



Anthony Uresti
Assistant Director

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 9-19-2023

PROPOSED TIERRA WISCONSIN PRECINCT No. 1.

ENGINEER: QUINTANILLA HEADLEY & ASSOCIATES DEVELOPER: LA MEDIA LUNA INVESTMENTS, LLC.

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 32 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INSTITUTIONAL

NUMBER OF STREETLIGHTS: 5

FILLING STATIONS: 2

LOCATION DESCRIPTION: SOUTH OF WISCONSIN ROAD APPROXIMATELY 660 FEET EAST OF DILLON ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF CITY OF DONNA

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 11-29-2022 PROPERTY LIES WITHIN FLOOD ZONE "C" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 20.0 FEET ONTO WISCONSIN ROAD.

H.C.R.O.W. FINAL APPROVAL DATE: 8-08-2023 BY, PRECINCT 1 R.O.W. AGENT

H.C.H.D. FINAL APPROVAL DATE: 8-15-2023 BY, ENVIRONMENTAL HEALTH DIVISION MANAGER

SEWER SYSTEM: OSSF'S HAVE BEEN ESCROWED.

WATER SERVICE PROVIDER: N.A.W.S.C. LINE SIZE: 8" LOCATION: WISCONSIN ROAD.

H.C.E.O.C. FINAL APPROVAL DATE: 8-04-2023 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

REQUEST FOR FINAL APPROVAL WITH: **CASH DEPOSIT: Amount: \$48,000.00 For: (32) OSSF'S.**

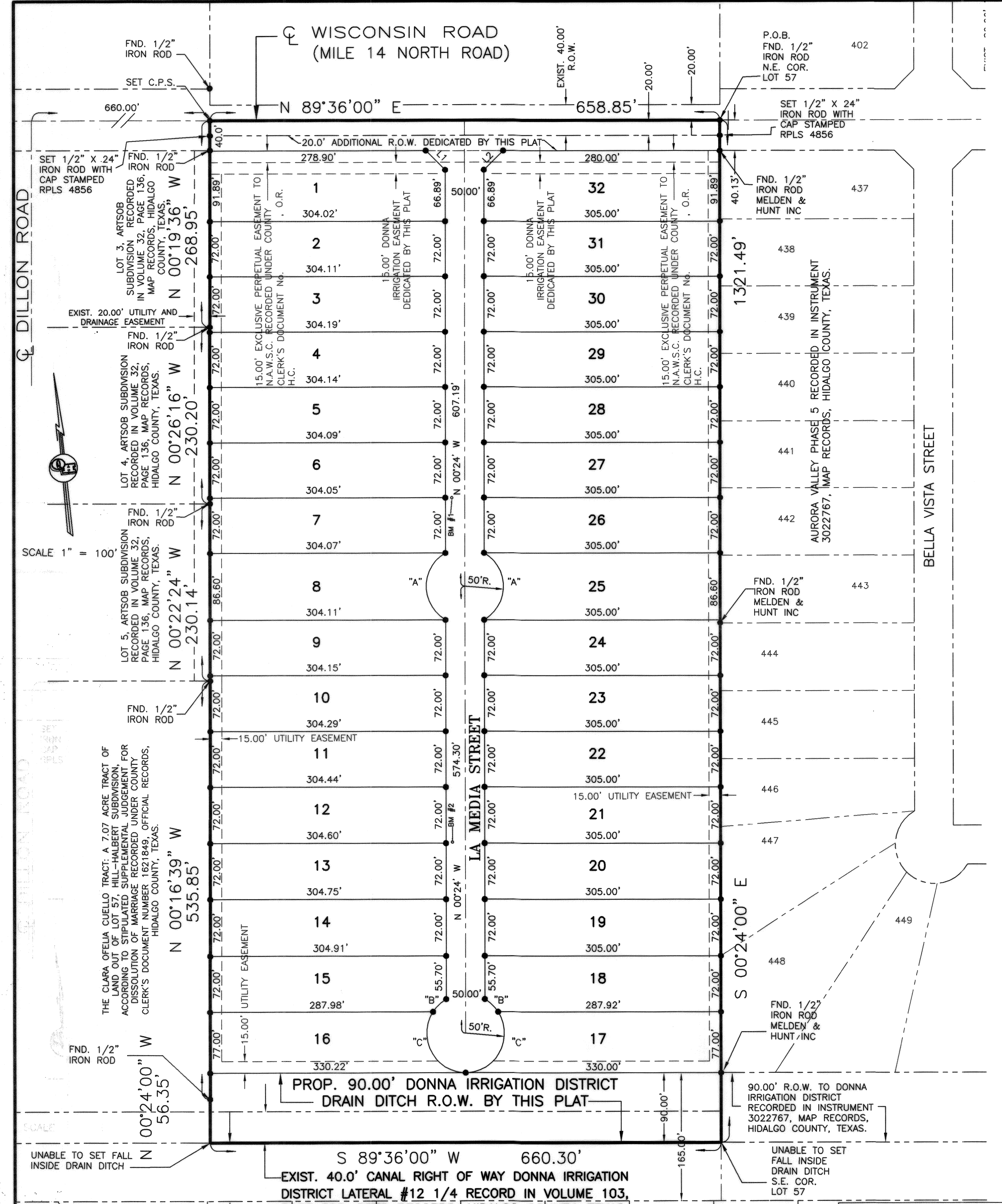
PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: FEBRUARY 02, 2023

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, other departments and the approval of the City of DONNA

Final Approval with financial guarantee.

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

*



LOT	AREA (S.F.)	AC.
1	27616.91	0.63
2	21892.67	0.50
3	21899.25	0.50
4	21899.94	0.50
5	21896.52	0.50
6	21893.10	0.54
7	21892.05	0.50
8	24821.87	0.57
9	21897.36	0.50
10	21903.33	0.54
11	21914.39	0.50
12	21925.48	0.50
13	21936.58	0.50
14	21947.67	0.50
15	21797.20	0.50
16	22176.29	0.51
17	22165.33	0.51
18	21798.44	0.50
19-24	21960.00	0.50
25	24878.31	0.57
26-31	21960.00	0.50
32	27712.47	0.64

DATA	BEARING	LENGTH
L1	S 45°24' E	35.36'
L2	S 44°36' E	35.36'

CURVE	Δ	RADIUS	ARCH LENGTH	CHORD LENGTH
"A"	120°00'00"	50.00'	104.72'	86.60'
"B"	27°18'59"	50.00'	23.84'	23.61'
"C"	122°41'01"	50.00'	107.06'	87.75'

PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE DESIGNATION: ZONE "C" AREAS OF MINIMAL FLOODING. (NO SHADING) COMMUNITY-PANEL NUMBER 48034-0425 C EFFECTIVE DATE: NOVEMBER 16, 1982. CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- LEGEND: ● DENOTES 1/2" X 24" IRON ROD SET WITH PLASTIC CAP STAMPED R.P.L.S. 4856, UNLESS OTHERWISE NOTED.
- GENERAL NOTE FOR SINGLE FAMILY RESIDENCES: NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED IN ALL DEEDS AND CONTRACTS FOR DEEDS. NO COMMERCIAL USE SHALL BE ALLOWED ON LOTS 2 THROUGH 31. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT. LOTS 2 THROUGH 14 ARE FOR RESIDENTIAL USE. LOTS 1 & 32 CAN BE FOR RESIDENTIAL OR COMMERCIAL USE.
- MINIMUM FINISH FLOOR ELEVATION: MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- MINIMUM BUILDING SETBACK LINES: FRONT: 25.00' FRONT CUL-DE-SAC: 15.00' FRONT GARAGE: 18.00' REAR: 15.00' SIDE: 6.00' CORNER SIDE: 10.00' OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
- DRAINAGE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DRAIN A TOTAL OF 82,103.86 CUBIC FEET (1.88 ACRE FEET) OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: SEE DRAINAGE REPORT ON SHEET No. 3.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- BENCHMARK NOTE: THE FOLLOWING BENCHMARK IS IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS: B.M. No. 1 ELEV.= 74.00 TOP OF INLET LOCATED NEAR THE SOUTHEAST CORNER OF LOT 6 OF THIS SUBDIVISION N.A.V.D. 88 DATUM. B.M. No. 2 ELEV.= 73.70 TOP OF INLET LOCATED NEAR THE SOUTHEAST CORNER OF LOT 12 OF THIS SUBDIVISION N.A.V.D. 88 DATUM.
- EACH PURCHASED CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT THE SUBDIVIDER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
- LA MEDIA LUNA INVESTMENTS, LLC., THE OWNER & SUBDIVIDER OF TIERRA WISCONSIN RETAINS AN EASEMENT UPON EACH LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET No. 2 OF THIS PLAT.
- ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS. A. OSSF SYSTEM IS BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWAGE ONLY. A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE. B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY. C. OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
- SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCEPT MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE EVALUATOR HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM. E. APPROVED OSSF PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4.
- AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT AND THE OFFICE OF ENVIRONMENTAL COMPLIANCE SHALL BE REQUIRED FOR COMMERCIAL USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. NO WATER OR LIGHT CLEARANCE SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATE STANDARDS.
- LOTS 1 AND 32 SHALL NOT HAVE ACCESS/DRIVEWAY ONTO WISCONSIN ROAD UNLESS UTILIZED FOR COMMERCIAL USE. IF THE FOREMENTIONED LOTS ARE UTILIZED FOR COMMERCIAL USE, THEN THE LOT OWNER WILL BE REQUIRED TO INSTALL A BUFFER FENCE ABUTTING ALL RESIDENTIAL LOTS. LOCATION OF ACCESS/DRIVEWAY SHALL BE SHOWN ON THE SITE PLAN AS PER NOTE 15 AND IS SUBJECT TO APPROVAL FROM THE HIDALGO COUNTY PLANNING DEPARTMENT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAIN VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

INDEX OF SHEETS

SHEET 1 - HEADING INDEX: LOCATION MAP AND ETJ: PRINCIPAL CONTACTS: MAP: LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); ENGINEER'S & SURVEYOR'S CERTIFICATION; NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, PLAT ATTESTATION; COUNTY CLERK'S RECORDING CERTIFICATION; CITY OF DONNA MAYOR CERTIFICATION; CITY OF DONNA PLANNING DEPT. CERTIFICATION; HODD NO. 1 CERTIFICATION; NORTH ALAMO WSC STATEMENT; HEALTH DEPARTMENT CERTIFICATION; DONNA IRRIGATION DISTRICT CERTIFICATION AND COUNTY JUDGE'S CERTIFICATION; REVISION NOTES.

