



HIDALGO COUNTY PLANNING DEPARTMENT

T.J. Arredondo, CFM
Director of Planning

1304 SOUTH 25TH STREET
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 5-05-2020

PROPOSED RIO RICO RANCHETTES SUBDIVISION PRECINCT No. 1.

ENGINEER: RIO DELTA ENGINEERING DEVELOPER: VICTOR J. DANIEC

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 4 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INDUSTRIAL

ESTIMATED NUMBER OF STREETLIGHTS: N/A

FILLING STATIONS: N/A

LOCATION DESCRIPTION: NORTH WEST CORNER OF MILE 3 NORTH ROAD AND MILE 2 ½ EAST ROAD.

SUBDIVISION LIES WITHIN THE: THE RURAL AREA OF THE COUNTY.

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 3-26-2020 PROPERTY LIES WITHIN FLOOD ZONE: "C" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY NATURAL PERCULATION AND SURFACE RUNOFF ONTO MILE 3 NORTH ROAD SIDE DITCH AND MILE 2 ½ EAST ROAD.

ROAD R.O.W. DEDICATION: 30.00 FEET ONTO MILE 3 NORTH ROAD & 20.00 FEET ONTO MILE 2 ½ EAST ROAD.

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 4-13-2020 BY, DANNY GUZMAN, PCT. 1 R.O.W. AGENT

H.C.H.D. PRELIMINARY APPROVAL DATE: 4-09-20 BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM: OSSF'S

WATER SERVICE PROVIDER: M.H.W.S.C. EXISTING LINE SIZE: 3" LOCATION: MILE 3 NORTH ROAD & MILE 2 ½ EAST ROAD.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 4-13-2020 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed project.

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: _____

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, other departments.

Final Approval subject to recommendations other departments

Final Approval with financial guarantee.

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,

* Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

RIO RICO RANCHETTES

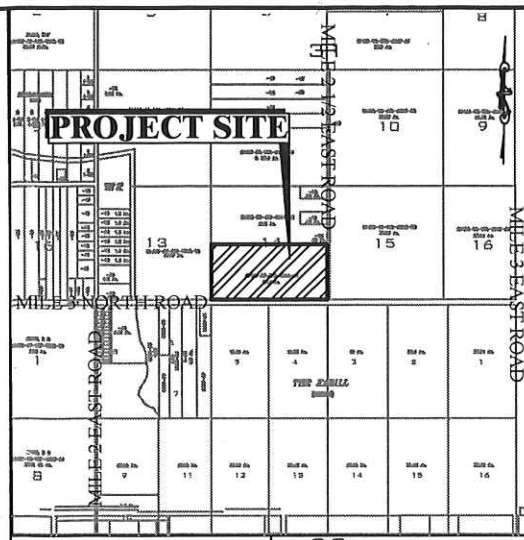
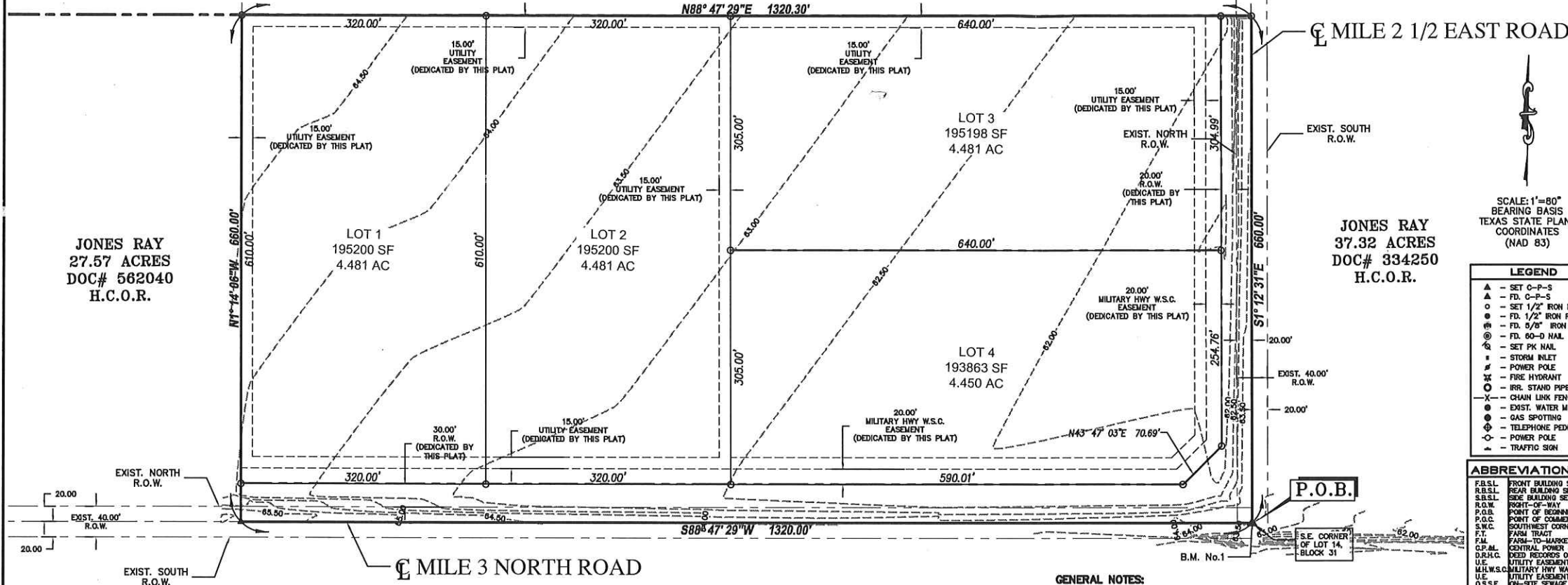
A 20.00 ACRE TRACT OF LAND BEING THE SOUTH 20.00 ACRES OF LOT 14, BLOCK 31, CAPISALLO DISTRICT SUBDIVISION, AS RECORDED IN VOLUME "P", PAGE 227, MAP RECORDS, HIDALGO COUNTY, TEXAS. ALSO BEING THAT CERTAIN TRACT DESCRIBED IN DEED RECORDED IN DOCUMENT NO. 947464, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

