



Anthony Uresti
Assistant Director

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 9-26-2023

PROPOSED EL ENCANTADO SUBDIVISION PRECINCT No. 1

ENGINEER: MELDEN & HUNT, INC. DEVELOPER: E&W COHRS, LLC.

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 322 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INDUSTRIAL

NUMBER OF STREETLIGHTS: 45

FILLING STATIONS: 22

LOCATION DESCRIPTION: SOUTHEAST CORNER OF MILE 9 NORTH ROAD AND HUTTO ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF DONNA.

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 09-09-2021 PROPERTY LIES WITHIN FLOOD ZONE: "C" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 35.00 FEET ONTO HUTTO ROAD, 35.00 FEET ONTO RAMSEY ROAD, AND 45.00 FEET ONTO MILE 9 NORTH ROAD.

H.C.R.O.W. FINAL APPROVAL DATE: 9-08-2023 BY, PRECINCT 1 R.O.W. AGENT

H.C.H.D. FINAL APPROVAL DATE: 9-06-2023 BY, ENVIRONMENTAL HEALTH DIVISION

SEWER SYSTEM: SANITARY SEWER BY: NAWSC LINE SIZE: 8" LOCATION: GOOLIE ROAD.

WATER SERVICE PROVIDER: N.A.W.S.C. EXISTING LINE SIZE: 6" LOCATION: GOOLIE ROAD.

H.C.E.O.C. FINAL APPROVAL DATE: 9-06-2023 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

REQUEST FOR FINAL APPROVAL WITH: **CASH DEPOSIT:** Amount: \$50,402.00 For: (OTHER IMPROVEMENTS)

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: 11/30/2021

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, other departments and the approval of the City of DONNA.

Final Approval with financial guarantee.

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

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OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, LOS VECONDAS RGV, L.P., AS OWNER OF THE 79.929 ACRES EL ENCANTADO TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED PUBLIC USE THE STREET(S), PARK, AND EASEMENTS SHOWN HEREIN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS; (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

LOS VECONDAS RGV, L.P., A TEXAS LIMITED PARTNERSHIP DATE: JOHN R. MAYS

11410 N. F. M. 493
DUNNA, TEXAS 78537

STATE OF TEXAS
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE.

THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES:

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE: GENERAL MANAGER

CITY OF DONNA
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 212.009(C) AND § 212.0115(B)

WE, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF EL ENCANTADO, WAS REVIEWED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF DONNA

ON _____ DAY OF _____, 20____.

P&Z CHAIRMAN OF THE CITY OF DONNA DATE:

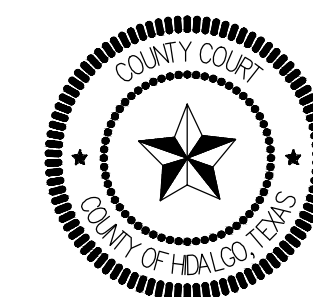
CITY OF DONNA
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 212.009(C) AND § 212.0115(B)

WE, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF EL ENCANTADO, WAS REVIEWED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DONNA

ON _____ DAY OF _____, 20____.

MAYOR OF THE CITY OF DONNA DATE:

ATTEST:
SECRETARY OF THE CITY OF DONNA DATE:



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

PLAT OF EL ENCANTADO

BEING A SUBDIVISION OF A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOTT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOTT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS, SAID 79.929 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING ON A NO. 4 REBAR SET AT THE NORTHWEST CORNER OF SAID BLOCK 30, FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

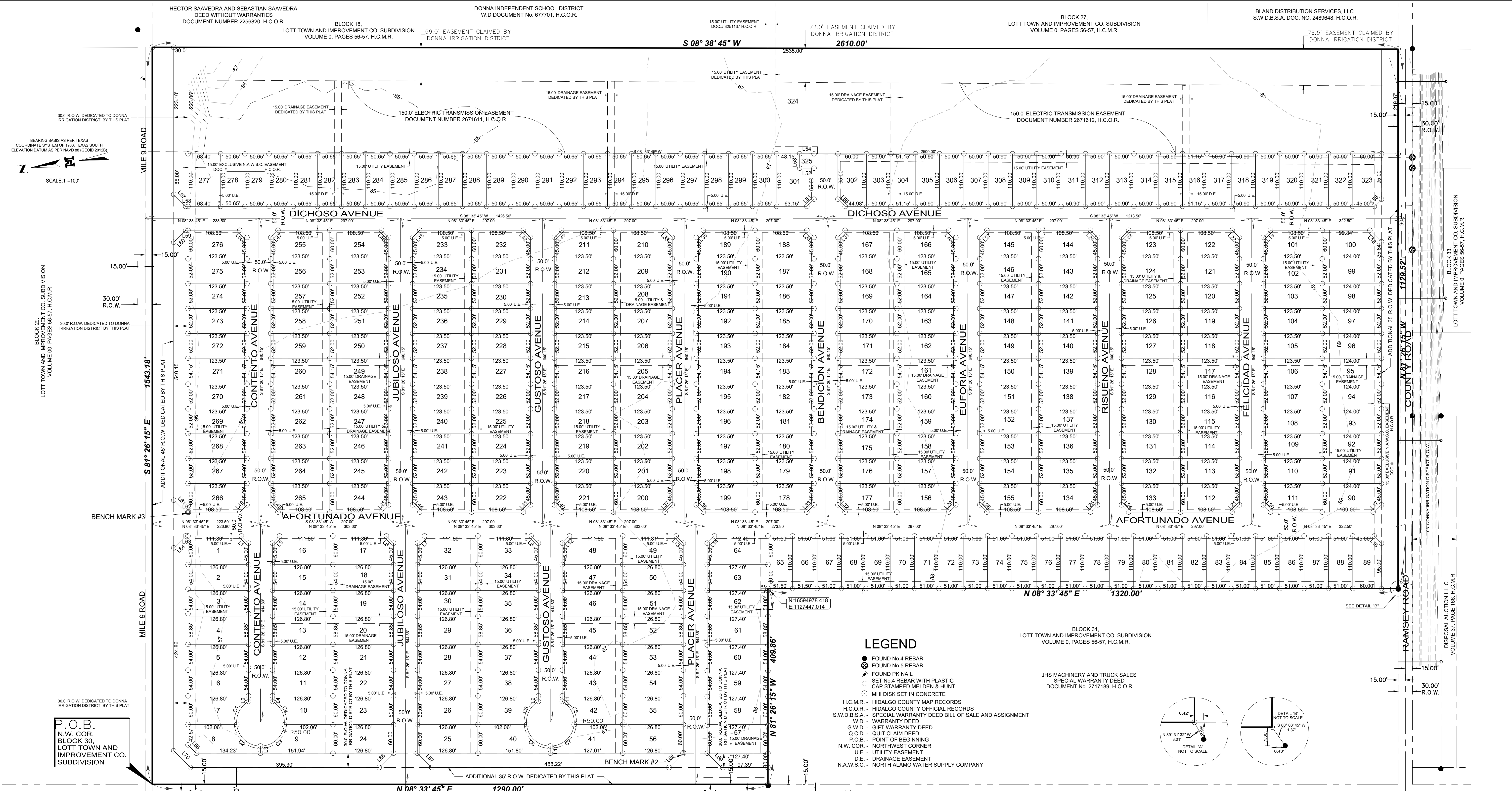
- 1. THENCE, S 81° 26' 15" E ALONG THE NORTH LINE OF SAID BLOCK 30 AND THE EXISTING SOUTH RIGHT-OF-WAY LINE OF MILE 9 ROAD, A DISTANCE OF 1,543.18 FEET TO A NO. 4 REBAR SET AT THE NORTHEAST CORNER OF SAID BLOCK 30, FOR THE NORTHEAST CORNER OF THIS TRACT;
- 2. THENCE, S 08° 38' 45" W ALONG THE EAST LINES OF SAID BLOCKS 30 AND 31, AT A DISTANCE OF 45.00 FEET PASS A NO. 4 REBAR SET ON THE HEREBY PROPOSED SOUTH RIGHT-OF-WAY LINE OF MILE 9 ROAD, AT A DISTANCE OF 1,290.00 FEET PASS THE SOUTH LINE OF SAID BLOCK 30 AND THE NORTH LINE OF SAID BLOCK 31, AT A DISTANCE OF 2,575.00 FEET PASS THE HEREBY PROPOSED NORTH RIGHT-OF-WAY LINE OF RAMSEY ROAD, CONTINUING A TOTAL DISTANCE OF 2,610.00 FEET TO A NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID BLOCK 31, FOR THE SOUTHEAST CORNER OF THIS TRACT; FROM WHICH A NO. 4 BEARS, S 08° 38' 45" W A DISTANCE OF 30.00 FEET;
- 3. THENCE, N 81° 26' 15" W ALONG THE SOUTH LINE OF SAID BLOCK 31 AND THE EXISTING NORTH RIGHT-OF-WAY LINE OF RAMSEY ROAD, A DISTANCE OF 1,129.52 FEET TO A NO. 4 REBAR SET FOR THE SOUTHERNMOST SOUTHWEST CORNER OF THIS TRACT, FROM WHICH A NO. 4 REBAR BEARS S 80° 03' 45" W A DISTANCE OF 1.37 FEET;
- 4. THENCE, N 08° 33' 45" E A DISTANCE OF 1,320.00 FEET TO A NO. 4 REBAR SET [NORTHING:16594978.418, EASTING:1127447.014] ON THE SOUTH LINE OF SAID BLOCK 30 AND THE NORTH LINE OF SAID BLOCK 31, FOR AN INSIDE CORNER OF THIS TRACT;
- 5. THENCE, N 81° 26' 15" W ALONG THE SOUTH LINE OF SAID BLOCK 30 AND THE NORTH LINE OF SAID BLOCK 31, A DISTANCE OF 409.88 FEET TO A NO. 4 REBAR SET FOR THE NORTHERNMOST SOUTHWEST CORNER OF THIS TRACT, FROM WHICH A NO. 4 REBAR FOLD BEARS N 89° 31' 32" W A DISTANCE OF 3.01 FEET;
- 6. THENCE, N 08° 33' 45" E ALONG THE WEST LINE OF SAID BLOCK 30 AND THE EXISTING EAST RIGHT-OF-WAY OF HUTTO ROAD, A DISTANCE OF 1,290.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 79.929 ACRES OF LAND MORE OR LESS.

GENERAL PLAT NOTES & RESTRICTIONS:

- 1. FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "C" AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NO. 480334 0425 C EFFECTIVE DATE: NOVEMBER 16, 1982.
- 2. SETBACKS:
FRONT: 25.00 FEET. CUL-DE-SAC 15.00 FEET
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER SIDE: 10.00 FEET CORNER GARAGE SIDE: 18.00 FEET CORNER GARAGE FRONT: 18.00 FEET
- 3. NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS.
- 4. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER.
- 5. THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
-38.M. NO. 1-ELEV. 85.64 N.G.V.D. 29 DESCRIPTIONS: SET SQUARE CUT ON CORNER OF CONCRETE DRIVEWAY.
-38.M. NO. 2-ELEV. 87.15 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE SOUTHWEST CORNER OF LOT 35 OF THIS SUBDIVISION. N:16595198.67 E:1127156.71
-38.M. NO. 3-ELEV. 86.15 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE NORTHWEST CORNER OF LOT 266 OF THIS SUBDIVISION. N:16596136.28 E:1127783.15.
- 6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 496.621 CUBIC-FEET 11.401 ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO. 6 FOR STORM SEWER IMPROVEMENTS.)
- 7. THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF ITS DETERMINES AT THE DEVELOPMENT PERMIT STATE ABOVE DUE TO THE IMPERVIOUS AREA BEING GREATER THAT PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
- 8. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.
- 9. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- 10. EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- 11. ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- 12. CLEARANCES FOR WATER METERS, (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS. SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER.
- 13. 4-F.T. SIDEWALK IS REQUIRED ON BOTH SIDES OF ALL INTERIOR STREET AT TIME OF BUILDING PERMIT STAGE.
- 14. FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.
- 15. STORM WATER POLLUTION PREVENTION PLAN PRIOR TO BUILDING PERMIT.
- 16. ALL INTERIOR LOT CORNERS ARE SET BY NO. 4 REBARS WITH PLASTIC CAP STAMPED MELDEN & HUNT.
- 17. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
- 18. LOTS 89 & 323 SHALL NOT HAVE ACCESS ON TO THE EXISTING COUNTY ROAD.
- 19. DEVELOPER SHALL INSTALL A BUFFER FENCE ALONG THE REAR SIDE OF LOTS 1-8 AND LOT 266-277 ABUTTING MILE 9 NORTH ROAD.
- 20. LOT 324 SHALL BE DEDICATED TO THE CITY OF DONNA.
- 21. LOT 325 SHALL BE USE FOR LIFT STATION ONLY.

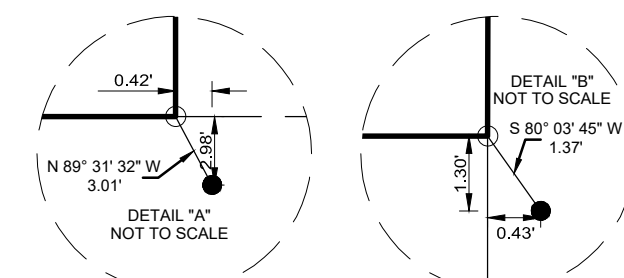
Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area
1	7495.50	0.172	21	6847.20	0.157	41	7397.07	0.170	181	6422.00	0.147	201	6422.00	0.147	221	7297.50	0.168
2	6847.20	0.157	22	6847.20	0.157	42	8714.45	0.154	182	6422.00	0.147	202	6422.00	0.147	222	7297.50	0.168
3	6847.20	0.157	23	7608.00	0.175	43	6847.20	0.157	183	6687.53	0.154	203	6422.00	0.147	223	6422.00	0.147
4	7462.18	0.171	24	7608.00	0.175	44	6847.20	0.157	184	6422.00	0.147	204	6422.00	0.147	224	6422.00	0.147
5	6847.20	0.157	25	7608.00	0.175	45	7462.18	0.171	185	6422.00	0.147	205	6687.53	0.154	225	6422.00	0.147
6	6847.20	0.157	26	7608.00	0.175	46	6847.20	0.157	186	6422.00	0.147	206	6422.00	0.147	226	6422.00	0.147
7	6714.12	0.154	27	6847.20	0.157	47	6847.20	0.157	187	6422.00	0.147	207	6422.00	0.147	227	6687.53	0.154
8	7243.09	0.166	28	6847.20	0.157	48	7495.50	0.172	188	7297.50	0.168	208	6422.00	0.147	228	6422.00	0.147
9	7396.15	0.170	29	7462.18	0.171	49	7495.50	0.172	189	7297.50	0.168	209	6422.00	0.147	229	6422.00	0.147
10	6714.45	0.154	30	6847.20	0.157	50	6847.20	0.157	190	6422.00	0.147	210	7297.50	0.168	230	6422.00	0.147
11	6847.20	0.157	31	6847.20	0.157	51	6847.20	0.157	191	6422.00	0.147	211	7297.50	0.168	231	6422.00	0.147
12	6847.20	0.157	32	7495.49	0.172	52	7462.18	0.171	192	6422.00	0.147	212	6422.00	0.147	232	7297.50	0.168
13	7462.18	0.171	33	7495.50	0.172	53	6847.20	0.157	193	6422.00	0.147	213	6422.00	0.147	233	7297.50	0.168
14	6847.20	0.157	34	6847.20	0.157	54	6847.20	0.157	194	6687.53	0.154	214	6422.00	0.147	234	6422.00	0.147
15	6847.20	0.157	35	6847.20	0.157	55	7608.00	0.175	195	6422.00	0.147	215	6422.00	0.147	235	6422.00	0.147
16	7495.50	0.172	36	7462.18	0.171	56	7608.00	0.175	196	6422.00	0.147	216	6687.53	0.154	236	6422.00	0.147
17	7495.50	0.172	37	6847.20	0.157	57	7644.00	0.175	197	6422.00	0.147	217	6422.00	0.147	237	6422.00	0.147
18	6847.20	0.157	38	6847.20	0.157	58	7644.00	0.175	198	6422.00	0.147	218	6422.00	0.147	238	6687.53	0.154
19	6847.20	0.157	39	6714.45	0.154	59	6879.60	0.158	199	7297.50	0.168	219	6422.00	0.147	239	6422.00	0.147
20	7462.18	0.171	40	7397.07	0.170	60	6879.60	0.158	200	7297.50	0.168	220	6422.00	0.147	240	6422.00	0.147

Lot Area Table	Lot Area Table	Lot Area Table	Lot Area Table	Lot Area Table	Lot Area Table												
Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area	Lot #	SO. FT.	Area
61	7497.49	0.172	81	5610.00	0.129	101	7297.50	0.168	241	6422.00	0.147	261	6422.00	0.147	281	5571.50	0.128
62	6879.60	0.158	82	5610.00	0.129	102	6422.00	0.147	242	6422.00	0.147	262	6422.00	0.147	282	5571.50	0.128
63	6879.60	0.158	83	5610.00	0.129	103	6422.00	0.147	243	7297.50	0.168	263	6422.00	0.147	283	5571.50	0.128
64	7531.50	0.173	84	5610.00	0.129	104	6422.00	0.147	244	7297.50	0.168	264	6422.00	0.147	284	5571.50	0.128
65	5665.00	0.130	85	5610.00	0.129	105	6422.00	0.147	245	6422.00	0.147	265	7297.50	0.168	285	5571.50	0.128
66	5665.00	0.130	86	5610.00	0.129	106	6687.53	0.154	246	6422.00	0.147	266	7297.50	0.168	286	5571.50	0.128
67	5610.00	0.129	87	5610.00	0.129	107	6422.00	0.147	247	6422.00	0.147	267	6422.00	0.147	287	5571.50	0.128
68	5610.00	0.129	88	5610.00	0.129	108	6422.00	0.147	248	6422.00	0.147	268	6422.00	0.147	288	5571.50	0.128
69	5610.00	0.129	89	6487.51	0.149	109	6422.00	0.147	249	6687.53	0.154	269	6422.00	0.147	289	5571.50	0.128
70	5610.00	0.129	90	7327.50	0.168	110	6422.00	0.147	250	6422.00	0.147	270	6422.00	0.147	290	5571.50	0.128
71	5610.00	0.129	91	6448.00	0.148	111	7297.50	0.168	251	6422.00	0.147	271	6687.53	0.154	291	5571.50	0.128
72	5610.00	0.129	92	6448.00	0.148	112	7297.50	0.168	252	6422.00	0.147	272	6422.00	0.147	292	5571.50	0.128
73	5610.00	0.129	93	6448.00	0.148	113	6422.00	0.147	253	6422.00	0.147	273	6422.00	0.147	293	5571.50	0.128
74	5610.00	0.129	94	6448.00	0.148	114	6422.00	0.147	254	7297.50	0.168	274	6422.00	0.147	294	5571.50	0.128
75	5610.00	0.129	95	6714.60	0.154	115	6422.00	0.147	255	7297.50	0.168	275	6421.90	0.147	295	5571.50	0.128
76	5610.00	0.129	96	6448.00	0.148	116	6422.00	0.147	256	6422.00	0.147	276	7297.50	0.168	296	5571.50	0.128
77	5610.00	0.129	97	6448.00	0.148	117	6687.53	0.154	257	6422.00	0.147	277	7524.00	0.173	297	5571.50	0.128
78	5610.00	0.129	98	6448.00	0.148	118	6422.00	0.147	258	6422.00	0.147	278	5571.50	0.128	298	5571.50	0.128
79	5610.00	0.129	99	6448.00	0.148	119	6422.00	0.147	259	6422.00	0.147	279	5571.50	0.128	299	5571.50	0.128
80	5610.00	0.129	100	7148.10	0.164	120	6422.00	0.147	260	6687.53	0.154	280	5571.50	0.128	300	5571	



LEGEND

- FOUND No.4 REBAR
- FOUND No.5 REBAR
- FOUND PK NAIL
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- MHI DISK SET IN CONCRETE
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- S.W.D.B.S.A. - SPECIAL WARRANTY DEED BILL OF SALE AND ASSIGNMENT
- W.D. - WARRANTY DEED
- G.W.D. - GIFT WARRANTY DEED
- P.O.D. - QUIT CLAIM DEED
- P.O.B. - POINT OF BEGINNING
- N.W. COR. - NORTHWEST CORNER
- U.E. - UTILITY EASEMENT
- D.E. - DRAINAGE EASEMENT
- N.A.W.S.C. - NORTH ALAMO WATER SUPPLY COMPANY



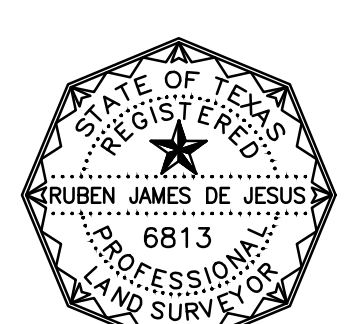
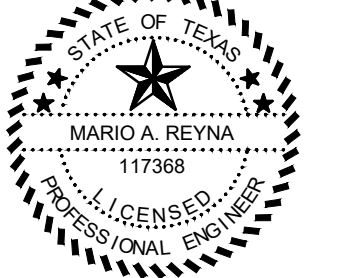
PLAT OF EL ENCANTADO

BEING A SUBDIVISION OF A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOTT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS

STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, RUBEN JAMES DE JESUS, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF EL ENCANTADO, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 03-3-2021, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435



THIS PLAT APPROVED BY THE DONNA IRRIGATION DISTRICT NUMBER ONE ON
THIS _____ DAY OF _____ 20____
ATTEST: _____ PRESIDENT
SECRETARY _____
NOTE: DONNA IRRIGATION DISTRICT No. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION.