SHEET 2 - ENGINEERING REPORT: INCLUDING DESCRIPTION OF WATER DISTRIBUTION SYSTEM, OSSF OR WASTE WATER COLLECTION SYSTEM AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION) SUBDIVIDER CERTIFICATE & STATEMENT; REVISION NOTES.

SHEET 3 - DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DRAINAGE SWALES, MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERING CERTIFICATION, CONSTRUCTION DETAILS, REVISION NOTES.

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS LAND SURVEYORS
124 E. STUBBS ST. EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1513 SURVEYING REGISTRATION NUMBER 100411-00

SUBDIVISION PLAT OF:
TIERRA WISCONSIN

A 20.00 ACRE TRACT OF LAND BEING THE EAST 20.00 ACRES OF LOT 57, HILL-HALBERT SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 1, PAGE 35, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3413733, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS
A 20.00 ACRE TRACT OF LAND BEING THE EAST 20.00 ACRES OF LOT 57, HILL-HALBERT SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 1, PAGE 35, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3413733, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT A 1/2" IRON ROD FOUND IN THE CENTERLINE OF WISCONSIN ROAD FOR THE NORTHEAST CORNER OF LOT 57 AND THE NORTHEAST CORNER OF THIS TRACT.
THENCE: S 00°24'00" E, ALONG THE EAST LINE OF LOT 57, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 20.00 FEET FOR THE SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD, PASSING AT 1,281.49 FEET THE NORTH LINE OF AN 80.00 FOOT DONNA IRRIGATION DISTRICT CANAL RIGHT OF WAY, A TOTAL DISTANCE OF 1,321.49 FEET (MAP RECORD: 1,320.00 FEET) TO A POINT FOR THE SOUTHEAST CORNER OF LOT 57 AND THE SOUTHEAST CORNER OF THIS TRACT.
THENCE: S 89°36'00" W, ALONG THE SOUTH LINE OF LOT 57, A DISTANCE OF 660.30 FEET TO A POINT FOR THE SOUTHWEST CORNER OF THE CLARA OFELIA CUELLO TRACT (A 7.07 ACRE TRACT OUT OF LOT 57, HILL-HALBERT SUBDIVISION, ACCORDING TO STIPULATED SUPPLEMENTAL JUDGEMENT FOR DISSOLUTION OF MARRIAGE (RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1621849, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE SOUTHWEST CORNER OF THIS TRACT.
THENCE: N 00°24'00" W, ALONG THE EAST LINE OF THE CLARA OFELIA CUELLO TRACT, PASSING AT 40.00 FEET THE NORTH LINE OF SAID 80.00 FOOT DONNA IRRIGATION DISTRICT CANAL RIGHT OF WAY, A TOTAL DISTANCE OF 56.35 FEET TO A 1/2" IRON ROD FOUND FOR AN EXTERIOR CORNER OF THIS TRACT.
THENCE: N 00°16'39" W, ALONG THE EAST LINE OF THE CLARA OFELIA CUELLO TRACT, A DISTANCE OF 535.85 FEET TO A 1/2" IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID TRACT, THE SOUTHWEST CORNER OF ARTSOB SUBDIVISION (RECORDED IN VOLUME 32, PAGE 136, MAP RECORDS, HIDALGO COUNTY, TEXAS) AND AN INTERIOR CORNER OF THIS TRACT.
THENCE: N 00°22'24" W, ALONG THE EAST LINE OF ARTSOB SUBDIVISION, A DISTANCE OF 230.14 FEET TO A 1/2" IRON ROD FOUND FOR AN INTERIOR CORNER OF THIS TRACT.
THENCE: N 00°26'16" W, ALONG THE EAST LINE OF ARTSOB SUBDIVISION, A DISTANCE OF 230.20 FEET TO A 1/2" IRON ROD FOUND FOR AN EXTERIOR CORNER OF THIS TRACT.
THENCE: N 00°19'36" W, ALONG THE EAST LINE OF ARTSOB SUBDIVISION, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 248.95 FEET FOR THE SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD, A TOTAL DISTANCE OF 268.95 FEET TO A COTTON PICKER SPINDLE SET ON THE NORTH LINE OF LOT 57 AND IN THE CENTERLINE OF WISCONSIN ROAD FOR THE NORTHWEST CORNER OF THIS TRACT.
THENCE: N 89°36'00" E, ALONG THE NORTH LINE OF LOT 57 AND THE CENTERLINE OF WISCONSIN ROAD, A DISTANCE OF 658.85 FEET TO THE POINT OF BEGINNING AND CONTAINING 20.00 ACRES OF LAND MORE OR LESS.
BEARINGS ARE IN ACCORDANCE WITH SAN LUCIO SUBDIVISION No. 2, RECORDED IN INSTRUMENT NUMBER 3079692, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

ALFONSO QUINTANILLA
R.P.L.S. No. 4856
DATE: NOVEMBER 16, 2022

RIGHT OF WAY EASEMENT
KNOW ALL MEN BY THESE PRESENTS, that the undersigned, owners of the property shown on the plat, their successors, assigns, and transferees (hereinafter called "Grantor" whether one or more persons are named), in consideration of one dollar (\$1.00) and other good and valuable consideration paid by North Alamo Water Supply Corporation, (hereinafter called "Grantee"), the receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain, sell, transfer, and convey to said Grantee, its successors, and assigns, an exclusive perpetual easement with the right to erect, construct, install and thereafter use, operate, inspect, repair maintain, replace, and remove water distribution lines and appurtenances over and across lands shown on this plat, together with the right of ingress and egress over Grantor's adjacent lands of the purpose for which the above mentioned rights are granted. The easement hereby granted shall not exceed 15' in width, and Grantee is hereby authorized to designate the course of the easement herein conveyed except that when the pipeline(s) is installed, the easement herein granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline installed.

In the event the easement hereby granted abuts on a public road and the City, County or State hereafter widens or relocates the public road so as to require the relocation of this water line as installed, Grantor further agrees to Grantee an additional easement over and across the land shown on this plat for the purpose of laterally relocate said water line as may be necessary to clear the road improvements, which easement hereby granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline as relocated.

The consideration recited herein shall constitute payment in full for all damages sustained by Grantor by reason of the installation, maintenance, repair, replacement and relocation of the structures issued to herein. This agreement together with other provisions of this grant shall constitute an easement for the benefit of the Grantee, its successors, and assigns. The Grantor covenants that it is the owner of the above-described lands and that said lands are free and clear of all encumbrances and liens except the following:

The easement conveyed herein was obtained or improved through Federal financial assistance. This easement is subject to the provisions of Title VI of the Civil Rights Act of 1964 and the regulations issued pursuant thereto for so long as the easement continues to be used for the same or similar purpose for which financial assistance was extended or for so long as the Grantee owns it, whichever is longer.

IN WITNESS WHEREOF, the said Grantor has executed this instrument this ____ day of ____ 20____.

LA MEDIA LUNA INVESTMENTS, LLC.
TILLMIN WELCH, MANAGER
906 BIGHORN DRIVE
EDINBURG TX, 78542

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF TIERRA WISCONSIN WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON ____.

ENVIRONMENTAL HEALTH DIVISION MANAGER _____ DATE _____

REVISION NOTES

No.	Sheet	REVISION	Date	Approved

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

ALFONSO QUINTANILLA
P.E. No. 95534
DATE: 9-3-23

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF TIERRA WISCONSIN WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON ____.

ENVIRONMENTAL HEALTH DIVISION MANAGER _____ DATE _____

REVISION NOTES

No.	Sheet	REVISION	Date	Approved

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, TILLMIN WELCH, MANAGER OF LA MEDIA LUNA INVESTMENTS, LLC., AS OWNER OF THE 20.00 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED TIERRA WISCONSIN, HEREBY SUBDIVIDE THE LAND AS DESCRIBED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
- GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

LA MEDIA LUNA INVESTMENTS, LLC.
TILLMIN WELCH, MANAGER
906 BIGHORN DRIVE
EDINBURG TX, 78542

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared
TILLMIN WELCH, MANAGER OF LA MEDIA LUNA INVESTMENTS, LLC.,
proved to me through the Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that he executed the same for the purposes and consideration thereby expressed.

