



# HIDALGO COUNTY PLANNING DEPARTMENT

T.J. Arredondo, CFM  
Director of Planning

1304 SOUTH 25<sup>TH</sup> STREET  
EDINBURG TEXAS 78539  
Tel. 956-318-2840 Fax. 956-318-2844

## HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 4-27-2021

PROPOSED HACIENDA VICTORIA ESTATES SUBDIVISION PRECINCT No. 4.

ENGINEER: MELDEN & HUNT, INC. DEVELOPER: SED-VIC INVESTORS, LP.

PRELIMINARY APPROVAL  FINAL APPROVAL  FINAL APPROVAL WITH FINANCIAL GUARANTEE  WITH VARIANCE

NUMBER OF LOTS: 101  \*SINGLE FAMILY  \*MULTI-FAMILY  COMMERCIAL  INDUSTRIAL

NUMBER OF STREETLIGHTS: 15

FILLING STATIONS: 8

LOCATION DESCRIPTION: SOUTH OF RICHARDSON ROAD APPROXIMATELY ½ MILE EAST OF ALAMO ROAD.

SUBDIVISION LIES WITHIN THE:  ETJ OF EDINBURG AND WAS APPROVED BY THE P&Z AND CITY COMMISSION OF SAID CITY

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 1-29-2020 PROPERTY LIES WITHIN FLOOD ZONE: "X" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 10.00 FEET ONTO RICHARDSON ROAD.

H.C.R.O.W. FINAL APPROVAL DATE: 02-17-2021 BY, JOE OCHOA, PCT. 4 R.O.W. AGENT

H.C.H.D. FINAL APPROVAL DATE: 02-24-2021 BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM:  SANITARY SEWER BY: NAWSC LINE SIZE: 8" LOCATION: RICHARDSON ROAD.

WATER SERVICE PROVIDER: N.A.W.S.C. EXISTING LINE SIZE: 8" LOCATION: RICHARDSON ROAD.

H.C.E.O.C. FINAL APPROVAL DATE: 02-22-2021: BY ENVIRONMENTAL COMPLIANCE COORDINATOR

**LARGE CONSTRUCTION**

*The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed project.*

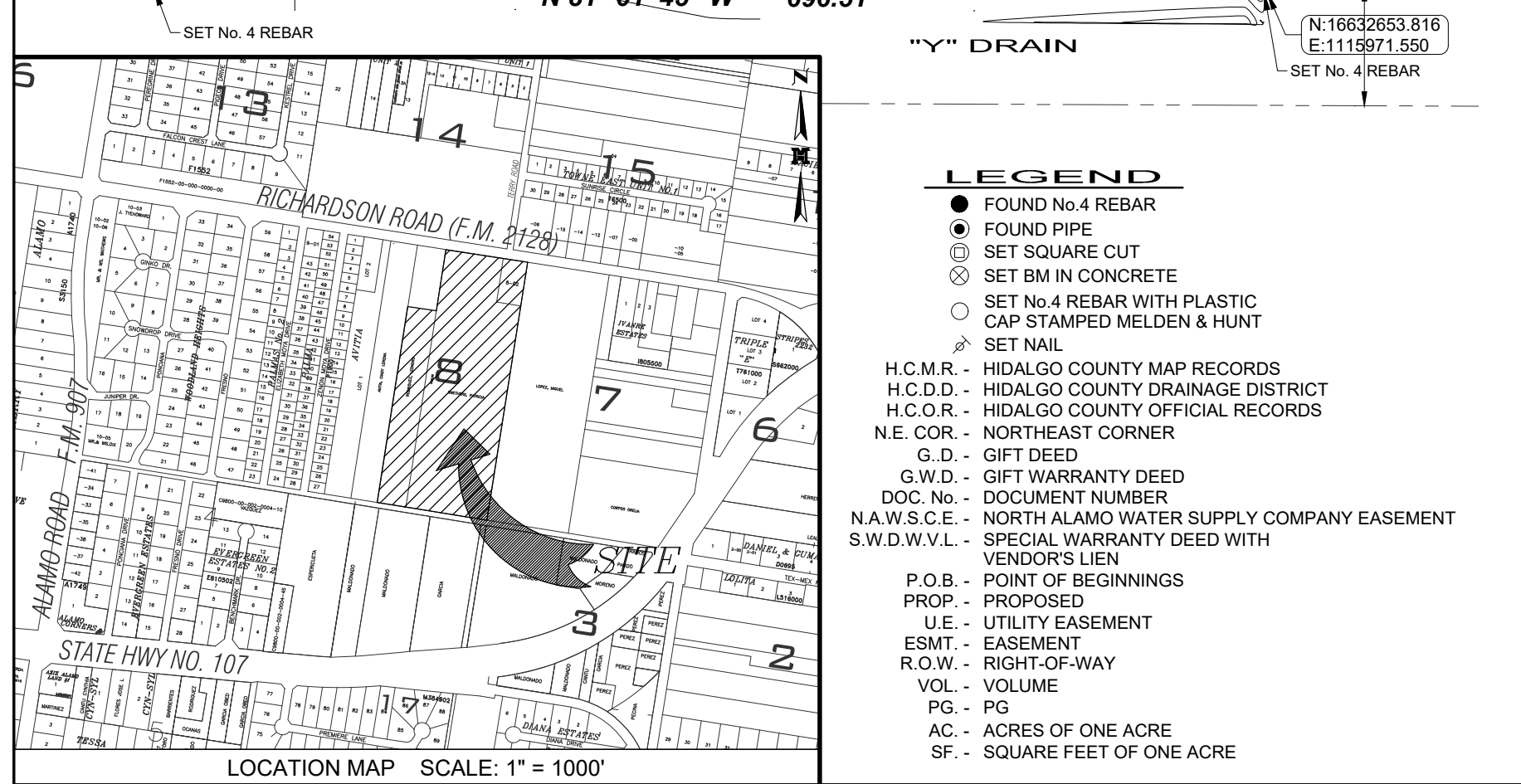
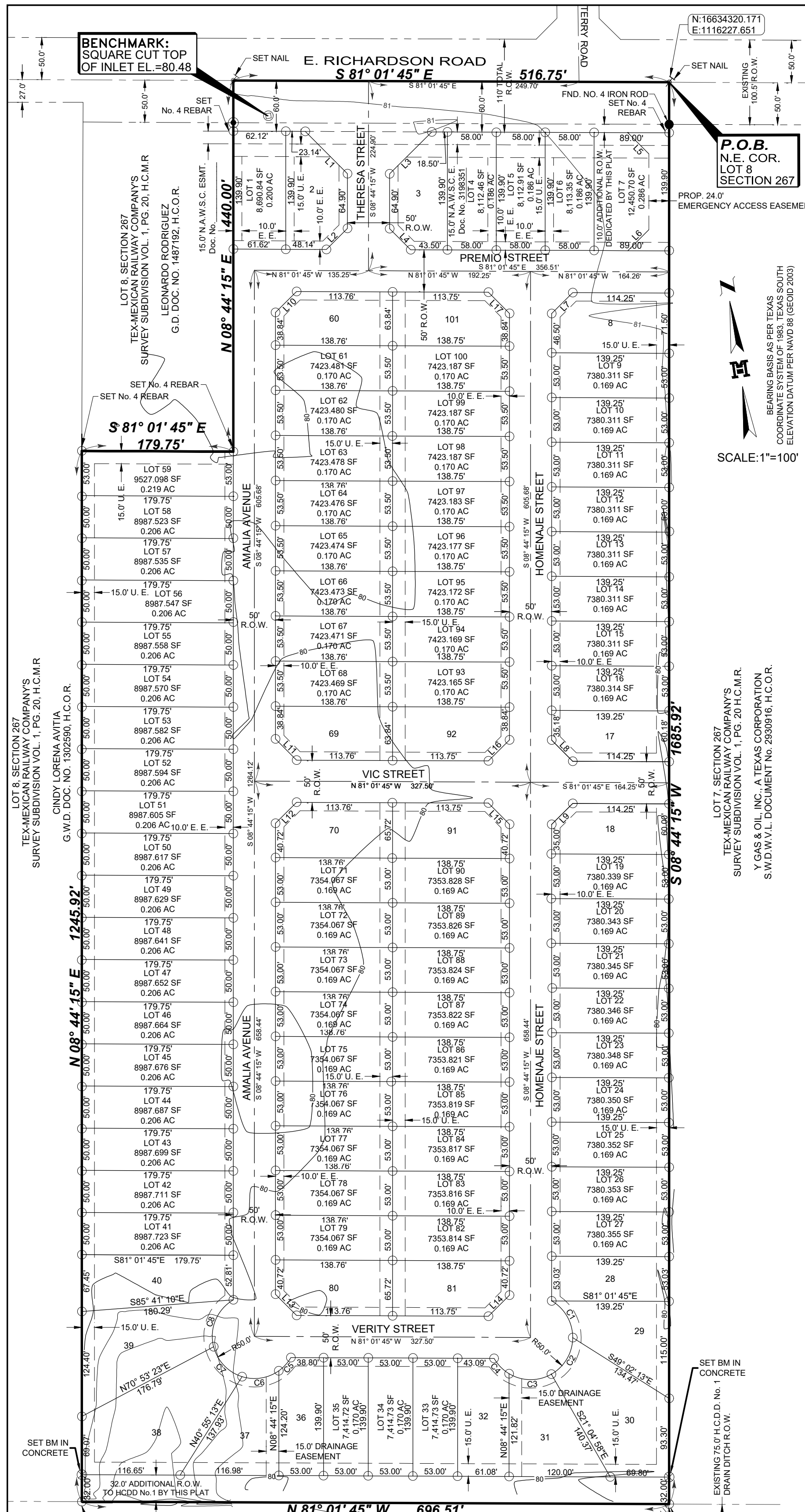
PRELIMINARY APPROVAL FROM THE  
HIDALGO COUNTY COMMISSIONERS COURT ON: FEBRUARY 26, 2020

STAFF RECOMMENDS:  **Preliminary Approval** subject to comments and future recommendations by planning, other departments and the approval of the City of EDINBURG.

**Final Approval** subject to recommendations other departments

*This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,*

*\* Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.*



# SUBDIVISION MAP OF HACIENDA VICTORIA ESTATES SUBDIVISION

BEING 25.224 ACRES  
OUT OF LOT 8, SECTION 267,  
TEXAS-MEXICAN RAILWAY  
COMPANY'S SURVEY SUBDIVISION  
HIDALGO COUNTY, TEXAS

GENERAL PLAT NOTES & RESTRICTIONS:  
HIDALGO COUNTY GENERAL SUBDIVISION PLAT NOTES

- FLOOD ZONE DESIGNATION: ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY-PANEL NUMBER: 480334. 0325 D MAP REVISED: JUNE 6, 2000. REVISED TO REFLECT LCMR: MAY 17, 2001.
- SETBACKS:  
FRONT: 25.00 FEET  
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER  
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER  
CORNER SIDE: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
- THIS DEVELOPMENT IS FOR SINGLE-FAMILY USE. NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:  
--25-M. NO. 1-ELEV. 80.45 N.G.V.D., 29-DESCRIPTIONS: SQUARE CUT ON TOP OF EXISTING CURB INLET N:1663435.04, E:111571.89; ELEV=80.48  
--26-M. NO. 2-DESCRIPTIONS: SET BM IN CONCRETE SOUTHWEST CORNER OF LOT 51, N:16632794.0340, E:1115288.547; ELEV=84.60  
--26-M. NO. 3-DESCRIPTIONS: SET BM IN CONCRETE SOUTHWEST CORNER OF LOT 39, N:16632794.0340, E:1115288.547; ELEV=84.60
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL DETAINED VOLUME OF 37,855 CUBIC FEET OF STORM WATER RUNOFF, DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO. 3 FOR STORM SEWER IMPROVEMENTS) THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT'S DETERMINED AT THE DEVELOPMENT PERMIT STAGE ABOVE DUE TO THE IMPERVIOUS AREA BEING GREATER THAN PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENTS. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO VISIBLE WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S).
- LOTS 1-7 SHALL NOT HAVE ACCESS ONTO E. RICHARDSON ROAD. DEVELOPER TO INSTALL BUFFER FENCE ABUTTING RICHARDSON ROAD.
- EACH LOT SHALL HAVE ITS OWN WATER METER.
- 5' SIDEWALK WITH ADA RAMP FOR ALL INTERIOR STREETS IS REQUIRED AT BUILDING PERMIT STAGE AND ALSO A 5' SIDEWALK WITH ADA RAMP IS REQUIRED ALONG E. RICHARDSON ROAD DURING SUBDIVISION DEVELOPMENT STAGE.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
- ALL BEARING AND DISTANCES ARE BASED ON GRID COORDINATES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- AS PER THE CITY OF EDINBURG FIRE MARSHAL, LOT 7 SHALL HAVE AN EMERGENCY ACCESS DRIVE EASEMENT. THE DRIVE SHALL BE REMOVED AT THE EXPENSE OF THE DEVELOPER ONCE THE ADJACENT PROPERTY IS DEVELOPED AND A SECOND POINT OF INGRESS AND EGRESS HAS BEEN ESTABLISHED.