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF EL ENCANTADO WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____ DAY OF _____ 20____
HIDALGO COUNTY JUDGE _____ DATE: _____
ATTEST: HIDALGO COUNTY CLERK _____ DATE: _____



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

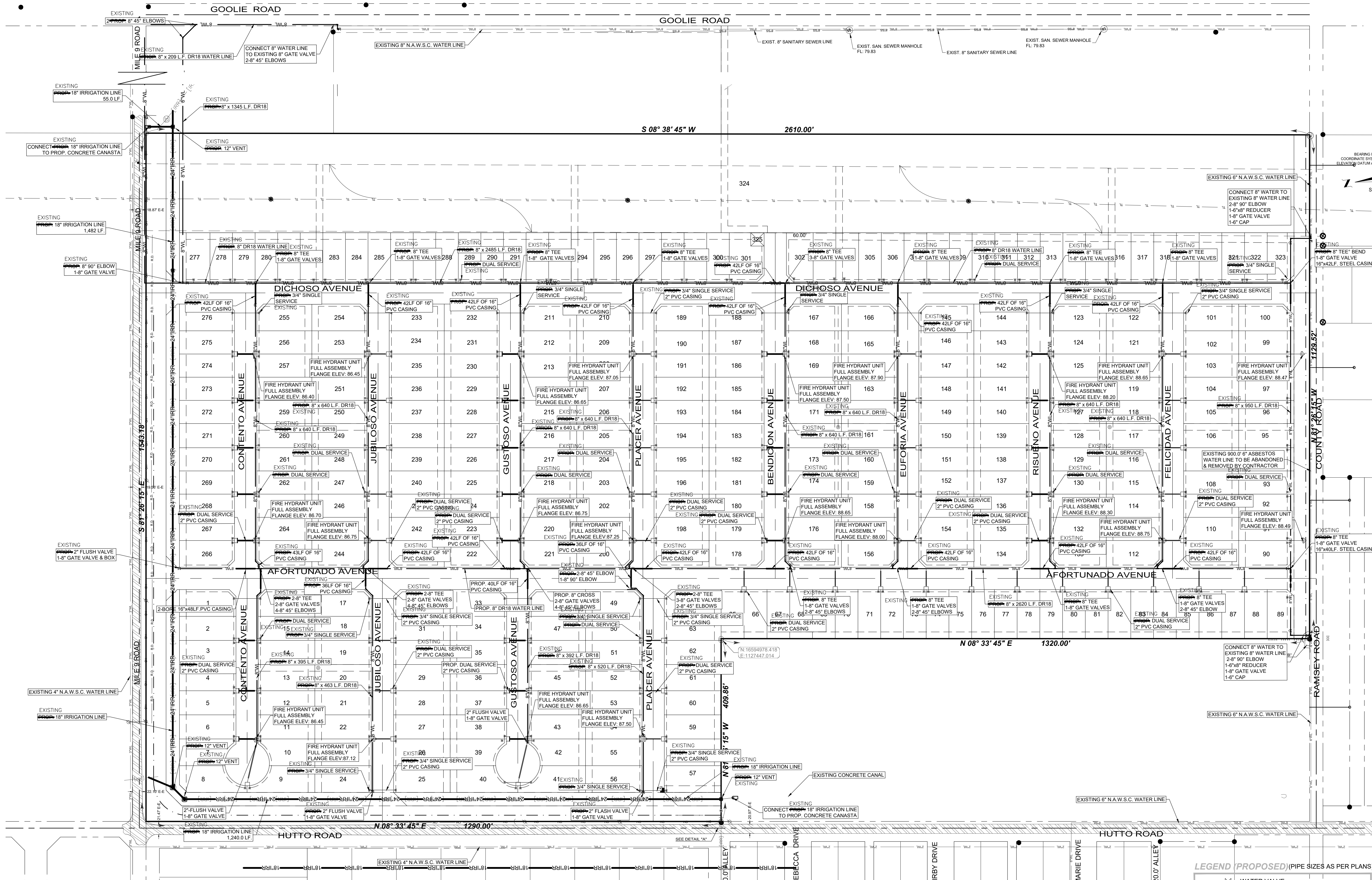
ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

DRAWN BY: CIRQ DATE: 08/28/23
SURVEYED, CHECKED DATE: _____
FINAL CHECK DATE: _____

MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	E/CAYETANO DEVELOPMENT, LLC A TEXAS LIMITED LIABILITY COMPANY				
ENGINEER:	JOHN R. MAYS	P.O. BOX 365	LA BLANCA, TEXAS 78558	C/O(956) 381-0981	C/O(956) 381-1839
SURVEYOR:	MARIO A. REYNA P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
	RUBEN JAMES DE JESUS R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

RUBEN JAMES DE JESUS, R.P.L.S. # 6813
DATE SURVEYED: 03-3-2021
T-1031, PAGE 52
SURVEY JOB NO. 21312.08



BEARING BASES AS PER TEXAS COORDINATE SYSTEM OF 1983, TEXAS SOUTH ELEVATION DATUM AS PER NAVD 83 (GEOID 2012B)
SCALE: 1"=100'

MAP OF WATER DISTRIBUTION SYSTEM
MAPA DE SISTEMA DE DISTRIBUCION DE AGUA
PLAT OF
EL ENCANTADO

BEING A SUBDIVISION OF A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOTT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS

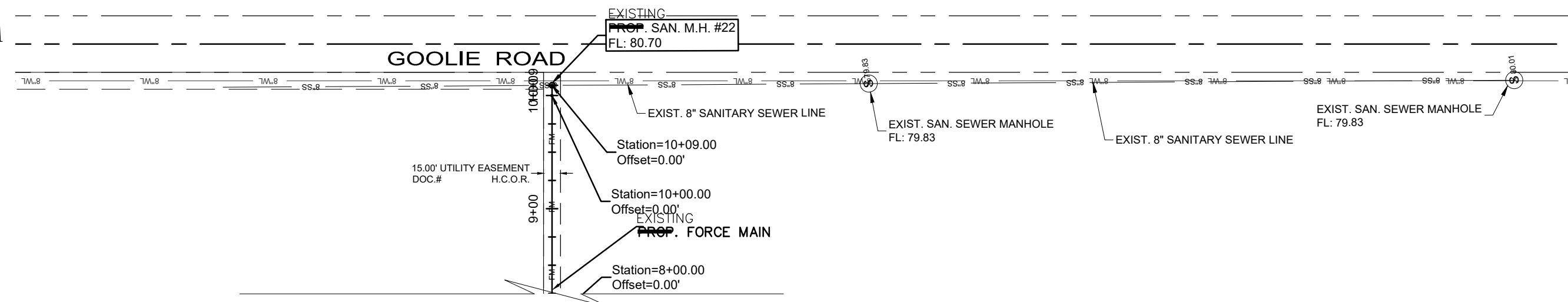
AS-BUILT 9-9-23

LEGEND (PROPOSED) (PIPE SIZES AS PER PLANS)

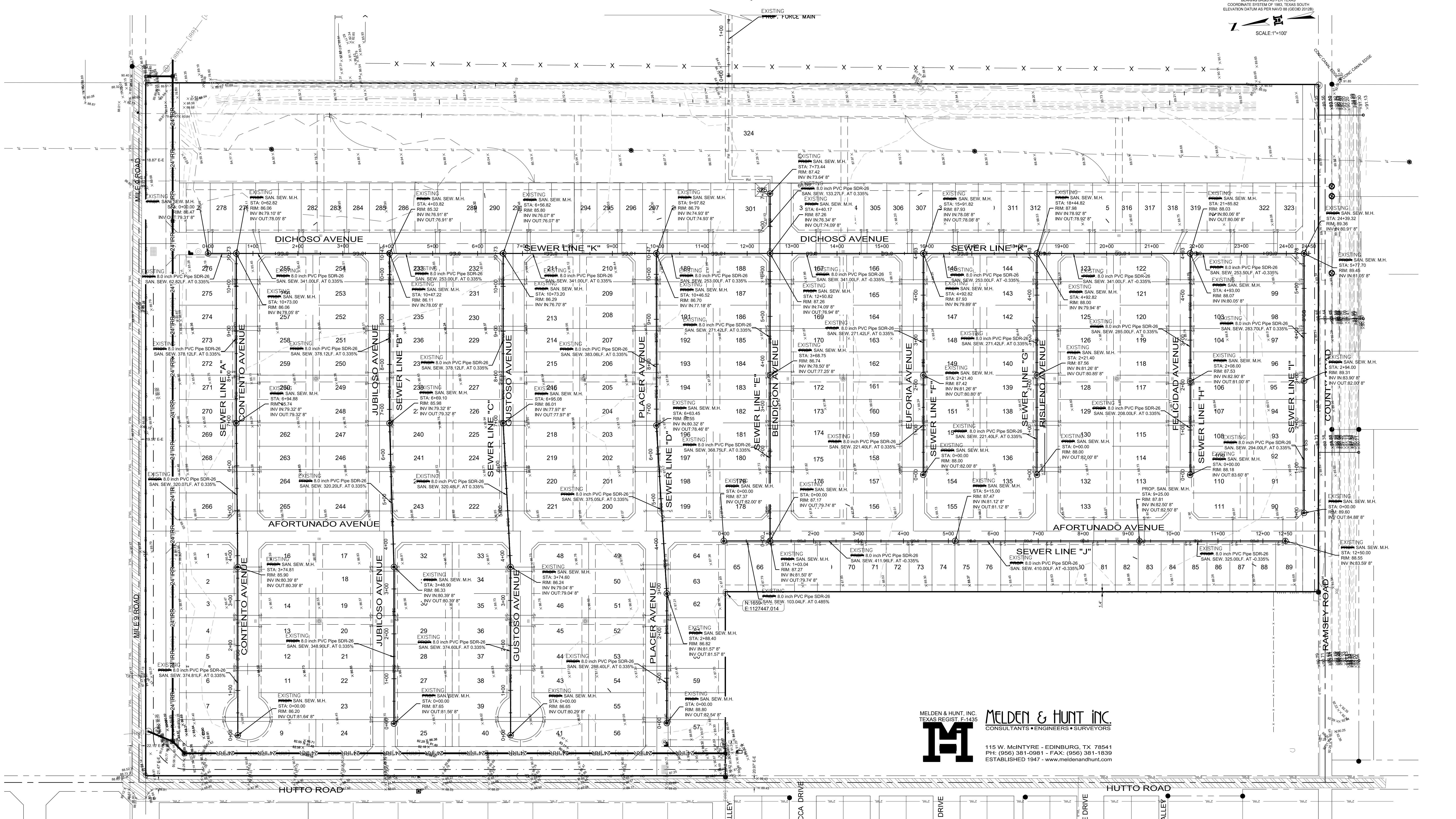
	WATER VALVE
	FIRE HYDRANT W/ VALVE & TEE
	PROP. 1" SINGLE WATER SERVICES WITH 2" PVC CASING
	STORM MANHOLE
	TYPE "A" INLET
	SANITARY MANHOLE
	SINGLE SANITARY SEWER SERVICE
	8" WL WATER LINE
	8" SS SEWER LINE
	24" SD STORM LINE

MAP OF SANITARY SEWER DISTRIBUTION SYSTEM
 MAPA DE SISTEMA DE DISTRIBUCION DE AGUA SANITARIA
 PLAT OF
EL ENCANTADO

BEING A SUBDIVISION OF A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOTT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS



BEARING BASES AS PER TEXAS
 COORDINATE SYSTEM OF 1983, TEXAS SOUTH
 ELEVATION DATUM AS PER NAVD 88 (GEOID 2012B)
 SCALE: 1"=100'



M MELDEN & HUNT, INC.
 TEXAS REGIST. F-1435
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FINAL WATER AND SEWER ENGINEERING REPORT FORMAT
WATER SUPPLY, DESCRIPTION, COST, AND OPERABILITY DATE.

EL ENCANTADO WILL BE PROVIDED WITH POTABLE WATER BY NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS AND N.E.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING 4" WATER LINE ALONG THE WEST RIGHT-OF-WAY OF HOTTO ROAD AND AN EXISTING 6" WATER LINE RUNNING ALONG THE EAST SIDE OF THE RIGHT-OF-WAY OF HOTTO ROAD APPROXIMATELY 2075 FEET SOUTH OF MILE 9 ROAD AND AN EXISTING 4" WATER LINE RUNNING ALONG THE NORTH SIDE OF THE RIGHT-OF-WAY OF MILE 9 ROAD. A 6" WATER LINE ALONG THE WEST SIDE OF GOOLIE ROAD APPROXIMATELY 425.0 FEET SOUTH OF MILE 9 ROAD AND A 6" WATER LINE ALONG THE NORTH RIGHT-OF-WAY OF COUNTY ROAD ALONG THE SOUTH BOUNDARY LINE OF THIS SUBDIVISION. THE WATER SYSTEM FOR EL ENCANTADO CONSISTS OF A 6" WATER LINE THAT TAPS INTO THE EXISTING 4" & 6" WATER LINES. AN 8" WATER LINE TAPS ONTO THE 6" WATER LINE ALONG THE EAST SIDE OF HOTTO ROAD AND MARIE DRIVE, THEN RUNS NORTH ALONG THE EAST RIGHT-OF-WAY OF HOTTO ROAD THEN RUNS EAST ALONG THE NORTH SIDE OF PLACER AVENUE RIGHT-OF-WAY ENDING AT THE EAST SIDE OF DICHOSO AVENUE RIGHT-OF-WAY ON THE SOUTHWEST CORNER OF LOT 286. ANOTHER 8" WATER LINE TAPS ONTO THE 4" WATER LINE ALONG THE WEST SIDE OF HOTTO ROAD APPROXIMATELY 535.0 FEET SOUTH OF MILE 9 ROAD THEN RUNS EAST ALONG THE NORTH SIDE OF JUBILOSO AVENUE RIGHT-OF-WAY ENDING AT THE EAST SIDE OF DICHOSO AVENUE RIGHT-OF-WAY ON THE NORTHWEST CORNER OF LOT 285. ANOTHER 8" WATER LINE TAPS ONTO THE 4" WATER LINE ALONG THE NORTH SIDE OF MILE 9 ROAD APPROXIMATELY 580.0 FEET EAST OF HOTTO ROAD THEN RUNS SOUTH ALONG THE EAST SIDE OF FORTUNADO AVENUE RIGHT-OF-WAY CONNECTING TO AN 8" WATERLINE AT THE SOUTHWEST CORNER OF LOT 90. ANOTHER 8" WATER LINE CONNECTS ONTO THE 4" WATER LINE ALONG THE WEST SIDE OF GOOLIE 9 ROAD APPROXIMATELY 425.0 FEET SOUTH OF MILE 9 ROAD THEN RUNS NORTH ALONG THE WEST RIGHT-OF-WAY OF GOOLIE ROAD THEN RUNS WEST ALONG THE SOUTH RIGHT-OF-WAY OF MILE 9 ROAD THEN RUNS SOUTH ALONG THE EAST SIDE OF DICHOSO AVENUE RIGHT-OF-WAY CONNECTING TO AN 8" WATER LINE AT THE SOUTHWEST CORNER OF LOT 322. ANOTHER 8" WATER LINE CONNECTS TO THE 6" WATER LINE ALONG THE NORTH RIGHT-OF-WAY OF COUNTY ROAD AND THE SOUTHWEST CORNER OF LOT 98 THEN RUNS EAST CONNECTING TO A 6" WATER LINE AT THE SOUTHEAST CORNER OF LOT 322. ANOTHER 8" WATER LINE TAPS INTO THE 8" WATER LINE AT THE NORTHWEST CORNER OF LOT 280 THEN RUNS WEST ALONG THE WEST ENDING AT THE NORTHWEST CORNER OF LOT 9. ANOTHER 8" WATER LINE CONNECTS TO THE 8" WATER LINE AT THE SOUTHEAST CORNER OF LOT 291 THEN RUNS WEST ALONG THE SOUTH RIGHT-OF-WAY OF GUSTOSO AVENUE CONNECTING TO THE 8" WATER LINE AT THE EAST RIGHT-OF-WAY OF FORTUNADO AVENUE AND CONTINUE WEST ENDING AT THE NORTHWEST CORNER OF LOT 41. ANOTHER 8" WATER LINE CONNECTS TO THE 8" WATER LINE AT THE NORTHWEST CORNER OF LOT 302 THEN RUNS EAST ALONG THE SOUTH RIGHT-OF-WAY OF BENIGNON AVENUE AND CONNECT TO THE 8" WATER LINE AT THE EAST RIGHT-OF-WAY OF FORTUNADO AVENUE AT THE NORTHWEST CORNER OF LOT 177. ANOTHER 8" WATER LINE CONNECTS TO THE 8" WATER LINE ON THE SOUTHWEST CORNER OF LOT 156 THEN RUNS EAST ALONG THE NORTH RIGHT-OF-WAY OF EUFORIA AVENUE CONNECT TO THE 8" WATER LINE AT THE EAST RIGHT-OF-WAY OF DICHOSO AVENUE AT THE SOUTHWEST CORNER OF LOT 396. ANOTHER 8" WATER LINE CONNECTS TO THE 8" WATER LINE AT THE SOUTHWEST CORNER OF LOT 133 THEN RUNS EAST ALONG THE SOUTH RIGHT-OF-WAY OF RISENO AVENUE AND CONNECT TO THE 8" WATER LINE AT THE EAST RIGHT-OF-WAY OF DICHOSO AVENUE AT THE NORTHWEST CORNER OF LOT 313. ANOTHER 8" WATER LINE CONNECTS TO THE 8" WATER LINE ON THE SOUTHWEST CORNER OF LOT 112 THEN RUNS EAST ALONG THE NORTH RIGHT-OF-WAY OF FELICIDAD AVENUE CONNECT TO THE 8" WATER LINE AT THE EAST RIGHT-OF-WAY OF DICHOSO AVENUE AT THE SOUTHWEST CORNER OF LOT 317 TO SERVICIE THIS SUBDIVISION.