Given under my hand and seal of office this ____ day of _____, 20____.

CLARISSA QUINTANILLA - NOTARY PUBLIC

CITY OF DONNA, TX
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 212.009(c) AND § 212.0115(b)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF TIERRA WISCONSIN WAS received and approved by the city Council of the City of DONNA on ____.

Mayor of the City of DONNA _____ Date _____

ATTEST: _____
Secretary of the City of DONNA _____ Date _____

APPROVAL OF THE PLANNING COMMISSION OF THE CITY:
THIS PLAT TIERRA WISCONSIN HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION ON THE CITY OF DONNA, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS ____ DAY OF ____ 20____.

ATTEST: _____ BY: _____
SECRETARY CHAIRMAN PLANNING COMMISSION

CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028(a)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF TIERRA WISCONSIN WAS reviewed and approved by the Hidalgo County Commissioners Court on ____.

ATTEST: _____
Hidalgo County Clerk _____ date _____ Hidalgo County Judge _____ date _____

THIS PLAT APPROVED BY DONNA IRRIGATION DISTRICT ON THIS ____ DAY OF ____ 20____.

SECRETARY _____ PRESIDENT _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.
GENERAL MANAGER _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

ALFONSO QUINTANILLA
P.E. No. 95534
DATE: 9-3-23

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

FILENAME: F:\DATA\SUBD\DONNA\TIERRA WISCONSIN\PLAT
SHEET NO. 1 OF 3 SHEETS
DATE PREPARED: 11-16-22 PREPARED BY: M.G. A.Q.
DATE REVISSED: 8-3-2023 REVISSED BY: G.C. APPROVED BY: A.Q.

DATE OF PREPARATION: NOVEMBER 16, 2022

SUBDIVISION PLAT OF:
TIERRA WISCONSIN

A 20.00 ACRE TRACT OF LAND BEING THE EAST 20.00 ACRES OF LOT 57, HILL-HALBERT SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 1, PAGE 35, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO QUITCLAIM DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1118037, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

FINAL ENGINEERING REPORT FOR TIERRA WISCONSIN
BY MARCO A. GONZALEZ, P.E.

WATER SUPPLY: Description and Costs.

TIERRA WISCONSIN WILL BE PROVIDED WITH POTABLE WATER BY THE NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION. N.A.W.S.C. HAS AN EXISTING 8" DIAMETER WATERLINE RUNNING ALONG THE SOUTH SIDE OF WISCONSIN ROAD.

WATER SYSTEM FOR TIERRA WISCONSIN CONSISTS OF A 8" DIAMETER WATERLINE THAT CONNECTS INTO THE EXISTING 8" DIAMETER WATERLINE ON THE NORTHEAST CORNER OF THE SUBDIVISION AND RUNS WEST ALONG THE SOUTH SIDE OF WISCONSIN ROAD. IT RUNS SOUTH, ALONG THE WEST SIDE OF STREET 01, ENDING WITH A 2" FLUSH VALVE LOCATED ON THE SOUTH SIDE OF SUBDIVISION.

FROM THE 8" DIAMETER WATERLINE SIXTEEN (16) 1" DUAL SERVICE LINES RUNNING TO PAIR OF LOTS BEFORE SPLITTING INTO TWO 3/4" DIAMETER SINGLE SERVICE LINES THAT RUN INTO THE WATER METER BOXES FOR EACH LOT.

THE 8" WATERLINE, 6" WATERLINE, THE 1" DUAL SERVICE LINES, AND THE METER BOXES WILL BE INSTALLED, AT A TOTAL COST OF \$124,780.00 OR \$3,899.37 PER LOT. THE SUBDIVIDER HAS IN ADDITION PAID N.A.W.S.C. THE SUM OF \$22,000.00 OR \$687.50 PER LOT, WHICH REPRESENTS THE TOTAL COST OF WATER METERS AND ALL MEMBERSHIPS OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO THE N.A.W.S.C. SYSTEM. THE SUBDIVIDER WILL INSTALL TWO (2) FIRE HYDRANTS AT A UNIT COST OF \$4,500.00 FOR A TOTAL COST OF \$9,000.00. THE ENTIRE WATER FACILITIES WILL BE APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

SEWAGE FACILITIES: Description and Costs.

SEWAGE FROM THE TIERRA WISCONSIN, IS TREATED BY INDIVIDUAL ON-SITE SEWAGE FACILITIES ("OSSF") CONSISTING OF A STANDARD DESIGN DUAL COMPARTMENT SEPTIC TANK AND A DRAINFIELD ON EACH LOT. THE SITE EVALUATOR (LICENSE NUMBER OS 12258) HAS EVALUATED THE SUITABILITY OF THE SUBDIVISION SITE FOR OSSF AND SUBMITTED A REPORT CONCLUDING THAT THE SITE IS SUITABLE FOR OSSF. THE REPORT WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT. EACH LOT HAS ADEQUATE AREA FOR A REPLACEMENT DRAIN FIELD.

EACH LOT IN THE EXISTING SUBDIVISION IS AT LEAST 1/2 ACRE IN SIZE. THE NATURAL RESOURCE CONSERVATION SERVICE SOIL SURVEY BOOK INDICATED A CLASS III SANDY CLAY LOAM SOIL FOR THE AREA. THE SITE EVALUATOR (LICENSE NUMBER OS 12258) HAD (8) EIGHT TEST BORINGS MADE AT OPPOSITE AREAS OF THE SUBDIVISION AT THE CENTERS OF LOTS 3, 7, 11, 16, 17, 22, 26, & 30 (ADDITIONAL BORINGS WERE UNNECESSARY BECAUSE THE SOILS ARE VERY UNIFORM WITHIN THIS LIMITED AREA). THE SOIL IS A UNIFORM SANDY LOAM (CLASS II) EXTENDING UP TO 36" BELOW THE BOTTOM OF ANY EXISTING EXCAVATIONS. THERE IS NO INDICATION OF GROUNDWATER OR A RESTRICTIVE LAYER WITHIN 24" OF BOTTOM OF THE EXISTING EXCAVATIONS. THE SUBDIVISION DRAINS WELL.

THE ESTIMATED COST TO INSTALL A SEPTIC SYSTEM ON AN INDIVIDUAL LOT IS \$1,500.00, INCLUDING THE COSTS FOR THE REQUIRED PERMIT AND LICENSE. NO OSSFS HAVE BEEN INSTALLED ON THESE LOTS AS OF THE TIME OF APPLICATION FOR FINAL PLAT APPROVAL. WITH THE FILING OF THIS FINAL PLAT, THE SUBDIVIDER IS PROVIDING ADEQUATE FINANCIAL GUARANTEES OF PERFORMANCE IN THE FORM OF A PERSONAL CHECK REPRESENTING A "CASH DEPOSIT" TO BE HELD BY THE COUNTY OF HIDALGO IN ESCROW IN THE AMOUNT OF \$48,000.00 WHICH IS THE ESTIMATED TOTAL COST TO INSTALL A SEPTIC TANK SYSTEM ON EACH LOT. THE SUBDIVIDER WILL INCLUDE THE COST OF A SEPTIC TANK SYSTEM IN THE SALE PRICE OF THE LOT.

CERTIFICATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL THE CONSTRUCTED WATER AND ON-SITE SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES— THESE FACILITIES WILL BE CONSTRUCTED, WITH THE INSTALLATION OF WATER METER BOXES, HAVE COST A GRAND TOTAL OF \$146,780.00 WHICH EQUALS TO \$4,586.87 PER LOT.

SEWAGE FACILITIES— SEPTIC SYSTEM IS ESTIMATED TO COST \$1,500.00 PER LOT (ALL INCLUSIVE), FOR A TOTAL OF \$48,000.00 FOR THE ENTIRE SUBDIVISION.



Alfonso Quintanilla
ALFONSO QUINTANILLA
P.E. No. 95534

8-3-23
DATE

REPORT FINAL DE INGENIERIA PARA LA SUBDIVISION TIERRA WISCONSIN
POR MARCO A. GONZALEZ, P.E.

PROVISION DE AGUA: Descripción y Gastos.

LA SUBDIVISION TIERRA WISCONSIN HA SIDO PROVISTA DE AGUA POTABLE POR LA COMPAÑIA DE AGUA DE NORTH ALAMO (N.A.W.S.C.). EL DUEÑO DE LA SUBDIVISION Y LA COMPAÑIA DE AGUA N.A.W.S.C. SE HA COMPROMETIDO A PROVEER DE AGUA SUFICIENTE A LA SUBDIVISION POR UN PERIODO DE 30 AÑOS. LA COMPAÑIA DE AGUA N.A.W.S.C. HA PRESENTADO LA DOCUMENTACION DEMOSTRANDO LA DISPONIBILIDAD DE CANTIDAD Y CALIDAD DE AGUA A LARGO PLAZO QUE SERVIRÁ PARA EL FUTURO DESARROLLO DE LA SUBDIVISION.

