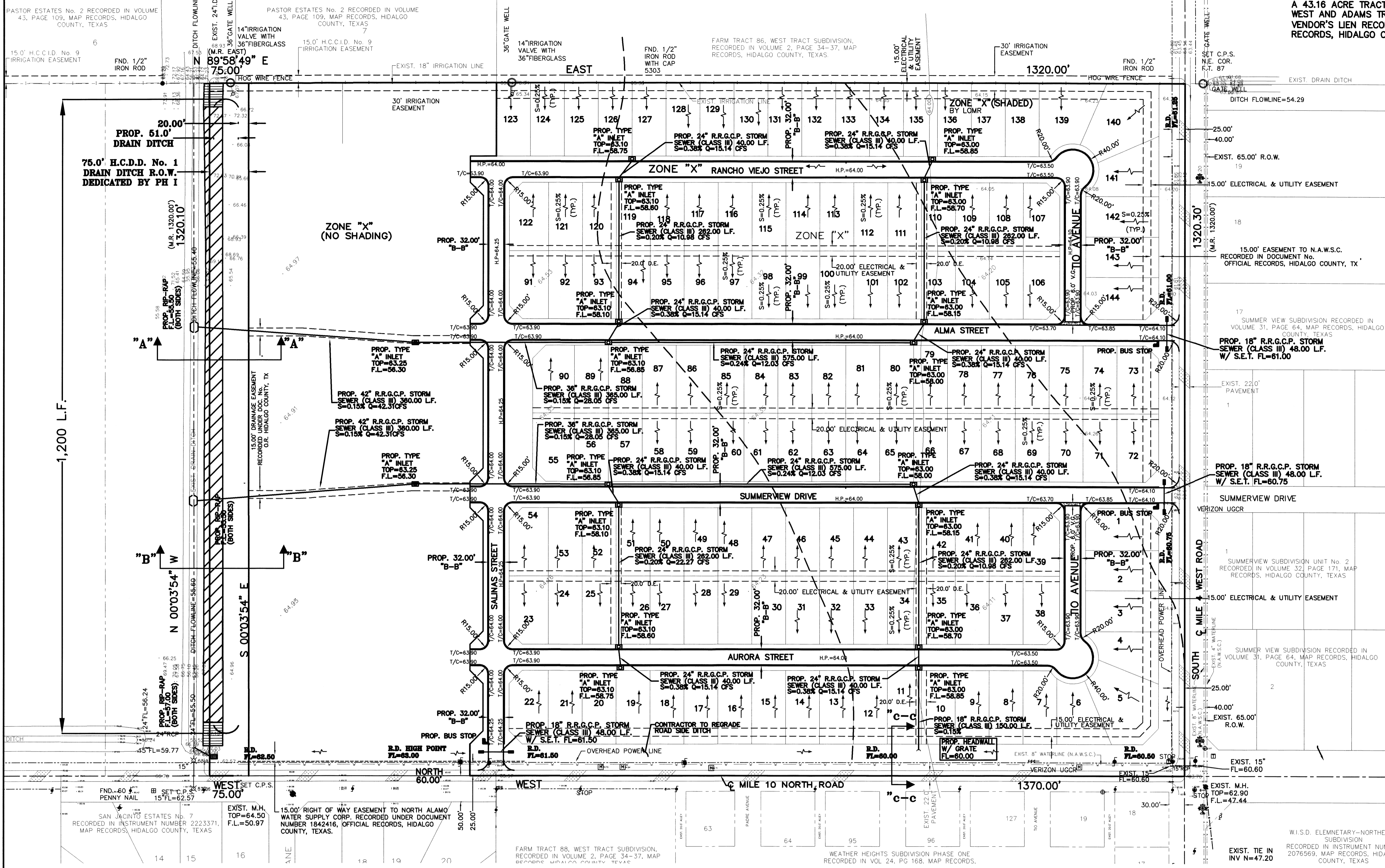
QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS • LAND SURVEYORS
124 E. STUBBS ST. PHONE 956-381-6480
EDINBURG, TEXAS 78539 FAX 956-381-0527
REGISTRATION NUMBER F-1513 ALFONSO@QHA-ENG.COM
SURVEYING REGISTRATION NUMBER 100411-00



MAP OF TOPOGRAPHY AND DRAINAGE/ MAPA DE TOPOGRAFIA Y DRENAJE

SAN JACINTO ESTATES NO. 10 PHASE I

A 43.16 ACRE TRACT OF LAND BEING ALL OF FARM TRACT 87 AND 2.25 ACRES OUT OF FARM TRACT 94, WEST AND ADAMS TRACTS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2873612 AND 2873886, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



DRAINAGE REPORT FOR: SAN JACINTO ESTATES NO. 10 PHASE I
BY: MARCO A. GONZALEZ P.E.

DRAINAGE REPORT FOR
SAN JACINTO ESTATES NO. 10 PHASE I

A 56.65 acre tract of land being all of Farm Tract 87 and 16.65 acres out of Farm Tract 94, West and Adams Tracts Subdivision, Hidalgo County, Texas, according to the map or plat thereof recorded in volume 2, pages 34-37, map records, Hidalgo County, Texas, and according to warranty deeds recorded under document number 444190 and 444191, official records, Hidalgo County, Texas. This subdivision is located on the northwest corner of Mile 4 West Road and Mile 10 North Road. The site is currently open land and is located within the city of Weslaco E.T.J. The proposed subdivision will consist of 193 single-family lots. (Phase 1 - 42.25 acres, Phase 2 - 14.40 acres).

The tract is Zone "X" (unshaded), areas determined to be outside the 500-year floodplain and Zone "X" (shaded), areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood, as per FEMA Flood Insurance Rate Map Community Panel No. 480334 0450 C dated June 6, 2000 with LOMR dated May 30, 2002 and Letter of Map Revision based on fill (LOMR-R) dated September 21, 2018 FEMA Case No. 18-06-3447A. The calculated water elevation is 64.00 and is based on the BFE from the adjoining property.

The majority of the soil is Hidalgo (25, 28, & 30) and is in soil group "B". It is Fine Sandy Loam, Sandy Clay Loam, and Clay Loam. This soil is well drained. Permeability is moderate. Plasticity Index has a range of 4-23. See attached Soil Survey of Hidalgo County, Texas tables.