WATER DISTRIBUTION FOR THE EL ENCANTADO CONSISTS OF THREE HUNDRED TWENTY-THREE (223) 1" DIAMETER DUAL SERVICE LINES RUN TO EACH LOT CORNER. SAID SERVICES TERMINATE AT THE WATER METER BOXES FOR EACH LOT. THE 3" LINE SERVICE LINES AND THE METER BOXES HAVE ALREADY BEEN INSTALLED AT A TOTAL COST OF \$894,178.00. THE SUBDIVIDER HAS PAID N.A.W.S.C. A TOTAL OF \$273,700.00, WHICH COVERS THE \$620.00 COST PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.A.W.S.C. UPON REQUEST BY THE LOT OWNER, N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER AND THE 1" SERVICE LINE TO EACH LOT. THE COST OF THE WATER METER AND HYDRANTS AT A UNIT COST OF \$4,600.00 FOR A TOTAL COST OF \$96,600.00. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT

WASTEWATER SUPPLY, DESCRIPTION, COST, AND OPERABILITY DATE:

EL ENCANTADO SUBDIVISION WILL BE TREATED BY WASTEWATER SERVICE FROM NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO TREAT THE SUFFICIENT WASTEWATER FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING 8" SANITARY SEWER LINE RUNNING ALONG THE WEST SIDE OF THE RIGHT-OF-WAY OF GOOLIE ROAD. THE WASTEWATER SYSTEM FOR EL ENCANTADO CONSISTS OF A LIFT STATION, 6" FORCE MAIN AND AN 8" SANITARY SEWER LINE. THIS LIFT STATION IS LOCATED AT THE SOUTHEAST CORNER OF LOT 301 WITH A 6" FORCE MAIN RUNNING EAST APPROXIMATELY 1,280.0 FEET CONNECTING TO THE EXISTING 8" SANITARY LINE WITH A PROPOSED SANITARY MANHOLE APPROXIMATELY 1,300.0 FEET SOUTH OF MILE 9 ROAD. AN 8" SANITARY SEWER LINE RUNS FROM THE LIFT STATION TO THE WEST ALONG THE NORTH SIDE OF BENIGNON AVENUE RIGHT-OF-WAY THEN RUNS NORTH ALONG THE WEST SIDE OF FORTUNADO AVENUE RIGHT-OF-WAY TO THE SOUTHWEST CORNER OF LOT 64. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE PREVIOUSLY MENTIONED 8" SEWER LINE ON THE SOUTHEAST CORNER OF LOT 64. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE NORTHWEST CORNER OF LOT 89. ANOTHER 8" SANITARY SEWER LINE TAPS INTO THE 8" SEWER LINE ALONG THE SOUTH SIDE OF DICHOSO AVENUE RIGHT-OF-WAY ENDING WITH A MANHOLE AT THE SOUTHWEST CORNER OF LOT 90. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE NORTHWEST CORNER OF LOT 145 THEN RUNS WEST ALONG THE SOUTH SIDE OF EUFORIA AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 154. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SANITARY SEWER LINE AT THE SOUTHEAST CORNER OF LOT 144 THEN RUNS WEST ALONG THE NORTH SIDE OF RISENO AVENUE RIGHT-OF-WAY ENDING AT THE SOUTHWEST CORNER OF LOT 135. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE NORTHWEST CORNER OF LOT 101 THEN RUNS WEST ALONG THE SOUTH SIDE OF FELICIDAD AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 110. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE A PREVIOUSLY MENTIONED 8" SANITARY SEWER LINE AT THE SOUTHWEST CORNER OF LOT 188 THEN RUNS NORTH ALONG THE WEST SIDE OF DICHOSO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 276. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SANITARY SEWER LINE AT THE NORTHWEST CORNER OF LOT 189 THEN RUNS WEST ALONG THE SOUTH SIDE OF PLACER AVENUE RIGHT-OF-WAY ENDING AT THE NORTHWEST CORNER OF LOT 57. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE SOUTHEAST CORNER OF LOT 232 THEN RUNS WEST ALONG THE NORTH SIDE OF GUSTOSO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE SOUTHEAST CORNER OF LOT 40. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE 8" SANITARY SEWER LINE AT THE NORTHWEST CORNER OF LOT 233 THEN RUNS WEST ALONG THE SOUTH SIDE OF JUBILOSO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 25. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE SOUTHEAST CORNER OF LOT 276 THEN RUNS WEST ALONG THE NORTH SIDE OF CONTENTO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE SOUTHEAST CORNER OF LOT 8 TO SERVICIE THIS SUBDIVISION.

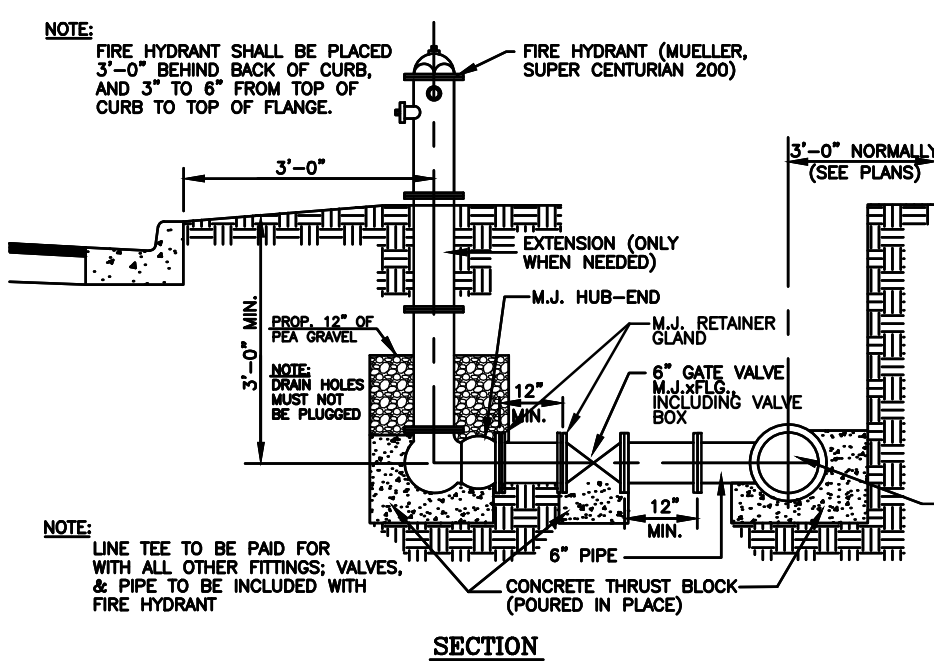
FROM THE 8" LINE, THREE HUNDRED TWENTY-THREE (223) 4" SEWER SERVICE LINES RUN FOR EACH LOT. THE 8" SANITARY SEWER LINES, 4" SERVICE LINE AND THIRTY-EIGHT (38) 3" SERVICE LINES HAVE BEEN INSTALLED, AT A TOTAL COST OF \$877,858.00 OR \$2,726.27 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID N.A.W.S.C. THE SUM OF \$257,600.00 WHICH COVERS THE \$800.00 PER LOT AS STATED IN THE 30 YEAR WASTE WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF THE SERVICES AND ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.A.W.S.C. THE ENTIRE WASTE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:
BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES - THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF \$1,267,878.00 WHICH EQUALS TO \$3,937.51 PER LOT.

SEWAGE FACILITIES - THESE FACILITIES FULLY CONSTRUCTED WILL COST A GRAND TOTAL OF \$1,135,458.00 WHICH EQUALS TO \$3,526.27 PER LOT.

ENGINEER'S SIGNATURE _____ DATE _____



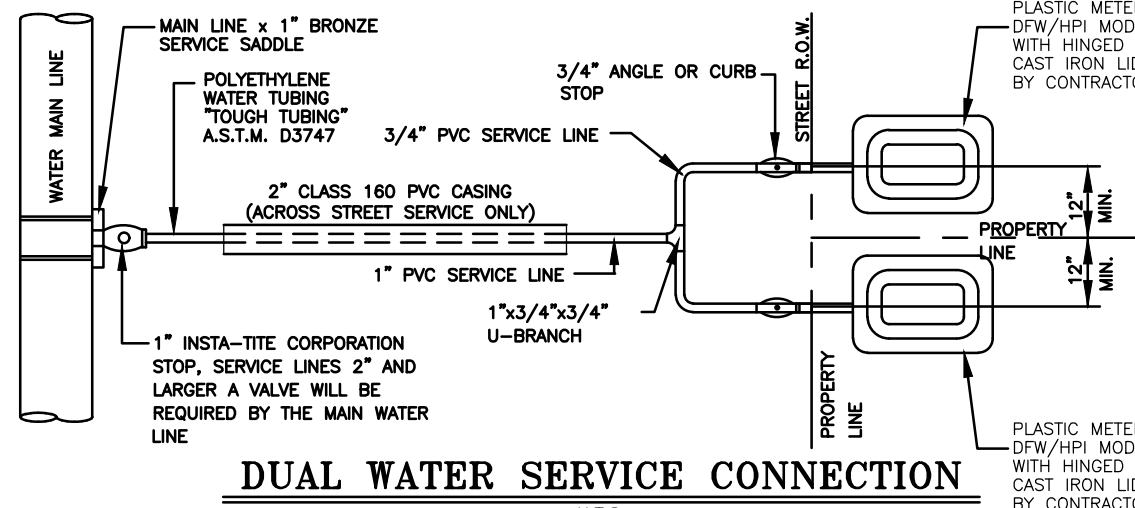
TYPICAL FIRE HYDRANT INSTALLATION

COST ESTIMATE:

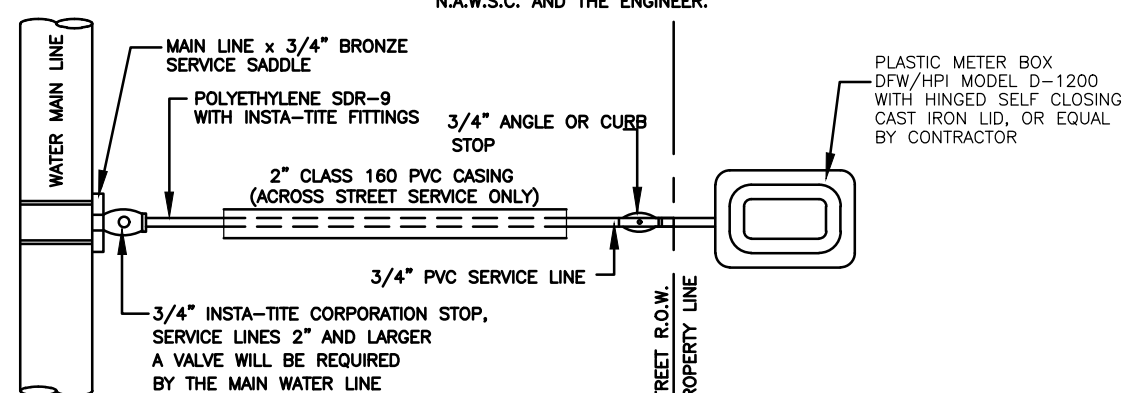
WATER DISTRIBUTION:	\$ 994,178.00
SANITARY SEWER IMPROVEMENTS:	\$ 677,858.00
DRAINAGE IMPROVEMENTS:	\$ 1,402,156.00
PAVING IMPROVEMENTS:	\$ 2,173,141.50

ESTIMACION DE COSTOS:

SERVICIO DE AGUA POTABLE:	\$ 994,178.00
SERVICIO DE DRENAJE SANITARIO:	\$ 677,858.00
DREAJE PLUVIAL:	\$ 1,402,156.00
PAVIMENTACION DE CALLES:	\$ 2,173,141.50



DUAL WATER SERVICE CONNECTION



SINGLE WATER SERVICE CONNECTION

MAP OF WATER & SEWER DISTRIBUTION SYSTEM MAPA DE SISTEMA DE DISTRIBUCION DE AGUA Y DERAJE SANITARIO

PLAT OF

EL ENCANTADO

BEING A SUBDIVISION OF A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS

SUBDIVIDER CERTIFICATION

1. BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS AND OR WATER WELLS FOR EACH LOT(S) MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

1. We, LOS VECINDADES RGV, L.P., SUBDIVIDER OF EL ENCANTADO, HEREBY CERTIFY SEWER PERMITS HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT THAT ANY ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

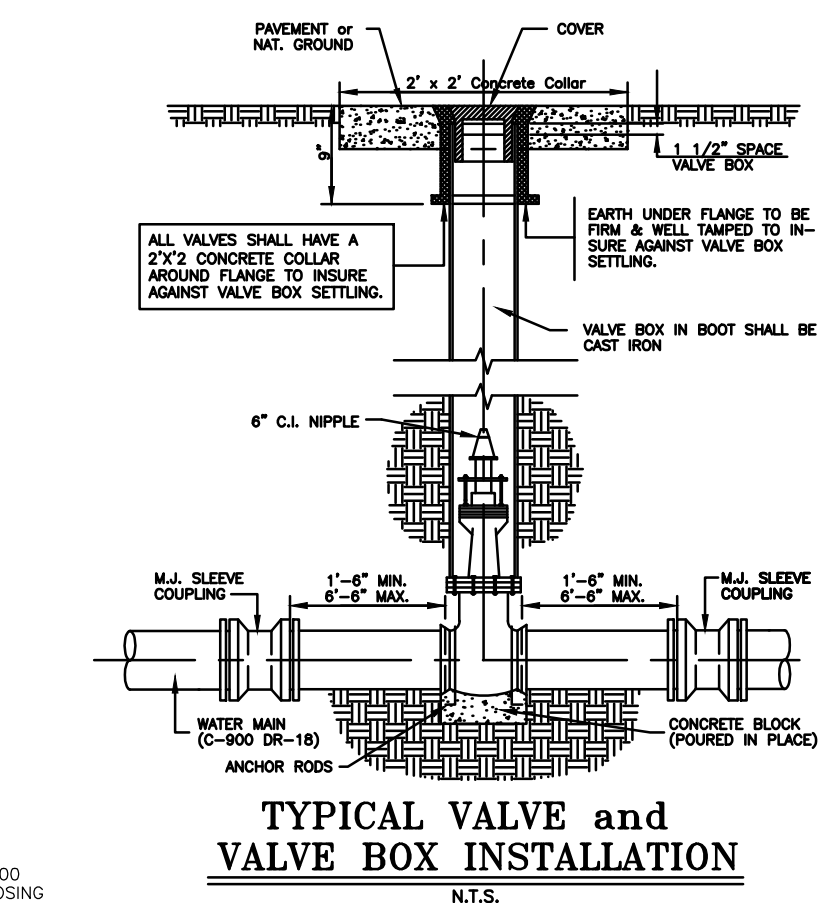
LOS VECINDADES RGV, L.P., A TEXAS LIMITED PARTNERSHIP
JOHN R. MAYS
11410 N. F.M. 493
DONNA, TEXAS 78537

STATE OF TEXAS
COUNTY OF HIDALGO:

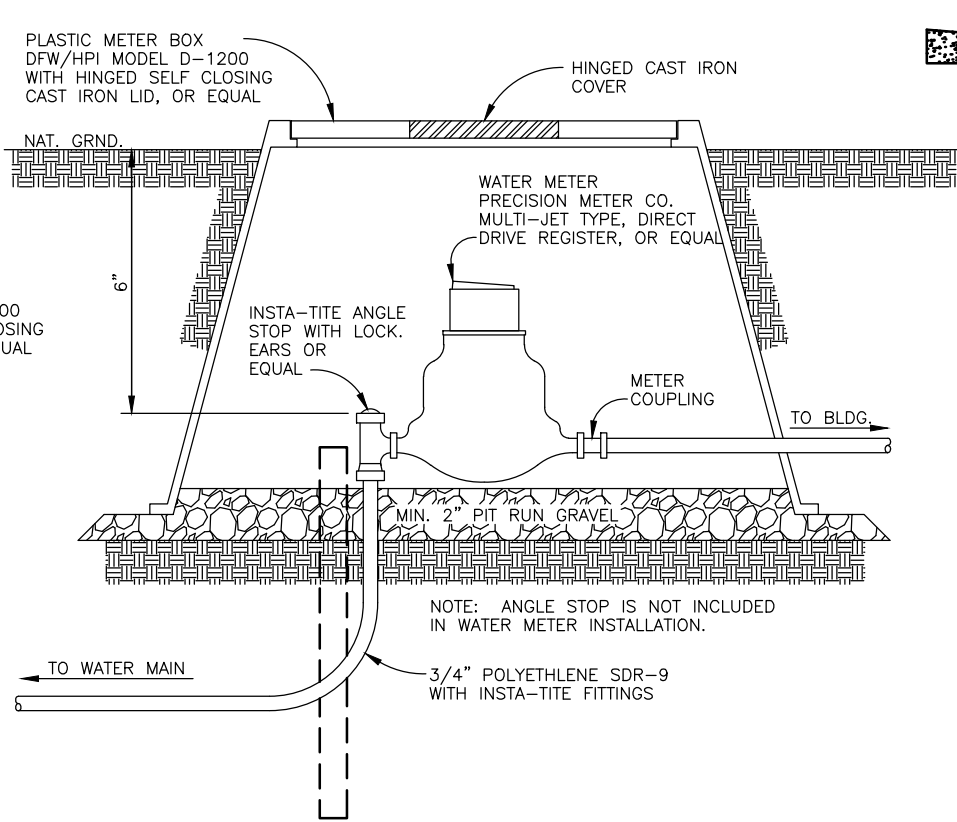
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, KNOWN TO ME THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO BE THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE _____ DAY OF _____, 20____

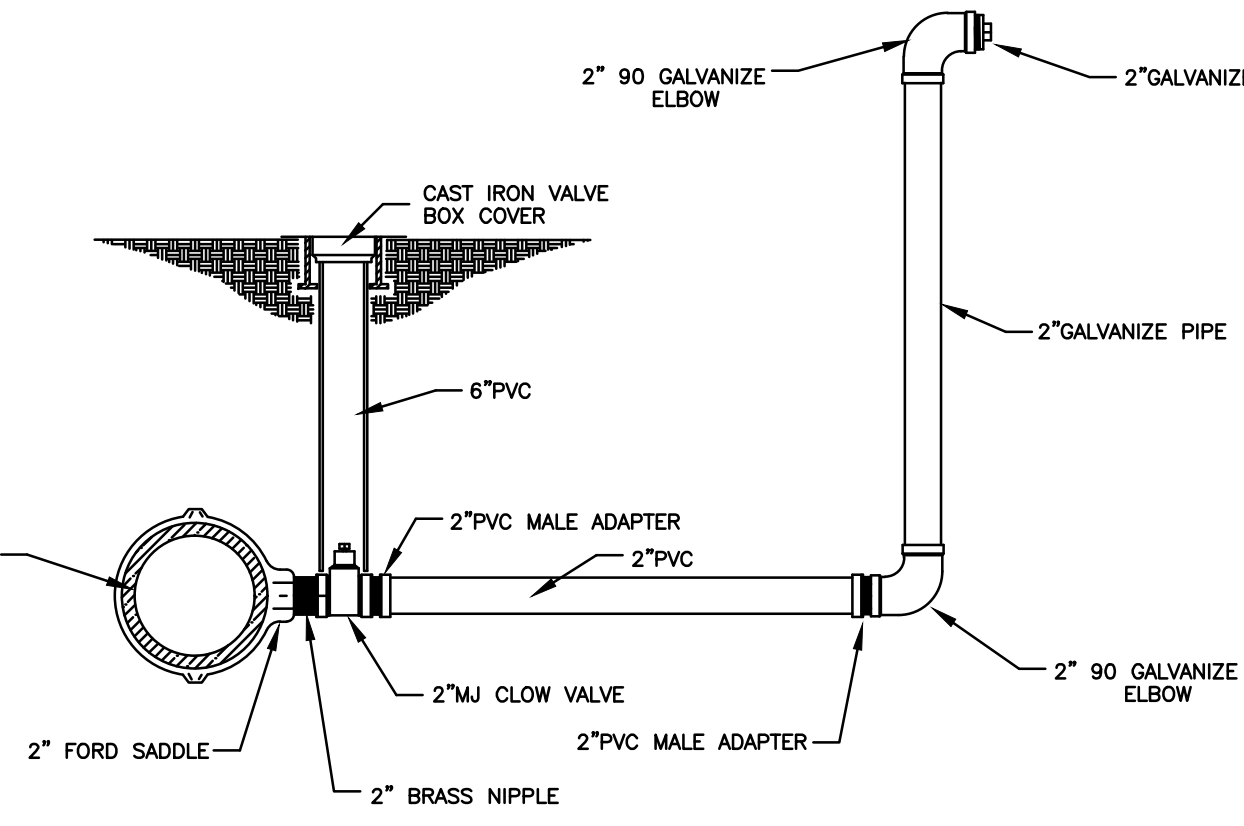
NOTARY PUBLIC
MY COMMISSION EXPIRES _____



