



HIDALGO COUNTY PLANNING DEPARTMENT

T.J. Arredondo, CFM
Director of Planning

1304 SOUTH 25TH STREET
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 4-27-2021

PROPOSED PLEASANT VIEW ESTATES SUBDIVISION PRECINCT No. 1.

ENGINEER: HLG PLAN REVIEW SERVICES DEVELOPER: ASE REAL ESTATE, LLC., SERIES H

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 49 *SINGLE FAMILY *MULTI-FAMILY 2 COMMERCIAL INDUSTRIAL

ESTIMATED NUMBER OF STREETLIGHTS: 5

FILLING STATIONS: 5

LOCATION DESCRIPTION: WEST OF PLEASANT VIEW DRIVE APPROXIMATELY ¼ MILE SOUTH OF MILE 5 ½ NORTH ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF WESLACO AND WAS APPROVED BY THE P&Z AND CITY COMMISSION OF SAID CITY

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 12-28-2020 PROPERTY LIES WITHIN FLOOD ZONE: "B" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 9.57 FEET ONTO ERASMO DRIVE AND 10.00 FEET ONTO PLEASANT VIEW DRIVE.

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 01-05-2021 BY, DANNY GUZMAN, PCT. 1 R.O.W. AGENT

H.C.H.D. PRELIMINARY APPROVAL DATE: N/A BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM: SANITARY SEWER BY: CITY OF WESLACO LINE SIZE: 8" LOCATION: PLEASANT VIEW DRIVE.

WATER SERVICE PROVIDER: CITY OF WESLACO EXISTING LINE SIZE: 6" LOCATION: ERASMO STREET.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 02-16-2021 BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed project.

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: _____

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, other departments and the approval of the City of WESLACO

Final Approval subject to recommendations other departments

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

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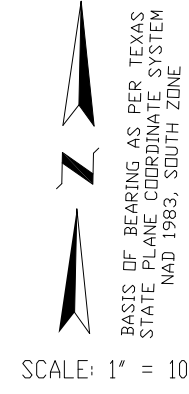
PLEASANT VIEW ESTATES SUBDIVISION

HIDALGO COUNTY, TEXAS

BEING A 10.984 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF FARM TRACT 772, BLOCK 137, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 02, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

LEGEND

- FOUND No.4 REBAR
- F1 FOUND No.4 REBAR WITH PLASTIC CAP STAMPED "MOORE 6370"
- FOUND CONCRETE MONUMENT
- SET No.4 REBAR WITH PLASTIC CAP STAMPED "2791"
- SET NAIL
- ⊗ IRRIGATION STAND PIPE
- RIGHT OF WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- H.C.D.D. No.1 HIDALGO COUNTY DRAINAGE DISTRICT No.1
- H.C.C.I.D. No.9 HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9
- N.W.C. NORTHWEST CORNER
- N.E.C. NORTHEAST CORNER
- S.W.C. SOUTHWEST CORNER
- S.E.C. SOUTHEAST CORNER



SCALE: 1" = 100'

Line #	Length	Direction
L1	35.36	N43° 47' 15.00"E
L2	35.36	S46° 12' 45.00"W
L3	14.14	N46° 12' 45.00"W
L4	14.14	N43° 47' 15.00"E
L5	14.59	S44° 21' 34.36"E
L6	13.54	N46° 10' 09.40"E
L7	10.08	N45° 34' 56.93"W
L8	10.08	N43° 09' 26.93"E
L9	38.19	N82° 10' 27.71"W

Curve #	Length	Radius	Chord Direction	Chord Length
C1	63.56'	200.31'	N82° 07' 20"W	63.29'
C2	63.56'	200.31'	S82° 07' 20"E	63.29'
C3	51.92'	225.31'	N79° 38' 01"W	51.81'
C4	55.63'	175.31'	N82° 07' 20"W	55.40'
C5	36.05'	175.31'	N78° 55' 24"W	35.99'
C6	15.49'	225.31'	N75° 00' 05"W	15.49'
C7	50.57'	225.31'	N83° 24' 04"W	50.47'
C8	5.43'	225.31'	S89° 28' 41"W	5.43'
C9	38.83'	55.00'	S43° 57' 06"E	38.03'
C10	58.01'	55.00'	S6° 29' 13"W	55.35'
C11	50.00'	55.00'	S62° 44' 38"W	48.30'
C12	50.00'	55.00'	N65° 10' 08"W	48.30'
C13	58.01'	55.00'	N8° 54' 43"W	55.35'
C14	38.83'	55.00'	N41° 31' 36"E	38.03'

LOT	SQ. FT.
1	18,720.00
2	23,920.00
3	14,560.00
4	17,804.80
5	14,446.84
6	7,097.50
7-8	6,000.96
9	6,008.04
10	6,000.00
11	71,500.00
12-16	6,164.50
17	6,030.72
18	6,001.48
19	8,593.64

LOT	SQ. FT.
20	8,593.64
21	6,000.86
22	6,030.20
23-27	6,164.00
28	9,350.00
29	6,393.60
30	7,700.88
31-39	6,000.05
40	8,028.92
41	6,127.03
42	6,000.12
43-50	6,000.00
51	6,887.50

- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS. B.M. No.1-ELEVATION 71.36 TOP OF CONCRETE MONUMENT LOCATED ON THE INTERSECTION OF THE NORTH PROPERTY LINE WITH THE EXISTING WEST RIGHT OF WAY LINE OF PLEASANT VIEW DRIVE, N.A.V.D. 88. B.M. No.2-ELEVATION 72.23 TOP OF No.4 REBAR LOCATED ON THE INTERSECTION OF THE SOUTH PROPERTY LINE WITH THE EXISTING WEST RIGHT OF WAY LINE OF PLEASANT VIEW DRIVE, N.A.V.D. 88.
- STREET LIGHT MUST BE LOCATED EVERY 300 FEET AS REQUIRED BY THE CITY OF WESLACO.
- A 4.0 FEET SIDEWALK IS REQUIRED BY THE CITY OF WESLACO ALONG ALL INTERIORS STREETS UPON THE ISSUANCE OF A BUILDING PERMIT, ON CORNER LOTS, THE OWNER SHALL BE RESPONSIBLE FOR THE SIDEWALK ALONG ALL STREETS ADJOINING THE LOT. A 5 FEET SIDEWALK IS REQUIRED ALONG EXTERIOR PERIMETER UPON THE ISSUANCE OF A NOTICE TO PROCEED.
- ALL PUBLIC UTILITY EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.0 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES OR LESS AS APPROVED BY THE COMPANIES THAT OCCUPY THE EASEMENT. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO AS RESIDENCE PRIOR TO RECEIVING A FINAL CLEARANCE, FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METERS(S).
- ALL CONSTRUCTION TO MEET CITY OF WESLACO AND HIDALGO COUNTY REQUIREMENTS AND STANDARDS.
- LOT 6 AND LOT 51 SHALL NOT HAVE ACCESS/DRIVEWAY ONTO PLEASANT VIEW DRIVE.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE, THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4.
- ANY ADDITION TO EXISTING RESIDENCE MUST COMPLY WITH ALL SETBACKS RESTRICTIONS RECORDED ON THIS PLAT.
- ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE OBTAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVAL BY THE HIDALGO COUNTY PLANNING DEPARTMENT SHALL BE REQUIRED FOR COMMERCIAL USE AT THE TIME OF APPLICATION FOR CONSTRUCTION, PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT, NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH THE COUNTY AND STATE STANDARDS.
- ANY AND ALL REPAIRS WILL BE AT OWNERS EXPENSE FOR H.C.C.I.D. No.9 FACILITIES.

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9
THIS PLAT IS APPROVED BY HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9
DATED THIS _____ DAY OF _____ 2021.

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9 RIGHT-OF-WAYS AND/OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCCID #9.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- HCCID #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER SYSTEM TO ANY LOT WITHIN THIS SUBDIVISION, AS WELL, HCCID #9 WILL NOT BE RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITHIN THIS SUBDIVISION, IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- HCCID #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.

GENERAL MANAGER
HIDALGO & CAMERON COUNTIES IRRIGATION DISTRICT No.9

APPROVAL BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE PLAN FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THIS SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

BY: RAUL SESIN, P.E. DISTRICT MANAGER DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION:

I, EMMANUEL MIRELES, PRESIDENT OF ASE REAL ESTATE, LLC, SERIES H, AS OWNER (S) OF THE 10.984 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED PLEASANT VIEW ESTATES SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.
- SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;
- ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
- GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

OWNER: ASE REAL ESTATE, LLC, SERIES H DATE _____
EMMANUEL MIRELES, PRESIDENT
3624 MAINGATE DR.
WESLACO, TEXAS 78596

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED EMMANUEL MIRELES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY

OF _____, 2021.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS CITY OF WESLACO PLANNING & ZONING COMMISSION CERTIFICATION

I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WESLACO HEREBY CERTIFY THAT THIS SUBDIVISION KNOWN AS PLEASANT VIEW ESTATES SUBDIVISION, CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE _____ DAY OF _____, 2021

CHAIRPERSON,
PLANNING AND ZONING COMMISSION

STATE OF TEXAS CITY OF WESLACO MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF WESLACO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR-CITY OF WESLACO DATE _____

ATTEST: CITY SECRETARY DATE _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE 232.028 (A)

WE THE LOCAL SIGNED CERTIFY THAT THIS PLAT OF PLEASANT VIEW ESTATES SUBDIVISION, WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONER ON _____, 2021.

HIDALGO COUNTY JUDGE DATE _____

ATTEST: HIDALGO COUNTY CLERK DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

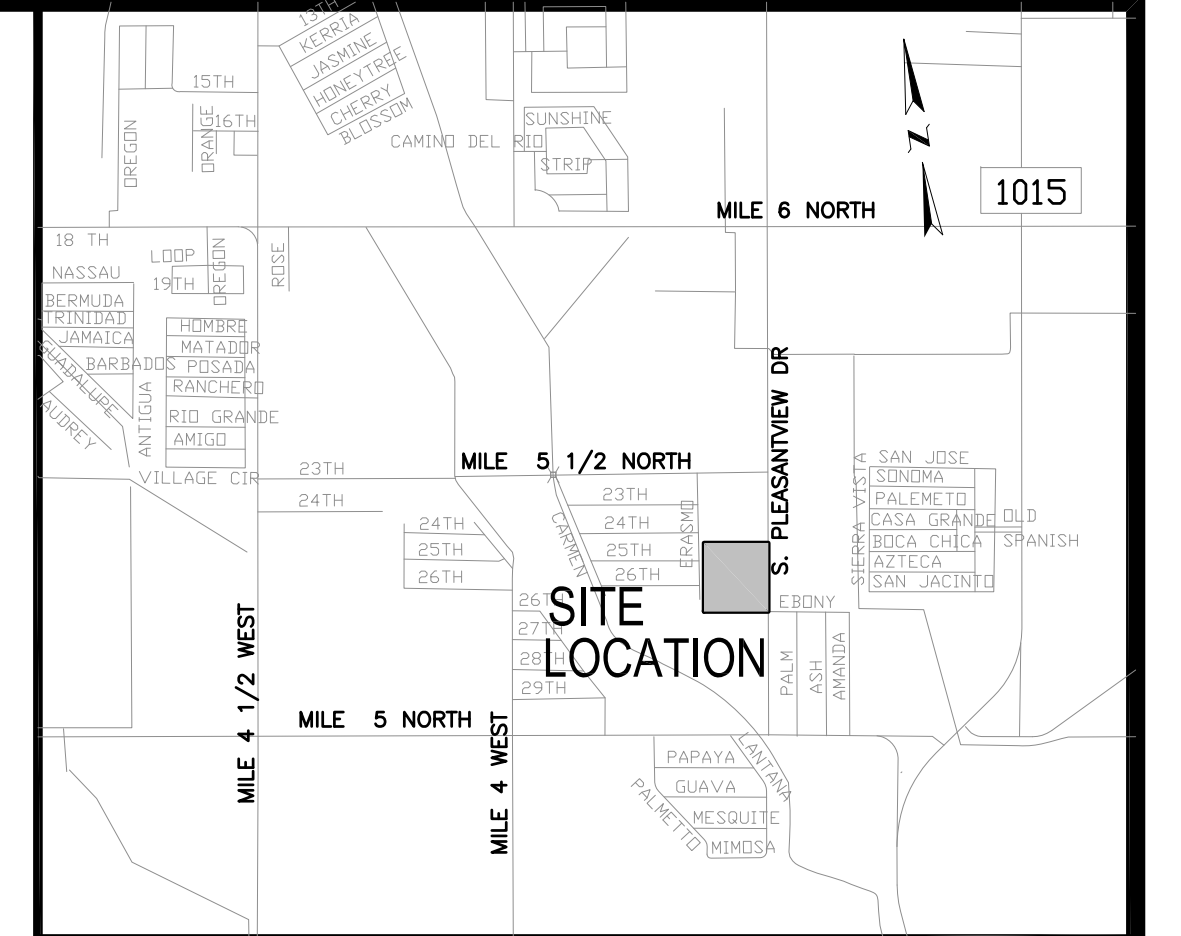
I, HOMERO LUIS GUTIERREZ, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 36639, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

HOMERO LUIS GUTIERREZ, P.E. DATE _____
REG. PROFESSIONAL ENGINEER #36639

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO LUIS GUTIERREZ, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE SEPTEMBER 29, 2020 UNDER MY SUPERVISION ON THE GROUND.

HOMERO LUIS GUTIERREZ, R.P.L.S. DATE _____
REG. PROFESSIONAL LAND SURVEYOR #2791



LOCATION MAP SCALE 1"=2000'

PREPARED BY:
HLG PLAN REVIEW SERVICES
HOMERO L. GUTIERREZ, P.E., OWNER
P.O. Box 548
McALLEN, TEXAS 78505
DATE PREPARED: FEBRUARY 10, 2021
DATE SURVEYED: SEPTEMBER 19, 2020
PLAT SHEET 1 OF 6

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

PLEASANT VIEW ESTATES SUBDIVISION, IS LOCATED WITHIN HIDALGO COUNTY PRECINCT NO.1 ON THE WEST SIDE OF PLEASANT VIEW DRIVE APPROXIMATELY 1,320 FEET NORTH FROM MILE 5 NORTH ROAD ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF WESLACO POPULATION AS PER 2019 CENSUS 41,629, PLEASANT VIEW ESTATES SUBDIVISION LIES APPROXIMATELY 605 FEET FROM THE CITY LIMITS AND IS WITHIN THE 3 MILE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF WESLACO UNDER LOCAL GOVERNMENT CODE 42.021.