N.A.W.S.C. TIENE UNA LINEA DE AGUA DE 8" DE DIAMETRO EN LA ESQUINA NORESTE DEL SUBDIVISION. UNA LINEA DE AGUA DE 8" DE DIAMETRO CONECTA CON LA LINEA DE AGUA DE 8" DE DIAMETRO Y CORRE OESTE POR EL LADO SUR DE WISCONSIN ROAD. OTRA LINEA DE AGUA DE 8" CORRE SUR POR EL LADO OESTE DE LA CALLE STREET 01.

DEL CONDUCTO DE AGUA DE 6 PULGADAS SE PRODUCEN DIES Y SEIS (16) DOBLE-CONDUCTOS DE AGUA DE 1 PULGADA DE DIAMETRO PARA CADA DOS LOTES. ESTOS CONDUCTOS SE SEPARAN PARA PRODUCIR DOS CONDUCTOS DE AGUA DE 3/4" DE PULGADA DE DIAMETRO PARA CADA LOTE.

LOS DOBLE-CONDUCTOS DE AGUA DE 1 PULGADA DE DIAMETRO, Y LOS MEDIDORES MECANICOS DE AGUA A UN COSTO TOTAL DE US\$124,780.00 O US\$3,899.37 POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A LA COMPAÑIA N.A.W.S.C. US\$22,000.00 QUE CUBRE EL COSTO DEL MEDIDOR MECANICO DE AGUA PARA CADA LOTE, US\$687.50. ESTE PRECIO INCLUYE EL COSTO DE LA INSTALACION DE CADA MEDIDOR Y LOS GASTOS DE CONEXION. CUANDO EL DUEÑO DE CADA LOTE SOLICITE UN MEDIDOR DE AGUA, LA COMPAÑIA N.A.W.S.C. LO INSTALARA SIN ALGUN GASTO AL DUEÑO. EL DUEÑO DE LA SUBDIVISION INSTALARA DOS (2) BOCAS DE RIEGO (FIRE HYDRANT) A UN COSTO DE \$4,500.00. POR CADA UNO CUAL GASTA UNA CANTIDAD TOTAL \$9,000.00. EL SISTEMA DE AGUA ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

DRENAJE: Descripción y Gastos.

SE INSTALARA UNA FOSA SEPTICA EN CADA SOLAR DE LA SUBDIVISION TIERRA WISCONSIN. ESTA FOSA SEPTICA CONSISTE DE UN TANQUE SEPTICO DE MODELO DUAL Y DE UN CAMPO DE DRENAJE PARA EL SOLAR. EL EVALUADOR (LIC# OS 12258) AUTOR DE ESTE DOCUMENTO HA EVALUADO EL AREA DONDE SE ENCUENTRA LA SUBDIVISION Y HA PREPARADO UN REPORTE QUE CONCLUYE QUE ESTE TERRENO ES ADECUADO PARA ESAS FOSAS SEPTICAS (OSSF). EL REPORTE FUE APROBADO POR EL DEPARTAMENTO DE SALUBRIDAD DEL CONDADO DE HIDALGO COUNTY HEALTH DEPARTMENT) SEGUN EL REPORTE.

CADA LOTE EN LA SUBDIVISION MIDE MEDIO ACRE. EL EVALUADOR (LIC# OS 12258) HIZO (8) OCHO PRUEBAS CON AGUJEROS EN EL CENTRO DE LOS LOTES 3, 7, 11, 16, 17, 22, 26, & 30 (EXCAVACIONES ADICIONALES NO FUERON NECESARIAS PORQUE EL TERRENO EN ESTA AREA ES SIGNIFICATIVAMENTE UNIFORME). EL TERRENO ES UNIFORME FRANCO ARENOSO (CLASS III) Y SE EXTIENDE A 36 PULGADAS BAJO TODAS LAS EXCAVACIONES PROPUESTAS. EXISTE EVIDENCIA DE AGUA 24 PULGADAS MAS ARRIBA DE LO MAS BAJO DE LAS EXCAVACIONES PROPUESTAS. EL AGUA EN ESTA AREA FLUYE BIEN.

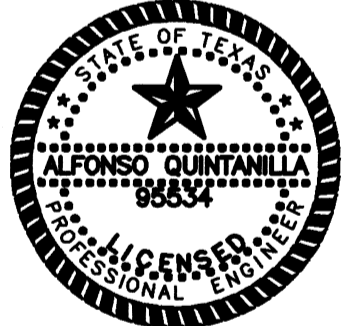
EL ARCHIVAMIENTO DEL PLAN FINAL, EL DUEÑO DE LA SUBDIVISION PROPORCIONARA UNA GARANTIA FINANCIERA ADECUADA CON DESEMPEÑO EN FORMA DE UN CHEQUE PERSONAL REPRESENTANDO UN "DEPOSITO EN EFECTIVO" OBTENIDO POR EL CONDADO DE HIDALGO EN LA CANTIDAD DE US\$48,000.00 O EQUIVALE A US\$1,500.00 QUE ES EL COSTO TOTAL ESTIMADO PARA INSTALAR UN SISTEMA DE FOSA SEPTICAS EN CADA TERRENO. EL DUEÑO DE LA SUBDIVISION INCLUIRA EL COSTO DE UN SISTEMA DE FOSA SEPTICAS EN EL PRECIO DE VENTA DEL TERRENO.

CERTIFICACION

CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO, CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

AGUA: EL SISTEMA/SERVICIO DE AGUA ESTA TOTALMENTE CONSTRUIDO, CON LA INSTALACION DE LOS MEDIDORES DE AGUA. EL GRAN COSTO TOTAL ES DE US\$146,780.00 LO CUAL EQUIVALE A US\$4,586.87 POR LOTE.

DRENAJE: SE ESTIMA QUE LA FOSA SEPTICA COSTARA \$1,500.00 A UN COSTO TOTAL DE \$48,000.00 TODA LA SUBDIVISION.



Alfonso Quintanilla
ALFONSO QUINTANILLA
P.E. No. 95534

8-3-23
DATE

COST ESTIMATE

WATER DISTRIBUTION:	\$124,780.00
DRAINAGE IMPROVEMENTS:	\$160,080.00
PAVING IMPROVEMENTS:	\$230,635.00
PAVING WISCONSIN RD.	\$82,080.00
SEPTIC TANK (OSSF):	\$48,000.00

SUBDIVIDER CERTIFICATION

1.- BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

1.- I (WE), TILLMIN WELCH, MANAGER SUBDIVIDERS OF TIERRA WISCONSIN SUBDIVISION HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

LA MEDIA LUNA INVESTMENTS, LLC.
TILLMIN WELCH, MANAGER
906 BIGHORN DRIVE
EDINBURG TX, 78542

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared
TILLMIN WELCH, MANAGER

proved to me through his Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that he executed the same for the purposes and consideration thereby expressed.