Presently, the site has very minimal runoff in a southerly direction with an approximate 0.5% slope. The existing runoff for the proposed subdivision is Q=22.15 cubic feet per second based on a 10-year storm. After development the runoff will be Q=83.60 cubic feet per second for an increase of Q= 61.45 cubic feet per second (50 year storm). Detention will be 173,909.51 cubic feet (3.99 acre feet) and will be accomplished by excavating the existing Hidalgo Cameron County Irrigation District No. 9 drain ditch located on the west side of the subdivision and regrading the roadside ditch along the west side of Mile 4 West Road and the north side of Mile 10 North Road. In addition, the developer is proposing to install a storm sewer system consisting of 18", 24", 30", 36" and 42" storm pipes and Type "A" inlets that will collect the runoff from the roads that will outlet in the drain ditch. 45.00 feet of Drain Ditch Right of Way to Hidalgo County Drainage District No. 1 is being dedicated by this plot. This drain ditch flows north, then turns east and connects with H.C.D.D. No. 1 Mercedes Lateral.

Drainage calculations are attached.

CERTIFICATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THE FLOODPLAN FOR ZONE "X"-UNSHADED (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN) AS DESCRIBED IN COMMUNITY PANEL NUMBER 480334 0350 C, DATED ON JUNE 6, 2000 (REVISED MAY 17, 2001 TO REFLECT LOMR) IS CONTAINED WITHIN THE DRAINAGE OF THE SUBDIVISION, AS SHOWN BELOW.

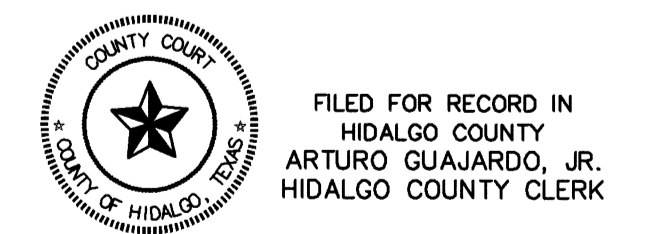


Marco A. Gonzalez
MARCO A. GONZALEZ
P.E. 120016

2-14-20
DATE

COST ESTIMATE

WATER DISTRIBUTION:	\$
DRAINAGE IMPROVEMENTS:	\$
PAVING IMPROVEMENTS:	\$
SANITARY SEWER IMPROVEMENTS:	\$

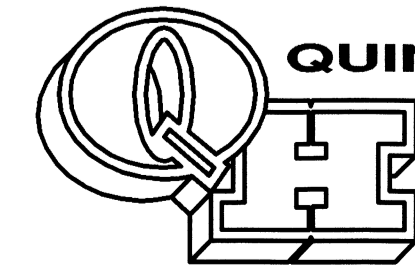


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

REVISION NOTES

No.	Sheet	REVISION	Date	Approved



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS
124 E. STUBBS ST. PHONE 956-381-6480
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SHEET NO. 4 OF 5 SHEETS

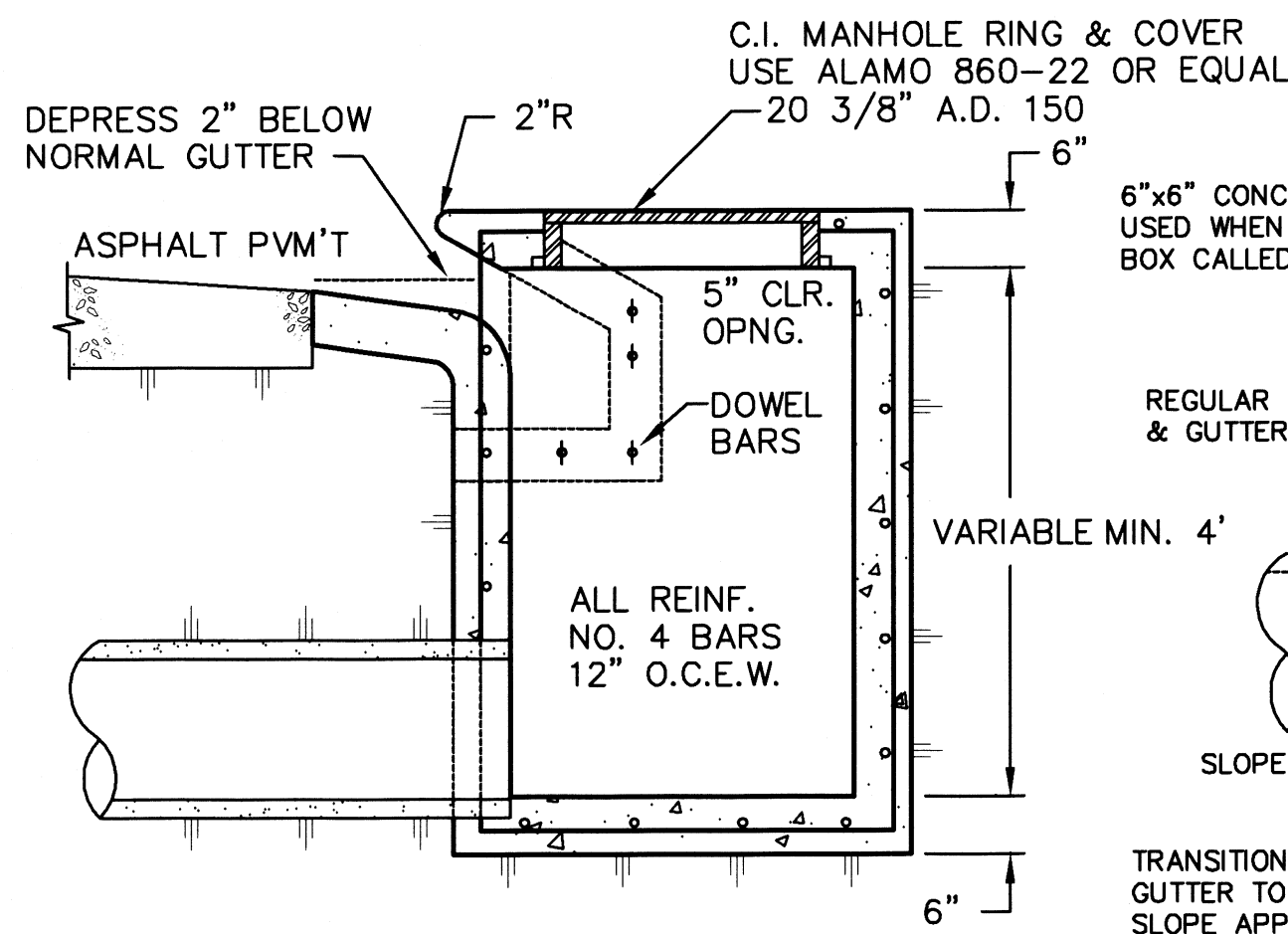
FILENAME	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
F:\DATA\SUBDIVIS\WESLACO\SAN JACINTO ESTATES NO. 10 PHASE I\WATE	SEP 13, 2019	G. CRANT		

