



HIDALGO COUNTY PLANNING DEPARTMENT

T.J. Arredondo, CFM
Director of Planning

1304 SOUTH 25TH STREET
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 8-25-2020

PROPOSED MILANOS ESTATES PHASE 1 SUBDIVISION PRECINCT No. 1

ENGINEER: RIO DELTA ENGINEERING DEVELOPER: GARVIC PROPERTIES, LP

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 88 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INDUSTRIAL

ESTIMATED NUMBER OF STREETLIGHTS: 14

FILLING STATIONS: 11

LOCATION DESCRIPTION: SOUTHEAST CORNER OF MILE 6 ½ WEST ROAD AND MILE 5 ½ NORTH ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF WESLACO AND WAS APPROVED BY THE P&Z AND CITY COMMISSION OF SAID CITY

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 8-13-2020 PROPERTY LIES WITHIN FLOOD ZONE: "B" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 20.00 FEET ONTO MILE 6 ½ WEST ROAD.

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 8-18-2020 BY, PLANNING DEPARTMENT

H.C.H.D. PRELIMINARY APPROVAL DATE: N/A BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM: SANITARY SEWER BY: CITY OF WESLACO LINE SIZE: 10" LOCATION: MILE 5 ½ NORTH ROAD.

WATER SERVICE PROVIDER: CITY OF WESLACO EXISTING LINE SIZE: 6" LOCATION: SOUTH OF MILE 5 ½ NORTH ROAD.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 8-06-2020: BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed project.

VARIANCE REQUEST FROM: HIDALGO COUNTY SUBDIVISION RULES TITLE "B" CHAPTER 3 SECTION 3.5 ITEM 13 "SETBACKS".

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: _____

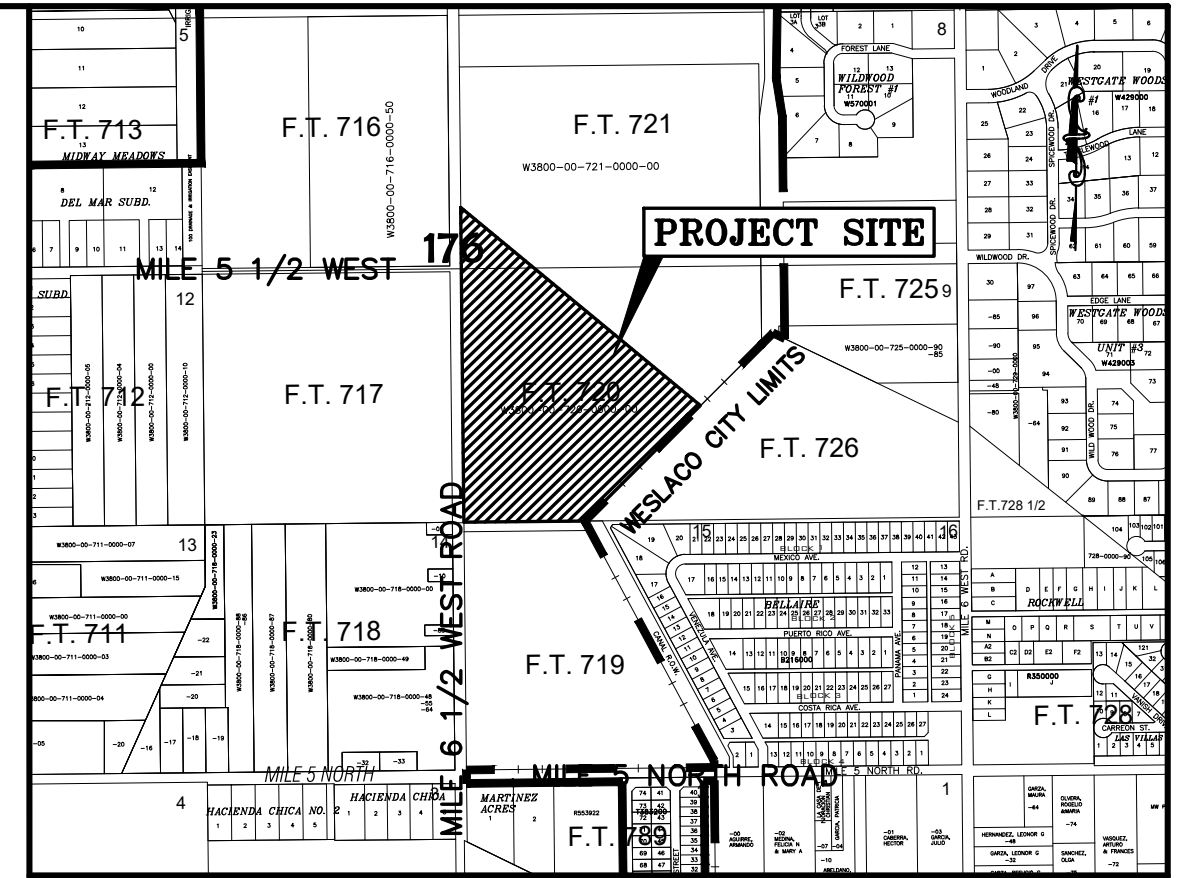
STAFF RECOMMENDS: **Preliminary Approval** *subject comments and future recommendations by planning, other departments and the approval of the City of WESLACO.*
 Final Approval *subject to recommendations other departments*

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

*

MILANOS ESTATES PHASE I SUBDIVISION

BEING A 26.43 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 26.43 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

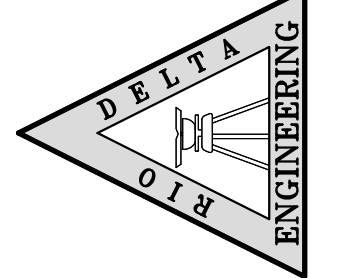


LOCATION MAP SCALE: 1" = 1000'

LOCATION OF MILANOS ESTATES PHASE I WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF MUNICIPALITY:

MILANOS ESTATES PHASE I IS LOCATED APPROX. 15080 FEET SOUTH FROM THE INTERSECTION OF MILE 6 ROAD AND HOPPER ROAD, EAST SIDE OF HOPPER ROAD IN HIDALGO COUNTY PRECINCT 1. THIS SUBDIVISION LIES APPROXIMATELY 1/2 MILE FROM THE CITY LIMITS AND IS WITHIN THE CITY OF WESLACO TWO-MILE EXTRA-TERRITORIAL (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021 OR THE CITY'S FIVE-MILE ETJ UNDER LOCAL GOVERNMENT CODE § 212.001. THE ESTIMATED POPULATION OF THE CITY OF WESLACO IS 41,629 (2019 CENSUS) AS PER THE 2019 UNITED STATES CENSUS BUREAU.

RIO DELTA ENGINEERING
FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF IVAN GARCIA, P.E. 155662 ON AUGUST 7, 2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ISSUED FOR: **PRELIMINARY**

PLAT SHEET
MILANOS ESTATES PHASE I SUBDIVISION
HIDALGO COUNTY, TEXAS.

ALISDAMAR LLC
37.24 ACRES
FARM TRACT 721,
WEST TRACT SUBDIVISION
DOC#2184747, M.R.H.C.

CENTERLINE OF
MILE 5-1/2 WEST
ROAD

FENECH SOLE, LLC.
20.00 ACRES
FARM TRACT 717,
WEST TRACT SUBDIVISION,
VOL. 2, PG. 34-37 M.R.H.C.
DOC#2706194 O.R.H.C.

O.E. INVESTMENTS, INC.
12.75 ACRES
FARM TRACT 719,
WEST TRACT SUBDIVISION,
VOL. 2, PG. 34-37 M.R.H.C.
DOC#1137827, H.C.M.R.

FELIPE M. AVILA
27.48 ACRES
FARM TRACT 726,
WEST TRACT SUBDIVISION,
VOL. 2, PG. 34-37 M.R.H.C.
DOC#2509240 O.R.H.C.

BAROSO ALAM R. & EMMA RIOS
FARM TRACT 718,
WEST TRACT SUBDIVISION,
VOL. 2, PG. 34-37 M.R.H.C.
DOC#2228306 O.R.H.C.

NAME	ADDRESS	PHONE & FAX
OWNER(S): GARVIC PROPERTIES LP	P.O. BOX 2604	EDINBURG, TX. 78536
SURVEYOR: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083

SCALE: 1" = 100'
BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK

LEGEND

- ▲ - SET C-P-S
- ▲ - FD. C-P-S
- - SET 1/2" IRON ROD
- - FD. 1/2" IRON ROD
- - SET 5/8" IRON ROD
- - FD. 5/8" IRON ROD
- - FD. 60-0 NAIL
- - SET PK NAIL
- ⊕ - STORM INLET
- ⊕ - POWER POLE
- ⊕ - FIRE HYDRANT
- ⊕ - IRR. STAND PIPE
- ⊕ - CHAIN LINK FENCE
- ⊕ - EXIST. WATER METER
- ⊕ - GAS SPOTTING
- ⊕ - TELEPHONE PEDESTAL
- ⊕ - POWER POLE
- ⊕ - TRAFFIC SIGN

ABBREVIATION LEGEND

F.B.S.L.	FRONT BUILDING SETBACK LINE
R.B.S.L.	REAR BUILDING SETBACK LINE
S.B.S.L.	SIDE BUILDING SETBACK LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
P.C.	POINT OF COMMENCING
S.W.C.	SOUTHWEST CORNER
F.T.	FARM TRACT
F.M.	FARM-TO-MARKET
C.P.&L.	CENTRAL POWER & LIGHT CO.
D.R.C.	DEED RECORDS OF HIDALGO COUNTY
U.E.	UTILITY EASEMENT
M.W.S.C.	MILITARY HWY WATER SUPPLY CORP.
U.S.E.	ON-SITE SEWAGE FACILITY
O.S.S.F.	CENTER LINE
LOT LINE	LOT LINE
H.C.D.D.	HIDALGO COUNTY DRAINAGE DIST. #1

Curve Table

Curve #	Length	Radius	Delta	Chord Distance	Chord Length
C1	43.39	50.00	49.72	37.97	32.99'
C2	50.00	50.00	57.30	33.91	28.74'
C3	50.00	50.00	57.30	33.91	28.74'
C4	43.39	50.00	49.72	37.97	32.99'

METES AND BOUNDS DESCRIPTION

BEING A 26.43 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 26.43 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

AND SAID 26.43 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A COTTON-PICKER-SPINDLE FOUND AT THE NORTHWEST CORNER OF FARM TRACT 722 OF THE SAID WEST TRACT SUBDIVISION, SAME BEING THE POINT OF INTERSECTION BETWEEN THE CENTERLINES OF MILE 6 NORTH ROAD (A.K.A. 18TH STREET) AND MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD);

THENCE S 1°12'22" E ALONG THE WEST LINE OF THE SAID FARM TRACTS 722 AND 721, SAME BEING ALONG THE CENTERLINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), PASSING AT 1320.00 A COTTON-PICKER-SPINDLE FOUND AT THE NORTHWEST CORNER OF THE SAID FARM TRACT 721, SAME POINT BEING THE SOUTHWEST CORNER OF THE SAID FARM TRACT 722, AND CONTINUING FOR A TOTAL DISTANCE OF 2403.76 FEET TO A COTTON-PICKER-SPINDLE SET, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 88°47'38" E ACROSS THE SAID FARM TRACT 721, TO A POINT ON THE EXISTING EAST RIGHT-OF-WAY LINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), A DISTANCE OF 20.00 FEET TO A 1/2-CAPPED IRON ROD SET, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

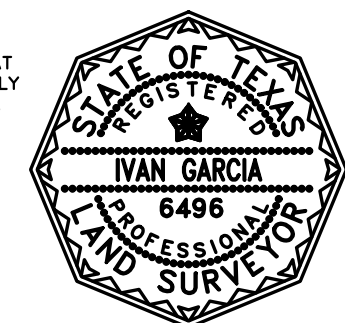
THENCE S 52°51'19" E ACROSS THE SAID FARM TRACTS 721 AND 720, SAME BEING IN PART ALONG THE NORTHERN LINE OF A CALLED EASEMENT AND RIGHT-OF-WAY FOR PIPELINE TO RIO GRANDE VALLEY GAS COMPANY, RECORDED IN VOLUME 1641, PAGE 534, DEED RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 495.31 FEET TO A POINT ON THE LINE OF THE HEREIN DESCRIBED TRACT;

THENCE S 50°20'25" E ACROSS THE SAID FARM TRACT 720, SAME BEING ALONG THE NORTHERN LINE OF THE SAID EASEMENT AND RIGHT-OF-WAY FOR PIPELINE TO RIO GRANDE VALLEY GAS COMPANY, TO A POINT ON THE EAST LINE OF THE SAID FARM TRACT 720, A DISTANCE OF 1072.15 FEET TO A 1/2-CAPPED IRON ROD SET, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 44°24'22" W ALONG THE EAST LINE OF THE SAID FARM TRACT 720, SAME BEING ALONG THE NORTH LINE OF FARM TRACT 726 OF THE SAID WEST TRACT SUBDIVISION, TO THE MOST SOUTHERLY SOUTHEAST CORNER OF THE SAID FARM TRACT 720, SAME POINT BEING THE SOUTHWEST CORNER OF THE SAID FARM TRACT 726, A DISTANCE OF 782.56 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 88°47'38" W ALONG THE SOUTH LINE OF THE SAID FARM TRACT 720, SAME BEING ALONG THE NORTH LINE OF FARM TRACT 719 OF THE SAID WEST TRACT SUBDIVISION, TO THE SOUTHWEST CORNER OF THE SAID FARM TRACT 720, SAME POINT BEING THE NORTHWEST CORNER OF THE SAID FARM TRACT 720, PASSING AT 640.00 FEET A 1/2-INCH CAPPED IRON ROD SET ON THE EXISTING EAST RIGHT-OF-WAY LINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), AND CONTINUING FOR A TOTAL DISTANCE OF 860.00 FEET TO A COTTON-PICKER-SPINDLE FOUND ON THE CENTERLINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), SAID COTTON-PICKER-SPINDLE FOUND BEING DISTANT 41°12'22" W 1330.34 FEET FROM A COTTON-PICKER-SPINDLE FOUND AT THE SOUTHWEST CORNER OF THE SAID FARM TRACT 719, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 1°12'22" W ALONG THE WEST LINE OF THE SAID FARM TRACTS 720 AND 721, SAME BEING ALONG THE CENTERLINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), PASSING AT 1320.00 A COTTON-PICKER-SPINDLE SET AT THE NORTHWEST CORNER OF THE SAID FARM TRACT 720, SAME POINT BEING THE SOUTHWEST CORNER OF THE SAID FARM TRACT 721, AND CONTINUING FOR A TOTAL DISTANCE OF 1558.24 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 26.43 ACRES OF LAND, MORE OR LESS, OUT OF WHICH 0.71 ACRES LIE WITHIN THE EXISTING RIGHT-OF-WAY OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD).



STATE OF TEXAS - COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREIN, AND THAT THERE ARE NO APPARENT DISCREPANCIES, OVERLAPPING OR IMPROPERLY PLACED MONUMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN HEREON WERE PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WESLACO AND HIDALGO COUNTY, TEXAS.

IVAN GARCIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496
SURVEY FIRM # 10194027

INDEX TO SHEETS OF MILANOS ESTATES PHASE I SUBDIVISION

SHEET 1: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT, DESCRIPTION (METES AND BOUNDS), SURVEYOR'S CERTIFICATION.	CHECKED BY: IVAN GARCIA P.E. R.P.L.S.
SHEET 2: PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.D.D.#9, H.C.D.D. No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.	CHECKED BY: IVAN GARCIA P.E. R.P.L.S.
SHEET 3: WATER LAYOUT, ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	DRAWN BY: OSCAR ALARCON JR.
SHEET 4: SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE LOCATION.	DATE: AS SHOWN
SHEET 5: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	PROJECT: AUGUST 7, 2020
SHEET 6: PAVING & DRAINAGE DETAIL SHEET.	REVISIONS: SUB 19 028
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET.	PAGE NO. 1 OF 7

VARIDE SUBDIVISIONS 2019/05/19 0:28:23 DANIAN MILANOS ESTATES HIDALGO COUNTY SETSUB 19 028_SHT 2 PLAT SHEET 8/7/2020 2:35 PM

MILANOS ESTATES PHASE I SUBDIVISION

BEING A 26.43 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 26.43 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS – COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, **VICTOR J. DANIEC**, AS OWNER OF THE 26.43 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED **MILANOS ESTATES PHASE I SUBDIVISION** HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE OF STREETS, PARK, AND EASEMENTS SHOWN HEREIN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT:

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
 (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
 (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
 (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

VICTOR J. DANIEC
 GARVIC MGMT, INC
 P.O. BOX 2604
 EDINBURG, TX. 78536

DATE: _____

STATE OF TEXAS – COUNTY OF HIDALGO PUBLIC NOTARY CERTIFICATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED **VICTOR J. DANIEC** PROVED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2020

 NOTARY PUBLIC MY COMMISSION EXPIRES _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
 GENERAL MANAGER

DATE: _____

STATE OF TEXAS – CITY OF WESLACO PLAT APPROVAL CERTIFICATE

I, THE UNDERSIGNED, MAYOR TO THE CITY OF WESLACO, HEREBY CERTIFY THAT **VICTOR J. DANIEC**, PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY MAYOR _____ DATE _____ ATTEST: CITY SECRETARY _____ DATE _____

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WESLACO, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISIONS REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING COMMISSION CHAIRMAN _____ DATE _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF **MILANOS ESTATES PHASE I SUBDIVISION** WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS' COURT ON THIS ____ DAY OF _____, 2020.

HIDALGO COUNTY JUDGE _____ DATE _____

ATTEST: HIDALGO COUNTY CLERK _____ DATE _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT NO. 9

THIS PLAT IS APPROVED BY THE HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT # 9

DATED THIS ____ DAY OF _____, 20____

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9 RIGHT-OF-WAYS AND/OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF H.C.C.I.D. #9.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER WATER SYSTEM TO ANY LOT WITH IN THIS SUBDIVISION, AS WELL, H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR DELIVERY OF WATER TO ANY LOT WITH IN THIS SUBDIVISION, IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- H.C.C.I.D. #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.

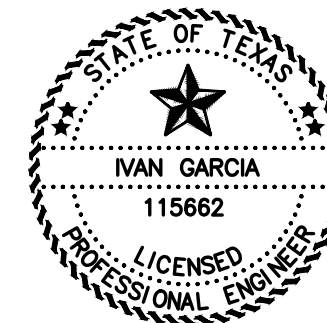
GENERAL MANAGER _____ DATE _____
 HIDALGO & CAMERON COUNTIES IRRIGATION DISTRICT No.9

STATE OF TEXAS – COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

IVAN GARCIA P.E. R.P.L.S.
 REG. PROFESSIONAL ENGINEER NO. 115662

DATE: _____



GENERAL NOTES:

- FEMA FLOOD ZONE STATEMENT:
 THE SUBDIVISION IS IN ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANELS NO.: 480334 0525 B MAP REVISED: JANUARY 2, 1991.
- SETBACKS:
 FRONT: 20.00 FEET OR EASEMENT WHICHEVER IS GREATER
 REAR: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
 SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
 CORNER: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOTS. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOTS. ANY OTHER USE SHALL REQUIRE HEALTH, PLANNING AND FIRE MARSHALL APPROVAL.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6" ABOVE THE CENTER LINE OF MILE 6 1/2 WEST ROAD, OR 18" ABOVE THE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT, WHICHEVER IS GREATER AS PER THE TABLE BELOW. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS.

LOT	FINISHED FLOOR ELEVATION (FT)	LOT	FINISHED FLOOR ELEVATION (FT)
1	75.68	45	76.45
2	75.54	46	75.54
3	75.54	47	75.54
4	75.54	48	75.54
5	75.91	49	75.54
6	75.91	50	75.54
7	76.17	51	75.91
8	76.17	52	75.91
9	76.51	53	76.17
10	76.51	54	76.17
11	76.97	55	76.17
12	78.31	56	76.51
13	78.44	57	76.51
14	77.84	58	76.51
15	77.84	59	76.97
16	76.97	60	76.83
17	76.97	61	77.03
18	76.83	62	77.03
19	76.83	63	76.37
20	77.03	64	76.37
21	77.03	65	76.05
22	77.03	66	76.05
23	76.89	67	76.05
24	76.89	68	76.05
25	76.89	69	75.74
26	77.09	70	75.74
27	77.09	71	75.74
28	77.09	72	75.74
29	76.69	73	76.05
30	76.69	74	76.05
31	76.69	75	76.05
32	76.69	76	76.05
33	76.69	77	76.37
34	76.29	78	76.37
35	76.29	79	77.03
36	76.29	80	76.37
37	76.29	81	76.37
38	75.89	82	76.05
39	75.89	83	76.05
40	75.89	84	76.05
41	75.89	85	76.05
42	75.49	86	75.74
43	75.49	87	76.69
44	75.49	88	77.09

- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:
 -->B.M. NO. 1-- ELEV. **77.83** N.G.V.D. 88, DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND AT THE INTERSECTION BETWEEN THE CENTERLINE OF MILE 6 1/2 WEST ROAD AND MILE 5 1/2 WEST ROAD. GPS POINT, GRID COORDINATES N **16574070.7400** E **1143604.3160**
 -->B.M. NO. 2-- ELEV. **76.21** N.G.V.D. 88, DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND AT THE CENTERLINE OF MILE 6 1/2 WEST ROAD. GPS POINT, GRID COORDINATES N **16572750.9600** E **1143632.3420**
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL OF **111,633** CUBIC-FEET OR **2.58** ACRE-FEET OF STORM WATER RUNOFF.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER CERTIFIES THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- THE DEVELOPER SHALL BE RESPONSIBLE TO INSTALL DRIVEWAY CULVERT WITH DRAIN PIPE OF NO LESS THAN 15 INCHES IN DIAMETER AND 24 FEET IN LENGTH, AND RE-GRADING OF ROADSIDE DITCH TO COUNTY SPECIFICATIONS ALONG MILE 6 1/2 WEST ROAD AT THE TIME OF APPLICATION FOR CONSTRUCTION.
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.
- 5.00 FEET SIDEWALK IS REQUIRED ALONG EXTERIOR PERIMETER UPON THE ISSUANCE OF A NOTICE TO PROCEED.
- A 4 FT. SIDEWALK IS REQUIRED ALONG ALL STREETS UPON THE ISSUANCE OF A BUILDING PERMIT, ON CORNER LOTS, THE OWNER SHALL BE RESPONSIBLE FOR THE SIDEWALK ALONG ALL STREETS ADJOINING THE LOT.
- ALL SUBDIVISION BOUNDARY LOT CORNERS HAVE CONCRETE MONUMENTS AND ALL LOT CORNERS HAVE CAPPED IRON ROD MARKERS.
- CORNERS LOT DRIVEWAYS SHOULD BE CONSTRUCTED AT FURTHEST POSSIBLE POINT FROM INTERSECTIONS AND IN COMPLIANCE WITH ACCESS MANAGEMENT ORDINANCE.
- STREETLIGHT MUST BE LOCATED EVERY 250 FEET.
- NO PERMANENT STRUCTURES ARE PERMITTED OVER ANY EASEMENTS.
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON THE LOT MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.



FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

INDEX TO SHEETS OF MILANOS ESTATES PHASE I SUBDIVISION	
SHEET 1: HEADING; INDEX; LOCATION MAP; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION.	ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SHEET 2: PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#9; H.C.D.D. No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.	SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
SHEET 3: WATER LAYOUT; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	CHECKED: IVAN GARCIA P.E. R.P.L.S.
SHEET 4: SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE LOCATION.	DRAWN: OSCAR ALARCON JR.
SHEET 5: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	SCALE: AS SHOWN
SHEET 6: PAVING & DRAINAGE DETAIL SHEET	DATE: AUGUST 7, 2020
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET	PROJECT: SUB 19 027
	REVISIONS:
	PAGE NO: 2 OF 7

NAME	ADDRESS	PHONE & FAX
OWNER(S): GARVIC PROPERTIES LP	P.O. BOX 2604 EDINBURG, TX. 78536	
SURVEYOR: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083

RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
 SURVEY FIRM No. 10194027
 921 S. 10TH AVENUE EDINBURG, TEXAS 78539
 (TEL) 956-380-5152 (FAX) 956-380-5083

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ISSUED FOR:
PRELIMINARY

PLAT SHEET

MILANOS ESTATES PHASE I SUBDIVISION

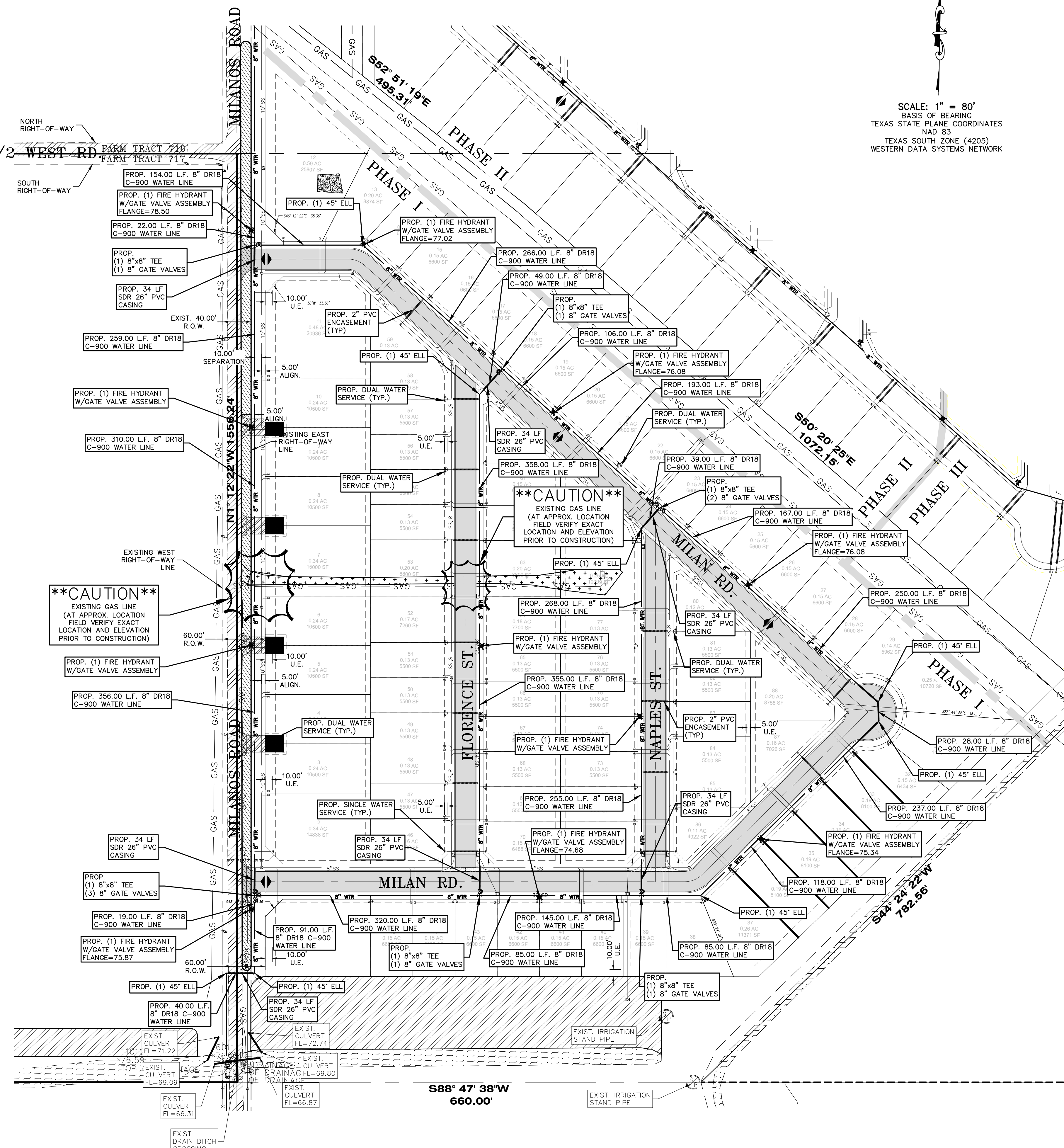
HIDALGO COUNTY

PROJECT:

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
 SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
 CHECKED: IVAN GARCIA P.E. R.P.L.S.
 DRAWN: OSCAR ALARCON JR.
 SCALE: AS SHOWN
 DATE: AUGUST 7, 2020
 PROJECT: SUB 19 027
 REVISIONS:
 PAGE NO: **2 OF 7**

Y: RDE SUBDIVISIONS 2019\SUB 19 028- DANIAN MILANOS ESTATES\DMC\COUNTY SET\SUB 19 028_SHT 16 WATER LAYOUT - PHASE I.dwg DANIEL 8/7/2020 2:43 PM

MILE 5 1/2 WEST RD FARM TRACT 716 FARM TRACT 717



SCALE: 1" = 80'
BASIS OF BEARING
TEXAS STATE PLANE COORDINATES
NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK

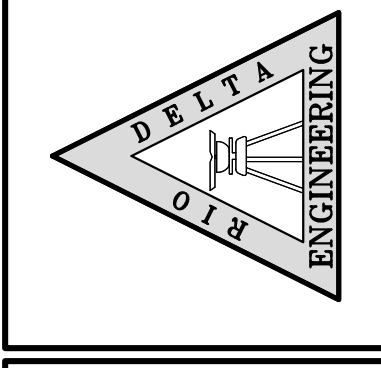
ENGINEERING REPORT FOR MILANOS ESTATES PHASE I SUBDIVISION
BY IVAN GARCIA, P.E., R.P.L.S.
LEGAL DESCRIPTION
BEING A 65.43 ACRES TRACT OF OUT OF FARM TRACT 721 AND 720, WEST TRACT SUBDIVISION HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGE 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
PROPOSED USE
ALL LOTS ARE VACANT AND WILL BE USED FOR SINGLE FAMILY HOMES.
WATER SUPPLY AND DISTRIBUTION
THIS SUBDIVISION WILL BE PROVIDED WATER SERVICE BY THE CITY OF WESLACO. THE SUBDIVIDER AND THE CITY OF WESLACO HAVE ENTERED INTO A CONTRACT WHEREBY THE CITY OF WESLACO HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS. CITY OF WESLACO HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG-TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.
CITY OF WESLACO HAS AN EXISTING 6" DIAMETER WATER LINE RUNNING ALONG THE SOUTH SIDE OF MILE 5 NORTH ROAD RIGHT-OF-WAY. THE WATER SYSTEM FOR MILANOS ESTATES PHASE I CONSISTS OF (32) 3/4" DIAMETER SINGLE SERVICE LINE THAT CONNECT INTO THE EXISTING 6" LINE FOR ALL LOTS SERVICES TERMINATE AT THE WATER METER BOX AND (28) 1" DIAMETER DUAL SERVICE LINE THAT CONNECT INTO THE EXISTING 6" LINE FOR ALL LOTS SERVICES TERMINATE AT THE WATER METER BOX FOR ALL LOTS AND 11 FIRE HYDRANTS HAVE BEEN INSTALLED ON THE EXISTING 6" LINE. THE (32) 3/4" SINGLE SERVICE, (28) 3/4" DIAMETER DUAL SERVICE LINES, AND THE METER BOXES HAVE ALREADY BEEN INSTALLED. IN ADDITION, THE SUBDIVIDER HAS INSTALLED 11 FIRE HYDRANTS AT A UNIT COST OF \$ _____ THE COST FOR THE CONSTRUCTION OF THE WATER SYSTEM TO MILANOS ESTATES PHASE I SUBDIVISION IS ESTIMATED TO BE \$ _____ THE OWNER OF THIS DEVELOPMENT HAS PAID WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO. A TOTAL OF \$ _____ AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOT IN THE SUBDIVISION TO THE CITY OF WESLACO.
SEWER FACILITIES DESCRIPTION, COST AND OPERABILITY DATES
SEWER FROM MILANOS ESTATES PHASE I WILL BE TREATED BY SANITARY SEWER SYSTEM CONSISTING OF A 2" SEWER SERVICE LINE FOR EACH LOT. THE CITY OF WESLACO HAS AN EXISTING LIFT STATION NORTH EAST CORNER OF THE INTERSECTION OF MILE 5 AND HOPPER ROAD. THE SEWER SYSTEM FOR MILANOS ESTATES PHASE I CONSISTS OF (86) 2" DIAMETER SERVICE LINE THAT CONNECT INTO THE EXISTING 10" SEWER LINE FOR ALL LOTS SERVICES TERMINATE AT THE EXISTING LIFT STATION. THE (86) 2" SEWER SERVICE LINE HAVE ALREADY BEEN INSTALLED. THE COST FOR THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM TO THIS SUBDIVISION IS ESTIMATED TO BE \$ _____ THE OWNER OF THIS DEVELOPMENT HAS PAID SANITARY SEWER FEES, WHICH INCLUDE THE INSPECTION FEES, TO THE CITY OF WESLACO. A TOTAL OF \$ _____ AS STATED IN THE 30 YEAR SANITARY SEWER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOT IN THE SUBDIVISION TO THE CITY OF WESLACO.
ENGINEER CERTIFICATION
I CERTIFY THAT THE WATER AND SANITARY SEWER SYSTEM FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL SUBDIVISION RULES ADOPTED UNDER SECTION 16.343, WATER CODE.
I CERTIFY THAT THE COSTS FOR THE CONSTRUCTED WATER AND SANITARY SEWER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:
WATER FACILITIES
THESE FACILITIES WILL HAVE A TOTAL COST OF \$ _____ THE OWNER OF THIS DEVELOPMENT WILL PAY WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO. A TOTAL OF \$ _____ AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF WESLACO.
SANITARY SEWER FACILITIES
THESE FACILITIES WILL HAVE A TOTAL COST OF \$ _____ THE OWNER OF THIS DEVELOPMENT WILL SANITARY SEWER FEES, WHICH INCLUDE THE SANITARY SEWER SERVICE INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO. A TOTAL OF \$ _____ AS STATED IN THE 30 YEAR SANITARY SEWER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF WESLACO.
IVAN GARCIA, P.E., R.P.L.S. DATE _____

REPORT DE INGENIERIA DE MILANOS ESTATES PHASE I SUBDIVISION
ABASTECIMIENTO DE AGUA POTABLE: DESCRIPCION, COSTO, Y FECHA DE OPERABILIDAD
LA SUBDIVISION MILANOS ESTATES PHASE I RECIBIRA SU PROVISION DE AGUA DE LA CIUDAD DE WESLACO. EL DUENO DE LA SUBDIVISION Y LA CIUDAD DE WESLACO HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE AGUA POR LOS PROXIMOS 30 ANOS. LA CIUDAD DE WESLACO HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ACESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.
LA CIUDAD DE WESLACO TIENE UN CONDUCTO DE AGUA DE 6" PULGADAS DE DIAMETRO QUE PASA POR EL LADO SUR DEL DERECHO DE VIA (RIGHT-OF-WAY) DE LA CARRETERA MILE 5 NORTH. EL SISTEMA REQUERIDO PARA MILANOS ESTATES PHASE I CONSISTE EN (32) LINEAS INDIVIDUALES DE AGUA DE 3/4" DE DIAMETRO Y (28) LINEAS DOBLES DE AGUA DE 1" DE DIAMETRO, EN LA CUAL ESTA CONECTADA A LA LINEA DE 6" DE DIAMETRO PARA TODOS LOS LOTES. Y TERMINA EN LOS MEDIDORES DE AGUA. 11 HIDRANTES DE AGUA PARA EL DEPARTAMENTO DE BOMBEROS HAN SIDO INSTALADOS. EL DUENO DE LA SUBDIVISION TAMBIEN HA INSTALADO 11 HIDRANTES DE AGUA (FIRE HYDRANTS) A UN COSTO DE \$ _____. EL COSTO PARA LA CONSTRUCCION DE LA INSTALACION DEL SISTEMA DE DISTRIBUCION DE AGUA POTABLE DE MILANOS ESTATES PHASE I SE ESTIMA DE \$ _____. A UN COSTO TOTAL EL DUENO DE LA SUBDIVISION VA PAGAR LOS CARGOS POR CONEXION DE AGUA, LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFFAS DE INSPECCION DE LA CIUDAD DE WESLACO. POR UN TOTAL DE \$ _____. POR MUCHO LO ESTABLECIDO EN EL CONTRATO DE SERVICIO DE AGUA DE 30 ANOS QUE IMPORTES REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADQUISICION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE LA CIUDAD DE WESLACO.
DRENAJE: DESCRIPCION, GASTOS Y FECHA DE INICIO PARA FACILITAR EL DRENAJE PARA LA SUBDIVISION
EL DRENAJE DE MILANOS ESTATES PHASE I SERA TRATADO POR UN SISTEMA DE DRENAJE SANITARIO QUE CONSISTE DE UN 2" SERVICIO DE DRENAJE PARA CADA LOTE. LA CIUDAD DE WESLACO TIENE UN LIFT STATION EXISTENTE EN LA ESQUINA NOROCCIDENTE DE LA INTERSECCION DE MILE 5 Y HOPPER ROAD. EL SISTEMA DE DRENAJE PARA MILANOS ESTATES PHASE I SUBDIVISION, CONSISTE DE (86) 2" DE DIAMETRO DE LINEA DE SERVICIO DE ALCANTARILLADO, QUE CONECTAN EN EL 10" LINEA DE SERVICIO DE ALCANTARILLADO EXISTENTE PARA TODOS LOS LOTES TERMINANDO EN EL LIFT STATION EXISTENTE DEL MEDIDOR DE ALCANTARILLADO HAN SIDO INSTALADO. EL COSTO POR LA CONSTRUCCION DEL SISTEMA DE DRENAJE SANITARIO PARA ESTA SUBDIVISION SE ESTIMA DE \$ _____. EL DUENO DE ESTE DESARROLLO A PAGADO TARIFFAS DE ALCANTARILLADO SANITARIO, LA CUAL INCLUYE TARIFFAS DE INSPECCION, PARA LA CIUDAD DE WESLACO, UN TOTAL DE \$ _____. COMO SE INDICA EN EL ACUERDO DE SERVICIO DE ALCANTARILLADO DE 30 ANOS. LA CUAL SUMA REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADQUISICION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE LA CIUDAD DE WESLACO.
CERTIFICACION:
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDIO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS).
CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:
AGUA:
EL SISTEMA/SERVICIO DE AGUA TENDRA UN COSTO DE \$ _____. EL DUENO DE LA SUBDIVISION VA PAGAR LOS CARGOS POR CONEXION DE AGUA, LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFFAS DE INSPECCION DE LA CIUDAD DE WESLACO, POR UN TOTAL DE \$ _____. POR MUCHO LO ESTABLECIDO EN EL CONTRATO DE SERVICIO DE AGUA DE 30 ANOS QUE IMPORTES REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADQUISICION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE LA CIUDAD DE WESLACO.
DRENAJE:
EL SISTEMA/SERVICIO DE AGUA TENDRA UN COSTO DE \$ _____. EL DUENO DE LA SUBDIVISION VA PAGAR LOS CARGOS POR CONEXION DE AGUA, LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFFAS DE INSPECCION DE LA CIUDAD DE WESLACO, POR UN TOTAL DE \$ _____. POR MUCHO LO ESTABLECIDO EN EL CONTRATO DE SERVICIO DE AGUA DE 30 ANOS QUE IMPORTES REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADQUISICION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE LA CIUDAD DE WESLACO.
THESE FACILITIES WILL HAVE A TOTAL COST OF \$ _____. THE OWNER OF THIS DEVELOPMENT WILL SANITARY SEWER FEES, WHICH INCLUDE THE SANITARY SEWER SERVICE INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO. A TOTAL OF \$ _____ AS STATED IN THE 30 YEAR SANITARY SEWER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF WESLACO.
I, IVAN GARCIA, HEREBY ACKNOWLEDGE THAT THE ABOVE TRANSLATION FROM ENGLISH TO SPANISH, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
IVAN GARCIA, P.E., R.P.L.S. DATE _____

LEGEND

	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. TELEPHONE PEDESTAL
	EXIST. GRATE INLET
	EXIST. LAMP POLE
	EXIST. TRAFFIC POLE
	EXIST. GUY WIRE
	EXIST. POWER POLE
	EXIST. WATER VALVE
	EXIST. FLUSH VALVE
	EXIST. IRRIGATION VALVE
	EXIST. FIREHYDRANT
	EXIST. MAIL BOX
	EXIST. BRICK MAIL BOX
	EXIST. WATER METER
	EXIST. STREET SIGN
	EXIST. SANITARY SEWER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. FENCE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	EXIST. UNDERGROUND GAS LINE
	1/2" IRON ROD SET
	1/2" IRON ROD FOUND
	FENCE CORNER FOUND
	1/2-INCH IRON PIPE FOUND
	RIGHT-OF-WAY POST FOUND
	CALCULATED POINT
	COTTON PICKER SPINDLE SET
	ELECTRICAL BOX

RIO DELTA ENGINEERING
FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



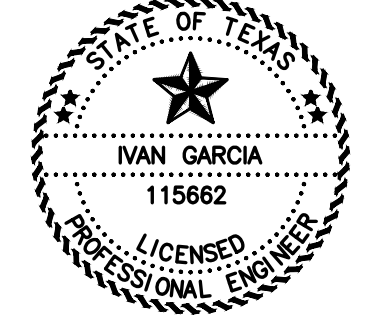
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ISSUED FOR: **PRELIMINARY**

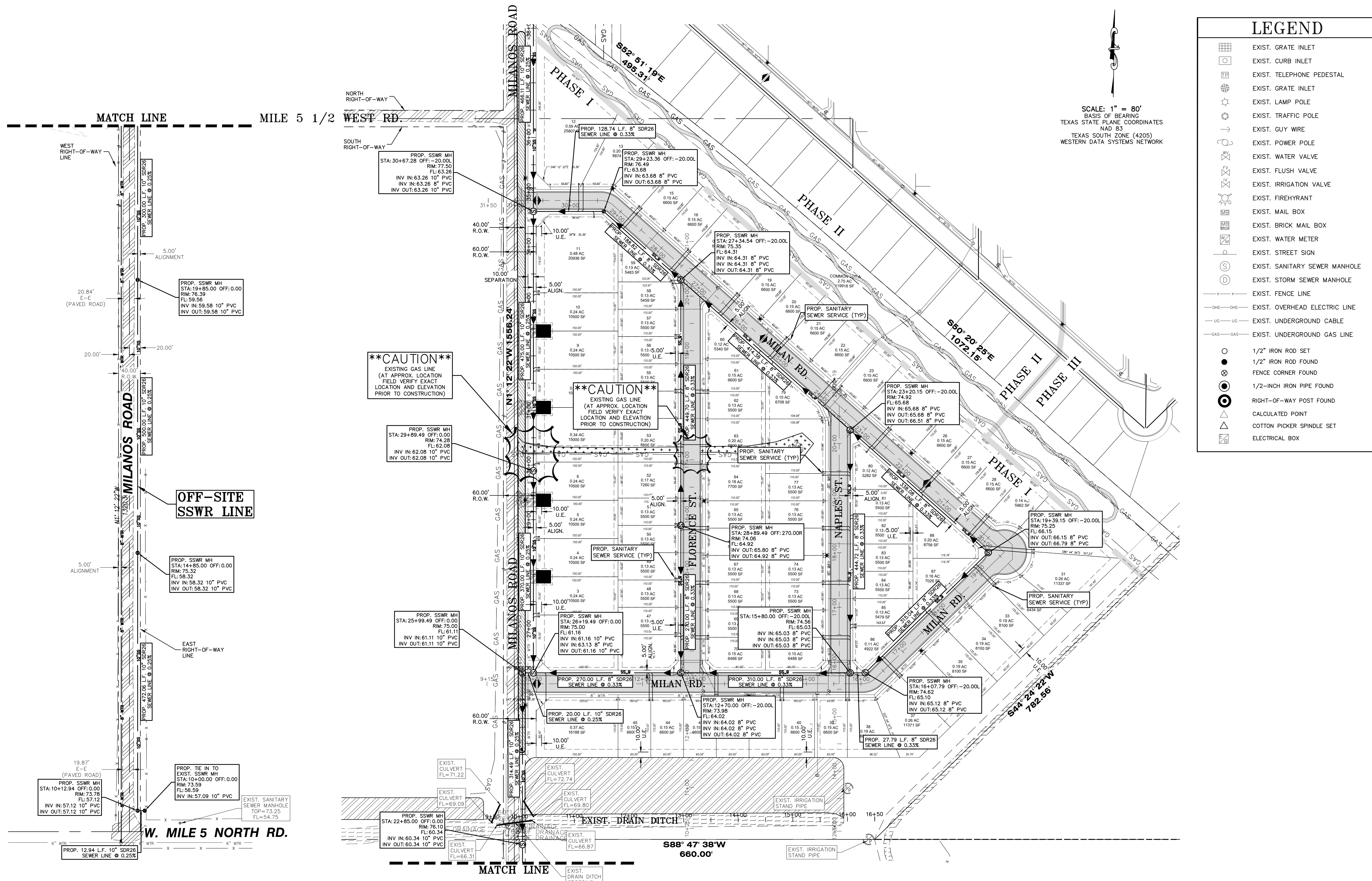
WATER LAYOUT - PHASE I
MILANOS ESTATES PHASE I SUBDIVISION
HIDALGO COUNTY, TEXAS.