Irregular Lot Area			Curve Table						
Lot #	SF	Area	Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent
1	8,670.54	0.199 AC	C1	60° 16' 46"	50.00	52.60	N21° 07' 07"W	50.21	29.03
2	8,019.44	0.184 AC	C2	60° 10' 45"	50.00	52.52	N39° 08' 39"E	50.14	28.97
3	12,450.70	0.296 AC	C3	60° 15' 46"	50.00	52.59	S80° 40' 06"E	50.20	29.02
4	9,643.36	0.221 AC	C4	29° 30' 28"	50.00	25.75	S35° 46' 59"E	25.47	13.17
5	10,067.27	0.185 AC	C5	24° 29' 52"	50.00	21.38	N51° 13' 11"E	21.22	10.86
6	8,042.96	0.185 AC	C6	52° 18' 08"	50.00	45.64	N89° 31' 10"E	44.07	24.55
7	7,384.46	0.170 AC	C7	58° 39' 25"	50.00	51.13	S34° 56' 04"E	48.93	28.05
8	9,365.09	0.215 AC	C8	74° 22' 36"	50.00	64.91	S31° 32' 57"W	60.44	37.94
9	13,908.49	0.319 AC							
10	10,117.96	0.232 AC							
11	8,346.56	0.192 AC							
12	7,295.20	0.167 AC							
13	9,956.66	0.216 AC							
14	17,340.82	0.398 AC							
15	14,148.45	0.325 AC							
16	10,808.20	0.248 AC							
17	8,545.31	0.196 AC							
18	8,545.13	0.196 AC							
19	8,068.28	0.202 AC							
20	8,805.85	0.202 AC							
21	8,805.53	0.202 AC							
22	8,805.99	0.202 AC							
23	8,544.78	0.196 AC							
24	8,544.83	0.196 AC							

Lot Line Table		Lot Line Table	
Line #	Length Direction	Line #	Length Direction
L1	70.09 S36° 04' 22"E	L12	35.28 N53° 51' 15"E
L2	35.28 N53° 51' 15"E	L13	35.43 S36° 08' 45"E
L3	69.86 S53° 51' 15"W	L14	35.28 N53° 51' 15"E
L4	35.36 S36° 15' 45"E	L15	35.43 S36° 08' 45"E
L5	35.28 N53° 51' 15"E	L16	35.28 N53° 51' 15"E
L6	35.43 S36° 08' 45"E	L17	35.43 S36° 08' 44"E
L7	35.28 N53° 51' 15"E		
L8	35.43 S36° 08' 45"E		
L9	35.28 N53° 51' 15"E		
L10	35.28 N53° 51' 16"E		
L11	35.43 S36° 08' 45"E		

RIGHT OF WAY EASEMENT  
KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS AND ASSIGNS, AN EXCLUSIVE PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE ADJACENT. THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15 IN WIDTH AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS/ARE INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15 IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE(S) INSTALLED.

IN THE EVENT THE EASEMENT HEREBY GRANTED ABUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREAFTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANTEE HEREBY GRANTS TO GRANTEE AN ADDITIONAL EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATING SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15 IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN. THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS. THE GRANTEE COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS, EXCEPT THE FOLLOWING:

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF THE TITLE V OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANTEE HAS EXECUTED THIS INSTRUMENT THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

(GRANTOR'S SIGNATURE)  
ACKNOWLEDGMENT  
THE STATE OF TEXAS & COUNTY OF HIDALGO &

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE (SHE) (THEY) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_  
IN WITNESS WHEREOF, THE SAID GRANTEE HAS EXECUTED THIS INSTRUMENT THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
UNDER LOCAL GOVERNMENT CODE § 232.026 (A)  
WE THE UNDER SIGNED CERTIFY THAT THIS PLAT OF "HACIENDA VICTORIA ESTATES SUBDIVISION" WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

HIDALGO COUNTY JUDGE  
ATTEST:  
HIDALGO COUNTY CLERK

CHARPERSON OF PLANNING AND ZONING COMMISSION  
DATE: \_\_\_\_\_

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

RAUL E. SESIN P.E., C.F.M.  
GENERAL MANAGER  
DATE: \_\_\_\_\_

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION; ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HDICD RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HDICD.

STATE OF TEXAS  
COUNTY OF HIDALGO:  
I, THE UNDERSIGNED, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF HACIENDA VICTORIA ESTATES SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 10/21/2019, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

FRED L. KURTH, R.P.L.S. # 4750  
DATE SURVEYED: 10/21/2019  
T-1084, PG.52  
SURVEY JOB NO. 19167.02-08

INDEX TO SHEET OF HACIENDA VICTORIA ESTATES SUBDIVISION  
SHEET 1: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYORS CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS DEDICATION, CERTIFICATION, ATTESTATION; ENGINEERING CERTIFICATION; CITY: APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES, IRRIGATION DISTRICT, H.C.D.D. NO. 1, N.A.W.S.C. COUNTY JUDGE CERTIFICATE  
SHEET 2: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTE WATER / SANITARY SEWER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION).  
SHEET 3: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE (ENGLISH AND SPANISH VERSION); ENGINEERING CERTIFICATION.  
SHEET 4: CONSTRUCTION DETAILS.

LOCATION OF SUBDIVISION WITH RESPECT TO THE CITY OF EDINBURG EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY.  
HACIENDA VICTORIA ESTATES SUBDIVISION IS LOCATED IN THE SOUTHWEST PART OF HIDALGO COUNTY ON THE SOUTH SIDE OF E. RICHARDSON ROAD, APPROXIMATELY 0.43 OF ONE MILE EAST OF ITS INTERSECTION WITH ALAMO ROAD, THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,070), HACIENDA VICTORIA ESTATES SUBDIVISION LIES APPROXIMATELY 0.1 MILE FROM THE CITY LIMITS (AND IS WITHIN THE 1 MILE EXTRATERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. THIS SUBDIVISION FALLS WITHIN PRECINCT 4.

DRAWN BY: EM DATE 01-27-2020  
FINAL CHECK DATE \_\_\_\_\_

PRINCIPAL CONTACTS  
OWNER: KYNDEL W. BENNETT 11410 NORTH F.M. 493 DONNA, TEXAS 78537  
ENGINEER: MARIO A. REYNA 115 W. MCINTYRE EDINBURG, TX 78541 (956) 381-0981 (956) 381-1839  
SURVEYOR: FRED L. KURTH 115 W. MCINTYRE EDINBURG, TX 78541 (956) 381-0981 (956) 381-1839

STATE OF TEXAS  
COUNTY OF  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION  
I, KYNDEL W. BENNETT AS OWNER OF THE 25.141 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED HACIENDA VICTORIA ESTATES SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET(S), PARK, AND EASEMENTS SHOWN HEREIN.  
I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT  
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;  
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;  
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND  
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.  
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

SED-VIC INVESTORS, LP, A TEXAS LIMITED LIABILITY COMPANY  
DATE: \_\_\_\_\_  
KYNDEL W. BENNETT, CEO  
11410 NORTH F.M. 493  
DONNA, TEXAS 78537

STATE OF TEXAS  
COUNTY OF  
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED KYNDEL W. BENNETT, I PROVED TO ME THROUGH \_\_\_\_\_ TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO:  
I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.  
DATE: \_\_\_\_\_  
MARIO A. REYNA, P.E. # 117368  
DATE PREPARED: 2-27-2020  
ENGINEERING JOB NO. 19167.00

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

STATE OF TEXAS  
COUNTY OF HIDALGO:  
I, THE UNDERSIGNED, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF HACIENDA VICTORIA ESTATES SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 10/21/2019, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

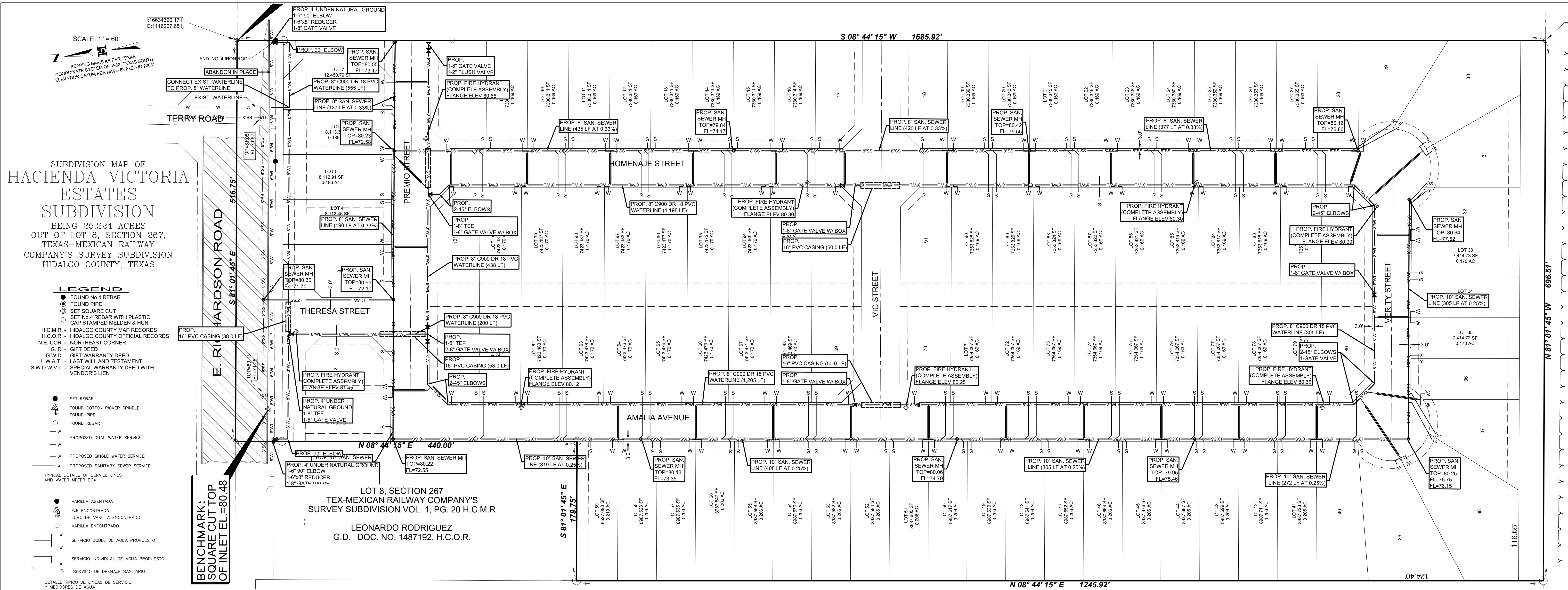
FRED L. KURTH, R.P.L.S. # 4750  
DATE SURVEYED: 10/21/2019  
T-1084, PG.52  
SURVEY JOB NO. 19167.02-08

INDEX TO SHEET OF HACIENDA VICTORIA ESTATES SUBDIVISION  
SHEET 1: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYORS CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS DEDICATION, CERTIFICATION, ATTESTATION; ENGINEERING CERTIFICATION; CITY: APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES, IRRIGATION DISTRICT, H.C.D.D. NO. 1, N.A.W.S.C. COUNTY JUDGE CERTIFICATE  
SHEET 2: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTE WATER / SANITARY SEWER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION).  
SHEET 3: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE (ENGLISH AND SPANISH VERSION); ENGINEERING CERTIFICATION.  
SHEET 4: CONSTRUCTION DETAILS.