SAN JACINTO ESTATES NO. 10 PHASE I

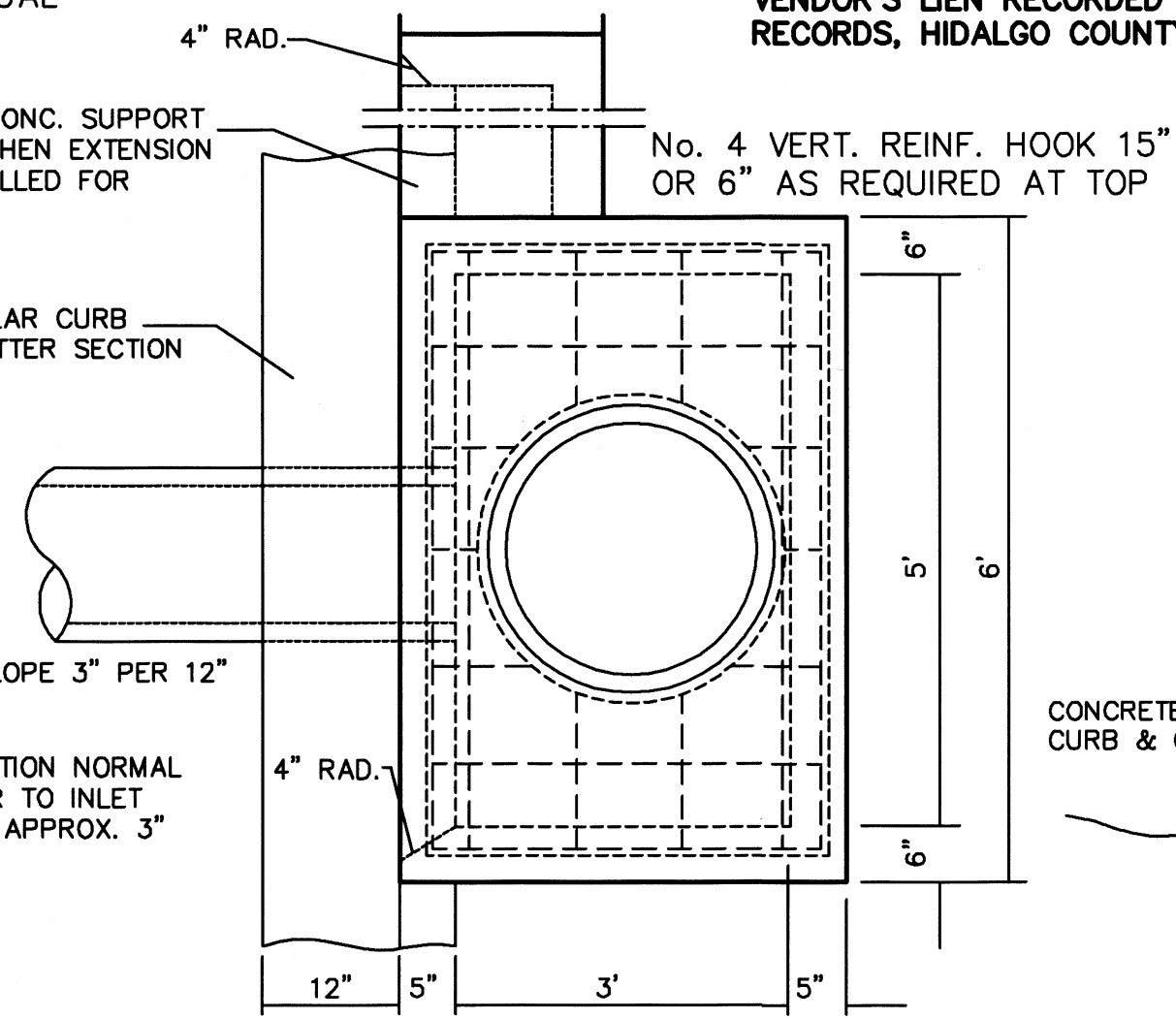
A 43.16 ACRE TRACT OF LAND BEING ALL OF FARM TRACT 87 AND 2.25 ACRES OUT OF FARM TRACT 94, WEST AND ADAMS TRACTS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2873612 AND 2873886, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



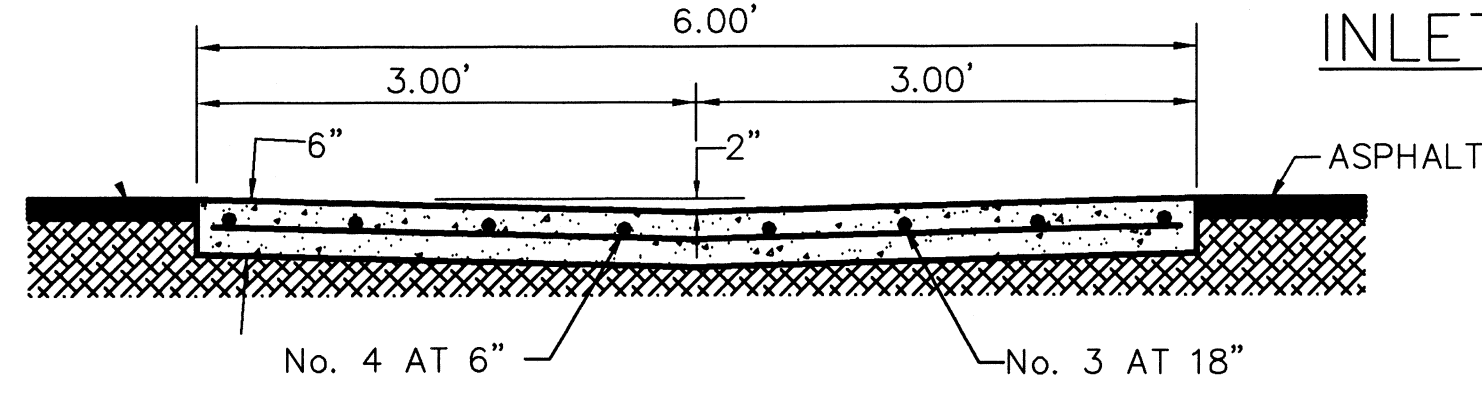
Marco A. Gonzalez
 MARCO A. GONZALEZ
 P.E. 120016
 DATE 2-14-20