- #### GENERAL NOTES:
- 1) THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.
 - 2) ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.
 - 3) THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES, LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY, AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.
 - 4) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
 - 5) ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT AT HIS EXPENSE.
 - 6) ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

I, IVAN GARCIA, HEREBY ACKNOWLEDGE THAT THE ABOVE TRANSLATION FROM ENGLISH TO SPANISH, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
IVAN GARCIA, P.E., R.P.L.S. DATE _____



ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: OSCAR ALARCON JR.
SCALE: 1"=80'
DATE: AUGUST 7, 2020
PROJECT: SUB 19 028
REVISIONS:
PAGE NO: 3 OF 7



LEGEND

	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. TELEPHONE PEDESTAL
	EXIST. GRATE INLET
	EXIST. LAMP POLE
	EXIST. TRAFFIC POLE
	EXIST. GUY WIRE
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	EXIST. WATER VALVE
	EXIST. FLUSH VALVE
	EXIST. IRRIGATION VALVE
	EXIST. FIREHYDRANT
	EXIST. MAIL BOX
	EXIST. BRICK MAIL BOX
	EXIST. WATER METER
	EXIST. STREET SIGN
	EXIST. SANITARY SEWER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. FENCE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	EXIST. UNDERGROUND GAS LINE
	1/2" IRON ROD SET
	1/2" IRON ROD FOUND
	FENCE CORNER FOUND
	1/2-INCH IRON PIPE FOUND
	RIGHT-OF-WAY POST FOUND
	CALCULATED POINT
	COTTON PICKER SPINDLE SET
	ELECTRICAL BOX

RIO DELTA ENGINEERING

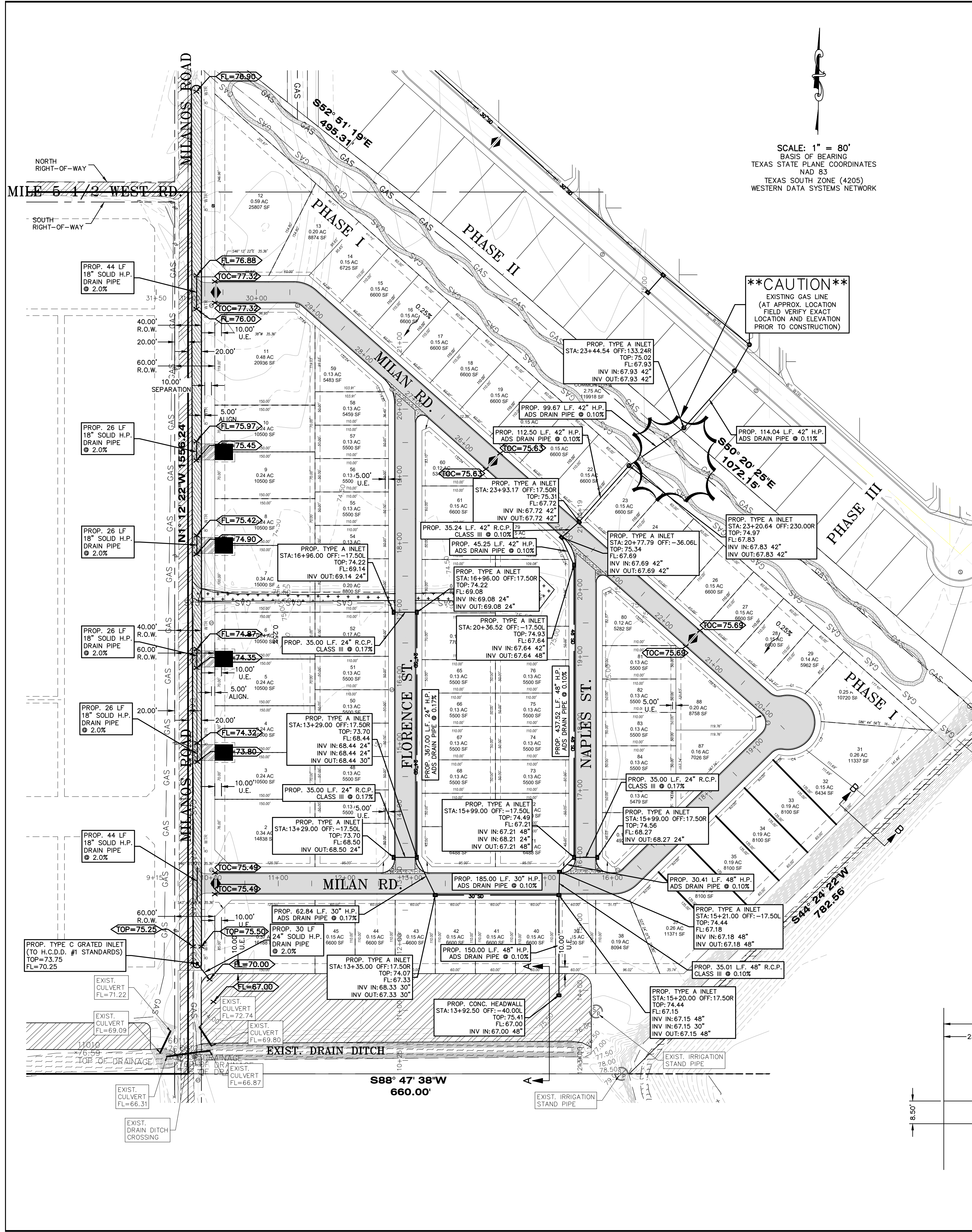
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ISSUED FOR:
PRELIMINARY

SANITARY SEWER LAYOUT - PHASE I
MILANOS ESTATES PHASE I SUBDIVISION
HIDALGO COUNTY, TEXAS.

ENGINEER:	IVAN GARCIA P.E. R.P.L.S.
SURVEYOR:	IVAN GARCIA P.E. R.P.L.S.
ENGINEER-IN-CHARGE:	IVAN GARCIA P.E. R.P.L.S.
DRAWN:	OSCAR ALARCON JR.
SCALE:	1"=80'
DATE:	AUGUST 7, 2020
PROJECT:	SUB 19 028
REVISIONS:	
PAGE NO.:	4 OF 7



DRAINAGE REPORT
 MILANOS ESTATES PHASE I, II, III, AND IV MASTER PLAN IS PROPOSED 379 LOT RESIDENTIAL SUBDIVISION, SAME BEING A TOTAL OF 96.95 ACRES COMPRISED OF THE FOLLOWING:

- 1) PHASES I, II, AND III - 76.95 ACRES TRACT (328 PROPOSED LOTS), BEING ALL OF THE SOUTH 38.49 ACRES, MORE OR LESS, OF FARM TRACT 721, AND ALL OF FARM TRACT 720 CONTAINING 38.47 ACRES, MORE OR LESS, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
- 2) PHASE IV - 20.00 ACRES TRACT (51 PROPOSED LOTS), BEING THE EAST 20.00 ACRES OF FARM TRACT 717, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

THESE LOTS WILL BE USED FOR SINGLE-FAMILY HOMES.
 THE SUBDIVISION IS IN ZONE "B" OF THE FLOOD INSURANCE RATE, AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD, ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANELS NO.: 480334 0525 B DATED: JANUARY 2, 1981.

ACCORDING TO THE SOIL SURVEY REPORT PREPARED FOR HIDALGO COUNTY BY THE U.S.D.A. SOIL CONSERVATION SERVICE, THE SITE CONSISTS OF 16.2% OF HIDALGO FINE SANDY LOAM (28), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS NEGLIGIBLE, PERMEABILITY IS MODERATELY HIGH AND THE WATER CAPACITY IS MODERATE. THIS SOIL IS CLASSIFIED AS GROUP (B). ADDITIONALLY, IT CONSISTS OF 71.8% OF MERCEDES CLAY (39), WITH 0 TO 1% SLOPES, THE SOIL IS MODERATELY WELL DRAINED AND SURFACE RUNOFF IS HIGH, PERMEABILITY IS VERY LOW TO MODERATELY LOW AND THE WATER CAPACITY IS MODERATE. THIS SOIL IS CLASSIFIED AS GROUP (D). ADDITIONALLY, IT CONSISTS OF 64.4% OF RAYMONDVILLE CLAY LOAM (52), WITH 0 TO 1% SLOPES, THE SOIL IS MODERATELY WELL DRAINED AND SURFACE RUNOFF IS MODERATE, PERMEABILITY IS MODERATELY LOW TO MODERATELY HIGH AND THE WATER CAPACITY IS MODERATE. THIS SOIL IS CLASSIFIED AS GROUP (C). PLEASE SEE THE ATTACHED TABLES FOR THE ENGINEERING, PHYSICAL AND CHEMICAL PROPERTIES OF THESE SOILS.

THIS AREA HAS BEEN IDENTIFIED BY HIDALGO COUNTY AS HAVING FLOODING ISSUES, THAT WILL NEED TO BE ADDRESSED IN ORDER TO ALLOW THIS SITE TO BE DEVELOPED. AFTER CAREFUL EVALUATION OF THE EXISTING TOPOGRAPHY AND FEATURES OF THE SITE, IT WAS DETERMINED THAT THE EXISTING PONDING ISSUES WITHIN THE SOUTHERN AREA OF THE PROPERTY ARE CAUSED BECAUSE OF THE LACK OF AN OUTFALL OR CONNECTION TO THE EXISTING DITCH. IT IS ASSUMED THAT THIS WAS DONE ON PURPOSE WITH THE INTENT OF CAPTURING AS MUCH WATER AS POSSIBLE FOR IRRIGATION OF THE LANDS WHICH ARE USED FOR FARMING. THE AVERAGE EXISTING NATURAL GROUND ELEVATION OF THE SITE ALONG THE SOUTH SIDE OF THE PROPERTY IS 74.50, WHICH IS ONLY 1 FOOT BELOW THE EXISTING AVERAGE TOP OF DITCH ELEVATION OF 75.50. THE AVERAGE EXISTING CENTERLINE ELEVATION OF MILE 6 1/2 WEST ROAD (MILANOS/HOPPER ROAD) AT THE INTERSECTION BETWEEN THE SAID DRAIN DITCH AND MILE 6 1/2 WEST ROAD (MILANOS/HOPPER ROAD) IS ALSO 75.50, WHICH IS THE LOWEST POINT ALONG THE PROFILE OF MILE 6 1/2 WEST ROAD (MILANOS/HOPPER ROAD) FOR THIS SPECIFIC AREA BETWEEN E MILE 5 NORTH ROAD AND W 18TH STREET. THIS SMALL DIFFERENCE IN ELEVATION AND THE LACK OF AN OUTFALL/CONNECTION INTO THE EXISTING DRAIN DITCH ALONG THE SOUTH SIDE OF THE SITE IS ENOUGH FOR WATER TO POTENTIALLY POND AS SHOWN ON THE PICTURES PROVIDED TO US BY HIDALGO COUNTY. THERE ARE NOT ANY LOW AREAS WITHIN THE SITE AND ALL RUNOFF NATURALLY SHEET FLOWS OVERLAND IN A SOUTHWESTERLY DIRECTION.

IN ADDITION, THE SITE APPEARS TO BE AT THE FARTHEST UPSTREAM END OF THE EXISTING DRAINAGE SYSTEM. A CONNECTION WILL BE MADE AS PART OF THIS DEVELOPMENT TO ALLOW THE WATER TO DRAIN INTO THE EXISTING DITCH, AND THE POTENTIAL PONDING ISSUE WILL MOST LIKELY BE COMPLETELY ELIMINATED WITHOUT ANY RISK OF WATER BACKING UP INTO THE SITE. THE EXISTING DITCH FLOWS FROM EAST TO WEST, AND THE TERRAIN ELEVATION ALSO DROPS NATURALLY TO THE WEST TO AN ELEVATION BELOW 74.00 BY THE TIME IT GETS TO THE SOUTHWEST CORNER OF THE PROPOSED PHASE IV WHICH WILL ENSURE THAT NO PONDING WILL OCCUR ABOVE THAT ELEVATION.

FINALLY, AND IN ORDER TO MITIGATE ANY POTENTIAL RISK OF FLOODING FOR ANY FUTURE STRUCTURES WITHIN THE LOTS, THE FOLLOWING GENERAL REQUIREMENTS SHALL BE ADDED TO THE SUBDIVISION PLAT: MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6" ABOVE THE CENTER LINE OF MILE 6 1/2 WEST ROAD OR 18" ABOVE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT, WHICHEVER IS GREATER.

EXISTING RUNOFF SHEET FLOWS OVERLAND IN A SOUTHERLY DIRECTION TO FOLLOW THE EXISTING DRAINAGE PATTERNS OF THE AREA IN A SOUTHERLY DIRECTION WITH OUTFALL TO THE EXISTING 39X24 DRAIN DITCH (WHICH BELONGS TO HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT 9, AND MAINTAINED BY HIDALGO COUNTY DRAINAGE DISTRICT 1) ALONG THE SOUTH BOUNDARY OF THIS SUBDIVISION, THEN CONVEYED TO THE 39 DRAIN DITCH (WHICH BELONGS TO HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT 9, AND MAINTAINED BY HIDALGO COUNTY DRAINAGE DISTRICT 1) THEN CONVEYED TO THE I.B.W.C. FLOODWAY, AND FINAL OUTFALL TO THE LAGUNA MADRE USING THE RATIONAL METHOD. WE HAVE DETERMINED THAT A 10-YR RAINFALL EVENT WILL GENERATE APPROXIMATELY 20.95 CFS OF STORM RUNOFF FOR ALL 4 PHASES OF THIS DEVELOPMENT. WE HAVE ALSO USED THE RATIONAL METHOD TO DETERMINE THAT THE IMPROVED SITE WILL GENERATE AN ESTIMATED 84.34 CFS OF RUNOFF 50-YR RAINFALL EVENT FOR ALL 4 PHASES OF THIS DEVELOPMENT. THE IMPROVED SITE WILL HAVE AN APPROXIMATE INCREASE OF 63.39 CFS OF STORM RUNOFF.

IN ACCORDANCE WITH THE CITY OF WESLACO AND COUNTY'S DRAINAGE REQUIREMENTS, WE HAVE CALCULATED THAT APPROXIMATELY A TOTAL OF 330,712 CF OR 7.59 AC-FT, WILL NEED TO BE DETAINED FOR THE COMPLETE DEVELOPMENT OF PHASES I, II, III, AND IV OF THE SUBDIVISION FOR A 50-YR RAINFALL EVENT. LINEAR DETENTION WILL BE PROVIDED BY IMPROVING THE EXISTING 39X24 DRAIN DITCH SECTION AS REQUIRED. STORM WATERS WILL BE COLLECTED BY AN ON-SITE COLLECTION SYSTEM AND ROUTED TO THE EXISTING 39X24 DRAIN DITCH (WHICH BELONGS TO HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT 9, AND MAINTAINED BY HIDALGO COUNTY DRAINAGE DISTRICT 1) ALONG THE SOUTH BOUNDARY OF THIS SUBDIVISION, THEN CONVEYED TO THE 39 DRAIN DITCH (WHICH BELONGS TO HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT 9, AND MAINTAINED BY HIDALGO COUNTY DRAINAGE DISTRICT 1), THEN CONVEYED TO THE I.B.W.C. FLOODWAY, AND FINAL OUTFALL TO THE LAGUNA MADRE. TABLES AND CALCULATIONS, ARE ATTACHED.

ISSUED FOR:
PRELIMINARY

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, **VAN GARCIA, P.E., R.P.L.S.**, PRESIDENT OF **GARCIA MGMT, INC.** OWNER, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND THAT I HAVE REVIEWED AND APPROVED THE INFORMATION CONTAINED HEREIN.
 DATE _____

SUBDIVIDER CERTIFICATION
 I, **VICTOR J. DANIEC**, SUBDIVIDER OF **MILANOS ESTATES PHASE I** HEREBY CERTIFY THAT THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:
 I, **VICTOR J. DANIEC**, SUBDIVIDER OF **MILANOS ESTATES PHASE I** HEREBY CERTIFY THAT THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

NOTARY PUBLIC
 MY COMMISSION EXPIRES _____

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, **VICTOR J. DANIEC**, PRESIDENT OF **GARCIA MGMT, INC.** OWNER, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND THAT I HAVE REVIEWED AND APPROVED THE INFORMATION CONTAINED HEREIN.
 DATE _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME BY THE PERSON (S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, **VICTOR J. DANIEC**, PRESIDENT OF **GARCIA MGMT, INC.** OWNER, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND THAT I HAVE REVIEWED AND APPROVED THE INFORMATION CONTAINED HEREIN.
 DATE _____

