



Anthony Uresti
Assistant Director

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING DATE: 12-12-2023

PROPOSED VISTA BONITA NO 16, PRECINCT No. 4

ENGINEER S2 ENGINEERING, PLLC DEVELOPER: SANTA CRUZ PROPERTIES LTD.

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 92 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INSTITUTIONAL

ESTIMATED NUMBER OF STREETLIGHTS: 12

FILLING STATIONS: 6

LOCATION DESCRIPTION: NORTHWEST CORNER OF RAMSEYER ROAD AND ALAMO ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF EDINBURG

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 11-21-2023 PROPERTY LIES WITHIN FLOOD ZONE: "X" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 30.00 FEET ONTO RAMSEYER ROAD AND 30.00 FEET ONTO ALAMO ROAD.

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 10-10-2023 BY, PRECINCT 4 R.O.W. AGENT

H.C.H.D. PRELIMINARY APPROVAL DATE: N/A BY, ENVIRONMENTAL HEALTH DIVISION MANAGER

SEWER SYSTEM: SANITARY SEWER BY CITY OF EDINBURG.

WATER SERVICE PROVIDER: N.A.W.S.C. LINE SIZE: 8" LOCATION: RAMSEYER ROAD.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 10-10-2023 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: N/A

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning,
Other departments, and City of Edinburg.

Final Approval subject to recommendations other departments

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,
Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

SUBDIVISION PLAT OF: VISTA BONITA SUBDIVISION No. 16

BEING A 20.00 ACRE TRACT OF LAND BEING ALL OF LOT 10, ALL OF LOT 11 AND THE EAST 2.0 ACRES OF LOT 12, BLOCK 31, SANTA CRUZ GARDENS UNIT NO. 2 AS PER MAP RECORDED IN VOLUME 8, PAGE 29, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 20.00 ACRE TRACT OF LAND BEING ALL OF LOT 10, ALL OF LOT 11 AND THE EAST 2.0 ACRES OF LOT 12, BLOCK 31, SANTA CRUZ GARDENS UNIT NO. 2 AS PER MAP RECORDED IN VOLUME 8, PAGE 29, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 20.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING, AT A FOUND COTTON PICKER SPINDLE FOR THE SOUTHEAST CORNER OF LOT 10, BLOCK 31, OF SAID SANTA CRUZ GARDENS UNIT NO. 2 SUBDIVISION FOR THE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;

THENCE, NORTH 08° 23' 00" EAST, ALONG THE EAST LINE OF SAID LOT 10, BLOCK 31, A DISTANCE OF 1,452.00 FEET TO A FOUND 1/2-INCH IRON ROD ON THE COMMON RIGHT-OF-WAY CORNER OF LOT 10, BLOCK 21 AND LOT 18, BLOCK 30 OF SAID SANTA CRUZ GARDENS UNIT NO. 2 SUBDIVISION, SAME BEING THE NORTH WEST CORNER OF THE TRACT HEREIN DESCRIBED;

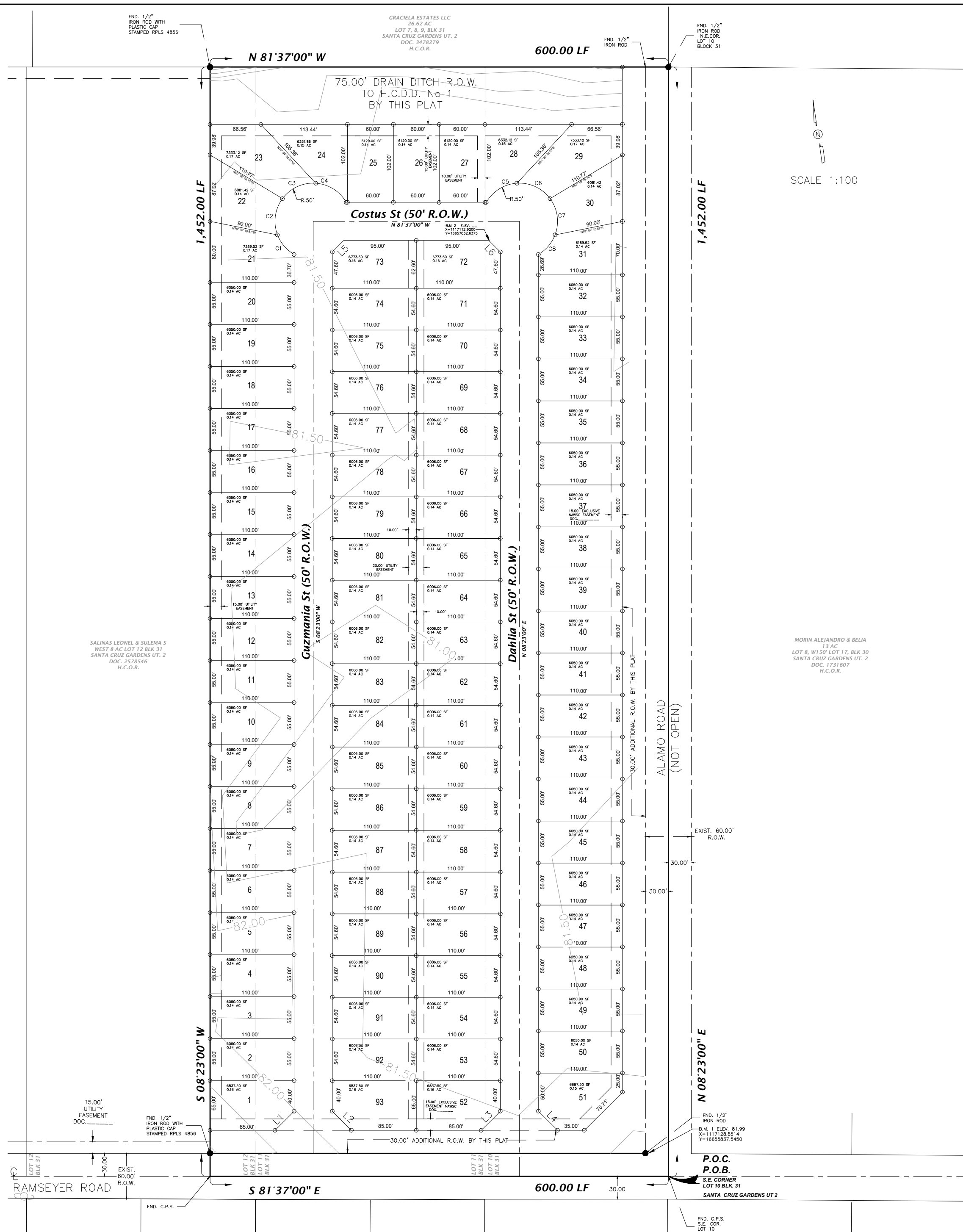
THENCE, NORTH 81° 37' 00" WEST, ALONG THE NORTH LINE OF SAID LOT 10, BLOCK 31 PASSING A 1/2" ROD FOUND AT A DISTANCE OF 30 FEET FOR THE WEST RIGHT-OF-WAY LINE OF ALAMO ROAD, A TOTAL DISTANCE OF 600 FEET TO A FOUND 1/2-INCH IRON ROD WITH PLASTIC CAP STAMPED RPLS 4856 TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE, SOUTH 08° 23' 00" WEST, PASSING A 1/2" ROD FOUND AT A DISTANCE OF 1,422 FEET FOR THE NORTH RIGHT-OF-WAY LINE OF RAMSEYER ROAD, FOR A TOTAL A DISTANCE OF 1,452.00 LF TO A FOUND COTTON PICKER SPINDLE, BEING THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE, SOUTH 81° 37' 00" EAST, ALONG THE COMMON SOUTH LINE OF SAID LOT 10, LOT 11, AND LOT 12 BLOCK 31, A DISTANCE OF 600 FEET A TOTAL DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING, CONTAINING 20.00 ACRES OF LAND MORE OR LESS.