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY





**MAP OF WATER DISTRIBUTION SYSTEM**  
**MAPA DE SISTEMA DE DISTRIBUCION DE AGUA**

ENGINEERING REPORT FOR HACIENDA VICTORIA ESTATES SUBDIVISION  
 BY: MARIO A. REYNA  
 WATER SUPPLY, DESCRIPTION, COSTS, AND OPERABILITY DATE

HACIENDA VICTORIA ESTATES SUBDIVISION WILL BE PROVIDED WITH POTABLE WATER BY NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG-TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING 8" DIAMETER WATER LINE RUNNING ALONG THE SOUTH SIDE OF THE RIGHT-OF-WAY OF E. RICHARDSON ROAD. THE WATER SYSTEM FOR HACIENDA VICTORIA ESTATES SUBDIVISION CONSISTS OF A 8" WATER LINE THAT TAPS INTO THE EXISTING 8" LINE AT TO LOCATION, AN 8" WATER LINE CONNECT TO THE PREVIOUSLY MENTIONED 8" WATER LINE ALONG THE SOUTH SIDE OF E. RICHARDSON ROAD AND RUNS SOUTH ALONG THE WEST SIDE OF THERESA STREET RIGHT-OF-WAY THEN CONNECT WITH A TEE. THE 8" WATER LINE RUNS EAST ALONG THE SOUTH RIGHT-OF-WAY OF PREMIO STREET TO THE NORTHEAST CORNER OF LOT 8 ENDING WITH A 2" FLUSH VALVE. ANOTHER 8" WATER LINE CONNECT TO THE PREVIOUSLY MENTIONED 8" WATER LINE AT THE NORTHEAST CORNER OF LOT 101 THEN RUNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF HOMENAJE STREET THEN TURNS WEST AT THE SOUTHWEST CORNER OF LOT 81 RUNNING ALONG THE NORTH RIGHT-OF-WAY OF VERITY STREET THEN TURNS NORTH AT THE SOUTHWEST CORNER OF LOT 80 THEN RUNS NORTH ALONG THE EAST SIDE OF AMALIA AVENUE RIGHT-OF-WAY THEN TURNS EAST AND CONNECTS WITH THE TEE. IN ORDER TO SERVE THIS SUBDIVISION.

WATER DISTRIBUTION FOR THE HACIENDA VICTORIA ESTATES SUBDIVISION CONSISTS OF 46-3/4" DIAMETER DOUBLE SERVICE LINES AND 3-1/2" DIAMETER SINGLE SERVICE LINES. SAID SERVICES TERMINATE AT THE WATER METER BOXES FOR EACH LOT. THE 8" LINE, THE DUAL SERVICES AND 1/2" SINGLE SERVICES, AND THE METER BOXES HAVE ALREADY BEEN INSTALLED, AT A TOTAL COST OF \$188,805.00, OR \$1,869.36 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID N.A.W.S.C. THE SUM OF \$132,100.00, WHICH COVERS THE \$1307.92 COST PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING TO N.A.W.S.C. UPON REQUEST BY THE LOT OWNER, N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE SUBDIVIDER HAS INSTALLED 8 FIRE HYDRANTS AT A UNIT COST OF \$4,500.00 FOR A TOTAL COST OF \$36,000.00. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.E.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:  
 BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE, I CERTIFY THAT THE COSTS TO INSTALL THE WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES – THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF \$ 320,905.00 WHICH EQUALS TO \$ 3,177.28 PER LOT.

SEWAGE FACILITIES – SEWAGE SYSTEM IS ESTIMATED TO COST \$3,415.54 PER LOT (ALL INCLUSIVE), FOR A TOTAL OF \$344,970.00 FOR THE ENTIRE SUBDIVISION.

ENGINEER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: EM DATE 01-28-2020  
 SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
 FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_

**M MLDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541  
 PH. (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

**MAP OF WASTEWATER DISTRIBUTION SYSTEM**  
**MAPA DE SISTEMA DE DISTRIBUCION DE DRENAJE**

ENGINEERING REPORT FOR HACIENDA VICTORIA ESTATES SUBDIVISION  
 BY: MARIO A. REYNA  
 SEWAGE FACILITIES DESCRIPTION; COST AND OPERABILITY DATES

SEWAGE FOR HACIENDA VICTORIA ESTATES SUBDIVISION WILL BE TREATED BY N.A.W.S.C. THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH THE N.A.W.S.C. HAS PROMISED TO TREAT THE SUFFICIENT WASTEWATER FOR AT LEAST 30 YEARS AND THE N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING SANITARY SEWER LINE ALONG THE SOUTH SIDE OF THE E. RICHARDSON ROAD RIGHT-OF-WAY.

THE WASTEWATER SYSTEM FOR HACIENDA VICTORIA ESTATES SUBDIVISION WILL CONSIST OF A 12" DIAMETER SEWER LINE THAT TAPS INTO THE EXISTING SANITARY SEWER LINE WITH A PROPOSED MANHOLE. THIS 12" LINE THEN RUNS SOUTH TO THE EAST RIGHT-OF-WAY OF THERESA STREET TO A PROPOSED SANITARY SEWER MANHOLE. FROM THE PROPOSED MANHOLE A 10" LINE THEN RUNS WEST ALONG NORTH RIGHT-OF-WAY OF PREMIO STREET TO A PROPOSED MANHOLE WHERE A 10" SANITARY LINE TURNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF AMALIA AVENUE TO A PROPOSED MANHOLE. A 10" SANITARY SEWER LINE RUNS EAST ALONG THE NORTH RIGHT-OF-WAY OF VERITY STREET TO A PROPOSED MANHOLE. A PROPOSED 8" SANITARY SEWER RUNS EAST ALONG THE NORTH RIGHT-OF-WAY OF PREMIO STREET ENDING WITH A CLEANOUT AT THE EAST BOUNDARY OF THIS SUBDIVISION. AN OTHER 8" SEWER LINE CONNECT TO THE PREVIOUSLY MENTION SEWER LINE WITH A PROPOSED MANHOLE WHERE A 8" LINE RUNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF HOMENAJE STREET TO A PROPOSED MANHOLE.

THERE WILL BE ONE HUNDRED AND TWO (101) 4" SERVICE CONNECTIONS

THE SANITARY SEWER LINES RANGING FROM 8" TO 12", AND (13) SANITARY SEWER MANHOLES HAVE BEEN INSTALLED AT A TOTAL COST \$308,878.00 OR \$3,058.20 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID TO THE N.A.W.S.C. THE SUM OF \$ 1,125.00 WHICH COVERS THE \$114 PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF THE SERVICE AND ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO THE N.A.W.S.C. THE ENTIRE WASTE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:  
 BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE, I CERTIFY THAT THE COSTS TO INSTALL THE WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES – THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF 320,905.00 WHICH EQUALS TO \$ 3,177.28 PER LOT.

SEWAGE FACILITIES – SEWAGE SYSTEM IS ESTIMATED TO COST \$3,415.54 PER LOT (ALL INCLUSIVE), FOR A TOTAL OF \$344,970.00 FOR THE ENTIRE SUBDIVISION.

ENGINEER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: EM DATE 01-28-2020  
 SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
 FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_

**M MLDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541  
 PH. (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

REPORT DE INGENIERIA DE HACIENDA VICTORIA ESTATES SUBDIVISION  
 POR: MARIO A. REYNA  
 ABASTECIMIENTO DE AGUA; DESCRIPCION, COSTOS Y FECHA DE OPERABILIDAD

LA SUBDIVISION HACIENDA VICTORIA ESTATES RECIBIRA SU PROVISION DE AGUA DE NORTH ALAMO WATER SUPPLY CORPORATION (LA COMPANIA DE AGUA N.A.W.S.C.). EL DUEÑO DE LA SUBDIVISION Y N.A.W.S.C. HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE AGUA POR LOS PROXIMOS 30 AÑOS. N.A.W.S.C. HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

N.A.W.S.C. EL SISTEMA DE PROVISION DE AGUA PARA LA SUBDIVISION HACIENDA VICTORIA ESTATES CONSISTE DE UN CONDUCTO DE AGUA DE 8" QUE PASA POR EL LADO SUR DEL DERECHO DE VIA (RIGHT OF WAY) DE LA CARRETERA E. RICHARDSON ROAD. EL SISTEMA DE PROVISION DE AGUA DE LA SUBDIVISION HACIENDA VICTORIA ESTATES CONSISTE DE CONDUCTOS DE AGUA DE 8" QUE SE CONECTA CON EL CONDUCTO DE AGUA EXISTENTE DE 8 PULGADAS EN DOS LUGARES. OTRA LINEA DE 8" SE CONECTA A LA LINEA PREVIAMENTE MENCIONADA Y SIGUE HACIA EL LADO OESTE DEL DERECHO DE VILLA DE LA CALLE THERESA STREET LUEGO CORRE AL ESTE EN EL LADO SUR DEL DERECHO DE VILLA DE PREMIO STREET TERMINANDO EN EL LADO NORESTE DE LOTE 8 CON UNA VÁRULLA DE 2". OTRA LINEA DE 8" SE CONECTA A LA LINEA PREVIAMENTE MENCIONADA Y CORRE EN EL SUR POR EL LADO OESTE DEL DERECHO DE VILLA DE HOMENAJE STREET LUEGO CORRE AL OESTE EN LA ESQUINA SURESTE DE LOTE 81 EN EL LADO NORTE DEL DERECHO DE VERITY STREET Y LUEGO CORRE AL NORTE EN EL LADO ESTE DEL DERECHO DE VILLA DE LA CALLE AMALIA AVENUE Y LUEGO CORRE AL ESTE EN LA ESQUINA NOROESTE DE LOTE 80 CONECTANDO A LA LINEA PREVIAMENTE MENCIONADA PARA SERVIR ESTA SUBDIVISION.

DEL CONDUCTO DE AGUA DE 8 PULGADAS SE PRODUCEN (46) CUARENTA Y SEIS DOBLE-CONDUCTOS DE AGUA DE 3/4" PULGADA DE DIAMETRO PARA CADA DOS LOTES. ESTOS CONDUCTOS SE SEPARAN PARA PRODUCIR DOS CONDUCTOS DE AGUA DE 3/4" DE PULGADA DE DIAMETRO PARA CADA LOTE. Y (9) NUEVE CONDUCTOS INDIVIDUALES DE AGUA DE 3/4" DE PULGADA DE DIAMETRO PARA CADA LOTE YA SE HAN INSTALADO LOS CONDUCTOS DE AGUA DE 8 PULGADAS DE DIAMETRO. LOS DOBLE-CONDUCTOS DE AGUA DE 3/4" PULGADA DE DIAMETRO, EL CONDUCTO DE 3/4" DE PULGADA DE DIAMETRO, Y LOS MEDIDORES MECANICOS DE AGUA A UN COSTO TOTAL DE \$188,805.00 O \$1,869.36 POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A LA COMPANIA N.A.W.S.C. \$132,100.00, QUE CUBRE EL COSTO DEL MEDIDOR MECANICO DE AGUA PARA CADA LOTE. \$1307.92. ESTE PRECIO INCLUYE EL COSTO DE LA INSTALACION DE CADA MEDIDOR Y LOS GASTOS DE CONEXION. CUANDO EL DUEÑO DE CADA LOTE SOLICITE UN MEDIDOR DE AGUA, LA COMPANIA N.A.W.S.C. LO INSTALARA SIN ALGUN GASTO AL DUEÑO. EL DUEÑO DE LA SUBDIVISION TAMBIEN HA INSTALADO 8 BOCAS DE RIEGO (FIRE HYDRANT) A UN COSTO DE \$ 4,500.00 POR CADA UNA CUAL GASTA UNA CANTIDAD TOTAL \$36,000.00. EL SISTEMA DE AGUA ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

CERTIFICACION:  
 CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DRENAJE SANITARIO DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON (LAS REGLAS GOVERNANDO A LAS SUBDIVISIONES), ADOPTADAS BAJO LA SECCION 16.343, DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS), CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DRENAJE SANITARIO, SON LOS SIGUIENTES:

INSTALACIONES DE AGUA – EL SISTEMA/SERVICIO DE AGUA SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECANICO DE AGUA QUE COSTARA UN TOTAL DE U.S.\$ 320,905.00 O U.S.\$ 3,177.28 POR LOTE.

INSTALACIONES DE DRENAJE SANITARIO – EL SISTEMA DE DRENAJE SANITARIO SE ESTIMA UN COSTO TOTAL DE U.S.\$344,970.00 O U.S.\$3,415.54 POR LOTE.

ENGINEER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: EM DATE 01-28-2020  
 SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
 FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_

**M MLDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541  
 PH. (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

REPORT DE INGENIERIA DE VICTORIA ESTATES SUBDIVISION  
 POR: MARIO A. REYNA  
 SEWAGE FACILITIES DESCRIPTION; COST AND OPERABILITY DATES

SEWAGE FOR HACIENDA VICTORIA ESTATES SUBDIVISION WILL BE TREATED BY N.A.W.S.C. THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH THE N.A.W.S.C. HAS PROMISED TO TREAT THE SUFFICIENT WASTEWATER FOR AT LEAST 30 YEARS AND THE N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING SANITARY SEWER LINE ALONG THE SOUTH SIDE OF THE E. RICHARDSON ROAD RIGHT-OF-WAY.