METES AND BOUNDS DESCRIPTION

BEING A 10.984 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF FARM TRACT 772, BLOCK 137, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 02, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 10.984 OF AN ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A SET NAIL ON THE APPARENT SOUTHEAST CORNER OF SAID FARM TRACT 772, LOCATED ON THE APPARENT EXISTING CENTERLINE OF PLEASANT VIEW DRIVE A 60.0 FOOT EXISTING ROAD RIGHT OF WAY, FOR THE APPARENT SOUTHEAST CORNER OF SAID 10.984 ACRE TRACT AND POINT OF BEGINNING (P.O.B.) BEING AT SAID 10.984 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 88 DEGREES 47 MINUTES 15 SECONDS WEST, WITH THE APPARENT SOUTH LOT LINE OF SAID FARM TRACT 772 AND WITH THE APPARENT SOUTH LOT LINE OF SAID 10.984 ACRE TRACT, A DISTANCE OF 30.00 FEET TO A FOUND No. 4 REBAR WITH PLASTIC CAP STAMPED "MOORE 6370" ON THE APPARENT EXISTING WEST RIGHT OF WAY LINE OF SAID PLEASANT VIEW DRIVE, AT A TOTAL DISTANCE OF 669.57 FEET TO A POINT INSIDE OF AN IRRIGATION STANDPIPE, FOR THE APPARENT SOUTHWEST CORNER OF SAID 10.984 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 01 DEGREES 12 MINUTES 45 SECONDS WEST, PARALLEL TO THE APPARENT EAST LOT LINE OF SAID FARM TRACT 772 AND WITH THE APPARENT WEST LOT LINE OF SAID 10.984 ACRE TRACT, A DISTANCE OF 714.60 FEET TO A SET No. 4 REBAR WITH PLASTIC CAP STAMPED "2791", WHENCE A FOUND No.4 REBAR BEARING NORTH 30 DEGREES 50 MINUTES 27 SECONDS WEST 1.52 FEET, FOR THE APPARENT NORTHWEST CORNER OF SAID 10.984 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 88 DEGREES 47 MINUTES 15 SECONDS EAST, PARALLEL TO THE SAID SOUTH LOT LINE OF FARM TRACT 772 AND WITH THE APPARENT NORTH LOT LINE OF SAID 10.984 ACRE TRACT, A DISTANCE OF 639.57 FEET TO A FOUND CONCRETE MONUMENT ON THE INTERSECTION WITH THE SAID EXISTING WEST RIGHT OF WAY LINE OF PLEASANT VIEW DRIVE, AT A TOTAL DISTANCE OF 669.57 FEET TO A SET NAIL ON THE EAST BOUNDARY LINE OF SAID FARM TRACT 772 AND ON SAID PLEASANT VIEW DRIVE EXISTING CENTER LINE, FOR THE APPARENT NORTHEAST CORNER OF SAID 10.984 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 01 DEGREES 12 MINUTES 45 SECONDS EAST, WITH THE APPARENT EAST LOT LINE OF SAID FARM TRACT 772 AND WITH THE SAID EAST LOT LINE OF SAID 10.984 ACRE TRACT, A DISTANCE OF 714.60 FEET TO A SET NAIL FOR THE SAID SOUTHEAST CORNER OF 10.984 ACRE TRACT OF LAND HEREIN DESCRIBED, ALSO BEING THE POINT OF BEGINNING, CONTAINING A NET OF 10.984 ACRES OF LAND OF WHICH 0.492 OF AN ACRE LIES IN PLEASANT VIEW DRIVE RIGHT OF WAY, LEAVING 10.492 NET ACRES, MORE OR LESS.

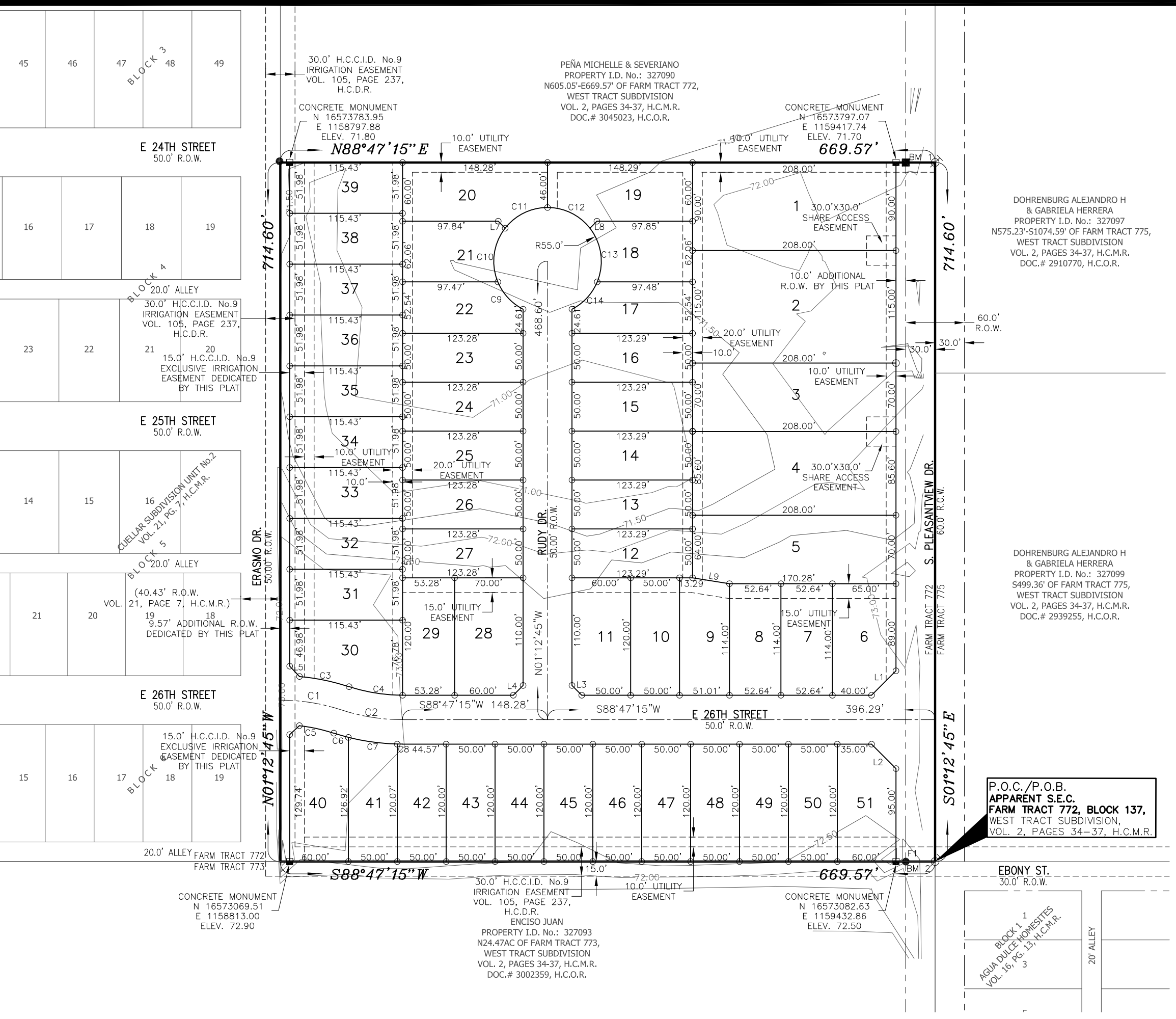
FILED FOR RECORD
IN HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

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SHEET 1	HEADINGS, INDEX, LOCATION MAP PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES & BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; CITY APPROVAL WITH RESPECT TO THE E.T.J. OF A MUNICIPALITY AND DESIGNATE THE PRECINCT CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE E.T.J. OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. CERTIFICATION; IRRIGATION DISTRICT CERTIFICATE OF APPROVAL; N.A.V.S.C. EASEMENT DEDICATION; REVISION NOTES.
SHEET 2	WATER DISTRIBUTION AND SANITARY SEWER MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION); SUBDIVIDER'S CERTIFICATE AND STATEMENT.
SHEET 3	DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEER'S CERTIFICATION; REVISION NOTES; TYPICAL ROADWAY SECTION; CURB AND GUTTER SECTION.
SHEET 4	WATER AND SANITARY SEWER DETAILS
SHEET 5	PAVING AND DRAINAGE DETAILS
SHEET 6	DRAINAGE EXCAVATION MAP

HLG PLAN REVIEW SERVICES

HOMERO L. GUTIERREZ, P.E., OWNER
P.O. Box 548, McALLEN, TEXAS 78505 / TEL: 956-369-0988
TBPE Firm Licensed No. F-10426

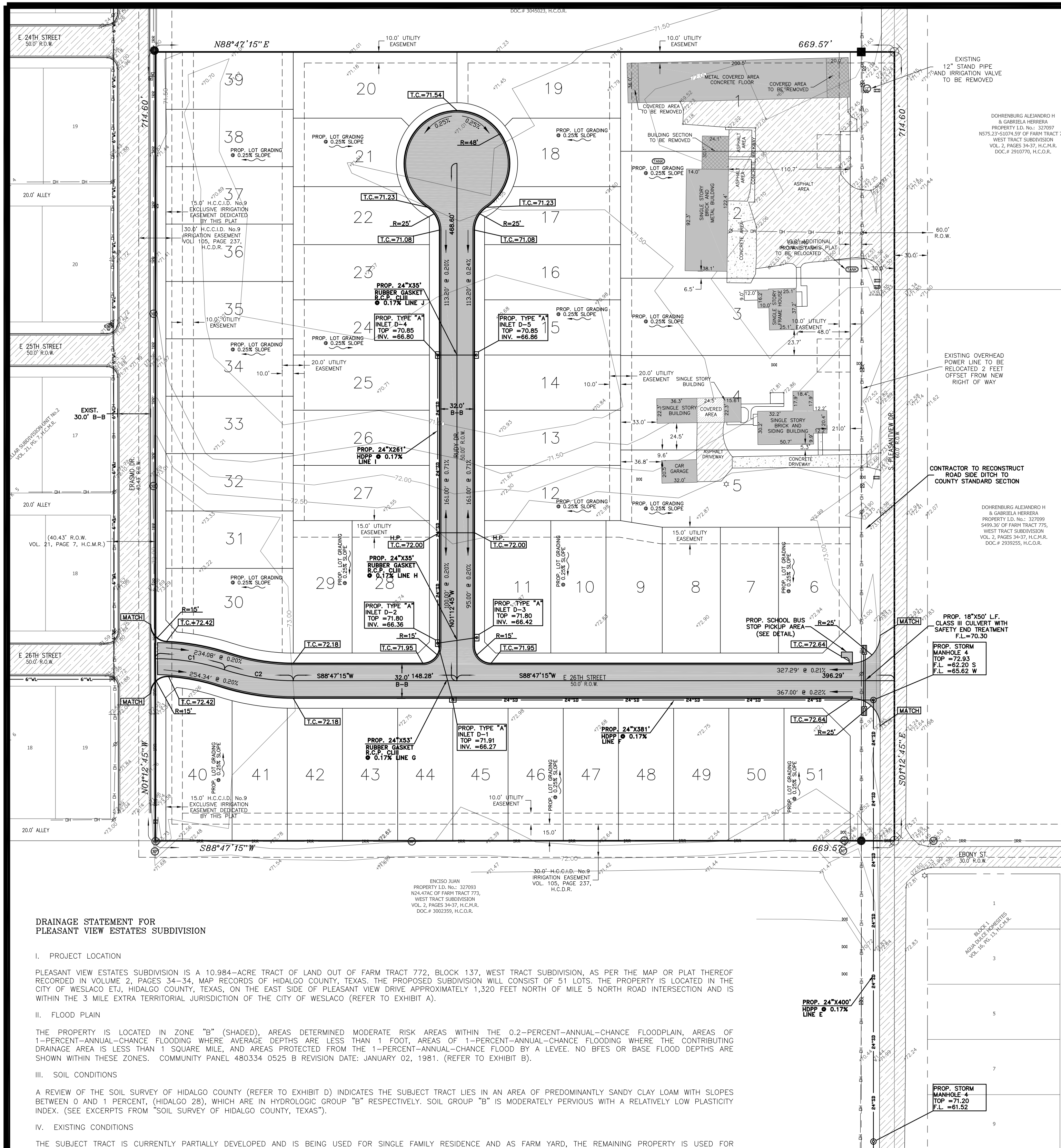


GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES:
FRONT..... 25.00'.
FRONT CUL-DE-SAC..... 15.00'.
REAR..... 15.00' OR EASEMENT, WHICHEVER IS GREATER.
SIDE..... 5.00' OR EASEMENT, WHICHEVER IS GREATER.
CORNER SIDE..... 10.00'.
CORNER GARAGE SIDE..... 18.00'.
- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "B" (SHADED) AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING)
COMMUNITY PANEL NO. 480334-0525 B
EFFECTIVE DATE JANUARY 02, 1981
- THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT-OF-WAY ARE WITHIN THE 100-YEAR FLOOD PLAIN, COMMUNITY PANEL NUMBER 480334-0525 B EFFECTIVE DATE JANUARY 02, 1981 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS, AND THE LOCAL FLOOD PLAIN ADMINISTRATOR IDENTIFIES NO OTHER AREA WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.
- CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THRU 4127).
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE TOP OF CURB OF STREET. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED IN A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL MINIMUM VOLUME, USING A 50-YEAR STORM EVENT, OF 46,192.93 CUBIC-FEET OR 1.060 ACRE-FEET OF STORM WATER RUNOFF; DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: SET SHEET NO. 3 FOR DRAINAGE REPORT AND FOR STORM SEWER IMPROVEMENTS.
- NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT; NO COMMERCIAL USE SHALL BE ALLOWED ON ALL INTERNAL LOTS, FROM LOT 6 THRU LOT 51, LOTS 3, 4 AND 5 CAN BE USED FOR COMMERCIAL AND RESIDENTIAL USE. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- GENERAL NOTES FOR COMMERCIAL LOTS:
LOTS 1 THROUGH 2 SHALL BE FOR COMMERCIAL USE ONLY. THERE SHALL BE NO OTHER USE OTHER THAN COMMERCIAL LOTS 1 THROUGH 2 IS FOR NONRESIDENTIAL USE. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. A BUFFER IS REQUIRED TO BE INSTALLED BY DEVELOPER ALONG ALL ADJUTING RESIDENTIAL LOTS. APPLICATIONS FOR CONSTRUCTION APPROVED BY THE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOT IS MONUMENTED BY 1/2 INCH WIDE BY 18 INCH LONG IRON RODS W/YELLOW CAP STAMPED "2791".
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASED CONTRACT MADE BETWEEN THE DEVELOPER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.

PRINCIPAL CONTACTS

OWNER:	NAME	ADDRESS	CITY & ZIP	PHONE
	ASE REAL ESTATE, LLC, SERIES H	3624 MAINGATE DR.	WESLACO, TEXAS 78596	(956) 984-9756
	EMMANUEL MIRELES, PRESIDENT			
ENGINEER:	HOMERO LUIS GUTIERREZ	P.O. Box 548	McALLEN, TEXAS 78505	(956) 369-0988
SURVEYOR:	HOMERO LUIS GUTIERREZ	P.O. Box 548	McALLEN, TEXAS 78505	(956) 369-0988



DRAINAGE STATEMENT FOR PLEASANT VIEW ESTATES SUBDIVISION

I. PROJECT LOCATION
 PLEASANT VIEW ESTATES SUBDIVISION IS A 10.984-ACRE TRACT OF LAND OUT OF FARM TRACT 772, BLOCK 137, WEST TRACT SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGES 34-34, MAP RECORDS OF HIDALGO COUNTY, TEXAS. THE PROPOSED SUBDIVISION WILL CONSIST OF 51 LOTS. THE PROPERTY IS LOCATED IN THE CITY OF WESLACO ETJ, HIDALGO COUNTY, TEXAS, ON THE EAST SIDE OF PLEASANT VIEW DRIVE APPROXIMATELY 1,320 FEET NORTH OF MILE 5 NORTH ROAD INTERSECTION AND IS WITHIN THE 3 MILE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF WESLACO (REFER TO EXHIBIT A).

