



Anthony Uresti, Assistant Director

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281 EDINBURG TEXAS 78539 Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING DATE: 12-12-2023

PROPOSED MILANOS ESTATES PHASE III SUBDIVISION, PRECINCT No. 1.

ENGINEER RIO DELTA ENGINEERING DEVELOPER: GARVIC PROPERTIES, L.P.

[X] PRELIMINARY APPROVAL [] FINAL APPROVAL [] FINAL APPROVAL WITH FINANCIAL GUARANTEE [] WITH VARIANCE

NUMBER OF LOTS: 102 [X] SINGLE FAMILY [] MULTI-FAMILY [] COMMERCIAL [] INSTITUTIONAL

ESTIMATED NUMBER OF STREETLIGHTS: 12

FILLING STATIONS: 8

LOCATION DESCRIPTION: NORTHEAST CORNER OF MILE 5 1/2 WEST ROAD AND MILE 6 1/2 WEST ROAD.

SUBDIVISION LIES WITHIN THE: [X] ETJ OF WESLACO

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 11-09-2023 PROPERTY LIES WITHIN FLOOD ZONE: B AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED ON THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: NO R.O.W DEDICATION.

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 11-13-23 BY, PRECINCT 1 R.O.W. AGENT

H.C.H.D. PRELIMINARY APPROVAL DATE: N/A BY, ENVIRONMENTAL HEALTH DIVISION MANAGER

SEWER SYSTEM: [X] SANITARY SEWER BY CITY OF WESLACO

WATER SERVICE PROVIDER: CITY OF WESLACO. LINE SIZE: 8" LOCATION: MILANOS ROAD.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 11-07-2023 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

[X] LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

PRELIMINARY APPROVAL FROM THE HIDALGO COUNTY COMMISSIONERS COURT ON: N/A

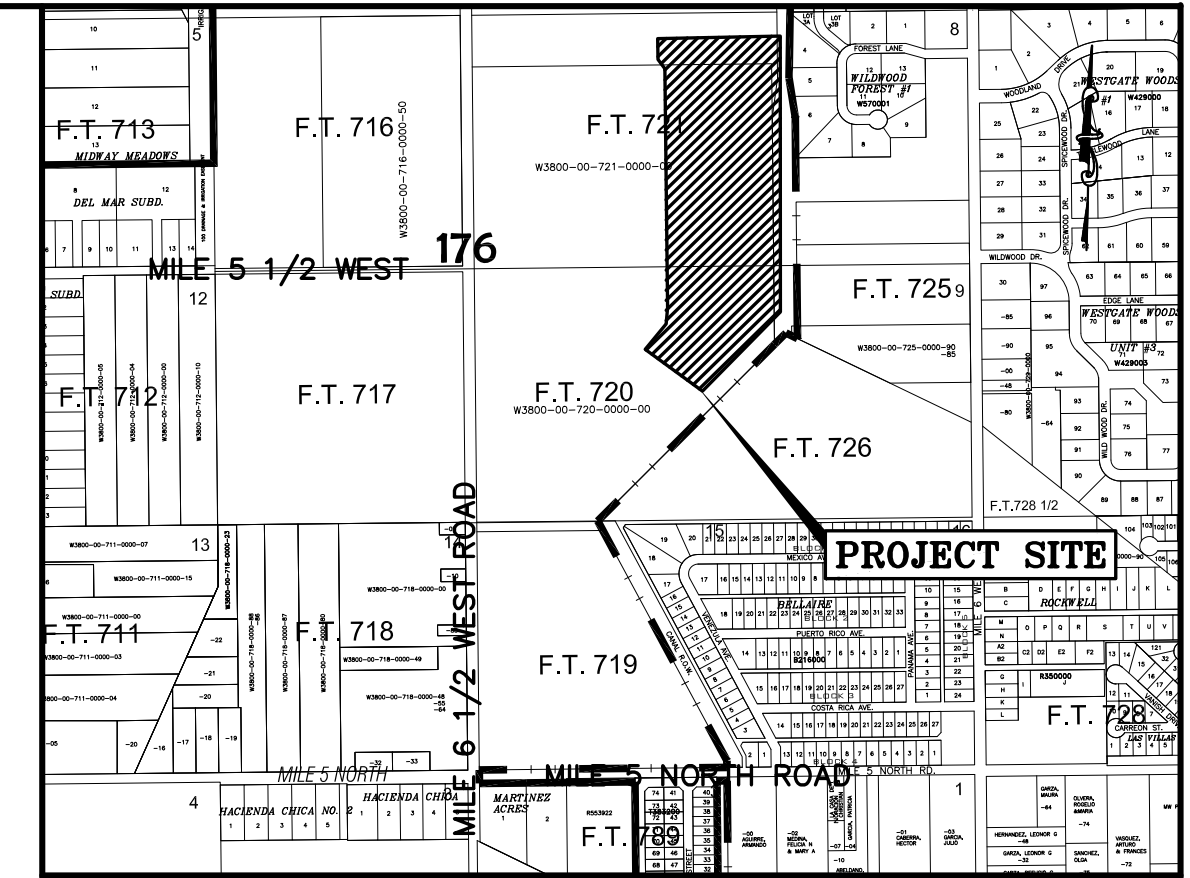
STAFF RECOMMENDS: [X] Preliminary Approval subject to comments and future recommendations by planning, Other departments, and City of Weslaco.

[] Final Approval subject to recommendations other departments

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

MILANOS ESTATES PHASE III SUBDIVISION

BEING A 22.87 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 22.87 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



LOCATION MAP SCALE: 1" = 1000'

LOCATION OF MILANOS ESTATES PHASE III WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF MUNICIPALITY:

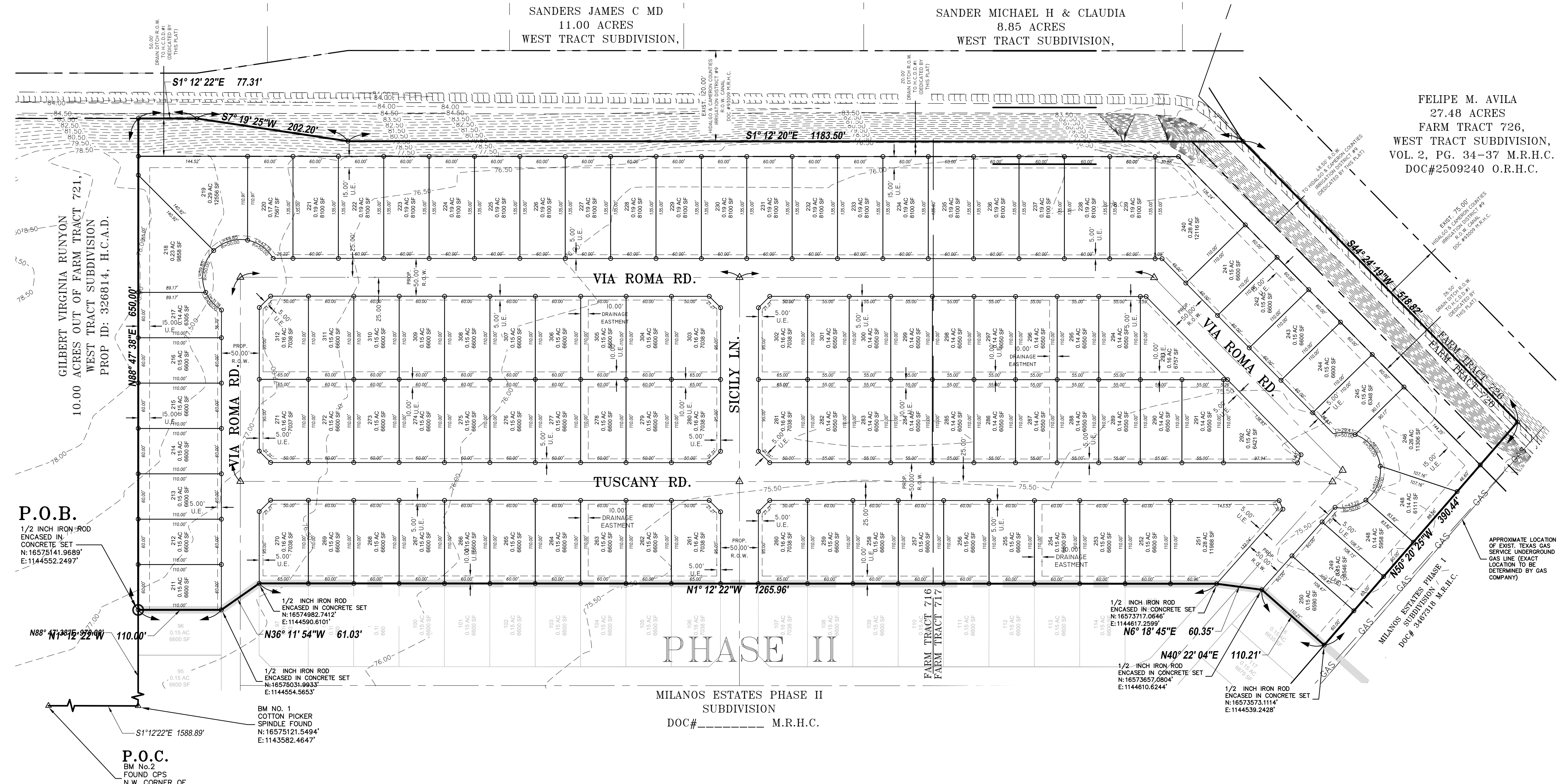
MILANOS ESTATES PHASE III IS LOCATED APPROX. 15080 FEET SOUTH FROM THE INTERSECTION OF MILE 6 ROAD AND HOPPER ROAD, EAST SIDE OF HOPPER ROAD IN HIDALGO COUNTY PRECINCT 1. THIS SUBDIVISION LIES APPROXIMATELY 1/2 MILE FROM THE CITY LIMITS AND IS WITHIN THE CITY OF WESLACO TWO-MILE EXTRATERRITORIAL JURISDICTION UNDER LOCAL GOVERNMENT CODE § 42.021. THE ESTIMATED POPULATION OF THE CITY OF WESLACO IS 41,629 (2019 CENSUS) AS PER THE 2019 UNITED STATES CENSUS BUREAU.

SCALE: 1" = 80'
BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK

SANDERS JAMES C MD
11.00 ACRES
WEST TRACT SUBDIVISION,

SANDER MICHAEL H & CLAUDIA
8.85 ACRES
WEST TRACT SUBDIVISION,

FELIPE M. AVILA
27.48 ACRES
FARM TRACT 726,
WEST TRACT SUBDIVISION,
VOL. 2, PG. 34-37 M.R.H.C.
DOC#2509240 O.R.H.C.



METES AND BOUNDS DESCRIPTION

BEING A 22.87 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 22.87 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS;

AND SAID 22.87 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A COTTON-PICKER-SPINDLE FOUND AT THE NORTHWEST CORNER OF FARM TRACT 722 OF THE SAID WEST TRACT SUBDIVISION, SAME BEING THE POINT OF INTERSECTION BETWEEN THE CENTERLINES OF MILE 6 NORTH ROAD (A.K.A. 18TH STREET) AND MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD);

THENCE S 11°22'22" E ALONG THE WEST LINE OF THE SAID FARM TRACTS 722 AND 721, SAME BEING ALONG THE CENTERLINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), TO THE SOUTHWEST CORNER OF THE NORTH 10.00 ACRES OF THE SAID FARM TRACT 721, PASSING AT 1320.00 A COTTON-PICKER-SPINDLE FOUND AT THE NORTHWEST CORNER OF THE SAID FARM TRACT 721, SAME POINT BEING THE SOUTHWEST CORNER OF THE SAID FARM TRACT 722, AND CONTINUING FOR A TOTAL DISTANCE OF 1588.89 FEET TO A COTTON-PICKER-SPINDLE SET;

THENCE N 88°47'38" E ACROSS THE SAID FARM TRACT 721, SAME BEING ALONG THE SOUTH BOUNDARY LINE OF THE NORTH 10.00 ACRES OF THE SAID FARM TRACT 721, TO A POINT ON THE WEST LINE OF A CALLED HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, DESCRIBED IN A WARRANTY DEED FROM AMERICAN RIO GRANDE LAND AND IRRIGATION COMPANY TO HIDALGO AND CAMERON COUNTIES WATER CONTROL AND IMPROVEMENT DISTRICT, RECORDED IN VOLUME 314, PAGE 62, DEED RECORDS OF HIDALGO COUNTY, TEXAS, AND SAME BEING A POINT ON THE EAST LINE OF THE SAID FARM TRACT 721, PASSING AT 200.00 FEET A 1/2-INCH CAPPED IRON ROD SET ON THE EXISTING EAST RIGHT-OF-WAY LINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), AND CONTINUING FOR A TOTAL DISTANCE OF 970.00 FEET TO A 1/2-CAPPED IRON ROD SET, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE N 88°47'38" E ACROSS THE SAID FARM TRACT 721, SAME BEING ALONG THE SOUTH BOUNDARY LINE OF THE NORTH 10.00 ACRES OF THE SAID FARM TRACT 721, TO A POINT ON THE WEST LINE OF A CALLED HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, DESCRIBED IN A WARRANTY DEED FROM AMERICAN RIO GRANDE LAND AND IRRIGATION COMPANY TO HIDALGO AND CAMERON COUNTIES WATER CONTROL AND IMPROVEMENT DISTRICT, RECORDED IN VOLUME 314, PAGE 62, DEED RECORDS OF HIDALGO COUNTY, TEXAS, AND SAME BEING A POINT ON THE EAST LINE OF THE SAID FARM TRACT 721, FOR A TOTAL DISTANCE OF 650.00 FEET TO A 1/2-CAPPED IRON ROD SET, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 11°22'22" E ALONG THE EAST LINE OF THE SAID FARM TRACT 721, SAME BEING ALONG THE WEST LINE OF THE SAID HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, TO A BEND IN LINE OF THE SAID HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, A DISTANCE OF 77.31 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE S 7°19'25" W CONTINUING ALONG THE EAST LINE OF THE SAID FARM TRACT 721, SAME BEING ALONG THE WEST LINE OF THE SAID HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, TO A BEND IN LINE OF THE SAID HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, A DISTANCE OF 202.20 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE S 11°22'22" E ALONG THE EAST LINE OF THE SAID FARM TRACTS 721 AND 720, SAME BEING ALONG THE WEST LINE OF THE SAID HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, TO THE MOST EASTERLY SOUTHWEST CORNER OF THE SAID FARM TRACT 720, SAME BEING A POINT ON THE NORTH LINE OF THE SAID WEST TRACT SUBDIVISION, A DISTANCE OF 1183.50 FEET TO A CALCULATED POINT, FOR THE MOST EASTERLY SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 44°24'19" W ALONG THE DIVIDING LINE BETWEEN THE SAID FARM TRACTS 720 AND 726, TO A POINT ON THE NORTH LINE OF A CALLED EASEMENT AND RIGHT-OF-WAY FOR PIPELINE TO RIO GRANDE VALLEY GAS COMPANY, RECORDED IN VOLUME 1641, PAGE 534, DEED RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 518.82 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE MOST SOUTHERLY SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 50°20'25" W ACROSS THE SAID FARM TRACT 720, SAME BEING ALONG THE NORTHERN LINE OF THE SAID EASEMENT AND RIGHT-OF-WAY FOR PIPELINE TO RIO GRANDE VALLEY GAS COMPANY, A DISTANCE OF 390.44 FEET TO A 1/2-CAPPED IRON ROD SET, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 40°22'04" E ACROSS THE SAID FARM TRACT 720, A DISTANCE OF 110.21 FEET TO A 1/2-CAPPED IRON ROD SET, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 6°18'45" E ACROSS THE SAID FARM TRACT 720, A DISTANCE OF 60.35 FEET TO A 1/2-INCH IRON ROD SET, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 11°22'22" W ACROSS THE SAID FARM TRACTS 720 AND 721, A DISTANCE OF 1265.96 FEET TO A 1/2-INCH IRON ROD SET, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 38°11'54" W ACROSS THE SAID FARM TRACT 721, A DISTANCE OF 61.03 FEET TO A 1/2-CAPPED IRON ROD SET, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 11°22'22" W ACROSS THE SAID FARM TRACT 721, A DISTANCE OF 110.00 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 22.87 ACRES OF LAND, MORE OR LESS

P.O.B.
1/2 INCH IRON ROD ENCASED IN CONCRETE SET
N:16575141.9689'
E:1144552.2497'

P.O.B.
1/2 INCH IRON ROD ENCASED IN CONCRETE SET
N:16575031.9933'
E:1144554.5653'

P.O.C.
BM No.2 FOUND GPS N.W. CORNER OF FARM TRACT 722

MILANOS ESTATES PHASE II SUBDIVISION
DOC# _____ M.R.H.C.

ABBREVIATION LEGEND table with columns for abbreviation and description, including F.B.S.L., R.B.S.L., S.B.S.L., R.O.W., P.O.B., S.W.C., F.T., F.M., C.P.&L., D.H.C., U.E., M.H.W.S.C., U.S.S.F., C., H.C.D.D.

LEGEND table with symbols and descriptions for various survey markers like C-P-S, iron rods, nails, storm inlets, power poles, fire hydrants, etc.

STATE OF TEXAS - COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREIN, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WESLACO AND HIDALGO COUNTY, TEXAS.

IVAN GARCIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496
SURVEY FIRM # 10194027

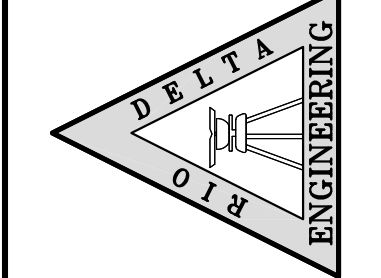


INDEX TO SHEETS OF MILANOS ESTATES PHASE III SUBDIVISION

Table with 2 columns: SHEET and DESCRIPTION. Lists sheets 1 through 7 and their corresponding descriptions like 'HEADING, INDEX, LOCATION MAP', 'PLAT NOTES AND RESTRICTIONS', 'SANITARY SEWER LAYOUT', etc.