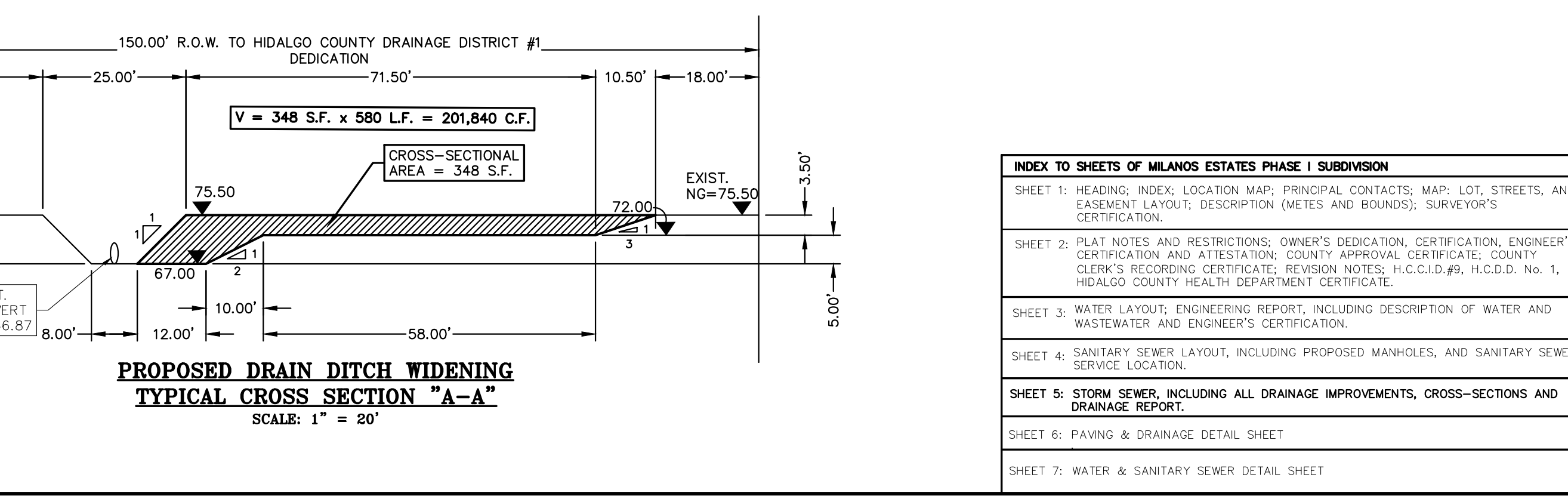
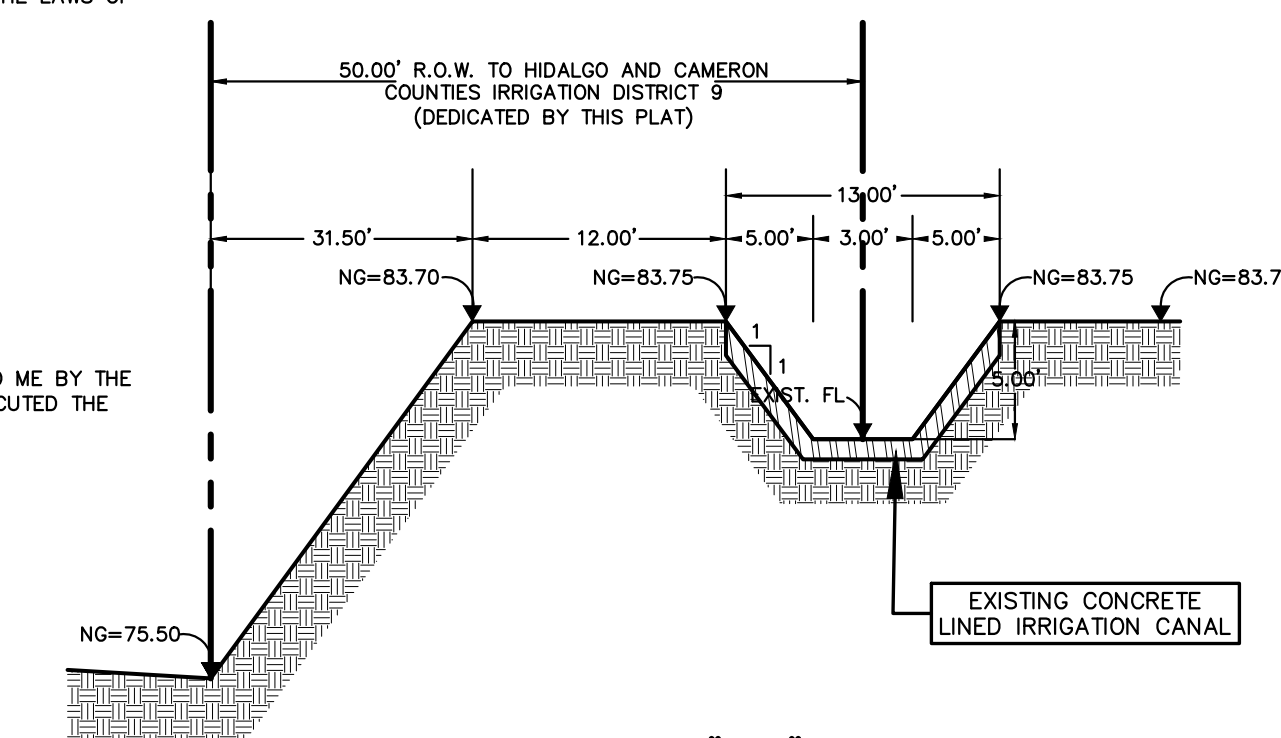
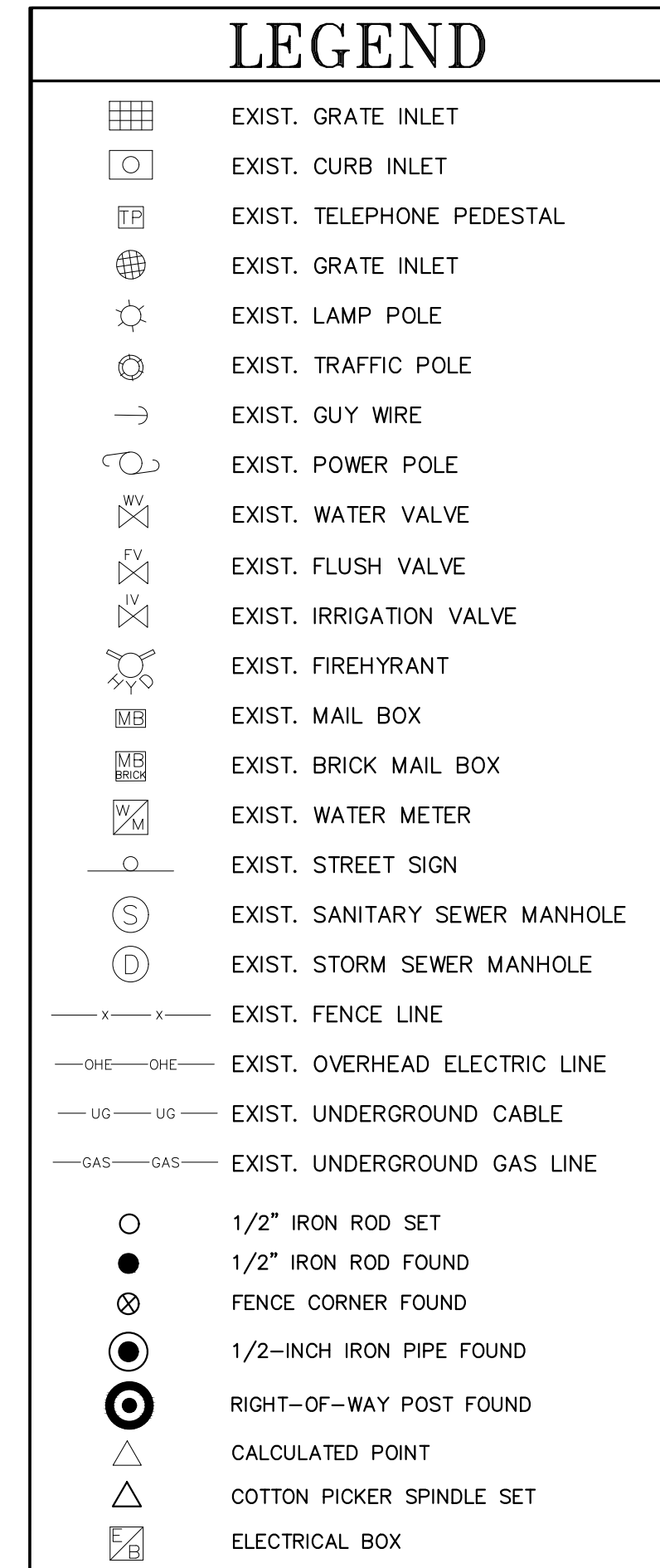
STATE OF TEXAS
 COUNTY OF HIDALGO
 I, **VICTOR J. DANIEC**, PRESIDENT OF **GARCIA MGMT, INC.** OWNER, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND THAT I HAVE REVIEWED AND APPROVED THE INFORMATION CONTAINED HEREIN.
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STATE OF TEXAS
 COUNTY OF HIDALGO
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STATE OF TEXAS
 COUNTY OF HIDALGO
 I, **VICTOR J. DANIEC**, PRESIDENT OF **GARCIA MGMT, INC.** OWNER, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND THAT I HAVE REVIEWED AND APPROVED THE INFORMATION CONTAINED HEREIN.
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STATE OF TEXAS
 COUNTY OF HIDALGO
 I, **VICTOR J. DANIEC**, PRESIDENT OF **GARCIA MGMT, INC.** OWNER, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND THAT I HAVE REVIEWED AND APPROVED THE INFORMATION CONTAINED HEREIN.
 DATE _____



INDEX TO SHEETS OF MILANOS ESTATES PHASE I SUBDIVISION	
SHEET 1: HEADINGS, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT, DESCRIPTION (METES AND BOUNDS), SURVEYOR'S CERTIFICATION.	
SHEET 2: PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#9, H.C.D.D. No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.	
SHEET 3: WATER LAYOUT, ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	
SHEET 4: SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE LOCATION.	
SHEET 5: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	
SHEET 6: PAVING & DRAINAGE DETAIL SHEET	
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET	