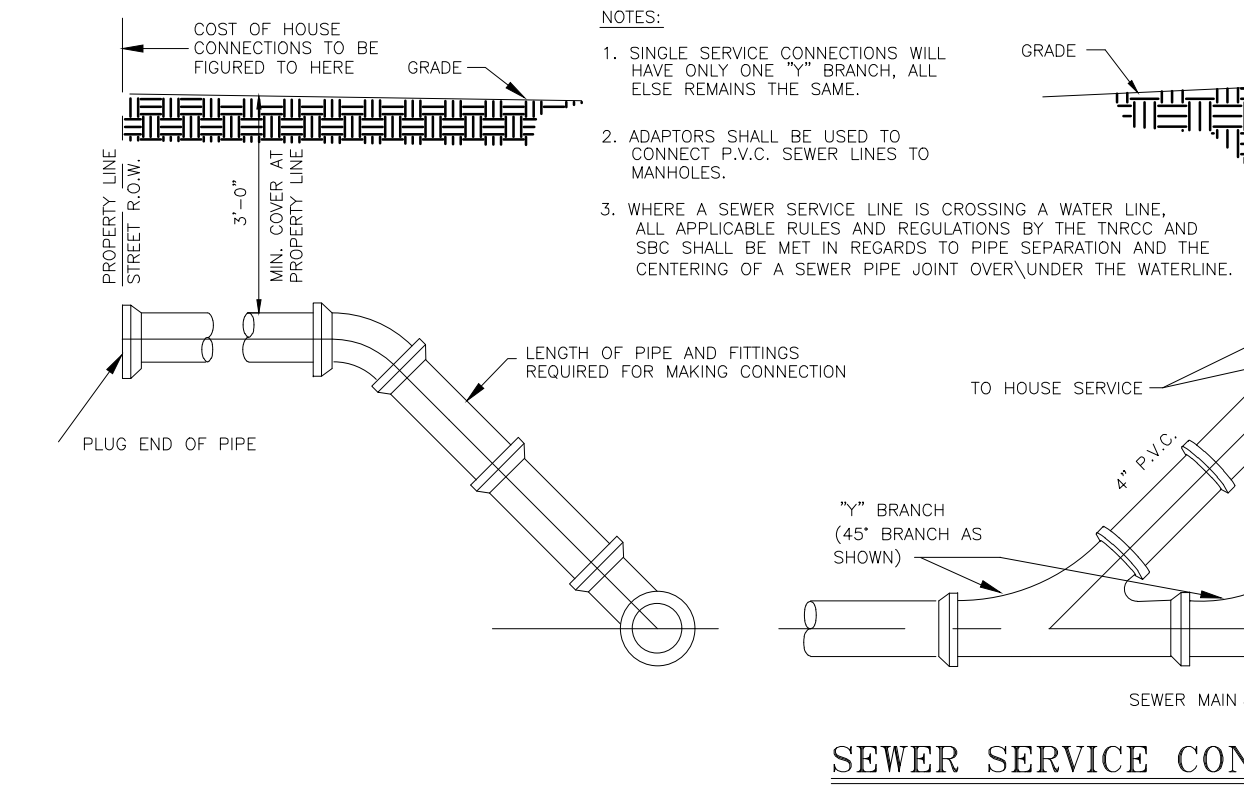
TYPICAL VALVE and VALVE BOX INSTALLATION



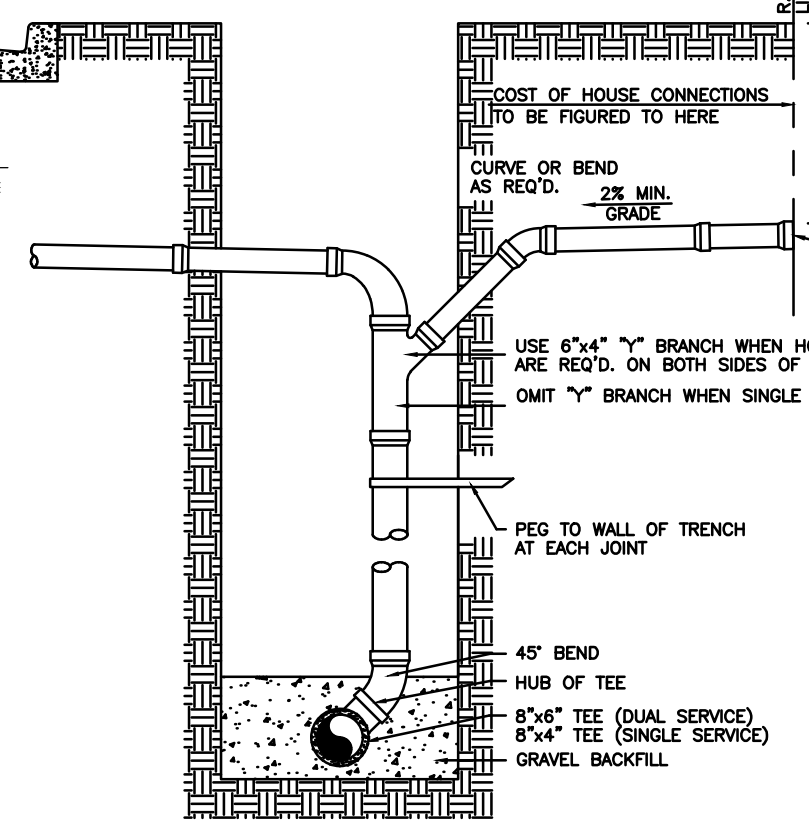
TYPICAL WATER METER INSTALLATION



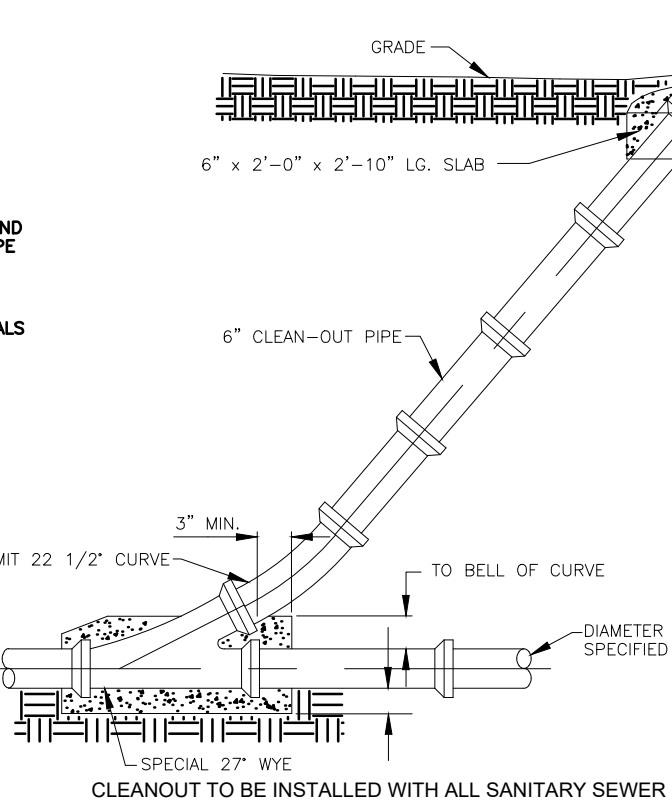
FLUSH VALVE ASSEMBLY



SEWER SERVICE CONNECTION



SANITARY SEWER SERVICE CONNECTION



STANDARD CLEANOUT

FINAL WATER AND SEWER ENGINEERING REPORT IN SPANISH (WATER AND WASTE WATER DISTRIBUTION SYSTEM BEING INSTALLED)
PROVISION DE AGUA: DESCRIPCION, GASTOS Y FECHAS DE INICIO

EL ENCANTADO RECIBIRÁ SU PROVISIÓN DE AGUA DE NORTH ALAMO WATER SUPPLY CORPORATION (LA COMPAÑÍA DE AGUA N.A.W.S.C.). EL DUEÑO DE LA SUBDIVISIÓN Y N.A.W.S.C. HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISIÓN RECIBIRÁ SU PROVISIÓN DE AGUA POR LOS PRÓXIMOS 30 AÑOS. N.A.W.S.C. HA PRESENTADO DOCUMENTACIÓN PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISIÓN.

N.A.W.S.C. TIENE UN CONDUCTO DE 4" EN EL LADO OESTE DE HOTTO ROAD Y UN CONDUCTO DE 6" EN EL LADO ESTE DEL DERECHO DE VILL DE HOTTO ROAD APOXIMATEMENTE 2075.0 PIES DEL SUR DE MILE 9 ROAD, UN CONDUCTO DE 4" EN EL LADO NORTE DEL DERECHO DE VILLA DE GOOLIE ROAD APOXIMATEMENTE 425.0 PIES SUR DEL MILE 9 ROAD Y UN CONDUCTO DE 6" EN EL LADO NORTE DEL DERECHO DE VILLA DE COUNTY ROAD EN EL SUR DE ESTA SUBDIVISION. EL SISTEMA DE PROVISION DE AGUA DE EL ENCANTADO CONSISTE DE CONDUCTOS DE AGUA DE 6" QUE SE CONECTA CON LOS CONDUCTOS DE AGUA EXISTENTES DE 4" & 6" EN EL LADO OESTE DE HOTTO ROAD APOXIMATEMENTE 2075.0 PIES SUR DE MILE 9 ROAD CUAL SI EN EL LADO ESTE DE HOTTO ROAD Y SIGUE HACIA EL SUR SIGUE HACIA EL NORTE LUEGO SIGUE AL ESTE POR EL LADO NORTE DE DERECHO DE VILL DE PLACER AVENUE TERMINARA EL LADO ESTE DE DICHOSO AVENUE EN EL LADO SURESTE DE LOTE 286. OTRO CONDUCTO DE AGUA DE 6" SE CONECTA A LA LINEA DE 4" EN EL LADO NORTE DE MILE 9 ROAD APOXIMATEMENTE 535.0 PIES SUR DE MILE 9 ROAD CUAL SIGUE HACIA EL ESTE POR EL LADO NORTE DE DERECHO DE VILL DE JUBILOSO AVENUE TERMINARA EN EL LADO NOROESTE DE LOTE 285. UN CONDUCTO DE AGUA DE 6" SE CONECTA A LA LINEA DE 4" EN EL LADO NORTE DE MILE 9 ROAD APOXIMATEMENTE 580.0 PIES AL ESTE DE HOTTO ROAD Y SIGUE HACIA EL SUR POR EL LADO ESTE DE DERECHO DE VILL DE FORTUNADO AVENUE Y SE CONECTA A LA LINEA DE 6" EN EL LADO NORTE DEL DERECHO DE VILLA DE COUNTY ROAD. OTRO CONDUCTO DE AGUA DE 6" SE CONECTA A LA LINEA DE 6" EN EL LADO OESTE DEL DERECHO DE VILLA DE GOOLIE ROAD APOXIMATEMENTE 425.0 PIES SUR DE MILE 9 ROAD Y SIGUE AL NORTE LUEGO SIGUE AL OESTE EN EL LADO SUR DEL DERECHO DE VILLA DE MILE 9 ROAD LUEGO SIGUE HACIA EL SUR POR EL LADO ESTE DE DERECHO DE VILL DE DICHOSO AVENUE CONECTANDO UN CONDUCTO DE 6" EN EL LADO NORTE DEL DERECHO DE VILLA DE COUNTY ROAD. OTRO CONDUCTO DE 6" SE CONECTA A LA LINEA DE 6" EN EL LADO NORTE DE COUNTY ROAD EN EL LADO SURESTE DE LOTE 98 Y SIGUE AL ESTE CONECTANDO A LA LINEA DE 6" EN EL LADO SURESTE DE LOTE 322. OTRO CONDUCTO DE AGUA DE 6" SE CONECTA A LA LINEA DE AGUA EN EL LADO NOROESTE LOT LOTE 280 Y SIGUE AL OESTE EN EL LADO SUR DEL DERECHO DE VILLA DE CONTENTO AVENUE TERMINANDO CON UNA VÁRVULA DE 2" EN EL LADO NOROESTE DE LOTE 9. OTRO CONDUCTO DE 6" SE CONECTA A LA LINEA DE 6" DE AGUA EN EL LADO ESTE DEL DERECHO DE VILLA DE DICHOSO AVENUE EN EL LADO SURESTE DE LOTE 291 LUEGO SIGUE AL OESTE POR EL LADO SUR DEL DERECHO DE VILLA DE GUSTOSO AVENUE TERMINANDO CON UNA VÁRVULA DE 2" EN EL LADO NOROESTE DE LOTE 41. OTRO CONDUCTO DE 6" SE CONECTA A LA LINEA DE AGUA EN EL LADO NOROESTE DE LOTE 177 LUEGO SIGUE AL ESTE POR EL LADO SUR DEL DERECHO DE VILLA DE BENIGNON AVENUE CONECTANDO A LA LINEA DE 6" EN EL LADO ESTE DEL DERECHO DE VILLA DE DICHOSO AVENUE EN EL LADO NOROESTE DE LOTE 302. OTRO CONDUCTO DE 6" SE CONECTA A LA LINEA DE 6" EN EL LADO SURESTE DE LOTE 156 LUEGO SIGUE AL ESTE POR EL LADO NORTE DEL DERECHO DE VILLA DE EUFORIA AVENUE CONECTANDO A LA LINEA DE 6" EN EL LADO ESTE DEL DERECHO DE VILLA DE DICHOSO AVENUE EN EL LADO SURESTE DE LOTE 306. OTRO CONDUCTO DE 6" SE CONECTA A LA LINEA DE AGUA EN EL LADO NOROESTE DE LOTE 133 LUEGO SIGUE AL ESTE POR EL LADO SUR DEL DERECHO DE VILLA DE RISENO AVENUE TERMINANDO EL LADO ESTE DEL DERECHO DE VILLA DE DICHOSO AVENUE EN EL LADO NOROESTE DE LOTE 112. OTRO CONDUCTO SANITARIO DE 6" SE CONECTA A LA LINEA DE AGUA EN EL LADO SURESTE DE LOTE 112 LUEGO SIGUE AL ESTE POR EL LADO SUR DEL DERECHO DE VILLA DE FELICIDAD AVENUE CONECTANDO AL CONDUCTO DE 6" EN EL LADO ESTE DEL DERECHO DE VILLA DE DICHOSO AVENUE EN EL LADO SURESTE DE LOTE 317 PARA SERVIR ESTA SUBDIVISION.

DEL CONDUCTO DE AGUA DE 6" SE PRODUCEN TRECENTO VIENTE-TRES (323) CONDUCTOS DE AGUA DE 1" PARA CADA LOTE. SE HAN INSTALADO LOS CONDUCTOS DE AGUA DE 6", LOS CONDUCTOS DE AGUA DE 1", Y LOS MEDIDORES MECÁNICOS DE AGUA A UN COSTO TOTAL DE \$ 894,178.00, O \$3,937.50 POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIÉN LE HA PAGADO A LA COMPAÑÍA N.A.W.S.C. \$273,700.00, QUE CUBRE EL COSTO DEL MEDIDOR MECÁNICO DE AGUA PARA CADA LOTE, \$850.00. ESTE PRECIO INCLUYE EL COSTO DE LA INSTALACION DE CADA MEDIDOR Y LOS GASTOS DE CONEXION. CUANDO EL DUEÑO DE CADA LOTE SOLICITE UN MEDIDOR DE AGUA, LA COMPAÑÍA N.A.W.S.C. LO INSTALARA SIN CARGO GASTO AL DUEÑO DE LA SUBDIVISION. TAMBIÉN HA INSTALADO 21 BOMBAS DE AGUA PARA CADA LOTE A UN COSTO TOTAL DE \$4,600.00 POR CADA LOTE. CUAL GASTA UNA CANTIDAD TOTAL \$96,600.00. EL SISTEMA DE AGUA ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

DRENAJE: DESCRIPCION, GASTOS Y FECHA DE INICIO PARA FACILITAR EL DRENAJE PARA LA SUBDIVISION

EL ENCANTADO RECIBIRÁ SU PROVISIÓN DE DRENAJE SANITARIO DE NORTH ALAMO WATER SUPPLY CORPORATION (LA COMPAÑÍA DE DRENAJE SANITARIO N.A.W.S.C.). EL DUEÑO DE LA SUBDIVISION Y N.A.W.S.C. HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRÁ SU PROVISIÓN DE DRENAJE SANITARIO POR LOS PRÓXIMOS 30 AÑOS. N.A.W.S.C. HA PRESENTADO DOCUMENTACIÓN PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE DRENAJE SANITARIO ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

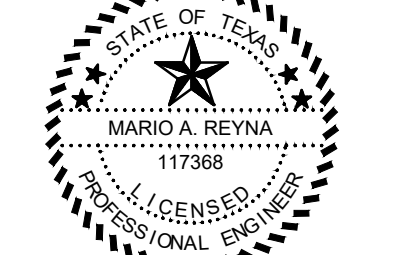
EL SISTEMA DE PROVISION DE DRENAJE SANITARIO DE N.A.W.S.C. PARA EL ENCANTADO CONSISTE DE UN CONDUCTO DE DRENAJE DE 8" QUE PASA POR EL LADO OESTE DEL DERECHO DE VIA (RIGHT OF WAY) DE LA CARRETERA GOOLIE ROAD. EL SISTEMA DE PROVISION DE DRENAJE SANITARIO DE LA SUBDIVISION EL ENCANTADO CONSISTE DE UN SISTEMA DE PLANTA DE PRECISION, LINEA DE PRECISION DE 8", CONDUCTO DE DRENAJE DE 8". LA PLANTA DE PRECISION ESTA LOCALIZADA EN EL LADO SURESTA DE LOTE 301 Y LA LINEA DE 8" DE PRECISION SIGUE AL NORTE POR EL LADO OESTE DEL DERECHO DE VILLA DE GOOLIE ROAD APOXIMATEMENTE 1,300.0 PIES SUR DE MILE 9 ROAD. DE LA PLANTA DE PRECISION SIGUE UN CONDUCTO DE 8" AL OESTE POR EL LADO NORTE DEL DERECHO DE VILLA DE BENIGNON AVENUE LUEGO SIGUE AL NORTE POR EL LADO OESTE DEL DERECHO DE VILLA DE FORTUNADO AVENUE TERMINANDO CON UN ALcantarilla EL LADO SURESTE DE LOTE 64. OTRO CONDUCTO SANITARIO DE 8" SE CONECTA A LA LINEA SANITARIA EN EL LADO SURESTE DE LOTE 144 LUEGO SIGUE AL OESTE EN EL LADO NORTE DEL DERECHO DE VILLA DE RISENO AVENUE TERMINANDO CON UN ALcantarilla DE 48" EN EL LADO SURESTE DE LOTE 154. OTRO CONDUCTO SANITARIO DE 8" SE CONECTA A LA LINEA SANITARIA EN EL LADO SURESTE DE LOTE 145 LUEGO SIGUE AL OESTE EN EL LADO NORTE DEL DERECHO DE VILLA DE EUFORIA AVENUE LUEGO SIGUE AL NORTE POR EL LADO OESTE DEL DERECHO DE VILLA DE FORTUNADO AVENUE TERMINANDO CON UN ALcantarilla EL LADO SURESTE DE LOTE 90. ANOTHER 8" SANITARY SEWER LINE TAPS INTO THE 8" SEWER LINE ALONG THE SOUTH SIDE OF DICHOSO AVENUE RIGHT-OF-WAY ENDING WITH A MANHOLE AT THE SOUTHWEST CORNER OF LOT 90. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE NORTHWEST CORNER OF LOT 145 THEN RUNS WEST ALONG THE SOUTH SIDE OF EUFORIA AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 154. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SANITARY SEWER LINE AT THE SOUTHWEST CORNER OF LOT 144 THEN RUNS WEST ALONG THE NORTH SIDE OF RISENO AVENUE RIGHT-OF-WAY ENDING AT THE SOUTHWEST CORNER OF LOT 135. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE NORTHWEST CORNER OF LOT 101 THEN RUNS WEST ALONG THE SOUTH SIDE OF FELICIDAD AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 110. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE A PREVIOUSLY MENTIONED 8" SANITARY SEWER LINE AT THE SOUTHWEST CORNER OF LOT 188 THEN RUNS NORTH ALONG THE WEST SIDE OF DICHOSO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 276. ANOTHER 8" SEWER LINE CONNECTS TO THE 8" SANITARY SEWER LINE AT THE NORTHWEST CORNER OF LOT 189 THEN RUNS WEST ALONG THE SOUTH SIDE OF PLACER AVENUE RIGHT-OF-WAY ENDING AT THE NORTHWEST CORNER OF LOT 57. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE SOUTHEAST CORNER OF LOT 232 THEN RUNS WEST ALONG THE NORTH SIDE OF GUSTOSO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE SOUTHEAST CORNER OF LOT 40. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE 8" SANITARY SEWER LINE AT THE NORTHWEST CORNER OF LOT 233 THEN RUNS WEST ALONG THE SOUTH SIDE OF JUBILOSO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE NORTHWEST CORNER OF LOT 25. ANOTHER 8" SANITARY SEWER LINE CONNECTS TO THE 8" SEWER LINE AT THE SOUTHEAST CORNER OF LOT 276 THEN RUNS WEST ALONG THE NORTH SIDE OF CONTENTO AVENUE RIGHT-OF-WAY ENDING WITH A 48" MANHOLE AT THE SOUTHEAST CORNER OF LOT 8 TO SERVICIE THIS SUBDIVISION.