Table with 3 columns: NAME, ADDRESS, and phone numbers. Lists owner (GARVIC PROPERTIES LP), surveyor (IVAN GARCIA), and engineer (IVAN GARCIA) with their contact information.

RIO DELTA ENGINEERING
FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



ISSUED FOR: REVIEW

PLAT SHEET
MILANOS ESTATES PHASE III SUBDIVISION
WESLACO, TEXAS
HIDALGO COUNTY

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
DRAWN: OSCAR ALARCON JR.
SCALE: 1" = 80'
DATE: AUGUST 4, 2023
PROJECT: SUB 19 028
REVISIONS:
PAGE NO. 1-OF-7

MILANOS ESTATES PHASE III SUBDIVISION

BEING A 28.27 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 26.43 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS – COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, **VICTOR J. DANIEC**, ON BEHALF OF **GARVIC PROPERTIES LP (OWNER)**, AS OWNER OF THE 28.27 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED **MILANOS ESTATES PHASE III SUBDIVISION** HEREBY SURRENDER THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND REDDICATE TO PUBLIC USE OF STREETS, PARK, AND EASEMENTS SHOWN HEREIN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.022 AND 234.15.

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
- (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

VICTOR J. DANIEC, PRESIDENT _____ DATE _____
 GARVIC MGMT, INC
 IT'S SOLE GENERAL PARTNER
 P.O. BOX 2604
 EDINBURG, TX. 78536

STATE OF TEXAS – COUNTY OF HIDALGO PUBLIC NOTARY CERTIFICATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED **VICTOR J. DANIEC** PROVED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2023

NOTARY PUBLIC MY COMMISSION EXPIRES _____

STATE OF TEXAS – CITY OF WESLACO PLAT APPROVAL CERTIFICATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF WESLACO, HEREBY CERTIFY THAT **MILANOS ESTATES PHASE III SUBDIVISION** PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY MAYOR _____ DATE _____ ATTEST: CITY SECRETARY _____ DATE _____

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WESLACO, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISIONS REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING COMMISSION CHAIRMAN _____ DATE _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT NO. 9

THIS PLAT APPROVED BY THE HIDALGO COUNTY AND CAMERON COUNTIES IRRIGATION DISTRICT # 9.

DATED THIS ____ DAY OF _____ 20__

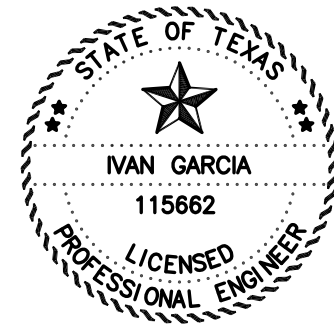
1. NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9 RIGHT-OF-WAYS AND /OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF H.C.C.I.D. #9.
2. IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
3. H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER SYSTEM TO ANY LOT WITH IN THIS SUBDIVISION. AS WELL, H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITH IN THIS SUBDIVISION. IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
4. H.C.C.I.D. #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION. BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.
5. HCCID#9 EXCLUSIVE EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, FENCES, SHRUBS, TRESS, AND OTHER PLANTINGS AND OTHER ONCTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

GENERAL MANAGER
HIDALGO & CAMERON COUNTIES IRRIGATION DISTRICT No.9

STATE OF TEXAS – COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

IVAN GARCIA P.E. R.P.L.S. _____ DATE _____
REG. PROFESSIONAL ENGINEER NO. 115662



STATE OF TEXAS – COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WESLACO AND HIDALGO COUNTY, TEXAS.

IVAN GARCIA _____ DATE _____
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496
SURVEY FIRM # 10194027



GENERAL NOTES:

1. FEMA FLOOD ZONE STATEMENT:

THE SUBDIVISION IS IN ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANELS NO.: 480334 0525 B MAP REVISED: JANUARY 2, 1981.

2. SETBACKS:

- FRONT: 25.00 FEET OR EASEMENT WHICHEVER IS GREATER
- REAR: 20% OF LOT DEPTH NOT TO EXCEED 25' OR EASEMENT WHICHEVER IS GREATER.
- SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
- CORNER: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER

3. NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOTS. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOTS. ANY OTHER USE SHALL REQUIRE HEALTH, PLANNING AND FIRE MARSHALL APPROVAL.

4. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6" ABOVE THE CENTER LINE OF MILE 6 1/2 WEST ROAD, OR 18" ABOVE THE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT, WHICHEVER IS GREATER AS PER THE TABLE BELOW. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.

5. THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
 -->B.M. NO. 1-- , ELEV. **77.83** N.G.V.D. 88, DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND AT THE INTERSECTION BETWEEN THE CENTERLINE OF MILE 6 1/2 WEST ROAD AND MILE 5 1/2 WEST ROAD. GPS POINT, GRID COORDINATES N **16574670.7400**, E **1143604.3160**.
 -->B.M. NO. 2-- , ELEV. **77.05** N.G.V.D. 88, DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND ON THE CENTERLINE OF MILE 6 1/2 WEST ROAD AT THE NORTHWEST CORNER OF THIS SUBDIVISION. GPS POINT, GRID COORDINATES N **16575121.5484**, E **11435882.4647**.
 -->B.M. NO. 3-- , ELEV. **81.01** N.G.V.D. 88, DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND AT THE INTERSECTION BETWEEN THE CENTERLINE OF 18TH STREET AND MILE 6 1/2 WEST ROAD (AKA MILANOS ROAD). GPS POINT, GRID COORDINATES N **16578710.1100**, E **11435449.0630**.

6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND CITY OF WESLACO REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF **86,248** CUBIC FEET (**1.08** ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT DETERMINES AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ABOVE DUE TO THE IMPERVIOUS AREA BEING GRATER THAN THE ENGINEER CONSIDERED FOR HIS CALCULATION OF THIS SUBDIVISION.

7. EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.

8. ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER CERTIFIES THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.

9. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION

10. THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.

11. A 4 FT. SIDEWALK IS REQUIRED ALONG ALL STREETS UPON THE ISSUANCE OF A BUILDING PERMIT. ON CORNER LOTS, THE OWNER SHALL BE RESPONSIBLE FOR THE SIDEWALK ALONG ALL STREETS ADJOINING THE LOT.

12. ALL SUBDIVISION BOUNDARY LOT CORNERS HAVE CONCRETE MONUMENTS AND ALL LOT CORNERS HAVE CAPPED IRON ROD MARKERS.

13. CORNERS LOT DRIVEWAYS SHOULD BE CONSTRUCTED AT FURTHEST POSSIBLE POINT FROM INTERSECTIONS AND IN COMPLIANCE WITH ACCESS MANAGEMENT ORDINANCE.

14. STREETLIGHT MUST BE LOCATED EVERY 300 FEET.

15. NO INDIVIDUAL LOT DRIVEWAY ACCESS WILL BE ALLOWED FROM MILE 6 1/2 WEST ROAD (AKA MILANOS ROAD) TO LOTS 83, 133 AND 140. A 24 FOOT SHARED DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED BY DEVELOPER BETWEEN LOTS 134 THROUGH 139 TO PROVIDE INGRESS AND EGRESS FROM MILE 6 1/2 WEST ROAD (AKA MILANOS ROAD).

16. AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METERS(S).

17. NO PERMANENT STRUCTURES ARE PERMITTED OVER ANY EASEMENTS. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES AND OTHER PLANTINGS (EXCEPT LOW LESS AN 18" MATURE HEIGHTS, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT)

18. ALL DRAINAGE EASEMENTS SHALL BE PRIVATE WITHIN THE PROPERTY LINES AND MAINTAINED BY PROPERTY OWNERS/HOA.

19. DRAINAGE OUTPARCELS CANNOT BE RE-SUBDIVIDED FOR FUTURE DEVELOPMENT.

20. A 5FT. SIDEWALK IS REQUIRED ALONG EXTERIOR PERIMETER UPON THE ISSUANCE OF A NOTICE TO PROCEED.

21. LANDSCAPING IS REQUIRED PER CITY ORDINANCE.

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

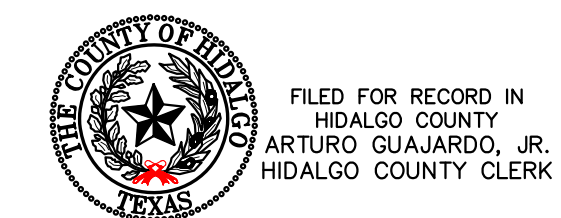
WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF **MILANOS ESTATES PHASE III SUBDIVISION** WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON THIS ____ DAY OF _____, 2023.

HIDALGO COUNTY JUDGE _____ DATE _____

ATTEST: HIDALGO COUNTY CLERK _____ DATE _____

Y:\DRS SUBDIVISIONS\2019\SLIP 19 424 - SLIP19 030 - MILANOS ESTATES\DWG\PHASE 3\DWG\SLIP 19 028 - SHIT ZA PLAT SHEET 2 - PHASE III.DWG R10DELTA 11/02/2023 4:23 PM

NAME	ADDRESS	PHONE & FAX
OWNER(S): GARVIC PROPERTIES LP	P.O. BOX 2604 EDINBURG, TX. 78536	(956) 821-7108
SURVEYOR: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

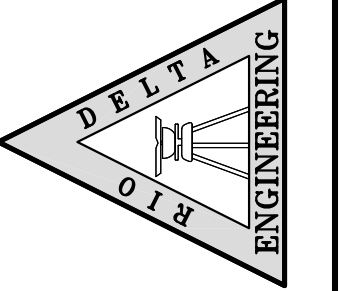
ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

INDEX TO SHEETS OF MILANOS ESTATES PHASE III SUBDIVISION	
SHEET 1: HEADING, INDEX, LOCATION MAP; PRINCIPAL CONTACTS; MAP, LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION.	CHECKED: IVAN GARCIA P.E. R.P.L.S.
SHEET 2: PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#9, H.C.D.D. No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.	CHECKED: IVAN GARCIA P.E. R.P.L.S.
SHEET 3: SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE LOCATION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	DRAWN: OSCAR ALARCON JR.
SHEET 4: WATER LAYOUT, INCLUDING PROPOSED FIRE HYDRANTS, AND WATER SERVICE LOCATION; SUBDIVIDER CERTIFICATION.	SCALE: N.T.S.
SHEET 5: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	DATE: AUGUST 4, 2023
SHEET 6: PAVING & DRAINAGE DETAIL SHEET	PROJECT: SUB 19 028
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET	REVISIONS:
	PAGE NO. 2-OF-7

RIO DELTA ENGINEERING
 FIRM REGISTRATION No. F-7628
 SURVEY FIRM No. 10194027
 921 S. 10TH AVENUE EDINBURG, TEXAS 78539
 (TEL) 956-380-5152 (FAX) 956-380-5083



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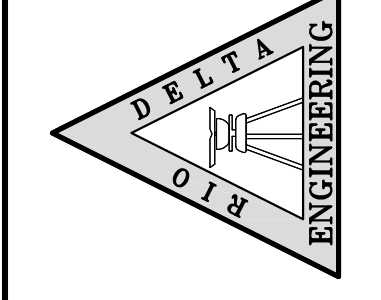
ISSUED FOR:
REVIEW

PLAT NOTES
MILANOS ESTATES PHASE III SUBDIVISION
WESLACO, TEXAS
HIDALGO COUNTY

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
 SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
 CHECKED: IVAN GARCIA P.E. R.P.L.S.
 DRAWN: OSCAR ALARCON JR.
 SCALE: N.T.S.
 DATE: AUGUST 4, 2023
 PROJECT: SUB 19 028
 REVISIONS:
 PAGE NO. **2-OF-7**

SCALE: 1" = 60'
 BASIS OF BEARING
 TEXAS STATE PLANE COORDINATES
 NAD 83
 TEXAS SOUTH ZONE (4205)
 WESTERN DATA SYSTEMS NETWORK

RIO DELTA ENGINEERING
 FIRM REGISTRATION No. F-7628
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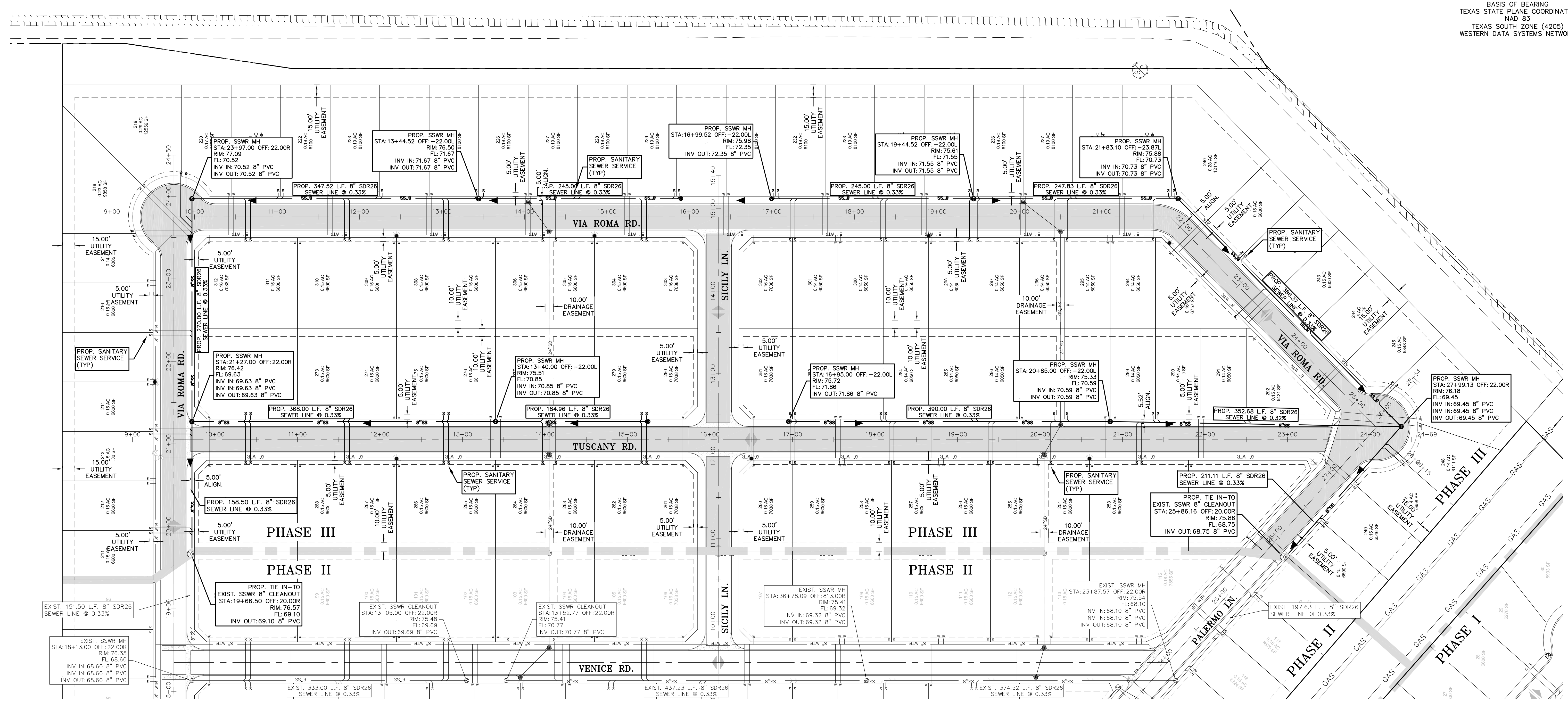


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ISSUED FOR: **REVIEW**

SANITARY SEWER LAYOUT
MILANOS ESTATES PHASE III SUBDIVISION
WESLACO, TEXAS
HIDALGO COUNTY

ENGINEER: IVAN GARCIA P.E., R.P.L.S.
 SURVEYOR: IVAN GARCIA P.E., R.P.L.S.
 CHECKED: IVAN GARCIA P.E., R.P.L.S.
 DRAWN: OSCAR ALARCON JR.
 SCALE: 1"=60'
 DATE: AUGUST 4, 2023
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 REVISIONS:
 PAGE NO. **3-OF-7**



LEGEND	
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[Symbol]	EXIST. CURB INLET
[Symbol]	EXIST. TELEPHONE PEDESTAL
[Symbol]	EXIST. GRATE INLET
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[Symbol]	EXIST. GUY WIRE
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[Symbol]	EXIST. FENCE LINE
[Symbol]	EXIST. OVERHEAD ELECTRIC LINE
[Symbol]	EXIST. UNDERGROUND CABLE
[Symbol]	EXIST. UNDERGROUND GAS LINE

ENGINEERING REPORT FOR MILANOS ESTATES PHASE III
 BY IVAN GARCIA, P.E., R.P.L.S.

LEGAL DESCRIPTION
 BEING A 22.87 ACRES TRACT OF OUT OF FARM TRACT 721 AND 720, WEST TRACT SUBDIVISION HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGE 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

PROPOSED USE
 ALL LOTS ARE VACANT AND WILL BE USED FOR SINGLE FAMILY HOMES.