II. FLOOD PLAN
 THE PROPERTY IS LOCATED IN ZONE "B" (SHADED). AREAS DETERMINED MODERATE RISK AREAS WITHIN THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN, AREAS OF 1-PERCENT-ANNUAL-CHANCE FLOODING WHERE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1-PERCENT-ANNUAL-CHANCE FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE FLOOD BY A LEVEE, NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES. COMMUNITY PANEL 480334 0525 B REVISION DATE: JANUARY 02, 1981. (REFER TO EXHIBIT B).

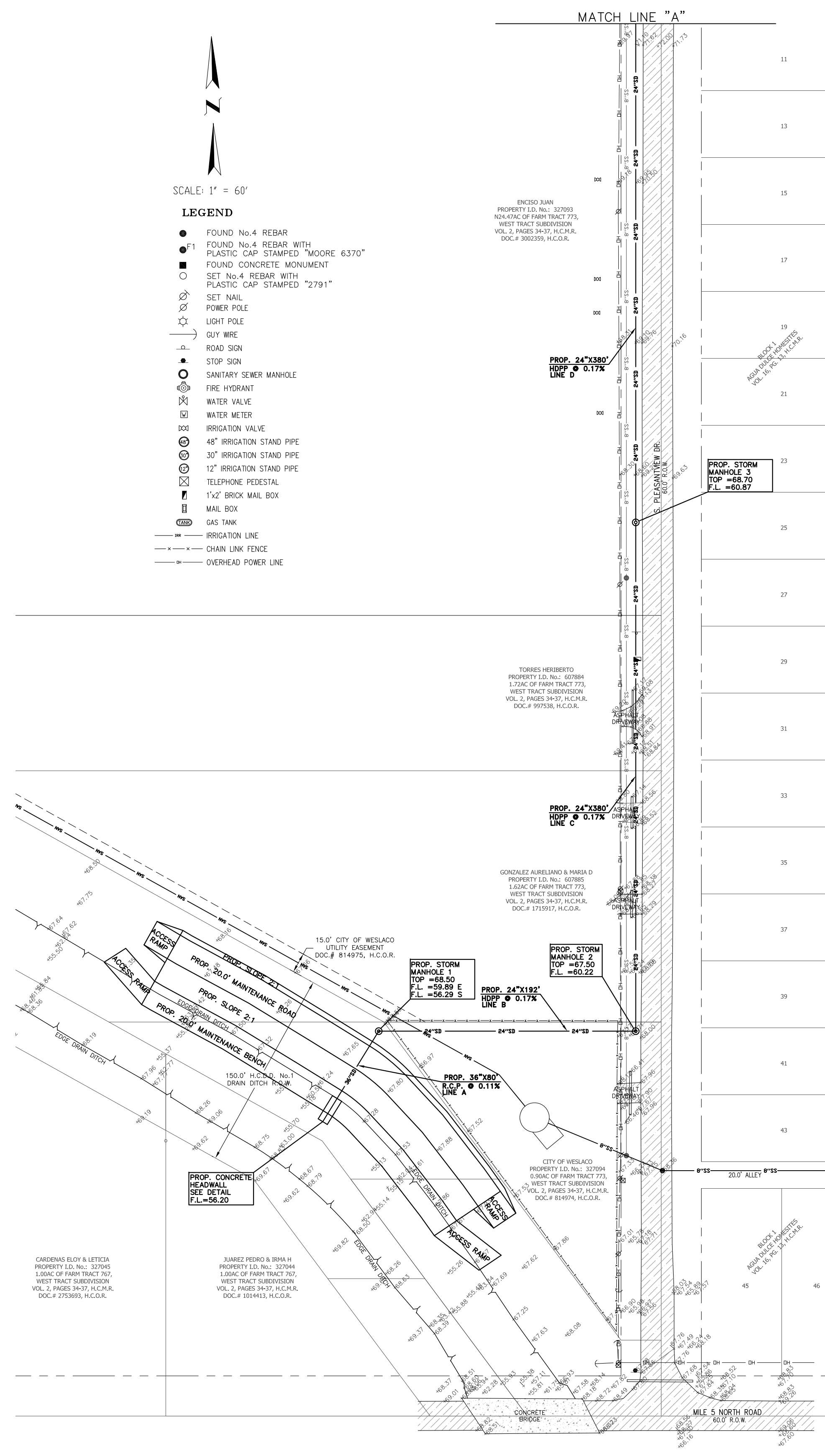
III. SOIL CONDITIONS
 A REVIEW OF THE SOIL SURVEY OF HIDALGO COUNTY (REFER TO EXHIBIT D) INDICATES THE SUBJECT TRACT LIES IN AN AREA OF PREDOMINANTLY SANDY CLAY LOAM WITH SLOPES BETWEEN 0 AND 1 PERCENT, (HIDALGO 28), WHICH ARE IN HYDROLOGIC GROUP "B" RESPECTIVELY. SOIL GROUP "B" IS MODERATELY PERVIOUS WITH A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM SOIL SURVEY OF HIDALGO COUNTY, TEXAS).

IV. EXISTING CONDITIONS
 THE SUBJECT TRACT IS CURRENTLY PARTIALLY DEVELOPED AND IS BEING USED FOR SINGLE FAMILY RESIDENCE AND AS FARM YARD, THE REMAINING PROPERTY IS USED FOR AGRICULTURAL PURPOSES. THERE PRESENTLY EXIST ONE SINGLE STORY BRICK RESIDENCE MEASURING 2100 SF MORE OR LESS, ONE SINGLE STORY FRAME RESIDENCE MEASURING 1100 SF MORE OR LESS, ONE GARAGE, ONE METAL BUILDING MEASURING 4200 SF MORE OR LESS AND ONE METAL COVERED AREA MEASURING 36'0"x200'5". THE EXISTING TERRAIN HAS A GRADE OF APPROXIMATELY 0.2% TO 0.4% EXISTING RUNOFF FROM THE 10.984 ACRES FLOWS FROM SOUTHERLY DIRECTION TOWARDS THE NORTH PROPERTY LINE. THE TOTAL CONTRIBUTING 10-YEAR EXISTING STORM WATER RUNOFF IS 10.96 CFS. (REFER TO EXHIBIT E).

V. PROPOSED CONDITIONS
 THE PROPOSED DEVELOPMENT FOR THIS SUBDIVISION WILL CONSIST OF 51 LOTS. THE DRAINAGE REPORT CALCULATIONS ARE BASED ON THE POSSIBLE ULTIMATE FUTURE DEVELOPMENT OF THE 51 LOTS TO EACH CONSIST OF 2,500 SQUARE FEET OF RESIDENTIAL AND COVERED NON-PERMEABLE AREA, AND OTHER AREAS TO BE COVERED BY PAVED STREETS AND SIDEWALKS. THE PROPOSED DRAINAGE FOR THIS SUBDIVISION SHALL CONSIST OF RUNOFF FROM THE LOTS INTO THE PROPOSED STREET AND COLLECTED BY TYPE "A" INLET LOCATED AT LOW SPOTS OF STREET WITHIN THE SUBDIVISION. THE PROPOSED STORM SYSTEM WILL DISCHARGE INTO AN EXISTING HIDALGO COUNTY DRAINAGE DISTRICT NO.1 DRAIN DITCH LOCATED IN THE NORTHWEST CORNER OF THE INTERSECTION OF PLEASANT VIEW DRIVE AND MILE 5 NORTH ROAD VIA 18" HOME STORM DRAIN PIPE. THE DRAINAGE REPORT CALCULATIONS ARE BASED ON THE ULTIMATE FUTURE DEVELOPMENT OF 10.984 ACRES, ALLOWING FOR 6.06 ACRES FOR LANDSCAPE. SUFFICIENT OPEN LAND (PERMEABLE) EXISTS SUCH THAT NEWLY CREATED DRAINAGE WATERS MAY BE CAPTURED. THE TOTAL CONTRIBUTING 50 YEAR DEVELOPED STORM WATER DISCHARGE OF 28.07 CFS LESS THE 10-YEAR DISCHARGE AT 10.96 CFS FOR AN INCREASE OF 17.11 CFS (REFER TO EXHIBIT E). RUNOFF WILL BE CONVEYED INTO THE EXISTING DRAIN DITCH TO COMPLY WITH THE HYDROGRAPHIC COMPUTATIONS OF NEWLY CREATED DRAINAGE WATERS IN ORDER TO ACCOMMODATE 46,192.53 CUBIC FEET (1,060 AC-FT) OF STORM WATER STORAGE, AS PER H.C.D.D. NO.1 NO ON-SITE DETENTION IS REQUIRED BECAUSE THIS DEVELOPMENT IS UNLIKELY TO CAUSE AN INCREASE IN THE FLOOD CREST AND IS TRIBUTARY TO A REGIONAL STORM WATER FACILITY WITH SUFFICIENT CAPACITY TO SERVE THE DEVELOPMENT. THE DEVELOPER IS PROPOSING WIDENING THE DRAIN DITCH TO PROVIDE A MINIMUM VOLUME OF 46,192.53 AS PER CALCULATIONS BASED ON 50 YEAR STORM WATER EVENT USING AN APPROVED H.C.D.D. NO.1 BENCH SECTION. (REFER TO EXHIBIT E).

VI. DETENTION REQUIREMENTS
 IN ACCORDANCE WITH THE CITY OF WESLACO AND HIDALGO COUNTY DRAINAGE DISTRICT NO.1 POLICY, THE PEAK RATE FOR RUNOFF FOR THIS DEVELOPMENT WILL BE LIMITED TO THE EXISTING 10-YEAR STORM WATER RUNOFF, FOR A TOTAL OF 46,192.53 CUBIC FEET (1,060 AC-FT) FOR THE ENTIRE SUBDIVISION.

MAP OF PAVING AND DRAINAGE



THIS DOCUMENT IS FOR INTERIM REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

LOCATION MAP SCALE 1"=2000'

PREPARED BY:
 H.L.G. PLAN REVIEW SERVICES
 HOMERO L. GUTIERREZ, P.E., OWNER
 P.O. Box 548
 McALLEN, TEXAS 78505
 DATE PREPARED: FEBRUARY 10, 2021
 DATE SURVEYED: SEPTEMBER 19, 2020

PLAT SHEET 3 OF 6

PLEASANT VIEW ESTATES SUBDIVISION

HIDALGO COUNTY, TEXAS
 BEING A 10.984 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF FARM TRACT 772, BLOCK 137, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 02, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

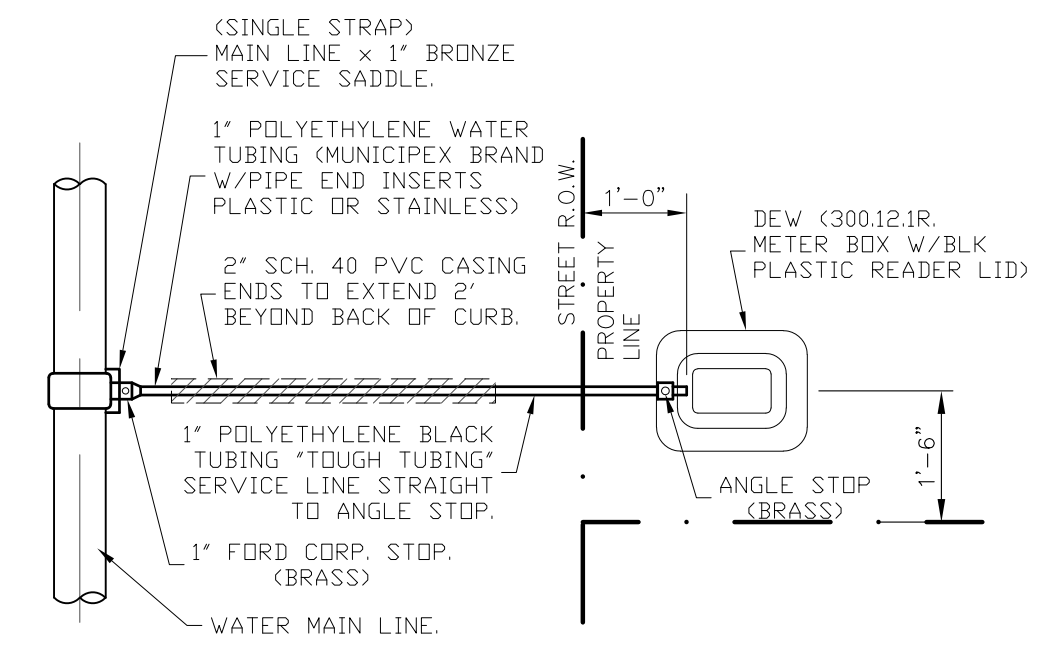


FILED FOR RECORD
 IN HIDALGO COUNTY
 ARTURO GUARDADO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 RECORDED IN VOLUME _____ PAGE _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY

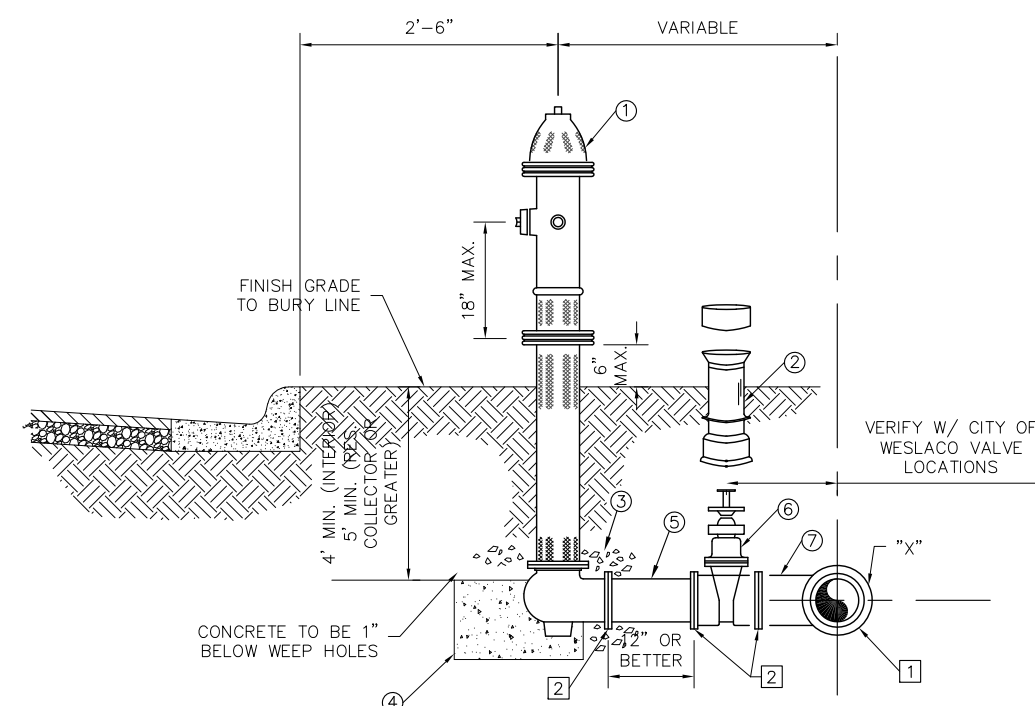
REVISION NOTES			
NO.	SHEET	REVISION	DATE

INDEX SHEET OF PLEASANT VIEW ESTATES SUBDIVISION	
SHEET 1	HEADINGS, INDEX, LOCATION MAP, PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES & BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION; AND ATTESTATION; CITY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE E.T.J. OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. CERTIFICATION; IRRIGATION DISTRICT CERTIFICATE OF APPROVAL; N.A.W.S.C. EASEMENT DEDICATION; REVISION NOTES.
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SHEET 5	PAVING AND DRAINAGE DETAILS
SHEET 6	DRAINAGE EXCAVATION MAP



RESIDENTIAL SINGLE WATER SERVICE CONNECTION
NOT TO SCALE

NOTE: WATER SERVICE LOCATIONS SHALL BE STAMPED ON FACE OF CURB AS "W" AND PAINTED WITH A WEATHER RESISTANT BLUE PAINT.