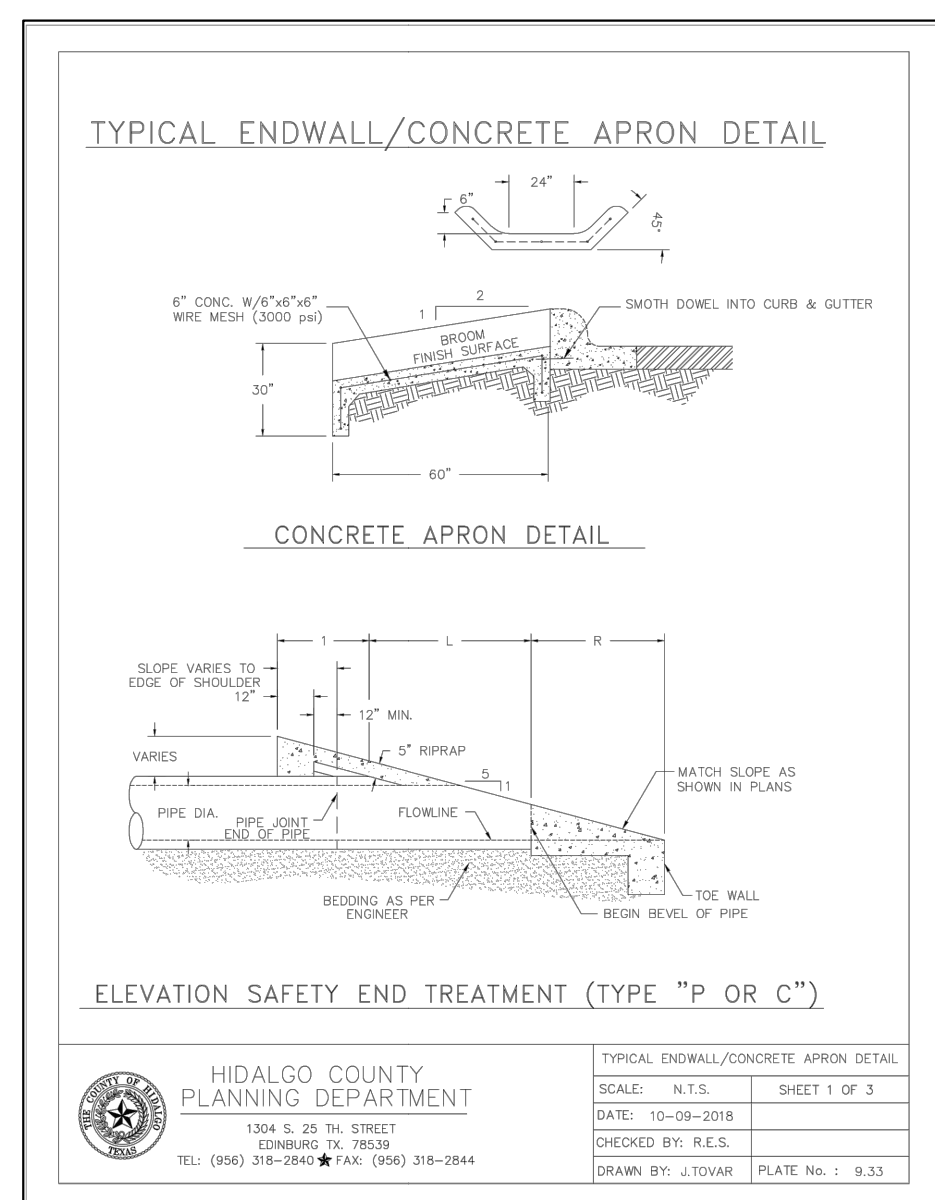
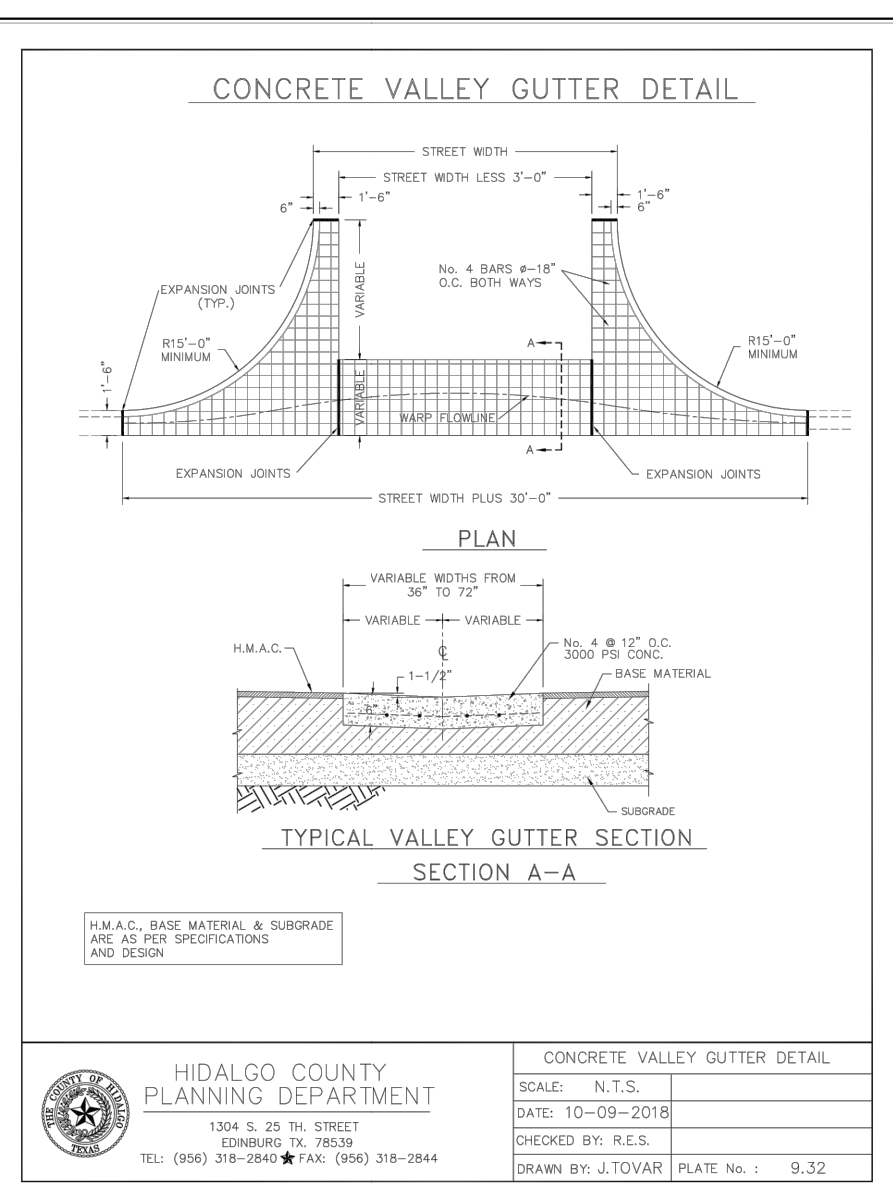
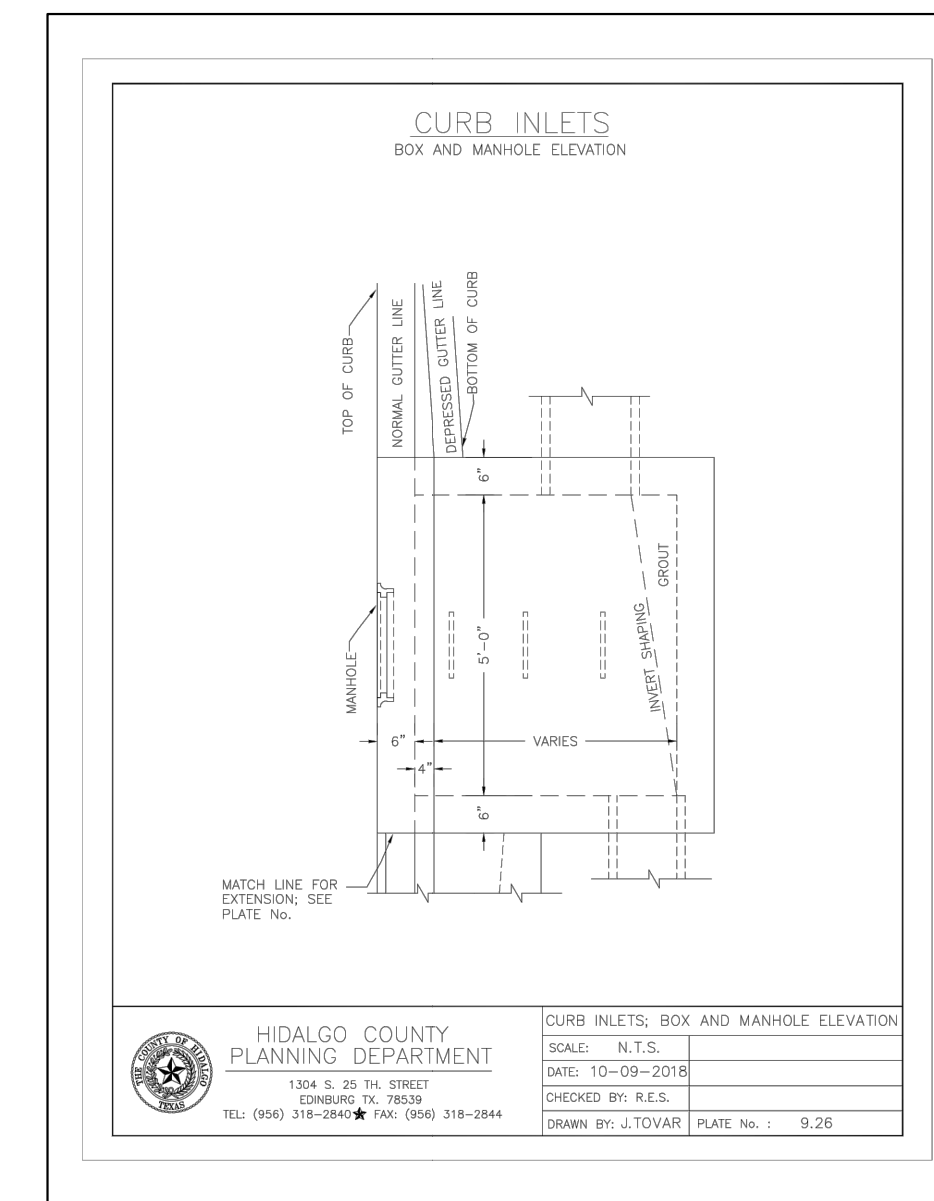
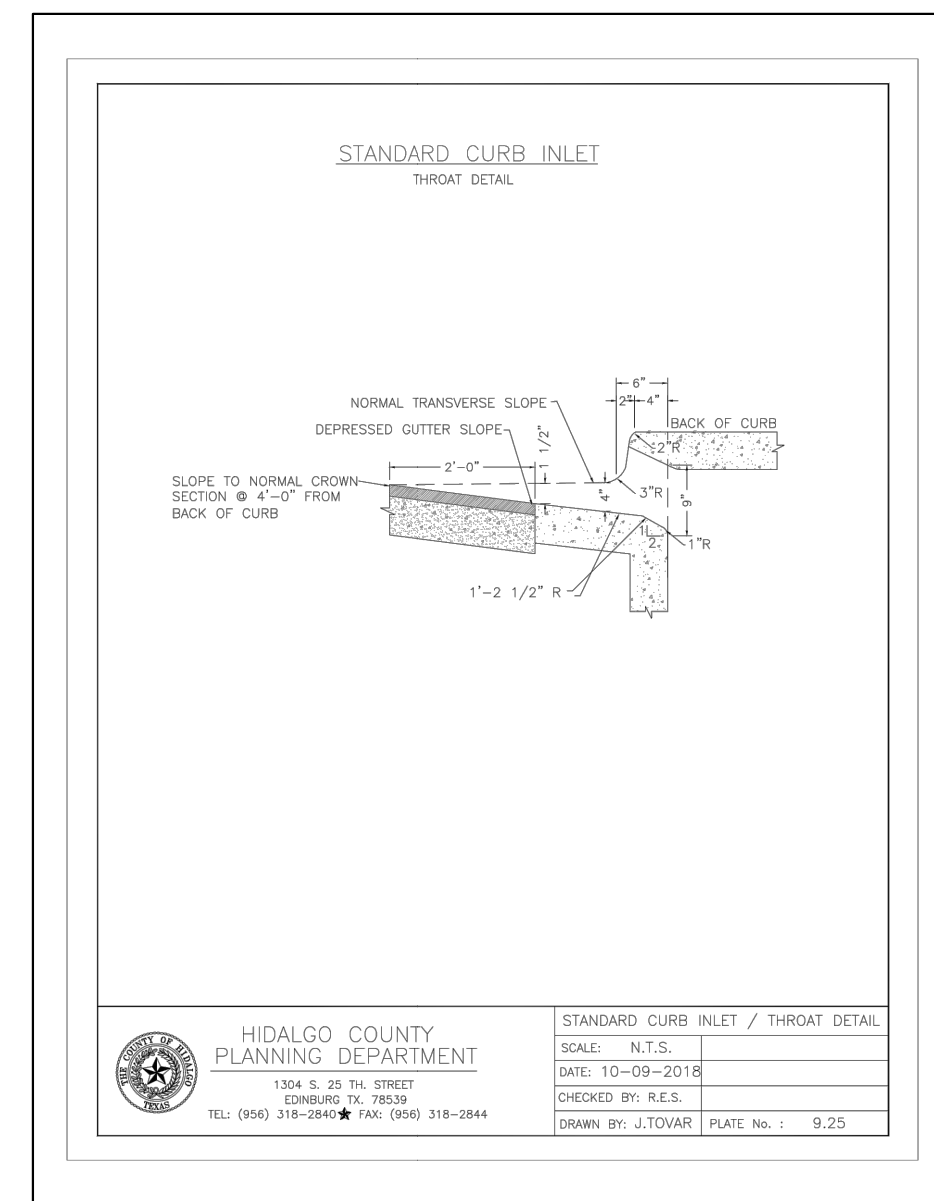
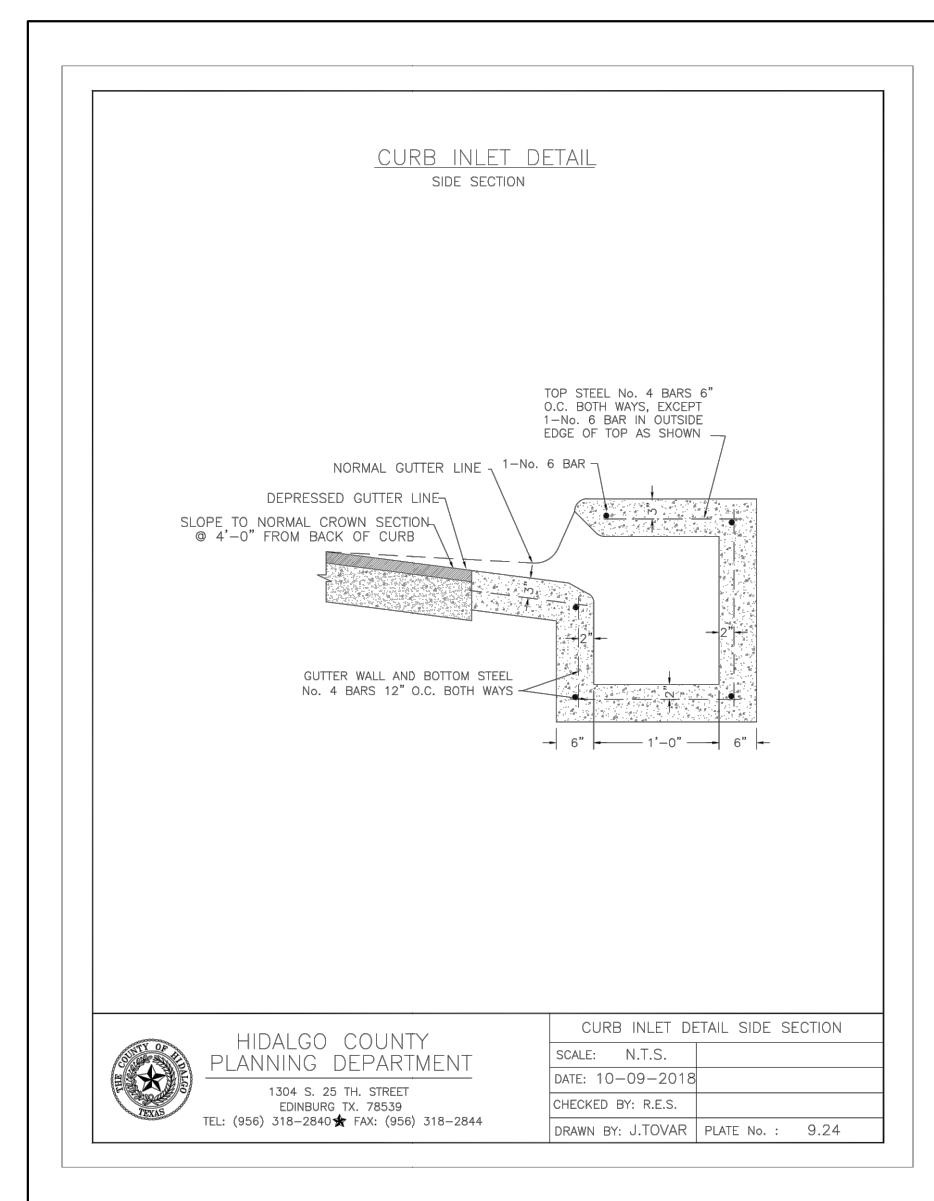
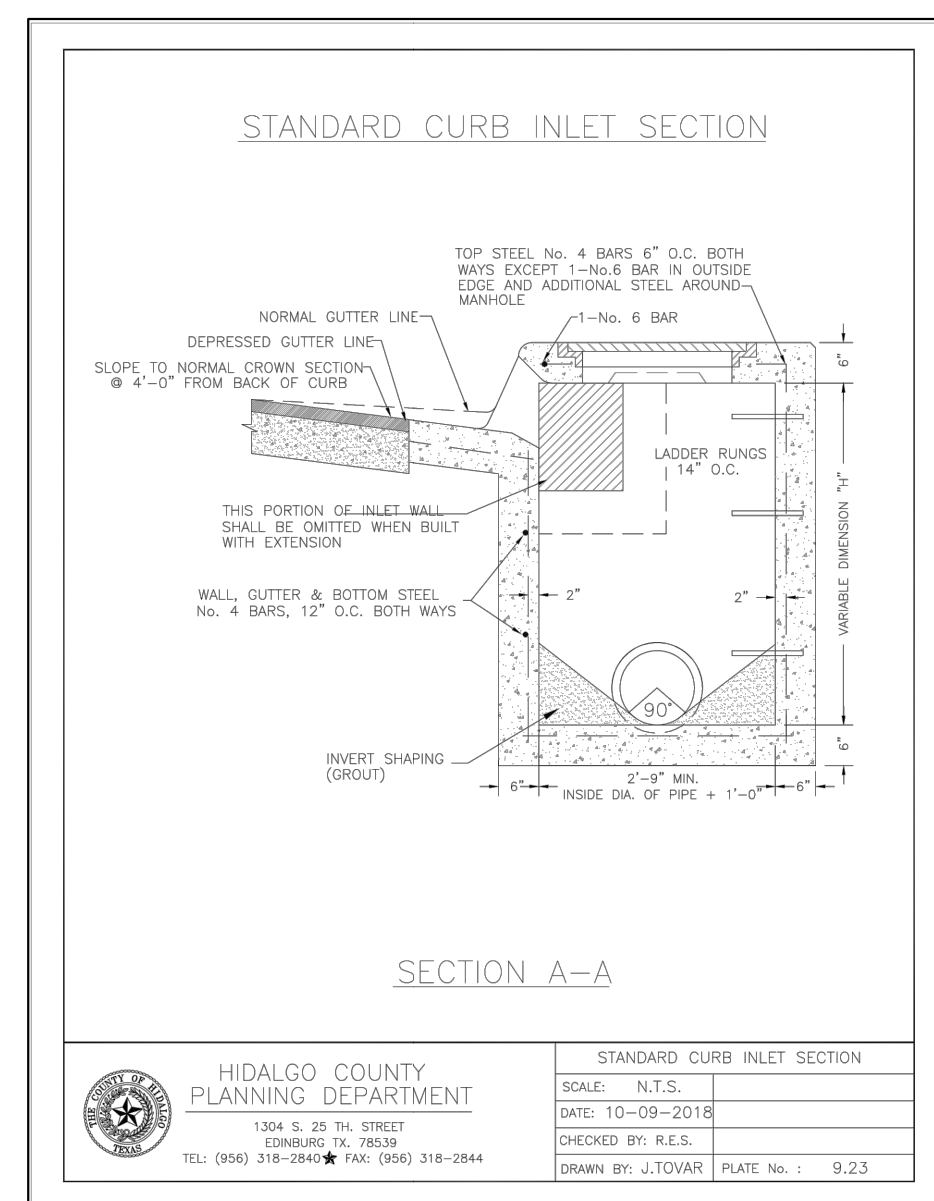
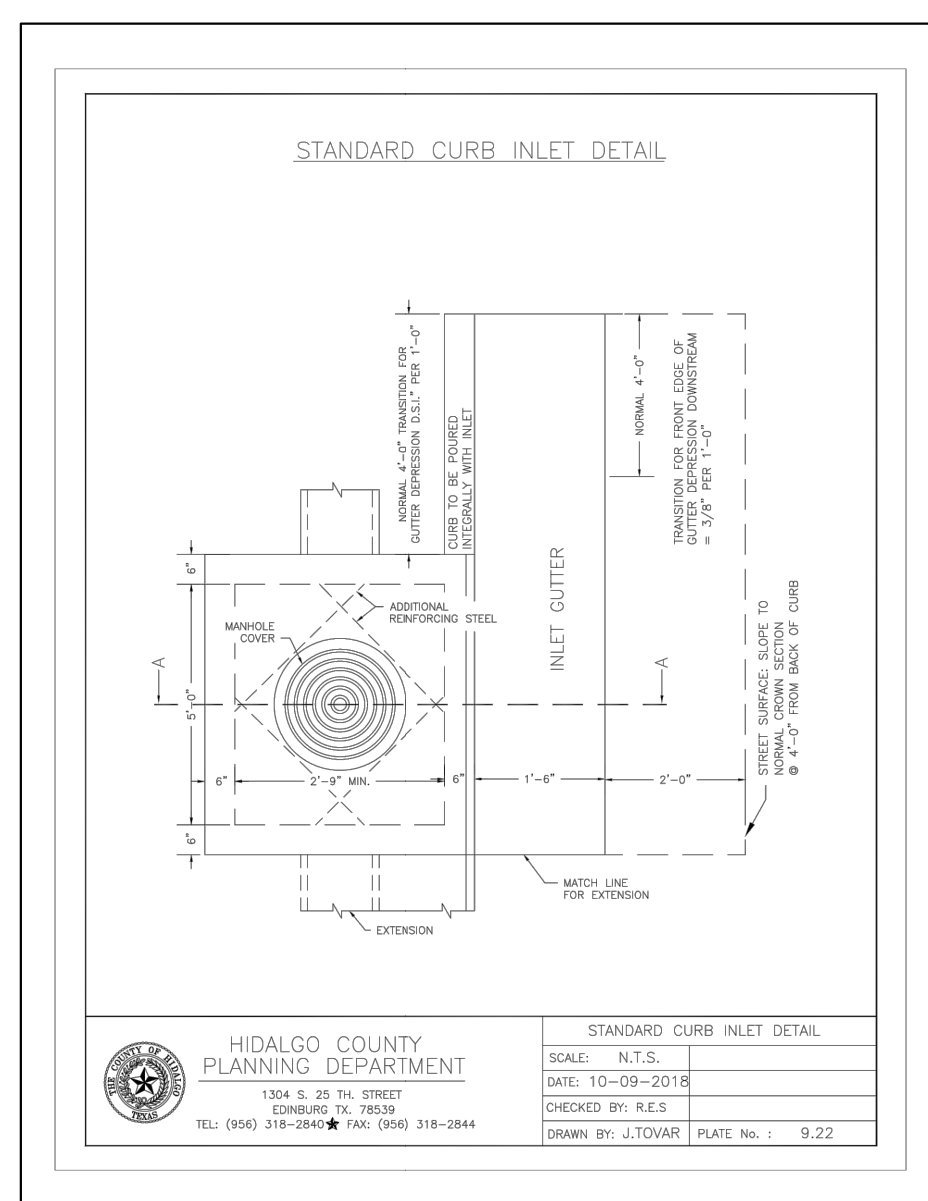
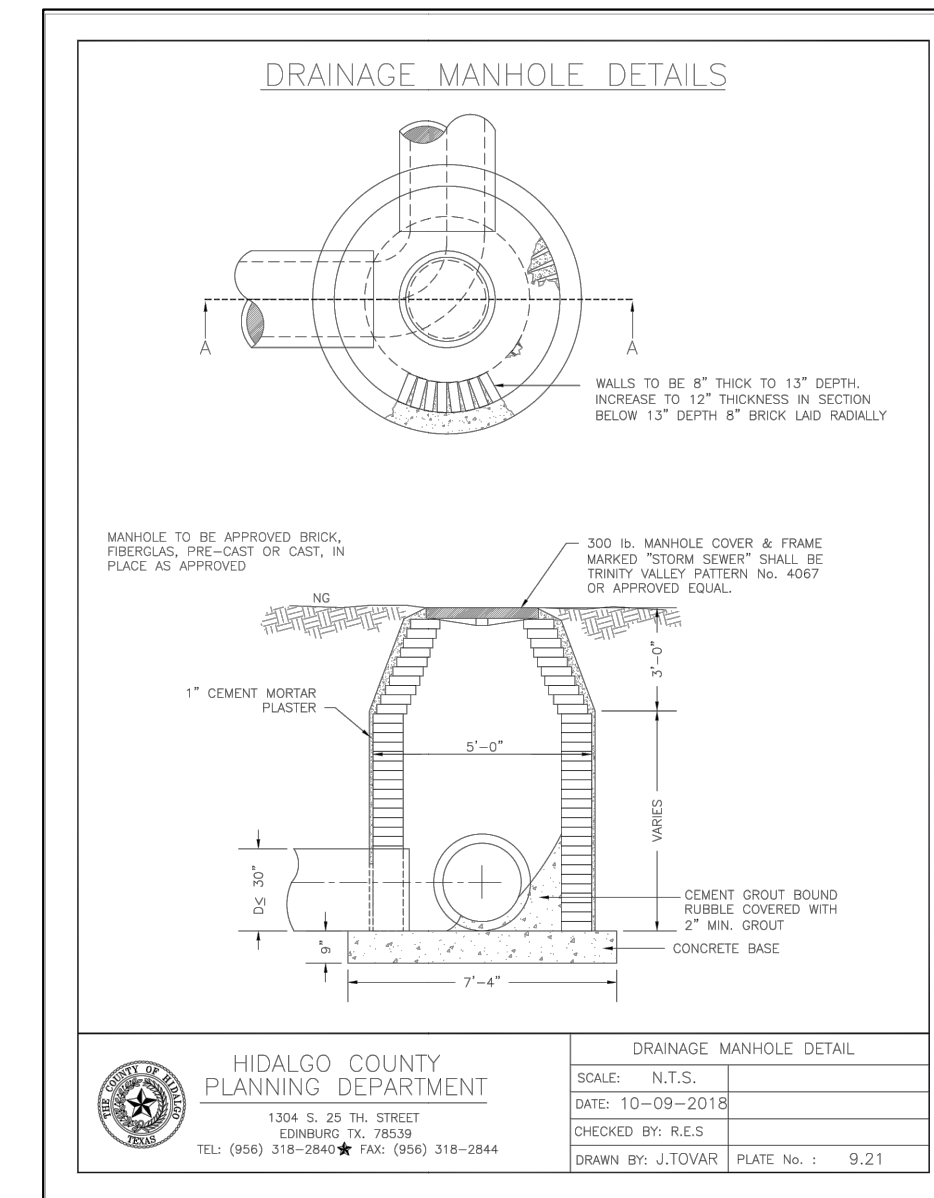
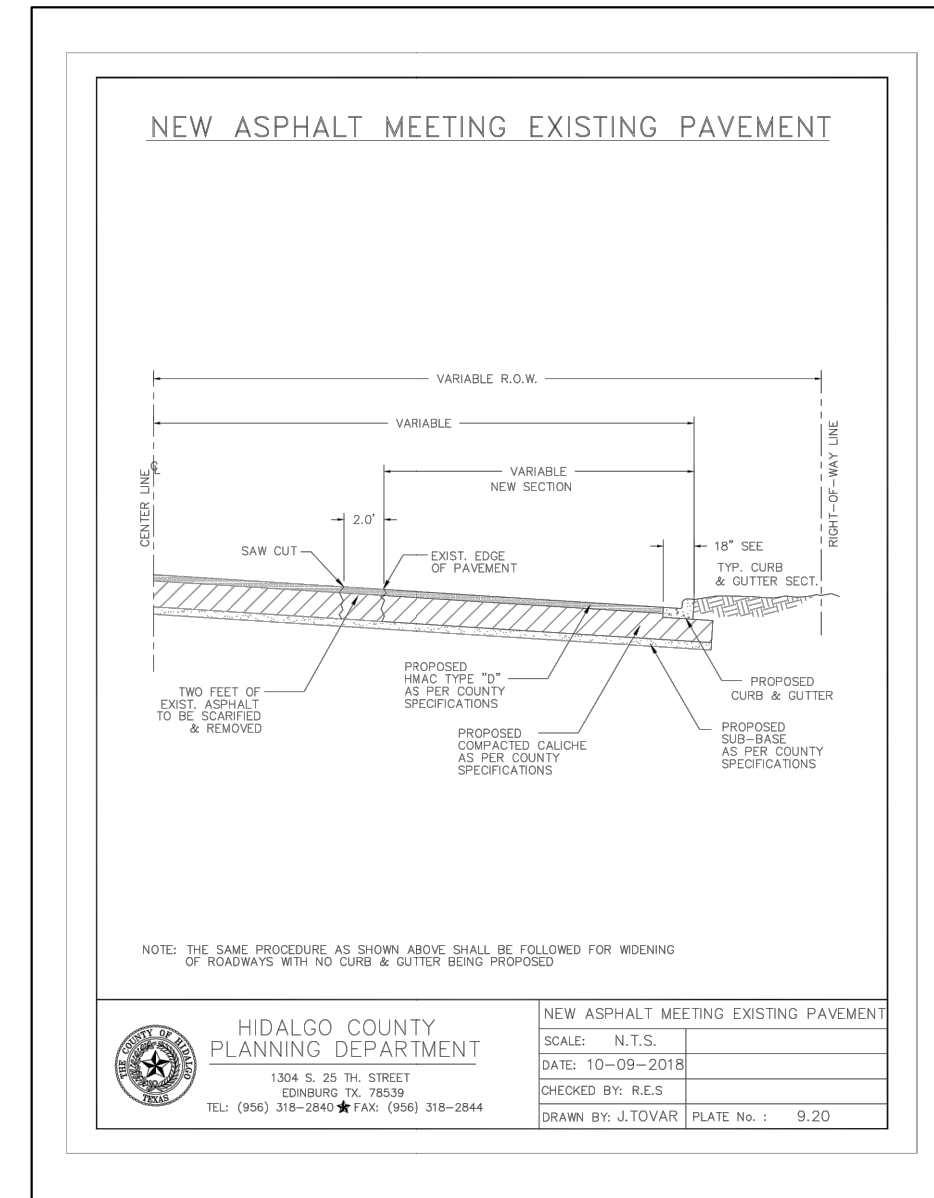
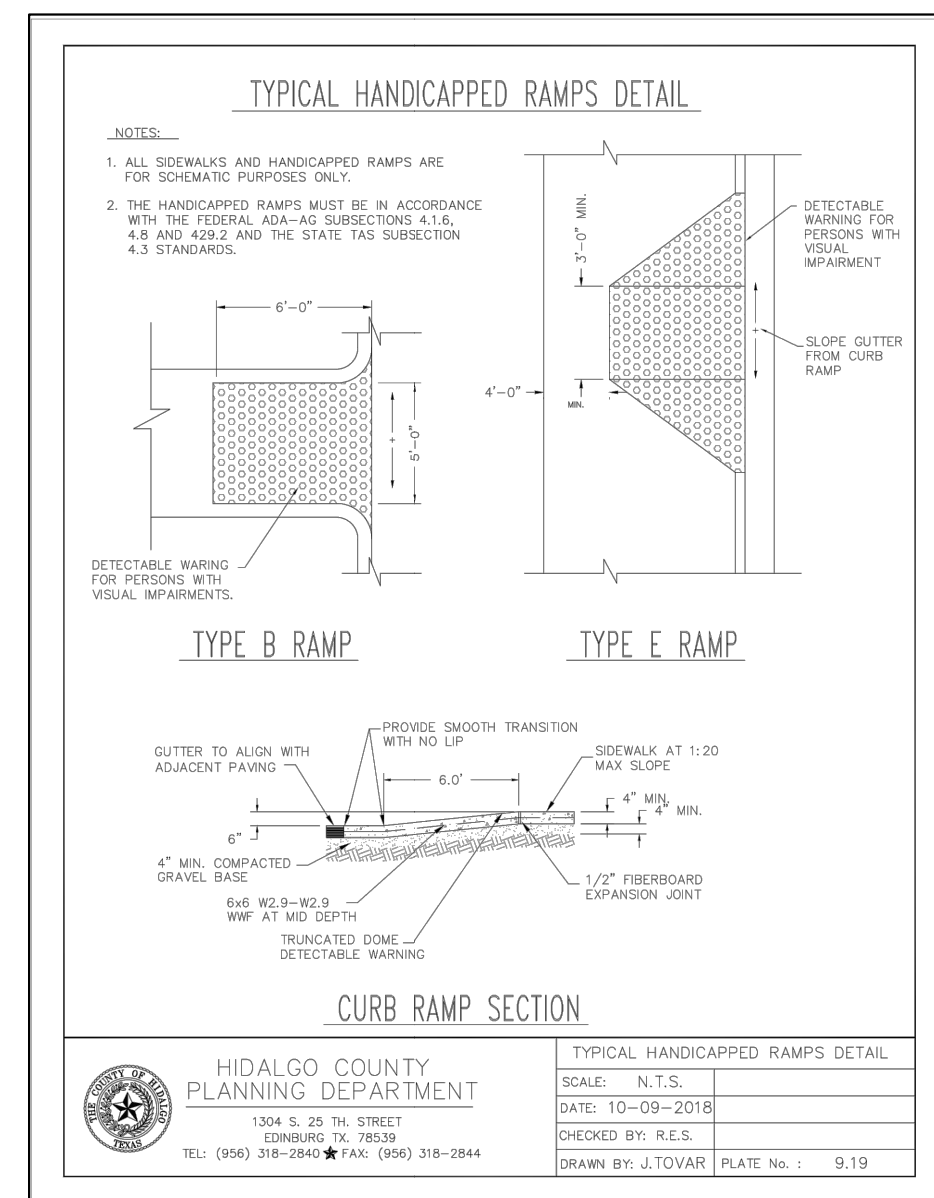
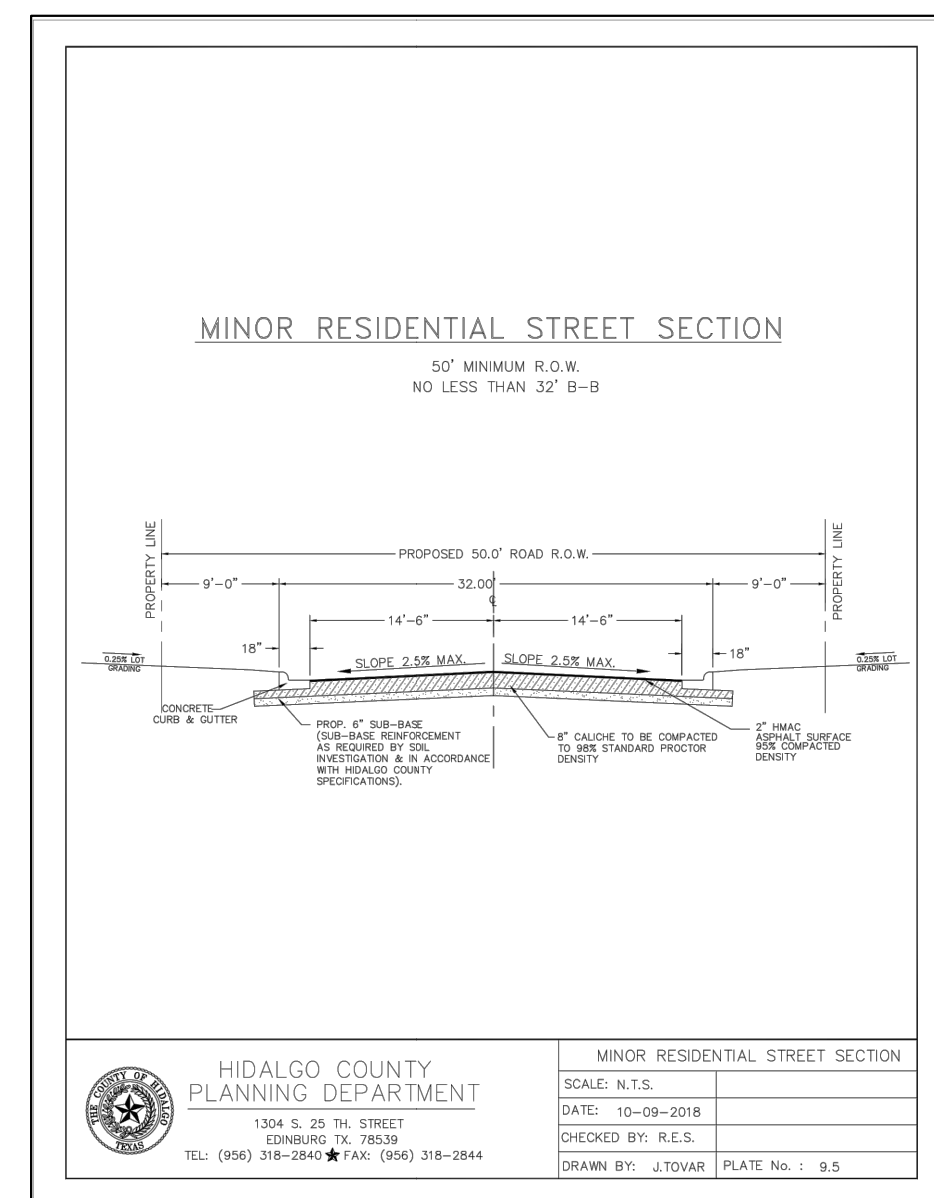
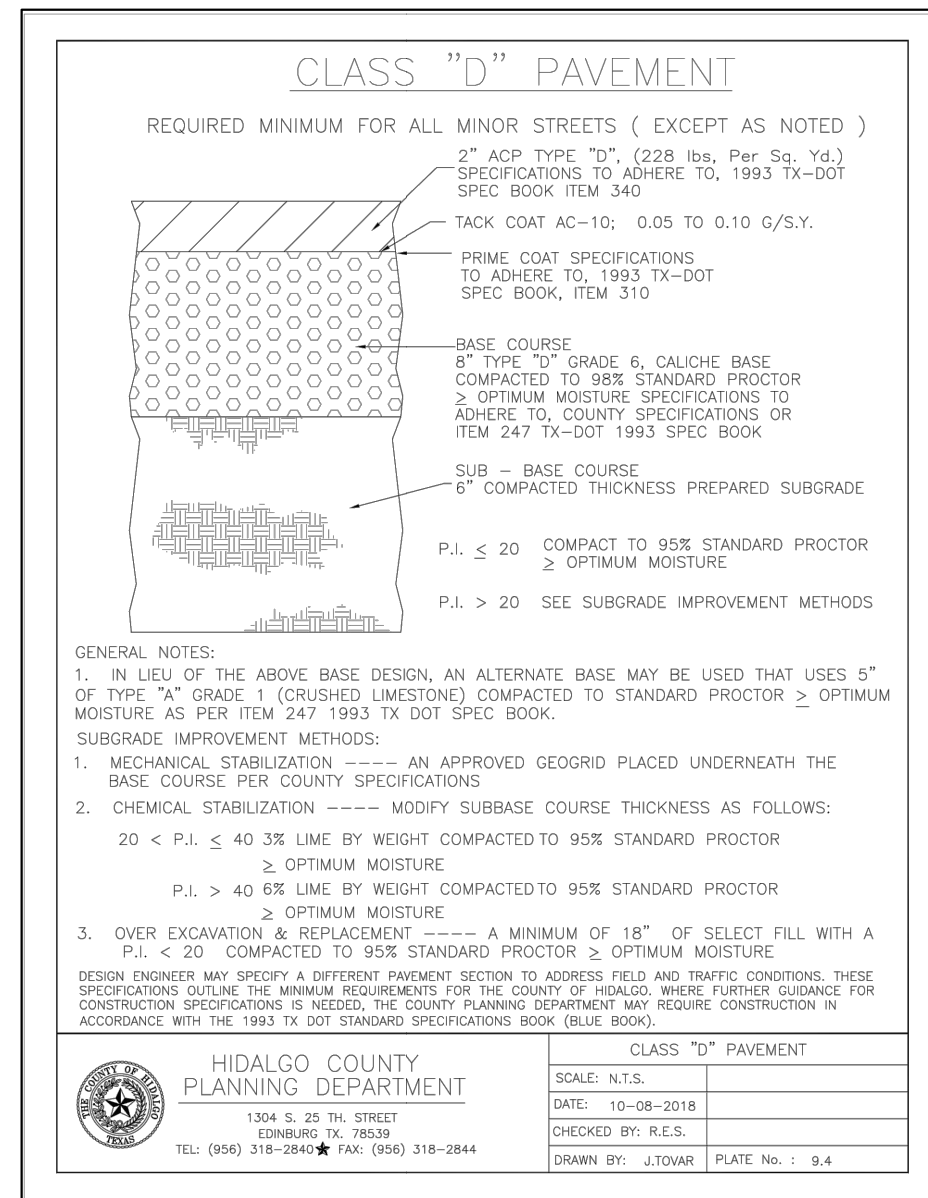
RIO DELTA ENGINEERING
 FIRM REGISTRATION No. F-7628
 SURVEY FIRM No. 10194027
 921 S. 10TH AVENUE EDINBURG, TEXAS 78539
 (TEL) 956-380-5152 (FAX) 956-380-5083