GUADALUPE C. GONZALES
15.29 ACRES
DOC# 508307 H.C.O.R.

CL MILE 2 1/2 EAST ROAD

JONES RAY
37.32 ACRES
DOC# 334250
H.C.O.R.

JONES RAY
27.57 ACRES
DOC# 562040
H.C.O.R.



LOCATION MAP SCALE: 1" = 1000'

LOCATION OF RIO RICO RANCHETTES WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF MUNICIPALITY:
RIO RICO RANCHETTES IS LOCATED ON THE NORTH WEST CORNER OF MILE 3 NORTH ROAD AND MILE 2 1/2 EAST ROAD. THIS SUBDIVISION LIES APPROXIMATELY 1/2 MILE FROM THE CITY LIMITS AND IS WITHIN THE CITY OF MERCEDES TWO-MILE EXTRA-TERRITORIAL (ET) UNDER LOCAL GOVERNMENT CODE # 42.021 OR THE CITY'S THREE-MILE EXTRA-TERRITORIAL (ET) UNDER LOCAL GOVERNMENT CODE # 212.001 IN HIDALGO COUNTY PRECINCT 1. THE ESTIMATED POPULATION OF THE CITY OF MERCEDES IS 16,761 (2018 CENSUS) AS PER THE 2018 UNITED STATES CENSUS BUREAU

- LEGEND**
▲ - SET 0-P-S
▲ - FD, 0-P-S
○ - SET 1/2" IRON ROD
○ - SET 1/2" IRON ROD
○ - FD, 1/2" IRON ROD
○ - FD, 3/8" IRON ROD
○ - FD, 90-HAL
○ - SET PK HAL
○ - STORM INLET
○ - POWER POLE
○ - FIRE HYDRANT
○ - IRR. STAND PIPE
○ - CHAIN LINK FENCE
○ - EXIST. WATER METER
○ - TELEPHONE PEDESTAL
○ - POWER POLE
○ - TRAFFIC SIGN

- ABBREVIATION LEGEND**
F.B.S.L. FRONT BUILDING SETBACK LINE
R.B.S.L. REAR BUILDING SETBACK LINE
S.B.S.L. SIDE BUILDING SETBACK LINE
R.O.W. RIGHT-OF-WAY
P.O.C. POINT OF BEGINNING
S.W.C. SOUTHWEST CORNER
F.M. FARM TRACT
F.T. FARM-TO-MARKET
C.P. & L.C. CENTRAL POWER & LIGHT CO.
D.R.H.C. DEED RECORDS OF HIDALGO COUNTY
U.E. UTILITY EASEMENT
M.W.S.C. MILITARY HWY WATER SUPPLY CORP.
U.E. UTILITY EASEMENT
O.S.F. ON-SITE SEWAGE FACILITY
C.L. CENTER LINE
L.O. LOT LINE
R.C.D.D. HIDALGO COUNTY DRAINAGE DIST. #1