THE WASTEWATER SYSTEM FOR HACIENDA VICTORIA ESTATES SUBDIVISION WILL CONSIST OF A 12" DIAMETER SEWER LINE THAT TAPS INTO THE EXISTING SANITARY SEWER LINE WITH A PROPOSED MANHOLE. THIS 12" LINE THEN RUNS SOUTH TO THE EAST RIGHT-OF-WAY OF THERESA STREET TO A PROPOSED SANITARY SEWER MANHOLE. FROM THE PROPOSED MANHOLE A 10" LINE THEN RUNS WEST ALONG NORTH RIGHT-OF-WAY OF PREMIO STREET TO A PROPOSED MANHOLE WHERE A 10" SANITARY LINE TURNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF AMALIA AVENUE TO A PROPOSED MANHOLE. A 10" SANITARY SEWER LINE RUNS EAST ALONG THE NORTH RIGHT-OF-WAY OF VERITY STREET TO A PROPOSED MANHOLE. A PROPOSED 8" SANITARY SEWER RUNS EAST ALONG THE NORTH RIGHT-OF-WAY OF PREMIO STREET ENDING WITH A CLEANOUT AT THE EAST BOUNDARY OF THIS SUBDIVISION. AN OTHER 8" SEWER LINE CONNECT TO THE PREVIOUSLY MENTION SEWER LINE WITH A PROPOSED MANHOLE WHERE A 8" LINE RUNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF HOMENAJE STREET TO A PROPOSED MANHOLE.

THERE WILL BE ONE HUNDRED AND TWO (101) 4" SERVICE CONNECTIONS

THE SANITARY SEWER LINES RANGING FROM 8" TO 12", AND (13) SANITARY SEWER MANHOLES HAVE BEEN INSTALLED AT A TOTAL COST \$308,878.00 O \$3,058.20 POR LOTE. ADICIONALMENTE, EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A N.A.W.S.C. LA SUMA DE \$1,125.00 QUE CUBRE LOS \$114 POR LOTE COMO SE ESTABLECE EN EL ACUERDO DE SERVICIO DE AGUA DE RESIDUOS DE 30 AÑOS QUE SUMA REPRESENTA EL COSTO TOTAL DE LOS SERVICIOS Y CARGOS DE ACUERDO, Y TODOS LOS MIEMBROS U OTROS CARGOS ASOCIADAS CON LA CONECTANDO LOS LOTS INDIVIDUALES EN LA SUBDIVISION A N.A.W.S.C. LAS INSTALACIONES DE AGUA DE RESIDUOS COMPLETOS HAN SIDO APROBADAS Y ACEPTAS POR N.A.W.S.C. Y DICHO SISTEMA DISTRIBUCION ES OPERABLE A PARTIR DE LA FECHA EN LA CUAL LA SUBDIVISION SEA REGISTRADO EN EL CONDADO DE HIDALGO.

CERTIFICACION:  
 CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DRENAJE SANITARIO DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON (LAS REGLAS GOVERNANDO A LAS SUBDIVISIONES), ADOPTADAS BAJO LA SECCION 16.343, DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS), CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DRENAJE SANITARIO, SON LOS SIGUIENTES:

INSTALACIONES DE AGUA – EL SISTEMA/SERVICIO DE AGUA SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECANICO DE AGUA QUE COSTARA UN TOTAL DE U.S.\$ 320,905.00 O U.S.\$ 3,177.28 POR LOTE.

INSTALACIONES DE DRENAJE SANITARIO – EL SISTEMA DE DRENAJE SANITARIO SE ESTIMA UN COSTO TOTAL DE U.S.\$344,970.00 O U.S.\$3,415.54 POR LOTE.

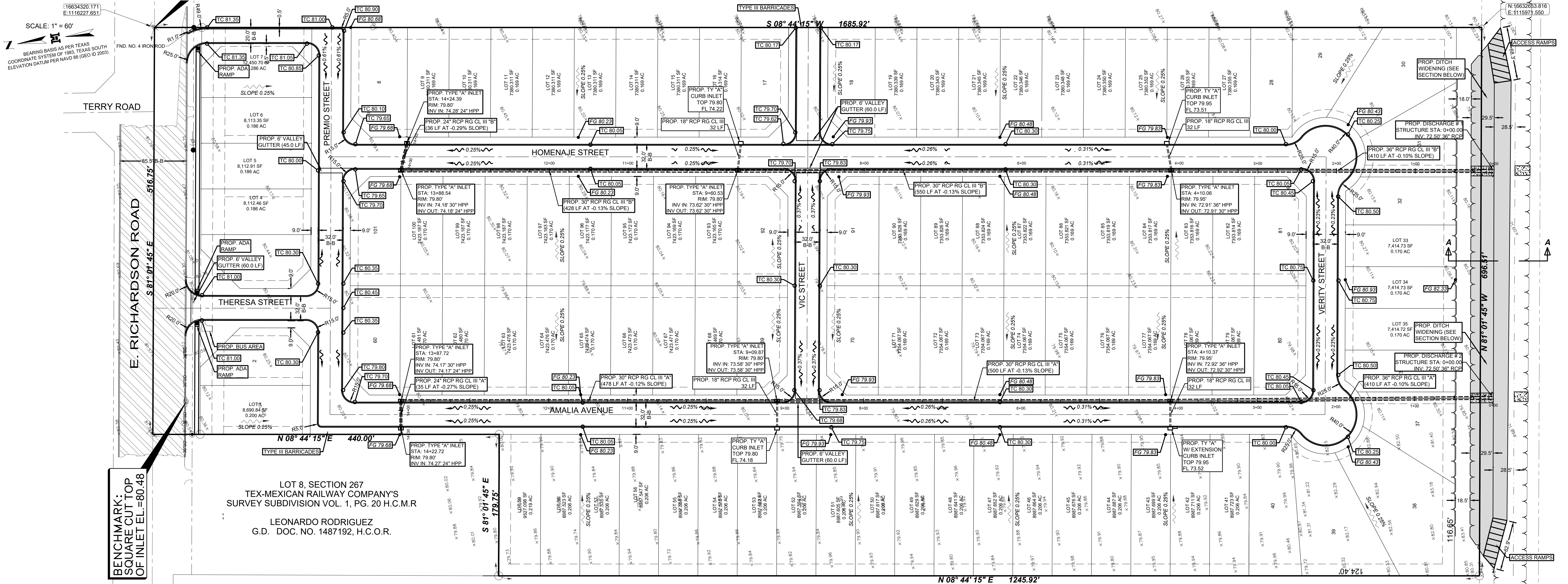
ENGINEER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: EM DATE 01-28-2020  
 SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
 FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_

**M MLDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541  
 PH. (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

Y:\Land Development\Residential\Edinburg\19167 - Hacienda Victoria Estates (Richardson Rd) Cayetano De\Autocad files\19167.00-6.dwg, 4/16/2021 2:03:52 PM, DWG to PDF.pc



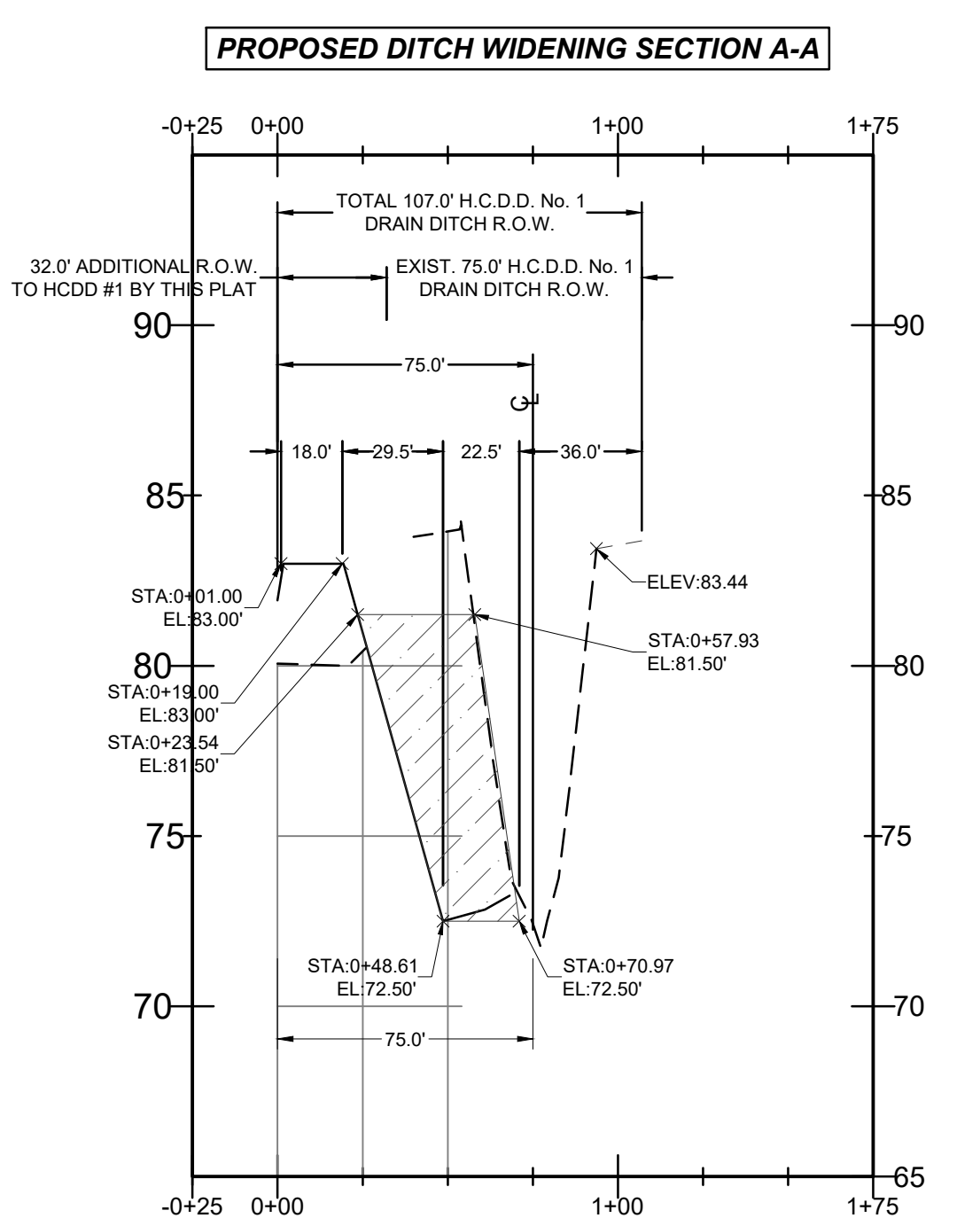
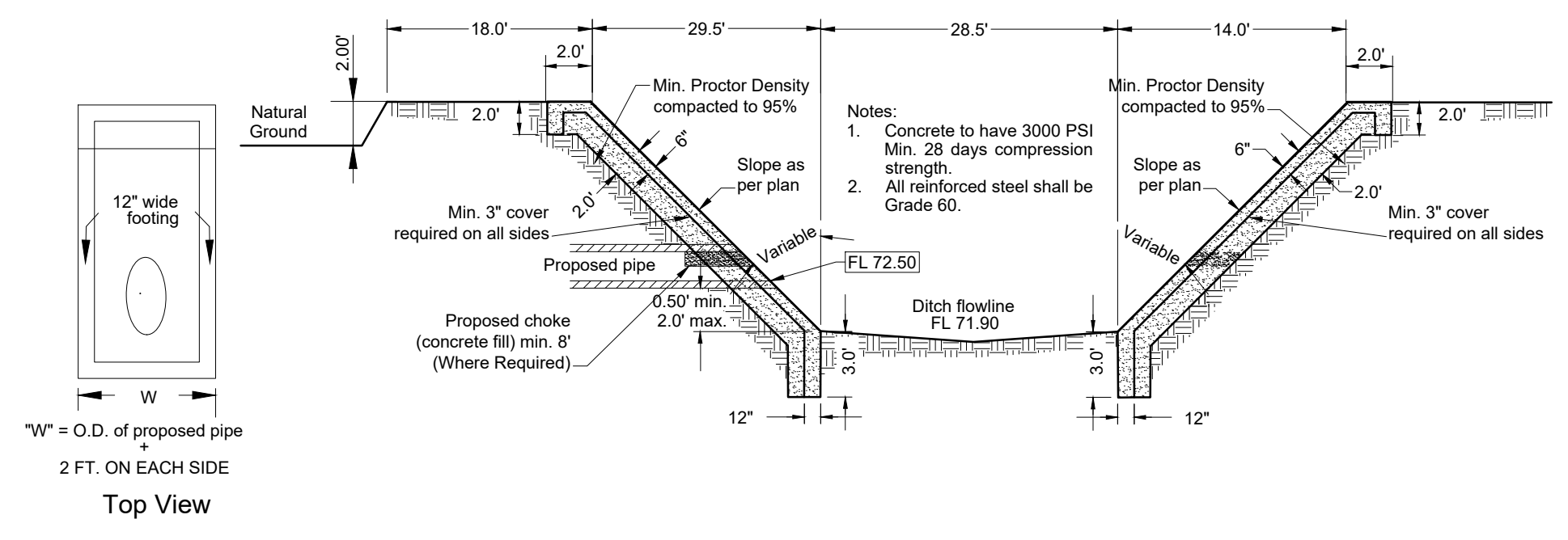
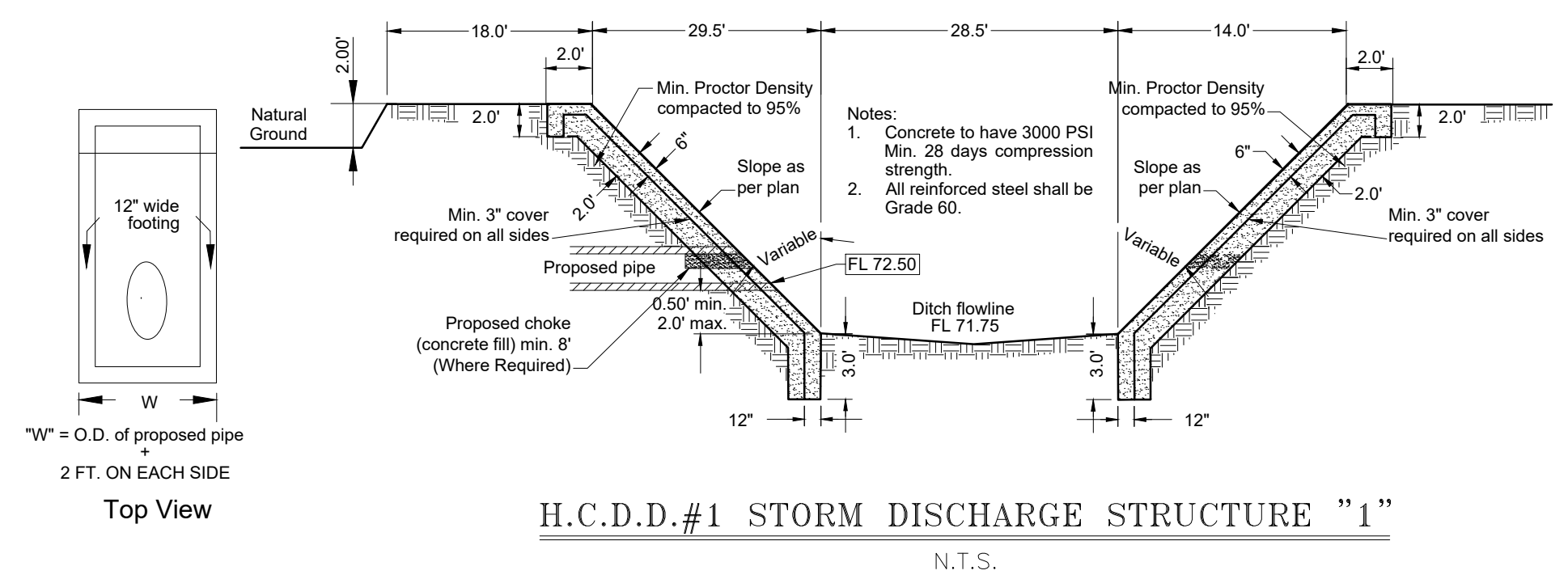
LOT 8, SECTION 267  
 TEX-MEXICAN RAILWAY COMPANY'S  
 SURVEY SUBDIVISION VOL. 1, PG. 20 H.C.M.R.  
 LEONARDO RODRIGUEZ  
 G.D. DOC. NO. 1487192, H.C.O.R.