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF **IVAN GARCIA, P.E. 115662 ON MAY 8, 2020**. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ISSUED FOR:
PRELIMINARY

STORM SEWER LAYOUT - PHASE I
MILANOS ESTATES PHASE I SUBDIVISION
 HIDALGO COUNTY, TEXAS.

ENGINEER: **IVAN GARCIA P.E., R.P.L.S.**
 SURVEYOR: **IVAN GARCIA P.E., R.P.L.S.**
 CHECKED: **IVAN GARCIA P.E., R.P.L.S.**
 DRAWN: **OSCAR ALARCON JR.**
 SCALE: **1"=80'**
 DATE: **JULY 29, 2020**
 PROJECT: **SUB 19 028**
 REVISIONS:
 PAGE NO: **5-OF-7**



TYPICAL ENDWALL/CONCRETE APRON DETAIL

SAFETY END TREATMENT PIPE LENGTHS

PIPE DIA.	3:1	4:1	5:1	6:1
12"	2'-0"	2'-8"	3'-4"	4'-0"
15"	2'-0"	3'-4"	4'-0"	5'-0"
18"	3'-0"	4'-8"	5'-10"	7'-0"
24"	5'-1 1/2"	6'-10"	8'-6 1/2"	10'-2"
30"	6'-0"	9'-0"	11'-3"	13'-4"
36"	6'-0"	11'-4"	14'-2"	17'-0"
42"	10'-1 1/2"	13'-8"	16'-10 1/2"	20'-3"
48"	11'-0"	15'-8"	19'-7"	23'-4"

ESTIMATED RRAP CL "A" VOLUME (CY)

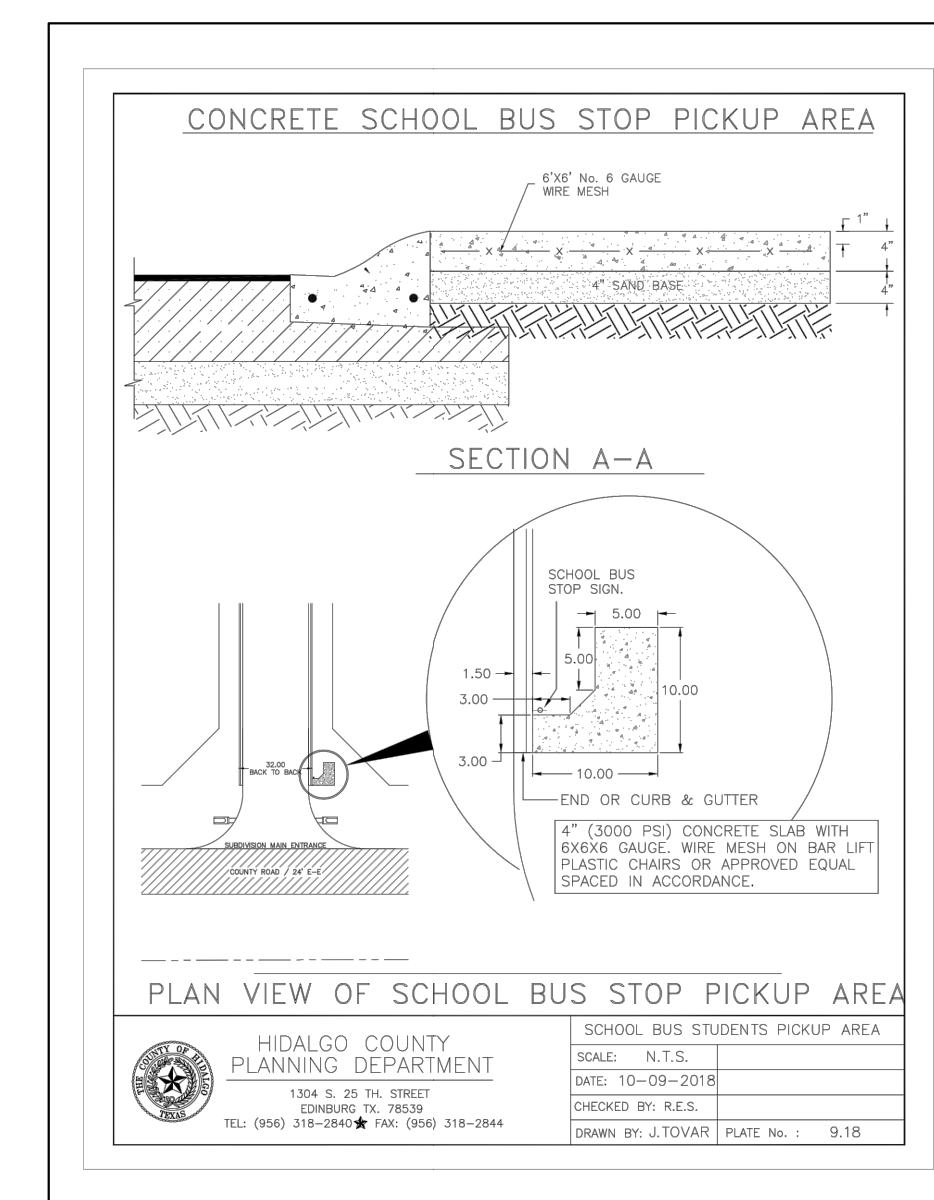
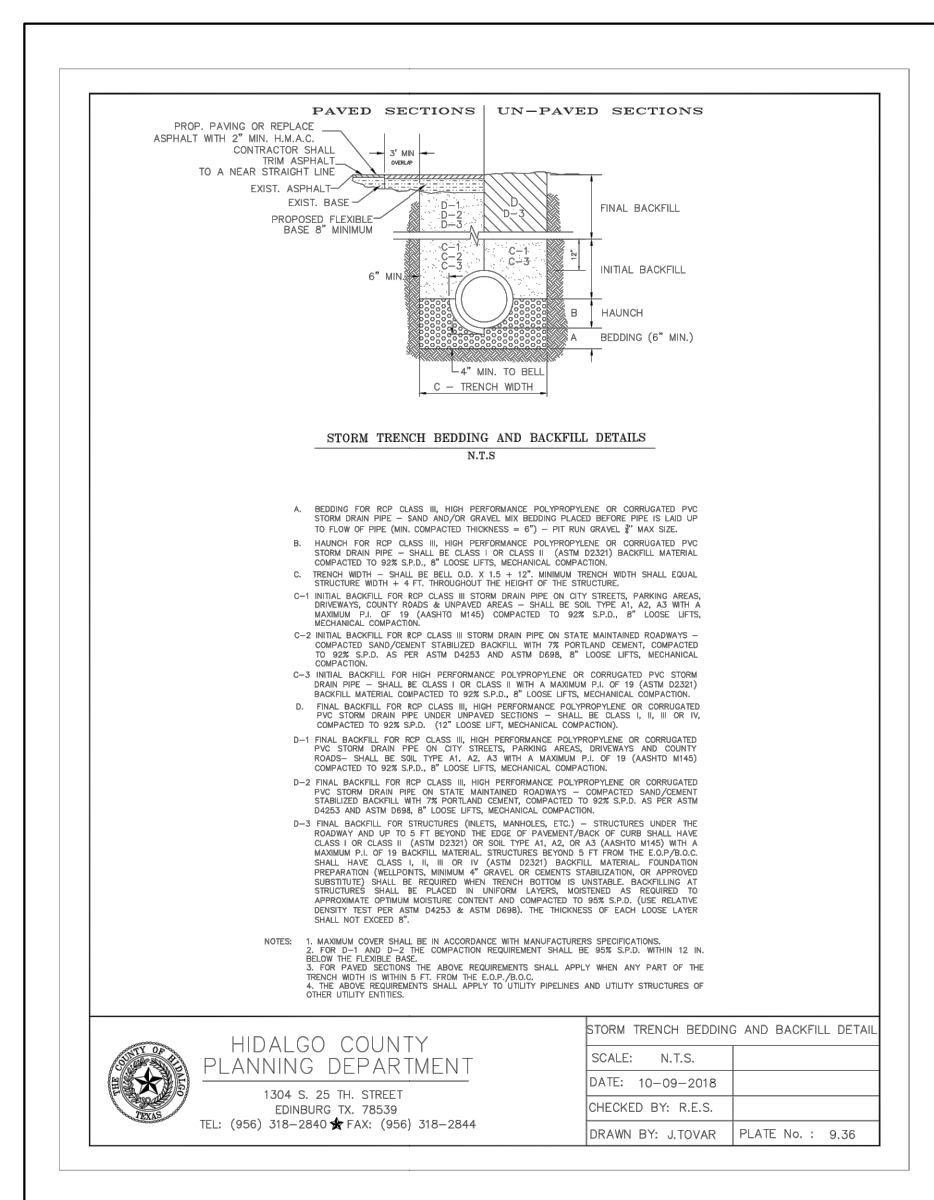
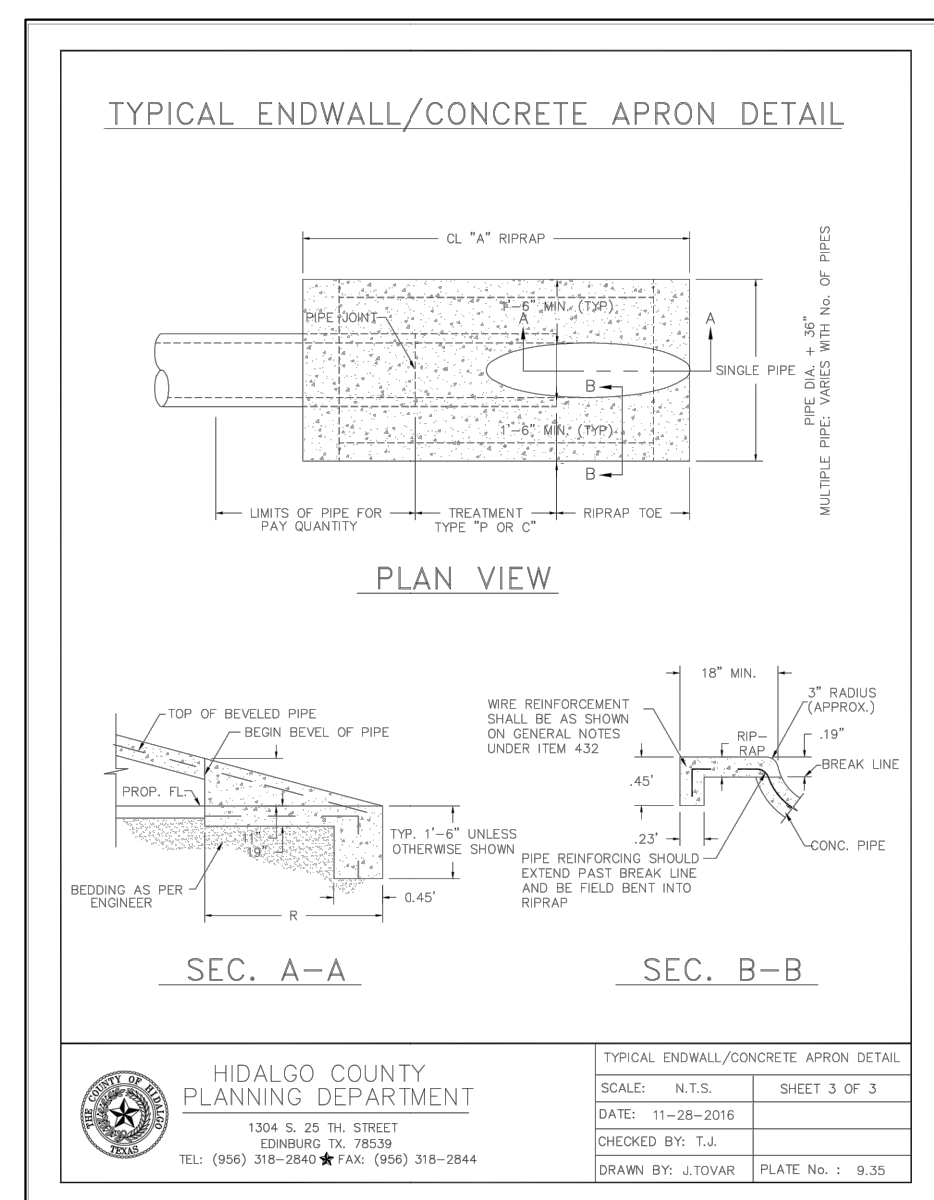
PIPE DIA. (IN)	3:1	4:1	5:1	6:1
12"	.88	1.11	1.34	1.57
15"	.98	1.23	1.49	1.75
18"	1.08	1.36	1.64	1.93
24"	1.29	1.63	1.97	2.32
30"	1.50	1.91	2.32	2.73
36"	1.73	2.21	2.69	3.17
42"	1.95	2.50	3.05	3.60
48"	2.18	2.80	3.42	4.05

RRAP TIE LENGTHS

SLOPE	"#"	"#"
3:1	2'-0"	1'-0"
4:1	3'-0"	2'-4"
5:1	4'-3"	2'-11"
6:1	5'-0"	3'-0"

HIDALGO COUNTY PLANNING DEPARTMENT
1304 S. 25 TH STREET
EDINBURG, TX 78839
TEL: (936) 318-2840 FAX: (936) 318-2844

SCALE: N.T.S.
DATE: 10-09-2018
CHECKED BY: R.E.S.
DRAWN BY: J.TOVAR PLATE No.: 9.34



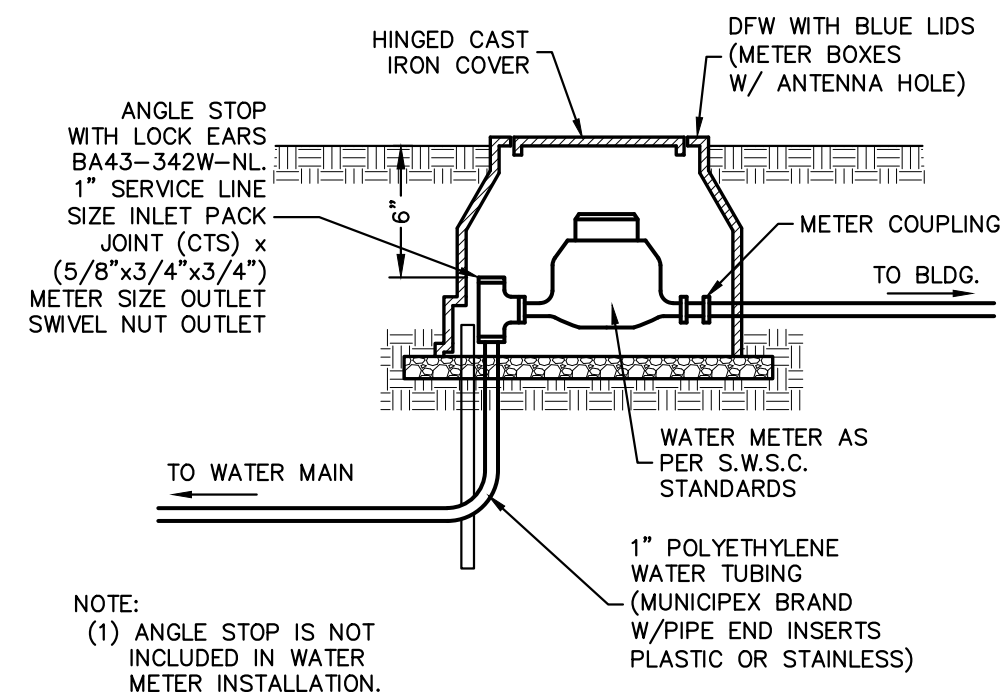
RIO DELTA ENGINEERING
FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78839
(TEL) 936-380-5152 (FAX) 936-380-5083