GENERAL NOTES:

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "C" (NO SHADE)
ZONE "C" AREAS (NO SHADE), AREAS OF MINIMAL FLOODING ACCORDING TO COMMUNITY-PANEL NO. 480334 0522B, REVISED JANUARY 2, 1981.
- SETBACKS:
FRONT: 50.00 FEET OR EASEMENT WHICHEVER IS GREATER
REAR: 30.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 8.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER SIDE: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER FOR LOT 4.
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT. ANY OTHER USE SHALL REQUIRE HEALTH, PLANNING AND FIRE MARSHAL APPROVAL.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF MILE 3 NORTH ROAD, OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:
-B.M. NO. 1- ELEV. 81.69 N.G.V.D. 88, DESCRIPTIONS: A COTTON PICKER SPINDLE FOUND AT THE INTERSECTION OF MILE 2 1/2 EAST ROAD AND MILE 3 ROAD THE SOUTHEAST CORNER OF THIS SUBDIVISION. GPS POINT, GRID COORDINATES N 16581876.2100, E 101403.9010.
-B.M. NO. 2- ELEV. 83.27 N.G.V.D. 88, DESCRIPTIONS: A PK NAIL FOUND AT THE INTERSECTION OF MILE 2 EAST ROAD AND MILE 3 ROAD. GPS POINT, GRID COORDINATES N 16581820.5600, E 1168784.8730.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 22,823 CU-FT OR 0.855 ACRE-FEET OF STORM WATER RUNOFF. RUNOFF WILL BE DETAINED IN DETENTION GREEN AREAS IN THE LOTS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN THE STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATION FOR THIS SUBDIVISION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS. A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE.
A. OSSF SYSTEMS ARE BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWAGE ONLY.
B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.
C. OSSF SYSTEMS SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
D. SOIL ANALYSIS HAS BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXPERTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM.
E. APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- VICTOR J. DANIEC, THE OWNER & SUBDIVIDER OF THIS SUBDIVISION, RETAIN A BLANKET EASEMENT UPON THE LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET NO. 2 OF THIS PLAT.
- THE OWNER OF THE LOT SHALL BE RESPONSIBLE TO INSTALL DRIVEWAY CULVERT WITH REINFORCED CONCRETE PIPE OF NO LESS THAN 15 INCHES IN DIAMETER AND 24 FEET IN LENGTH, TO COUNTY SPECIFICATIONS AT THE TIME OF APPLICATION FOR CONSTRUCTION.
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON THE LOT MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 X SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.

OWNER'S ACKNOWLEDGMENT

I, VICTOR J. DANIEC, AS THE OWNER (S) OF THE 20.00 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED RIO RICO RANCHETTES, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND THAT:
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS AND;
(D) GAS CONNECTIONS IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS. I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

VICTOR J. DANIEC
P.O. BOX 2804
EDINBURG, TX 78538

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED VICTOR J. DANIEC (MANAGER) KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF RIO RICO RANCHETTES WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON THIS _____ DAY OF _____, 20____.

ENVIRONMENTAL HEALTH DIVISION MANAGER
DATE

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

UNDER LOCAL GOVERNMENT CODE # 232.028 (A)
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF RIO RICO RANCHETTES WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON THIS _____ DAY OF _____, 20____.

HIDALGO COUNTY JUDGE
DATE
HIDALGO COUNTY CLERK
DATE

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

IRRIGATION DISTRICT NO. 9
THIS PLAT APPROVED BY THE HIDALGO COUNTY AND CAMERON COUNTY IRRIGATION DISTRICT # 9, DATED THIS _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HOOD (NO RIGHTS-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF H.A.C.C.D. #9.
NOTE: IT IS UNDERSTOOD THAT THE RATE OF FLOW OF DRAIN WATER WILL BE NO GREATER THAN THE RATE OF FLOW OF DRAIN WATER WHEN THE LAND WAS IN AGRICULTURAL USE.

GENERAL MANAGER
DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1
RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER
DATE

STATE OF TEXAS MILITARY HIGHWAY WATER SUPPLY CORPORATION

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF RIO RICO RANCHETTES WAS REVIEWED AND APPROVED BY MILITARY HIGHWAY WATER SUPPLY CORPORATION, DATED THIS _____ DAY OF _____, 20____.