GENERAL NOTES:

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED) AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN.
ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
COMMUNITY-PANEL NO. 480334 0325 D, MAP REVISED: JUNE 6, 2000.
- SETBACKS:
FRONT: 25.00 FEET
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
INTERIOR SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER SIDE: 10.00 FEET
CORNER GARAGE SIDE: 18.00 FEET
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. NO COMMERCIAL USE SHALL BE ALLOWED ON ALL INTERNAL LOTS 1 THROUGH 93. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND LOCAL COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 80,092 CUBIC-FEET OR 2.02 ACRE-FEET OF STORM WATER RUNOFF. RUNOFF WILL BE DETAINED AT THE DETENTION POND LOCATED AT THE NORTH SIDE OF THE SUBDIVISION. (SEE SHEET NO.4 FOR STORM SEWER IMPROVEMENTS.)
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- PROPOSED STRUCTURES ON THE LOTS MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- A 5 FOOT WIDE MINIMUM SIDEWALK IS REQUIRED DURING BUILDING PERMIT BY LOT OWNERS AS PER CITY OF EDINBURG REQUIREMENTS.
- ALL SUBDIVISION REQUIREMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.
- LOTS 1, 51, 52, AND 93 SHALL NOT HAVE ACCESS/DRIVEWAY INTO RAMSEYER RD.
- VISTA BONITA NO. 16 SUBDIVISION SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AND CITY OF EDINBURG LATEST REQUIREMENTS AND SPECIFICATIONS.
- 50% OF PARK LAND FEE (\$300) PER LOT WILL BE DUE AT BUILDING PERMIT STAGE.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.2% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY IRRIGATION DISTRICT NO. 2, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- BENCHMARK NOTE:
THE FOLLOWING BENCHMARK IS IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS. B.M. 1. ELEV. 81.99 AT A IRON ROD NO. 4 LOCATED AT THE SOUTH EAST CORNER OF THE PROPERTY 88 DATUM. BENCHMARK COORDINATES X = 1117128.8514 Y = 1665567.2450
B.M. 2. ELEV. _____ AT A IRON ROD NO. 4 LOCATED AT INSIDE OF THE SUBDIVISION WITH CONCRETE STRUCTURE 88 DATUM. BENCHMARK COORDINATES X = 111712.9200 Y = 16657032.6375
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THIS SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 AS PER HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPANCY AN EASEMENT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING, MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.



RIGHT OF WAY EXCLUSIVE EASEMENT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THE PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER, AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS, AND ASSIGNS, A PERPETUAL, EXCLUSIVE EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL, AND THEREAFTER USE, OPERATE, INSPECT, REPAIR MAINTAIN, REPLACE, AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF ingress AND egress OVER GRANATOR'S ADJACENT LANDS OF THE PURPOSE FOR WHICH THE ABOVE MENTIONED RIGHTS ARE GRANTED, THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREBY GRANTED EXCEPT THAT WHEN THE PIPELINE(S) IS/ARE INSTALLED, THE EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

IN THE EVENT THE EXCLUSIVE EASEMENT HEREBY GRANTED ADJUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREAFTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANATOR FURTHER GRANTS TO GRANTEE AN ADDITIONAL EXCLUSIVE EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATE SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANATOR BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN, THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS, THE GRANATOR COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS EXCEPT THE FOLLOWING:

THE EXCLUSIVE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE THIS EXCLUSIVE EASEMENT IS SUBJECT TO THE PROVISIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANATOR HAS EXECUTED THIS INSTRUMENT THIS _____ DAY OF _____, 20____.

KRYS WEYAND, PRESIDENT
SANTA CRUZ PROPERTIES LTD
2810 N. CLOISNER BLVD.
EDINBURG, TEXAS 78541

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

GRASOL DEVELOPMENT LLC AS OWNER(S) OF THE 20.00 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED VISTA BONITA SUBDIVISION NO. 16, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.023 AND SECTION 134-61 (e)(5) OF THE SUBDIVISION ORDINANCE, THAT

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;

(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;

(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS; AND

(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS.

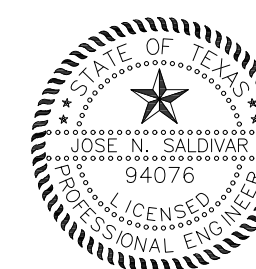
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

KRYS WEYAND, PRESIDENT
SANTA CRUZ PROPERTIES LTD
2810 N. CLOISNER BLVD.
EDINBURG, TEXAS 78541

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



Preliminary

JOSE N. SALDIVAR, P.E., C.F.M.
LICENSED PROFESSIONAL ENGINEER NO. 94076
52 ENGINEERING, PLLC.
2020 E. GRIFFIN PKWY
MISSION, TEXAS 78574

STATE OF TEXAS
COUNTY OF HIDALGO

I, RESTITUTO A. ASCANO III, A REGISTERED PROFESSIONAL LAND SURVEYOR IN TEXAS, HEREBY CERTIFY THAT THE ABOVE PLAT AND DESCRIPTION OF THE VISTA BONITA SUBDIVISION NO. 16 WAS PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON _____.



Preliminary

RESTITUTO A. ASCANO III, R.P.L.S.
R.P.L.S. No. 6225
52 ENGINEERING, PLLC.
2020 E. GRIFFIN PKWY
MISSION, TEXAS 78574

STATE OF TEXAS
CITY OF EDINBURG
PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG HEREBY CERTIFY THIS VISTA BONITA SUBDIVISION NO. 16 PLAT WHICH CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS _____ DAY OF _____, 2023

CHAIRMAN OF PLANNING AND ZONING COMMISSION

STATE OF TEXAS
CITY OF EDINBURG
MAYOR APPROVAL

I, THE UNDERSIGNED MAYOR OF THE CITY OF EDINBURG HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF EDINBURG

CITY SECRETARY

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESN, P.E., C.F.M.
GENERAL MANAGER

APPROVED BY IRRIGATION DISTRICT #15

THIS PLAT IS HEREBY APPROVED BY SANTA CRUZ IRRIGATION DISTRICT NO. 15 ON THIS THE _____ DAY OF _____, 20____.

- NO BUILDING ALLOWED ON TOP OF AN IRRIGATION LINE.
- FIFTEEN FOOT (15') EASEMENT ON EACH SIDE OF IRRIGATION LINE OR CANAL.
- ALL LOTS SUBJECT TO RULES, REGULATIONS, RIGHT-OF-WAY AND EASEMENT OF DISTRICT AND IRRIGATION TO INDIVIDUALS LOTS FROM THE CLOSEST DISTRICT DELIVERY POINT SHALL BE PROVIDED, WITH THE LOT OWNER BEING RESPONSIBLE TO INSTALL SUCH NECESSARY FACILITIES.

BY: _____

JOSE A. HINOJOSA
GENERAL MANAGER

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028(e)
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF THE VISTA BONITA SUBDIVISION NO. 16, WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____.