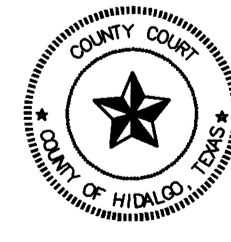
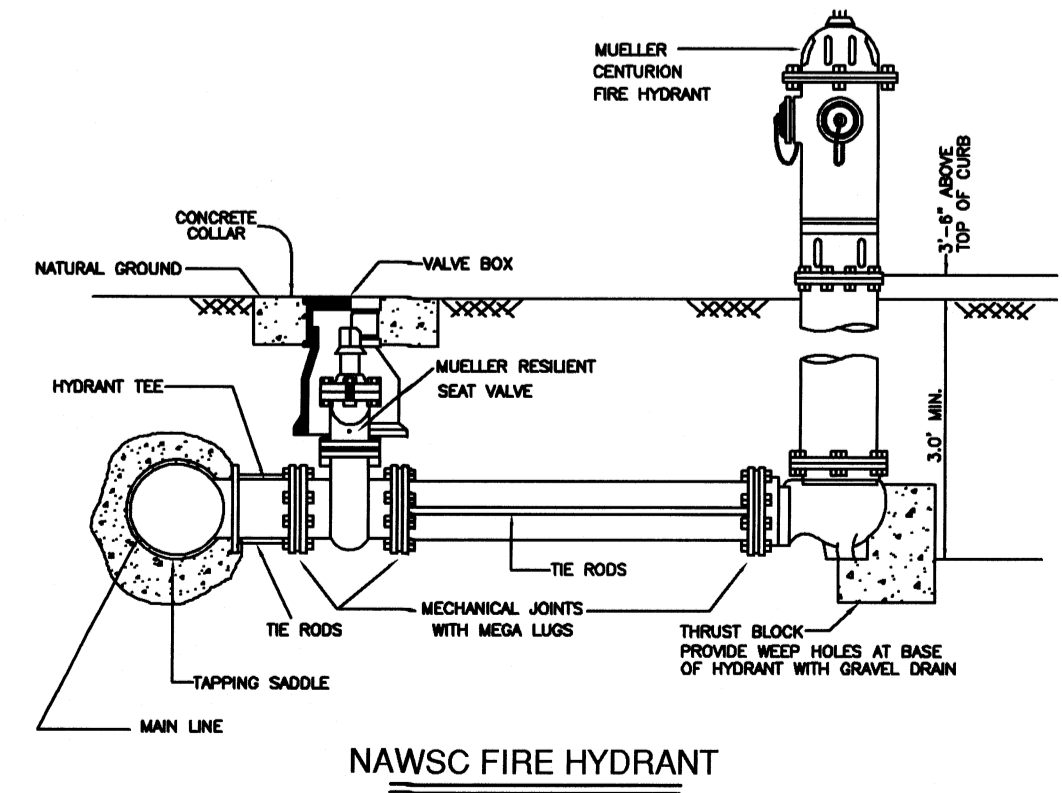
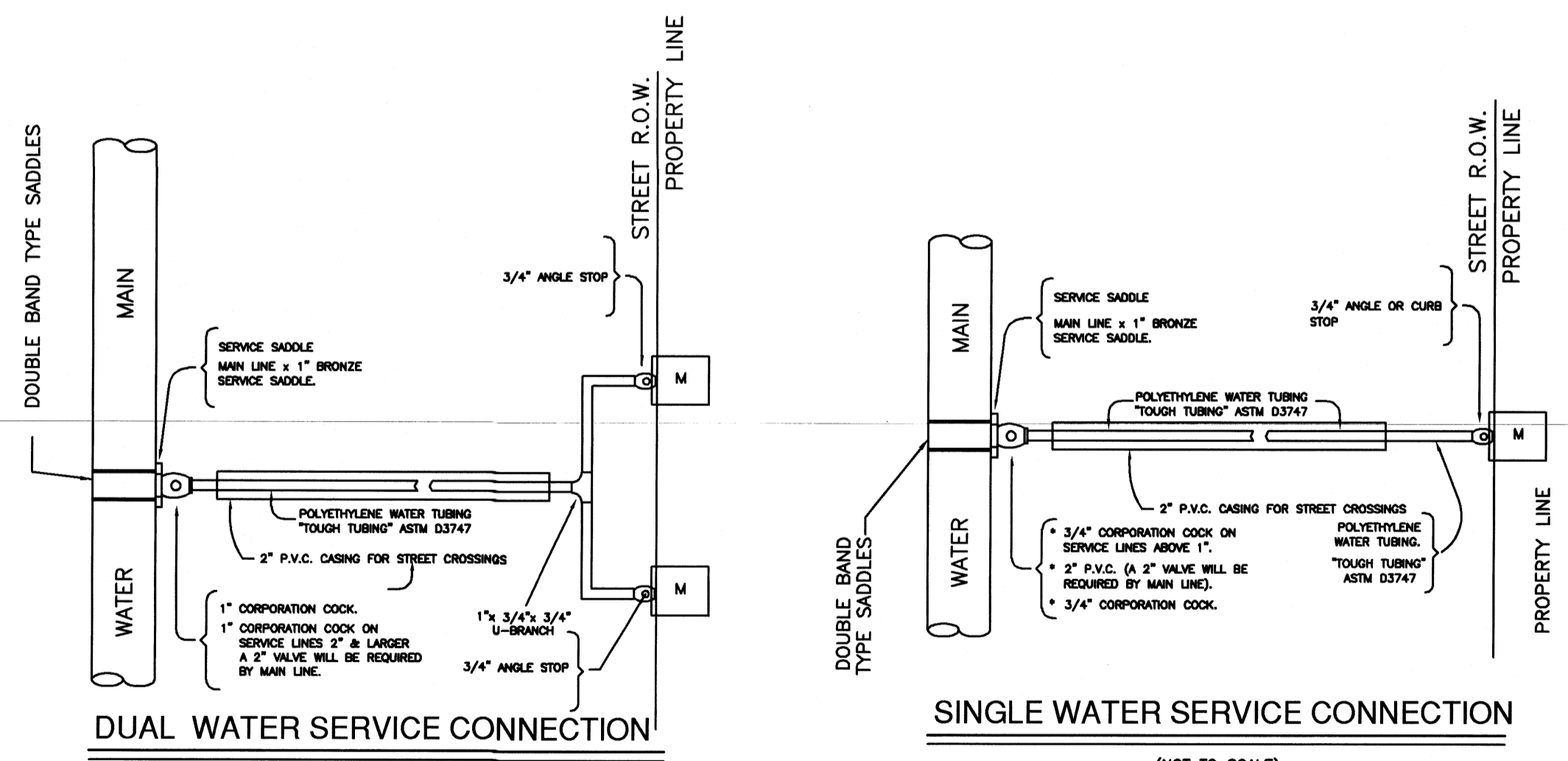
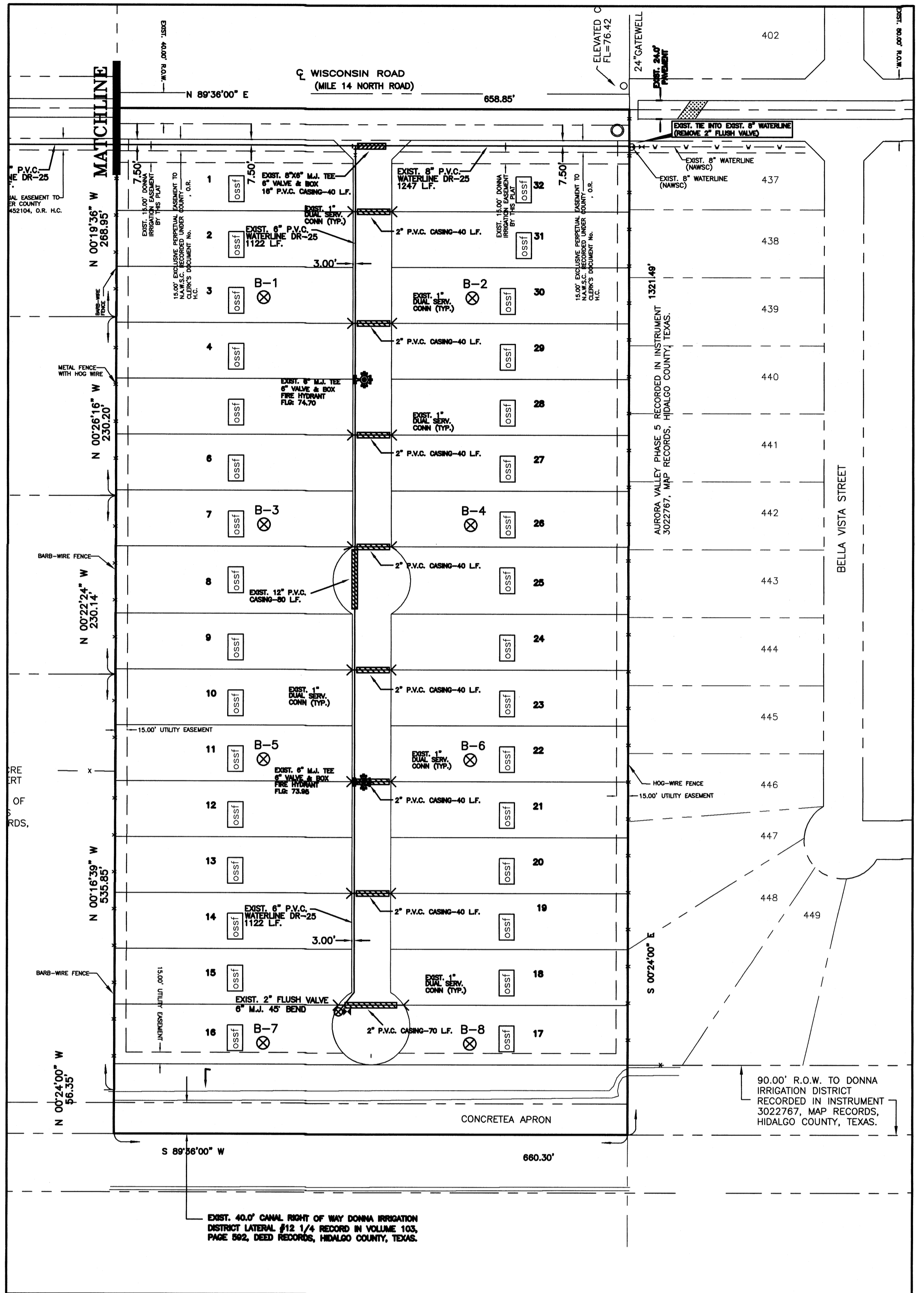
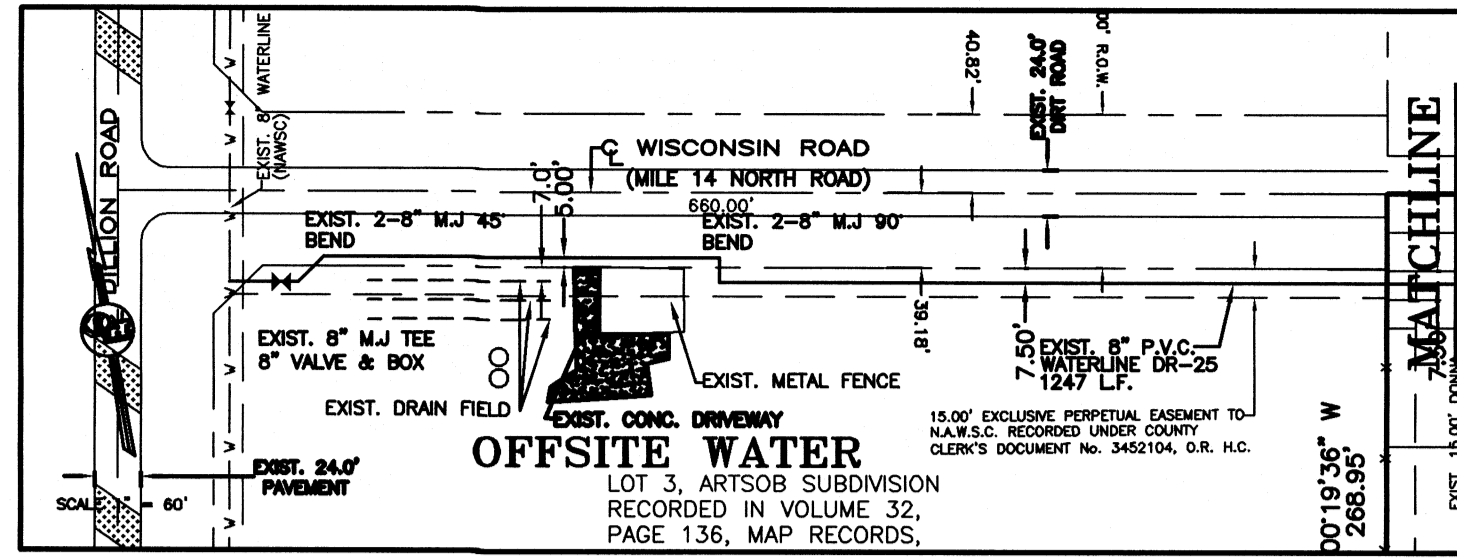
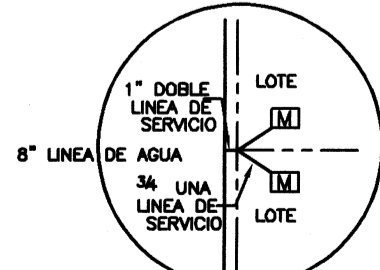
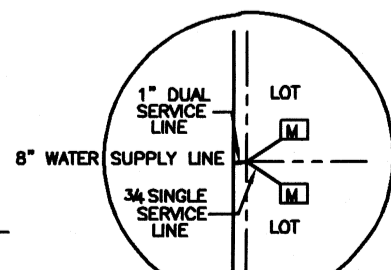
Given under my hand and seal of office this _____ day of _____, 20____.