WATER SUPPLY AND DISTRIBUTION
 THIS SUBDIVISION WILL BE PROVIDED WATER SERVICE BY THE CITY OF WESLACO. THE SUBDIVIDER AND THE CITY OF WESLACO HAVE ENTERED INTO A CONTRACT WHEREBY THE CITY OF WESLACO HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS. CITY OF WESLACO HAS PROVIDED DOCUMENTATION TO SUBSTANTIALLY ESTABLISH THE LONG-TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

CITY OF WESLACO HAS AN EXISTING 8" DIAMETER WATER LINE RUNNING ALONG THE EAST SIDE OF MILANOS ROAD RIGHT-OF-WAY. THE WATER SYSTEM FOR MILANOS ESTATES PHASE III CONSISTS OF (102) 3/4" DIAMETER SINGLE SERVICE LINES THAT CONNECT INTO THE EXISTING 8" LINE FOR ALL LOTS SERVICES TERMINATE AT THE WATER METER BOX FOR ALL LOTS AND 8 FIRE HYDRANTS HAVE BEEN INSTALLED ON THE EXISTING 8" LINE. THE (102) 3/4" SINGLE SERVICE AND THE METER BOXES HAVE ALREADY BEEN INSTALLED. IN ADDITION, THE SUBDIVIDER HAS INSTALLED 8 FIRE HYDRANTS AT A UNIT COST OF \$_____ THE COST FOR THE CONSTRUCTION OF THE WATER SYSTEM TO MILANOS ESTATES PHASE III IS ESTIMATED TO BE \$_____. THE OWNER OF THIS DEVELOPMENT HAS PAID WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO, A TOTAL OF \$_____. AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOT IN THE SUBDIVISION TO THE CITY OF WESLACO.

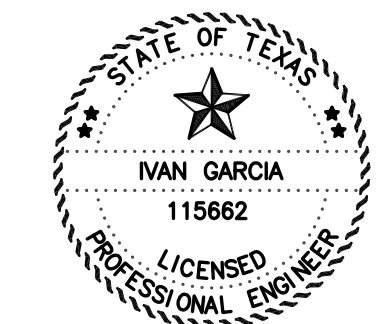
SEWER FACILITIES DESCRIPTION, COST, AND OPERABILITY DATES
 SEWAGE FROM MILANOS ESTATES PHASE III WILL BE TREATED BY SANITARY SEWER SYSTEM CONSISTING OF A 2" SEWER SERVICE LINE FOR EACH LOT. THE CITY OF WESLACO HAS AN EXISTING 12" SEWER LINE RUNNING ALONG THE EAST SIDE OF MILANOS ROAD RIGHT-OF-WAY. THE SEWER SYSTEM FOR MILANOS ESTATES PHASE III CONSISTS OF (102) 2" DIAMETER SERVICE LINES THAT CONNECT INTO THE EXISTING 12" SEWER LINE FOR ALL LOTS SERVICES TERMINATE AT THE EXISTING LIFT STATION. THE (102) 2" SEWER SERVICE LINES HAVE ALREADY BEEN INSTALLED. THE COST FOR THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM TO THIS SUBDIVISION IS ESTIMATED TO BE \$_____. THE OWNER OF THIS DEVELOPMENT HAS PAID SANITARY SEWER FEES, WHICH INCLUDE THE INSPECTION FEES, TO THE CITY OF WESLACO, A TOTAL OF \$_____. AS STATED IN THE 30 YEAR SANITARY SEWER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOT IN THE SUBDIVISION TO THE CITY OF WESLACO.

ENGINEER CERTIFICATION
 I CERTIFY THAT THE WATER AND SANITARY SEWER SYSTEM FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL SUBDIVISION RULES ADOPTED UNDER SECTION 16.343, WATER CODE.
 I CERTIFY THAT THE COSTS FOR THE CONSTRUCTED WATER AND SANITARY SEWER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES
 THESE FACILITIES WILL HAVE A TOTAL COST OF \$_____. THE OWNER OF THIS DEVELOPMENT WILL PAY WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO, A TOTAL OF \$_____. AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF WESLACO.

SANITARY SEWER FACILITIES
 THESE FACILITIES WILL HAVE A TOTAL COST OF \$_____. THE OWNER OF THIS DEVELOPMENT WILL PAY SANITARY SEWER FEES, WHICH INCLUDE THE SANITARY SEWER SERVICE INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO, A TOTAL OF \$_____. AS STATED IN THE 30 YEAR SANITARY SEWER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF WESLACO.

IVAN GARCIA, P.E., R.P.L.S. DATE _____



REPORT DE INGENIERIA DE MILANOS ESTATES PHASE III
 POR: IVAN GARCIA, P.E., R.P.L.S.

ABASTECIMIENTO DE AGUA POTABLE: DESCRIPCION, COSTO, Y FECHA DE OPERABILIDAD
 LA SUBDIVISION MILANOS ESTATES PHASE III RECIBIRA SU PROVISION DE AGUA DE LA CIUDAD DE WESLACO. EL DUEÑO DE LA SUBDIVISION Y LA CIUDAD DE WESLACO HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE AGUA POR LOS PROXIMOS 30 ANOS. LA CIUDAD DE WESLACO HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

LA CIUDAD DE WESLACO TIENE UN CONDUCTO DE AGUA DE 8" PULGADAS DE DIAMETRO QUE PASA POR EL LADO ESTE DEL DERECHO DE VIA (RIGHT-OF-WAY) DE LA CARRETERA MILANOS ROAD. EL SISTEMA REQUERIDO PARA MILANOS ESTATES PHASE III CONSISTE EN (102) LINEAS INDIVIDUALES DE AGUA DE 3/4" DE DIAMETRO LA CUAL ESTA CONECTADA A LA LINEA DE 8" DE DIAMETRO PARA TODOS LOS LOTES. Y TERMINA EN LOS MEDIDORES DE AGUA. 8 HIDRANTES DE AGUA PARA EL DEPARTAMENTO DE BOMBEROS HAN SIDO INSTALADOS. EL DUEÑO DE LA SUBDIVISION TAMBIEN HA INSTALADO 8 HIDRANTES DE AGUA (FIRE HYDRANT) A UN COSTO DE \$_____. EL COSTO PARA LA CONSTRUCCION DEL SISTEMA DE DISTRIBUCION DE AGUA POTABLE DE MILANOS ESTATES PHASE III SE ESTIMA DE \$_____. A UN COSTO TOTAL EL DUEÑO DE LA SUBDIVISION VA PAGAR LOS CARGOS POR CONEXION DE AGUA. LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFAS DE INSPECCION DE LA CIUDAD DE WESLACO, POR UN TOTAL DE \$_____. POR MUCHO LO ESTABLECIDO EN EL CONTRATO DE SERVIDO DE AGUA DE 30 AÑOS QUE IMPORTES REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADICION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE LA CIUDAD DE WESLACO.

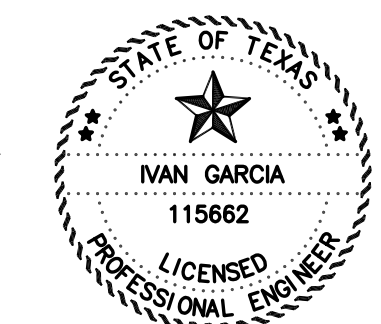
DRENAJE: DESCRIPCION, GASTOS Y FECHA DE INICIO PARA FACILITAR EL DRENAJE PARA LA SUBDIVISION
 EL DRENAJE DE MILANOS ESTATES PHASE III SERA TRATADO POR UN SISTEMA DE DRENAJE SANITARIO QUE CONSISTE DE UN 2" SERVIDO DE DRENAJE PARA CADA LOTE. LA CIUDAD DE WESLACO TIENE UN LIFT STATION EXISTENTE EN LA ESQUINA NOROCCIDENTE DE LA INTERSECCION DE MILE 5 Y HOPPER ROAD. EL SISTEMA DE DRENAJE PARA MILANOS ESTATES PHASE III CONSISTE DE (102) 2" DE DIAMETRO DE LINEA DE SERVIDO DE ALCANTARILLADO, QUE CONECTA EN EL 12" LINEA DE SERVIDO DE ALCANTARILLADO EXISTENTE PARA TODOS LOS LOTES TERMINANDO EN EL LIFT STATION EXISTENTE. EL (102) 2" LINEA DE SERVIDO DE ALCANTARILLADO HAN SIDO INSTALADO. EL COSTO POR LA CONSTRUCCION DEL SISTEMA DE DRENAJE SANITARIO PARA ESTA SUBDIVISION SE ESTIMA DE \$_____. EL DUEÑO DE ESTE DESARROLLO VA PAGAR LAS TARIFAS DE ALCANTARILLADO SANITARIO, LAS CUALES INCLUYEN LAS TARIFAS DE INSPECCION, PARA LA CIUDAD DE WESLACO, UN TOTAL DE \$_____. EL DUEÑO DE ESTE DESARROLLO ALCANTARILLADO DE 30 AÑOS. LA CUAL SUMA REPRESENTADICHA INSTALACION, TARIFAS DE ADICION, Y TODAS LAS TARIFAS ASOCIADAS CON CONEXIONES DE LOTE INDIVIDUAL EN LA SUBDIVISION PARA LA CIUDAD DE WESLACO.

CERTIFICACION
 CON MI FIRMA, CERTIFICO QUE LOS SERVIDOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS).
 CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:
AGUA:
 EL SISTEMA/SERVICIO DE AGUA TENDRA UN COSTO DE \$_____. EL DUEÑO DE LA SUBDIVISION VA PAGAR LOS CARGOS POR CONEXION DE AGUA, LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFAS DE INSPECCION DE LA CIUDAD DE WESLACO, POR UN TOTAL DE \$_____. POR MUCHO LO ESTABLECIDO EN EL CONTRATO DE SERVIDO DE AGUA DE 30 AÑOS QUE IMPORTES REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADICION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE LA CIUDAD DE WESLACO.
DRENAJE:
 EL SISTEMA/SERVICIO DE AGUA TENDRA UN COSTO DE \$_____. EL DUEÑO DE LA SUBDIVISION VA PAGAR LOS CARGOS POR CONEXION DE AGUA, LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFAS DE INSPECCION DE LA CIUDAD DE WESLACO, POR UN TOTAL DE \$_____. POR MUCHO LO ESTABLECIDO EN EL CONTRATO DE SERVIDO DE AGUA DE 30 AÑOS QUE IMPORTES REPRESENTAN DICHAS INSTALACIONES, HONORARIOS DE ADICION Y TODOS LOS OTROS CARGOS RELACIONADOS CON CONEXION DE LOS LOTES INDIVIDUALES EN EL DESARROLLO DE LA CIUDAD DE WESLACO.

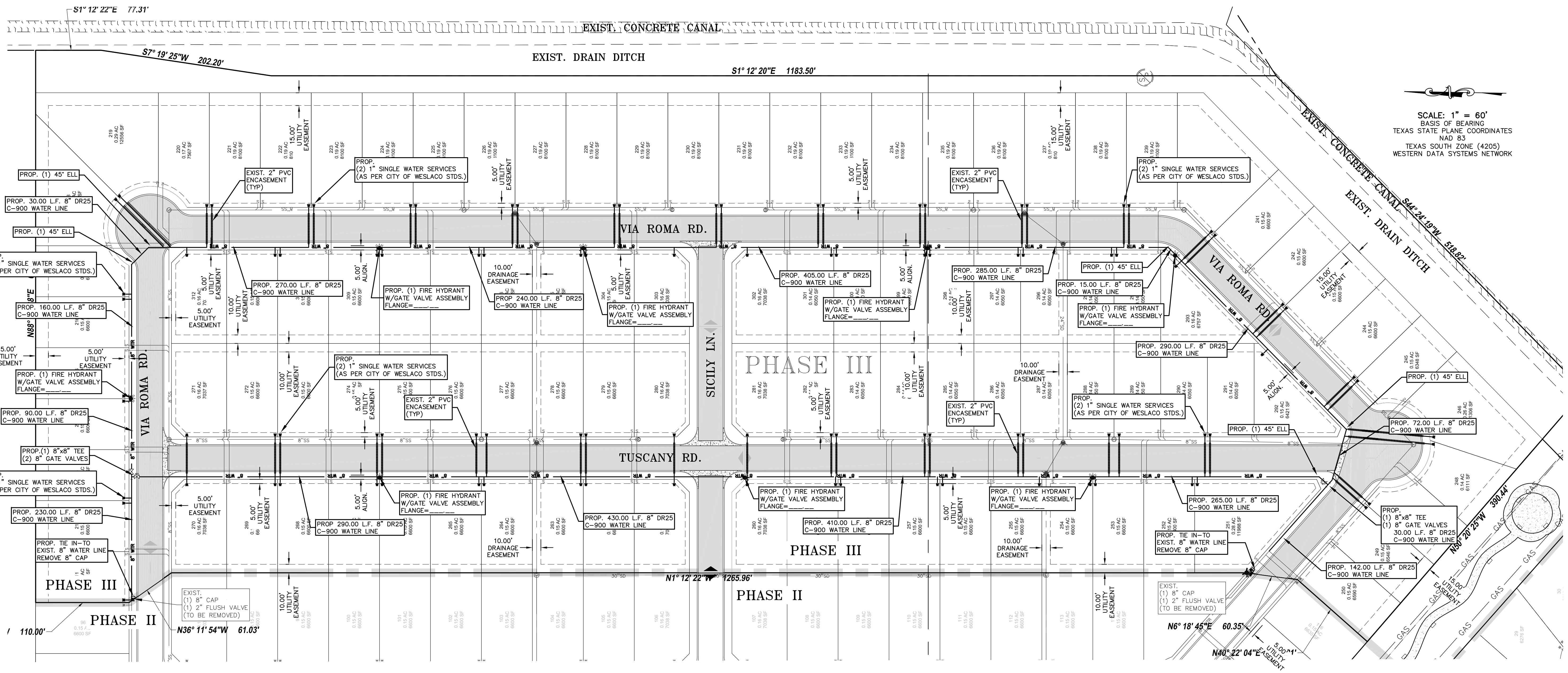
THESE FACILITIES WILL HAVE A TOTAL COST OF \$_____. THE OWNER OF THIS DEVELOPMENT WILL PAY SANITARY SEWER FEES, WHICH INCLUDE THE SANITARY SEWER SERVICE INSTALLATION AND INSPECTION FEES, TO THE CITY OF WESLACO, A TOTAL OF \$_____. AS STATED IN THE 30 YEAR SANITARY SEWER SERVICE AGREEMENT WHICH SUMS REPRESENT SAID INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF WESLACO.

I, IVAN GARCIA, HEREBY ACKNOWLEDGE THAT THE ABOVE TRANSLATION FROM ENGLISH TO SPANISH, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

IVAN GARCIA, P.E., R.P.L.S. DATE _____



Y:\RDE SUBDIVISIONS 2019\SUB 19.028 - SUB19.030 - MILANOS ESTATES\DWG\PHASE 3 DWGS\SUB 19.028-SHT 13 WATER LAYOUT - PHASE III.dwg RODELTA 11/8/2023 4:25 PM



SCALE: 1" = 60'
BASIS OF BEARING
TEXAS STATE PLANE COORDINATES
NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK

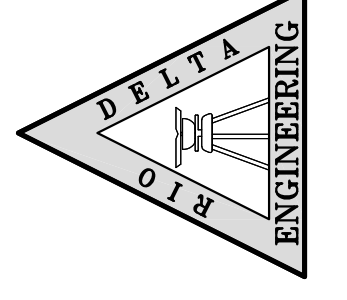
LEGEND	
	EXIST. GRATE INLET
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	EXIST. STORM SEWER MANHOLE
	EXIST. FENCE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	EXIST. UNDERGROUND GAS LINE

GENERAL NOTES:

- 1.) THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.
- 2.) ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.
- 3.) THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES, LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY, AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.
- 4.) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
- 5.) ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.
- 6.) ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

INDEX TO SHEETS OF MILANOS ESTATES PHASE III SUBDIVISION	
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SHEET 6: PAVING & DRAINAGE DETAIL SHEET	PROJECT: SUB 19.028
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET	REVISIONS:

RIO DELTA ENGINEERING
FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083

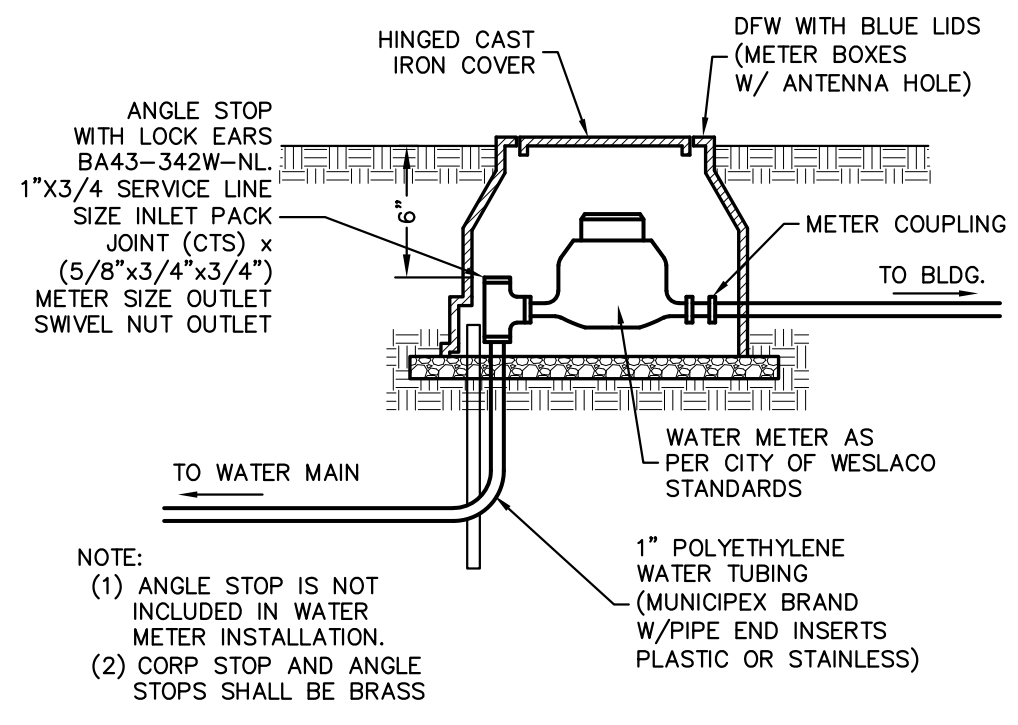


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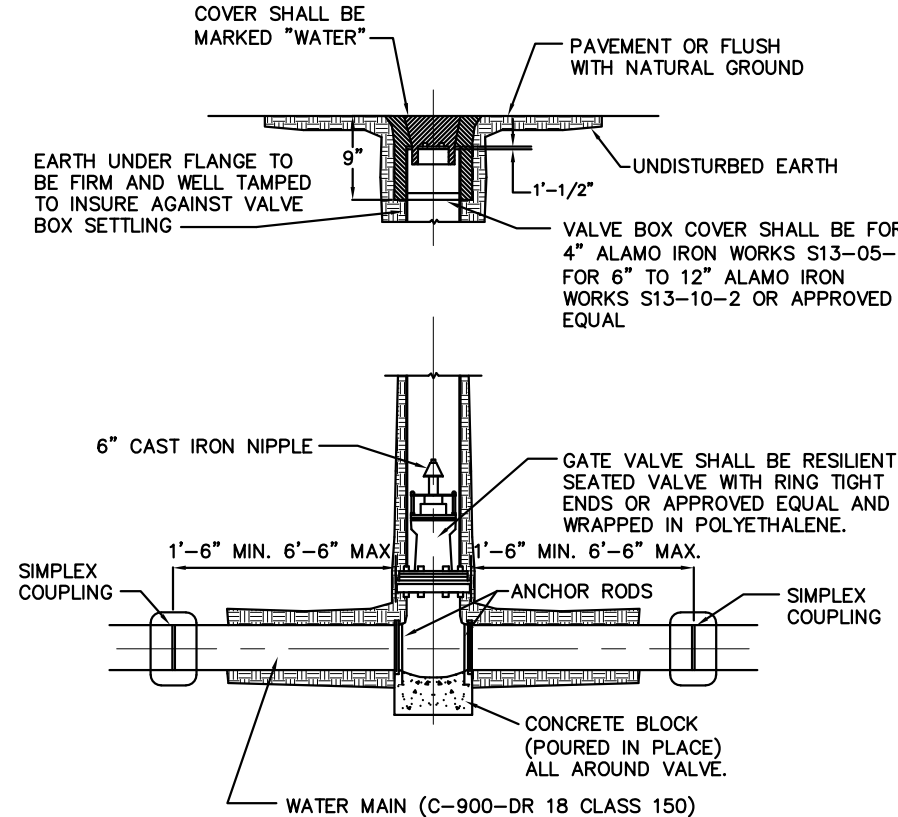
ISSUED FOR: REVIEW

WATER LAYOUT
MILANOS ESTATES PHASE III SUBDIVISION
WESLACO, TEXAS
HIDALGO COUNTY

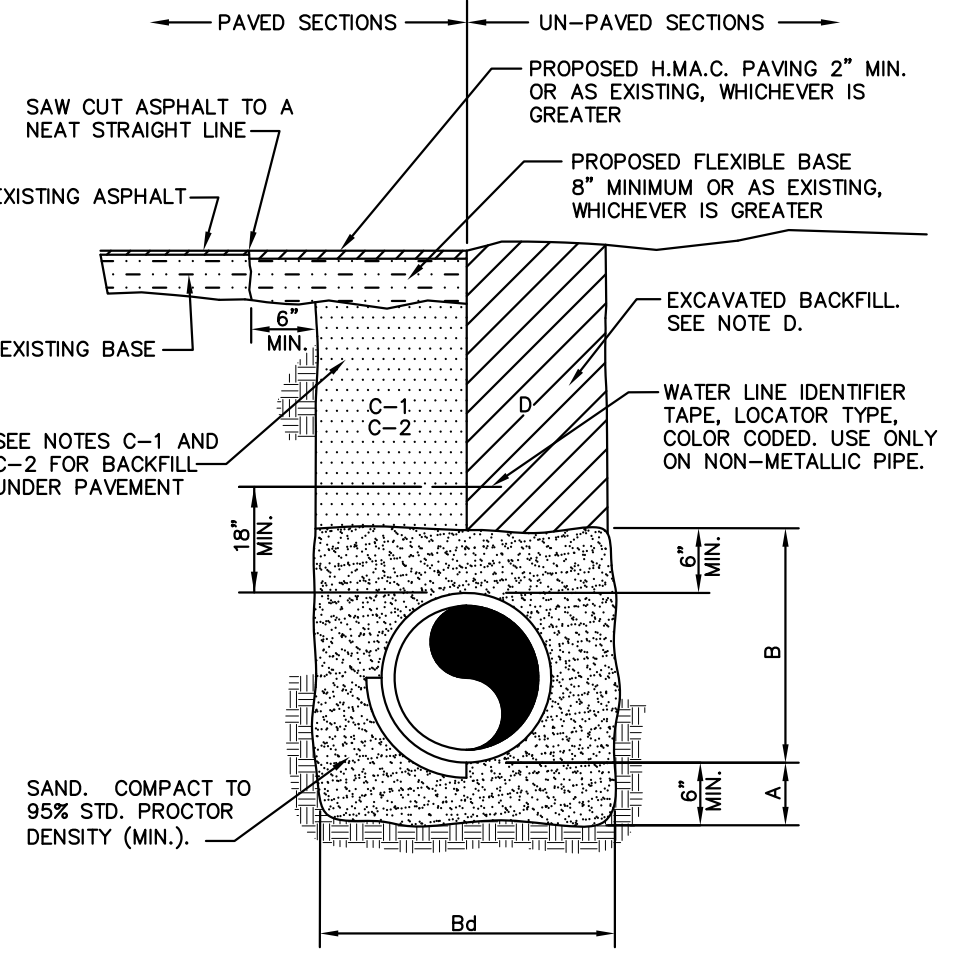
PROJECT: MILANOS ESTATES PHASE III SUBDIVISION
ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
DRAWN: OSCAR ALARCON JR.
SCALE: 1"=100'
DATE: AUGUST 4, 2023
PROJECT: SUB 19.028
REVISIONS:
PAGE NO. 4-OF-7



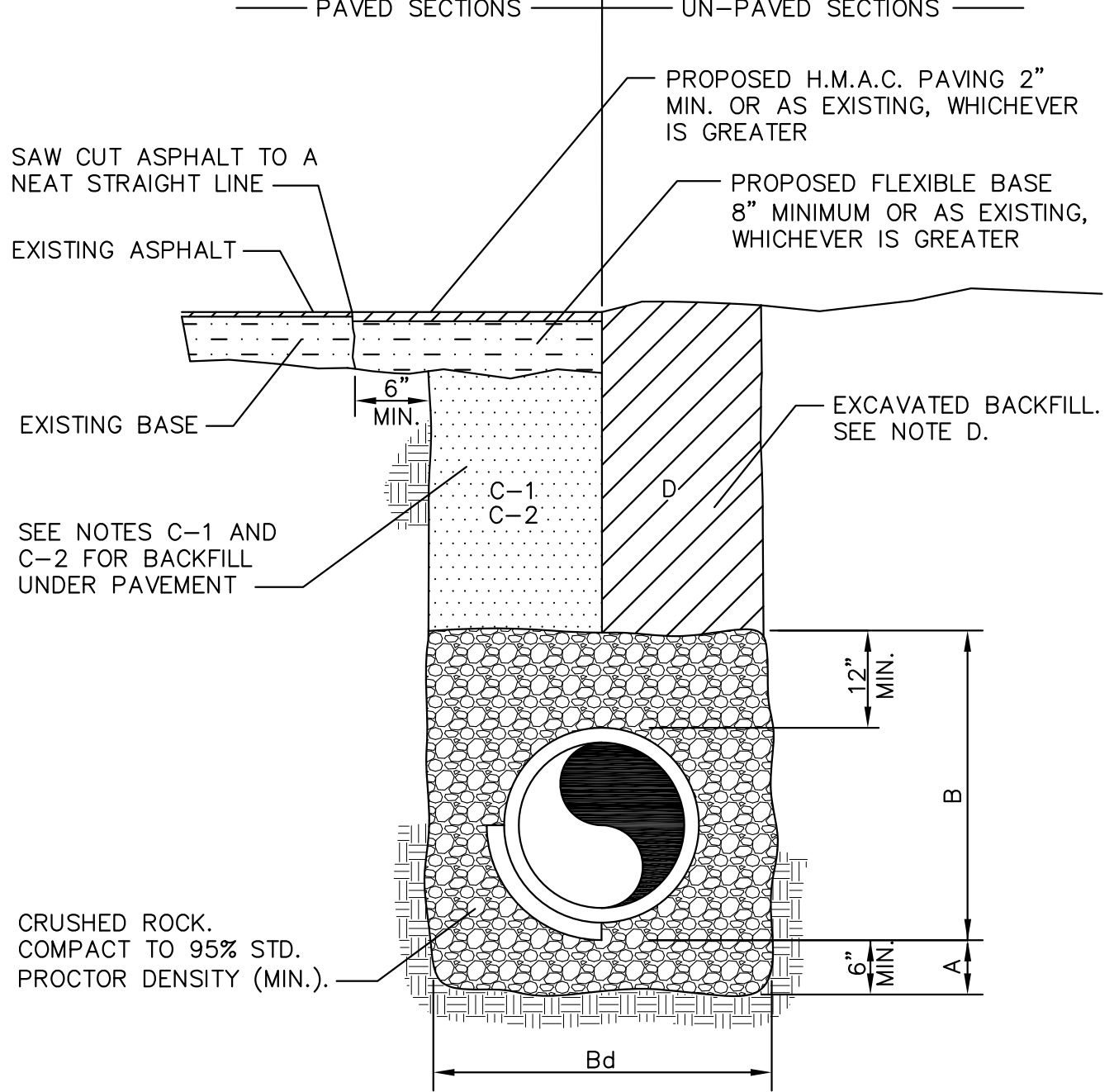
TYPICAL WATER METER INSTALLATION
NOT TO SCALE



RESIDENTIAL SINGLE WATER SERVICE CONNECTION
NOT TO SCALE



TYPICAL WATER LINE AND SEWER FORCEMAIN BEDDING DETAIL



SANITARY SEWER (NON-FORCEMAIN) PIPE BEDDING DETAIL

GENERAL NOTES:

- A. CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
- B. CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
- Bd. MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER); PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
- C-1. (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
- C-2. (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- D. EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY

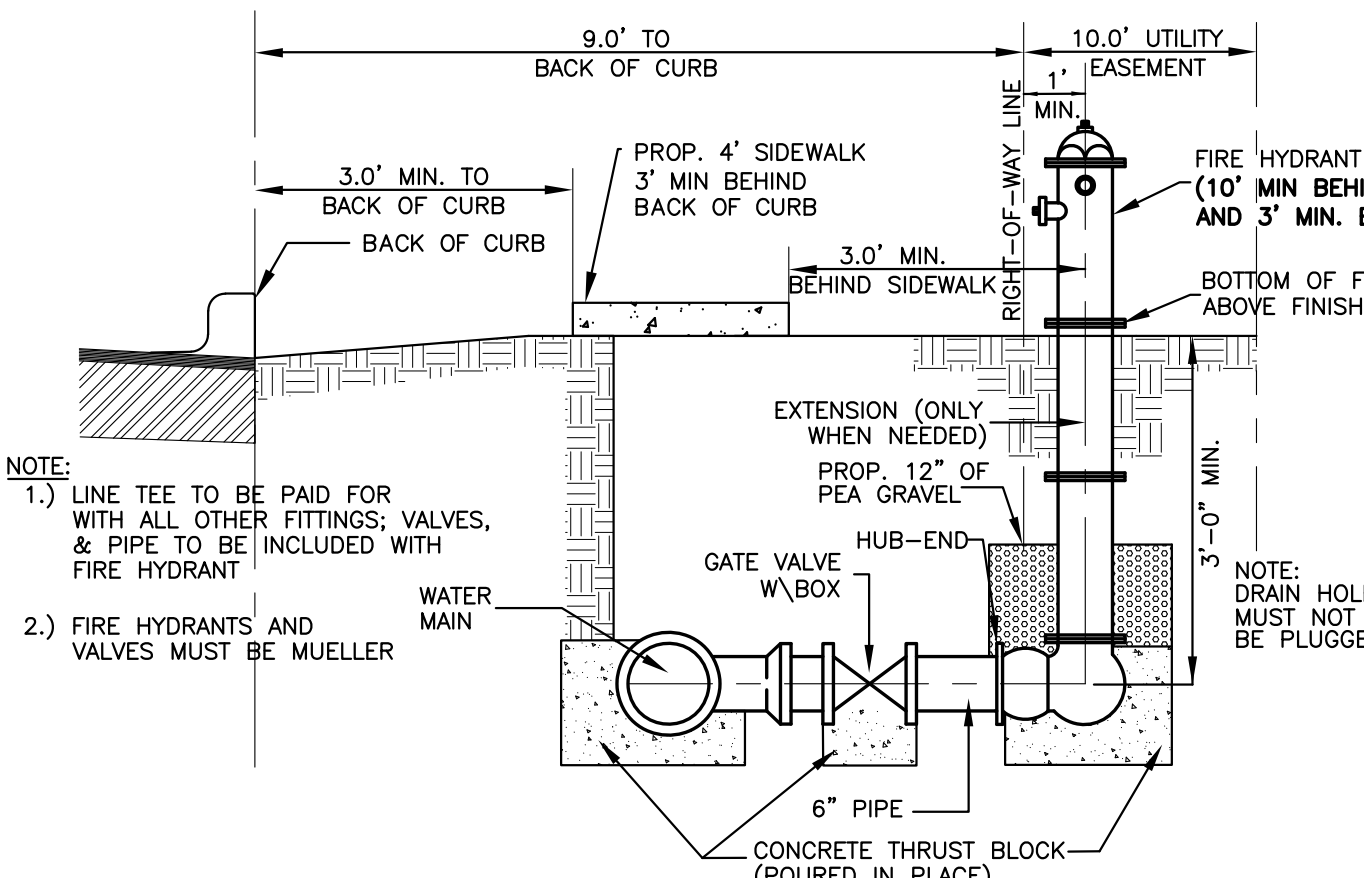
EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 Sieve. MAXIMUM 3/4" SIZE FOR PIPE SIZE ≤ 15". GREATER THAN 90% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.

IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).

WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

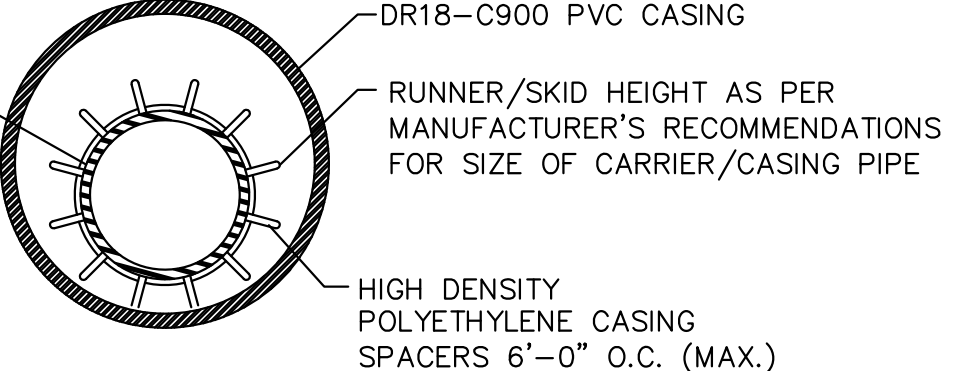
BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.



SIDEWALK PLACEMENT W/ RESPECT TO HYDRANT
NOT TO SCALE

- NOTES:**
- CONTRACTOR TO CONTACT ALL UTILITIES COMPANIES IN THE AREA FOR FIELD VERIFICATION OF EXISTING FACILITIES. UTILITY COMPANY'S SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 CITY OF WESLACO 956-972-7600
 CENTRAL POWER & LIGHT CO. 800-274-2611
 SOUTHERN UNION GAS CO. 800-743-2945
 AT&T 800-288-2020
 U.S. SPRINT CO. 956-948-3100
 TIME WARNER CABLE 800-222-3355
 TX. EXCAVATION SAFETY SYSTEM 800-344-8377
 - CONTRACTOR TO EXPOSE ANY EXISTING FACILITY THAT MAY BE IN CONFLICT PRIOR TO START OF CONSTRUCTION.
 - ALL EXISTING CITY UTILITIES (WATER/SEWER) SHOWN ARE FROM BEST INFORMATION AVAILABLE. NEITHER THE ENGINEER NOR THE CITY IS RESPONSIBLE FOR THE ACCURACY OF LOCATION.
 - CONTRACTOR SHALL AT ALL TIMES ALLOW ACCESS TO EXISTING DRIVEWAYS OR PROVIDE/MAINTAIN ALTERNATIVE ALL WEATHER ROUTES.
 - ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - TRENCHES OR EXCAVATIONS MAY NOT BE LEFT OPEN OVERNIGHT UNLESS AUTHORIZED IN WRITING BY THE ENGINEERING DEPARTMENT. IN SUCH CASES, THE CONTRACTOR MUST PROVIDE 1/2" STEEL PLATES OVER PLATES WITH ANCHORING AS PER SPECIFICATIONS TO BE PROVIDED BY THE CITY OF WESLACO.
 - ANY DAMAGE TO FENCES, WALKS, OR PRIVATE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXCAVATED MATERIAL AND DEBRIS FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING CONSTRUCTION MATERIALS TESTING THROUGH THE CITY'S DESIGNATED FIELD REPRESENTATIVE 24 HOURS PRIOR TO TESTING. CONTRACTOR IS RESPONSIBLE FOR ADHERING CLOSELY TO TESTING SCHEDULE AND AVOID ANY DELAYS IN THE FIELD.