STANDARD FIRE HYDRANT INSTALLATION
MULLER/SUPER CENTURION 250 A-423)

NOTE: FIRE HYDRANT TO BE PAINTED RED.

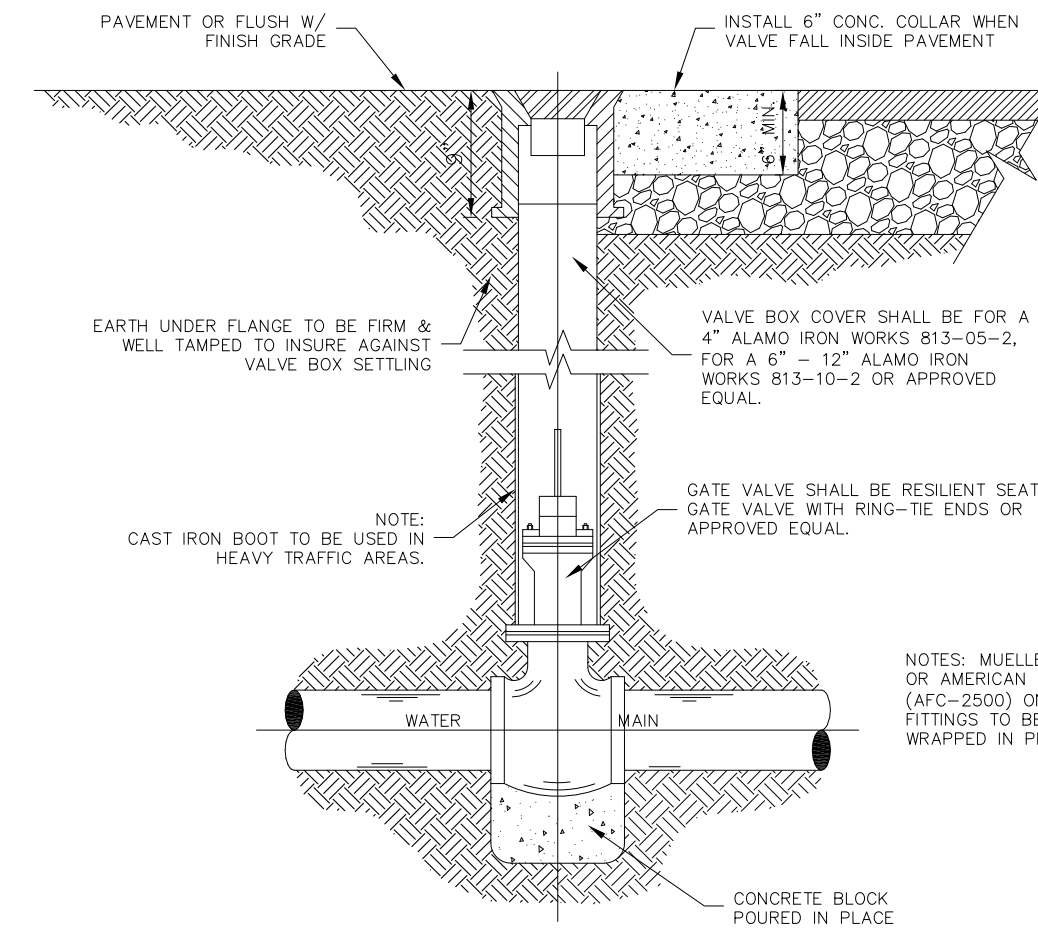
- NOTE:
- 1.) OIL SHALL BE PLACED IN HYDRANT AT THE TIME OF INSTALLATION.
 - 2.) PUMPER NOZZLE SHALL FACE ROADWAY. (5' 1/2" MIN.)
 - 3.) IN CERTAIN INSTANCES, WHEN DISTANCES PERMIT, A PARALLEL TEE OR UNION-TIE 90° ELBOW W/RESTRAINING LUGS MAY BE USED IN LIEU OF A STANDARD TEE. FINAL APPROVAL BY THE CITY OF EDINBURG REQUIRED.
 - 4.) TAPPING SLEEVES TO HAVE STAINLESS STEEL BOLTS AND NUTS.
 - 5.) ALL VALVES, FITTINGS & HYDRANTS & ACCESSORIES TO BE GREASED WRAPPED IN PLASTIC.
 - 6.) ALL VALVES, FITTINGS AND ACCESSORIES, VALVE BODIES, METER BODIES AND COVERS MUST BE APPROVED BY THE CITY OF EDINBURG.

FIRE HYDRANT INSTALLATION CONSIST OF FIRE HYDRANT, VALVE AND VALVE BOX

FIRE HYDRANT UNIT SHALL INCLUDE:

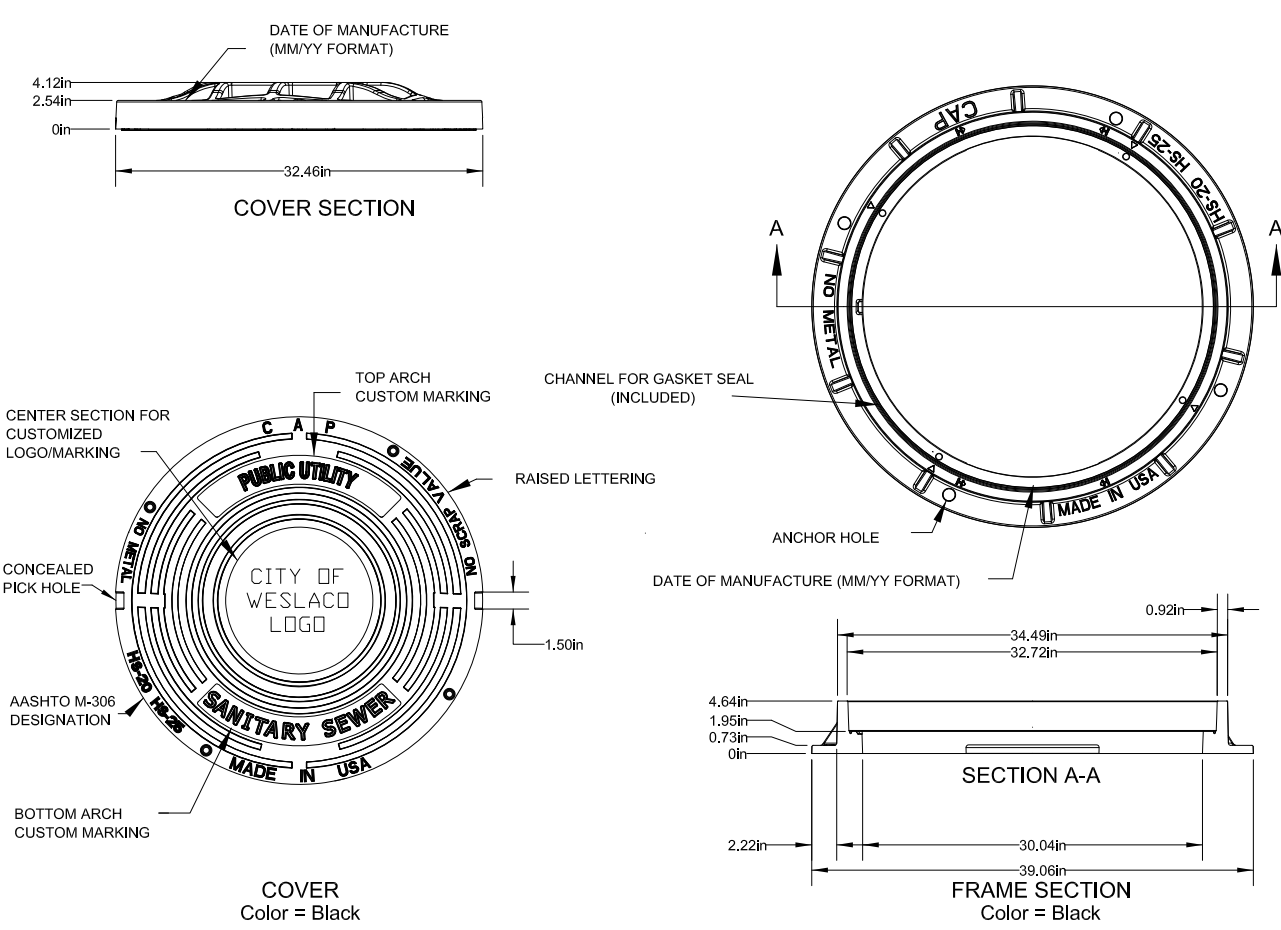
- 1.) FIRE HYDRANT w/ (4 1/2" PUMPER NOZZLE)
- 2.) VALVE BOX (DOMESTIC)
- 3.) 3 CU. FT. GRAVEL
- 4.) 3 CU. FT. CONCRETE 1" BELOW HYDRANT WEEP HOLES
- 5.) 1" OR BETTER PVC SPOOLS
- 6.) 6" RESILIENT SEAT GATE VALVE (FLANGED X M.J.)
- 7.) X"6" CAST IRON TEE (FLANGED X M.J.)
- X" WATER MAIN DIA.

- 1 MECHANICAL JOINT
- 2 FLANGE



TYPICAL VALVE AND VALVE BOX INSTALLATION ON MAIN LINE

MUELLER (A-2360 SERIES) OR AMERICAN FLOW CONTROL (AFC-2500) ONLY
NOTE: ALL FITTINGS TO BE GREASED AND WRAPPED IN PLASTIC.

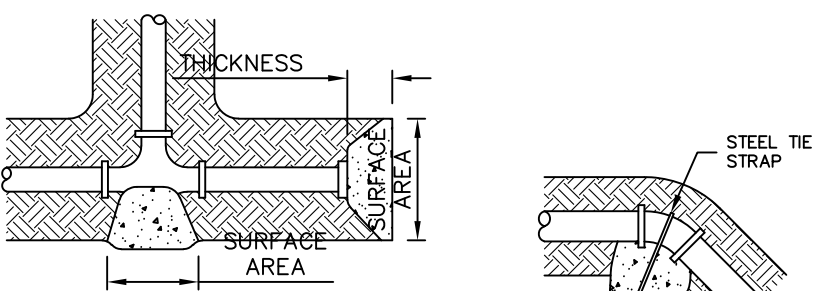


COMPOSITE SEWER MANHOLE RING AND COVER DETAIL

NOTES

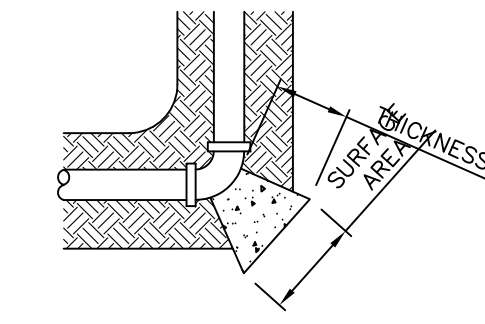
1. COMPOSITE MATERIAL RING AND COVER SHALL BE OF COMPRESSION MOLDING, PROOF LOADING TO HS-25 OR BETTER, AND CONFORM TO AASHTO M 306.
2. COMPOSITE ACCESS PRODUCTS, L.P. IS AN APPROVED MANUFACTURER. ANY ALTERNATE EQUAL MUST BE APPROVED BY WESLACO PUBLIC UTILITY - UTILITY ENGINEERING DEPARTMENT.

THRUST BLOCK SIZE				
HORIZONTAL BENDS				
DIAMETER OF PIPE IN INCHES	SURFACE AREA SQ. FT.	THICKNESS IN INCHES	WEIGHT AT VERTICAL BEND LBS.	
22-1/2° BENDS				
6 OR LESS	2	8	1,700	
8	3	12	3,000	
10	3.5	12	4,500	
12	4	14	6,600	
14	5	18	9,000	
16	6	18	11,800	
45° BEND				
6 OR LESS	4	12	3,200	
8	5	14	3,800	
10	6	18	9,000	
12	7	18	13,000	
14	8	24	17,000	
16	11.5	24	23,200	
90° BEND				
6 OR LESS	6	12	6,000	
8	8	15	10,700	
10	10	18	16,700	
12	12	18	24,000	
14	18	24	32,600	
16	21	24	42,700	
TEES & DEAD ENDS				
6 OR LESS	3	12	--	
8	4	15	--	
10	6	18	--	
12	8.5	18	--	
14	11.5	24	--	
16	15	24	--	

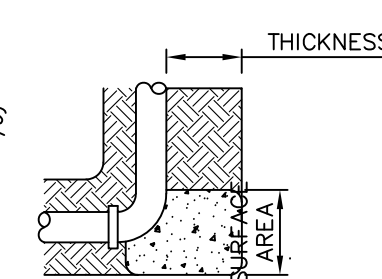


TEES & DEAD ENDS

VERTICAL BENDS



HORIZONTAL BENDS

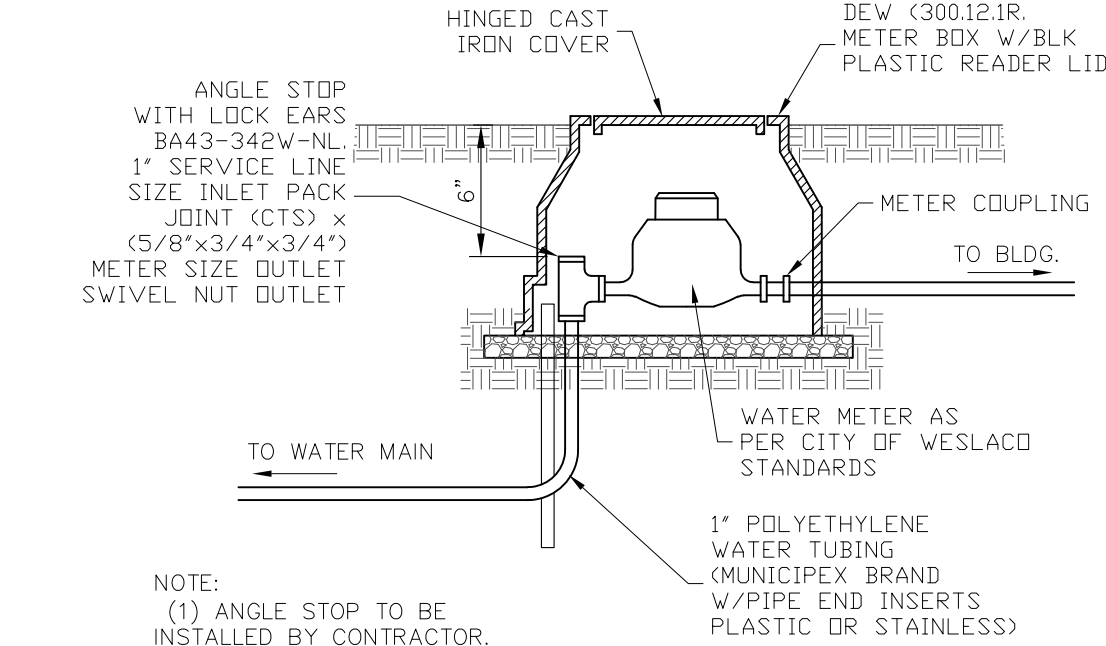


HYDRANT BURYS

THRUST BLOCKS DETAILS

NOTE: SEE THRUST BLOCK SIZE CHART FOR PROPER THICKNESS AND SURFACE AREA.