Daniela Quintanilla
DANIELA QUINTANILLA
Notary ID# 131129367
My Commission Expires
MAY 15, 2025

DANIELA QUINTANILLA— NOTARY PUBLIC

- B-1 TEST BORINGS**
 OSSF SEPTIC TANK (OSSF)
 WATER METER BOX
 8" WATER SUPPLY LINE
 SERVICE LINES

- B-1 PRUEBA DE PERFORACION**
 TANQUE SEPTICO (OSSF)
 CAJA DE MEDIDOR DE AGUA
 8" LINEA DE AGUA
 LINEAS DE SERVICIOS



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

SHEET NO. 2 OF 3 SHEETS	FILENAME : F:\DATA\SUBD\DONNA\TIERRA WISCONSIN\WATER_BPLAT			
	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
	11-17-22	MG	MG	MG
	DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY
8-3-2023	JLUI CVZS			

TIERRA WISCONSIN

A 20.00 ACRE TRACT OF LAND BEING THE EAST 20.00 ACRES OF LOT 57, HILL-HALBERT SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 1, PAGE 35, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO QUILCLAIM DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1118037, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

DRAINAGE REPORT FOR TIERRA WISCONSIN

A 20.00 acre tract of land being the east 20.00 acres of Lot 57, Hill-Halbert Subdivision, Hidalgo County, Texas, according to the plat or map thereof recorded in volume 1, page 35, map records, Hidalgo County, Texas, and according to quitclaim deed recorded under county clerk's document number 1118037, official records, Hidalgo County, Texas. It is located on the south side of Wisconsin Road, approximately 660 feet east of Dillon Road. The proposed subdivision will consist of 32 lots.

The tract is Zone "C", areas of minimal flooding (no shading), as per FEMA Flood Insurance Rate Map, Community Panel No. 480334 0425 C, dated on November 16, 1982.

The majority of the soil is Hidalgo (28) and Raymondville (52) and is in soil group "B". It is sandy clay loam (SC), clay loam (CL) and clay (CH). This soil is well drained. Permeability is moderate. Plasticity Index has a range of 11-35. See attached Soil Survey of Hidalgo County, Texas tables.

Presently, the site has very minimal runoff in a southerly direction with an approximate 0.5% slope. The proposed subdivision is $Q = 9.82$ cubic feet per second based on a 10-year storm.

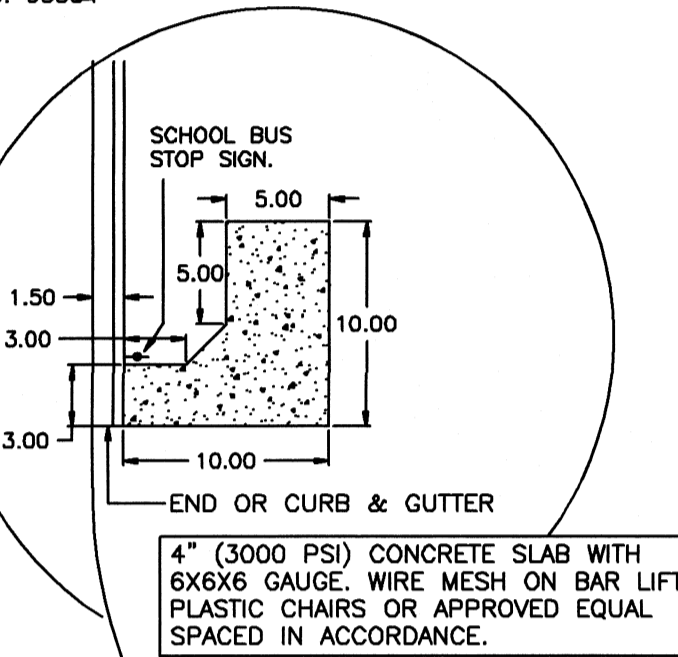
After development the runoff will be $Q = 40.57$ cubic feet per second based on a 50-year storm for an increase of $Q = 30.75$ cubic feet per second. Detention will be 82,103.86 cubic feet (1.88-acre feet). It will be accomplished by excavating an existing Donna Irrigation District Drain Ditch located on the south side of the property. The street runoff will be collected by a storm sewer system consisting of 18", 24" and 30" storm sewer pipes and Type "A" Inlets that will discharge into the existing drain ditch. 90.00 feet of right of way for the drain ditch is being dedicated to Donna Irrigation District by the plat.

CERTIFICATION:

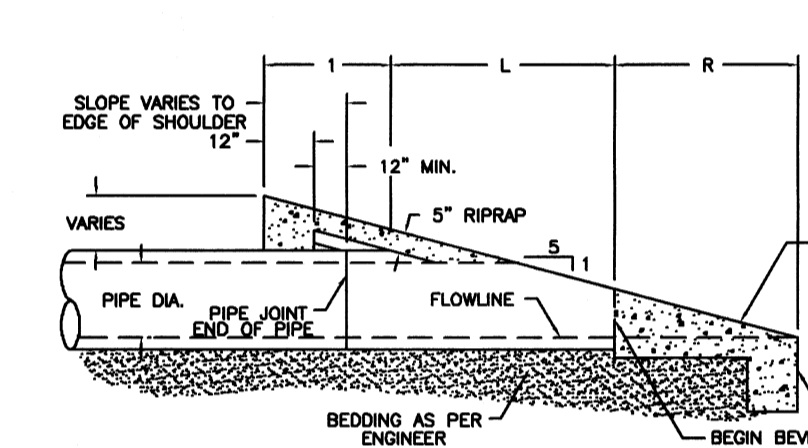
BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100-YEAR FLOODPLAIN FOR ZONE "C" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN) AS DESCRIBED IN COMMUNITY PANEL NUMBER 480334 0425 C (NOVEMBER 16, 1982) IS CONTAINED WITHIN THE RIGHT-OF-WAY OF STREET AND WITHIN THE DRAINAGE OF THE SUBDIVISION, AS SHOWN BELOW.