- NOTES:**
- CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS. CONCRETE BLOCK (POURED IN PLACE).
 - VALVE SHALL BE MUELLER BRAND. GATE VALVE & VALVE BOX.



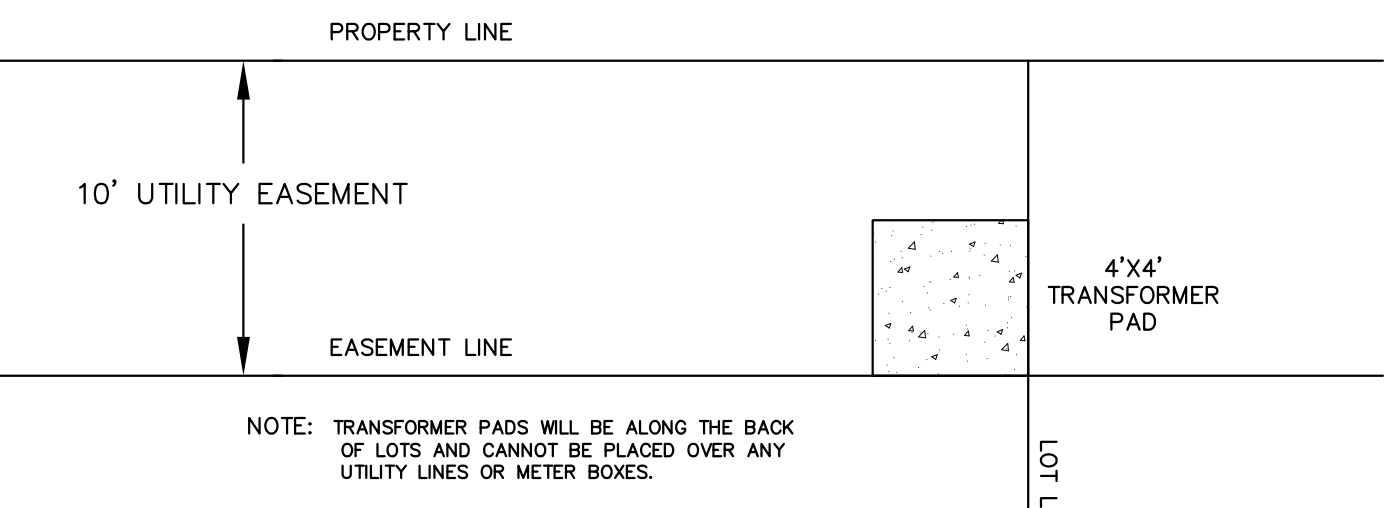
BORING INSTALLATION

CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.3125"
8"	16"	0.3125"
10"	18"	0.3125"
12"	21"	0.3750"
14", 15"	24"	0.4375"
16"	26"	0.4375"
18"	30"	0.5000"
24"	36"	0.5625"
36"	48"	0.6250"

GENERAL NOTES:

- DR18-C900 PVC CASING SHALL BE CLOSED AT EACH END USING SYNTHETIC RUBBER END SEALS.
- CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASEMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY TO THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASEMENT.
- PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
- INSTALLATION AND SIZE OF SPACERS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

UTILITY LINE BORE DETAIL



TRANSFORMER PAD PLACEMENT
NOT TO SCALE

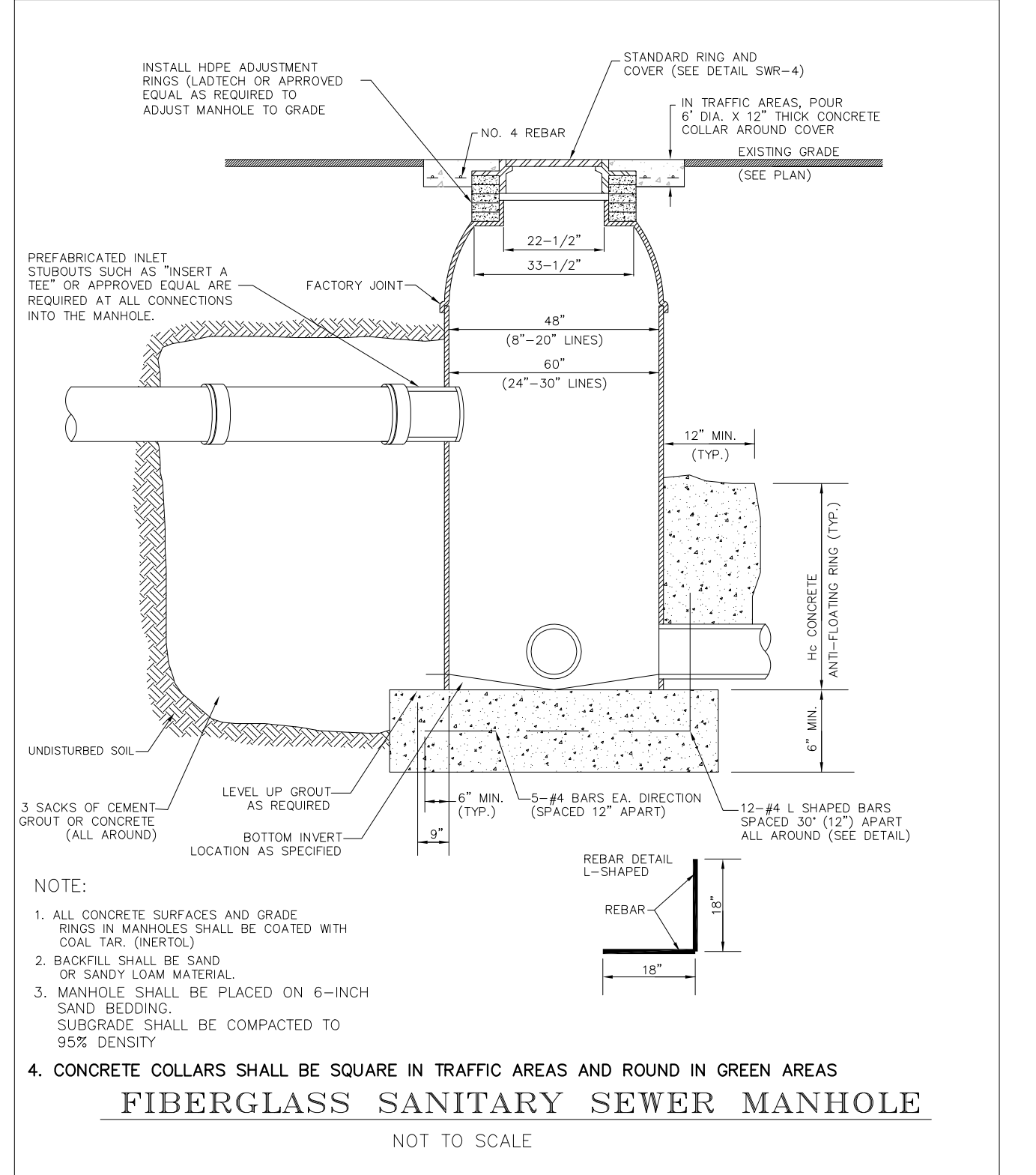
NOTES:

- NORMALLY, FIRE HYDRANTS ARE TO BE LOCATED AT THE END OF CURB RETURN, OR AT PROPERTY LINE.
- PERMANENT OBSTRUCTIONS SUCH AS POLES, TRAFFIC SIGNALS ETC. MAY REQUIRE RELOCATION OF FIRE HYDRANT 5' DISTANCE FROM OBSTRUCTION. FIRE HYDRANT NOT TO BE LOCATED WITHIN AREA OF CURB RETURN.

CONSTRUCTION NOTES:

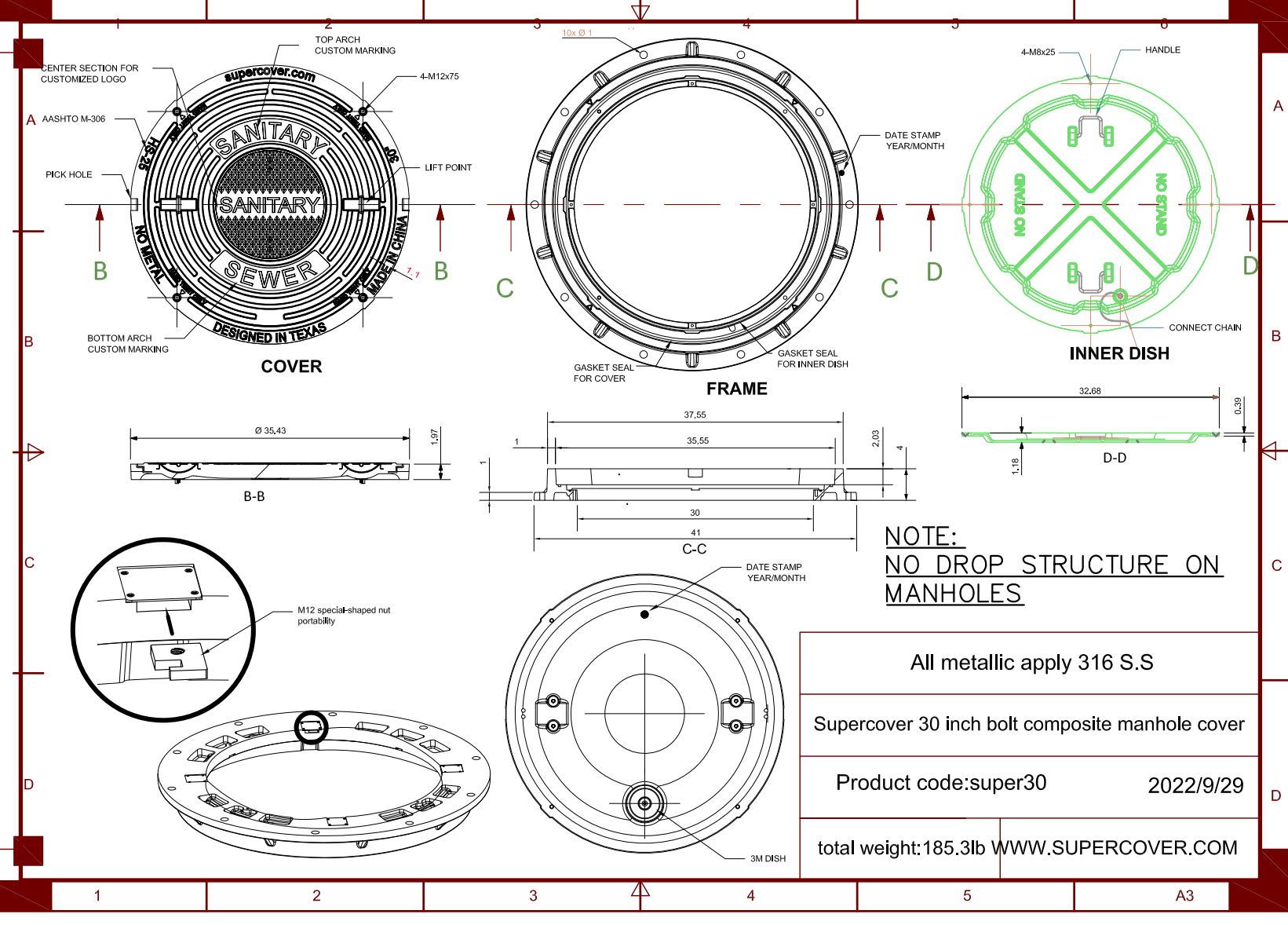
- A. WATER MAIN.
- B. FIRE HYDRANT.
- C. CURB AND GUTTER.
- D. RIGHT OF WAY.
- E. PROPERTY LINE.

TYPICAL FIRE HYDRANT LOCATIONS



FIBERGLASS SANITARY SEWER MANHOLE
NOT TO SCALE

CITY OF PHARR STANDARDS MANUAL
 SANITARY SEWER "FIBERGLASS MANHOLE" DETAIL
 SHEET NO. 1
 J.E. SAENZ & ASSOCIATES, INC.



NOTE: NO DROP STRUCTURE ON MANHOLES

All metallic apply 316 S.S.
 Supercover 30 inch bolt composite manhole cover
 Product code: super30 2022/9/29
 total weight: 185.3lb WWW.SUPERCOVER.COM

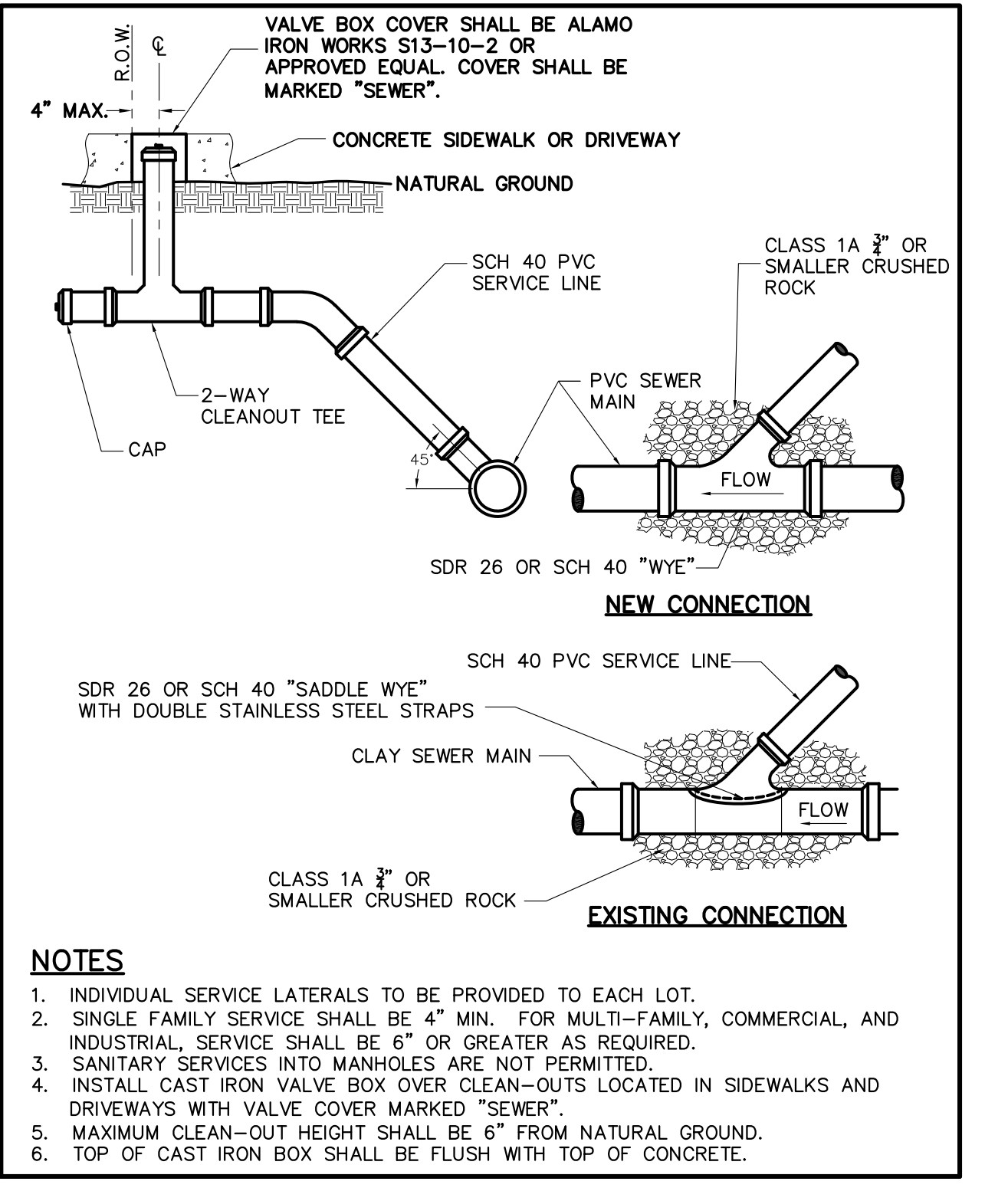
TAPPING SLEEVE & VALVE INSTALLATION

GENERAL NOTES:

- ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- TAPPING SLEEVE MUST BE ALL STAINLESS STEEL WITH STAINLESS BOLTS.
- VALVE SHALL BE MUELLER BRAND.

CONSTRUCTION NOTES:

- A. WATER MAIN (SEE PLANS AND SPECIFICATION)
- B. TAPPING SLEEVE (SIZE AS REQUIRED).
- C. CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
- D. THRUST BLOCK AS PER SPECIFICATIONS.
- E. FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
- F. ANCHOR RODS.
- G. PVC PIPE.
- H. SIMPLEX COUPLING.



NOTES

- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
- SINGLE FAMILY SERVICE SHALL BE 4" MIN. FOR MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL, SERVICE SHALL BE 6" OR GREATER AS REQUIRED.
- SANITARY SERVICES INTO MANHOLES ARE NOT PERMITTED.
- INSTALL CAST IRON VALVE BOX OVER CLEAN-OUTS LOCATED IN SIDEWALKS AND DRIVEWAYS WITH VALVE COVER MARKED "SEWER".
- MAXIMUM CLEAN-OUT HEIGHT SHALL BE 6" FROM NATURAL GROUND.
- TOP OF CAST IRON BOX SHALL BE FLUSH WITH TOP OF CONCRETE.