NOTE: ALL VALUES SHOWN ARE MIN. FOR A HYDROSTATIC PRESSURE OF 150 P.S.I. AND A SOIL RESISTANCE OF 2,000 LBS. PER SQ. FT. WITH PIPELINE HAVING A MIN. OF 3 FT. OF COVER WITH CURB & GUTTER AND A 5 FT. MIN. WITHOUT CURB & GUTTER.



TYPICAL WATER METER INSTALLATION

NOTE: (1) ANGLE STOP TO BE INSTALLED BY CONTRACTOR.

PLEASANT VIEW ESTATES SUBDIVISION

HIDALGO COUNTY, TEXAS

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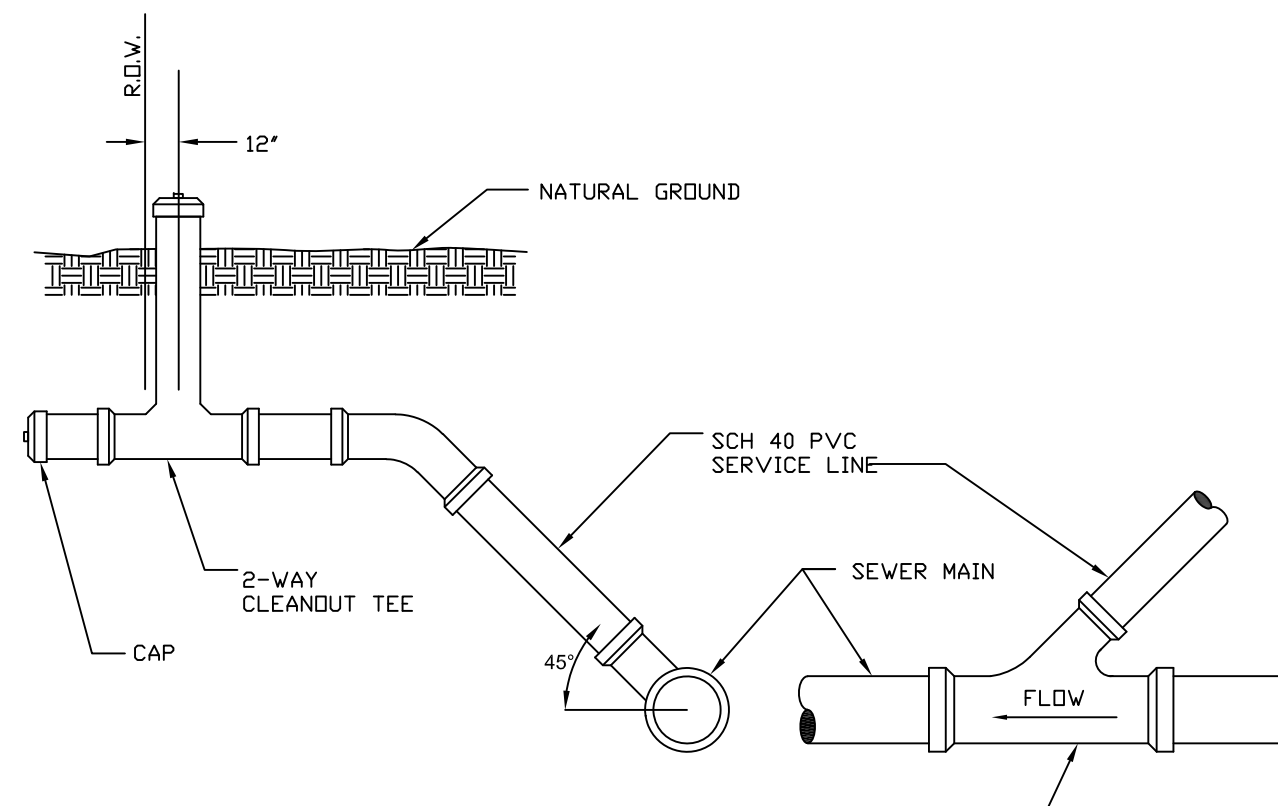
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FILED FOR RECORD IN HIDALGO COUNTY, TEXAS
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK



ON: _____ AT _____ AM/PM
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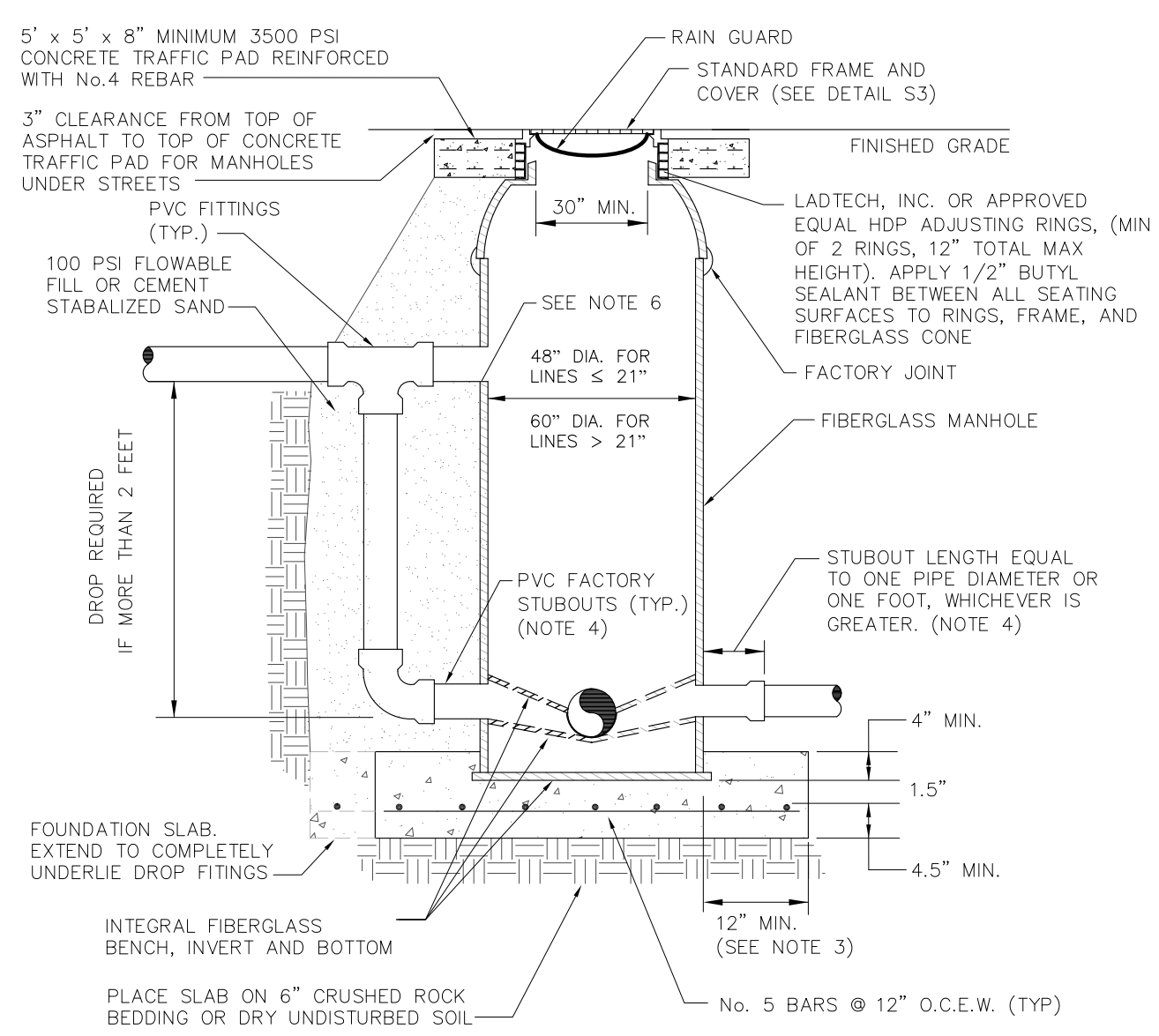
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STANDARD SERVICE CONNECTION

NOTES

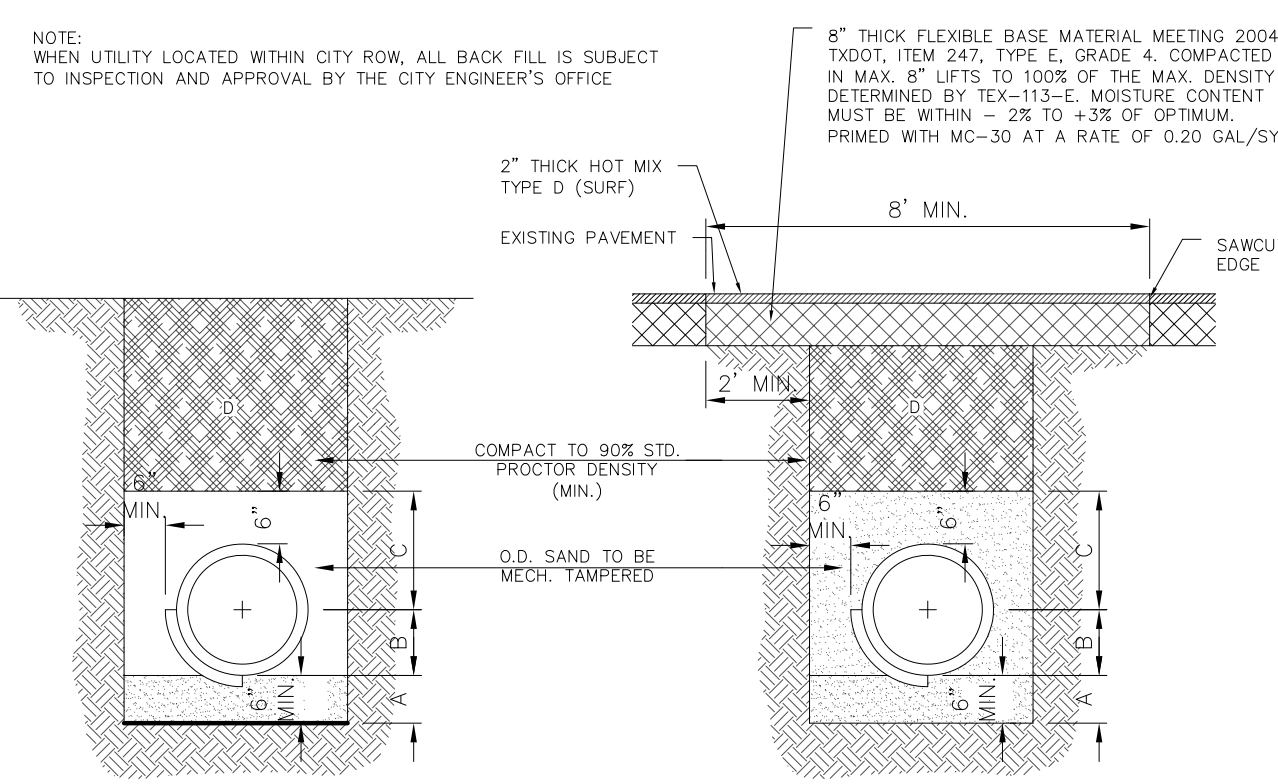
1. INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
2. SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.



TYPICAL FIBERGLASS MANHOLE

NOTES:

1. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. BACKFILL SHALL BE CEMENT STABILIZED SAND COMPACTED TO 95% STANDARD PROCTOR OR CLSM FLOWABLE FILL UP TO THE BOTTOM OF THE CONCRETE TRAFFIC PAD.
3. BASE SLAB SHALL BE 4 FT. LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 2000 PSF, WATER TABLE < 5 FT., OR DEPTH > 20 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
4. OUTLET STUBOUT SHALL BE SPIGOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.
5. CONCRETE FOUNDATION SHALL BE POURED IN PLACE BELOW GROUND.
6. PENETRATION SHALL BE MADE WITH INSERT A TEE KIT.