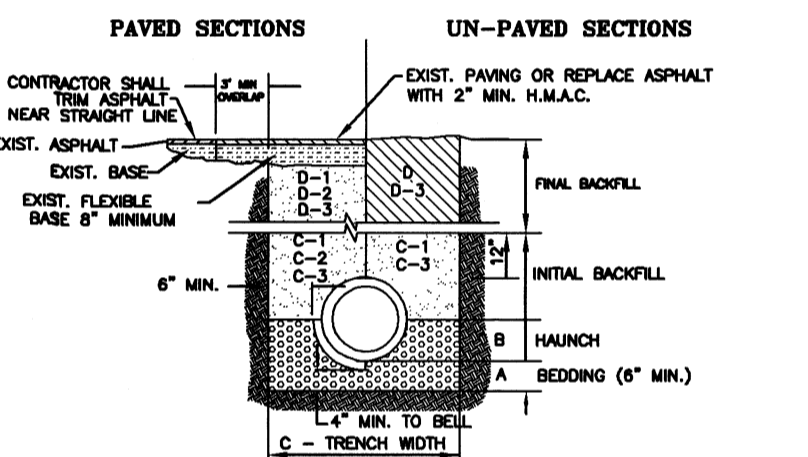
Alfonso Quintanilla
P.E. No. 95534
DATE: 8-3-23



CONCRETE SCHOOL BUS STOP PICKUP AREA



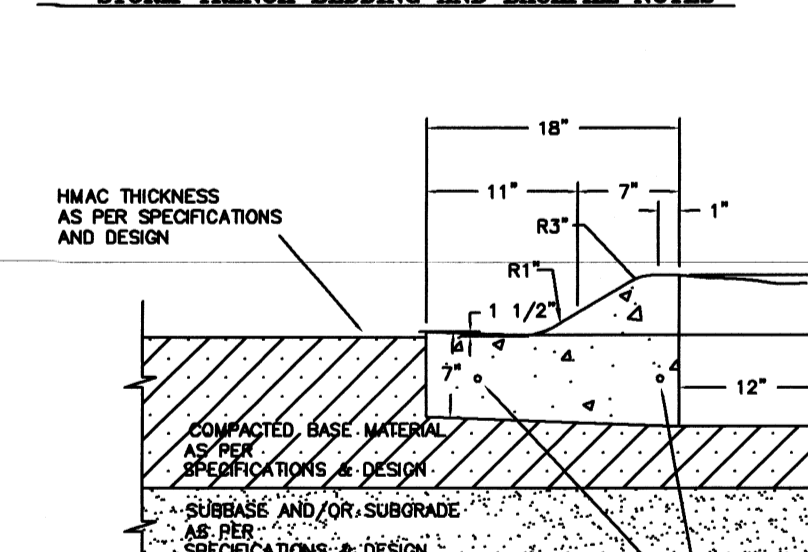
ELEVATION SAFETY END TREATMENT (TYPE "P OR C")



STORM TRENCH BEDDING AND BACKFILL DETAILS

- A. BEDDING FOR RCP CLASS II, HIGH PERFORMANCE POLYPROPYLENE OR COMPOSITE PVC STORM DRAIN PIPE - SHALL BE CLASS 1 OR CLASS II (ASTM D3211) SHOULDER MATERIAL COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- B. HAUNCH FOR RCP CLASS II, HIGH PERFORMANCE POLYPROPYLENE OR COMPOSITE PVC STORM DRAIN PIPE - SHALL BE CLASS 1 OR CLASS II (ASTM D3211) SHOULDER MATERIAL COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- C. TRENCH BEDDING - SHALL BE CLASS 1 OR CLASS II (ASTM D3211) SHOULDER MATERIAL COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- C-1. INITIAL BACKFILL FOR RCP CLASS II STORM DRAIN PIPE ON CITY STREETS, PARKING AREAS OR SIDE DRIVEWAYS SHALL BE CLASS 1 OR CLASS II (ASTM D3211) SHOULDER MATERIAL COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- C-2. INITIAL BACKFILL FOR RCP CLASS II STORM DRAIN PIPE ON SIDE DRIVEWAYS, DRIVEWAYS, COMPACTED UNIMPAVED STABILIZED BACKFILL WITH 70% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- C-3. INITIAL BACKFILL FOR HIGH PERFORMANCE POLYPROPYLENE OR COMPOSITE PVC STORM DRAIN PIPE - SHALL BE CLASS 1 OR CLASS II (ASTM D3211) SHOULDER MATERIAL COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- D. FINAL BACKFILL FOR RCP CLASS II, HIGH PERFORMANCE POLYPROPYLENE OR COMPOSITE PVC STORM DRAIN PIPE UNDER UNPAVED SECTIONS - SHALL BE CLASS 1, 1.5, 1.8 OR 2, COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- D-1. FINAL BACKFILL FOR RCP CLASS II, HIGH PERFORMANCE POLYPROPYLENE OR COMPOSITE PVC STORM DRAIN PIPE ON CITY STREETS, PARKING AREAS, DRIVEWAYS, AND COUNTY ROADS - SHALL BE CLASS 1, 1.5, 1.8 OR 2, COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- D-2. FINAL BACKFILL FOR RCP CLASS II, HIGH PERFORMANCE POLYPROPYLENE OR COMPOSITE PVC STORM DRAIN PIPE ON SIDE DRIVEWAYS, DRIVEWAYS, COMPACTED UNIMPAVED STABILIZED BACKFILL WITH 70% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- D-3. FINAL BACKFILL FOR STRUCTURES (WALKWAYS, MANHOLES, ETC.) - STRUCTURES UNDER THE ROADWAY AND UP TO 5 FT ABOVE THE EDGE OF PAVEMENT/EDGE OF CURB SHALL BE CLASS 1 OR CLASS II (ASTM D3211) OR SHALL BE CLASS 1.5, 1.8 OR 2, COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION). STRUCTURES BEYOND THE ROADWAY SHALL BE CLASS 1.5, 1.8 OR 2, COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION). STRUCTURES ABOVE THE ROADWAY SHALL BE CLASS 1.5, 1.8 OR 2, COMPACTED TO 92% S.P.D. (1" LOOSE LIFTS, MECHANICAL COMPACTION).
- E. CURB AND GUTTER CONSTRUCTION SHALL BE CLASS "A" (3000 PSI) CONCRETE WITH 6X6X6 GAUGE WIRE MESH ON BAR LIFT PLASTIC CHAIRS OR APPROVED EQUAL SPACED IN ACCORDANCE.