GENERAL MANAGER
DATE

STATE OF TEXAS - COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

THIS PLAT APPROVED BY THE HIDALGO COUNTY AND CAMERON COUNTY IRRIGATION DISTRICT # 9, DATED THIS _____ DAY OF _____, 20____.

IVAN GARCIA, P.E., R.P.L.S.
REG. PROFESSIONAL ENGINEER NO. 115662
DATE



STATE OF TEXAS - COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MERCEDES AND HIDALGO COUNTY, TEXAS.

IVAN GARCIA, P.E., R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6488
SURVEY FIRM # 10194027
DATE



NAME	ADDRESS	PHONE & FAX
OWNER(S): VICTOR J. DANIEC	P.O. BOX 2804 EDINBURG, TX 78538	(956) 821-7108
SURVEYOR: IVAN GARCIA	P.E., R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX 78539	(956) 380-5152 (956) 380-8083
ENGINEER: IVAN GARCIA	P.E., R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX 78539	(956) 380-5152 (956) 380-8083

METES AND BOUNDS:

BEING A 20.00 ACRE TRACT OF LAND BEING THE SOUTH 20.00 ACRES OF LOT 14, BLOCK 31, CAPISALLO DISTRICT SUBDIVISION, AS RECORDED IN VOLUME P, PAGE 227, DEED RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THAT CERTAIN TRACT DESCRIBED IN DEED RECORDED IN DOCUMENT #947464, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A COTTON PICKER SPINDLE FOUND ON THE CENTERLINE INTERSECTION OF MILE 3 NORTH ROAD AND MILE 2 1/2 EAST ROAD BEING THE SOUTHWEST CORNER OF SAID LOT 14, BLOCK 31, FOR THE SOUTHWEST CORNER OF SAID TRACT HERIN DESCRIBED;

THENCE, S 88°47'29" W, A DISTANCE OF 1,320.00 FEET, ALONG SAID CENTERLINE OF MILE 3 NORTH ROAD TO A COTTON PICKER SPINDLE SET, FOR THE SOUTHWEST CORNER OF SAID TRACT HERIN DESCRIBED;

THENCE, N 88°47'29" E, A DISTANCE OF 860.00 FEET, ALONG THE WEST LINE OF SAID LOT 14, BLOCK 31, PASS AT 30.00 FEET TO A 1/2 IRON ROD SET BEING THE WEST RIGHT-OF-WAY LINE OF SAID MILE 2 1/2 EAST ROAD AND CONTINUING FOR A TOTAL DISTANCE OF 860.00 FEET TO A 1/2 IRON ROD SET BEING THE SOUTHWEST CORNER OF THAT CERTAIN TRACT DESCRIBED IN DEED RECORDED IN DOCUMENT #908307, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF HERIN DESCRIBED TRACT;

THENCE, S 112°31' E, A DISTANCE OF 660.00 FEET, ALONG CENTERLINE OF MILE 2 1/2 EAST ROAD TO THE POINT OF BEGINNING AND CONTAINING 20.00 ACRES OF LAND, MORE OR LESS.



FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK
ON _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

DATE	DESCRIPTION

INDEX TO SHEETS OF RIO RICO RANCHETTES SUBDIVISION
SHEET # 1: GENERAL LAYOUT, LOCATION MAP, PERSONAL CONTRACT, MAP, LOT, STREET, AND EASEMENT LAYOUTS, REVISIONS, NOTES, AND EXHIBITS
SHEET # 2: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER/OSSF AND ENGINEER'S CERTIFICATION
SHEET # 3: MAP OF TOPOGRAPHY AND DRAINAGE, DRAINAGE, REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE, ENGINEERING CERTIFICATION, CONSTRUCTION DETAILS

RIO DELTA ENGINEERING
FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



DRAWN: EDWIN PENA
DESIGN: IVAN GARCIA P.E., R.P.L.S.
CHECKED: IVAN GARCIA P.E., R.P.L.S.
SURVEYOR: IVAN GARCIA P.E., R.P.L.S.
SCALE: 1" = 80'
DATE: APRIL, 2020

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF IVAN GARCIA, P.E. 115662 ON APRIL, 2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ISSUED FOR: PRELIMINARY