MAP OF TOPOGRAPHY AND DRAINAGE:  
 MAPA DE TOPOGRAFIA Y DESAGUE:  
 SUBDIVISION MAP OF  
**HACIENDA VICTORIA ESTATES**  
 SUBDIVISION  
 BEING 25,224 ACRES  
 OUT OF LOT 8, SECTION 267,  
 TEXAS-MEXICAN RAILWAY  
 COMPANY'S SURVEY SUBDIVISION  
 HIDALGO COUNTY, TEXAS

- LEGEND**
- FOUND NO. 4 REBAR
  - FOUND PIPE
  - ⊕ SET SQUARE CUT
  - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
  - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - N.E. COR. - NORTHEAST CORNER
  - G.D. - GIFT DEED
  - G.W.D. - GIFT WARRANTY DEED
  - L.W.A.T. - LAST WILL AND TESTAMENT
  - S.W.D.W.V.L. - SPECIAL WARRANTY DEED WITH VENDORS LIEN

DRAWN BY: EM DATE 01-28-2020  
 SURVEYED, CHECKED DATE  
 FINAL CHECK DATE

**M MELDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS  
 115 W. McINTYRE - EDINBURG, TX 78841  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com



**DRAINAGE STATEMENT**  
 HACIENDA VICTORIA ESTATES SUBDIVISION

HACIENDA VICTORIA ESTATES SUBDIVISION IS A 25,224 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 8, SECTION 267, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 20, HIDALGO COUNTY MAP RECORDS, WHICH SAID 25,224-ACRE TRACT CONSISTS OF: 19,008 ACRES CONVEYED TO DORIS M. SIEGRIST BY VIRTUE OF A LAST WILL AND TESTAMENT RECORDED IN VOLUME 2770, PAGE 970, HIDALGO COUNTY OFFICIAL RECORDS, AND 0.992 OF ONE ACRE CONVEYED TO BARBARA L. SIEGRIST BY VIRTUE OF A GIFT WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1469480, HIDALGO COUNTY OFFICIAL RECORDS. THE PROPERTY IS LOCATED ALONG THE SOUTH SIDE OF RICHARDSON STREET AND APPROXIMATELY 2,265 FEET EAST OF ALAMO ROAD. THE PROPERTY IS A 83 LOT DEVELOPMENT. THE PROPERTY IS CURRENTLY OPEN AND IS LOCATED IN ZONE "X" (SHADED) IN FEMA'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480334 0325 D, MAP REVISED JUNE 6, 2000, REVISED TO REFLECT LOMR: MAY 17, 2001. ZONE "X" (SHADED) IS DEFINED AS: AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

THE SOILS ARE (28) HIDALGO FINE SANDY LOAM WHICH IS IN HYDROLOGIC GROUP "B" RESPECTIVELY. SOIL GROUP "B" IS MODERATELY PERVIOUS WITH A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM "SOIL SURVEY OF HIDALGO COUNTY, TEXAS").

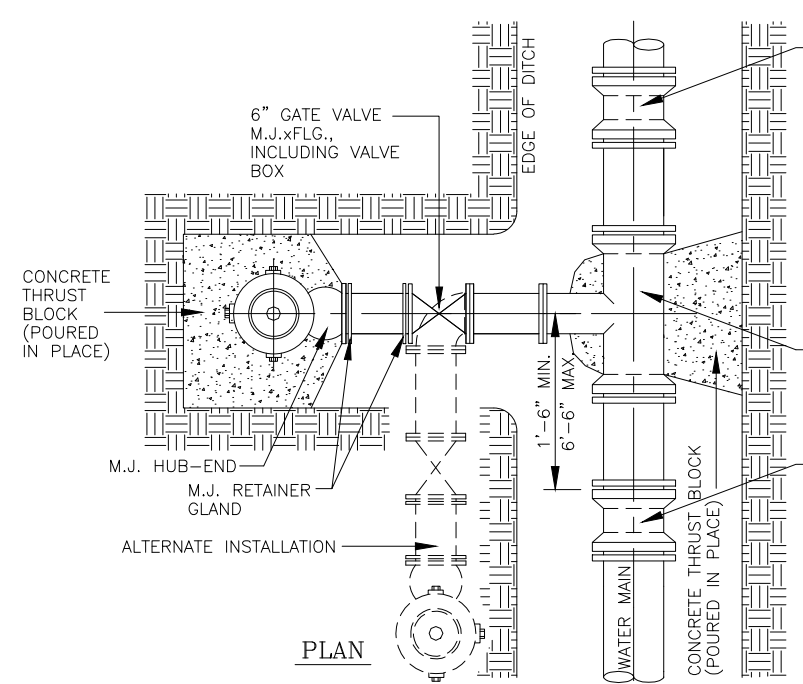
EXISTING RUNOFF IS BY SURFACE FLOW IN A NORTHERLY DIRECTION AND HAS A RUNOFF OF 7.22 C.F.S. DURING THE 10-YEAR STORM FREQUENCY AS PER THE ATTACHED CALCULATIONS. THE PROPOSED DEVELOPMENT WILL INCREASE RUNOFF BY 34.86 C.F.S. TO A TOTAL OF 42.08 C.F.S.

THE PROPOSED DRAINAGE FOR HACIENDA VICTORIA ESTATES SUBDIVISION SHALL CONSIST OF SURFACE RUNOFF FROM THE LOTS INTO THE PROPOSED STREETS, INTO PROPOSED TYPE "A" INLETS, WHICH WILL DRAIN INTO THE "Y" DRAIN WHICH FLOWS EAST, ULTIMATELY DRAINING INTO THE "SOUTH MAIN DRAIN I". THE PROPOSED DRAINAGE SYSTEM SHALL BE COMPOSED OF 10-TYPE "A" INLET ALONG THE PROPOSED STREET WITH 18", 24", 30" DRAINAGE PIPE.

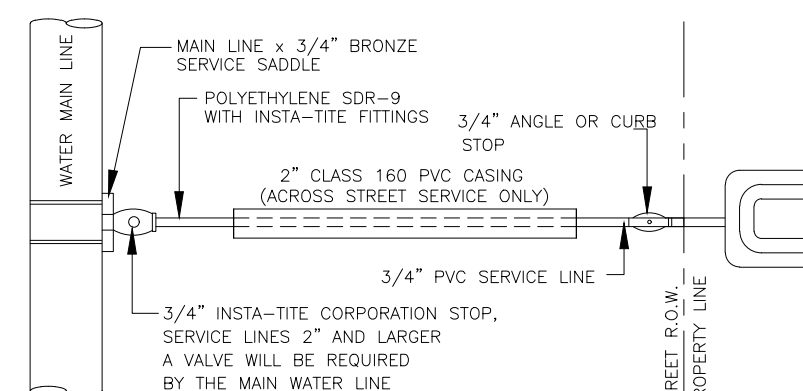
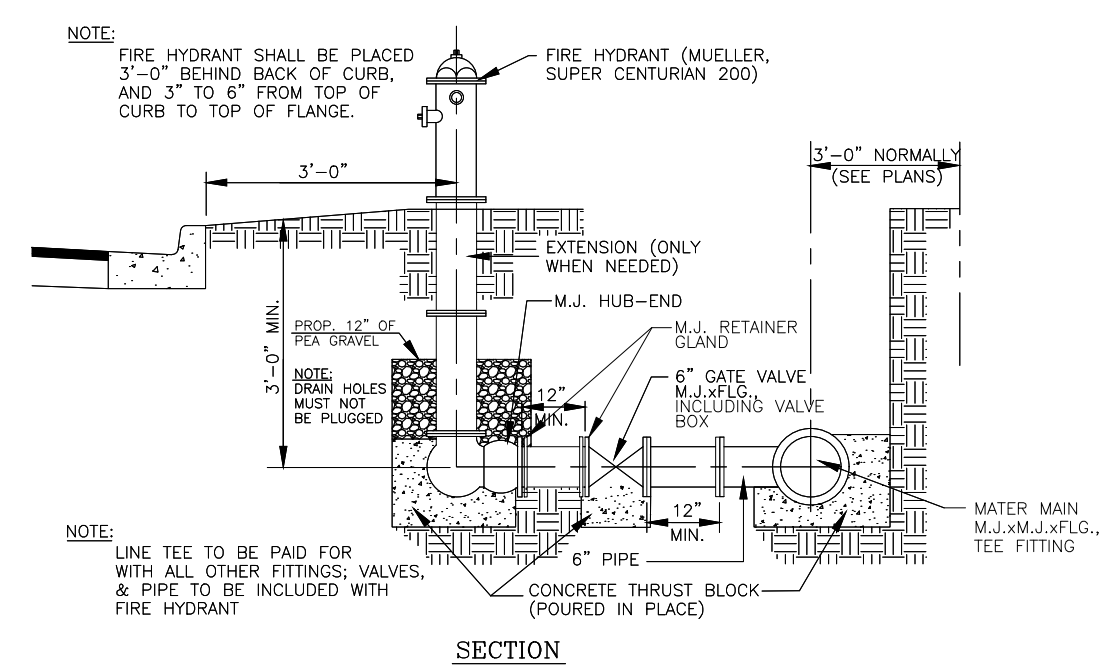
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE POLICY, THE PEAK RATE OF RUNOFF FROM THIS SUBDIVISION WILL NOT BE INCREASED DURING THE 50-YEAR RAINFALL EVENT DUE TO THE IMPROVEMENTS IN THIS SUBDIVISION. THEREFORE, AS PER ATTACHED CALCULATIONS, 137,855 CUBIC FEET OF DETENTION WILL BE PROVIDED WITHIN THE WIDENING OF THE "Y" DRAIN.