STORM TRENCH BEDDING AND BACKFILL NOTES

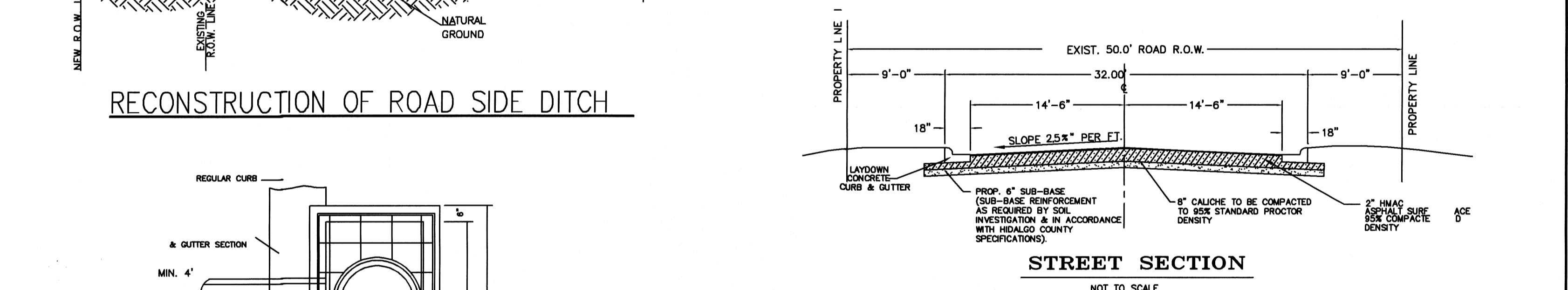
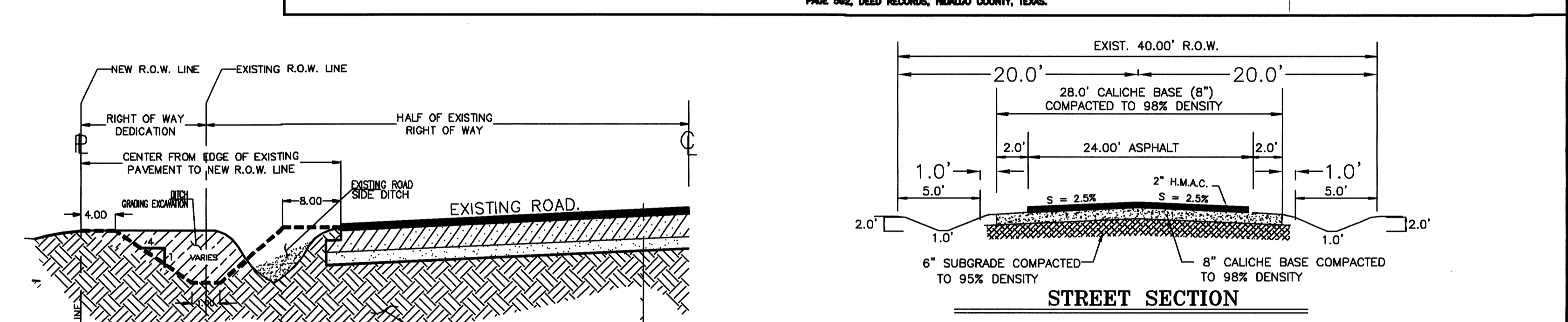
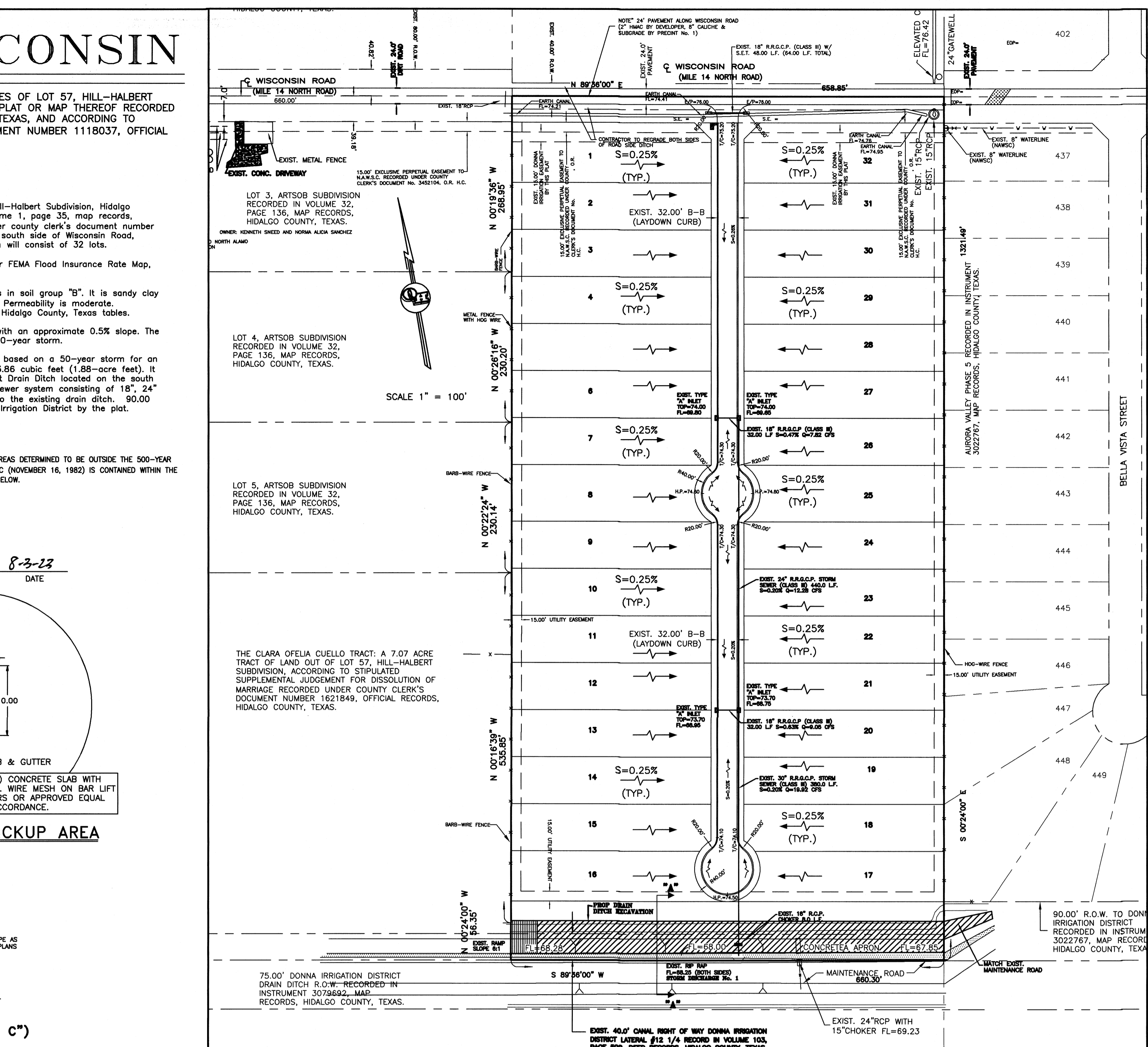
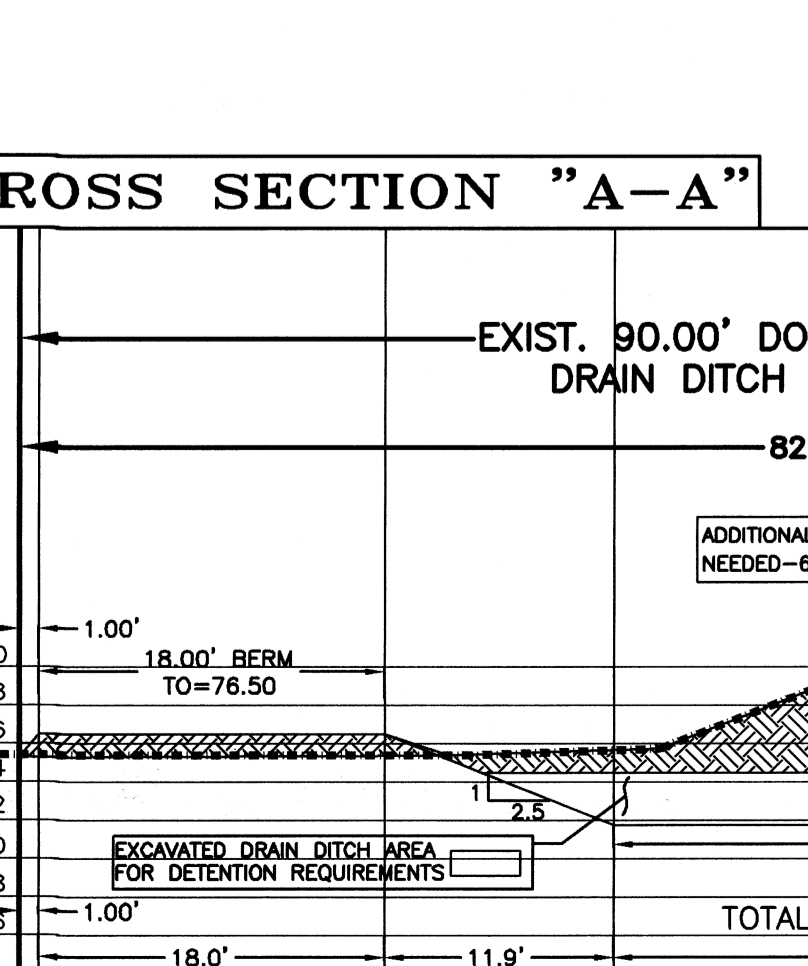


TYPICAL LOW PROFILE CURB & GUTTER SECTION

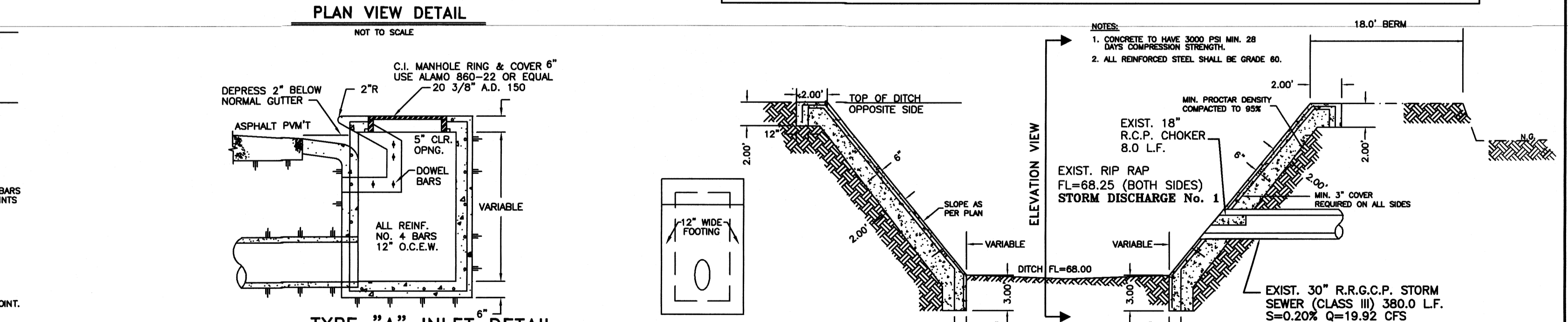
1. ALL HONEYCOMBING SHALL BE GROUTED TO PROVIDE A UNIFORM SURFACE.
2. WHEN HONEYCOMBING IS EXCESSIVE AS DETERMINED BY THE COUNTY OF HIDALGO DESIGNATED REPRESENTATIVE, CURB AND GUTTER SHALL BE REPLACED.
3. BACKFILL BEHIND CURBS SHALL BE ACCOMPLISHED WITHIN 24 HOURS AFTER BACK FORM IS REMOVED OR 48 HOURS AFTER SLIP FORMING.
4. CURB AND GUTTER CONCRETE SHALL BE CLASS "A" (3000 PSI).
5. REINFORCING STEEL, AS SHOWN.
6. MAX. LENGTH OF CURB AND GUTTER SECTION IS 80' BETWEEN 3/4" EXPANSION JOINT.

NOTE: DIRT EXCAVATED FROM DRAIN DITCH SHALL BE SPREAD AT LOCATION DETERMINED BY ENGINEER DURING SUBDIVISION CONSTRUCTION.

CROSS SECTION "A-A"



LEGEND	
TOTAL DETENTION REQUIRED	82,103.86 C.F.
TOTAL DETENTION PROVIDED	84,282.00 C.F.
TOTAL EXCAVATION NEEDED	199,122.00 C.F.



COST ESTIMATE	
WATER DISTRIBUTION	\$ 124,780.00
DRAINAGE IMPROVEMENTS	\$ 160,080.00
PAVING IMPROVEMENTS	\$ 230,635.00
PAVING WISCONSIN RD.	\$ 22,080.00
SEPTIC TANK (OSSF)	\$ 48,000.00

FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUJARDO, JR. HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

SHEET NO. 3 OF 3 SHEETS

FILENAME: F:\DATA\SUBD\DONNA\TIERRA WISCONSIN\PAVE BPLAT

DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
11-17-22	MG	MG	MG
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY
8-3-2023	JLUIZ CVZS		