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF IVAN GARCIA, P.E. 115662 ON MAY 8, 2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

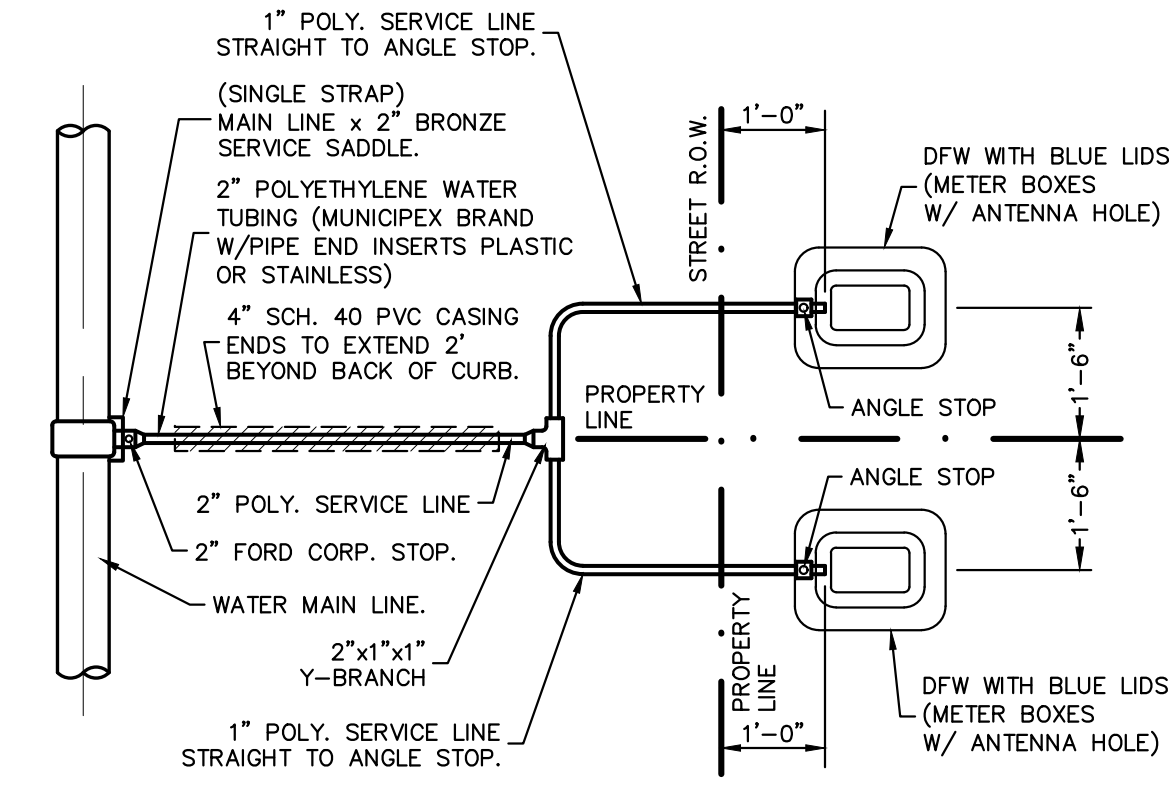
ISSUED FOR:
PRELIMINARY

PROJECT: **PAVING & DRAINAGE DETAIL SHEET**
MILANOS ESTATES PHASE I SUBDIVISION
HIDALGO COUNTY, TEXAS.

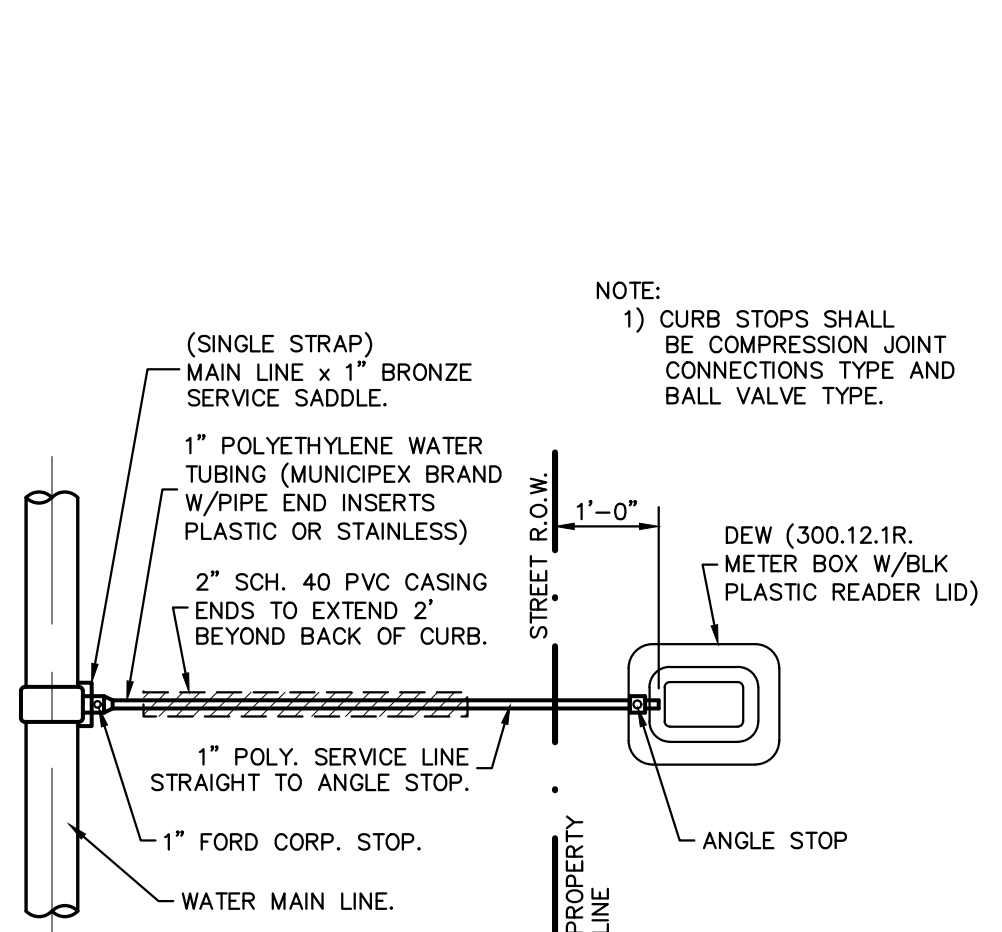
ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: OSCAR ALARCON JR.
SCALE: N.T.S.
DATE: JULY 29, 2020
PROJECT: SUB 19 028
REVISIONS:
PAGE NO: 6-OF-7



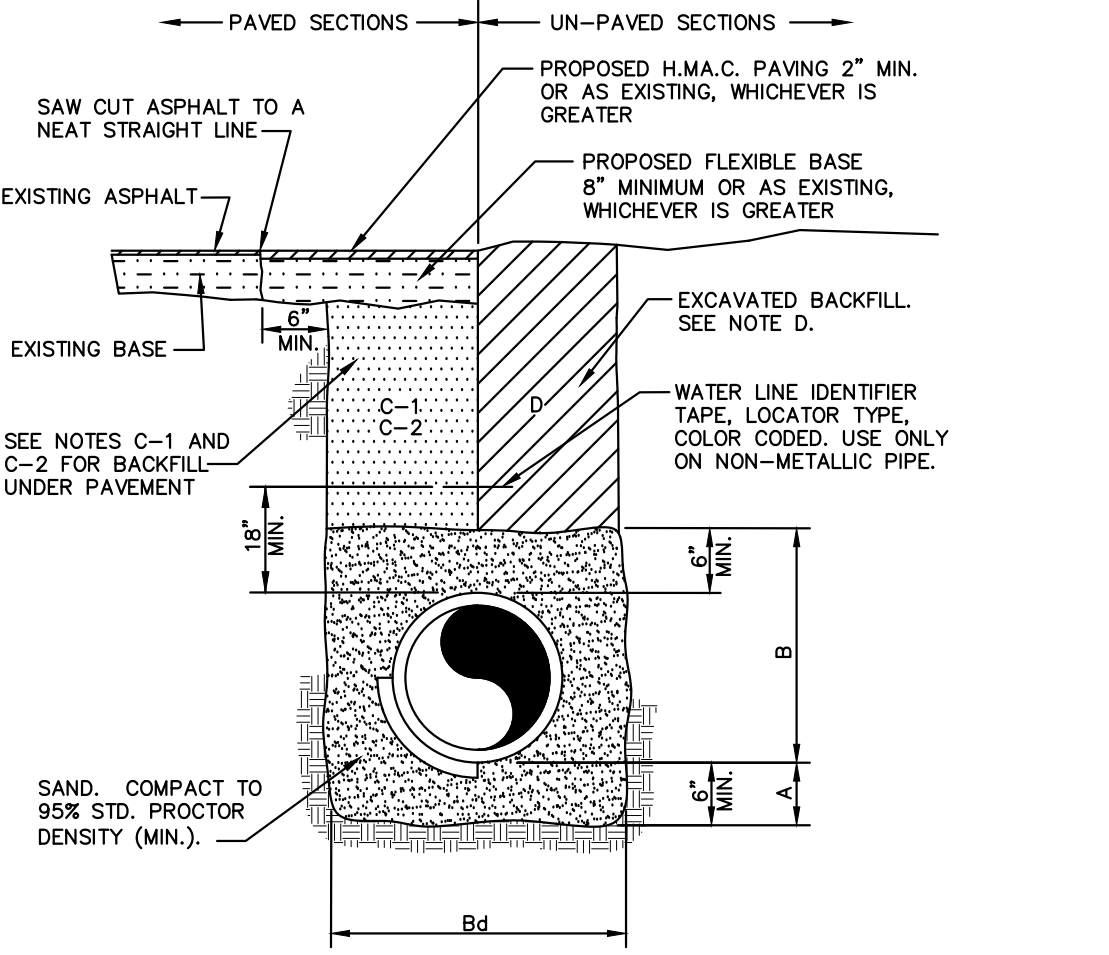
TYPICAL WATER METER INSTALLATION
NOT TO SCALE



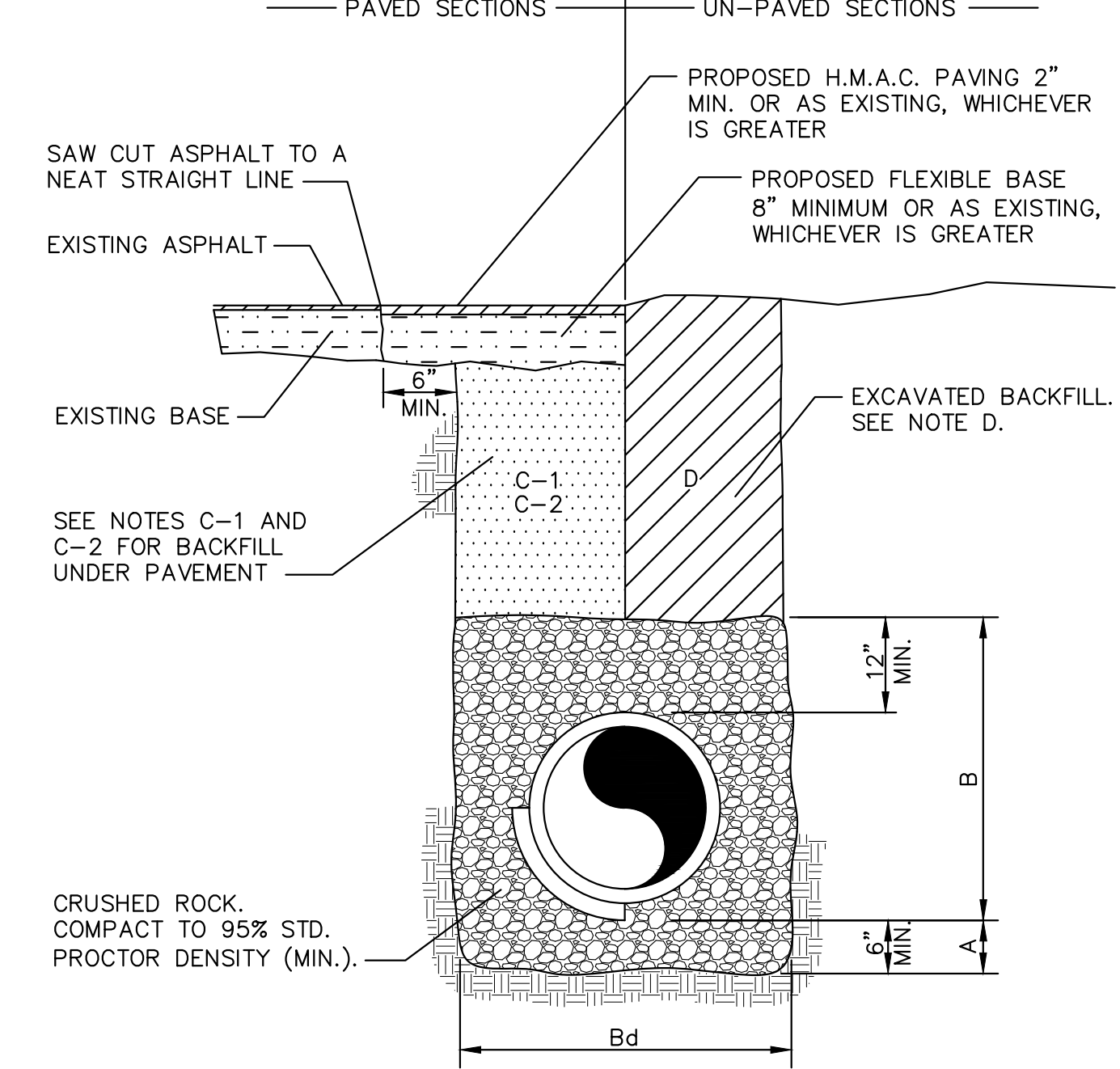
RESIDENTIAL DUAL WATER SERVICE CONNECTION
NOT TO SCALE



RESIDENTIAL SINGLE WATER SERVICE CONNECTION
NOT TO SCALE



TYPICAL WATER LINE AND SEWER FORCEMAIN BEDDING DETAIL



SANITARY SEWER (NON-FORCEMAIN) PIPE BEDDING DETAIL

GENERAL NOTES:

- A. CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
- B. CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
- Bd. MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER); PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
- C-1. (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
- C-2. (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- D. EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY

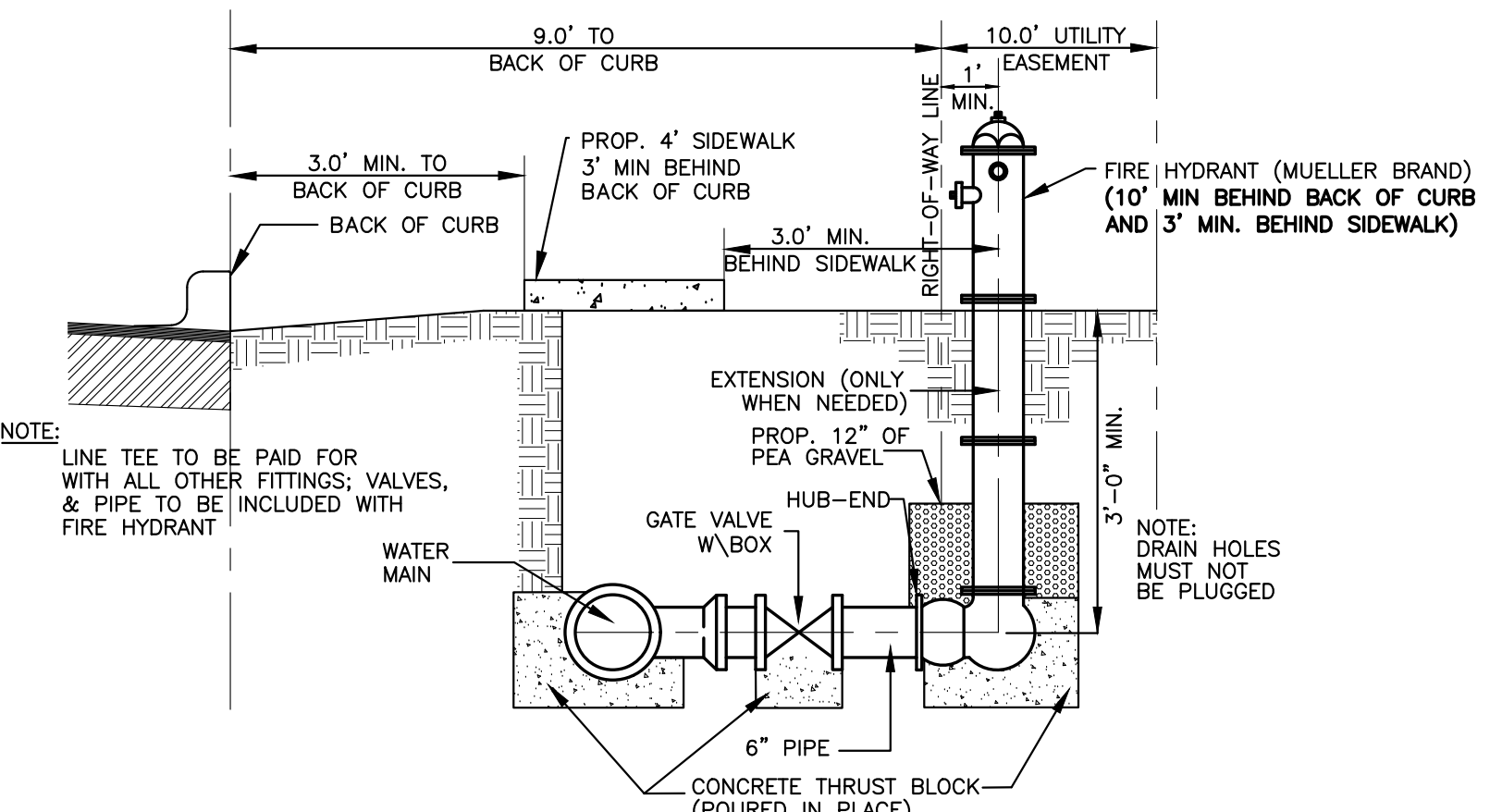
EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 SIEVE. MAXIMUM 3/4" SIZE FOR PIPE SIZE ≤ 15". GREATER THAN 90% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.

IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).

WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

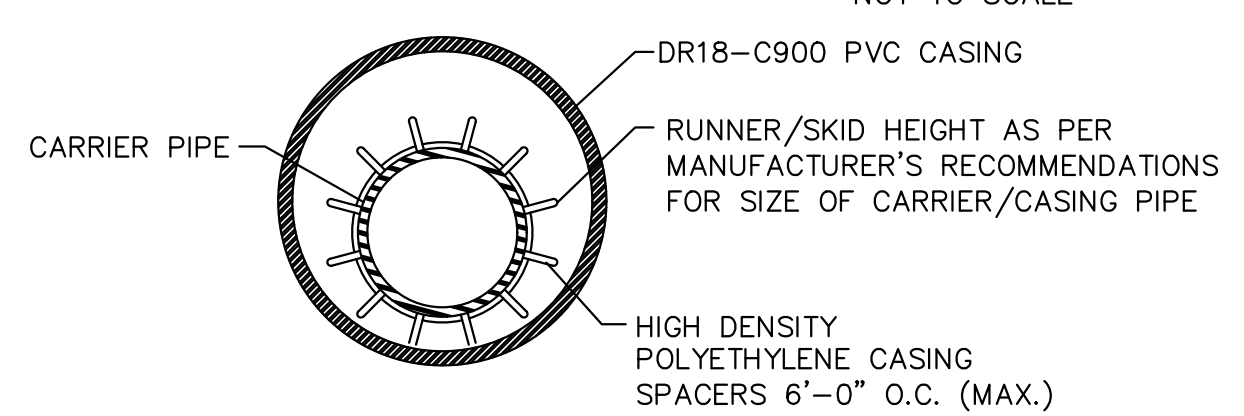
BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.



SIDEWALK PLACEMENT W/ RESPECT TO HYDRANT
NOT TO SCALE

NOTES:

- 1. CONTRACTOR TO CONTACT ALL UTILITIES COMPANIES IN THE AREA FOR FIELD VERIFICATION OF EXISTING FACILITIES. UTILITY COMPANY'S SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
CITY OF McALLEN 956-972-7600
CENTRAL POWER & LIGHT CO. 800-274-2611
SOUTHERN UNION GAS CO. 800-743-2945
AT&T 800-288-2020
U.S. SPRINT CO. 956-948-3100
TIME WARNER CABLE 800-222-5355
TX. EXCAVATION SAFETY SYSTEM 800-344-8377
- 2. CONTRACTOR TO EXPOSE ANY EXISTING FACILITY THAT MAY BE IN CONFLICT PRIOR TO START OF CONSTRUCTION.
- 3. ALL EXISTING CITY UTILITIES (WATER/SEWER) SHOWN ARE FROM BEST INFORMATION AVAILABLE. NEITHER THE ENGINEER NOR THE CITY IS RESPONSIBLE FOR THE ACCURACY OF LOCATION.
- 4. CONTRACTOR SHALL AT ALL TIMES ALLOW ACCESS TO EXISTING DRIVEWAYS OR PROVIDE/MAINTAIN ALTERNATIVE ALL WEATHER ROUTES.
- 5. ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 6. TRENCHES OR EXCAVATIONS MAY NOT BE LEFT OPEN OVERNIGHT UNLESS AUTHORIZED IN WRITING BY THE ENGINEERING DEPARTMENT. IN SUCH CASES, THE CONTRACTOR MUST PROVIDE 1/2" STEEL PLATES OVER PLATES WITH ANCHORING AS PER SPECIFICATIONS TO BE PROVIDED BY THE CITY OF McALLEN.
- 7. ANY DAMAGE TO FENCES, WALKS, OR PRIVATE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- 8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXCAVATED MATERIAL AND DEBRIS FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING CONSTRUCTION MATERIALS TESTING THROUGH THE CITY'S DESIGNATED FIELD REPRESENTATIVE 24 HOURS PRIOR TO TESTING. CONTRACTOR IS RESPONSIBLE FOR ADHERING CLOSELY TO TESTING SCHEDULE AND AVOID ANY DELAYS IN THE FIELD.