CERTIFICATION:  
 BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100 YEAR FLOODPLAIN AS DESCRIBED IN COMMUNITY PANEL NO. 480334 0425 B, MAP REVISED NOVEMBER 16, 1982 IS CONTAINED WITHIN THE DITCH WIDENING TO THE NORTH OF THIS SUBDIVISION.

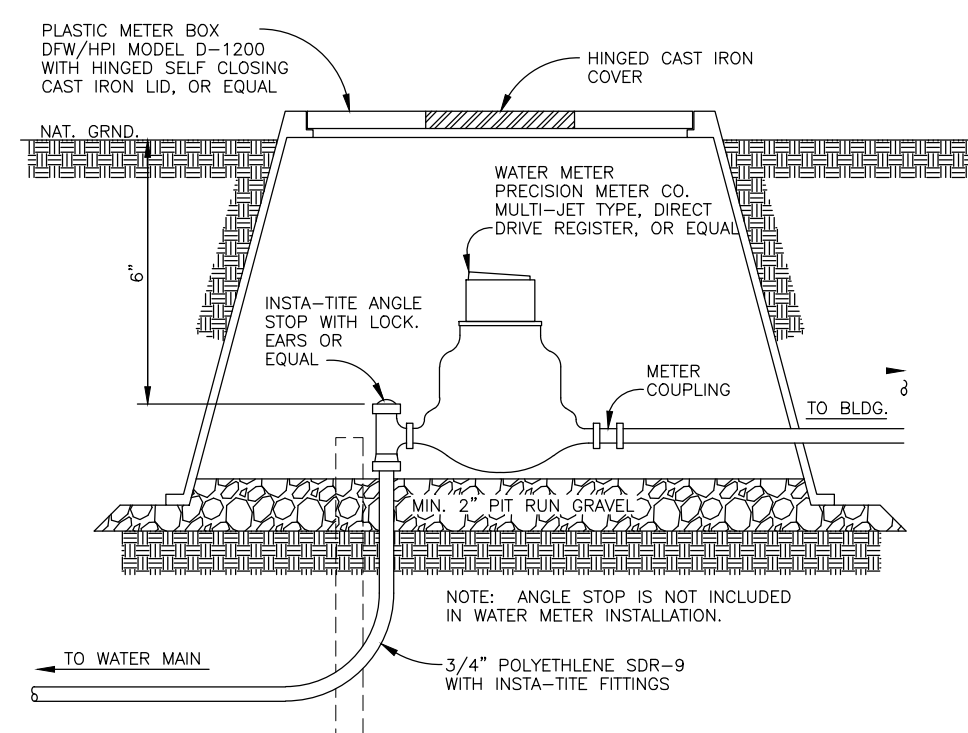
MARIO A. REYNA PE # 117368 DATE: \_\_\_\_\_  
 MELDEN & HUNT, INC.  
 TEXAS REGISTRATION NO. 1435  
 MARIO A. REYNA  
 117368  
 LICENSED PROFESSIONAL ENGINEER



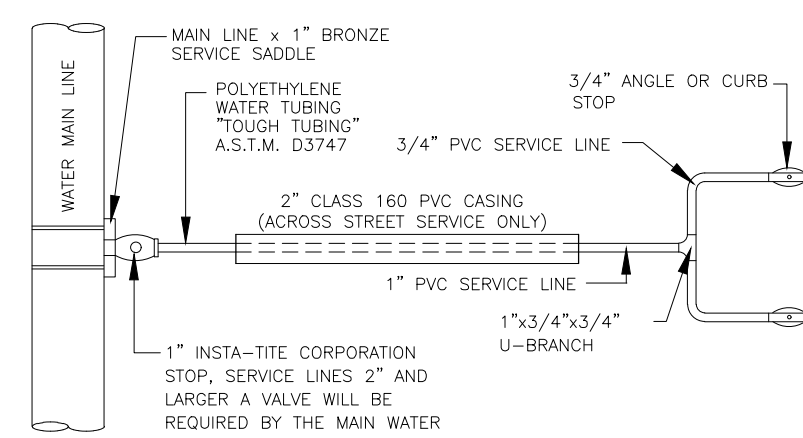
**TYPICAL FIRE HYDRANT INSTALLATION**  
N.T.S.



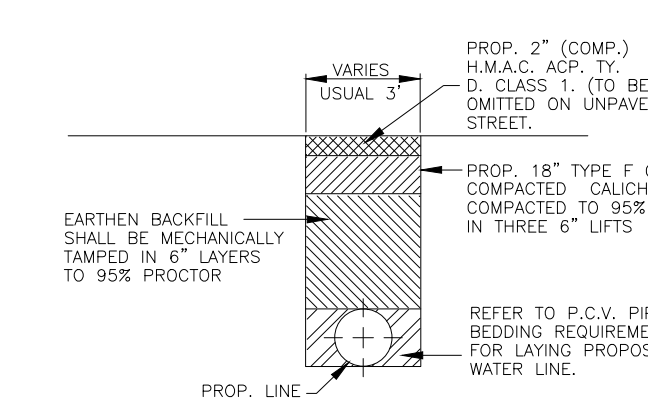
**SINGLE WATER SERVICE CONNECTION**  
N.T.S.



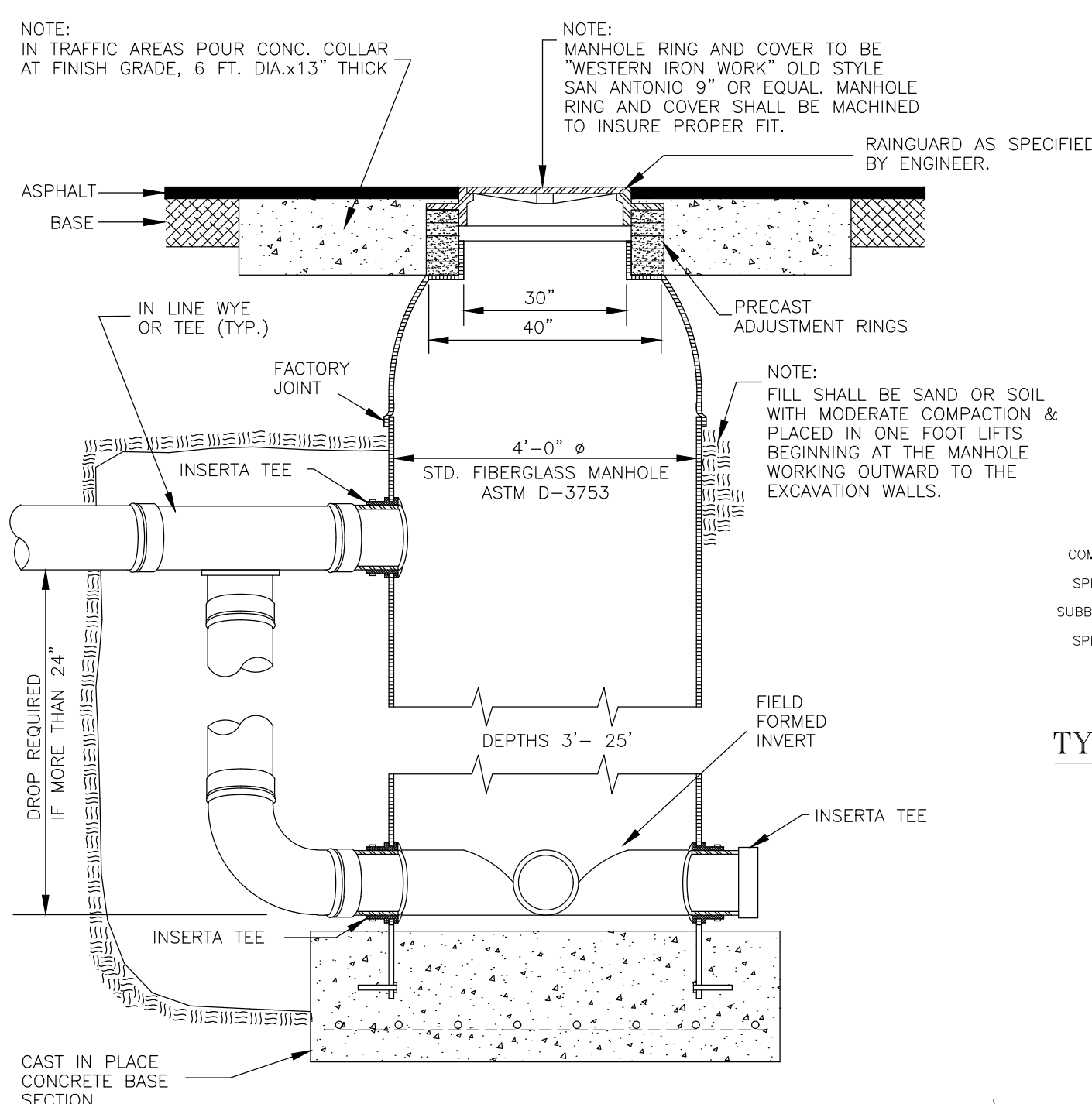
**TYPICAL WATER METER INSTALLATION**  
N.T.S.



**DUAL WATER SERVICE CONNECTION**  
N.T.S.



**PAVED and UNPAVED STREET BACKFILL DETAIL**  
N.T.S.



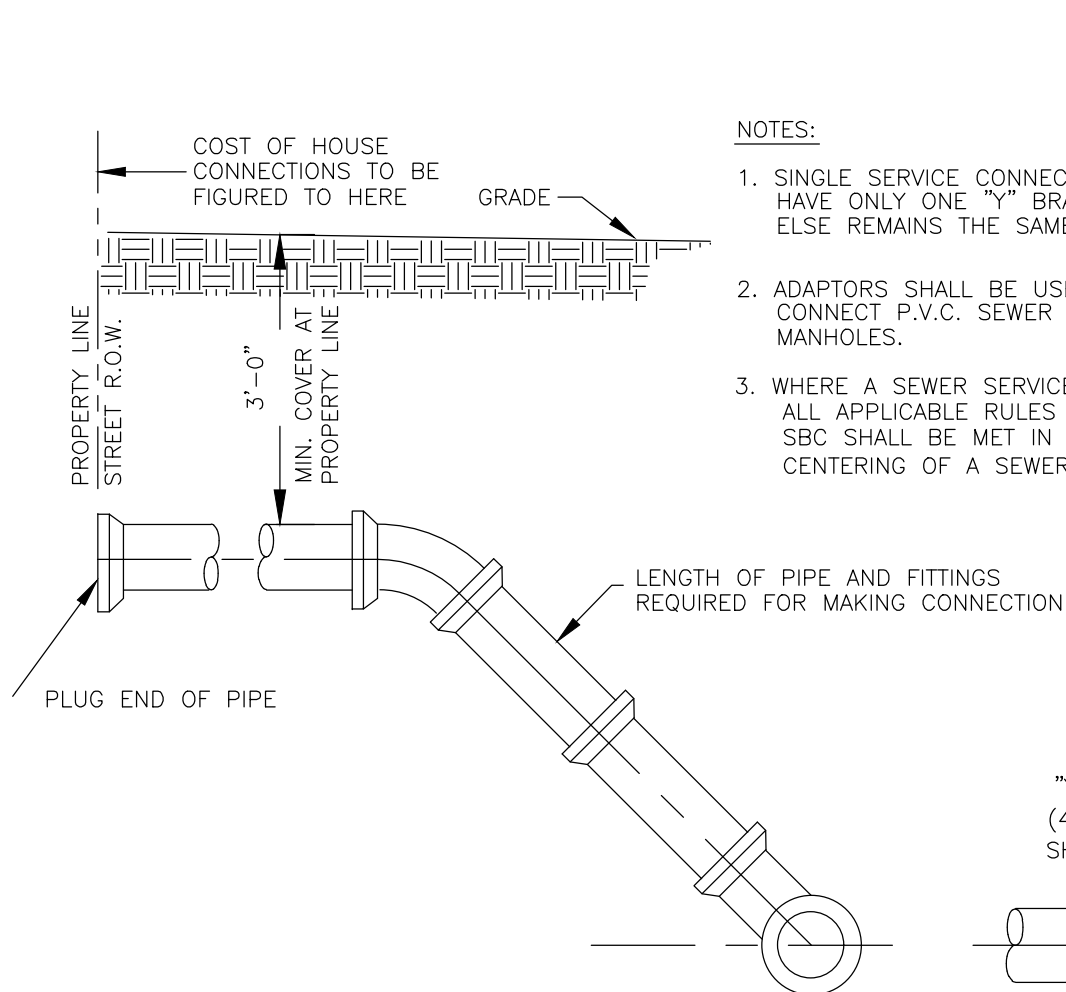
**TYPICAL LOW PROFILE CURB & GUTTER SECTION**  
N.T.S.