TYPE "A" INLET DETAIL
NOT TO SCALE



INLET EXTENSION
NOT TO SCALE

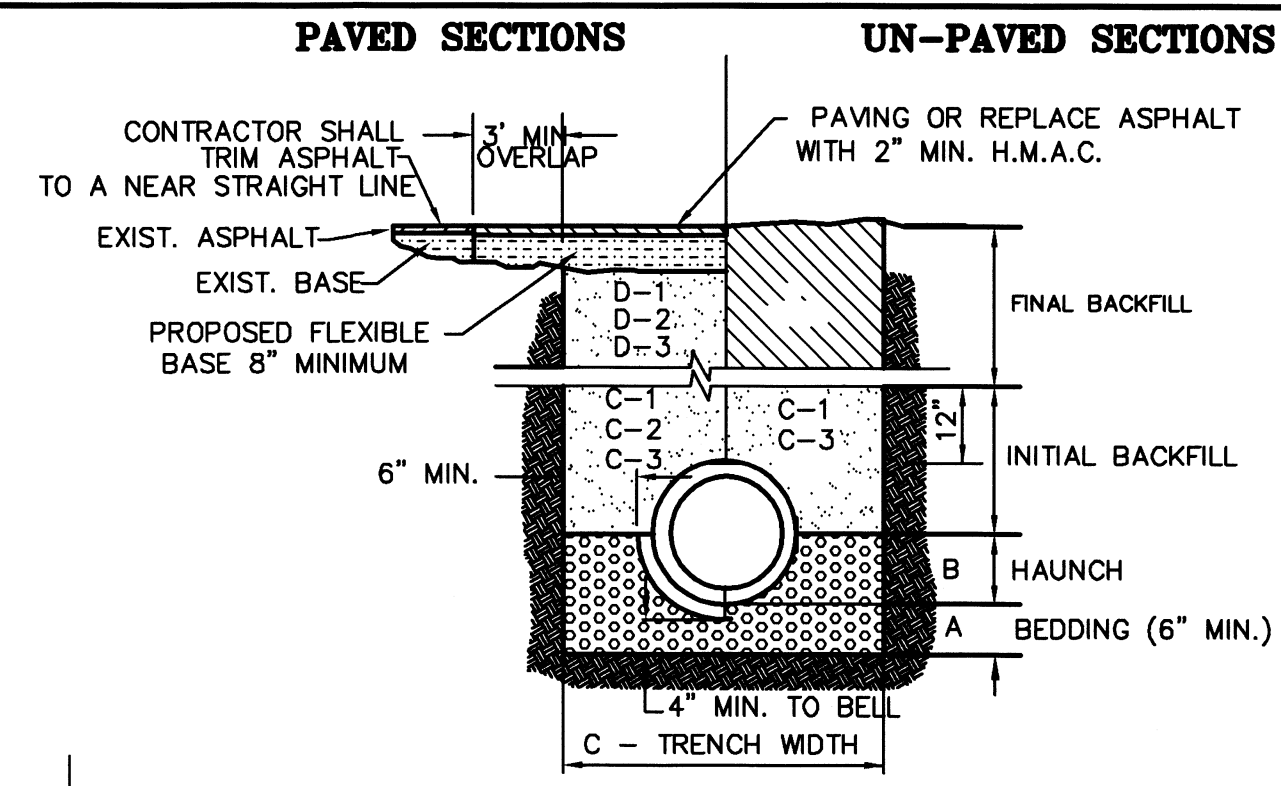


CONC. VALLEY GUTTER
NOT TO SCALE

- NOTES:**
- DIRT EXCAVATED FROM DRAIN DITCH SHALL BE SPREAD AT LOCATION DETERMINED BY ENGINEER.
 - ALL LOTS TO BE FILLED TO MINIMUM ELEVATION=64.00

LEGEND

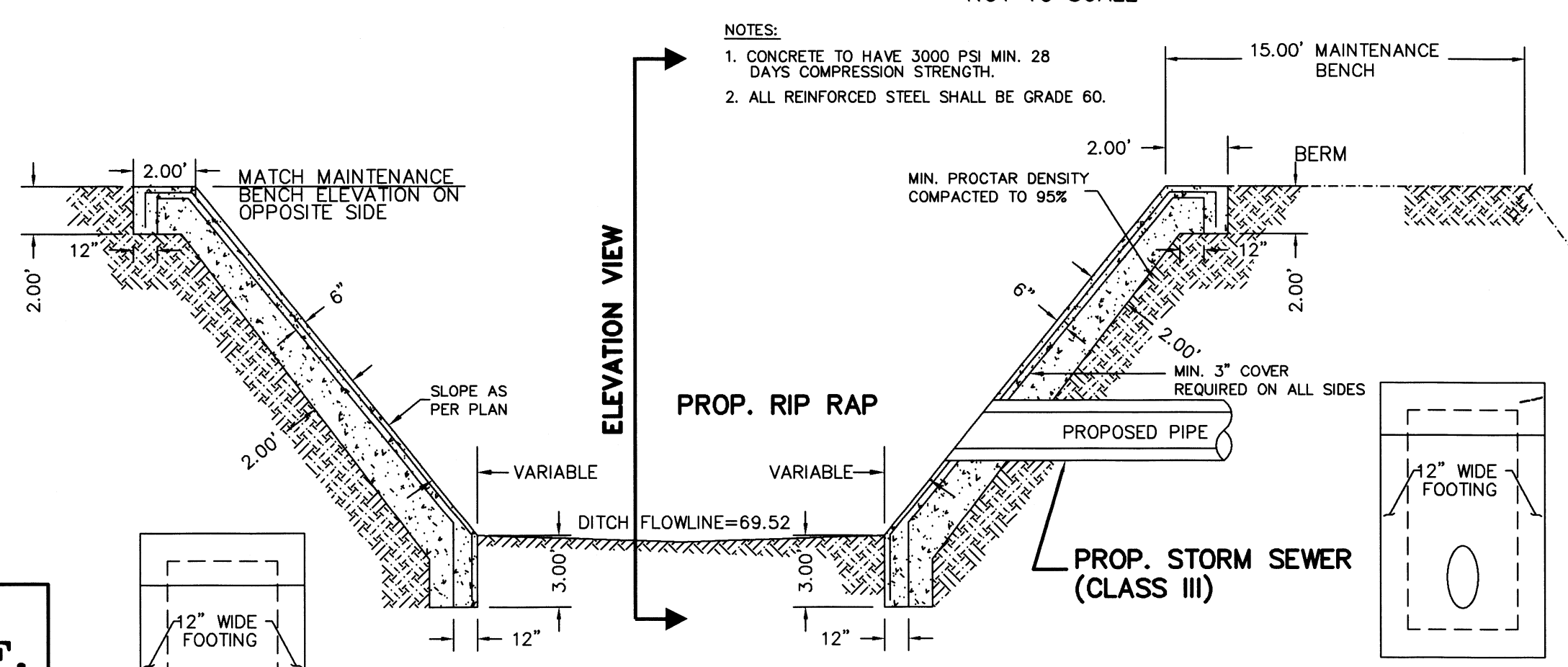
TOTAL DETENTION REQUIRED - 173,909.51 C.F.
TOTAL DETENTION PROVIDED - 379,150.00 C.F.
 (600 L.F. X 229.5 S.F.) + (600 L.F. X 229.5 S.F.) + 72,000 C.F. + 31,750.00 C.F.
TOTAL EXCAVATION NEEDED - 449,460.00 C.F.
 (600 L.F. X 381.1 S.F.) + (600 L.F. X 368 S.F.)