DE LOS CONDUCTOS SANITARIO DE 8", TRESCIENTOS VIENTE-TRES (323) LINEAS DE SERVICIO DE 4 PULGADAS SERAN EXTENDIDAS HA CADA LOTE. LA PLANTA DE PRECISION, LA LINEA DE PRECION DE 8" Y LAS LINEAS DE 8", DE 4" Y TRENTA-OCHO (38) ALcantarillas HAN SIDO INSTALADAS, HA UN COSTO TOTAL DE \$877,858.00 O \$2,726.27 POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIÉN LE HA PAGADO A LA COMPAÑÍA N.A.W.S.C. UN COSTO TOTAL DE \$257,600.00, O \$800.00 POR LOTE. EL SISTEMA DE DRENAJE SANITARIO ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

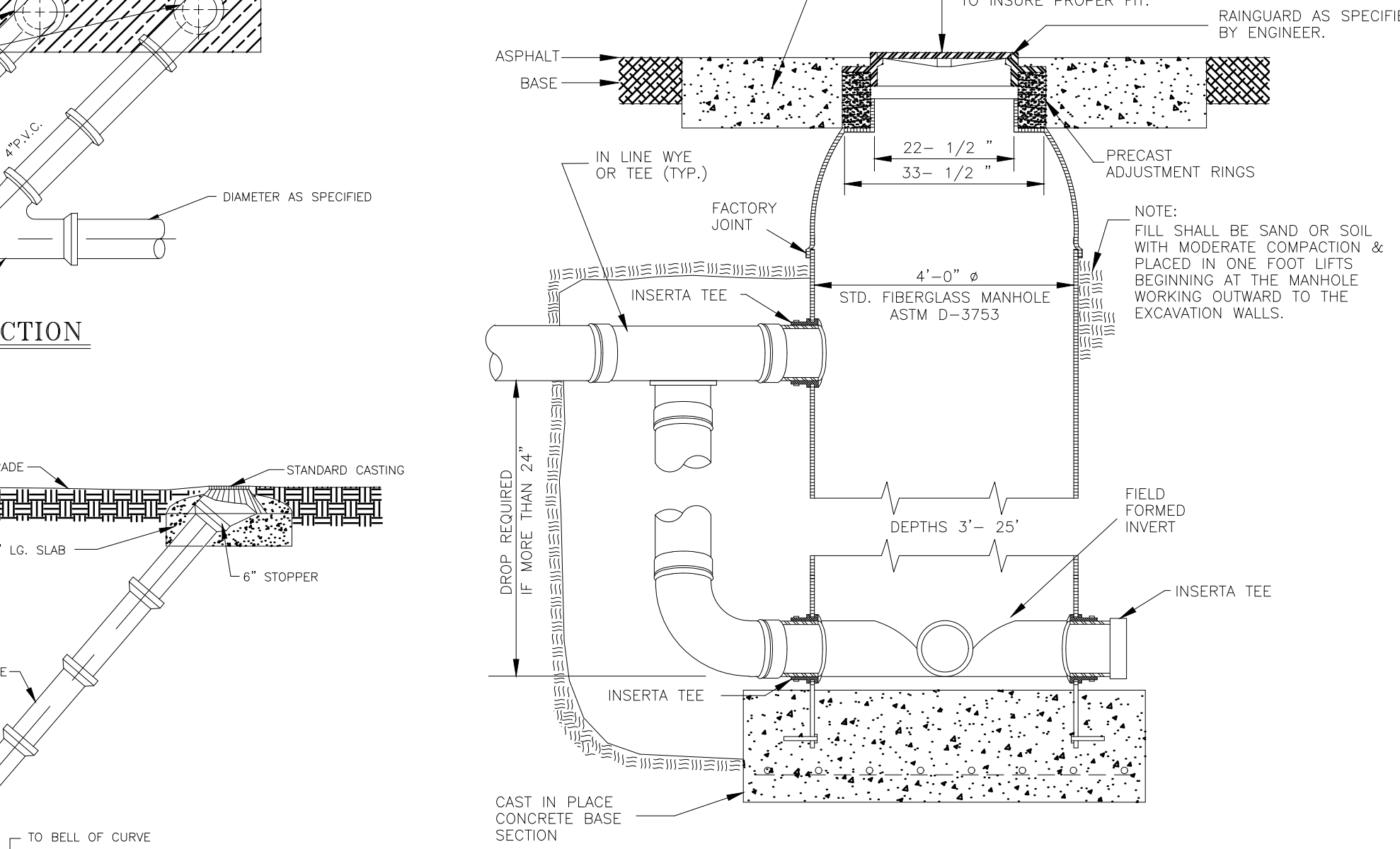
CERTIFICACION:
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

AGUA: EL SISTEMA/SERVICIO DE AGUA SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECÁNICO DE AGUA QUE COSTARA UN TOTAL DE \$81,267,878.00 O \$3,937.51 POR LOTE.

DRENAJE: SE ESTIMA QUE EL DRENAJE COSTARA UN COSTO TOTAL DE \$1,135,458.00 O \$3,526.27 POR LOTE.

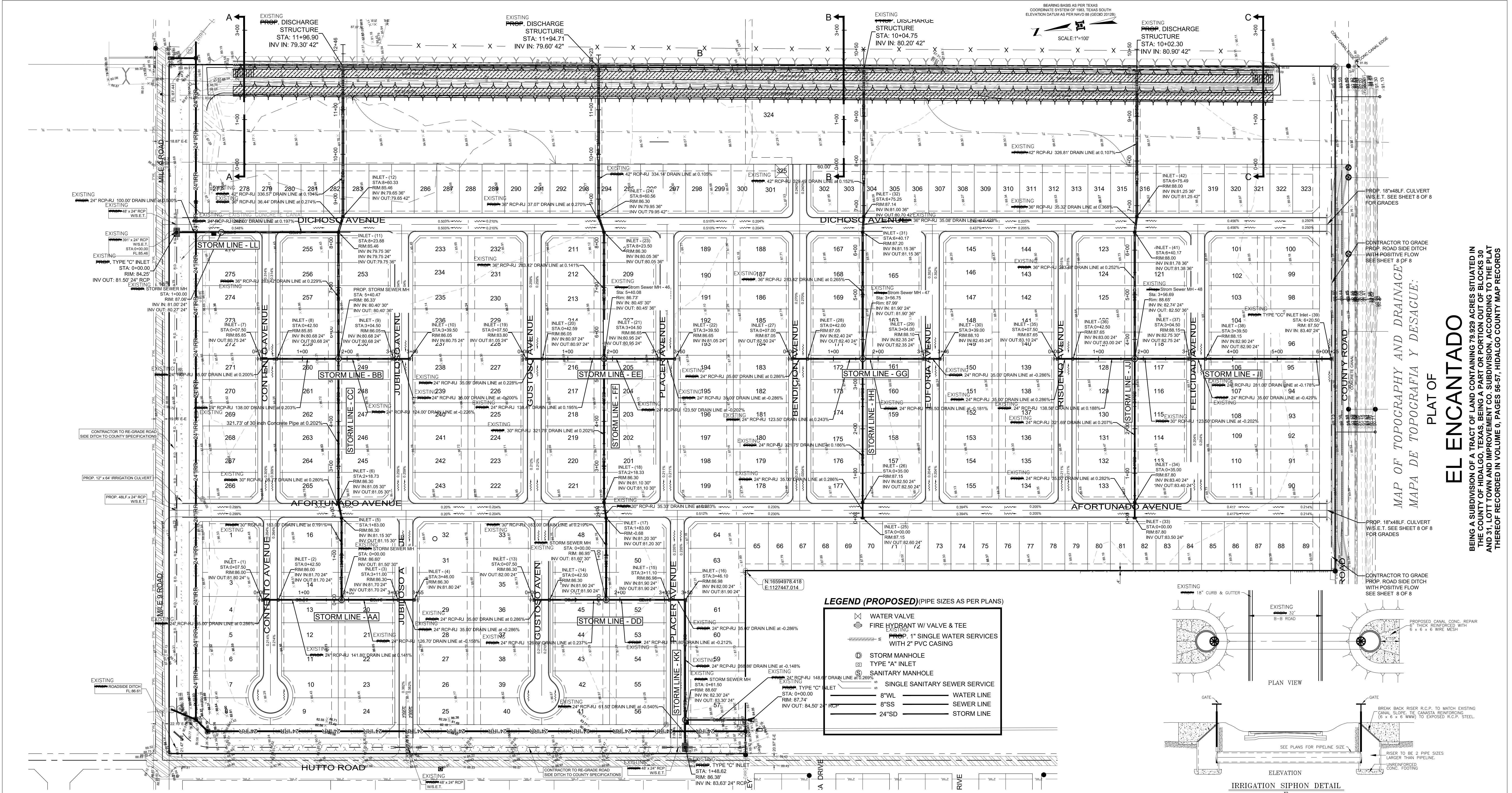


NOTE: TRAFFIC AREAS POUR CONC. COLLAR AT FINISH GRADE, 6 FT. DIA.13" THICK
NOTE: MANHOLE RING AND COVER TO BE "WESTERN IRON WORK" OLD STYLE SAN ANTONIO 9" OR EQUAL. MANHOLE RING AND COVER SHALL BE MACHINED TO INSURE PROPER FIT.