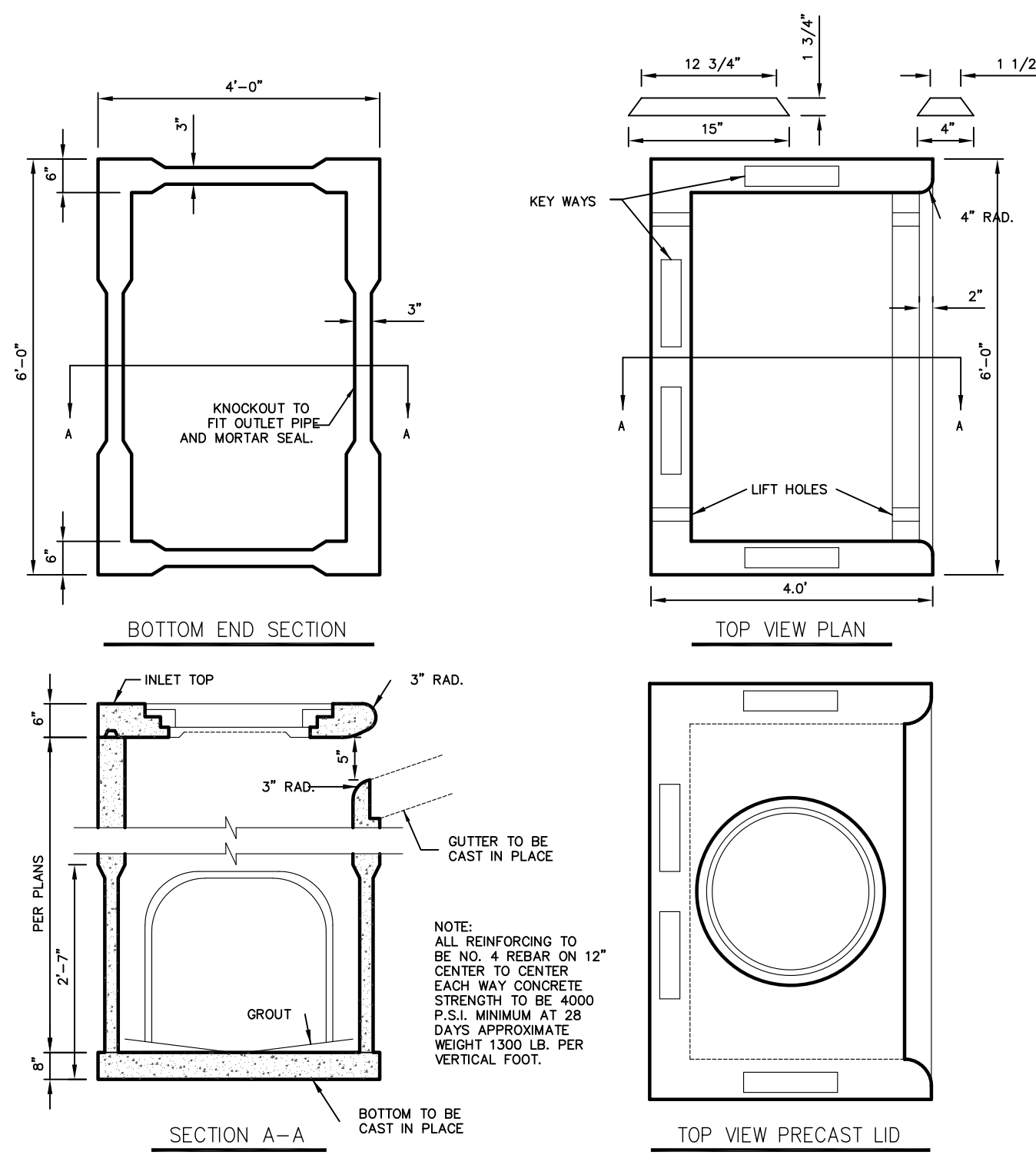


STANDARD PIPE BEDDING (MAIN & SERVICE LATERALS)

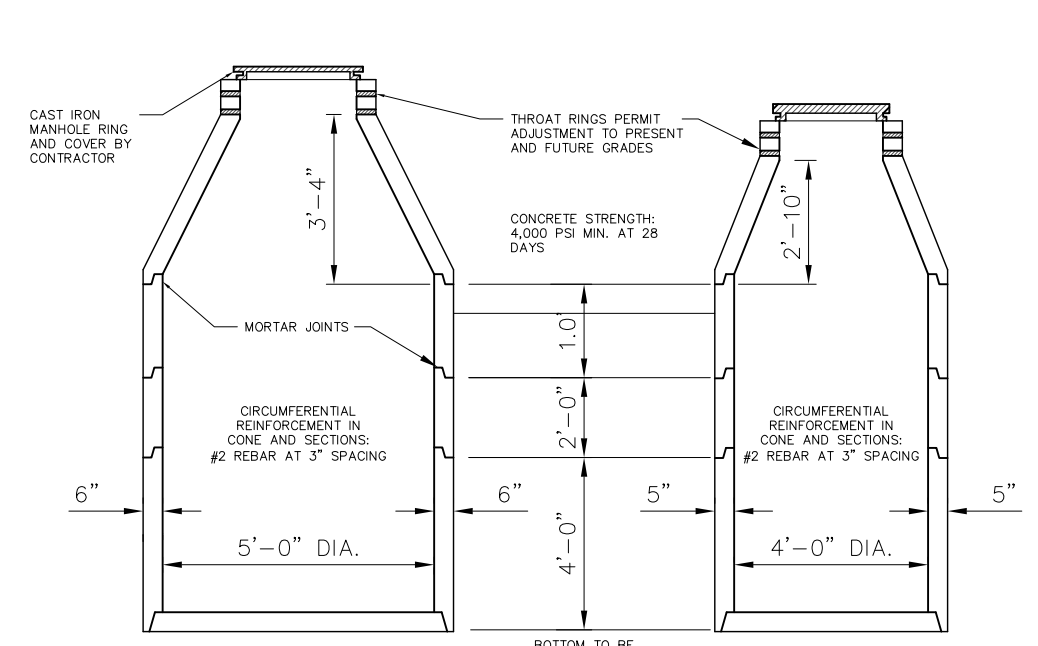
STANDARD PIPE BEDDING (MAIN ONLY)

- APPLICABLE BENEATH FUTURE/UNPAVED STREETS
- A. SAND BEDDING PLACED BEFORE PIPE IS LAID TO FLOW LINE OF PIPE (MIN. THICKNESS = 6").
 - B. SAND BACK FILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, MECH. TAMPERED)
 - C. SAND BACK FILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE. (6" LIFTS, MECH. TAMPERED)
 - D. FILL TRENCH WITH SELECT BACKFILL WITH 12" LIFTS COMPACT TO 90% STD. PROCTOR.
- FOUNDATION PREPARATION (WELL POINTS), GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACK FILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL BE SAND, APPROVED SITE SOIL OR OTHER APPROVED SUBSTITUTE.
- NOTE: ALL EXISTING/ACTIVE STREET CROSSING SHALL REQUIRE SAND BACKFILL OF ENTIRE TRENCH. (SEE DETAIL S-6)

* ALL MATERIAL AND CONSTRUCTION TO COMPLY WITH COUNTY OF HIDALGO AND THE CITY OF WESLACO SPECIFICATIONS.



PRECAST TYPE "A" INLET



WEIGHTS OF 5'-0" DIA. MANHOLE

THREAT RING	90 LBS.
ONE SECTION	2800 LBS.
1'-0" SECTION	1320 LBS.
2'-0" SECTION	2650 LBS.
3'-0" SECTION	3980 LBS.
4'-0" SECTION	5310 LBS.

MANHOLES SECTIONS ARE CAST IN

1'-0" LENGTH	2'-0" LENGTH	3'-0" LENGTH	4'-0" LENGTH
--------------	--------------	--------------	--------------

WEIGHTS OF 4'-0" DIA. MANHOLE

THREAT RING	90 LBS.
ONE SECTION	1750 LBS.
1'-0" SECTION	870 LBS.
2'-0" SECTION	1750 LBS.
3'-0" SECTION	2620 LBS.
4'-0" SECTION	3500 LBS.

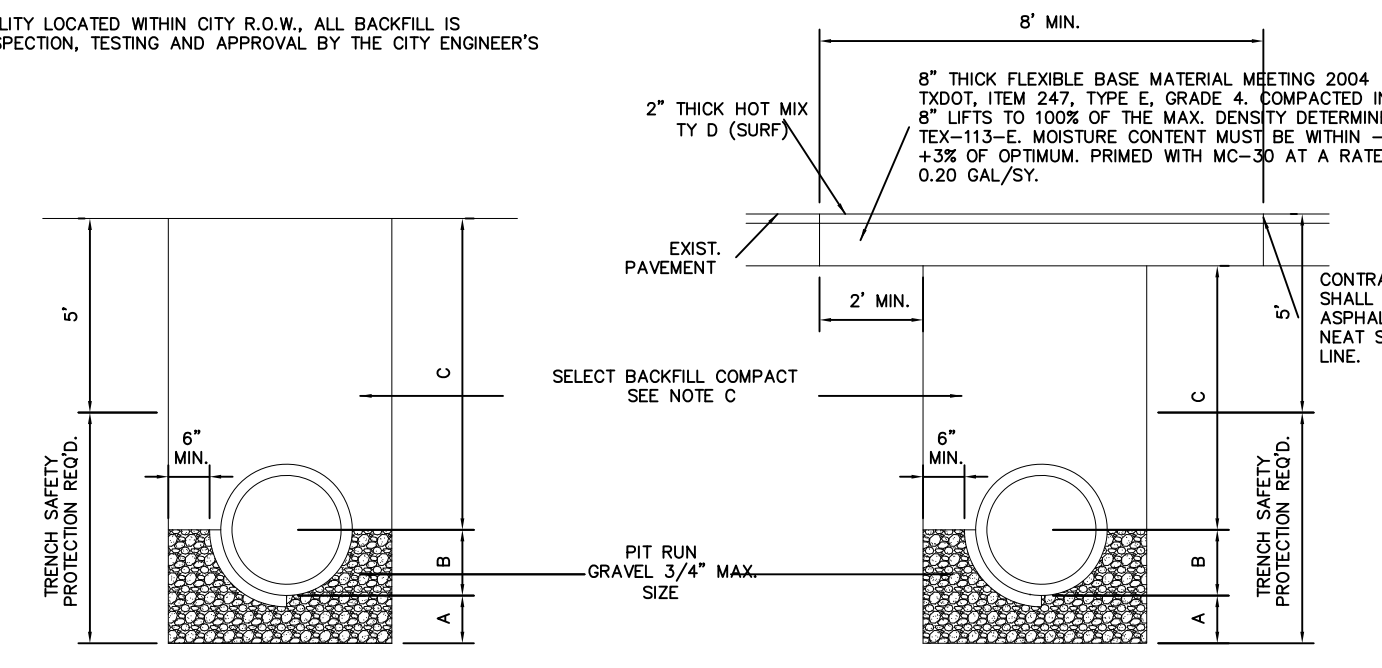
PRECAST CONCRETE SECTIONS MAY BE USED ON LARGER DIAMETER MANHOLES IN LIEU OF BREAKING OUT LARGE HOLES IN PRECAST SECTIONS.

SEGMENTAL BLOCK
9" x 9" x 9" BLOCKS FULL CIRCLE 4'-0" DIA. - 12 BLOCKS FULL CIRCLE

REINF. CONCRETE THROAT RING

PRECAST CONCRETE MANHOLES - DETAILS

NOTE: WHEN UTILITY LOCATED WITHIN CITY R.O.W., ALL BACKFILL IS SUBJECT TO INSPECTION, TESTING AND APPROVAL BY THE CITY ENGINEER'S OFFICE



STANDARD PIPE BEDDING

A. GRAVEL (3/4" MAX. SIZE) BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE. (MIN. THICKNESS = 6")

B. GRAVEL BACK FILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, MECH. TAMPED).

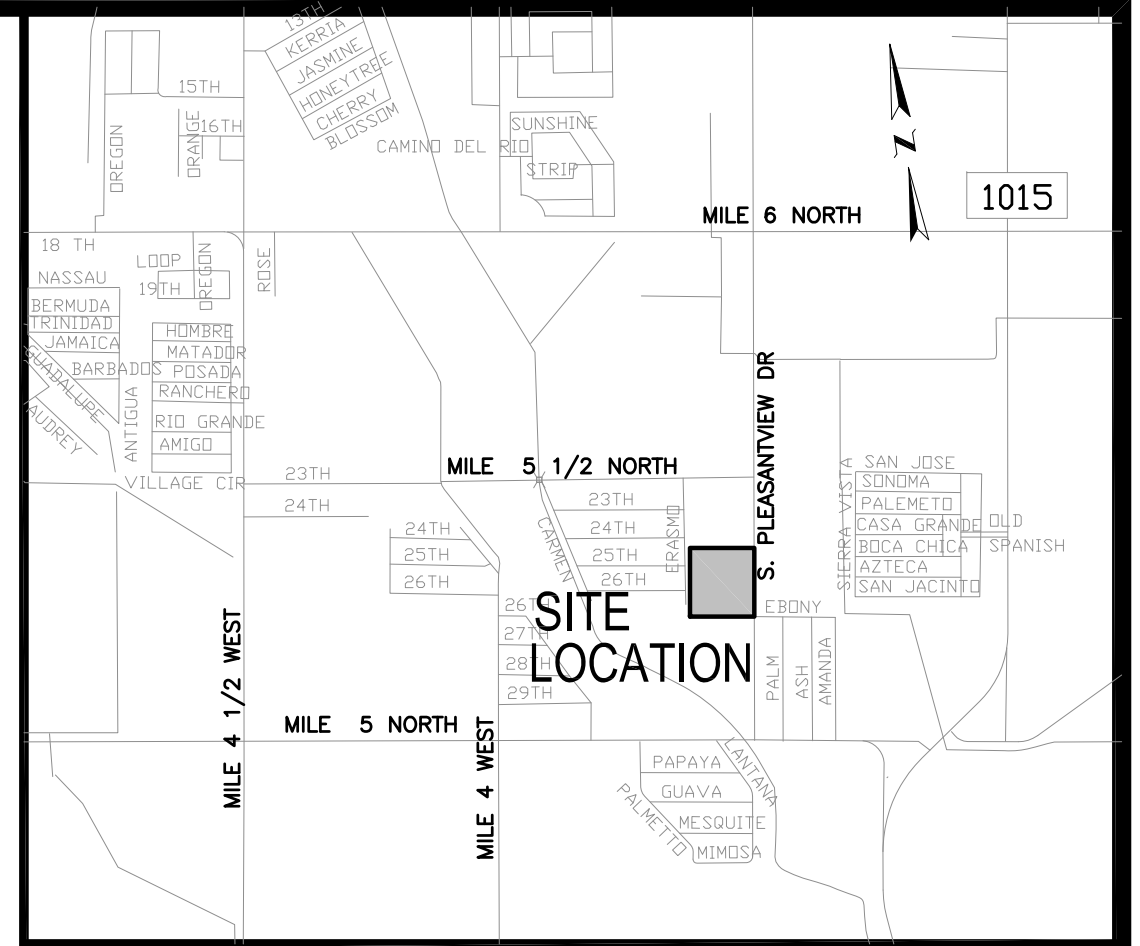
C. FILL TRENCH W/SELECT BACKFILL (P<20), W/1/2" LIFTS COMPACT TO 98% STD. PROCTOR

FOUNDATION PREPARATION (WELLPONTS, GRAVEL AND/OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACK FILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENTS AND COMPACTED TO 98% STANDARD PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL BE SAND, APPROVED SITE SOIL OR OTHER APPROVED SUBSTITUTE.

NOTE: ALL EXISTING STREET CROSSINGS SHALL REQUIRE SAND BACKFILL OF ENTIRE TRENCH.

STANDARD PIPE BEDDING - DETAILS



LOCATION MAP SCALE 1"=2000'

PREPARED BY:
H.L.G. PLAN REVIEW SERVICES
HOMERO L. GUTIERREZ, P.E., OWNER
P.O. Box 548
McALLEN, TEXAS 78505
DATE PREPARED: FEBRUARY 10, 2021
DATE SURVEYED: SEPTEMBER 19, 2020
PLAT SHEET 5 OF 6

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:
PLEASANT VIEW ESTATES SUBDIVISION, IS LOCATED WITHIN HIDALGO COUNTY PRECINCT NO.1 ON THE WEST SIDE OF PLEASANT VIEW DRIVE APPROXIMATELY 1,320 FEET NORTH FROM MILE 5 NORTH ROAD, ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF WESLACO POPULATION AS PER 2019 CENSUS 41,629, PLEASANT VIEW ESTATES SUBDIVISION LIES APPROXIMATELY 605 FEET FROM THE CITY LIMITS AND IS WITHIN THE 3 MILE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF WESLACO UNDER LOCAL GOVERNMENT CODE 42.021.