Hidalgo County Judge _____ date _____

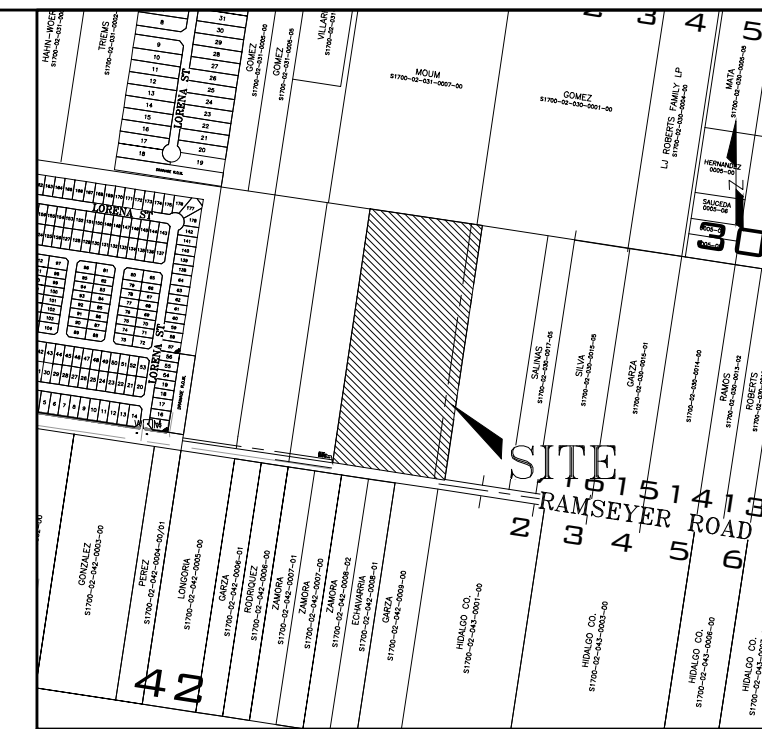
ATTEST:
Hidalgo County Clerk _____ date _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared KRYS WEYAND, proved to me through her Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 2023.

NOTARY PUBLIC - STATE OF TEXAS



LOCATION MAP SCALE = 1"=1000'

LOCATION OF SUBDIVISION WITH RESPECT TO THE HIDALGO COUNTY AREA
VISTA BONITA SUBDIVISION NO. 16 IS LOCATED NORTH HIDALGO COUNTY TEXAS, ON THE NORTH SIDE OF RAMSEYER RD AND APPROXIMATELY 2,300 FT EAST OF CESAR CHAVEZ RD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG (POPULATION 102,483 - 2021 CENSUS) AND HIDALGO COUNTY. THIS SUBDIVISION LIES WITHIN THE CITY'S 2.5 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) HIDALGO COUNTY, TEXAS UNDER LOCAL GOVERNMENT CODE 42.02 PRECINCT NO. 4.

LEGEND

- 1/2" IRON PIN W/CAP FOUND
- 1/2" IRON PIN FOUND
- 1/2" IRON PIN W/CAP SET
- 1/2" IRON PIN SET

CURVE	DELTA	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
"c1"	39.26	50.00'	34.26'	33.59'	S31°59'15"E
"c2"	57.24	50.00'	49.99'	33.59'	S16°16'13"W
"c3"	57.22	50.00'	50.00'	48.95'	S73°35'56"W
"c4"	56.15	50.00'	49.00'	47.06'	N49°41'30"W
"c5"	56.15	50.00'	49.00'	47.06'	S66°27'30"W
"c6"	57.34	50.00'	50.00'	47.94'	N56°48'22"W
"c7"	57.30	50.00'	50.00'	33.59'	N07°28'27"E
"c8"	39.26	50.00'	34.26'	33.59'	N48°45'15"E

LINE	BEARING	DISTANCE
L1	N53°23'0"E	35.36'
L2	N36°37'0"W	35.36'
L3	N53°23'00"W	35.36'
L4	S36°37'0"E	35.36'
L5	N53°23'0"E	21.21'
L6	S36°37'0"E	21.21'

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

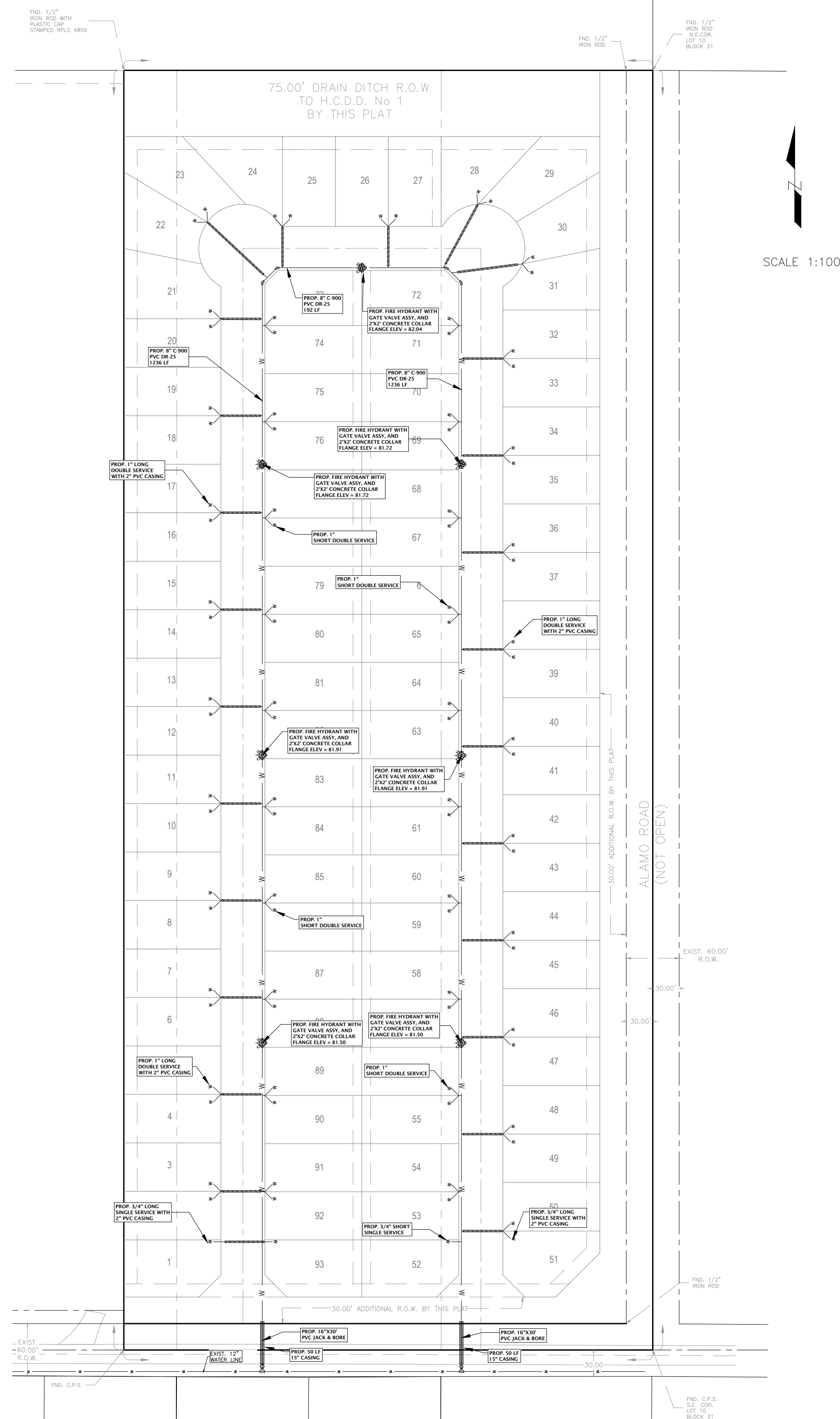
ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone
OWNER: SANTA CRUZ PROPERTIES LTD	2810 N. CLOISNER BLVD.	EDINBURG, TEXAS 78541	(956)383-0868
ENGINEER: JOSE N. SALDIVAR P.E., C.F.M.	2020 E. GRIFFIN PKWY	MISSION, TEXAS 78574	(956)403-9787
SURVEYOR: RESTITUTO A. ASCANO III, R.P.L.S.	2020 E. GRIFFIN PKWY	MISSION, TEXAS 78574	(956)357-2185