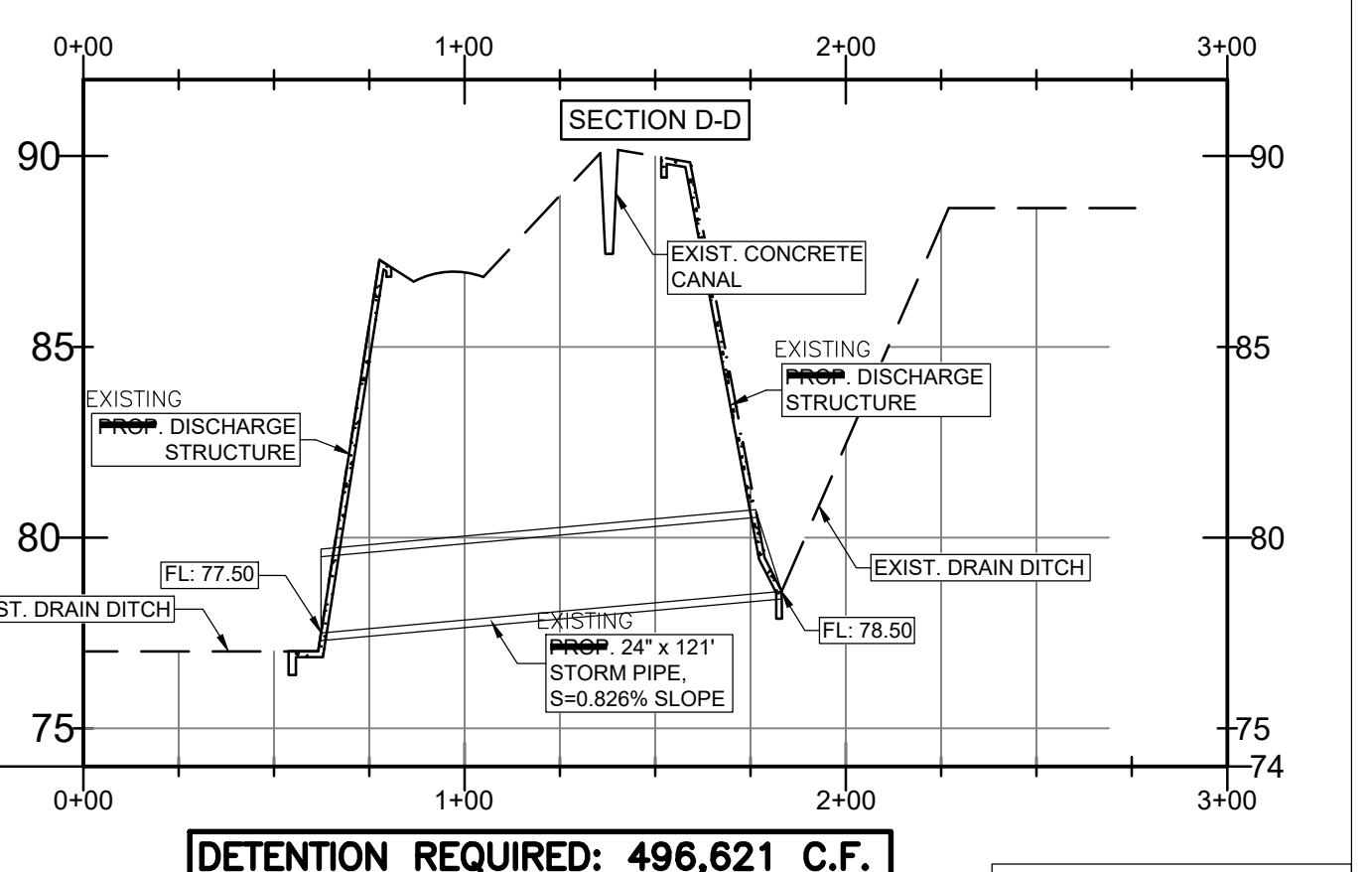
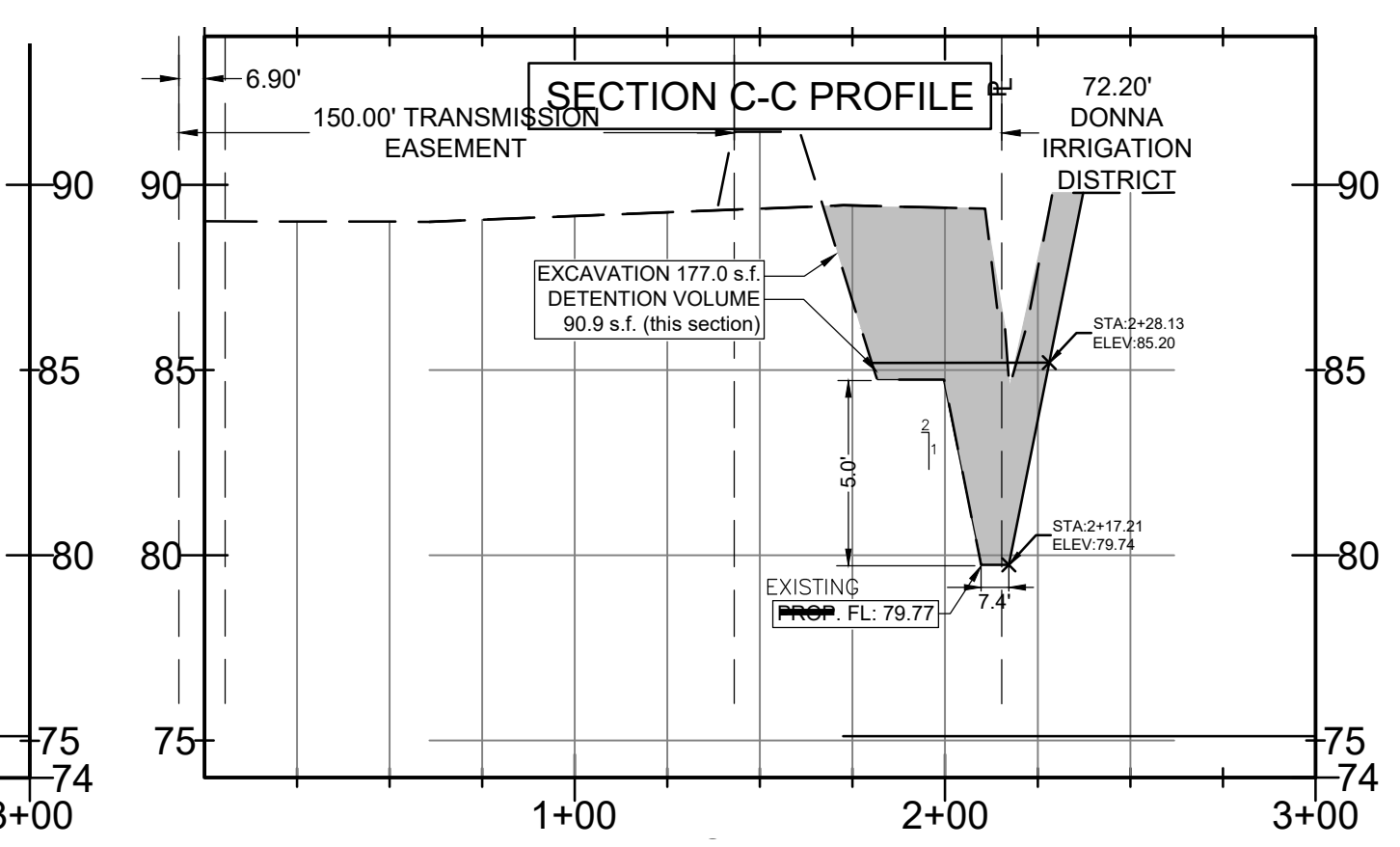
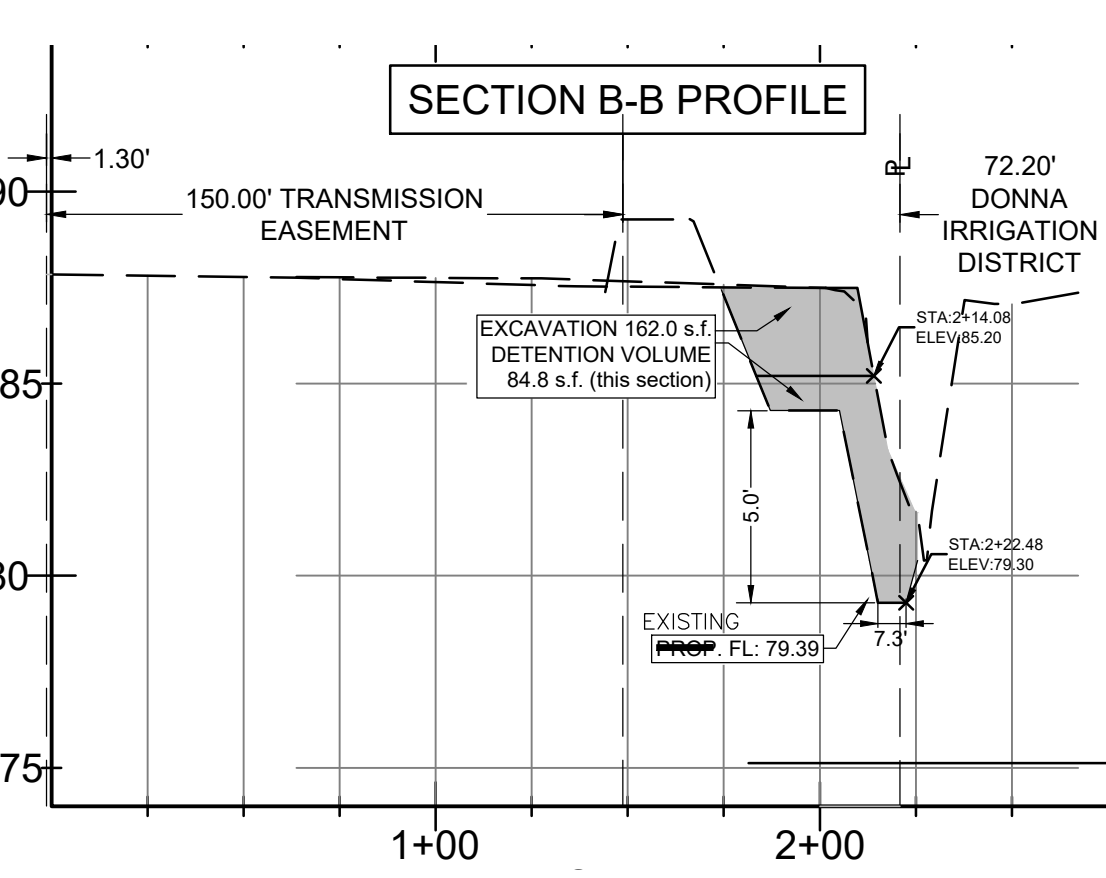
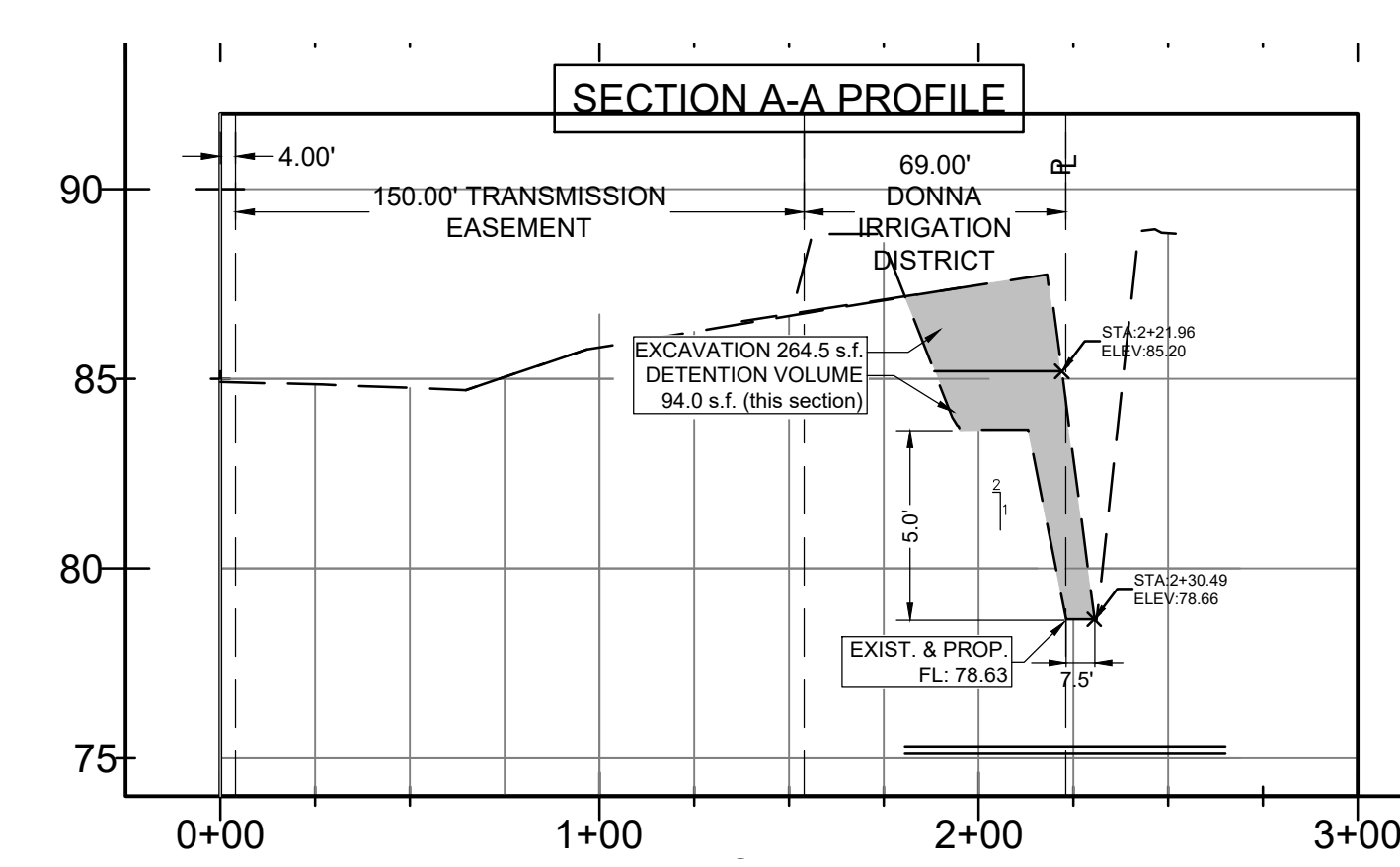
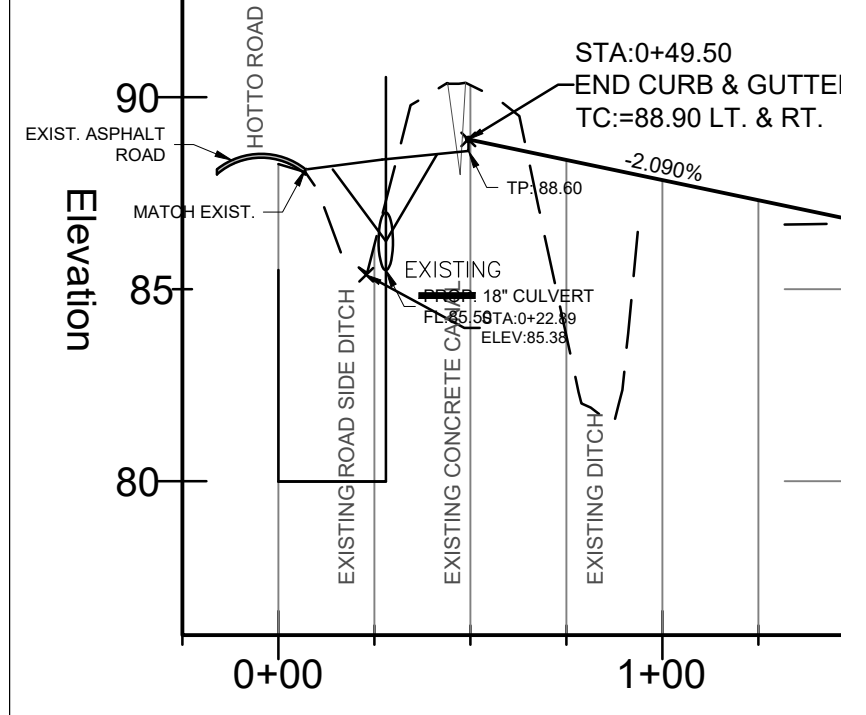
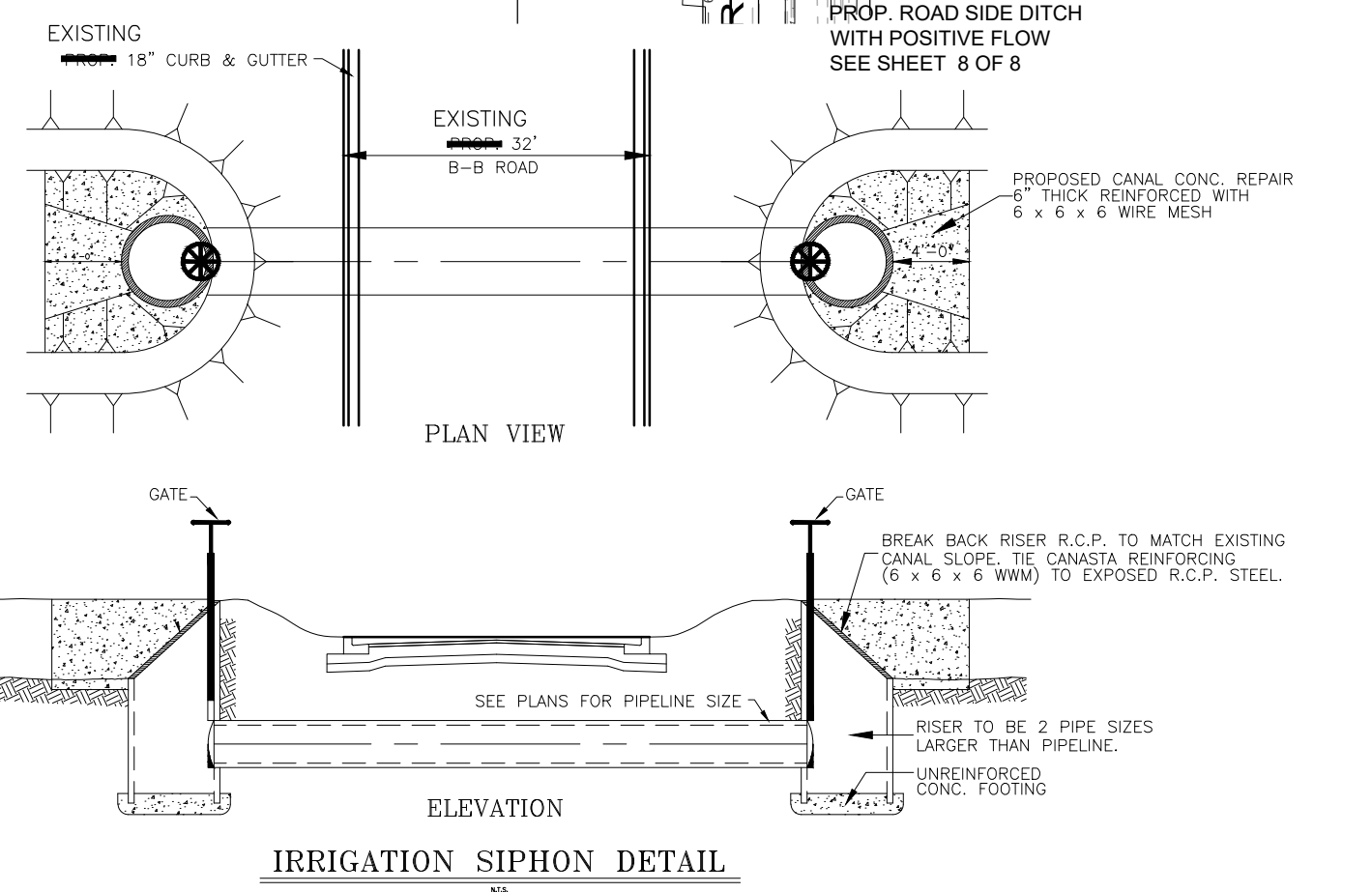
TYPICAL FIBERGLASS MANHOLE

MELDEN & HUNT, INC. TEXAS REGIST F-1435
MELDEN & HUNT INC. CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com



LEGEND (PROPOSED) (PIPE SIZES AS PER PLANS)

- WATER VALVE
- FIRE HYDRANT W/ VALVE & TEE
- 1" SINGLE WATER SERVICES WITH 2" PVC CASING
- STORM MANHOLE
- TYPE "A" INLET
- SANITARY MANHOLE
- SINGLE SANITARY SEWER SERVICE
- 8"WL WATER LINE
- 8"SS SEWER LINE
- 24"SD STORM LINE



DETENTION REQUIRED: 496,621 C.F.
DETENTION PROVIDED: 209,017 C.F.

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 PH: (956) 381-0981 - FAX: (956) 381-1839
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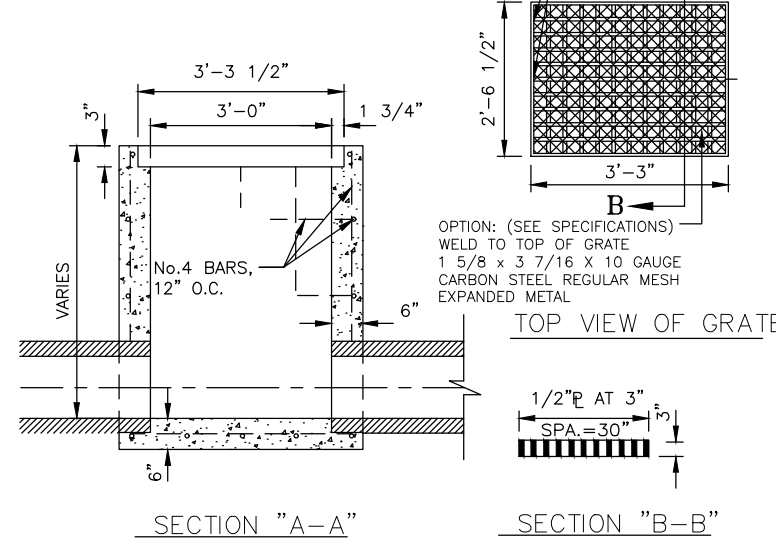
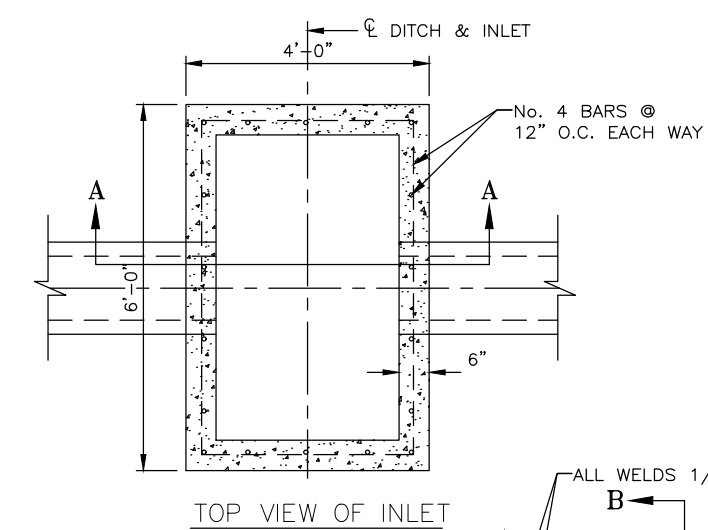
252.77 S.F. (C.S.A.) X 2,400 LINEAR FEET= 606,648 C.F.

SHEET 6 OF 8 SHEETS

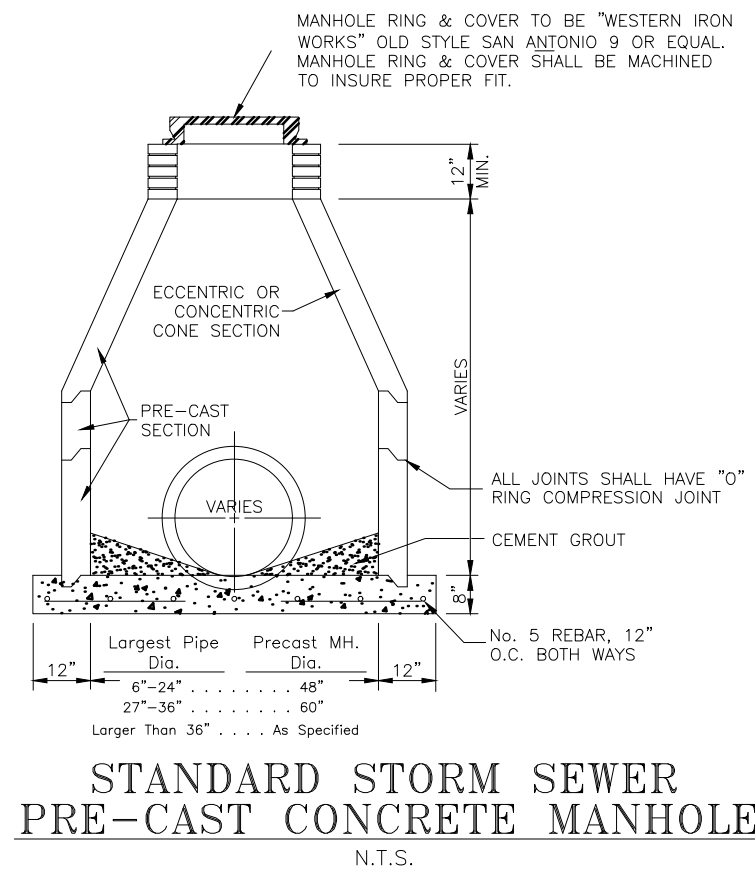
MAP OF TOPOGRAPHY AND DRAINAGE
 MAPA DE TOPOGRAFIA Y DESAGUE
 PLAT OF

EL ENCANTADO

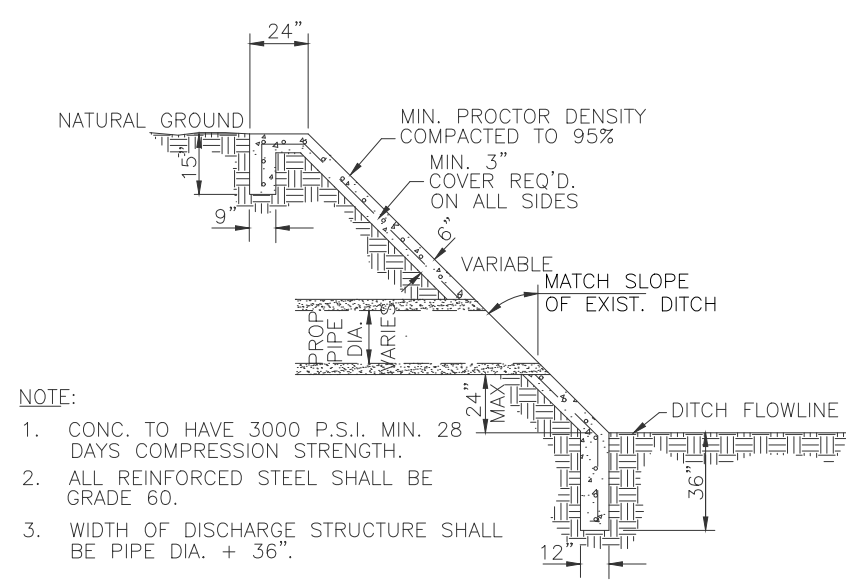
BEING A SUBDIVISION OF A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOTT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS



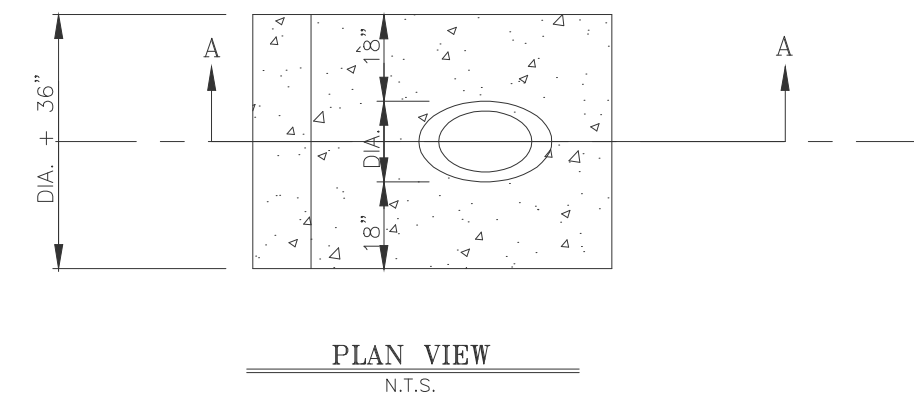
SECTION "A-A" SECTION "B-B"
TYPE "C-C" GRATED INLET
(TWO GRATES PER INLET)



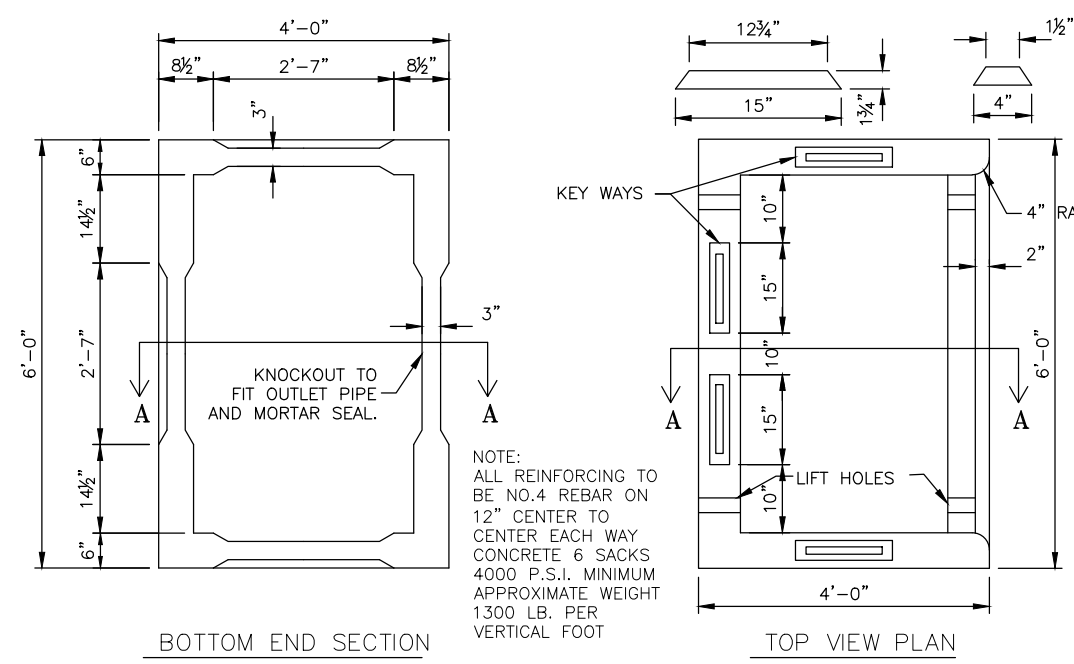
STANDARD STORM SEWER
PRE-CAST CONCRETE MANHOLE
N.T.S.