RIO DELTA ENGINEERING
 FIRM REGISTRATION No. F-7628
 SURVEY FIRM No. 10194027
 921 S. 10TH AVENUE EDINBURG, TEXAS 78539
 (TEL) 956-380-5152 (FAX) 956-380-5083

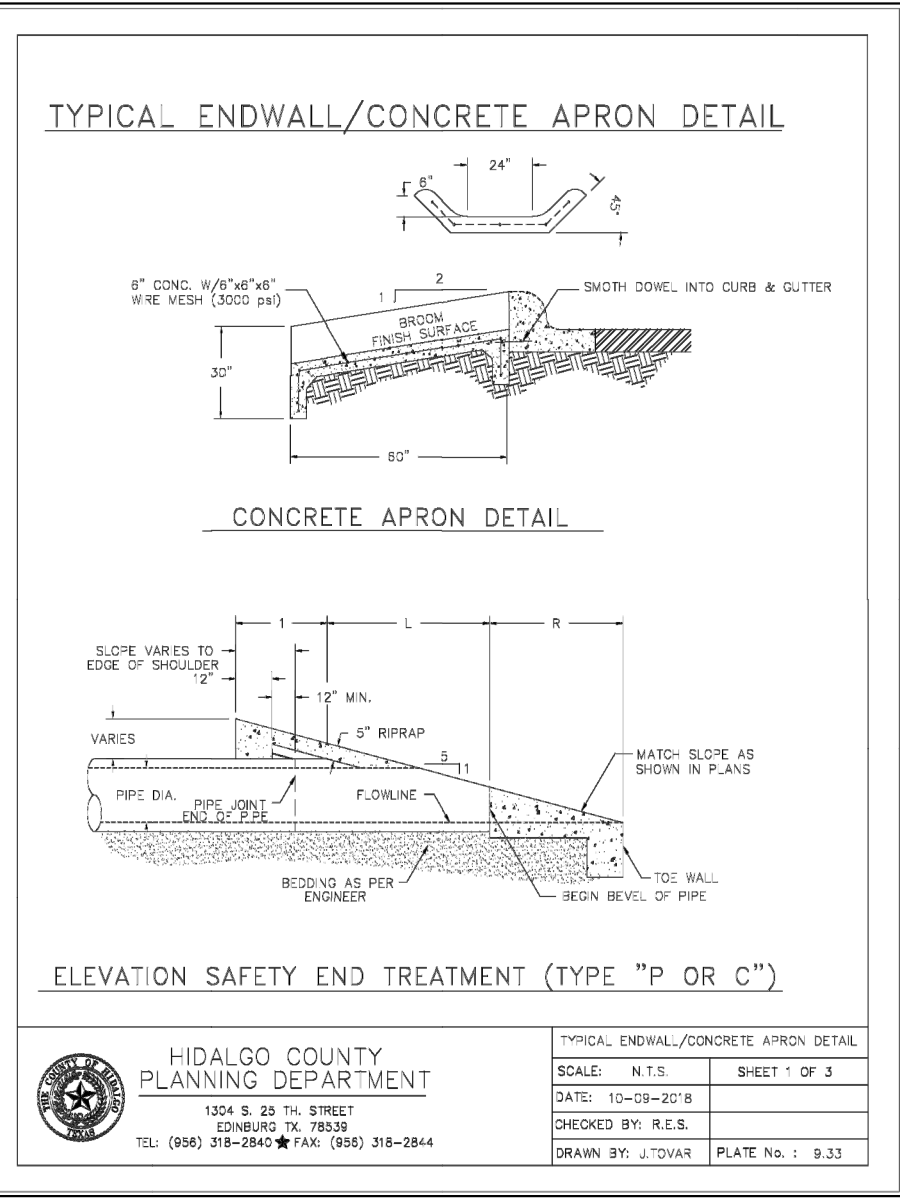
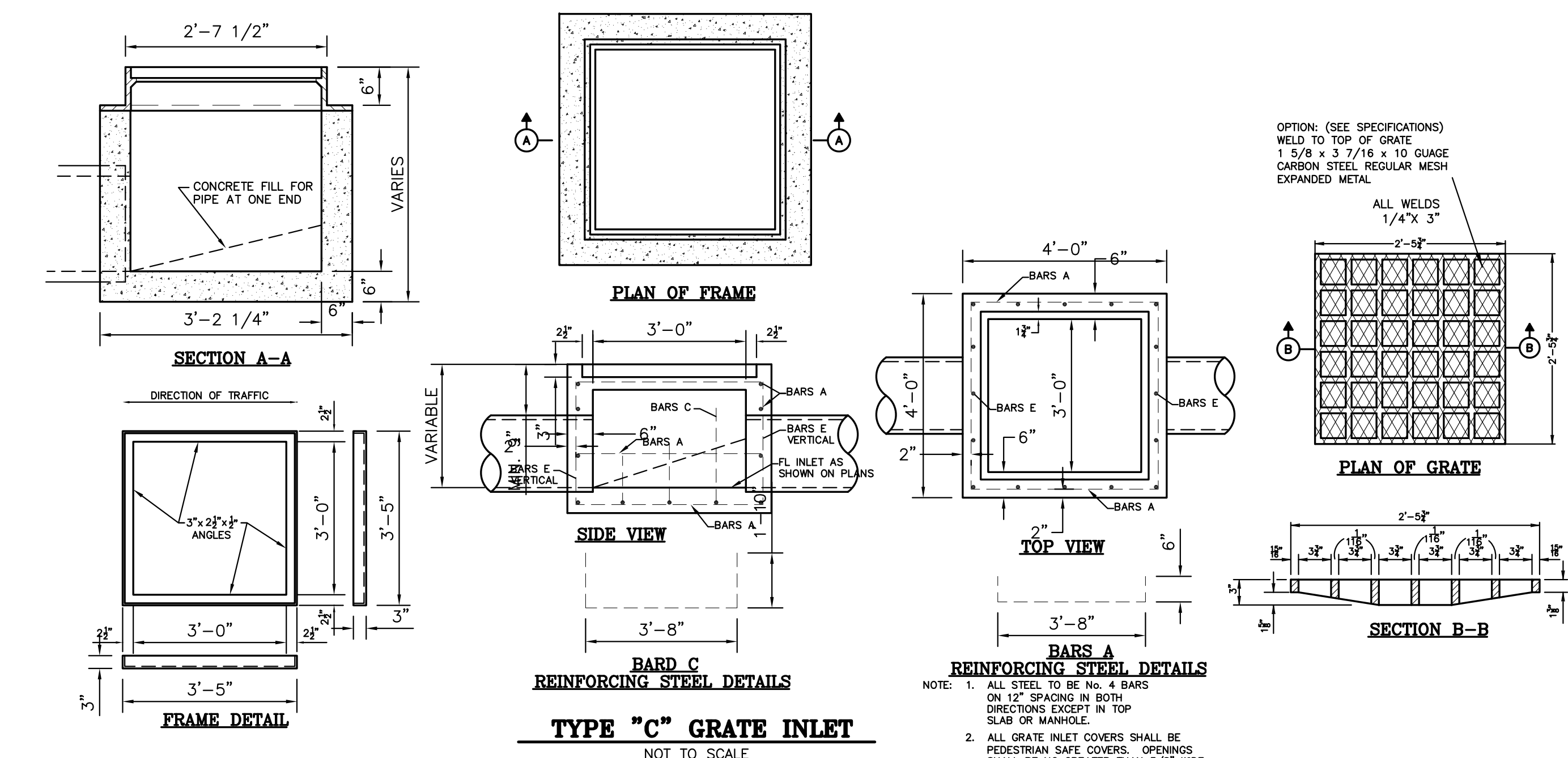
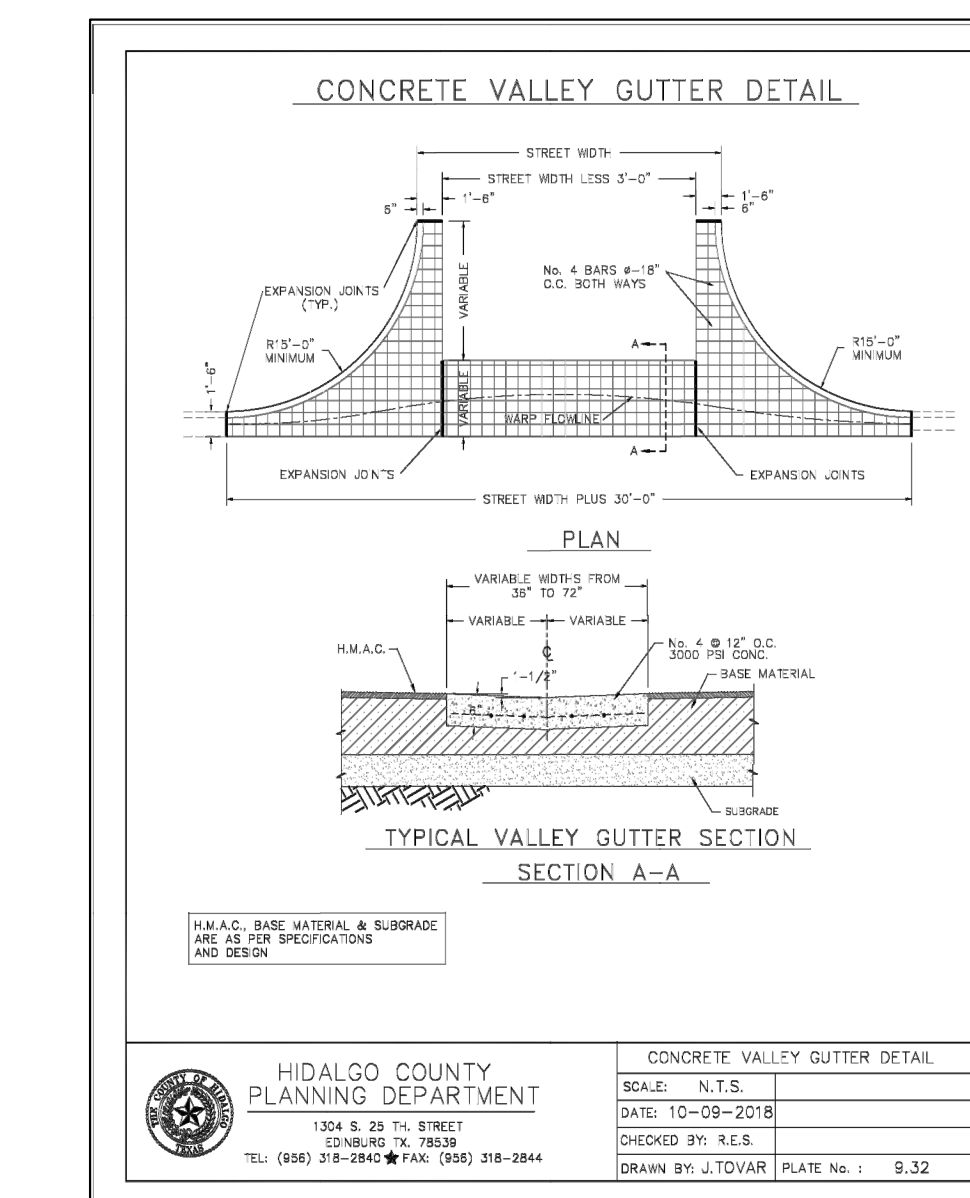
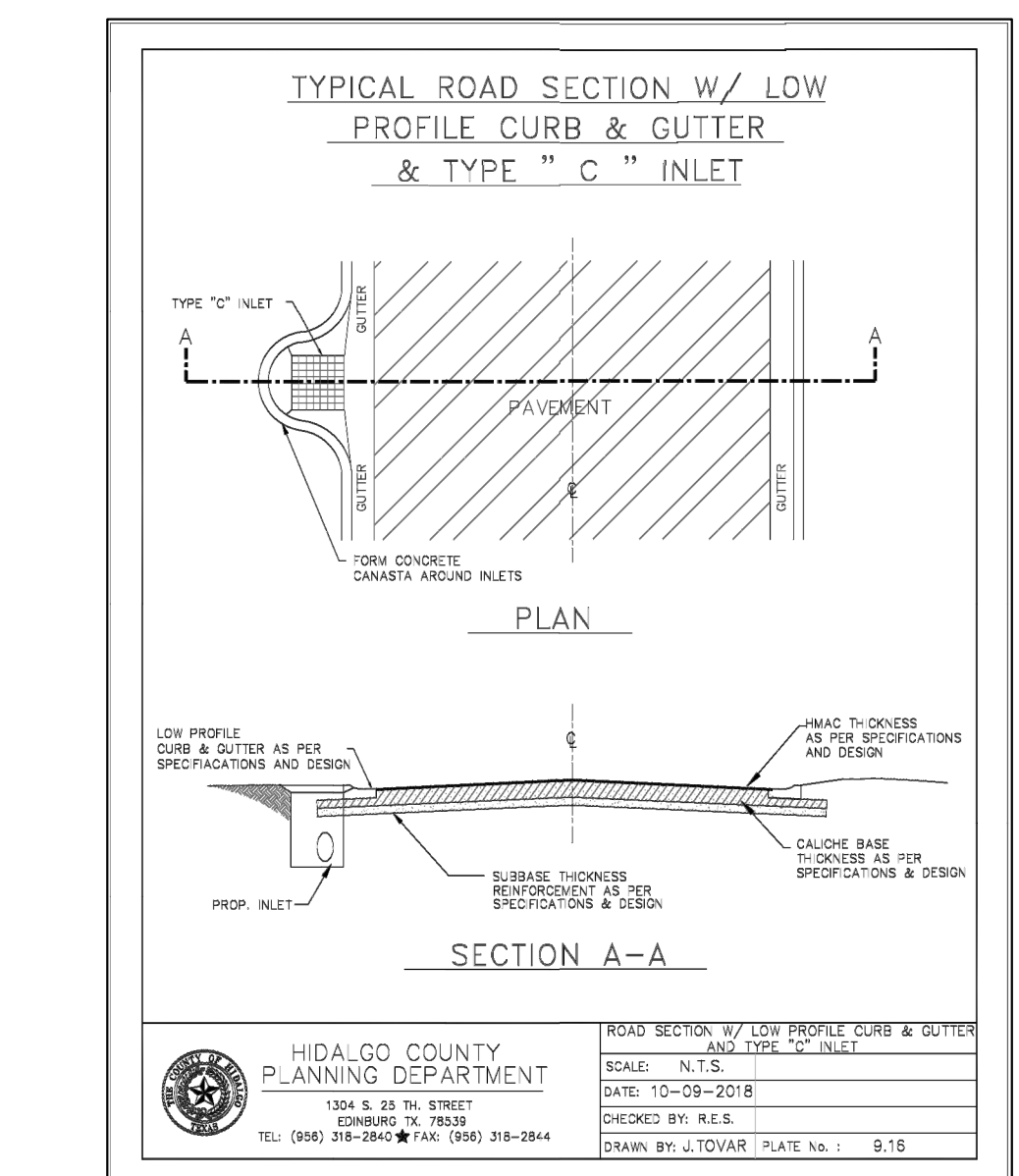
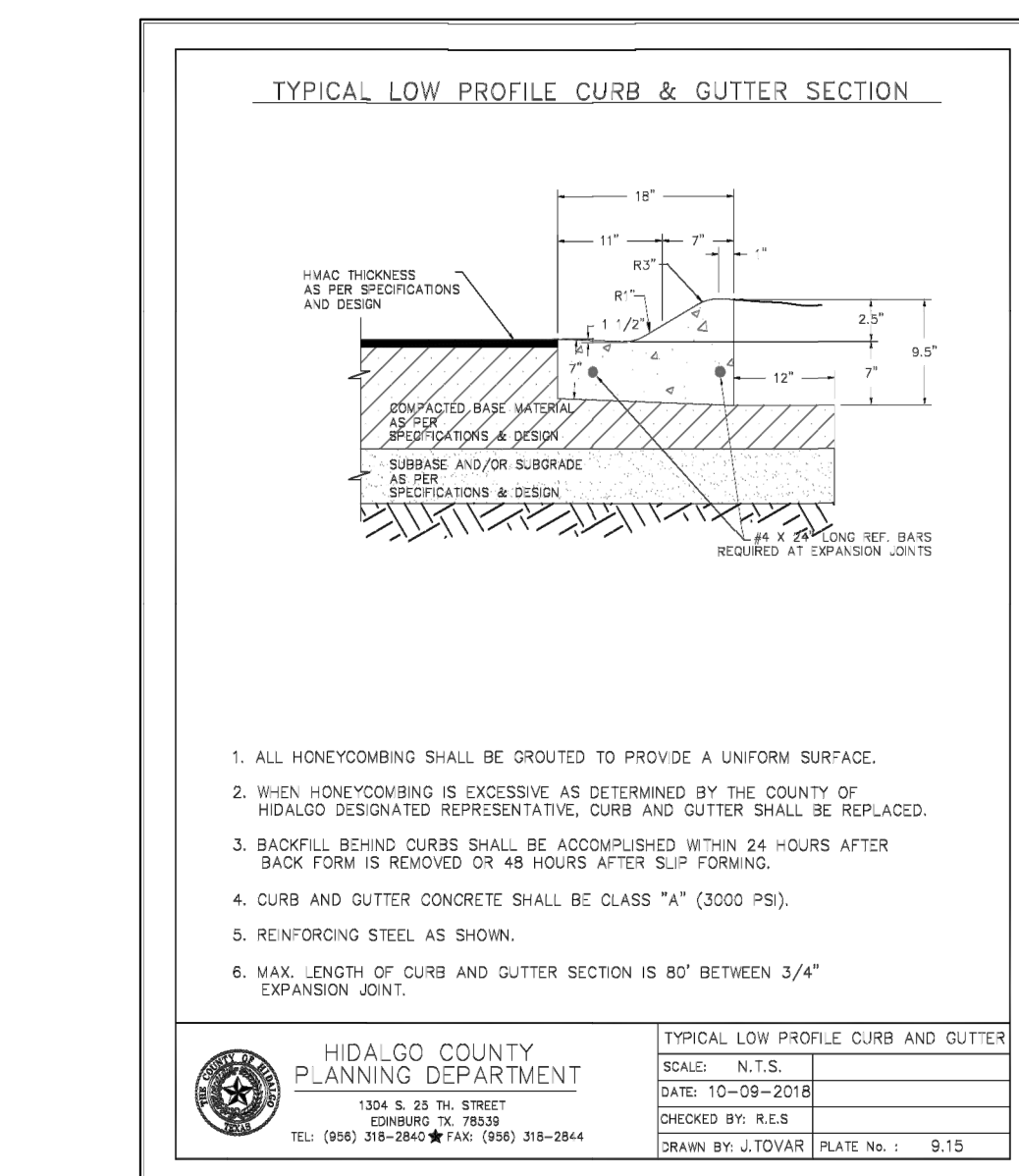