WATER DISTRIBUTION:



SUBDIVIDER CERTIFICATION

1.- BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDERS WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

1.- I (WE), SANTA CRUZ PROPERTIES LTD, SUBDIVIDERS OF VISTA BONITA SUBDIVISION NO. 16 HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

KRYS WEYNAD, PRESIDENT
SANTA CRUZ PROPERTIES LTD
2810 N. CLOSER BLVD.
EDINBURG, TEXAS 78541

DATE

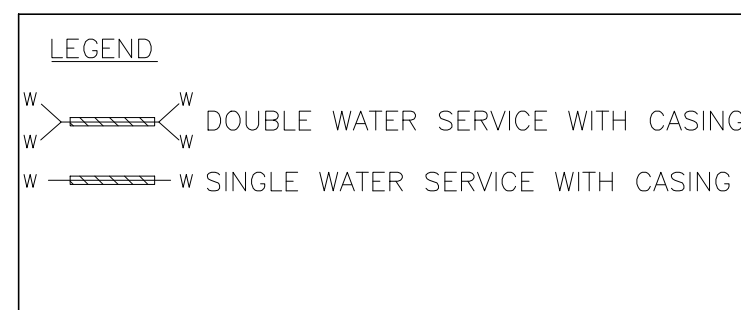
BEFORE ME, the undersigned notary public, on this day personally appeared KRYS WEYNAD, proved to me through her Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, de-clared that the statements therein are true and correct and acknowledged that she executed the same for the purposed and consideration thereby expressed.

Given under my hand and seal of office this _____ day of _____, 2023.

NOTARY PUBLIC- STATE OF TEXAS

GENERAL CONSTRUCTION NOTES:

- ALL PROPOSED WATER LINES TO BE C-900 DR-25.
- CONTRACTOR TO INSTALL 3/4" SERVICE CONNECTIONS TO EVERY LOT BRANCHING ALL SERVICES/METERS TO BE LOCATED IN FRONT OF LOTS APPROXIMATELY 2.0 FOOT FROM LOT LINE. CONTRACTOR TO UTILIZE SINGLE & DOUBLE SERVICE CONNECTIONS AS NEEDED.
- CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES FOR VERIFICATION OF CONFLICTS PRIOR TO CONSTRUCTION ON SITE.
- SEE WATER DETAIL SHEET FOR MORE INFORMATION.
- ALL LOTS SHALL BE PROVIDED WITH SERVICE STUBOUTS AND SAID SEVICE LOCATIONS SHALL BE MARKED ON THE CURB AND GUTTER WITH A "W" NOT LESS THAN 1 1/2" IN SIZE OR IN A MANNER APPROVED BY THE CITY AND SHALL BE 12" BELOW FINISH GRADE ELEVATION.
- ALL HYDRANTS SHALL BE 18" BEHIND BACK OF CURB AND 3" ABOVE PROPOSED MAXIMUM GROUND ELEVATION.



COST ESTIMATE

WATER DISTRIBUTION: _____
 OSSF IMPROVEMENTS: _____
 DRAINAGE IMPROVEMENTS: _____
 PAVING IMPROVEMENTS: _____
 TOTAL: _____

FINAL ENGINEERING REPORT FOR VISTA BONITA SUBDIVISION NO. 16:
 BY JOSE N. SALDIVAR, P.E.

WATER SUPPLY: Description and Costs.

WATER SUPPLY:
 VISTA BONITA SUBDIVISION NO. 16 HAS BEEN PROVIDED WITH POTABLE WATER BY THE WATER COMPANY OF NORTH ALAMO WATER SUPPLY CO. (NAWSC). THE SUBDIVIDER AND COMPANY NAWSC SIGNED A CONTRACT BY WHICH, THE SUBDIVISION WILL RECEIVE SUFFICIENT WATER PROVISION FOR AT LEAST 30 YEARS AND NAWSC HAS PROVIDED SUFFICIENT DOCUMENTATION TO ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

NAWSC HAS AN EXISTING 12" DIAMETER LINE RUNNING ALONG THE SOUTH R.O.W. OF RAMSEYER RD.

THE WATER SYSTEM FOR VISTA BONITA SUBDIVISION NO. 16 CONSISTS OF CONNECTING TO THE EXISTING 12" LINE ON THE SOUTH SIDE OF RAMSEYER RD WITH AN 8" LINE TO THE NORTH DIRECTION INTO SUBDIVISION AND WILL EVENTUALLY CONNECT AGAIN TO THE PREVIOUS MENTIONED 12" LINE AS SHOWN IN PLAT. EACH LOT WILL BE CONNECTED TO THE PROPOSED 8" WATER LINE, FORTY-FOUR (44) DOUBLE SERVICES OF 1" OF DIAMETER AND FIVE (5) SINGLE SERVICES OF 3/4" OF DIAMETER, ARE COMING OUT OF THIS LINE. SAID SERVICES TERMINATE AT THE WATER METERS OF EACH LOT. THE 8" DIAMETER LINE, THE WATER SERVICE LINES, AND THE WATER METER BOXES HAS BEEN INSTALLED AT A TOTAL COST OF \$_____ OR \$_____ PER LOT. IN ADDITION THE SUBDIVIDER HAS PAID PAY NAWSC THE AMOUNT OF \$_____ WHICH COVERS THE \$_____ COST PER LOT STATED IN THE 30 YR WATER SERVICE AGREEMENT, WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO NAWSC UPON REQUEST BY THE LOT OWNER, NAWSC WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY NAWSC AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

CERTIFICATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL THE CONSTRUCTED WATER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES- THESE FACILITIES WILL BE CONSTRUCTED, WITH THE INSTALLATION OF WATER METER BOXES, HAVE COST A GRAND TOTAL OF \$_____ WHICH EQUALS TO \$_____ PER LOT.



This seal appearing on this document was authorized by Jose N. Saldivar, P.E. No. 94076 on the above designated date.

PRELIMINARY

JOSE N. SALDIVAR, P.E. No. 94076

VISTA BONITA SUBDIVISION NO. 16
 POR: JOSE N. SALDIVAR, P.E.

PROVISIÓN DE AGUA: DESCRIPCIÓN, Y GASTOS.

VISTA BONITA SUBDIVISION NO. 16 HA SIDO PROVEIDA DE AGUA POTABLE POR LA COMPAÑIA DE NORTH ALAMO WATER SUPPLY CO (NAWSC). EL SUBDIVIDOR Y LA COMPAÑIA DE AGUA, NAWSC FIRMARON UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRÁ PROVISIÓN DE AGUA SUFICIENTE POR LOS PRÓXIMOS 30 AÑOS Y LA COMPAÑIA DE NAWSC PRESENTO SUFICIENTE DOCUMENTACIÓN PARA ESTABLECER A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ABASTECIDA PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISIÓN.