PLAT SHEET
RIO RICO RANCHETTES
MERCEDES, TEXAS
HIDALGO COUNTY

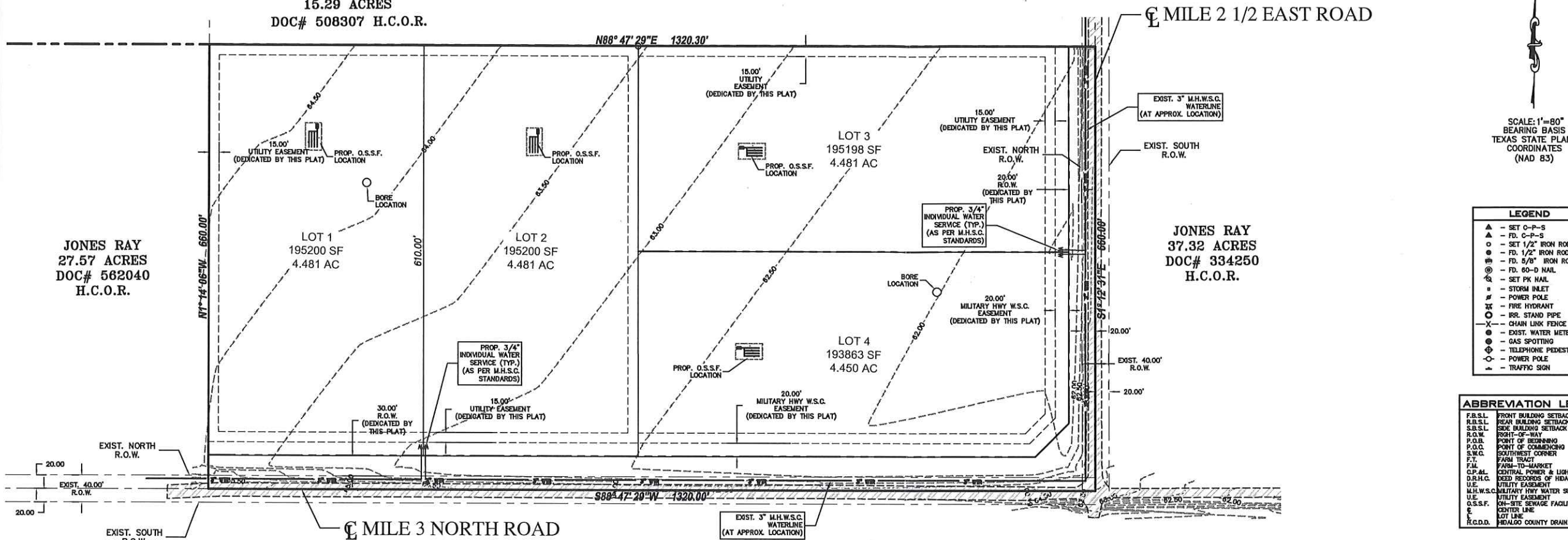
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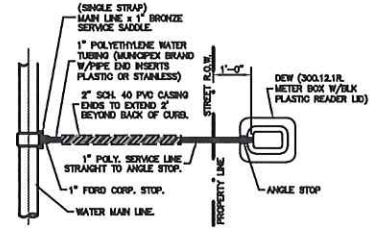
SCALE: 1"=80'
BEARING BASIS
TEXAS STATE PLANE
COORDINATES
(NAD 83)

LEGEND

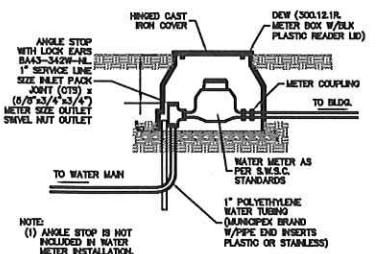
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- ⊖ - GAS SPOTTING
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- ⊕ - POWER POLE
- ⊖ - TRAFFIC SIGN

ABBREVIATION LEGEND

- F.B.S.L. FRONT BUILDING SETBACK LINE
- R.B.S.L. REAR BUILDING SETBACK LINE
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- O.S.S.F. ON-SITE SEWAGE FACILITY
- C.L. CENTER LINE
- LOT LINE
- R.C.D.D. HIDALGO COUNTY DRAINAGE DIST. #1



RESIDENTIAL SINGLE WATER SERVICE CONNECTION
NOT TO SCALE



NOTE: (1) ANGLE STOP IS NOT INCLUDED IN WATER METER INSTALLATION.

REVISION NOTES TABLE

DATE	DESCRIPTION

INDEX TO SHEETS OF RIO RICO RANCHETTES SUBDIVISION

SHEET #	DESCRIPTION

ENGINEERING REPORT FOR RIO RICO RANCHETTES SUBDIVISION
BY IVAN GARCIA, P.E., R.P.L.S.