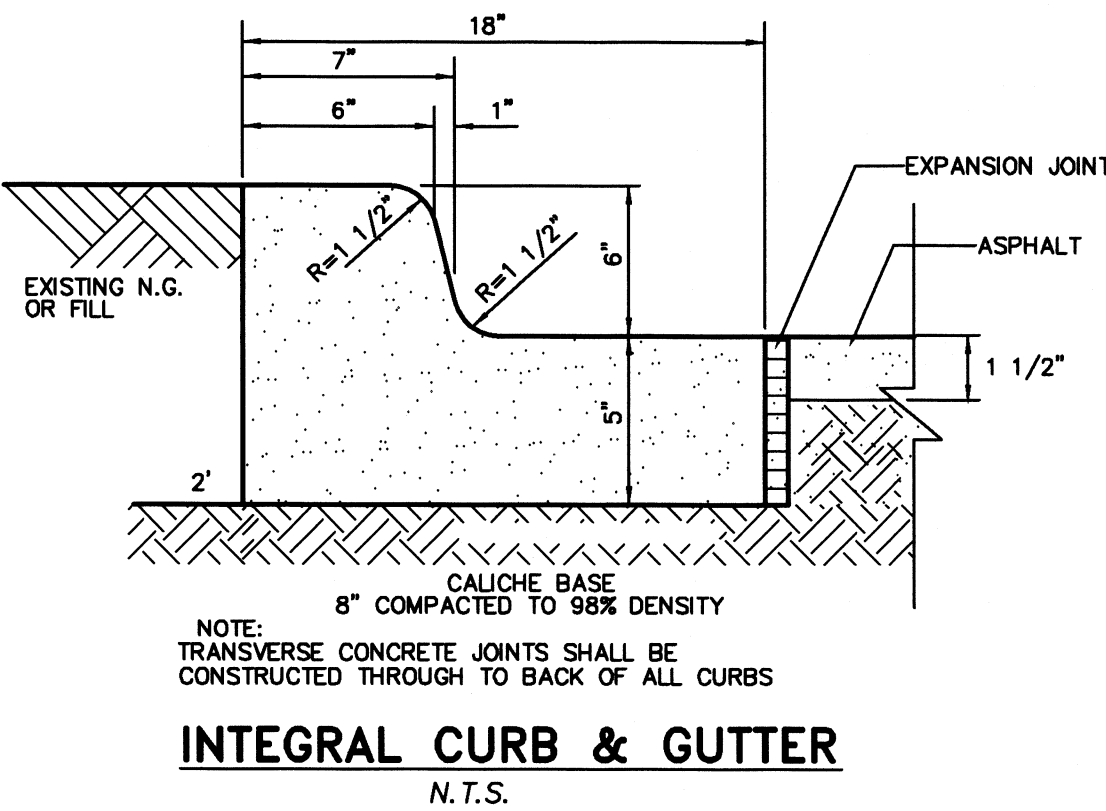
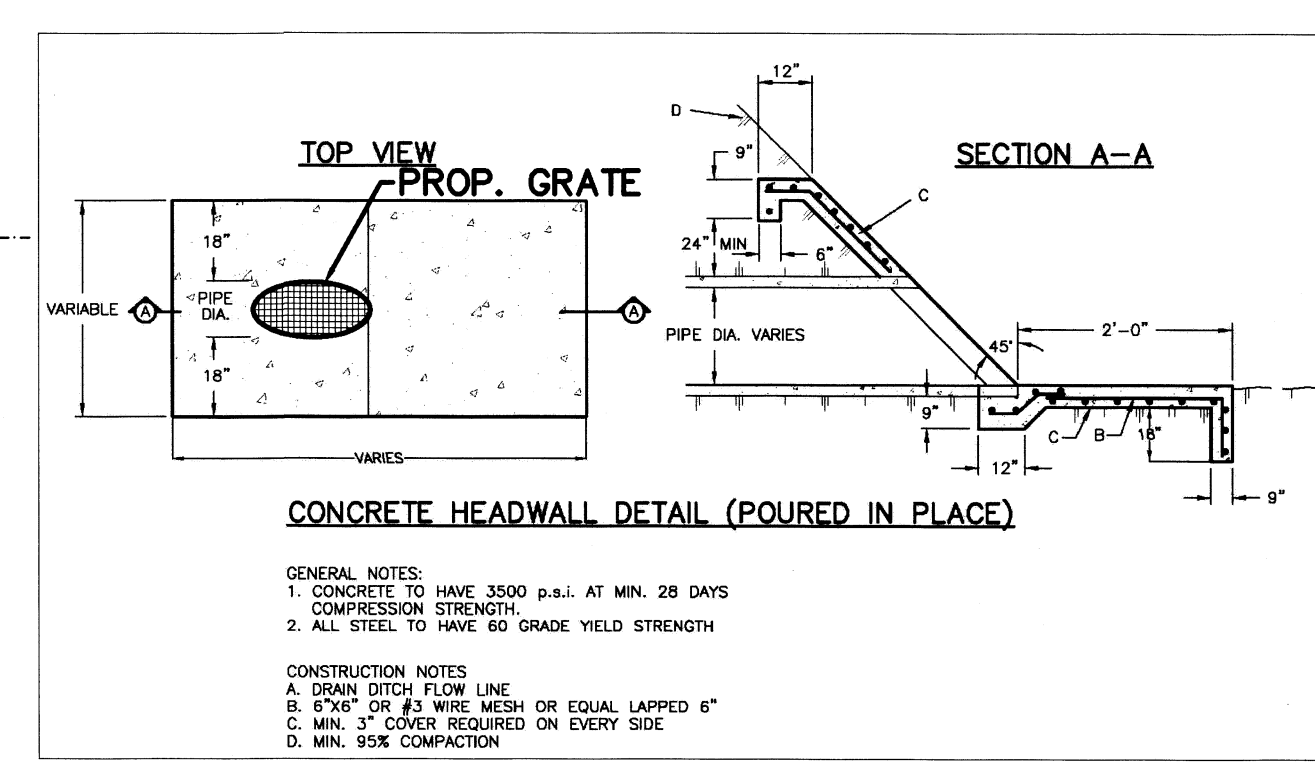
STORM TRENCH BEDDING AND BACKFILL DETAILS
N.T.S.