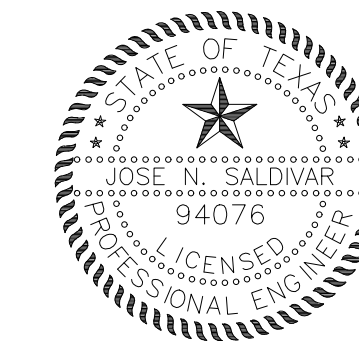
NAWSC TIENE UNA LINEA DE 12" DE DIÁMETRO EXISTENTE, CORRIENDO POR EL LADO SUR DE LA CALLE RAMSEYER ROAD.

EL SISTEMA DE AGUA PARA LA SUBDIVISION VISTA BONITA SUBDIVISION NO. 16 CONSISTE DE CONECTARSE A LA LINEA EXISTENTE AL SUR DE LA CALLE RAMSEYER CON UNA LINEA DE 8" EN DIRECCION NORTE HACIA LA SUBDIVISION, PARA POSTERIORMENTE CONECTARSE NUEVAMENTE A LA LINEA DE 12" PREVIAMENTE MENCIONADA, DE LA LINEA DE 8" DE DIÁMETRO SE DESPRENDEN CUARENTA Y CUATRO (44) SERVICIOS DOBLES DE 1" DE CINCO (5) SERVICIOS INDIVIDUALES DE 3/4" QUE VAN HACIA LOS MEDIDORES DE CADA LOTE. LAS LINEAS DE 8" DE DIÁMETRO, LAS LINEAS DE SERVICIOS DE AGUA, Y LAS CAJAS DE LOS MEDIDORES SE INSTALARON A UN COSTO TOTAL DE US \$_____ DE LOS CUALES SE CUBRIÓ US \$_____ POR LOTE. EL DUEÑO DE LA SUBDIVISION PAGO ADICIONALMENTE A NAWSC LA CANTIDAD DE US \$_____ O US \$_____ POR LOTE DE ACUERDO AL CONTRATO Y DOCUMENTO DE 30 AÑOS DE SERVICIO DE AGUA POTABLE QUE CUBRE EL MEDIDOR DE AGUA. (INCLUYENDO COSTOS DE LA INSTALACIÓN DE CADA MEDIDOR, TARIFFAS DE CONEXIÓN Y MEMBERSIAS). CUANDO EL DUEÑO DEL SOLAR SOLICITE UN MEDIDOR DE AGUA, LA COMPAÑIA NAWSC INSTALARA EL MEDIDOR SIN COSTO ALGUNO AL DUEÑO. EL SISTEMA DE AGUA ESTA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

CERTIFICACION

CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA, DESCritos EN ESTE DOCUMENTO, CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA SON:

AGUA: EL SISTEMA/SERVICIO DE AGUA ESTA TOTALMENTE CONSTRUIDO, CON LA INSTALACION DE LOS MEDIDORES DE AGUA, EL GRAN COSTO TOTAL ES DE US\$_____ LO CUAL EQUIVALE A US\$_____ POR LOTE.



This seal appearing on this document was authorized by Jose N. Saldivar, P.E. No. 94076 on the above designated date.

PRELIMINARY

JOSE N. SALDIVAR, P.E. No. 94076



PRELIMINARY

VISTA BONITA SUBDIVISION NO. 16 WATER PLAN

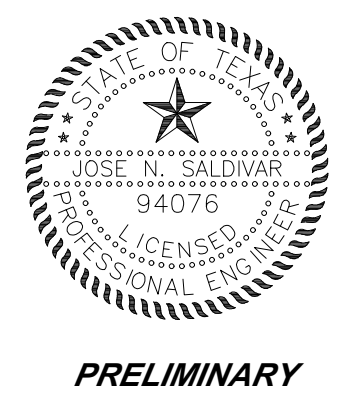
S2 ENGINEERING PLLC
 CIVIL ENGINEERING & LAND SURVEYING
 TBP# F-22866 TEL# 10154796



SHEET NO. 2
 OF SHEETS

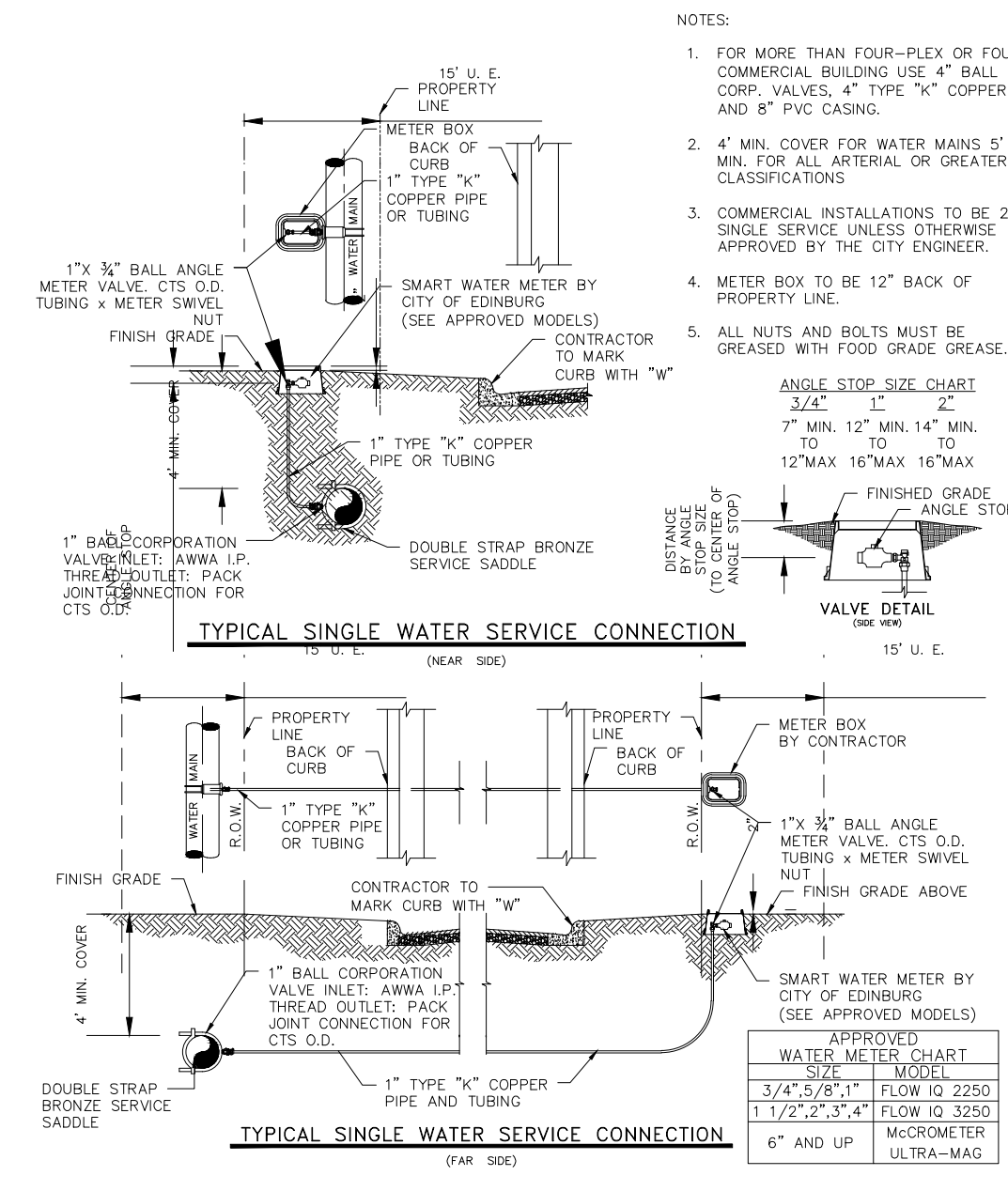
WATER DETAILS:

VISTA BONITA SUBDIVISION NO.16

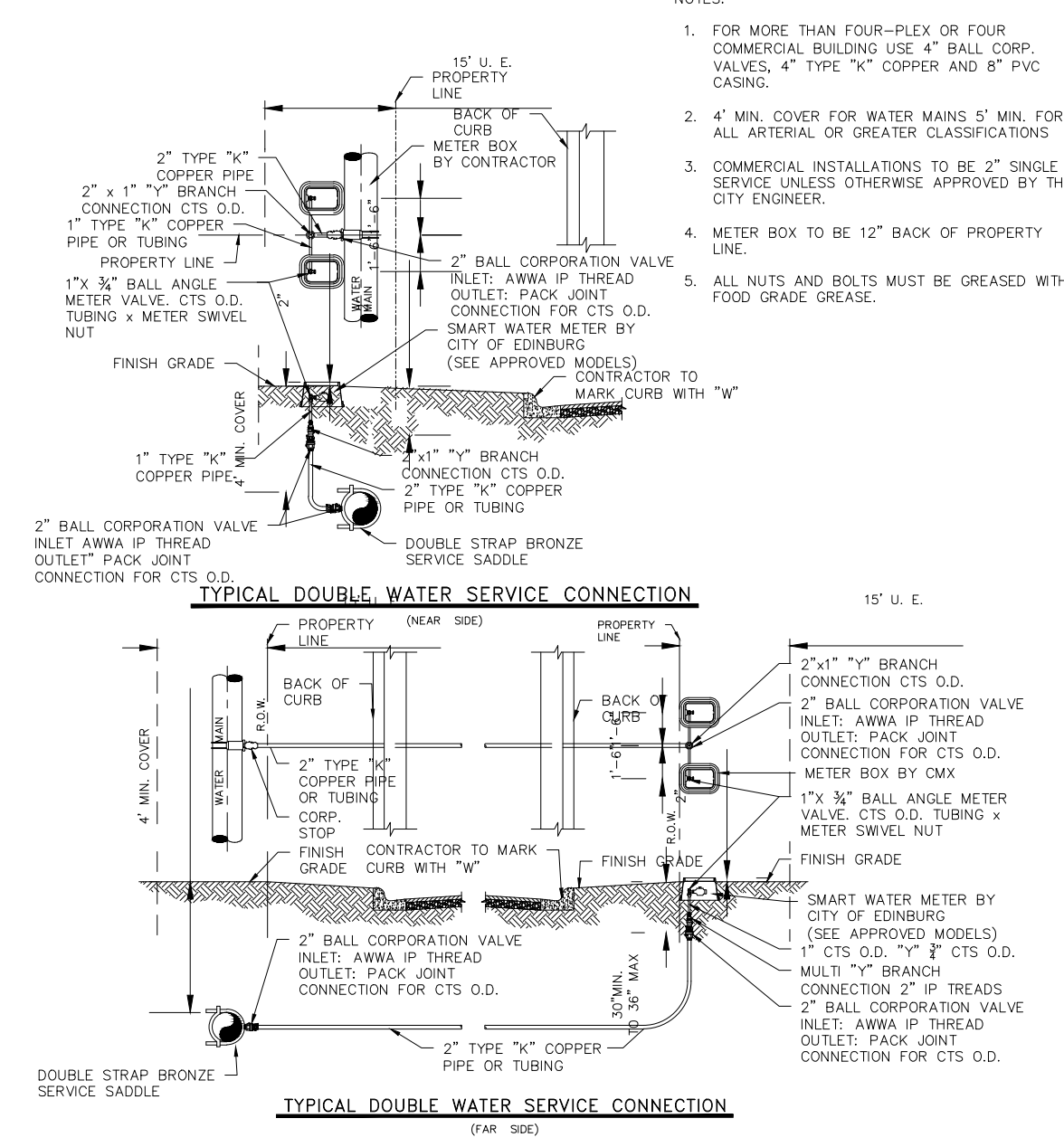


PRELIMINARY

VISTA BONITA SUBDIVISION NO. 16 WATER STANDARD DETAILS



W-1 SINGLE WATER SERVICE CONNECTION



W-2 DOUBLE WATER SERVICE CONNECTION

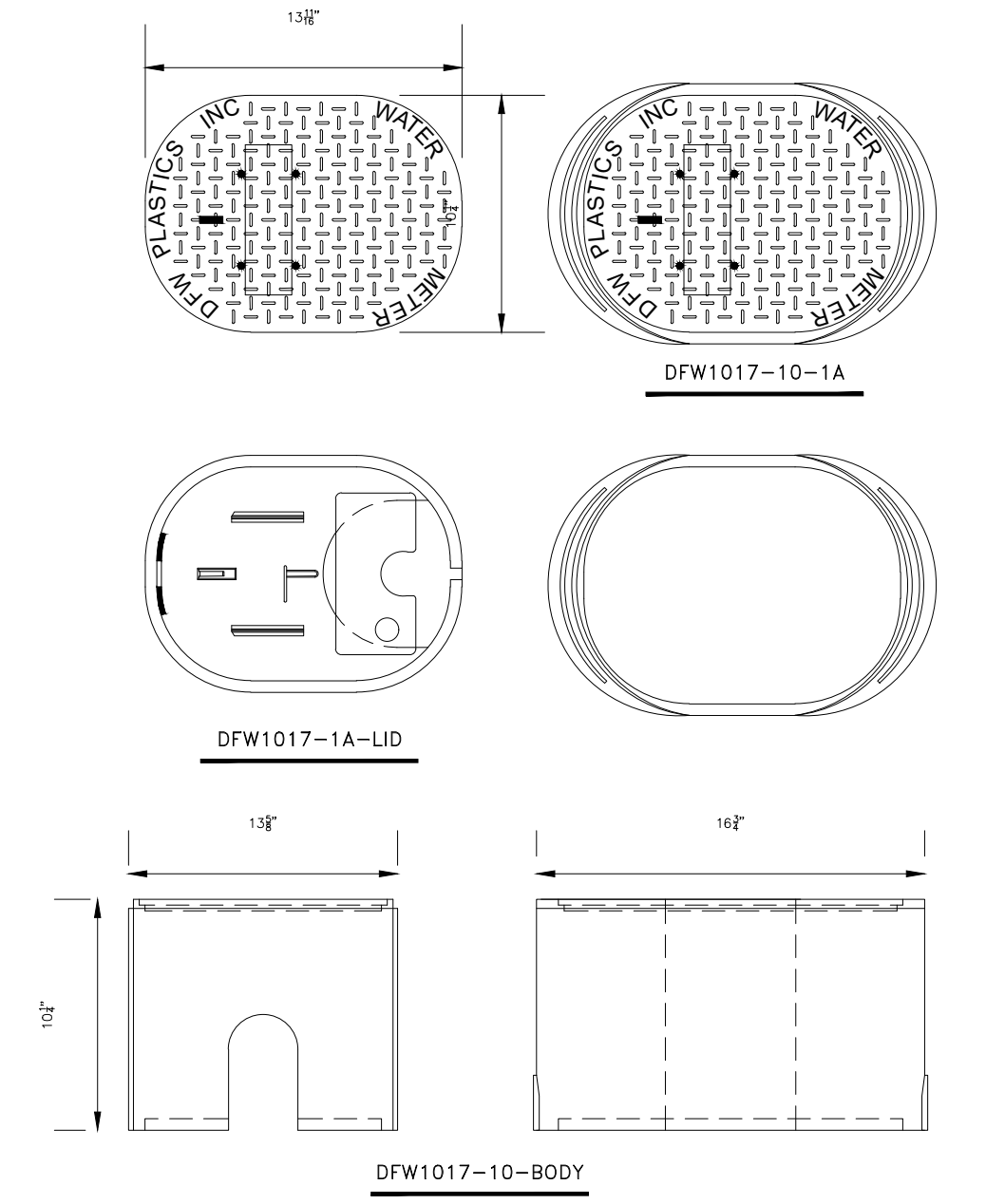
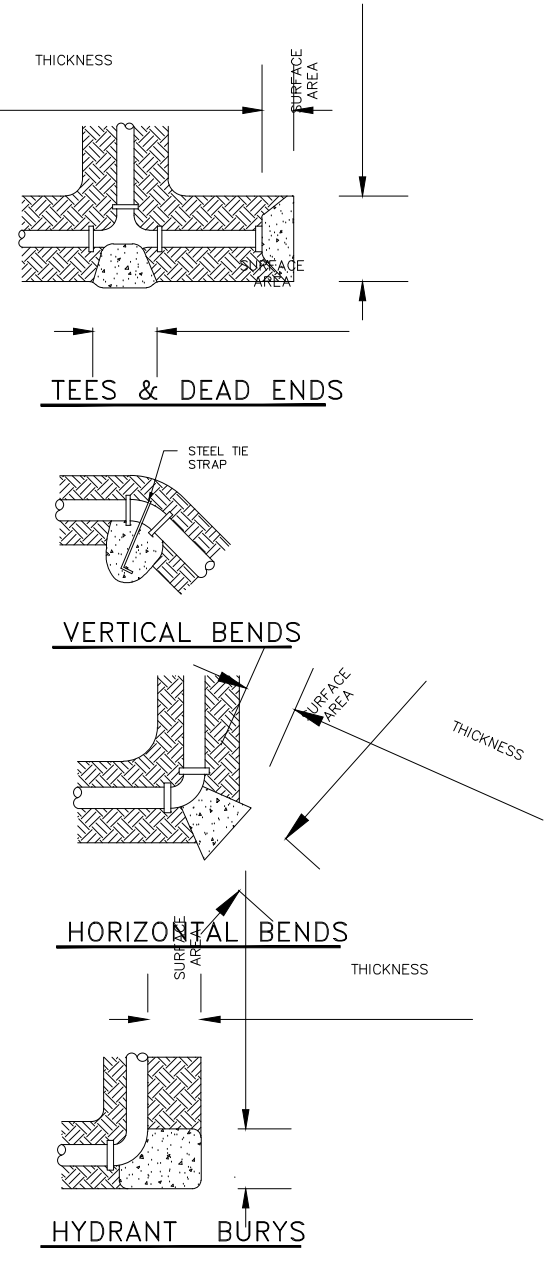
THRUST BLOCK SIZE