1. ALL HONEYCOMBING SHALL BE GROUTED TO PROVIDE A UNIFORM SURFACE.
2. WHEN HONEYCOMBING IS EXCESSIVE AS DETERMINED BY THE COUNTY OF HIDALGO DESIGNATED REPRESENTATIVE, CURB AND GUTTER SHALL BE PLACED.
3. BACKFILL BEHIND CURBS SHALL BE ACCOMPLISHED WITHIN 24 HOURS AFTER BACK FORM IS REMOVED OR 48 HOURS AFTER SLIP FORMING.
4. CURB AND GUTTER CONCRETE SHALL BE CLASS "A" (3000 PSI).
5. REINFORCING STEEL AS SHOWN.
6. MAX. LENGTH OF CURB AND GUTTER SECTION IS 80' BETWEEN 3/4" EXPANSION JOINT.

**TYPICAL FIBERGLASS MANHOLE**  
N.T.S.

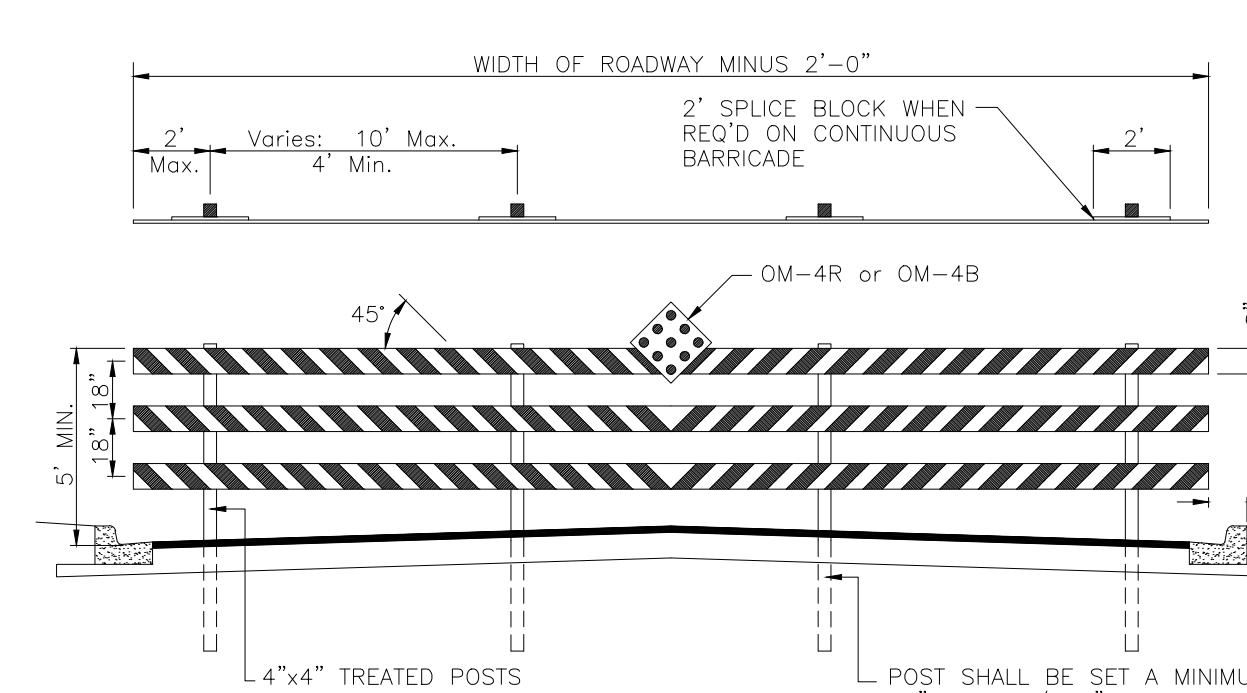
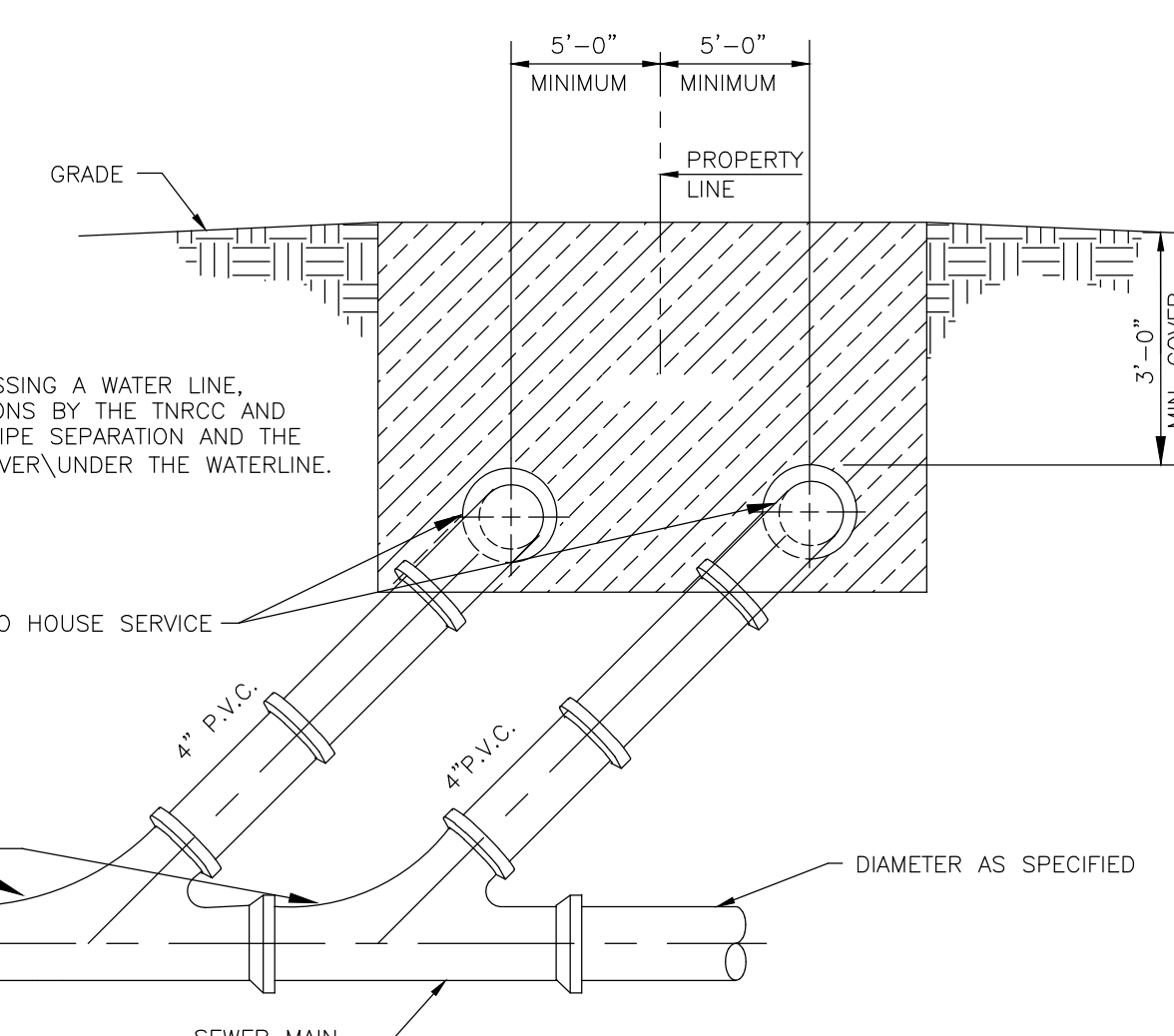
DRAWN BY: EM DATE 01-28-2020  
SURVEYED, CHECKED DATE  
FINAL CHECK DATE

**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE - EDINBURG, TX 78841  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com



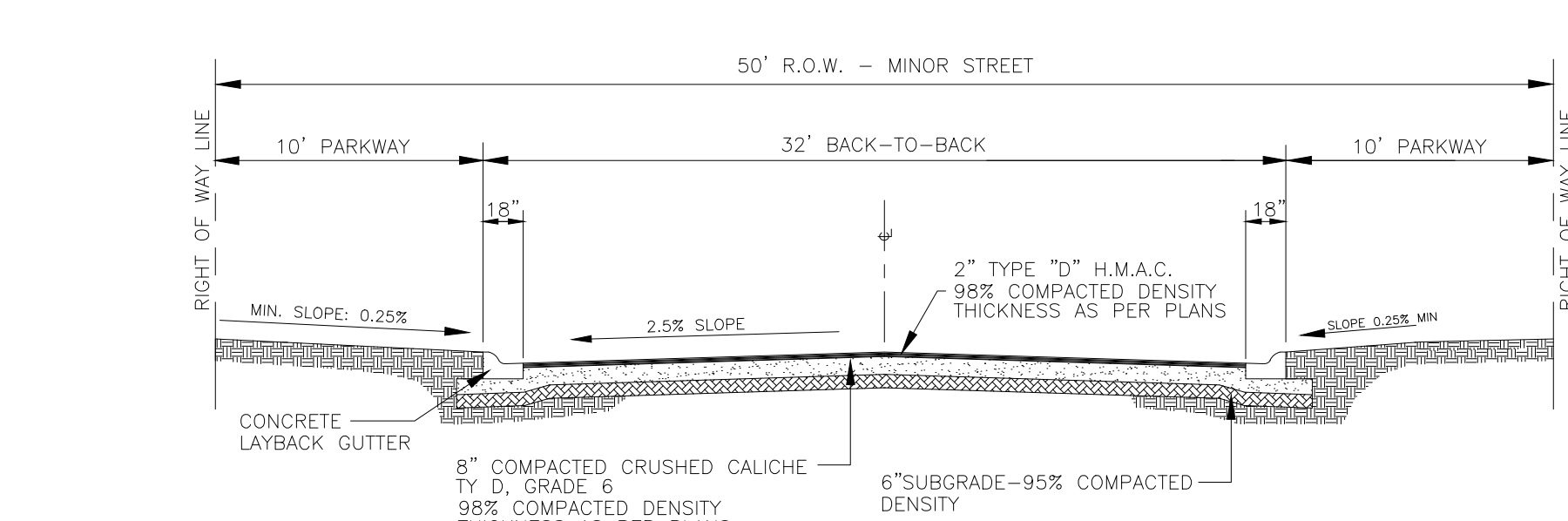
**SEWER SERVICE CONNECTION**  
N.T.S.

- NOTES:
1. SINGLE SERVICE CONNECTIONS WILL HAVE ONLY ONE "Y" BRANCH, ALL ELSE REMAINS THE SAME.
  2. ADAPTORS SHALL BE USED TO CONNECT P.V.C. SEWER LINES TO MANHOLES.
  3. WHERE A SEWER SERVICE LINE IS CROSSING A WATER LINE, ALL APPLICABLE RULES AND REGULATIONS BY THE TNRCO AND SBC SHALL BE MET IN REGARDS TO PIPE SEPARATION AND THE CENTERING OF A SEWER PIPE JOINT OVER/UNDER THE WATERLINE.