LEGAL DESCRIPTION
A 20.00 ACRE TRACT OF LAND BEING THE SOUTH 20.00 ACRES OF LOT 14, BLOCK 31, CAPISALLO DISTRICT SUBDIVISION, AS RECORDED IN VOLUME "P", PAGE 227, MAP RECORDS, HIDALGO COUNTY, TEXAS. ALSO BEING THAT CERTAIN TRACT DESCRIBED IN DEED RECORDED IN DOCUMENT NO. 947464, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

PROPOSED USE
LOT IS VACANT AND WILL BE USED FOR SINGLE FAMILY HOME.

WATER SUPPLY AND DISTRIBUTION
THIS SUBDIVISION WILL BE PROVIDED WATER SERVICE BY MILITARY HIGHWAY WATER SUPPLY CORPORATION (M.H.W.S.C.). THE SUBDIVIDER AND M.H.W.S.C. HAVE ENTERED INTO A CONTRACT WHEREBY M.H.W.S.C. HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS. M.H.W.S.C. HAS PROVIDED DOCUMENTATION TO SATISFACTORILY ESTABLISH THE LONG-TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

M.H.W.S.C. HAS AN EXISTING 3" DIAMETER WATER LINE RUNNING ALONG THE NORTH SIDE OF M. MILE 3 ROAD RIGHT-OF-WAY, AND AN EXISTING 3" DIAMETER WATER LINE RUNNING ALONG THE WEST SIDE OF MILE 2 1/2 ROAD RIGHT-OF-WAY. THE WATER SYSTEM FOR RIO RICO RANCHETTES SUBDIVISION CONSISTS OF (4) 3/4" DIAMETER INDIVIDUAL WATER SERVICE LINES THAT CONNECT INTO THE EXISTING 3" LINE FOR THE LOT SERVICE TERMINATE AT THE WATER METER BOX FOR THE LOT. THE (4) 3/4" SINGLE SERVICE, AND THE METER BOX HAVE ALREADY BEEN INSTALLED. THE COST FOR THE CONSTRUCTION OF THE WATER SYSTEM TO THIS SUBDIVISION IS ESTIMATED TO BE \$_____. THE OWNER OF THIS DEVELOPMENT HAS PAID WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO M.H.W.S.C. A TOTAL OF \$_____. AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH STATES REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOT IN THE SUBDIVISION TO M.H.W.S.C.

SEWAGE FACILITIES DESCRIPTION, COST AND OPERABILITY DATA
SEWAGE FROM RIO RICO RANCHETTES SUBDIVISION WILL BE TREATED BY INDIVIDUAL ON-SITE SEWAGE FACILITIES ("OSSF") CONSISTING OF A STANDARD DESIGN DUAL COMPARTMENT SEPTIC TANK AND A DRAIN FIELD ON THE LOT. THE UNDERSIGNED PROFESSIONAL ENGINEER HAS EVALUATED THE SUITABILITY OF THE SUBDIVISION SITE FOR OSSF AND SUBMITTED A REPORT CONCLUDING THAT THE SITE IS SATISFACTORY FOR OSSF. THE REPORT WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT. BOTH LOTS HAVE ADEQUATE AREA FOR A REPLACEMENT DRAIN FIELD.

SOIL EVALUATION REPORT
THE LOT IN THE PROPOSED SUBDIVISION IS AT LEAST 1/2 ACRE IN SIZE. ACCORDING TO THE SOIL SURVEY REPORT PREPARED FOR HIDALGO COUNTY BY THE U.S.D.A. SOIL CONSERVATION SERVICE, THE SITE CONSISTS OF 11.7% OF HAWKINS CLAY (H), WITH 0 TO 1% SLOPES. THE SOIL IS MODERATELY WELL DRAINED AND SURFACE RUNOFF IS HIGH. PERMEABILITY IS VERY LOW TO MODERATELY LOW AND THE WATER CAPACITY IS LOW. THE SOIL IS CLASSIFIED AS GROUP D. ADDITIONALLY, IT CONSISTS OF 88.3% OF CLAYEY SILTY CLAY (SH), WITH 0 TO 1% SLOPES. THE SOIL IS MODERATELY WELL DRAINED AND SURFACE RUNOFF IS LOW. PERMEABILITY IS MODERATELY LOW TO MODERATELY HIGH AND THE WATER CAPACITY IS HIGH. THE SOILS IS CLASSIFIED AS GROUP (C). THERE IS NO INDICATION OF GROUNDWATER OR A RESTRICTIVE LAYER WITHIN 24" OF BOTTOM OF THE PROPOSED EXCAVATIONS.