DIAMETER OF PIPE IN INCHES	HORIZONTAL BENDS		WEIGHT AT VERTICAL BENDS-LBS.
	SURFACE AREA SQ. FT.	THICKNESS IN INCHES	
22-1/2" BENDS			
6 OR LESS	2	8	1,700
8	3	12	3,000
10	3.5	12	4,500
12	4	14	6,800
14	5	18	9,000
16	6	18	11,800
45° BEND			
6 OR LESS	4	12	3,200
8	5	14	5,800
10	6	18	9,000
12	7	18	13,000
14	8	24	17,000
16	11.5	24	23,200
90° BEND			
6 OR LESS	6	12	6,000
8	8	15	10,700
10	10	18	16,700
12	12	18	24,000
14	16	24	32,600
16	21	24	42,700
TEES & DEAD ENDS			
6 OR LESS	3	12	---
8	4	15	---
10	6	18	---
12	8.5	18	---
14	11.5	24	---
16	15	24	---

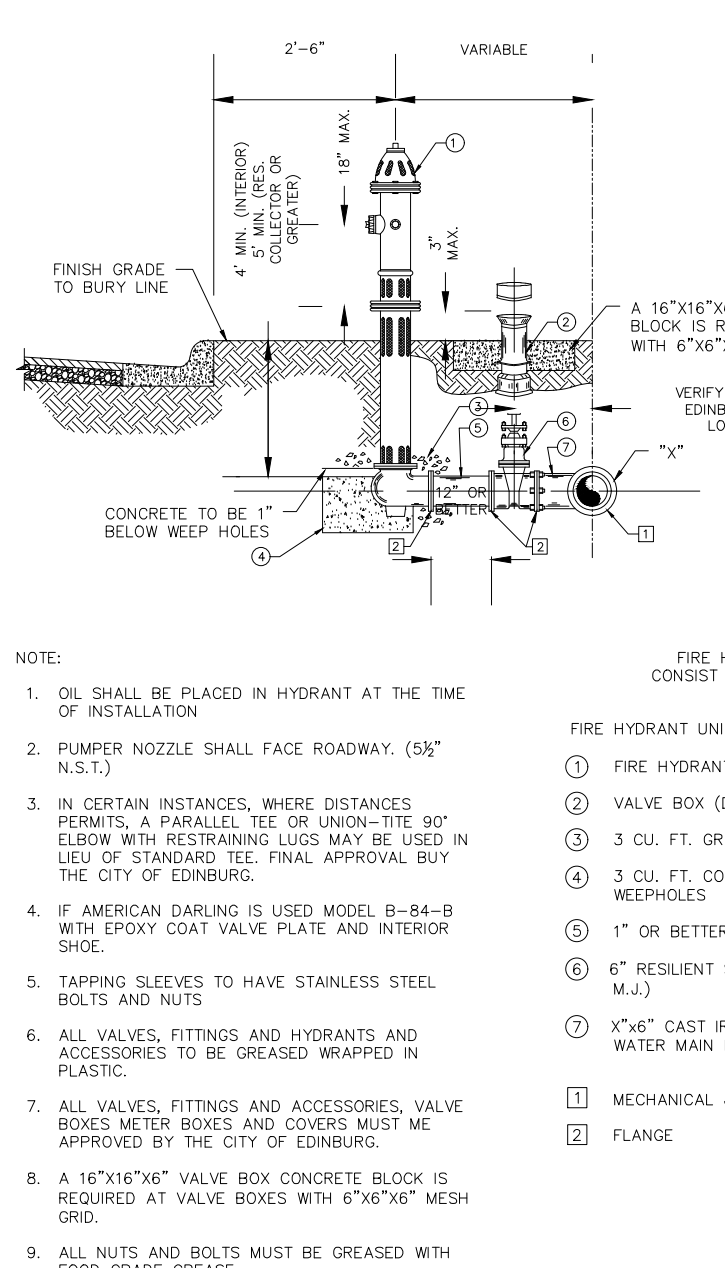
NOTE: ALL VALUES SHOWN ARE MIN. FOR A HYDROSTATIC PRESSURE OF 150 PSI AND A SOIL RESISTANCE OF 2,000 LBS PER SQ. FT. WITH PEELING HAVING A MIN. OF 3 FT. OF COVER WITH CURB AND GUTTER AND A 5 FT. MIN. WITHOUT CURB AND GUTTER.

NOTE: SEE THRUST BLOCK SIZE CHART FOR PROPER THICKNESS AND SURFACE AREAS.