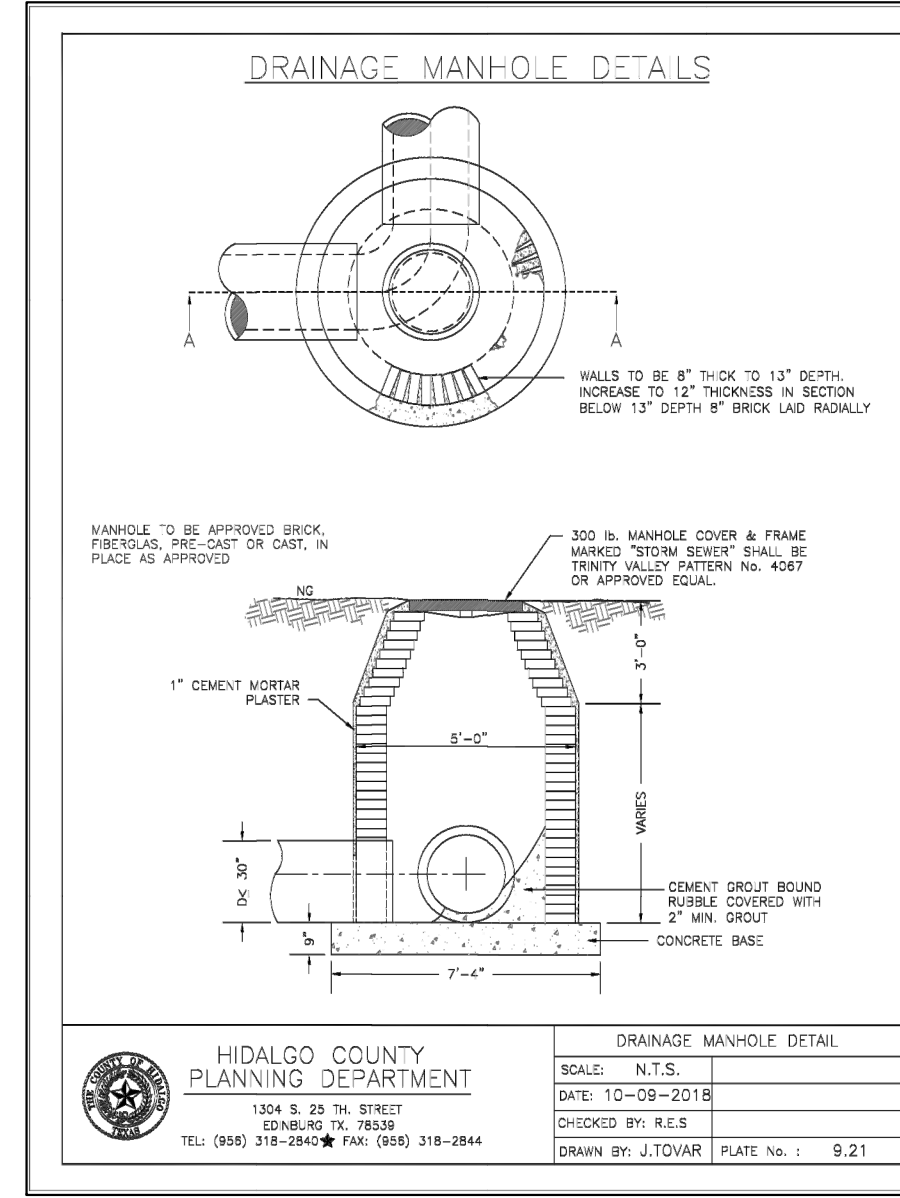
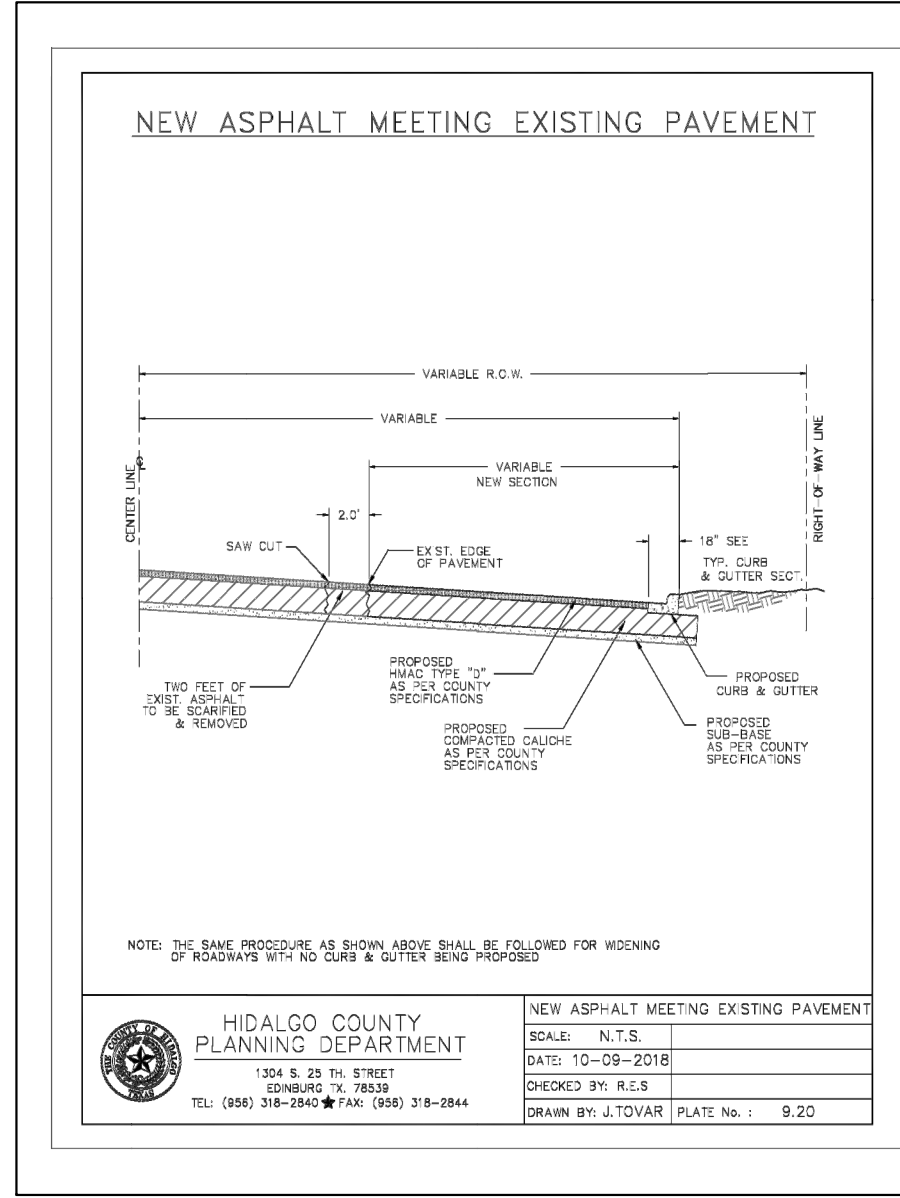
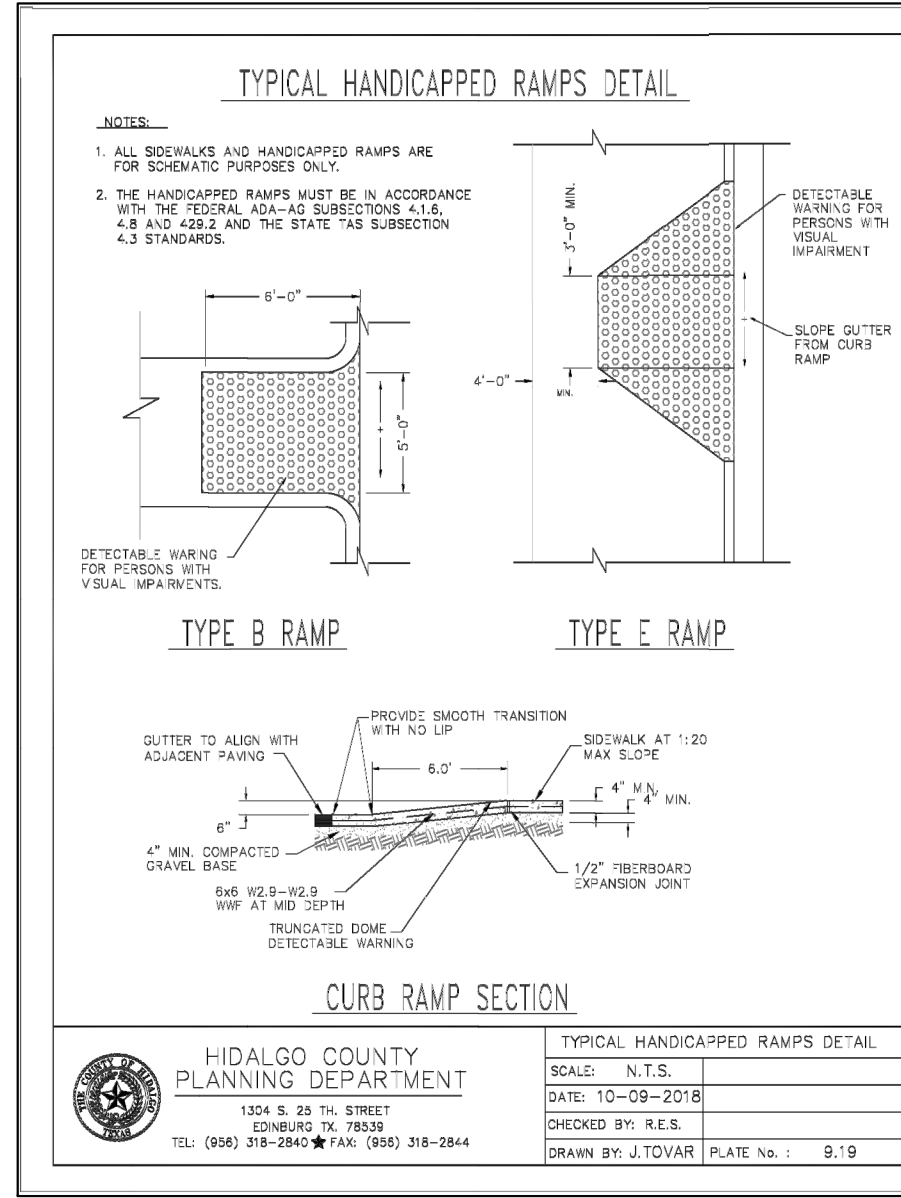
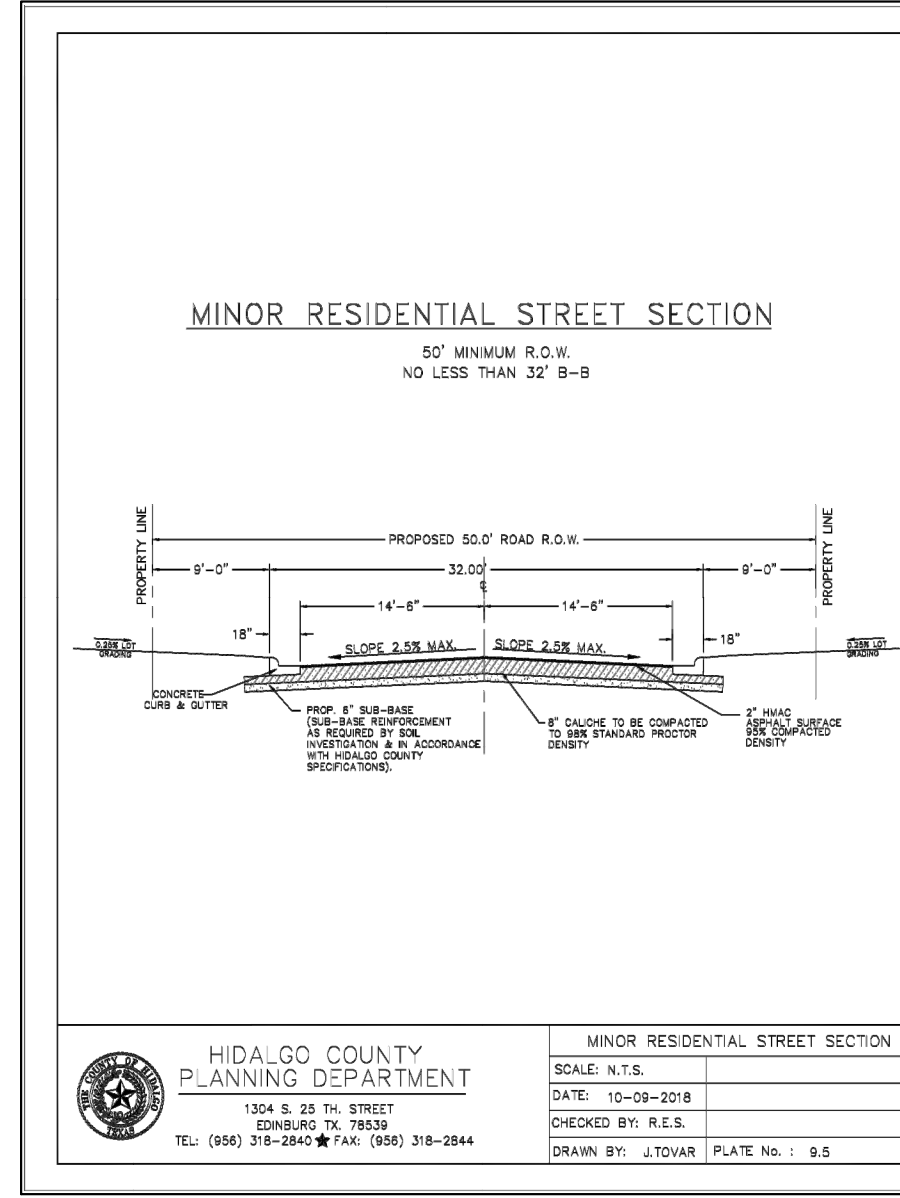
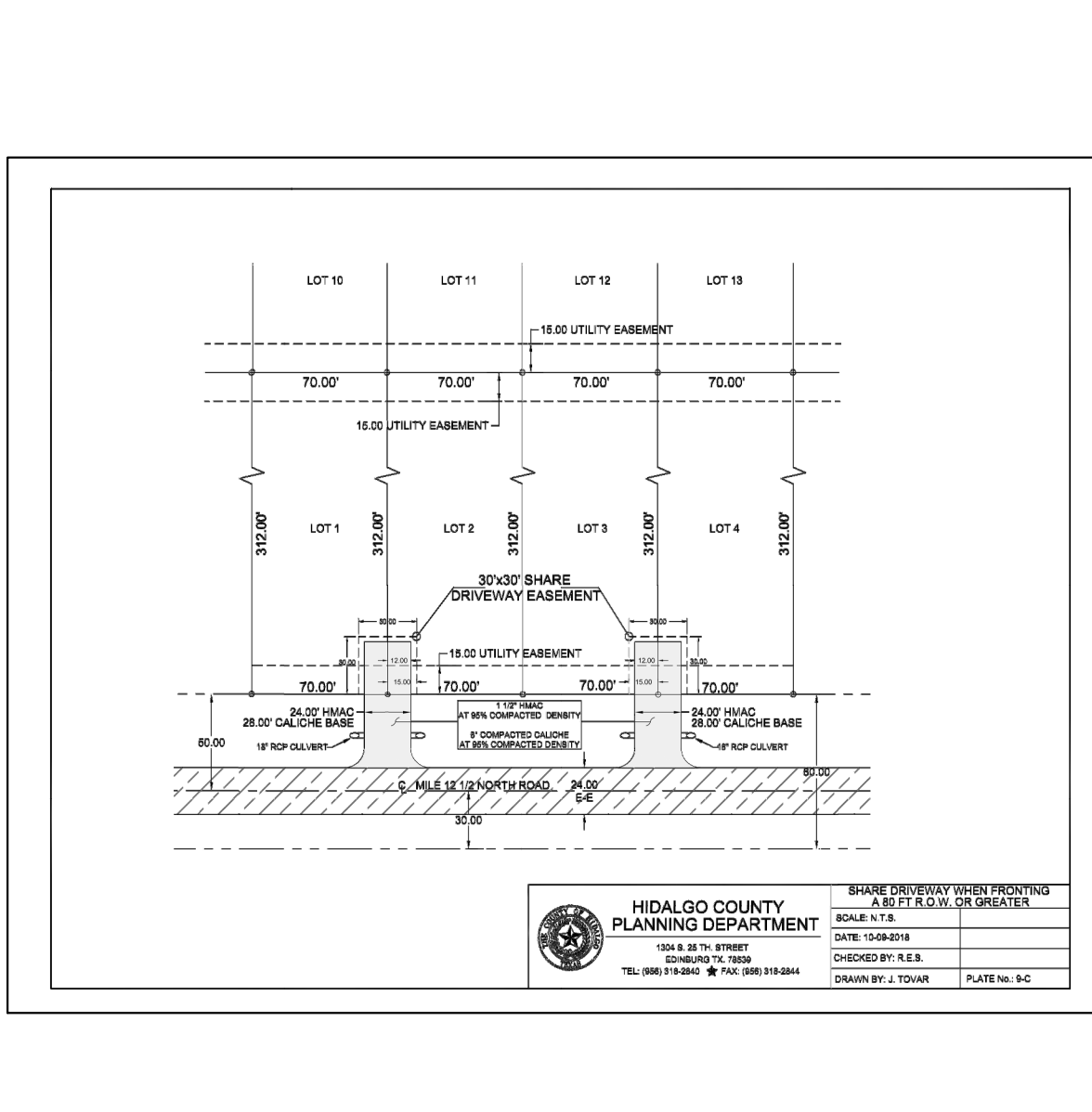
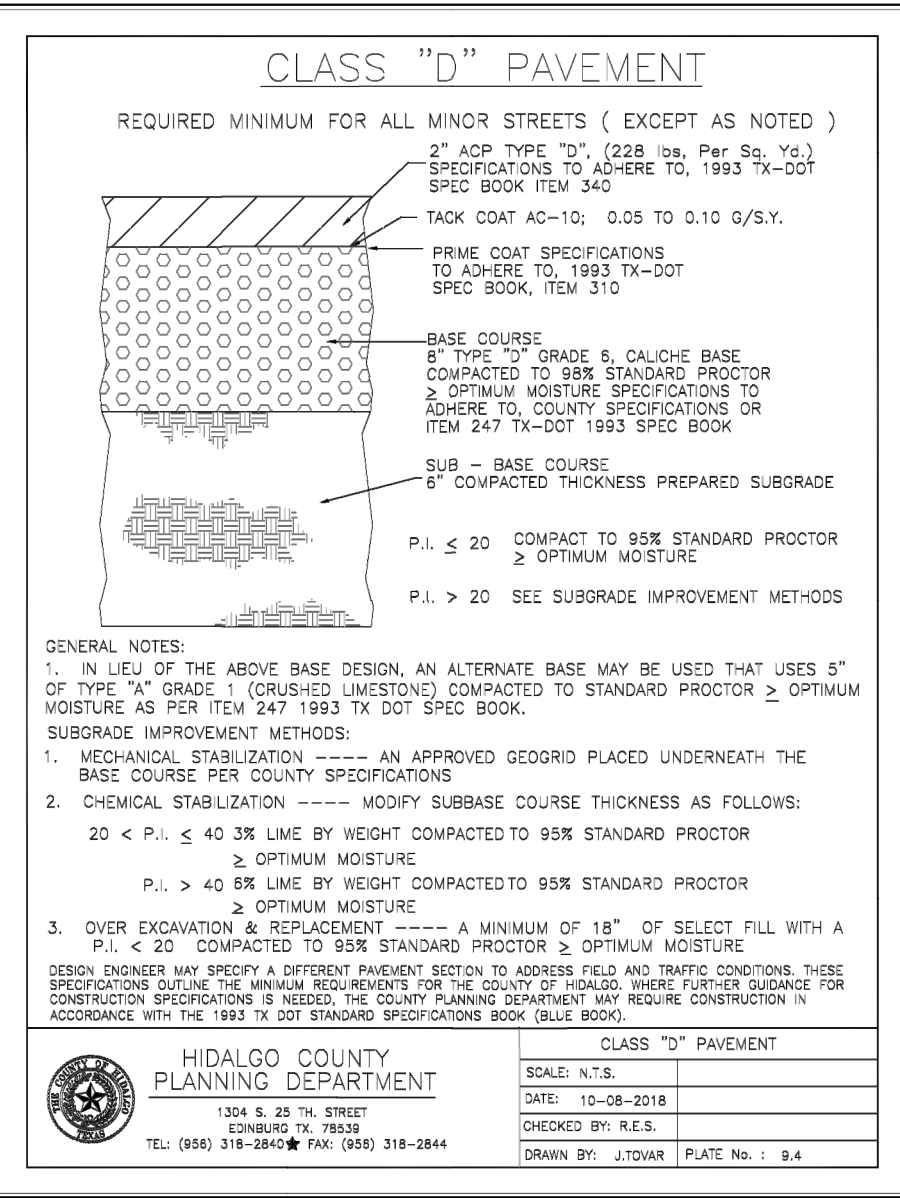
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ISSUED FOR: **PRELIMINARY**