THE COST TO INSTALL A SEPTIC SYSTEM ON AN INDIVIDUAL LOT IS \$_____. FOR A TOTAL OF \$_____. FOR THE LOTS, INCLUDING THE COSTS FOR THE REQUIRED PERMIT AND LICENSE. THE OSSF HAVE BEEN INSTALLED FOR THE LOT AS OF THE TIME OF APPLICATION FOR FINAL PLAT APPROVAL. THE HIDALGO COUNTY HEALTH DEPARTMENT HAS INSPECTED AND APPROVED THE INSTALLATION OF THE OSSF ON _____.

ENGINEER CERTIFICATION
I CERTIFY THAT THE WATER AND SANITARY SEWER SYSTEM FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL SUBDIVISION RULES ADOPTED UNDER SECTION 18.543, WATER CODE.

I CERTIFY THAT THE COSTS FOR THE CONSTRUCTED WATER AND SANITARY SEWER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES
THESE FACILITIES WILL HAVE A TOTAL COST OF \$_____. THE OWNER OF THIS DEVELOPMENT WILL PAY WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO M.H.W.S.C. A TOTAL OF \$_____. AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH STATES REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO M.H.S.C.

SANITARY SEWER FACILITIES
THE COST FOR THE CONSTRUCTION OF THE SEPTIC SYSTEM FOR THE LOT WILL BE \$_____. FOR THE ENTIRE SUBDIVISION, SEWAGE FACILITIES - SEPTIC SYSTEM IS ESTIMATED FOR A TOTAL OF \$_____.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME BY THE PERSON (S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

REPORT DE INGENIERIA DE RIO RICO RANCHETTES SUBDIVISION
POR: IVAN GARCIA, P.E., R.P.L.S.

ABASTECIMIENTO DE AGUA POTABLE, DESCRIPCION, COSTO, Y FORMA DE OPERABILIDAD
LA SUBDIVISION RIO RICO RANCHETTES RECIBIRA SU PROVISION DE AGUA DE MILITARY HIGHWAY WATER SUPPLY CORPORATION, LA COMPANIA DE AGUA (M.H.W.S.C.). EL DUEÑO DE LA SUBDIVISION Y M.H.W.S.C. HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE AGUA POR LOS PROXIMOS 30 AÑOS. M.H.W.S.C. HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

M.H.W.S.C. TIENE UN CONDUCTO DE AGUA DE 3" PULGADAS DE DIAMETRO QUE PASA POR EL LADO NORTE DEL DERECHO DE VIA (RIGHT-OF-WAY) DE LA CARRETERA MILE 3. TAMBIEN TIENE UN CONDUCTO DE AGUA DE 3" PULGADAS DE DIAMETRO QUE PASA POR EL LADO OESTE DEL DERECHO DE VIA (RIGHT-OF-WAY) DE LA CARRETERA MILE 2 1/2. EL SISTEMA RESERVADO PARA RIO RICO RANCHETTES SUBDIVISION CONSISTE DE (4) CUATRO LINEAS INDIVIDUALES DE AGUA LA CUAL SERA CONECTADA Y TERMINARA EN EL MEDIDOR DE AGUA, EL COSTO DE INSTALACION DEL SISTEMA DE DISTRIBUCION DE AGUA POTABLE DE RIO RICO RANCHETTES SUBDIVISION SE ESTIMA DE \$_____. A UN COSTO TOTAL, EL DUEÑO DE LA SUBDIVISION VA PAGAR LOS CARGOS POR CONEXION DE AGUA, LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFFAS DE INSPECCION DE M.H.W.S.C. POR UN TOTAL DE \$_____. POR MUCHO LO ESTABLECIDO EN EL CONTRATO DE SERVICIO DE AGUA DE 30 AÑOS QUE IMPORTES REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADJESION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE M.H.W.S.C.

SEWAGE FACILITIES DESCRIPTION AND DATA FOR EACH PLOT FOR THE SEWAGE FACILITY FOR THE SUBDIVISION
SE INSTALARAN 4 FOSAS SEPTICAS PARA RIO RICO RANCHETTES SUBDIVISION. LA FOSA SEPTICA CONSISTE DE UN TANQUE SEPTICO DE MODELO DOBLE Y DE UN CAMPO DE DRENALJE PARA EL LOTE. EL INGENIERO AUTOR DE ESTE DOCUMENTO HA EVALUADO EL AREA DONDE SE ENCUENTRA LA SUBDIVISION Y HA PREPARADO UN REPORTE QUE CONCLUYE QUE ESTE TERRENO ES ADECUADO PARA FOSAS SEPTICAS (OSSF). EL REPORTE FUE APROBADO POR EL DEPARTAMENTO DE SALUBRIDAD DEL CONDADO DE HIDALGO (HIDALGO COUNTY HEALTH DEPARTMENT) SEGUN EL REPORTE.