PLEASANT VIEW ESTATES SUBDIVISION

HIDALGO COUNTY, TEXAS

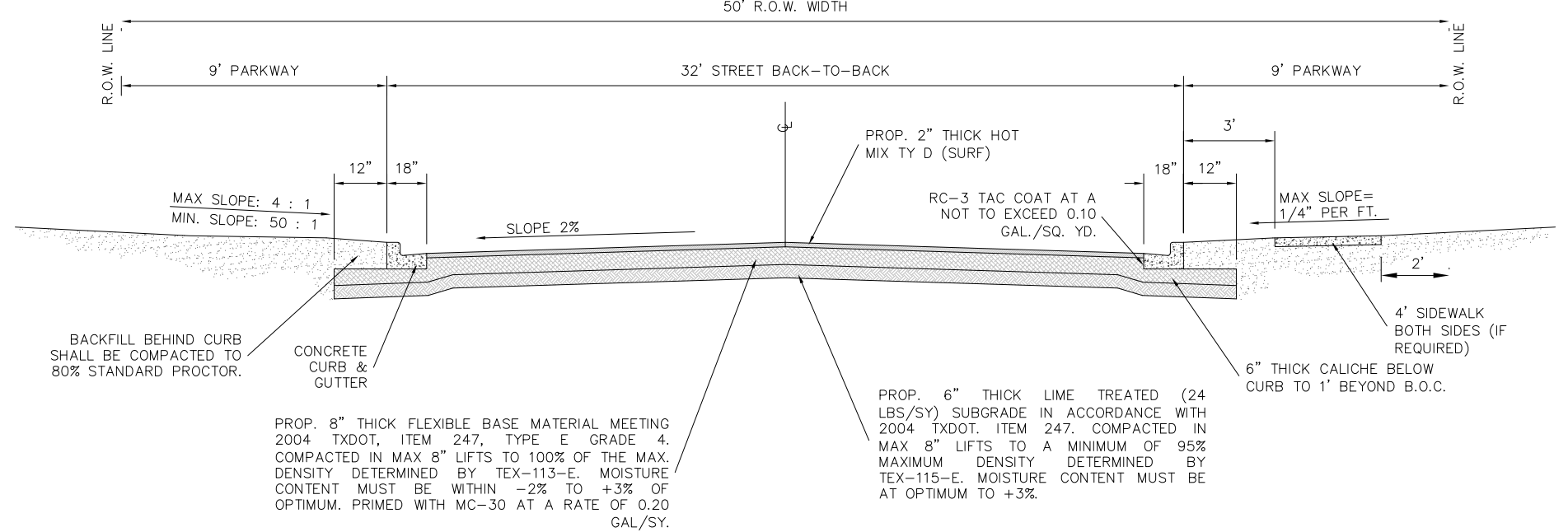
BEING A 10.984 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF FARM TRACT 772, BLOCK 137, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 02, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

THIS DOCUMENT IS FOR INTERIM REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK



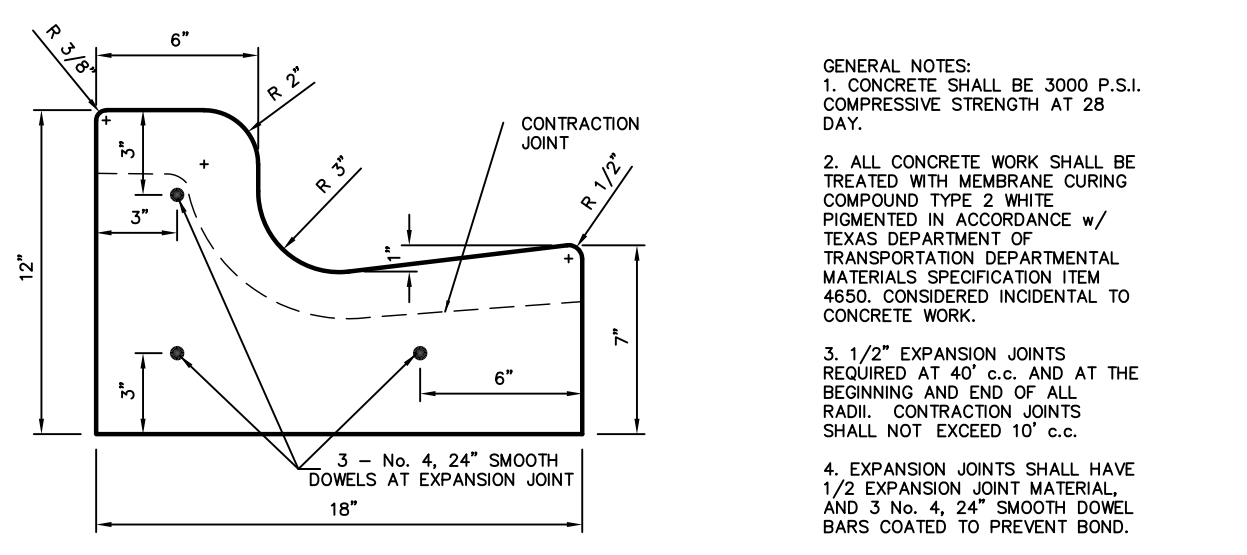
ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY



MINOR RESIDENTIAL STREET SECTION (32' BB - 50' R.O.W.) - DETAIL

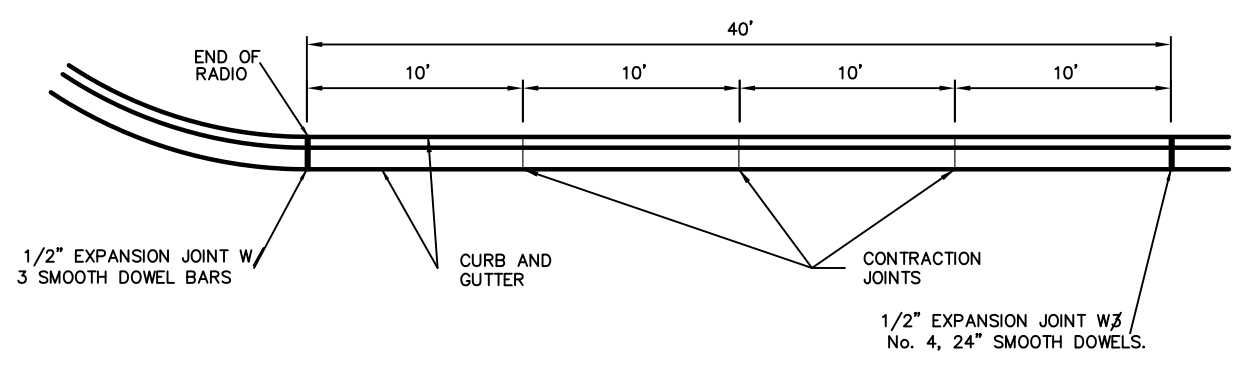
FLEXIBLE BASE (TYPE E GRADE 4) SHALL CONFORM TO THE FOLLOWING REQUIREMENTS, PRIOR TO THE ADDITION OF LIME:

Retained on Sieve	Percent Required
2"	0
1 1/2"	20-40
No. 4	40-75
No. 60	70-90
Max. P.C.	15
Max. Wet Ball P.C.	15
Wet Ball Mill Max. Amount	50



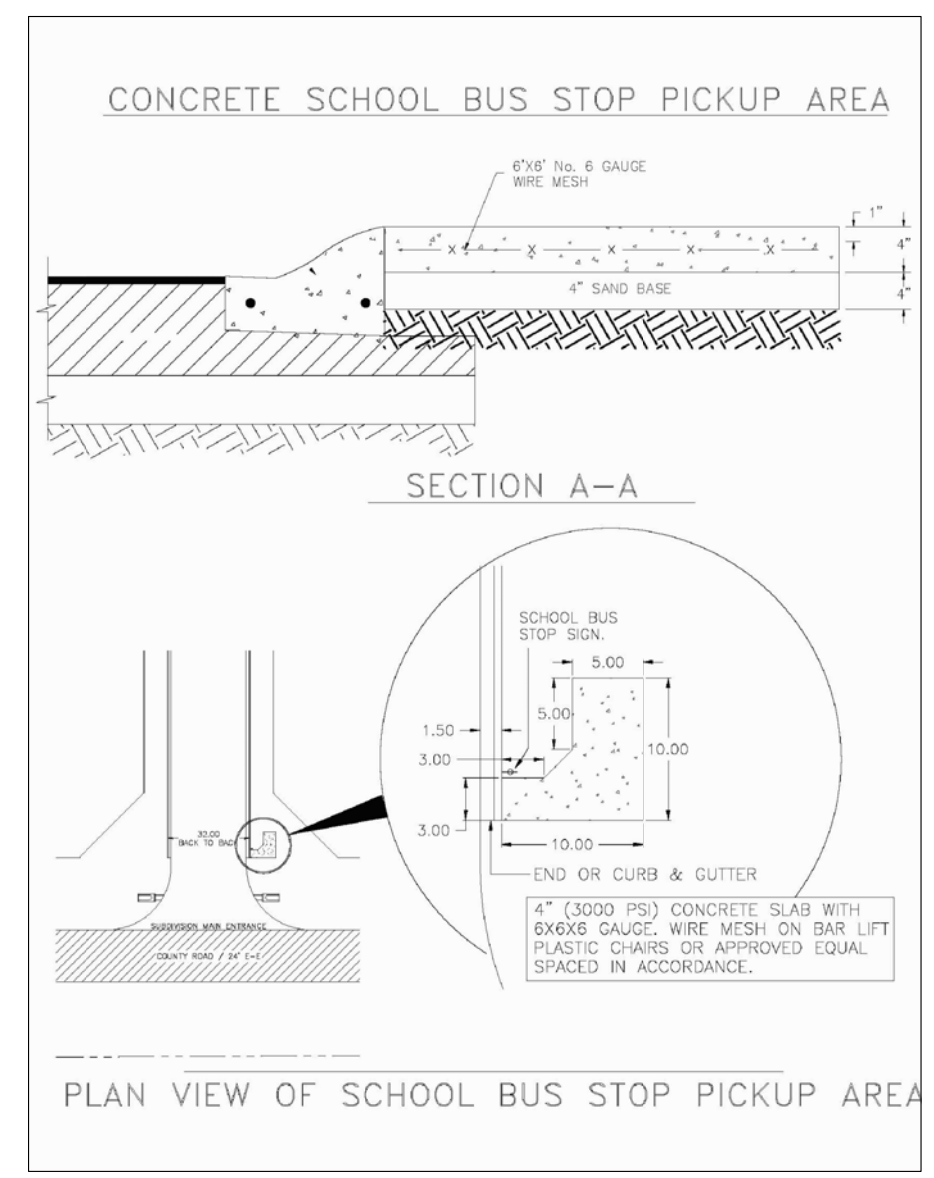
CURB AND GUTTER DETAIL

GENERAL NOTES:
1. CONCRETE SHALL BE 3000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAY.
2. ALL CONCRETE WORK SHALL BE TREATED WITH MEMBRANE CURING COMPOUND TYPE 2 WHITE PROMISSED IN ACCORDANCE W/ TEXAS DEPARTMENT OF TRANSPORTATION DEPARTMENTAL MATERIALS SPECIFICATION ITEM 4650, CONSIDERED INCIDENTAL TO CONCRETE WORK.
3. 1/2" EXPANSION JOINTS REQUIRED AT 40' c.c. AND AT THE BEGINNING AND END OF ALL RADI. CONTRACTION JOINTS SHALL NOT EXCEED 10' c.c.
4. EXPANSION JOINTS SHALL HAVE 1/2" EXPANSION JOINT MATERIAL, AND 3 No. 4, 24" SMOOTH DOWEL BARS COATED TO PREVENT BOND.