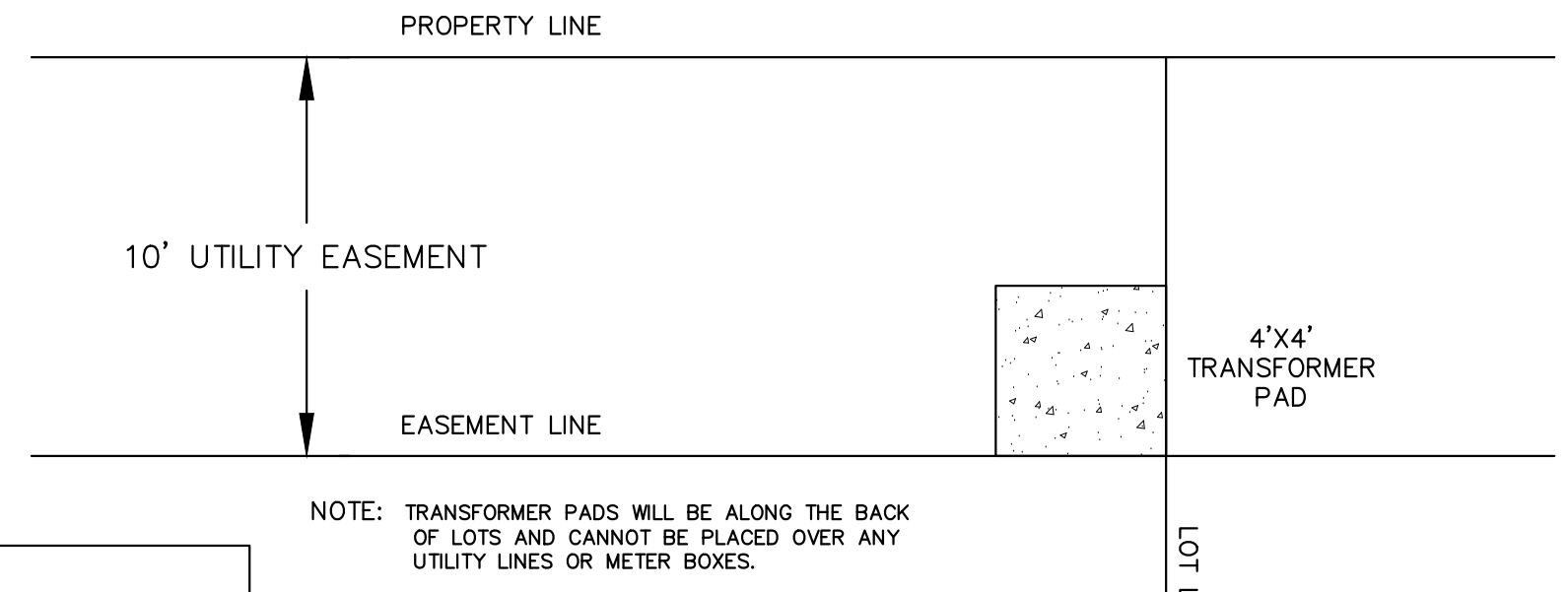


BORING INSTALLATION		
CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.3125"
8"	16"	0.3125"
10"	18"	0.3125"
12"	21"	0.3750"
14", 15"	24"	0.4375"
16"	26"	0.4375"
18"	30"	0.5000"
24"	36"	0.5625"
36"	48"	0.6250"

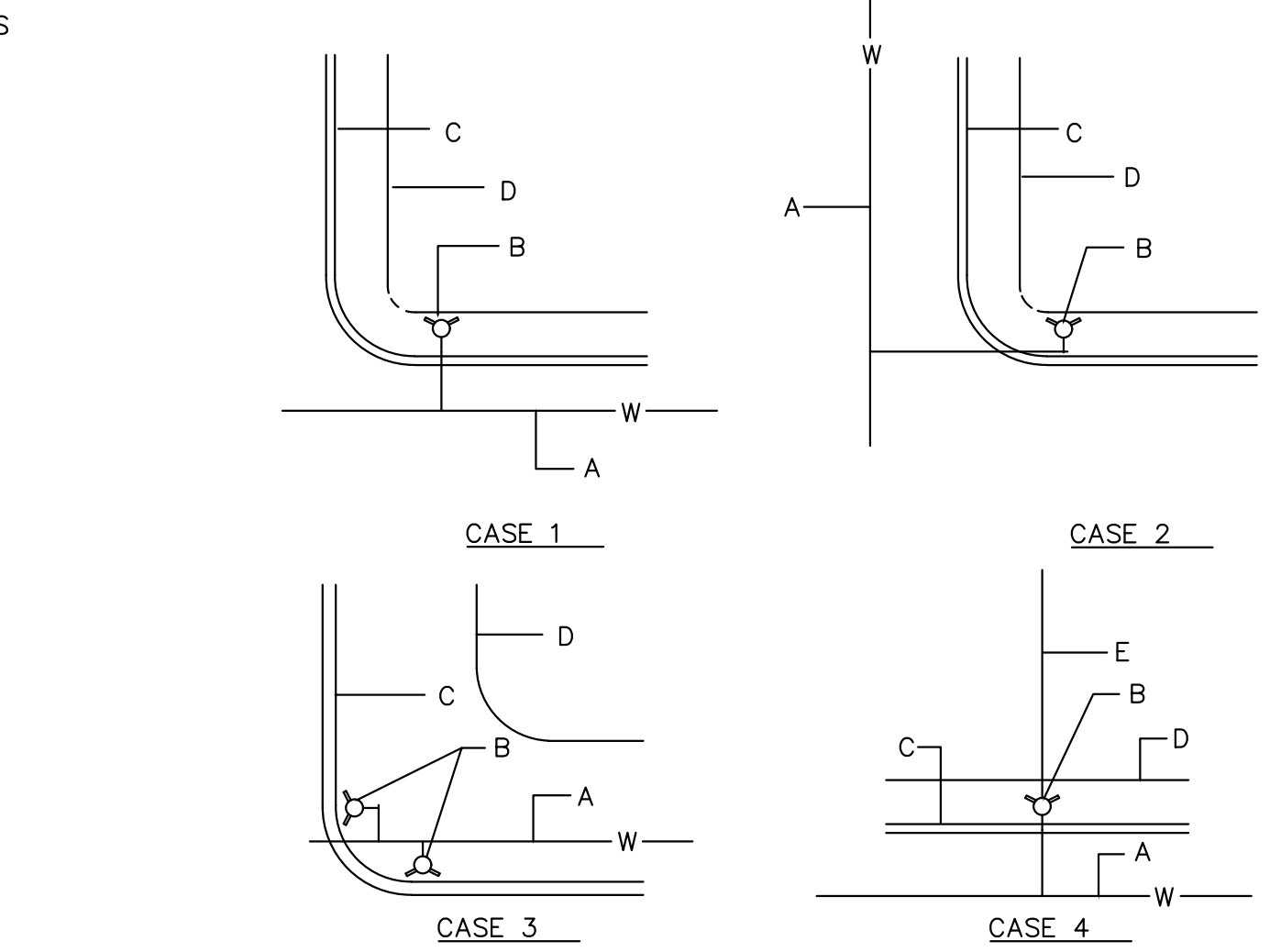
GENERAL NOTES:

- 1. DR18-C900 PVC CASING SHALL BE CLOSED AT EACH END USING USING SYNTHETIC RUBBER END SEALS.
- 2. CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY ON THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASMENT.
- 3. PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
- 4. INSTALLATION AND SIZE OF SPACERS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

UTILITY LINE BORE DETAIL



TRANSFORMER PAD PLACEMENT
NOT TO SCALE



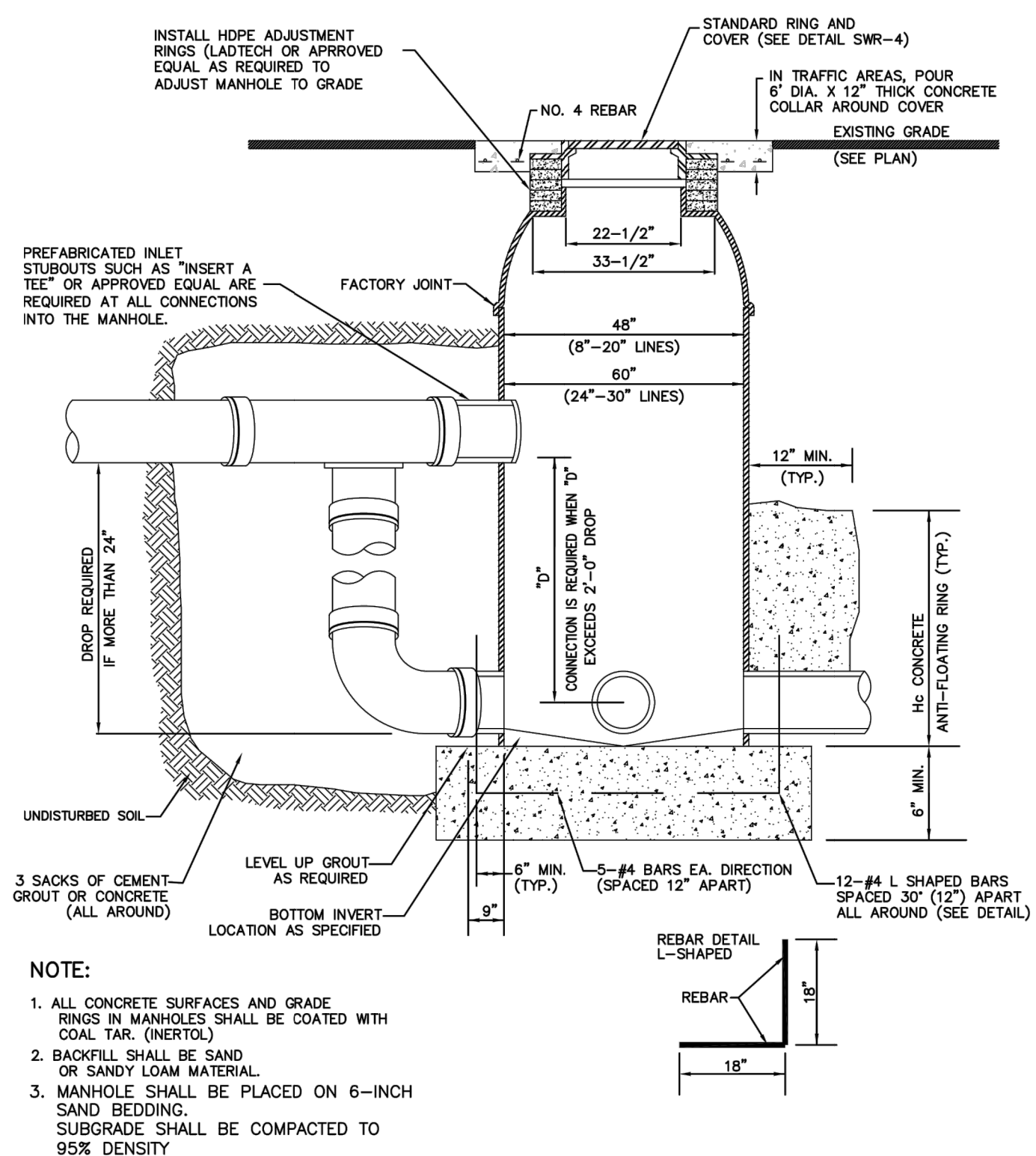
NOTES:

- 1. NORMALLY, FIRE HYDRANTS ARE TO BE LOCATED AT THE END OF CURB RETURN, OR AT PROPERTY LINE.
- 2. PERMANENT OBSTRUCTIONS SUCH AS POLES, TRAFFIC SIGNALS ETC. MAY REQUIRE RELOCATION OF FIRE HYDRANT 5' DISTANCE FROM OBSTRUCTION. FIRE HYDRANT NOT TO BE LOCATED WITHIN AREA OF CURB RETURN

CONSTRUCTION NOTES:

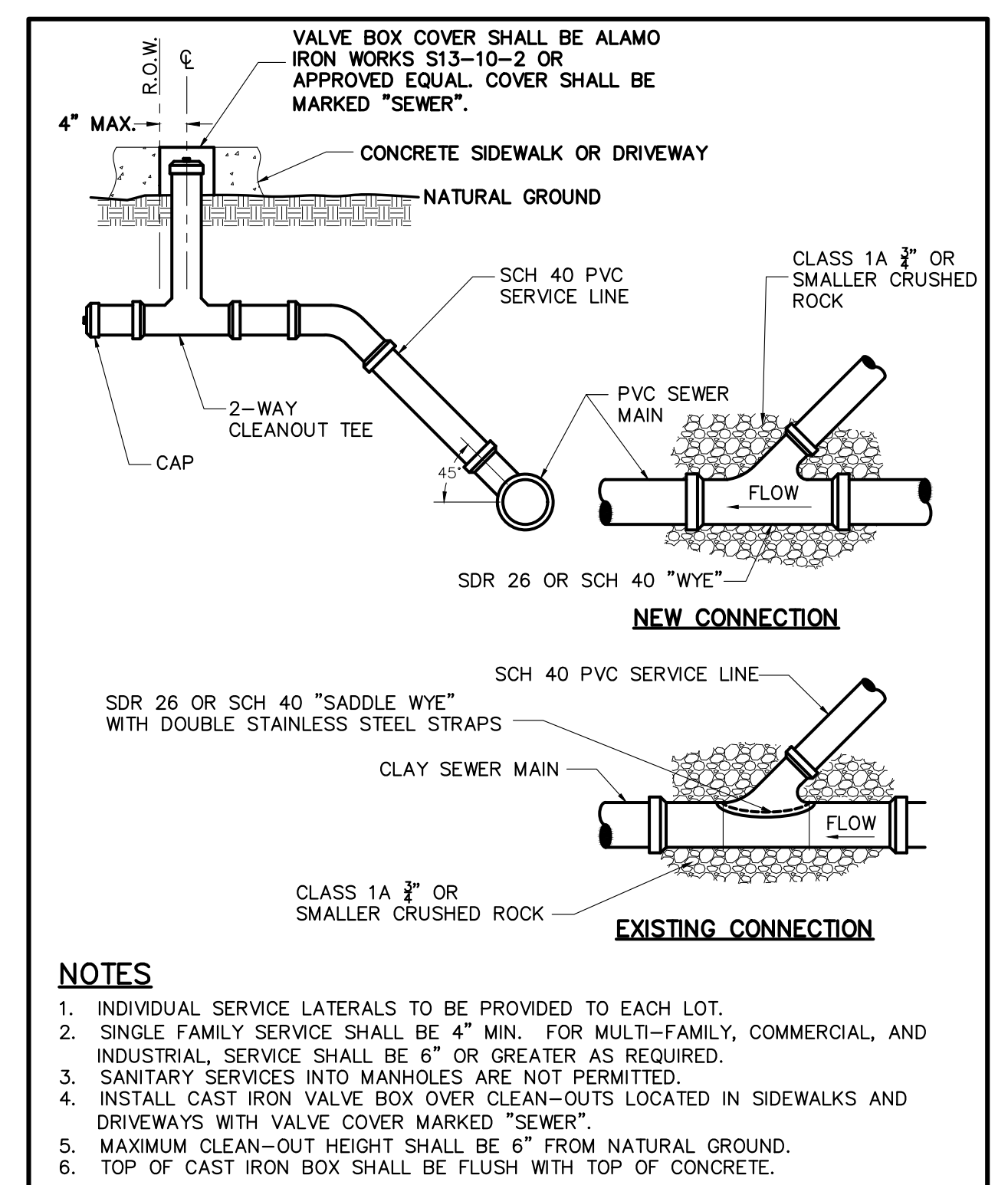
- A. WATER MAIN.
- B. FIRE HYDRANT.
- C. CURB AND GUTTER.
- D. RIGHT OF WAY.
- E. PROPERTY LINE.

TYPICAL FIRE HYDRANT LOCATIONS



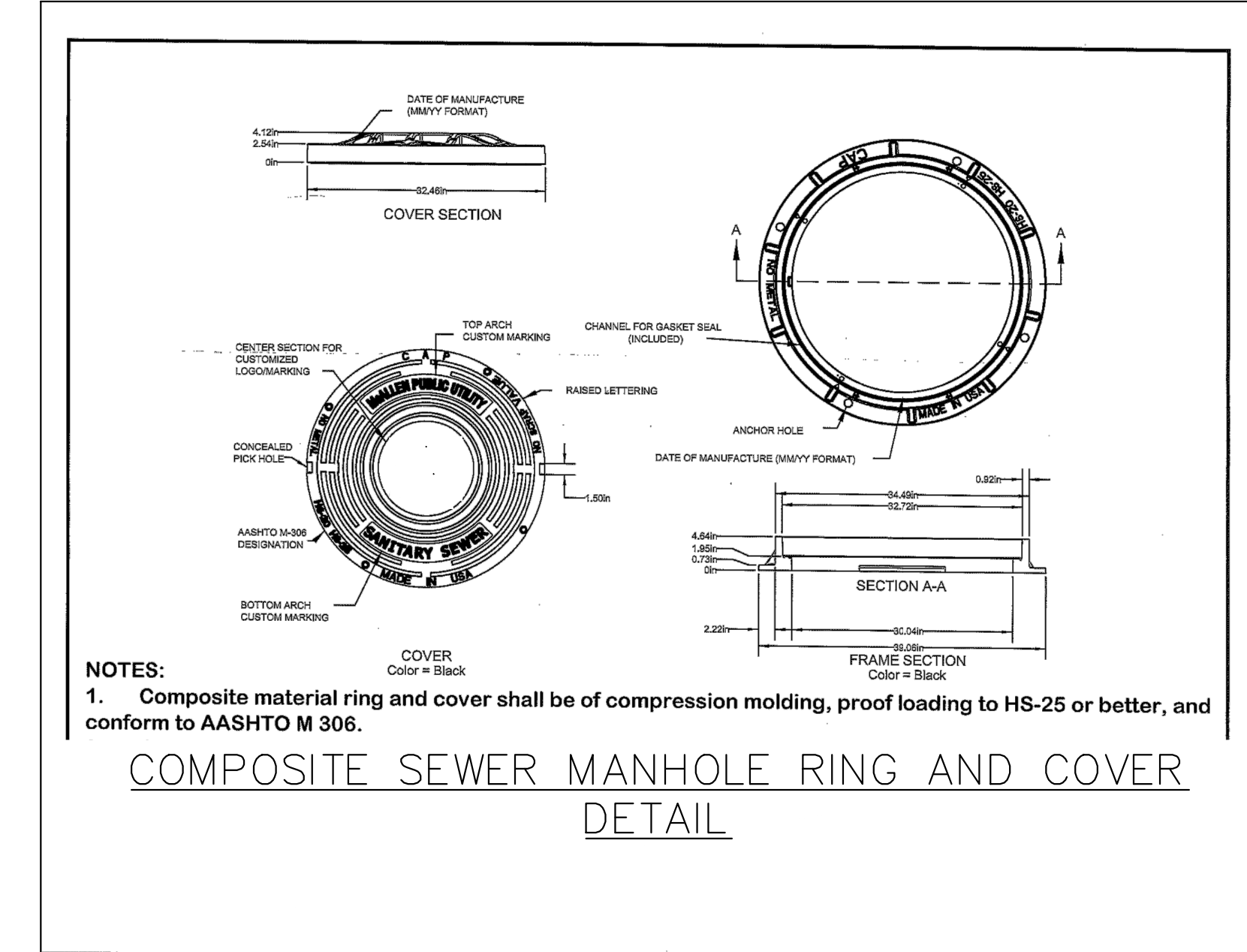
- NOTE:**
- 1. ALL CONCRETE SURFACES AND GRADE RINGS IN MANHOLES SHALL BE COATED WITH COAL TAR (INERTX).
 - 2. BACKFILL SHALL BE SAND OR SANDY LOAM MATERIAL.
 - 3. MANHOLE SHALL BE PLACED ON 6-INCH SAND BEDDING. SUBGRADE SHALL BE COMPACTED TO 95% DENSITY

FIBERGLASS SANITARY SEWER MANHOLE
NOT TO SCALE



NOTES

- 1. INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
- 2. SINGLE FAMILY SERVICE SHALL BE 4" MIN. FOR MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL, SERVICE SHALL BE 6" OR GREATER AS REQUIRED.
- 3. SANITARY SERVICES INTO MANHOLES ARE NOT PERMITTED.
- 4. INSTALL CAST IRON VALVE BOX OVER CLEAN-OUTS LOCATED IN SIDEWALKS AND DRIVEWAYS WITH VALVE COVER MARKED "SEWER".
- 5. MAXIMUM CLEAN-OUT HEIGHT SHALL BE 6" FROM NATURAL GROUND.
- 6. TOP OF CAST IRON BOX SHALL BE FLUSH WITH TOP OF CONCRETE.



COMPOSITE SEWER MANHOLE RING AND COVER DETAIL

RIO DELTA ENGINEERING
FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF IVAN GARCIA, P.E. 115662 ON AUGUST 7, 2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ISSUED FOR:
PRELIMINARY

WATER & SANITARY SEWER DETAIL SHEET
MILANOS ESTATES PHASE I SUBDIVISION
HIDALGO COUNTY, TEXAS.

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: OSCAR ALARCON JR.
SCALE: 1"=50'
DATE: AUGUST 7, 2020
PROJECT: SUB 19 028
REVISIONS:
PAGE NO: 7-OF-7