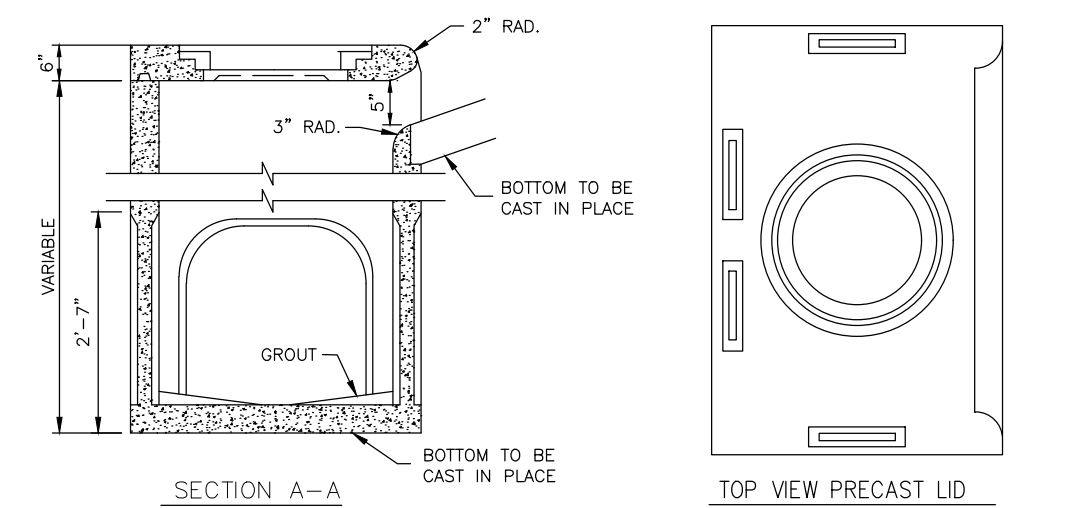
STORM DISCHARGE STRUCTURE
N.T.S.



PLAN VIEW
N.T.S.

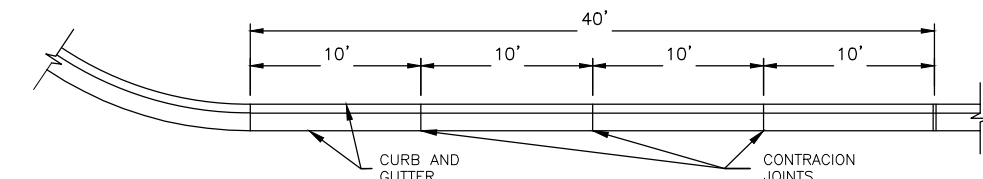


BOTTOM END SECTION TOP VIEW PLAN



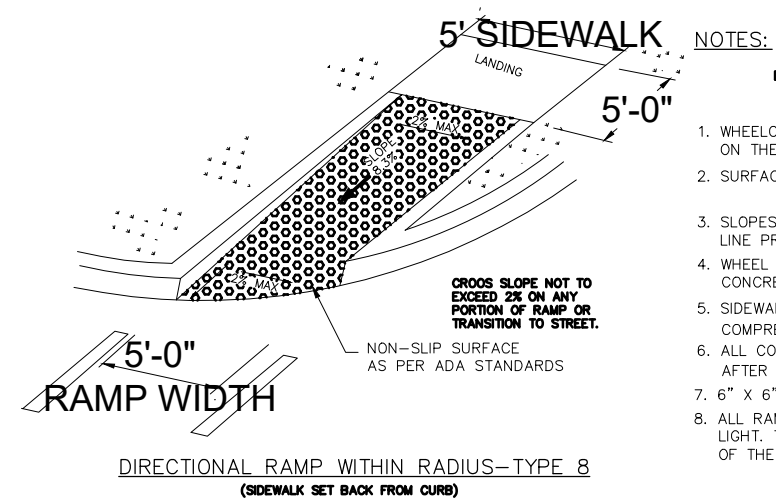
SECTION A-A TOP VIEW PRECAST LID

PRECAST TYPE "A" INLET



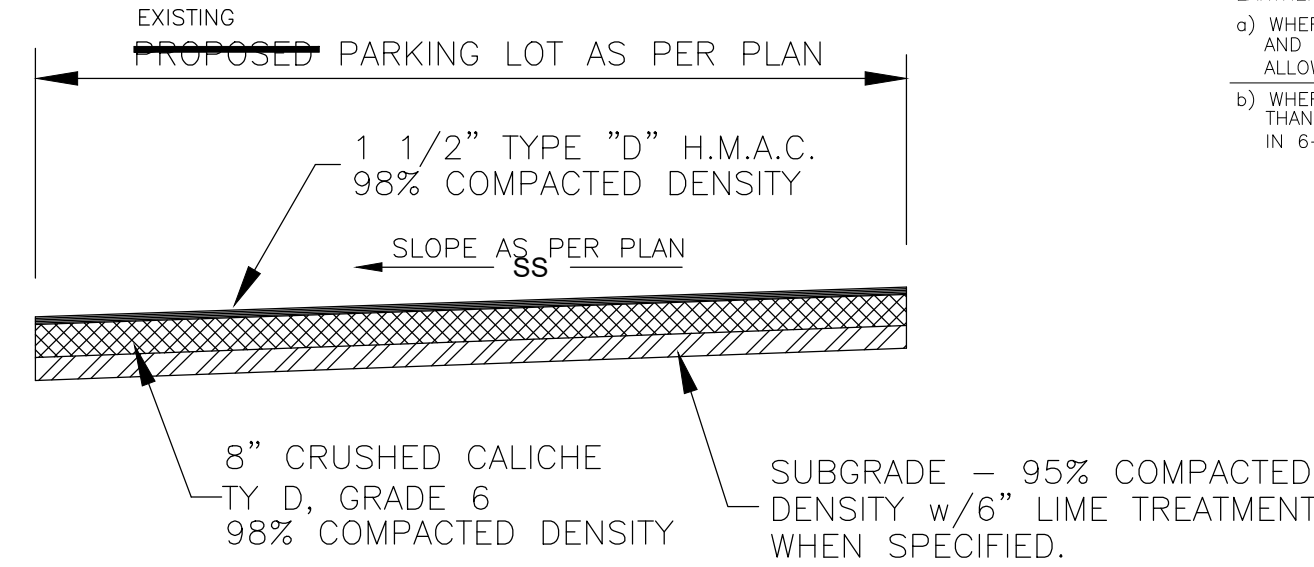
CURB AND GUTTER DETAIL
NOT TO SCALE

SEAWALK NOTES:
MINIMUM 5'-0" WIDE SEAWALK.
SEAWALK GRADIENT SHALL NOT EXCEED 1:20.
SEAWALK CONCRETE SHALL BE 5 SACK CEMENT MIX AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF EXISTING UTILITY LINES WITH APPROPRIATE COMPANIES TO AVOID PLACING SEAWALKS ON TOP OF LINES.
PROVIDE DROP CURBS AT INTERSECTIONS.
CONTRACTOR SHALL COMPLY WITH LATEST REGULATIONS AS SET FORTH IN AMERICANS WITH DISABILITIES ACT (ADA).

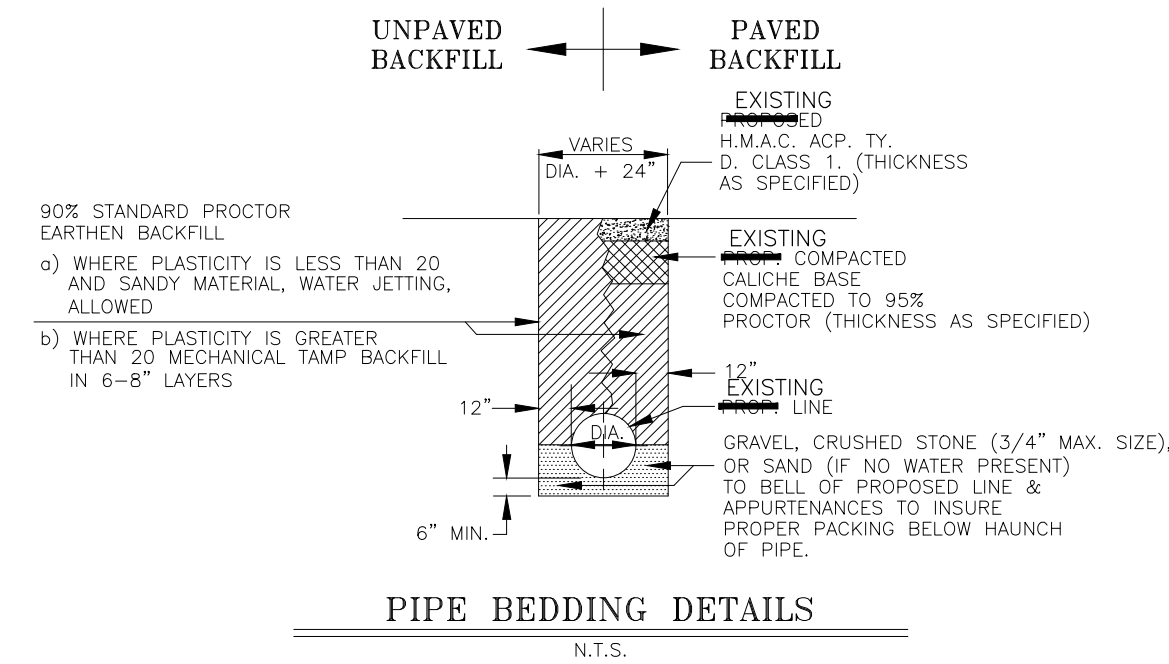


DIRECTIONAL RAMP WITHIN RADIUS-TYPE B
(SEAWALK SET BACK FROM CURB)

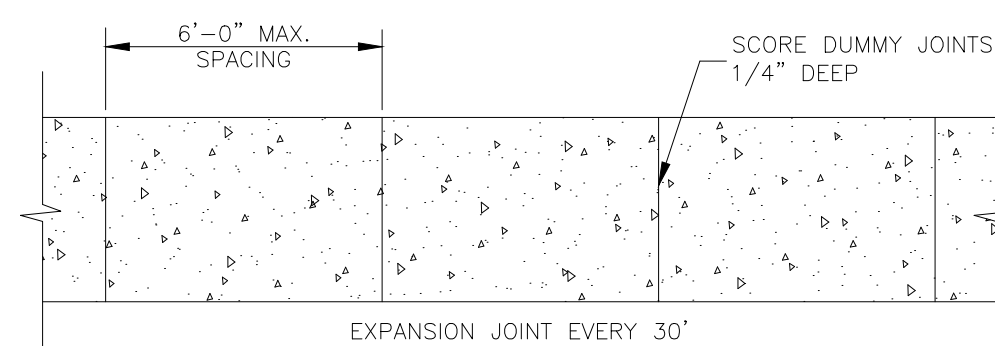
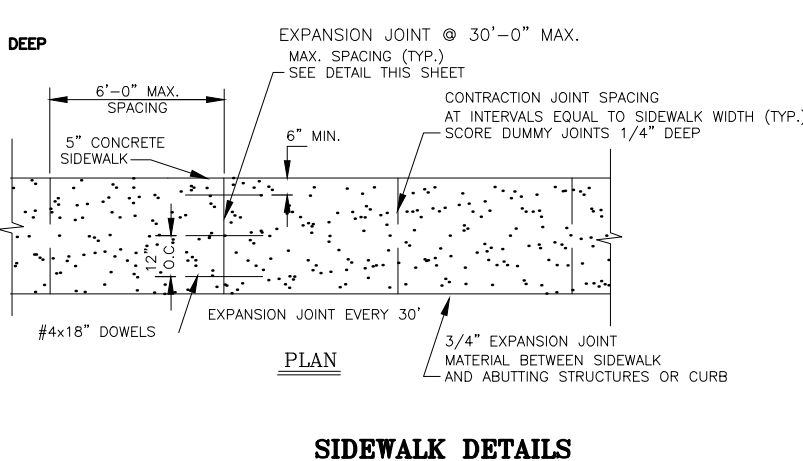
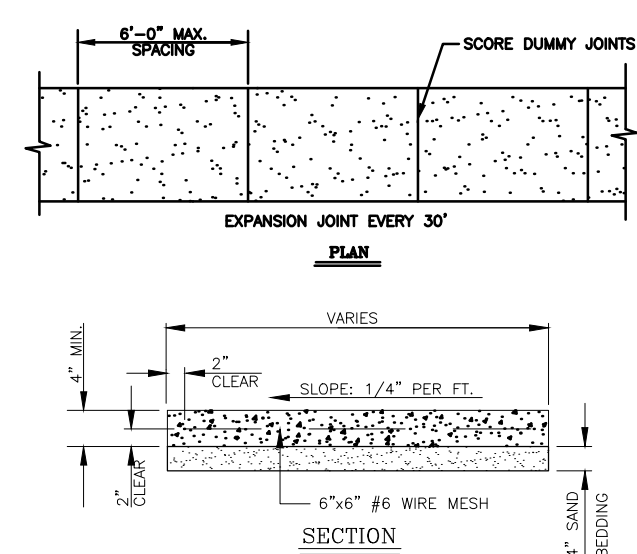
- NOTES:**
1. WHEELCHAIR RAMPS ARE TO BE LOCATED AT CROSSWALK AREAS AS DESIGNATED ON THE PLAN. ENGINEER CAN ADJUST LOCATIONS FOR SAFETY OR UTILITY CLEARANCE.
2. SURFACE TEXTURE OF WHEELCHAIR RAMP SHALL BE TRUNCATED DOMES.
3. SLOPES SHALL BE UNIFORM WITH NO ABRUPT CHANGES IN GRADES. NORMAL GUTTER LINE PROFILE SHOULD BE MAINTAINED THROUGH THE AREA OF THE RAMP.
4. WHEEL CHAIR RAMPS SHALL BE MEASURED AND PAID AS CONCRETE SIDEWALK AND CONCRETE CURB AND GUTTER, AS APPLICABLE.
5. SIDEWALK CONCRETE SHALL BE 5 SACK MIX AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I.
6. ALL CONCRETE WORK SHALL BE TREATED WITH MEMBRANE CURING COMPOUND AFTER SURFACE TEXTURE HAS BEEN COMPLETED.
7. 6" x 6" #6 WIRE MESH SHALL BE USED FOR REINFORCING.
8. ALL RAMPS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, DARK VERSUS LIGHT. THE MATERIAL USED TO PROVIDE THE CONTRAST SHALL BE AN INTEGRAL PART OF THE RAMP.



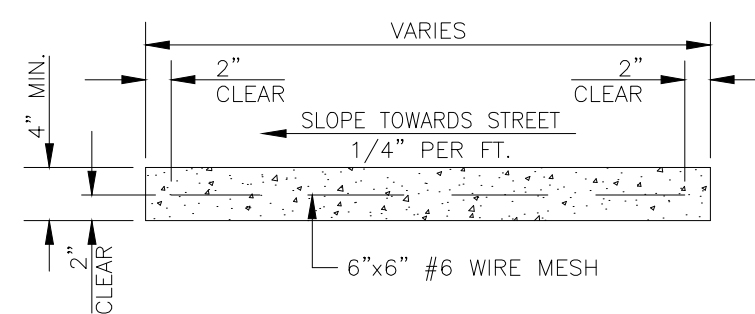
STANDARD DUTY PAVING
N.T.S.



PIPE BEDDING DETAILS
N.T.S.



PLAN



SECTION

SIDEWALK NOTES:
MINIMUM 4'-0" WIDE SIDEWALK.
SIDEWALK GRADIENT SHALL NOT EXCEED 1:20.
CONCRETE SHALL BE 5 SACK CEMENT MIX AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF UTILITY LINES WITH RESPECTIVE COMPANIES TO AVOID PLACING SIDEWALKS ON TOP OF LINES.
PROVIDE DROP CURBS AT INTERSECTIONS.
CONTRACTOR SHALL COMPLY WITH LATEST REGULATIONS AS SET FORTH IN AMERICANS WITH DISABILITIES ACT (ADA).

SIDEWALK DETAILS
N.T.S.

DRAINAGE STATEMENT

EL ENCANTADO A TRACT OF LAND CONTAINING 79.929 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 30 AND 31, LOTT TOWN AND IMPROVEMENT CO. SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGES 56-57, HIDALGO COUNTY MAP RECORDS, SAID 79.929 ACRES CONSIST OF: 55.315 ACRES CONVEYED TO E&W COHRS, LLC, A TEXAS LIMITED LIABILITY COMPANY, BY VIRTUE OF A GIFT WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2765755, HIDALGO COUNTY OFFICIAL RECORDS, AND 24.614 ACRES CONVEYED TO RICHARD N. COHRS AND WIFE, NANCY ANN COHRS, BY VIRTUE OF A WARRANTY DEED RECORDED IN VOLUME 1384, PAGE 563, HIDALGO COUNTY DEED RECORDS. THIS SUBDIVISION LIES IN ZONE "C", ZONE "C" ARE AREAS OF MINIMAL FLOODING. THE PROPERTY IS LOCATED ON THE SOUTHEAST CORNER OF HUTTO ROAD & MILE 9 NORTH ROAD INTERSECTION. THE PROPERTY IS CURRENTLY OPEN WITH A PROPOSED USE OF 322 RESIDENTIAL LOTS INSIDE THE CITY'S E.T.J. AND CURRENTLY BEING ANNEXED INTO THE CITY DONNA, TEXAS.

THE SOIL IN THIS AREA (28) HIDALGO SANDY CLAY LOAM, (45) PITS, BORROW & (52) RAYMONDVILLE CLAY LOAM WHICH ARE IN HYDROLOGIC GROUP "B" & "C". THESE SOILS ARE MODERATELY PERVIOUS AND HAVE A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM "SOIL SURVEY OF HIDALGO COUNTY, TEXAS").