- A.** BEDDING FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SAND AND/OR GRAVEL MIX BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW OF PIPE (MIN. THICKNESS = 6") - PIT RUN GRAVEL 3/4" MAX. SIZE.
- B.** HAUNCH FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS II OR CLASS III (ASTM D2321) BACKFILL MATERIAL COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C.** TRENCH WIDTH - SHALL BE BELL O.D. X 1.5 + 12". MINIMUM TRENCH WIDTH SHALL EQUAL STRUCTURE WIDTH + 4 FT. THROUGHOUT THE HEIGHT OF THE STRUCTURE.
- C-1.** INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON CITY STREETS, PARKING AREA, DRIVEWAYS, COUNTY ROAD & UNPAVED AREAS - SHALL BE SOIL TYPE A1, A2, A3, WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-2.** INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON STATE MAINTAINED ROADWAYS - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D4253 AND ASTM D-698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-3.** INITIAL BACKFILL FOR HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS I OR CLASS II WITH A MAXIMUM P.I. OF 19 (ASTM D2321) BACKFILL MATERIAL COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D.** FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE UNDER UNPAVED SECTIONS - SHALL BE CLASS I, II, III OR IV, COMPACTED TO 92% SPD (12" LOOSE LIFTS, MECHANICAL COMPACTION).
- D-1.** FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON CITY STREETS, PARKING AREA, DRIVEWAYS, AND COUNTY ROAD - SHALL BE SOIL TYPE A1, A2, A3, WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% SPD, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-2.** FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON STATE MAINTAINED ROADWAYS - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D-4253 AND ASTM D4253 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-3.** FINAL BACKFILL FOR STRUCTURES (INLETS, MANHOLES, ETC.) - STRUCTURES UNDER THE ROADWAY AND UP TO 5 FT. BEYOND THE EDGE OF PAVEMENT/BACK OF CURB SHALL HAVE CLASS I OR CLASS II (ASTM D2321) OR SOIL TYPE A1, A2, OR A3 (AASHTO M145) WITH A MAXIMUM P.I. OF 19 BACKFILL MATERIAL. STRUCTURES BEYOND 5 FT. FROM THE E.O.P./B.O.C. SHALL HAVE CLASS I, II, III OR IV (ASTM D2321) BACKFILL MATERIAL FOUNDATION PREPARATION (WELPPOINTS, MINIMUM 4" GRAVEL OR CEMENTS STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% S.P.D. (USE RELATIVE DENSITY TEST PER ASTM D4253 & ASTM D698). THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 8".
- NOTES:**
- MAXIMUM COVER SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 - FOR D-1 AND D-2 THE COMPACTION REQUIREMENT SHALL BE 95% S.P.D. WITHIN 12 IN. BELOW THE FLEXIBLE BASE.
 - FOR PAVED SECTIONS THE ABOVE REQUIREMENTS SHALL APPLY WHEN ANY PART OF TRENCH WIDTH IS WITHIN 5 FT. FROM THE E.O.P./B.O.C.
 - THE ABOVE REQUIREMENTS SHALL APPLY TO UTILITY PIPELINES AND UTILITY STRUCTURES OF OTHER UTILITY ENTITIES.