EL LOTE EN LA SUBDIVISION MIDE MINIMO MEDIO ACRE, DE ACUERDO CON EL INFORME DE LA INGENIERIA DE SUELOS, PREPARADO PARA EL CONDADO DE HIDALGO POR LA U.S.D.A. SERVICIO DE CONSERVACION DE SUELOS. EL SUELO CONSISTE DE 11.7% DE MEZCLA DE HAWKINS CLAY (H), CON 0 A 1% DE PENDIENTE. ESTOS SUELOS SE CONSIDERAN BIEN DRENADOS EN LOS QUE LA ESCORRENTA SUPERFICIAL ES ALTA, LA PERMEABILIDAD ES MUY BAJA A MODERADAMENTE ALTA Y LA CAPACIDAD DE AGUA ES BAJA. EL SUELO CONSISTE TAMBIEN DE 88.3% DE MEZCLA CLAYEY SILTY CLAY (SH), CON 0 A 1% DE PENDIENTE. ESTOS SUELOS SE CONSIDERAN BIEN DRENADOS EN LOS QUE LA ESCORRENTA SUPERFICIAL ES BAJA, PERMEABILIDAD ES MODERADAMENTE BAJA A MODERADAMENTE ALTA Y LA CAPACIDAD DE AGUA ES ALTA. NO HAY INDICACIONES DE AGUA SUBTERRANEA O ALGUNA CAPA RESTRICTIVA DENTRO DE 24" DEL FONDO DE LAS EXCAVACIONES PROYECTADAS.

EL COSTO ESTIMADO PARA LA INSTALACION DE UN SISTEMA INDIVIDUAL DE FOSAS SEPTICAS PARA UN LOTE INDIVIDUAL ES DE \$_____. DOLARES, CON UN TOTAL DE \$_____. INCLUYENDO EL COSTO DEL PERMISO NECESARIO Y LICENCIA EN ESTOS MOMENTOS LA FOSA SEPTICA A SER INSTALADA EN EL PROCESO DE LA APROBACION FINAL. EL DEPARTAMENTO DE SALUBRIDAD DEL CONDADO DE HIDALGO HA INSPECCIONADO TODOS LAS FOSAS SEPTICAS Y HA APROBADO LA INSTALACION DE LAS FOSAS SEPTICAS DESE.

SEWAGE FACILITIES
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I CERTIFY THAT THE COSTS FOR THE CONSTRUCTED WATER AND SANITARY SEWER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

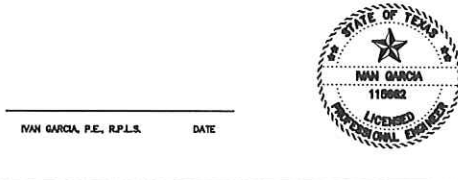
WATER FACILITIES
THESE FACILITIES WILL HAVE A TOTAL COST OF \$_____. THE OWNER OF THIS DEVELOPMENT WILL PAY WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO M.H.W.S.C. A TOTAL OF \$_____. AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH STATES REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO M.H.S.C.

SANITARY SEWER FACILITIES
THE COST FOR THE CONSTRUCTION OF THE SEPTIC SYSTEM FOR THE LOT WILL BE \$_____. FOR THE ENTIRE SUBDIVISION, SEWAGE FACILITIES - SEPTIC SYSTEM IS ESTIMATED FOR A TOTAL OF \$_____.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME BY THE PERSON (S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.



RIO DELTA ENGINEERING
FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



DRAWN: EDWIN PENA
DESIGN: IVAN GARCIA P.E., R.P.L.S.
CHECKED: IVAN GARCIA P.E., R.P.L.S.
SURVEYOR: IVAN GARCIA P.E., R.P.L.S.
SCALE: 1"= 80'
DATE: APRIL, 2020

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF IVAN GARCIA, P.E. 115662 ON APRIL, 2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ISSUED FOR: PRELIMINARY

UTILITY LAYOUT
RIO RICO RANCHETTES
MERCEDES, TEXAS
HIDALGO COUNTY