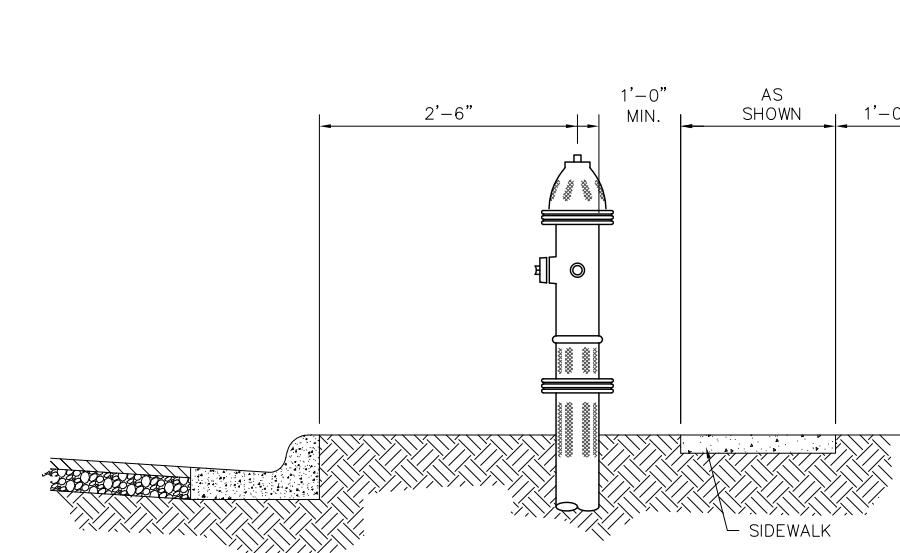
TYPICAL JOINTS

NOT TO SCALE

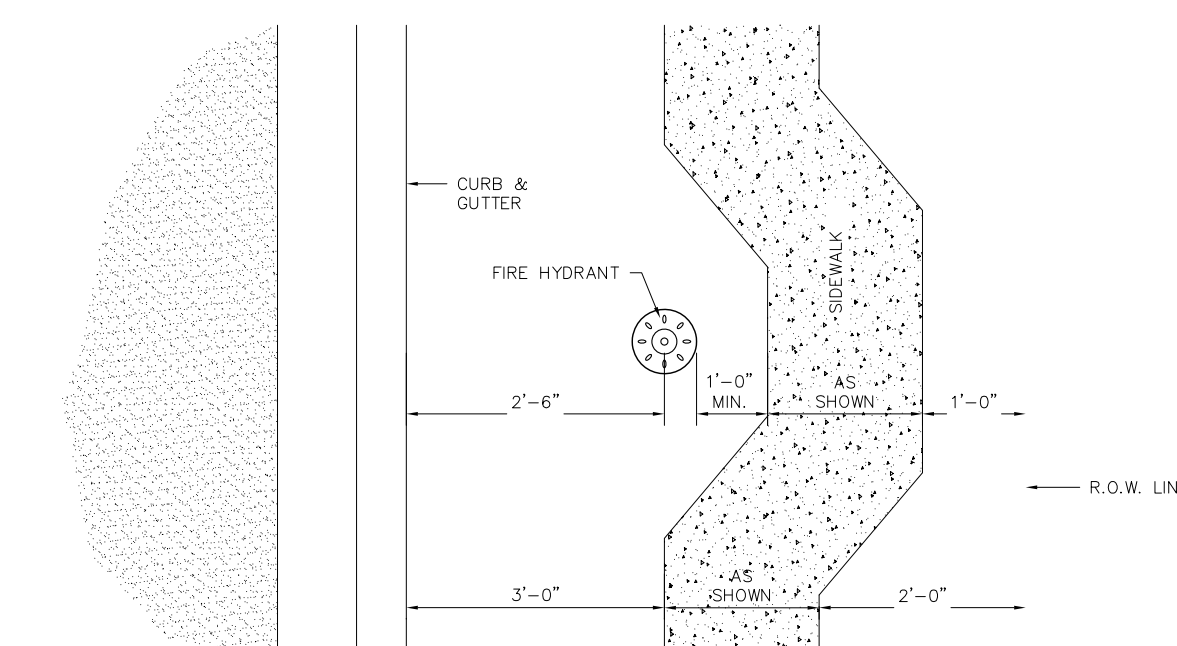


CONCRETE SCHOOL BUS STOP PICKUP AREA

NOT TO SCALE



FIRE HYDRANT LOCATION - PROFILE

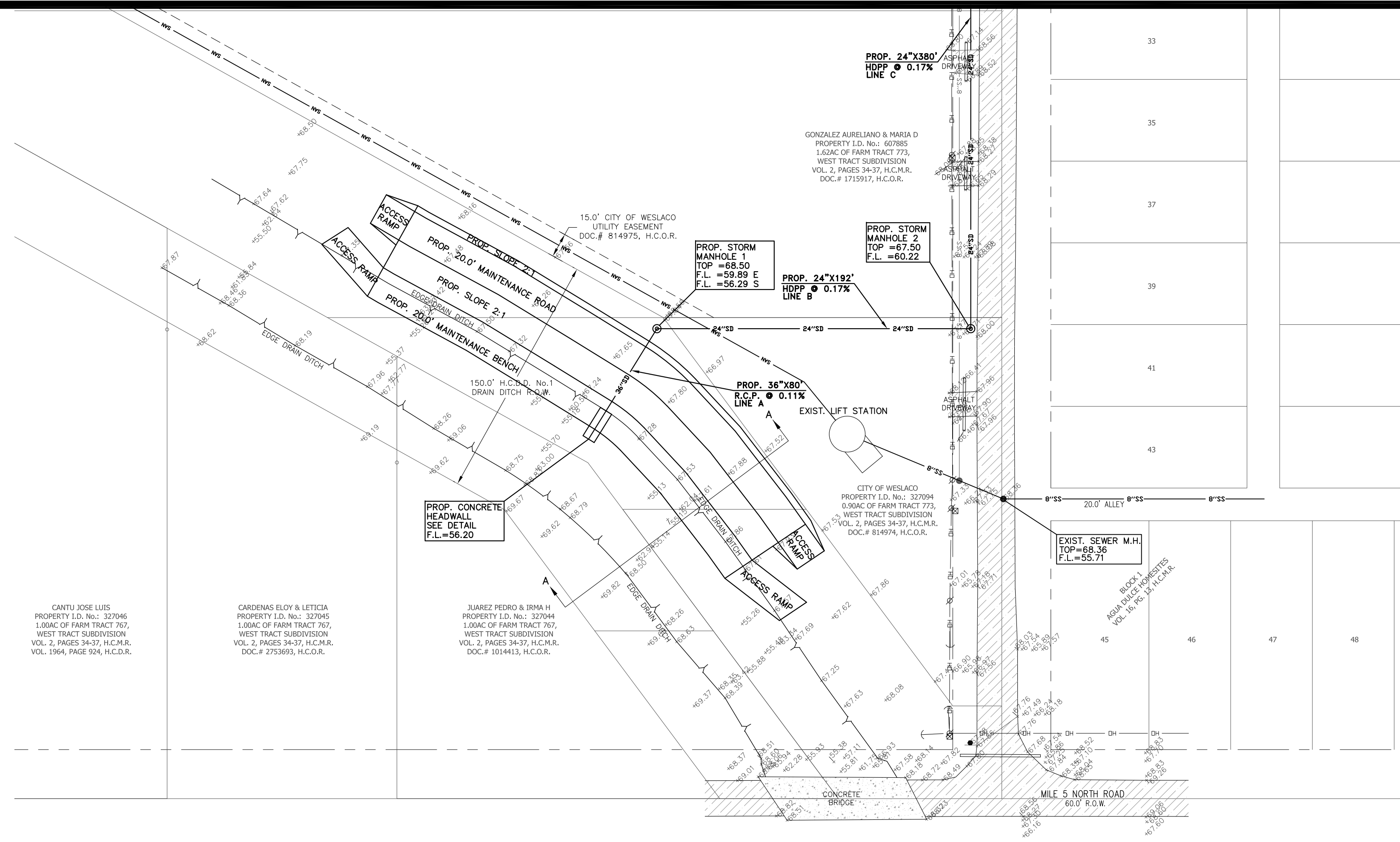


FIRE HYDRANT LOCATION - PLAN

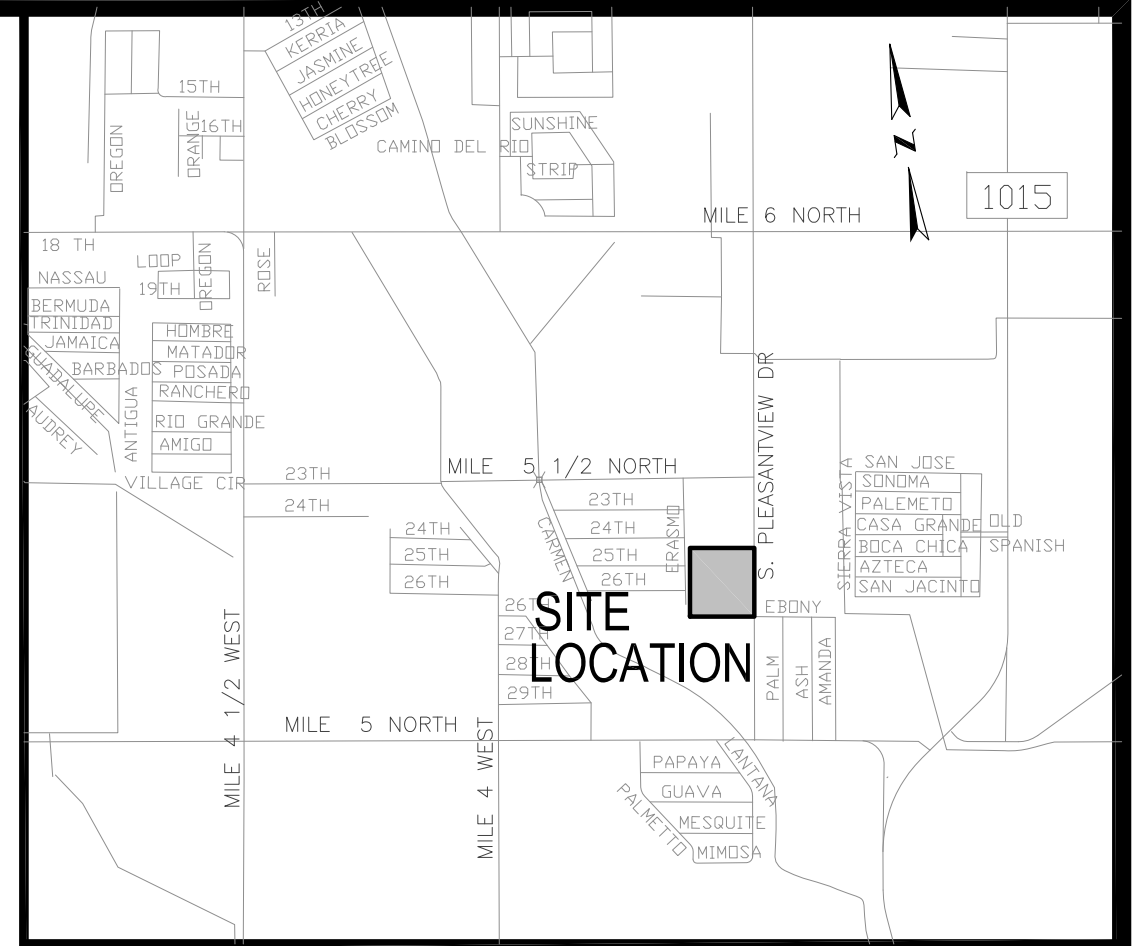
SIDEWALK DEVIATION AT FIRE HYDRANT

H.L.G. PLAN REVIEW SERVICES
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TBPE Firm Licensed No. F-10426

* ALL MATERIAL AND CONSTRUCTION TO COMPLY WITH COUNTY OF HIDALGO AND THE CITY OF WESLACO SPECIFICATIONS.



SCALE: 1" = 50'



LOCATION MAP SCALE 1"=2000'

PREPARED BY:
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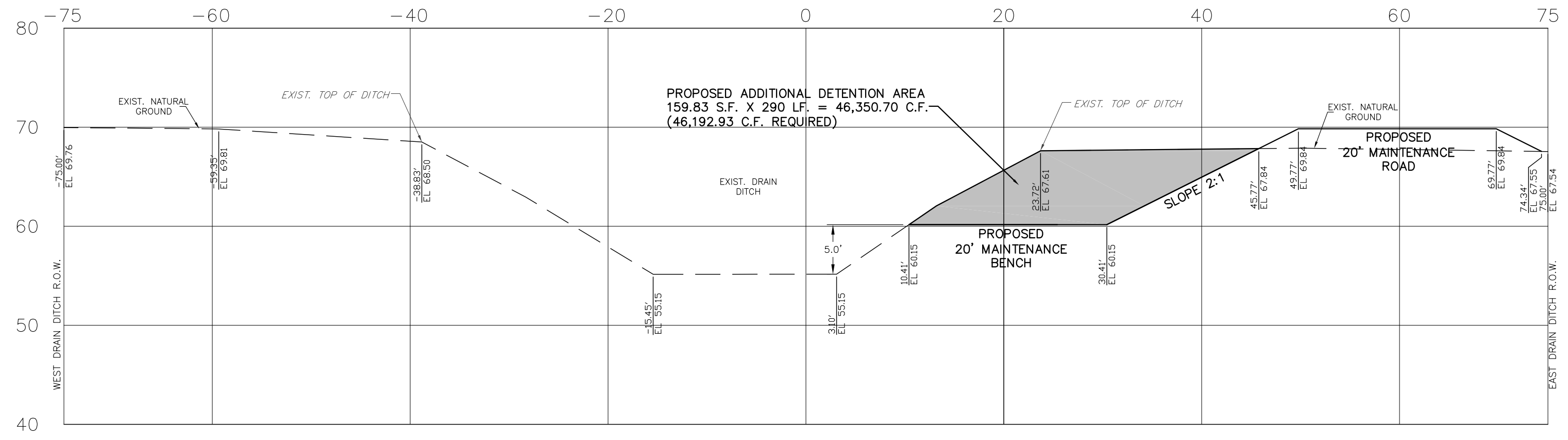
PLAT SHEET 6 OF 6
LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:
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PLEASANT VIEW ESTATES SUBDIVISION

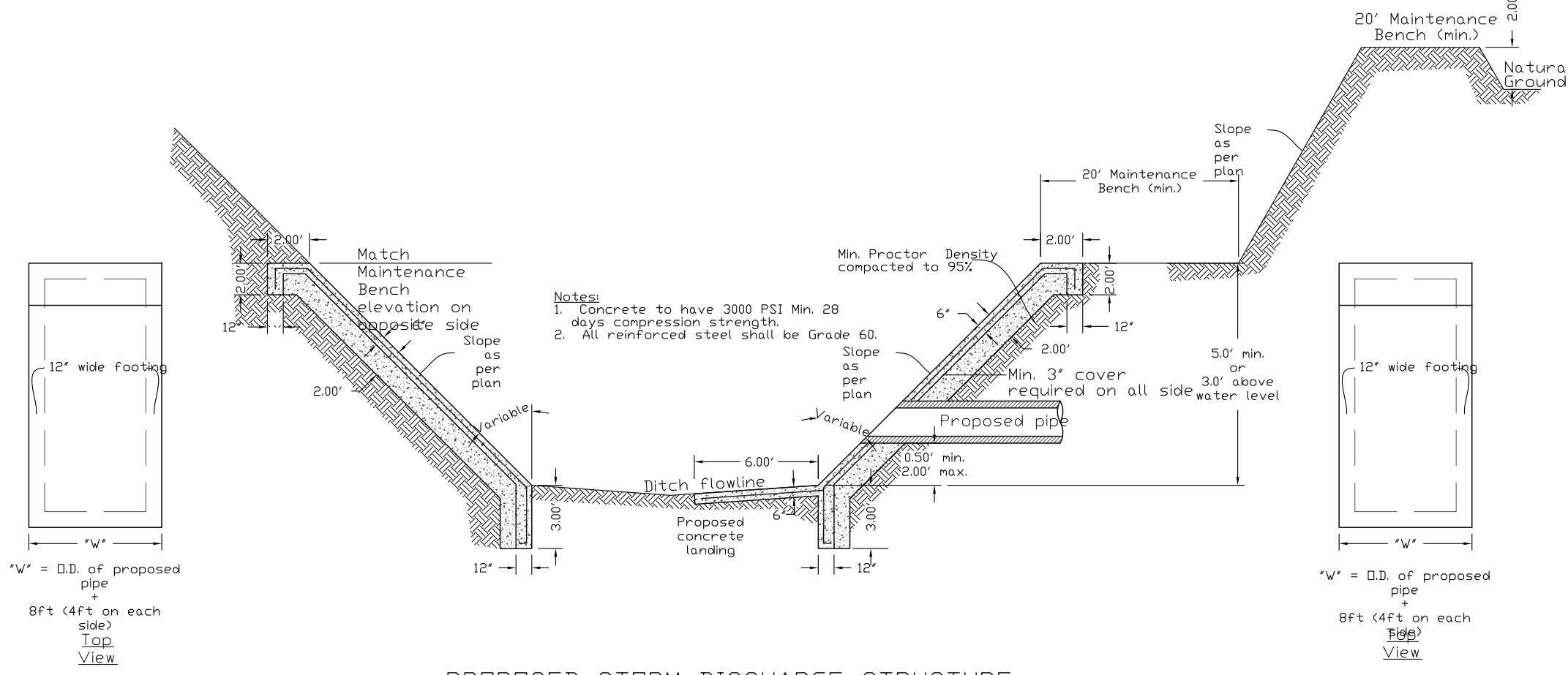
HIDALGO COUNTY, TEXAS

BEING A 10.984 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF FARM TRACT 772, BLOCK 137, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 02, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

DRAINAGE EXCAVATION MAP



DRAIN DITCH CROSS SECTION "A-A" SCALE: 1"=10'



PROPOSED STORM DISCHARGE STRUCTURE SCALE: N.T.S.

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FILED FOR RECORD
IN HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

REVISION NOTES				
NO.	SHEET	REVISION	DATE	APPROVED

INDEX SHEET OF PLEASANT VIEW ESTATES SUBDIVISION	
SHEET 1	HEADINGS; INDEX; LOCATION MAP PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES & BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; CITY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE E.T.J. OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. CERTIFICATION; IRRIGATION DISTRICT CERTIFICATE OF APPROVAL; N.A.W.S.C. EASEMENT DEDICATION; REVISION NOTES.
SHEET 2	WATER DISTRIBUTION AND SANITARY SEWER MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION); SUBDIVIDER'S CERTIFICATE AND STATEMENT.
SHEET 3	DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEER'S CERTIFICATION, REVISION NOTES; TYPICAL ROADWAY SECTION; CURB AND GUTTER SECTION.
SHEET 4	WATER AND SANITARY SEWER DETAILS
SHEET 5	PAVING AND DRAINAGE DETAILS
SHEET 6	DRAINAGE EXCAVATION MAP

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