STREET SECTION
NOT TO SCALE

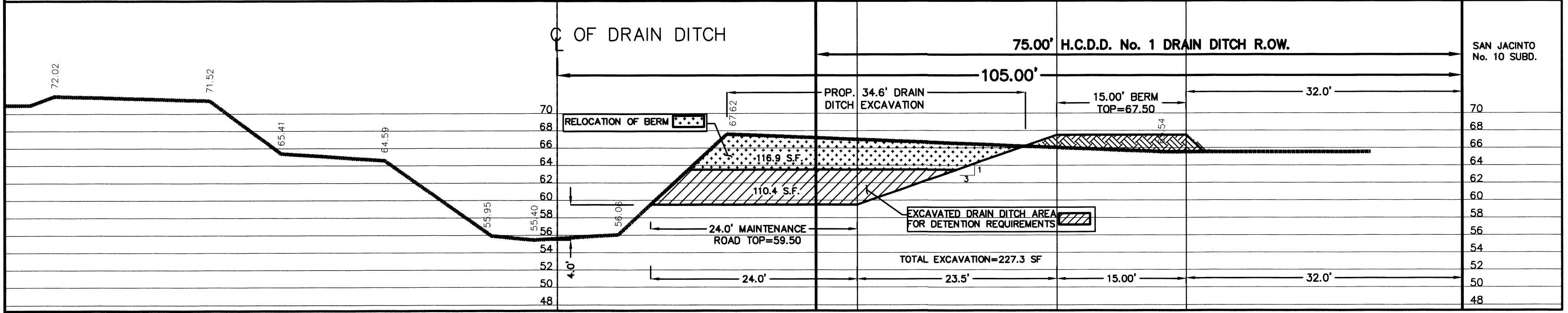


STORM DISCHARGE STRUCTURE
NOT TO SCALE

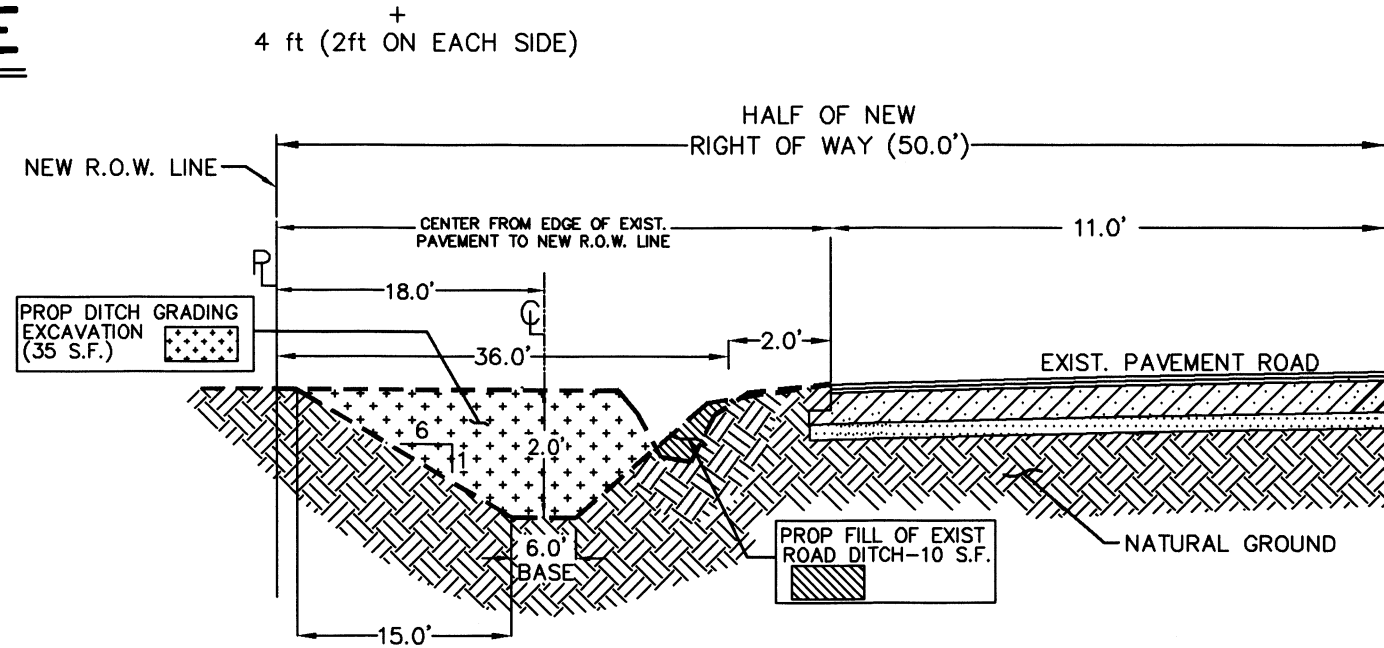
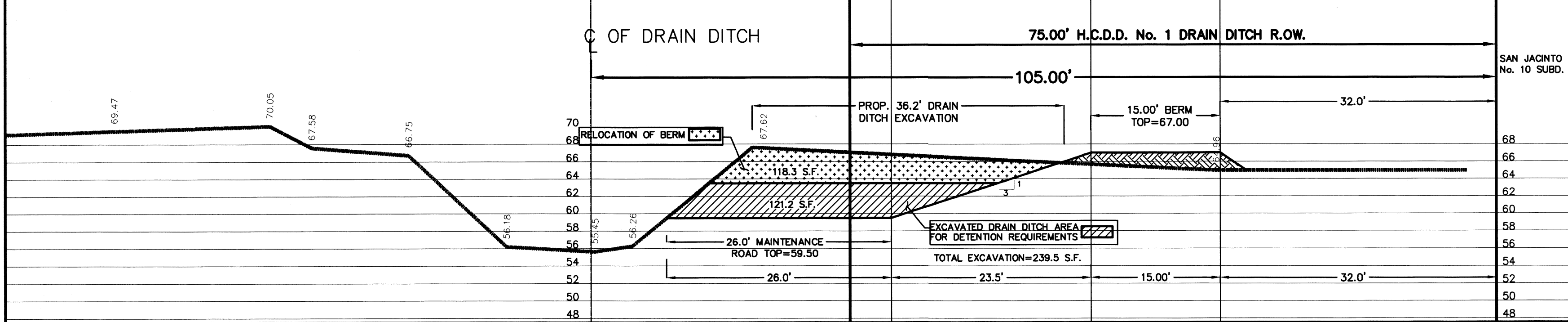


INTEGRAL CURB & GUTTER
N.T.S.

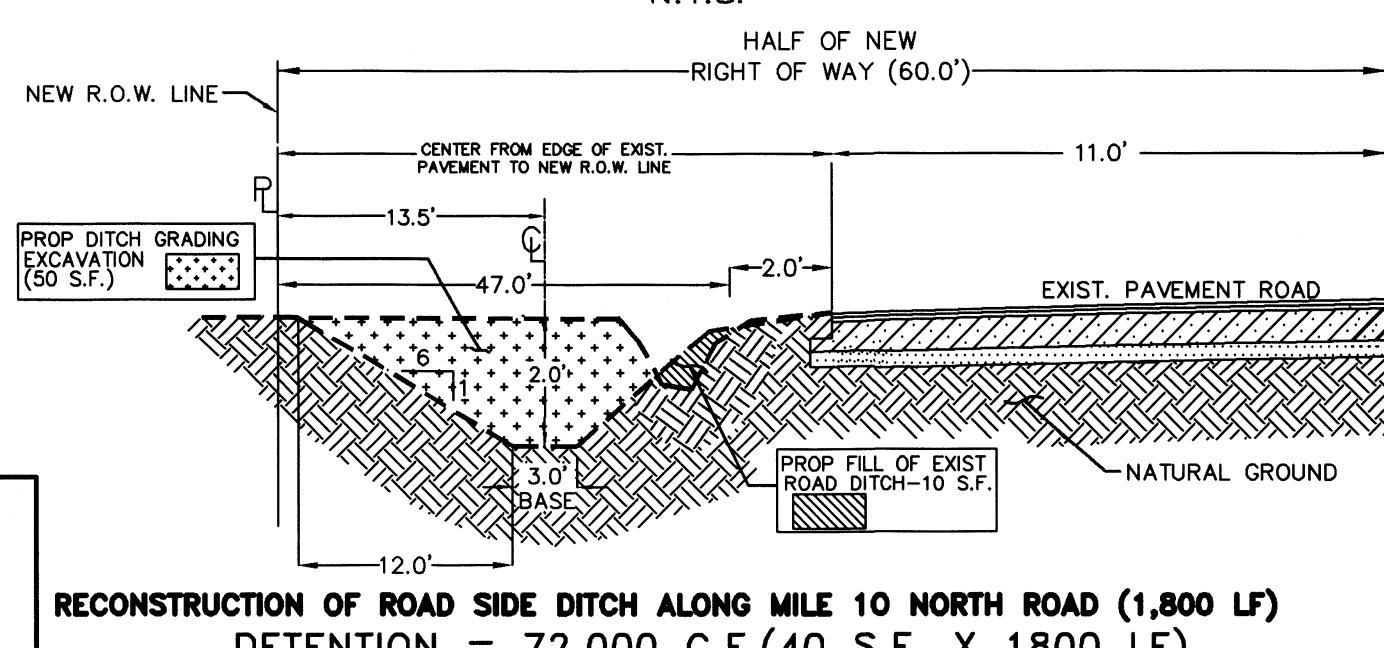
CROSS SECTION "A-A" SCALE: 1"= 10'