EXISTING RUNOFF IS IN A NORTHEASTERLY DIRECTION, WITH A RUNOFF OF 27.57 C.F.S. DURING THE 10-YEAR STORM FREQUENCY AS PER THE ATTACHED CALCULATIONS. PROPOSED RUNOFF AFTER DEVELOPMENT IS 184.34 C.F.S., DURING THE 50-YEAR STORM FREQUENCY, PER THE ATTACHED CALCULATION, WHICH IS AN INCREASE OF 156.77 C.F.S.

THE PROPOSED DRAINAGE FOR THIS SUBDIVISION SHALL CONSIST OF SURFACE RUNOFF FROM THE LOTS INTO THE PROPOSED STREETS AND COLLECTED BY TYPE "A" INLETS LOCATED AT KEY POINTS WITHIN THE SUBDIVISION. THE PIPE SIZE DIAMETERS SHALL RANGE FROM 24" TO 42". THE PROPOSED STORM SYSTEM SHALL DISCHARGE INTO A PROPOSED DRAIN DITCH (LOT 323) WHICH WILL BE PROPOSED AS PARK AND WILL BE MAINTAINED BY THE CITY OF DONNA, WHICH WILL THEN DISCHARGE INTO, AND EXISTING H.C.C.I.D. NO. 9 DRAIN DITCH LOCATED ON THE NORTHEAST CORNER OF SITE.

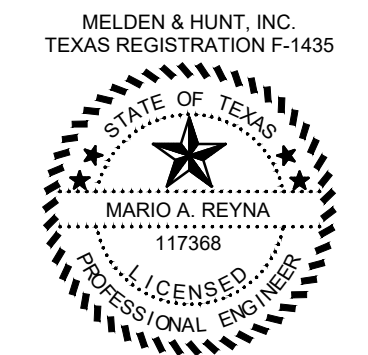
IN ACCORDANCE WITH THE CITY OF DONNA DRAINAGE POLICY, THE PEAK RATE OF RUNOFF IN THIS SUBDIVISION WILL NOT BE INCREASED DURING THE 50-YEAR RAINFALL EVENT DUE TO THE BUILDING OF THIS SUBDIVISION. THEREFORE, AS PER ATTACHED CALCULATIONS, THE REQUIRED 496,621 CUBIC FEET OF DETENTION WILL BE PROVIDED WITHIN THE PROPOSED DETENTION POND.

CERTIFICATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100 YEAR FLOODPLAIN AS DESCRIBED IN COMMUNITY PANEL NO. 480334 0425 C. MAPS REVISED: NOVEMBER 16, 1982 IS CONTAINED WITHIN THE DRAINAGE SWALES ALONG THE REAR OF ALL LOTS OF THE SUBDIVISION.

MARIO A. REYNA, P.E. #117368

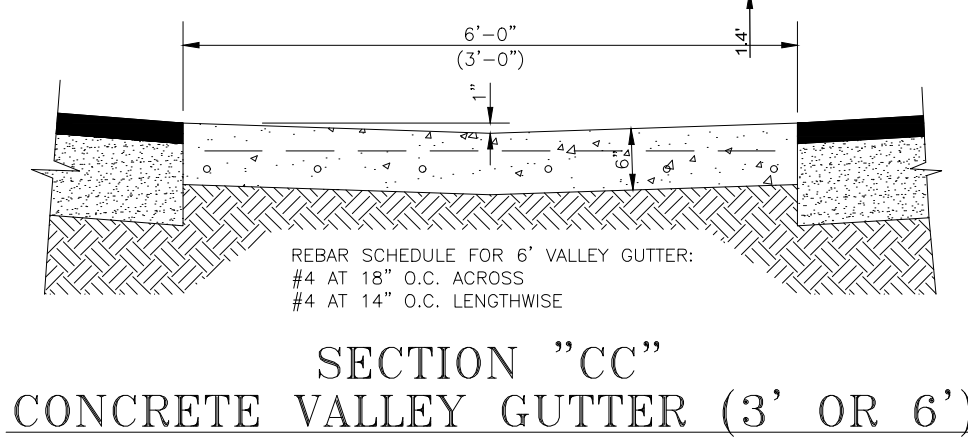
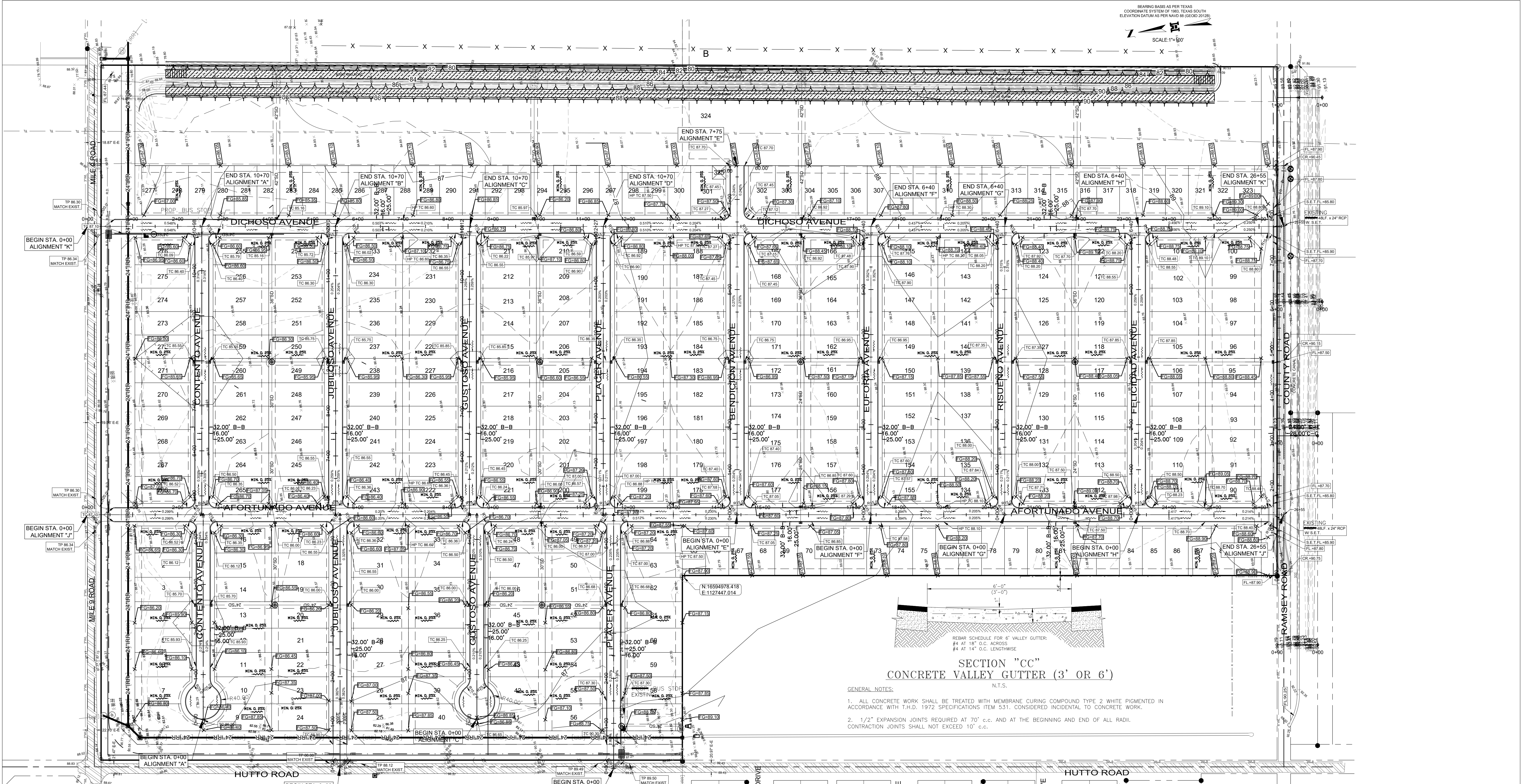
DATE: _____



MAP OF TOPOGRAPHY AND DRAINAGE:
MAPA DE TOPOGRAFIA Y DESAGUE:

PLAT OF
EL ENCANTADO

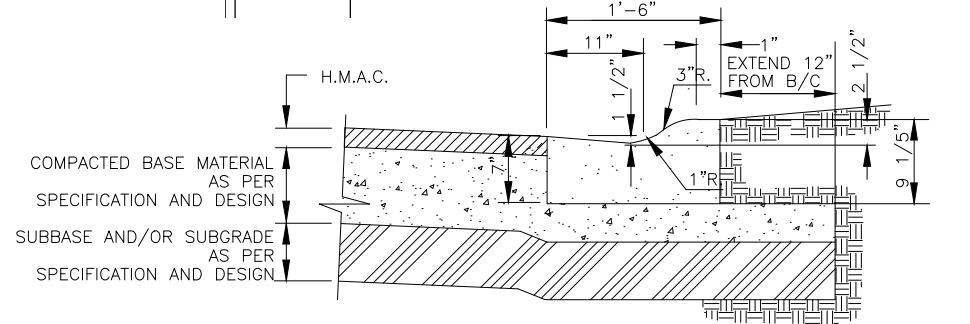
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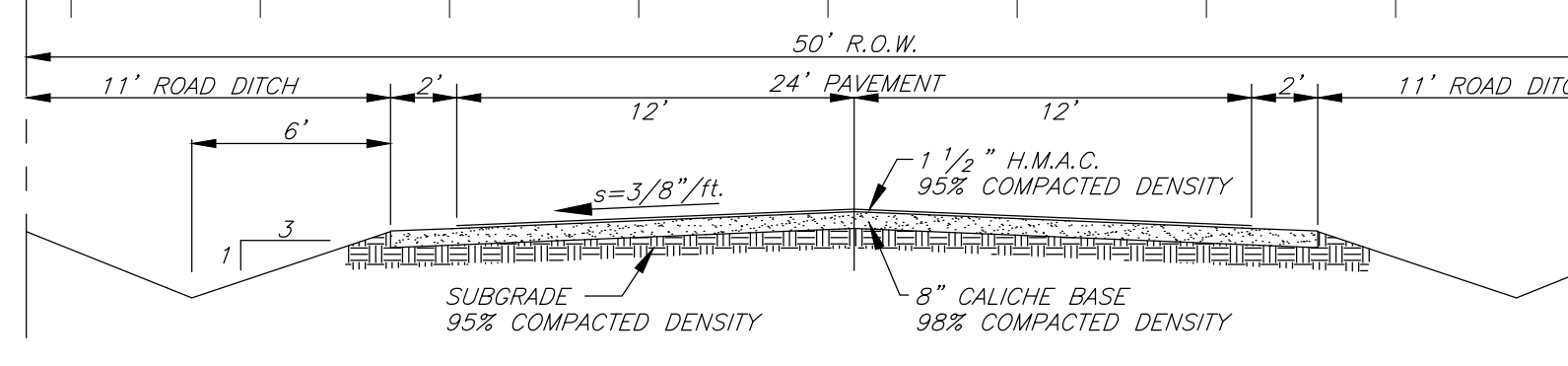
GENERAL NOTES:
 N.T.S.
 1. ALL CONCRETE WORK SHALL BE TREATED WITH MEMBRANE CURING COMPOUND TYPE 2 WHITE PIGMENTED IN ACCORDANCE WITH T.H.D. 1972 SPECIFICATIONS ITEM 531. CONSIDERED INCIDENTAL TO CONCRETE WORK.
 2. 1/2" EXPANSION JOINTS REQUIRED AT 70' C.C. AND AT THE BEGINNING AND END OF ALL RADII. CONTRACTION JOINTS SHALL NOT EXCEED 10' C.C.

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 MAPA DE TOPOGRAFIA Y DESAGUE:
 PLAT OF
EL ENCANTADO

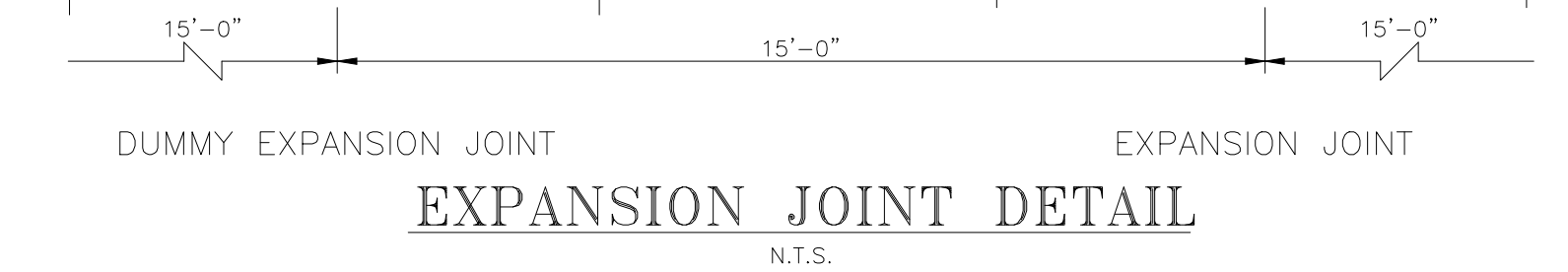
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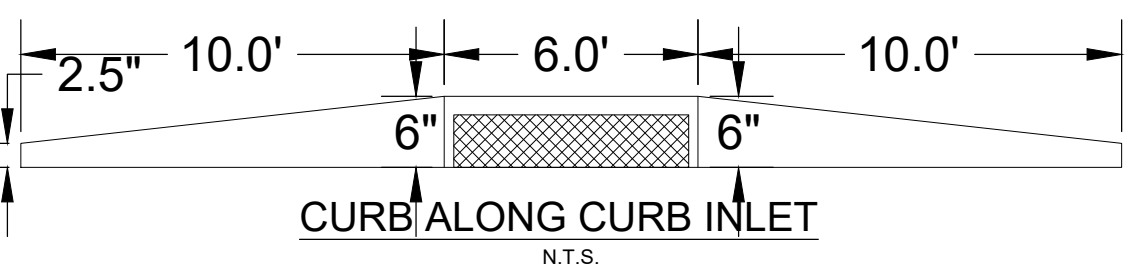
TYPICAL LOW PROFILE CURB & GUTTER SECTION
 N.T.S.
 1. ALL HONEYCOMBING SHALL BE GROUTED TO PROVIDE A UNIFORM SURFACE.
 2. WHEN HONEYCOMBING IS EXCESSIVE AS DETERMINED BY THE COUNTY OF HIDALGO DESIGNATED REPRESENTATIVE, CURB AND GUTTER SHALL BE PLACED.
 3. BACKFILL BEHIND CURBS SHALL BE ACCOMPLISHED WITHIN 24 HOURS AFTER BACK FORM IS REMOVED OR 48 HOURS AFTER SLIP FORMING.
 4. CURB AND GUTTER CONCRETE SHALL BE CLASS "A" (3000 PSI).
 5. REINFORCING STEEL AS SHOWN.
 6. MAX. LENGTH OF CURB AND GUTTER SECTION IS 80' BETWEEN 3/4" EXPANSION JOINT.



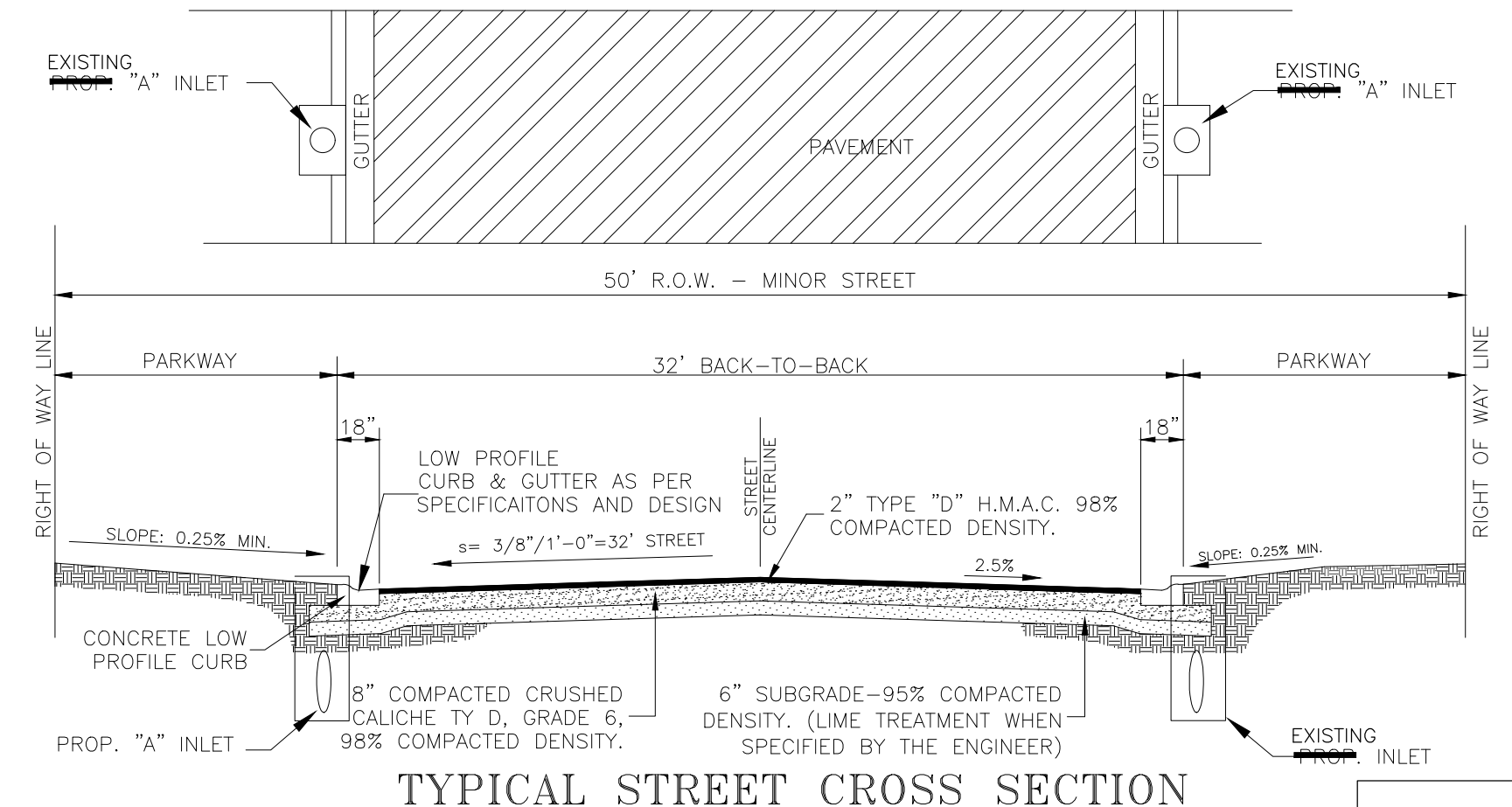
TYPICAL PAVING SECTION
 N.T.S.
 1. ALL HONEYCOMBING SHALL BE GROUTED TO PROVIDE A UNIFORM SURFACE.
 2. WHEN HONEYCOMBING IS EXCESSIVE AS DETERMINED BY THE COUNTY OF HIDALGO DESIGNATED REPRESENTATIVE, CURB AND GUTTER SHALL BE PLACED.
 3. BACKFILL BEHIND CURBS SHALL BE ACCOMPLISHED WITHIN 24 HOURS AFTER BACK FORM IS REMOVED OR 48 HOURS AFTER SLIP FORMING.
 4. CURB AND GUTTER CONCRETE SHALL BE CLASS "A" (3000 PSI).
 5. REINFORCING STEEL AS SHOWN.
 6. MAX. LENGTH OF CURB AND GUTTER SECTION IS 80' BETWEEN 3/4" EXPANSION JOINT.



DUMMY EXPANSION JOINT
 EXPANSION JOINT
 N.T.S.



CURB ALONG CURB INLET
 N.T.S.



TYPICAL STREET CROSS SECTION
 N.T.S.