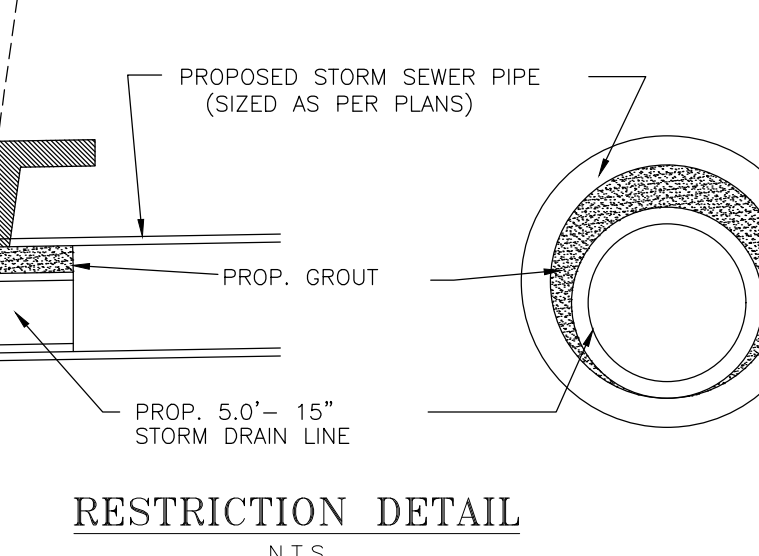
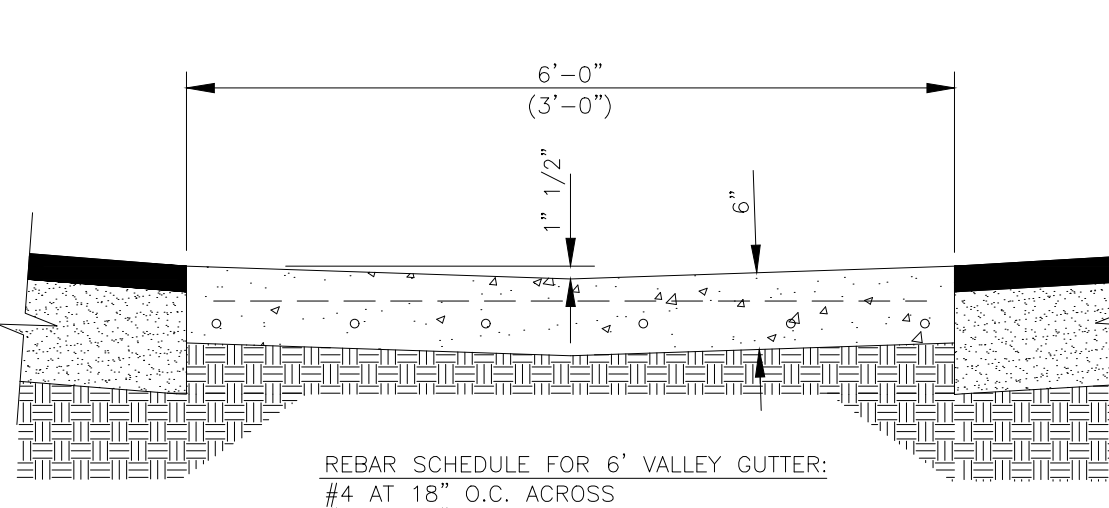


**TYPE III DEAD-END STREET BARRICADE**  
N.T.S.

- GENERAL NOTES:
1. WIDTH OF RAIL SHALL BE A MINIMUM OF 8", 2" NOMINAL SMOOTH LUMBER.
  2. RAILS SHALL BE FASTENED TO EACH POST WITH 1/4" STEEL BOLTS WITH WASHER ON EACH SIDE. BOLT THREADS SHALL BE FEENED.
  3. THE RAILS SHALL RECEIVE TWO COATS OF WHITE OIL BASE OUTDOOR PAINT, THEN SHALL HAVE 6" WIDE REFLECTORIZED RED STRIPES OF TAPE PLACED ON 45° SLOPES, DOWN AND TOWARDS THE CENTER OF THE BARRICADE.
  4. BARRICADES MAY BE CONSTRUCTED IN SECTIONS OR MAY BE CONTINUOUS ACROSS ROADWAY WIDTH. SPLICES ON CONTINUOUS RAIL BARRICADES SHALL BE AT POSTS AND SHALL HAVE A 2" SPLICE BLOCK ON BACK SIDE OF THE SAME MATERIAL AS RAIL.
  5. 18" DIAMOND REFLECTORIZED RED PANEL OR 18" DIAMOND RED OR BLACK PANEL WITH 9-3" DIA. RED REFLECTORS SYMMETRICALLY PLACED AT CENTER OR CENTER POST.



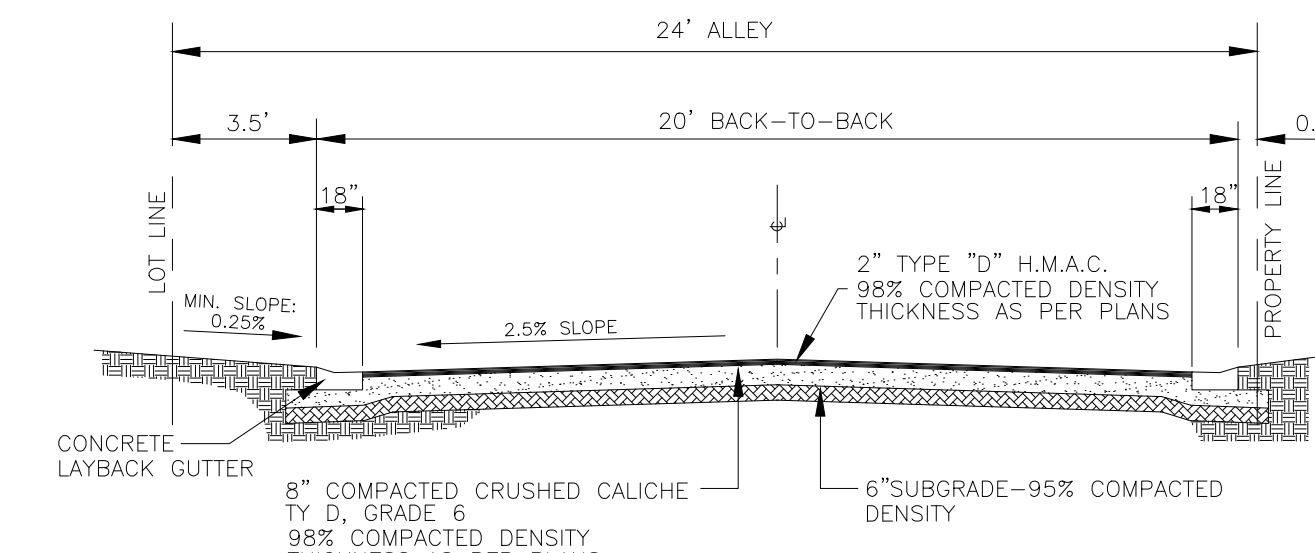
**TYPICAL STREET CROSS SECTION**  
N.T.S.



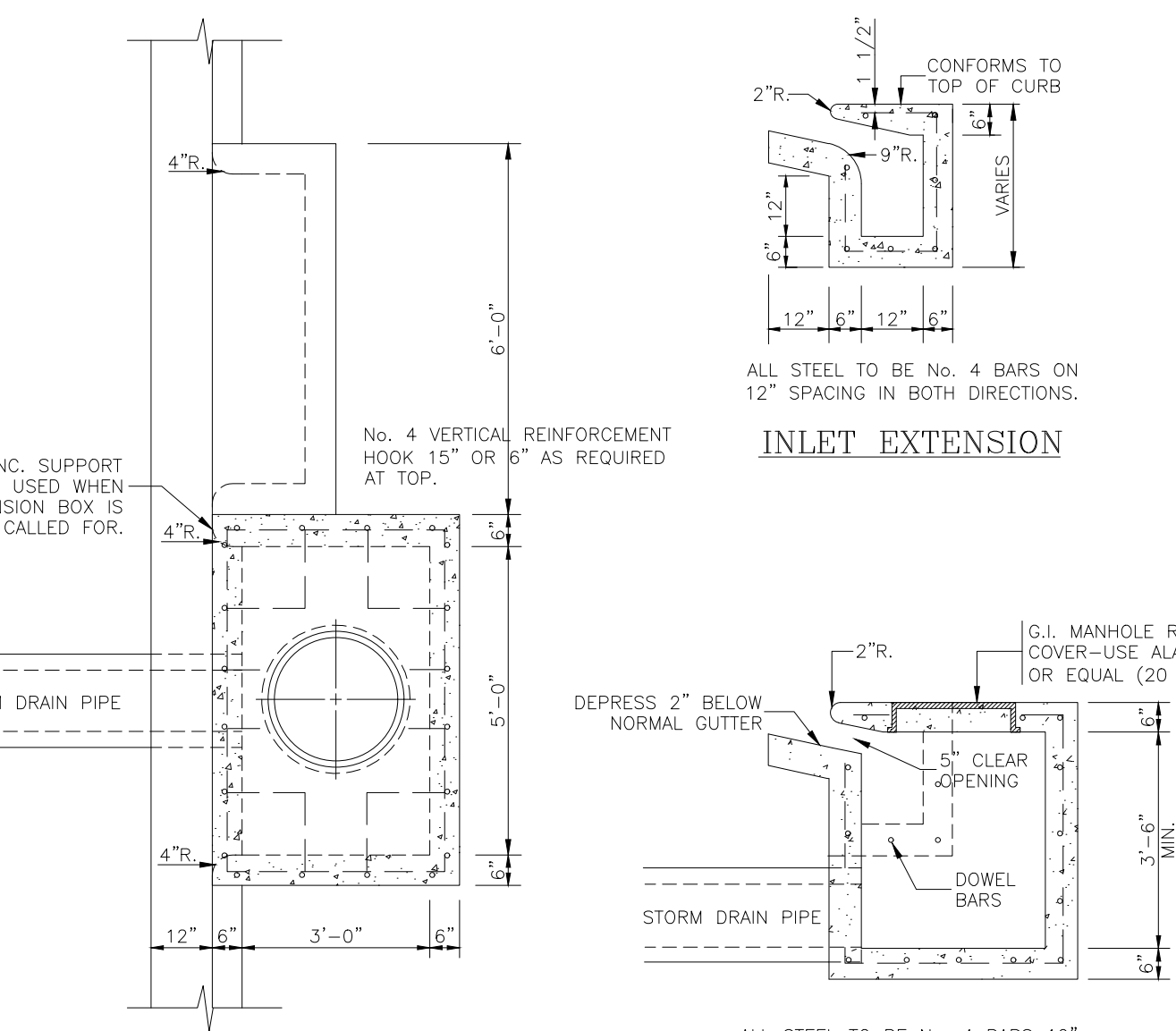
**RESTRICTION DETAIL**  
N.T.S.

- GENERAL NOTES:
1. ALL CONCRETE WORK SHALL BE TREATED WITH MEMBRANE CURING COMPOUND TYPE 2 WHITE PIGMENTED IN ACCORDANCE W/ THD 1972 SPECIFICATIONS ITEM 531, CONSIDERED INCIDENTAL TO CONCRETE WORK.
  - 1/2" EXPANSION JOINTS REQUIRED AT 70' c.c. AND AT THE BEGINNING AND END OF ALL RADII. CONTRACTION JOINTS SHALL NOT EXCEED 10' c.c.

**SECTION "CC" - CONCRETE VALLEY GUTTER**  
N.T.S.



**TYPICAL ALLEY CROSS SECTION**  
N.T.S.



**TYPE "A" INLET**  
N.T.S.

- A. BEDDING FOR RCP CLASS III HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SAND AND/OR GRAVEL MIX BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW OF PIPE (MIN. COMPACTED THICKNESS - 6") - PIT RUN GRAVEL 1" MIX SIZE.
- B. HAUNCH FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS I OR CLASS II (ASTM D2231) BACKFILL MATERIAL COMPACTED TO 92% S.P.D. 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C. TRENCH WIDTH - SHALL BE BELL O.D. X 1.5 + 12". MINIMUM TRENCH WIDTH SHALL EQUAL STRUCTURE WIDTH + 4FT. THROUGHOUT THE HEIGHT OF THE STRUCTURE.
- D-1 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON CITY STREET, PARKING AREAS, DRIVEWAYS, COUNTY ROADS & UNPAVED AREAS - SHALL BE SOIL TYPE A1, A2, A3 WITH A MAXIMUM P1 OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D. 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-2 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON STATE MAINTAINED ROADWAY - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D2231 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-3 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON COUNTY MAINTAINED ROADWAY - SHALL BE CLASS I OR CLASS II WITH A MAXIMUM P1 OF 19 (ASTM D2231) BACKFILL MATERIAL COMPACTED TO 92% S.P.D. 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-4 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE UNDER UNPAVED AREAS, DRIVEWAYS AND COUNTY ROADS - SHALL BE SOIL TYPE A1, A2, A3 WITH A MAXIMUM P1 OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D. 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-5 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON CITY STREETS, PARKING AREAS, DRIVEWAYS AND COUNTY ROADS - SHALL BE SOIL TYPE A1, A2, A3 WITH A MAXIMUM P1 OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D. 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-6 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON STATE MAINTAINED ROADWAY - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D2231 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-7 FINAL BACKFILL FOR STRUCTURES (INLETS, MANHOLES, ETC.) - STRUCTURES UNDER THE ROADWAY AND UP TO 5 FT BEYOND THE EDGE OF PAVEMENT/BACK OF CURB SHALL HAVE CLASS I OR CLASS II (ASTM D2231 OR SOIL TYPE A1, A2, OR A3 (AASHTO M145) WITH A MAXIMUM P1 OF 19 BACKFILL MATERIAL STRUCTURES BEYOND 5 FT FROM THE E.O.P.B.C. SHALL HAVE CLASS II (ASTM D2231) BACKFILL MATERIAL. FOUNDATION PREPARATION (W/POINETS, MINIMUM 4" GRAVEL OR CEMENTS STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT AND COMPACTED TO 92% S.P.D. USE RELATIVE DENSITY TEST PER ASTM D4253 & ASTM D698. THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 8".

**STORM TRENCH BEDDING AND BACKFILL DETAILS**  
N.T.S.