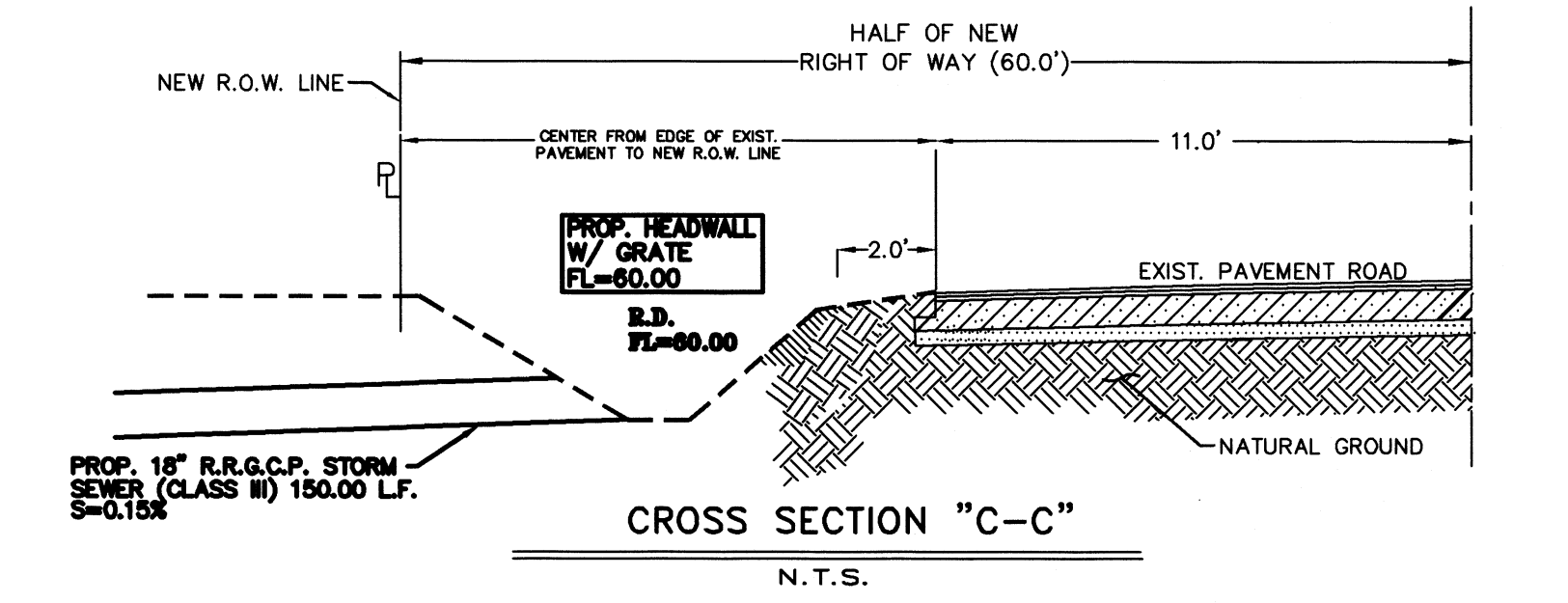
CROSS SECTION "B-B" SCALE: 1"= 10'



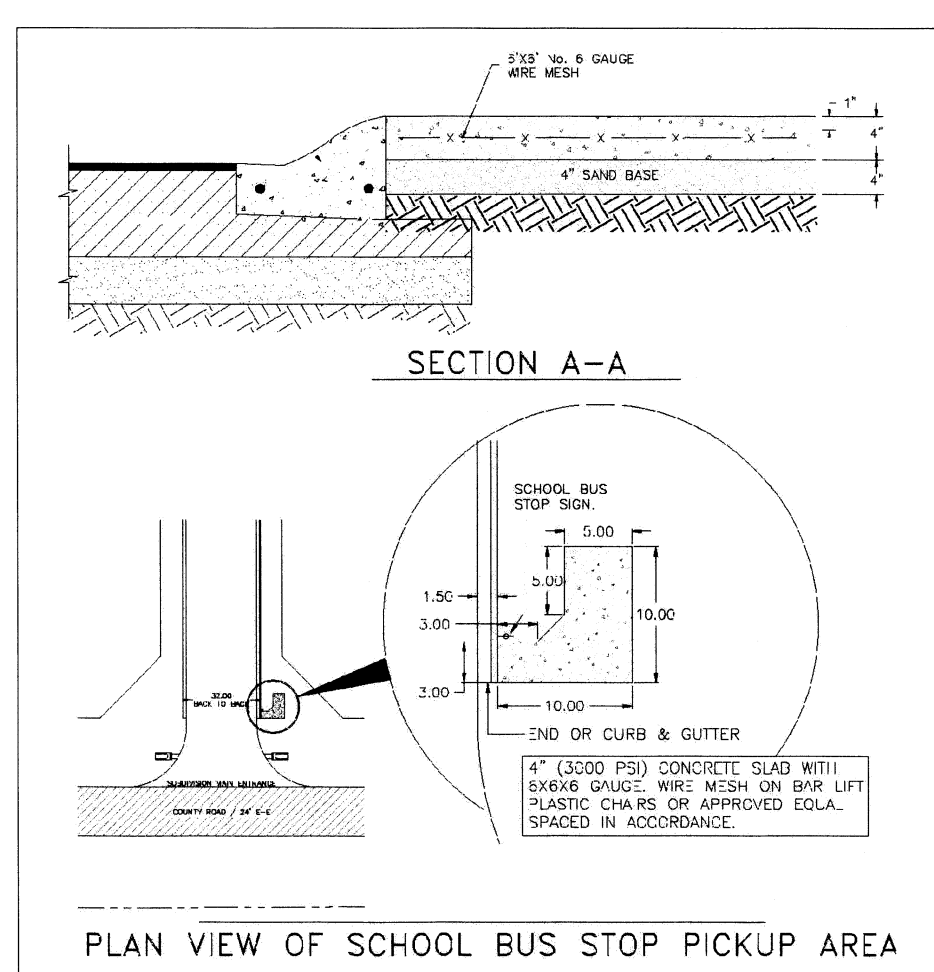
RECONSTRUCTION OF ROAD SIDE DITCH ALONG MILE 4 WEST ROAD (1,270 LF)
 DETENTION = 31,750.00 C.F. (25 S.F. X 1270 LF)
 TO BE USED FOR DETENTION
 N.T.S.



RECONSTRUCTION OF ROAD SIDE DITCH ALONG MILE 10 NORTH ROAD (1,800 LF)
 DETENTION = 72,000 C.F. (40 S.F. X 1800 LF)
 TO BE USED FOR DETENTION
 N.T.S.



CROSS SECTION "C-C"
N.T.S.



BUS STOP DETAIL
NOT TO SCALE

FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUAJARDO, JR. HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
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SHEET NO. 5 OF 6 SHEETS	FILENAME : F:\DATA\SUBDIVS\WESLACO\SAN JACINTO ESTATES NO. 10 PHASE I\WATE		
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
SEP 13, 2019	G. CANTU		
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY
2-14-20	M. GONZALEZ		