TYPICAL DETAIL
 MILANOS ESTATES PHASE III SUBDIVISION
 HIDALGO COUNTY

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
 SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
 CHECKED: IVAN GARCIA P.E. R.P.L.S.
 DRAWN: OSCAR ALARCON JR.
 SCALE: AS SHOWN
 DATE: AUGUST 4, 2023
 PROJECT: SUB 19 028
 REVISIONS:
 PAGE NO. 6-OF-7

Y: RDE SUBDIVISIONS 2019/SUB 19 028 - SUB19 030 - MILANOS ESTATES PHASE 3 DWG/SUB 19 028-SHT 26 TYPICAL DETAILS.dwg RIODelta 11/8/2023 4:31 PM



TYPICAL ENDWALL/CONCRETE APRON DETAIL

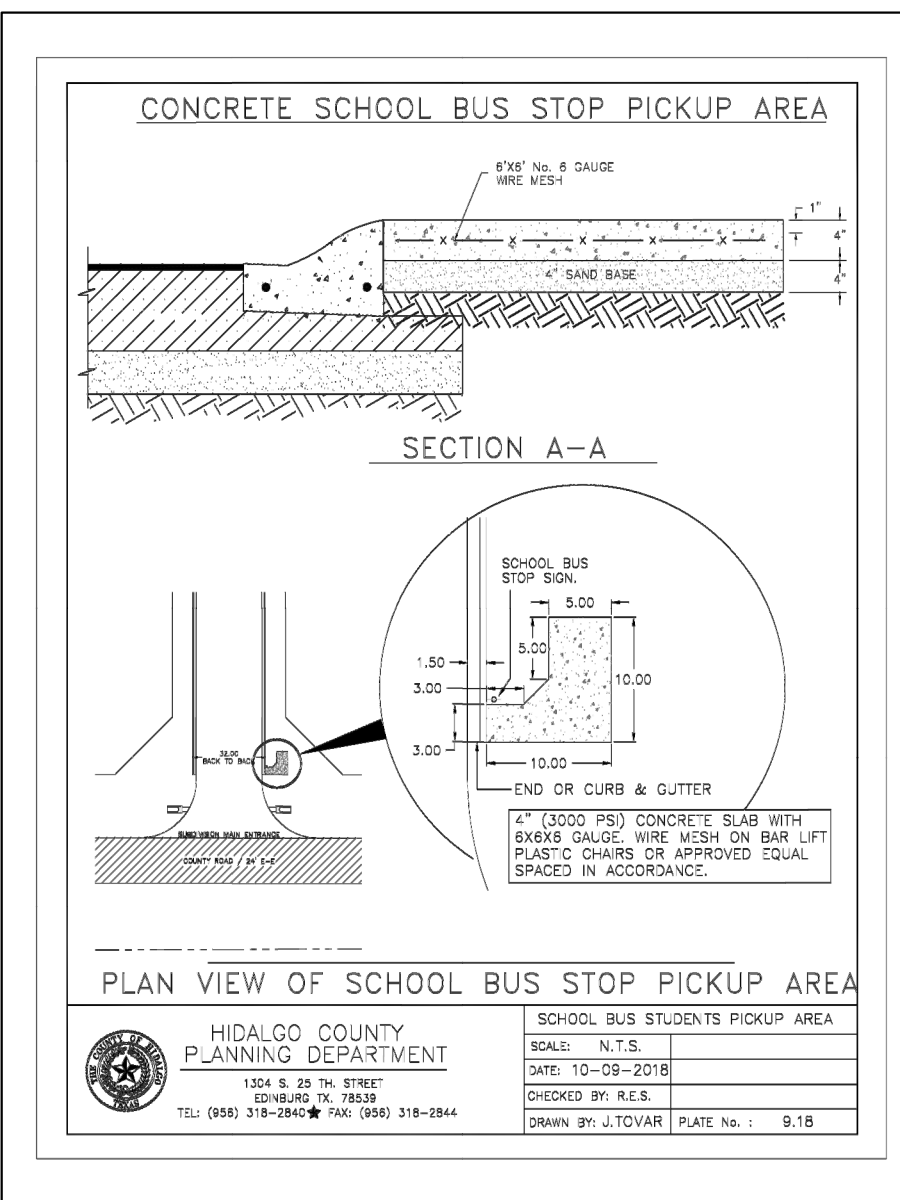
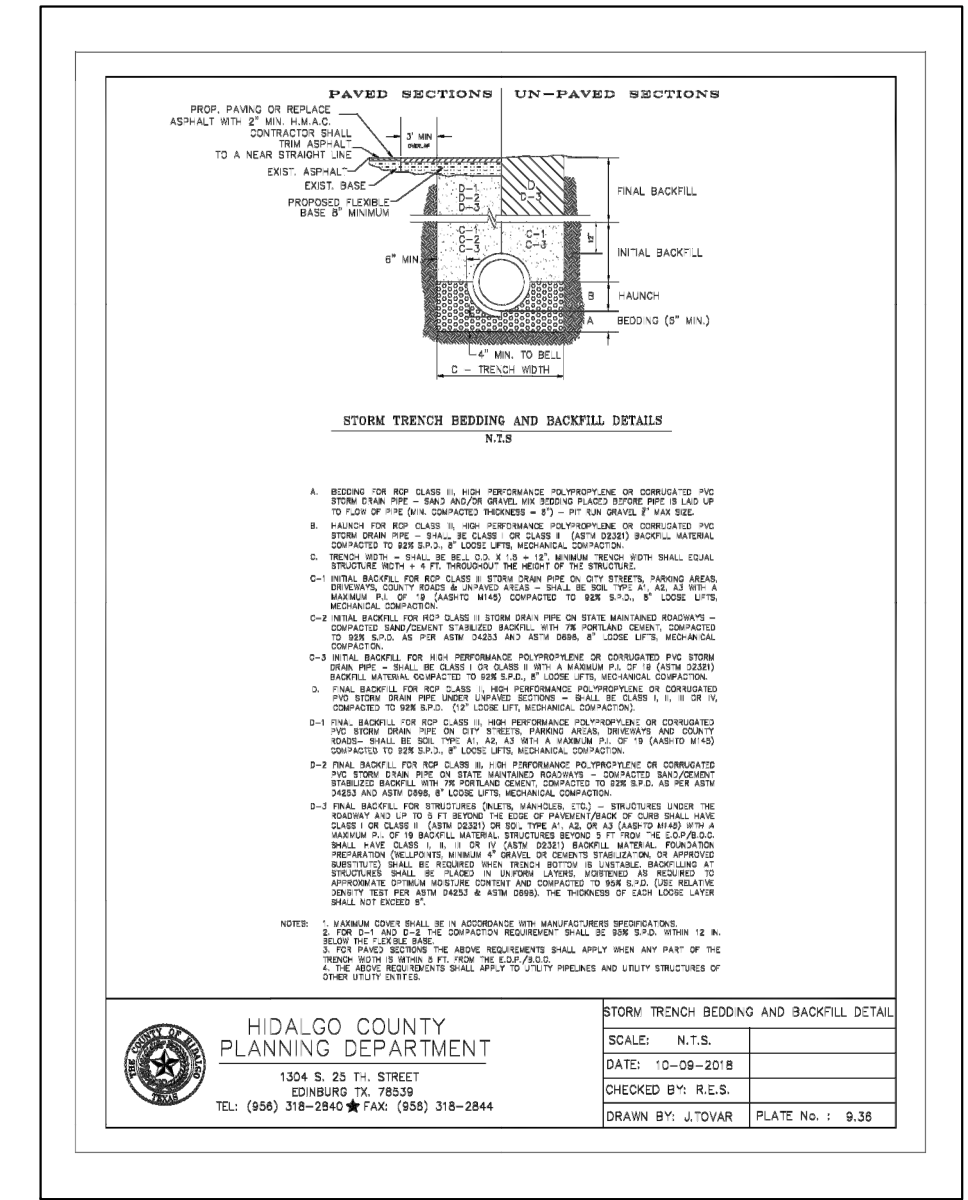
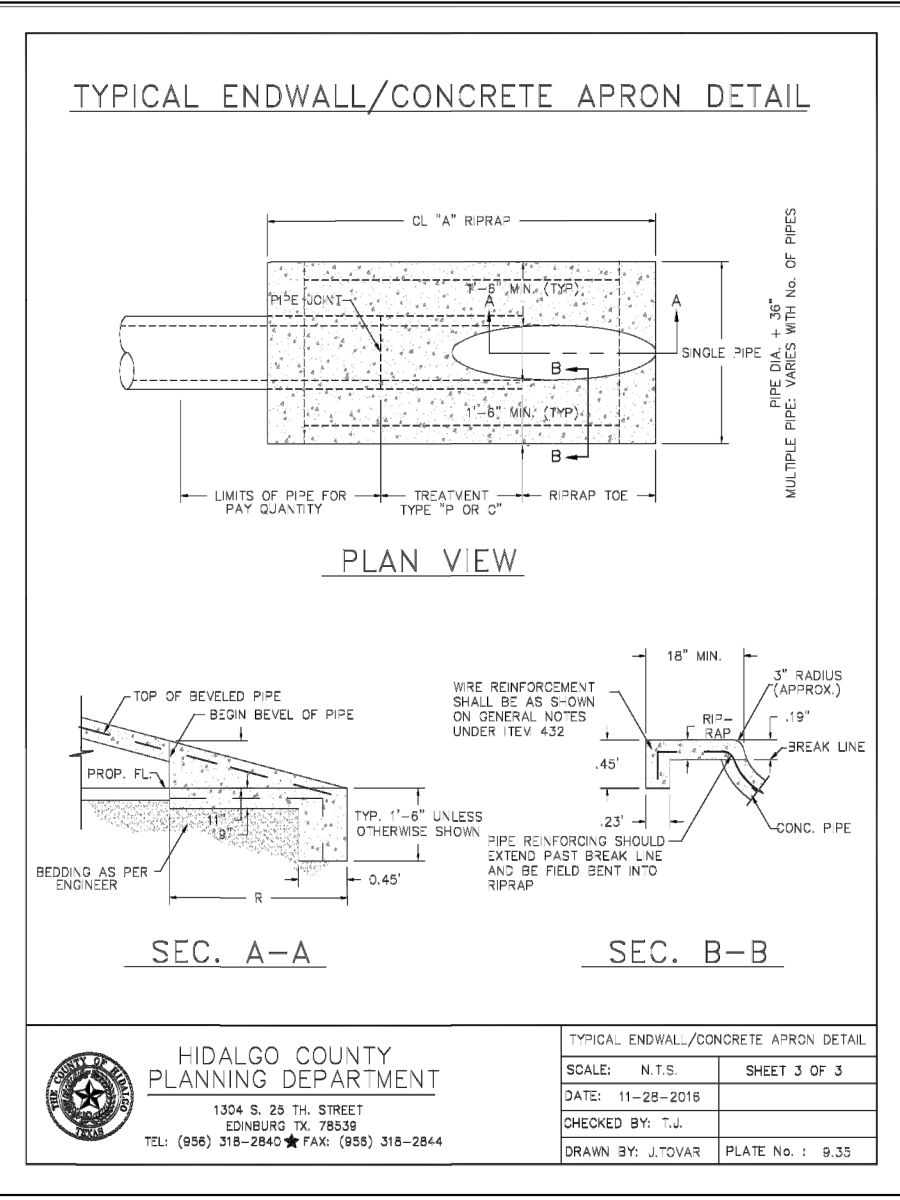
SAFETY END TREATMENT PIPE LENGTHS

PIPE DIA. (IN)	3:1	4:1	5:1	6:1
12"	2'-0"	2'-6"	3'-0"	4'-0"
15"	2'-6"	3'-0"	3'-6"	4'-6"
18"	3'-0"	3'-6"	4'-0"	5'-0"
24"	3'-6"	4'-0"	4'-6"	5'-6"
30"	4'-0"	4'-6"	5'-0"	6'-0"
36"	4'-6"	5'-0"	5'-6"	6'-6"
42"	5'-0"	5'-6"	6'-0"	7'-0"
48"	5'-6"	6'-0"	6'-6"	7'-6"

ESTIMATED RIPRAP Q.L. "A" VOLUME (CY)

PIPE DIA. (IN)	3:1	4:1	5:1	6:1
12"	0.88	1.11	1.34	1.57
15"	1.08	1.38	1.69	1.93
18"	1.29	1.63	1.97	2.32
24"	1.50	1.91	2.32	2.73
30"	1.72	2.21	2.69	3.17
36"	1.95	2.45	3.05	3.60
42"	2.18	2.80	3.42	4.05

HIDALGO COUNTY PLANNING DEPARTMENT
1304 S. 25th STREET
EDINBURG, TX 78839
TEL: (361) 318-2842 FAX: (361) 318-2844
DRAWN BY: J.TOVAR PLATE No.: 9.34



INDEX TO SHEETS OF MILANOS ESTATES PHASE II SUBDIVISION

SHEET NO.	TITLE	DATE
1	COVER SHEET	
2	HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT, DESCRIPTION (METES AND BOUNDS), SURVEYOR'S CERTIFICATION.	
2A	PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#9, H.C.D.D.#1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATION.	
3	SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE LOCATION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	
4	WATER LAYOUT, INCLUDING PROPOSED FIRE HYDRANTS, AND WATER SERVICE LOCATION; SUBDIVIDER CERTIFICATION.	
5	STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	
6	PAVING & DRAINAGE DETAIL SHEET	
7	WATER & SANITARY SEWER DETAIL SHEET	

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
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