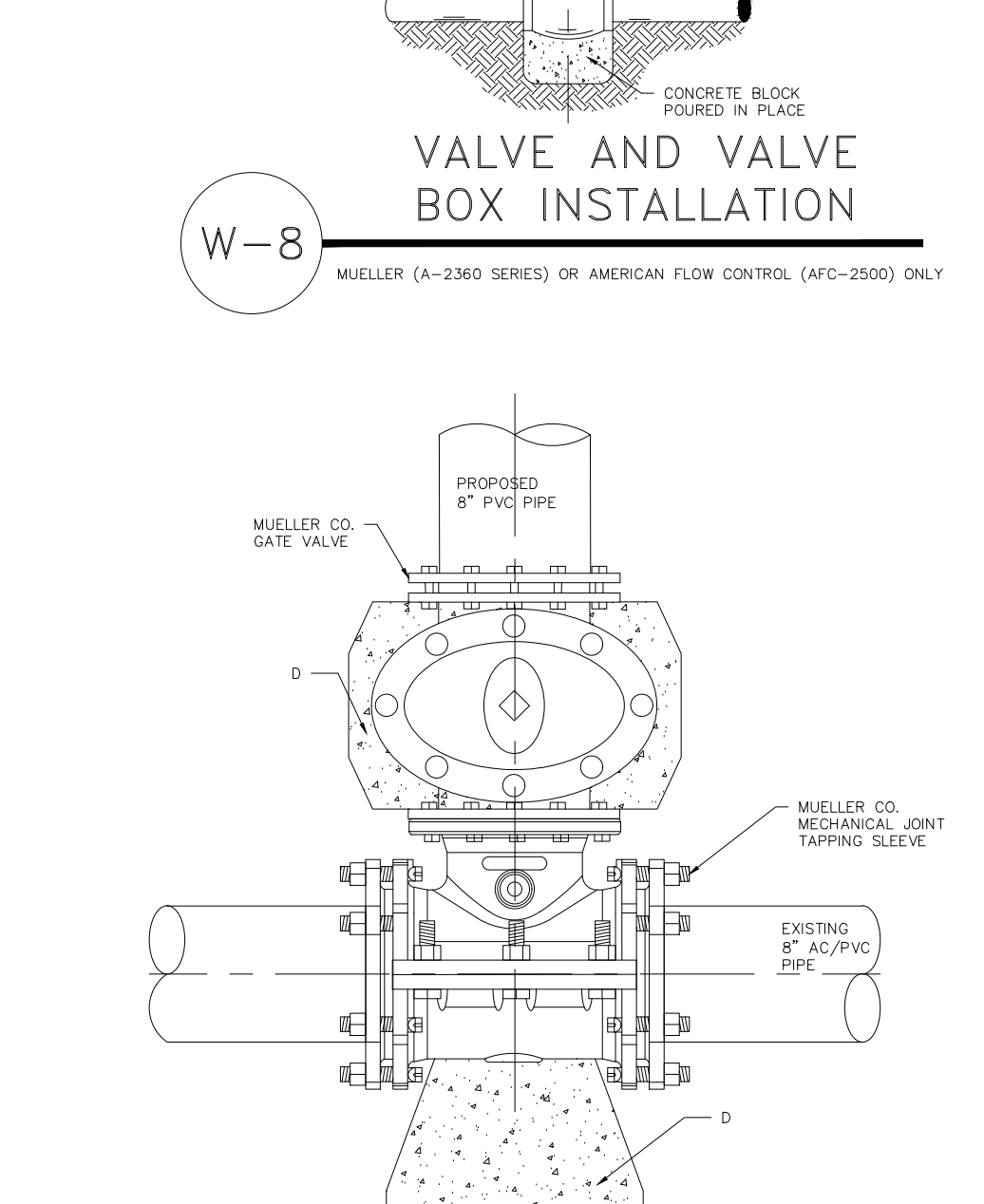
W-5 THRUST BLOCKS



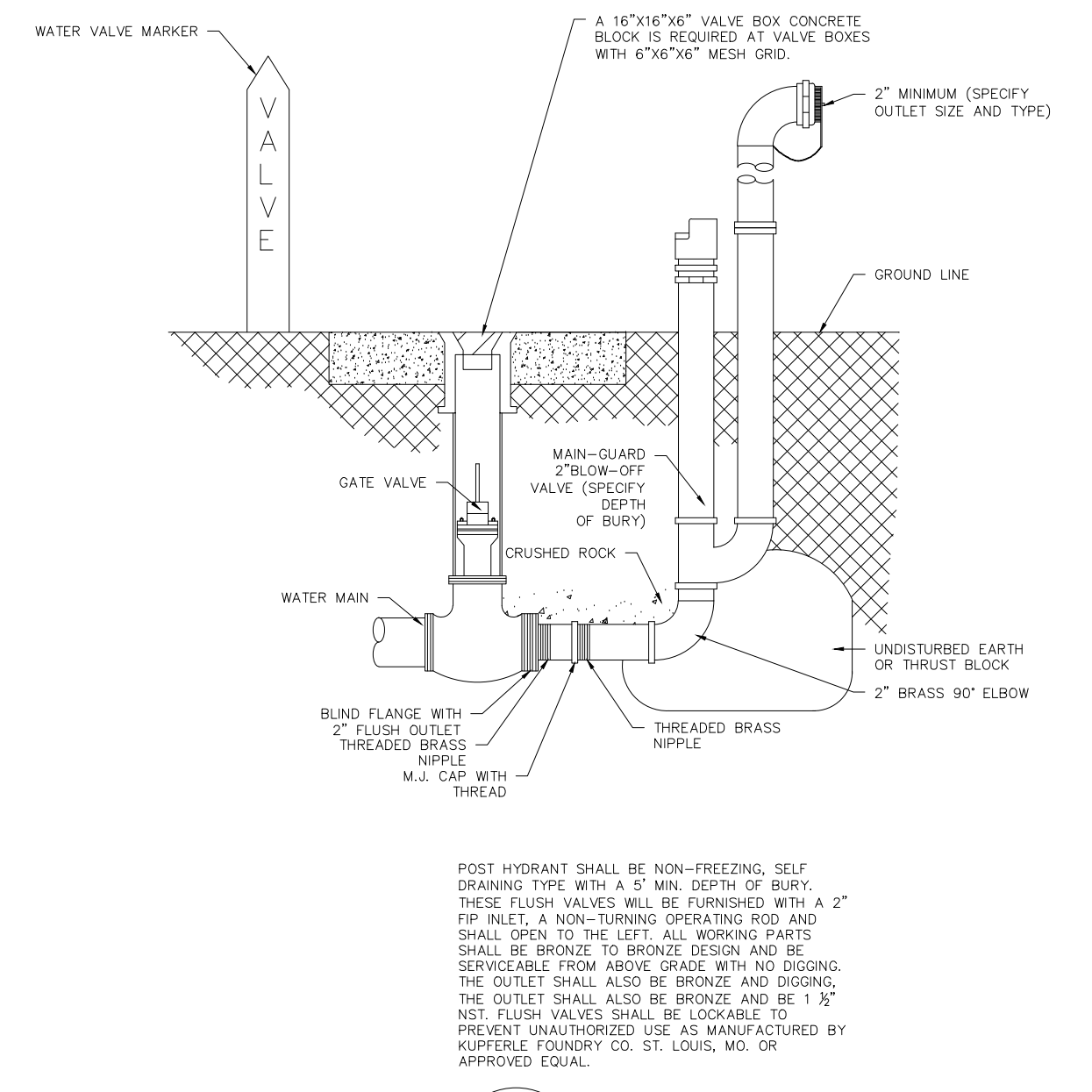
W-12 RESIDENTIAL OVAL PLASTIC METER COVER



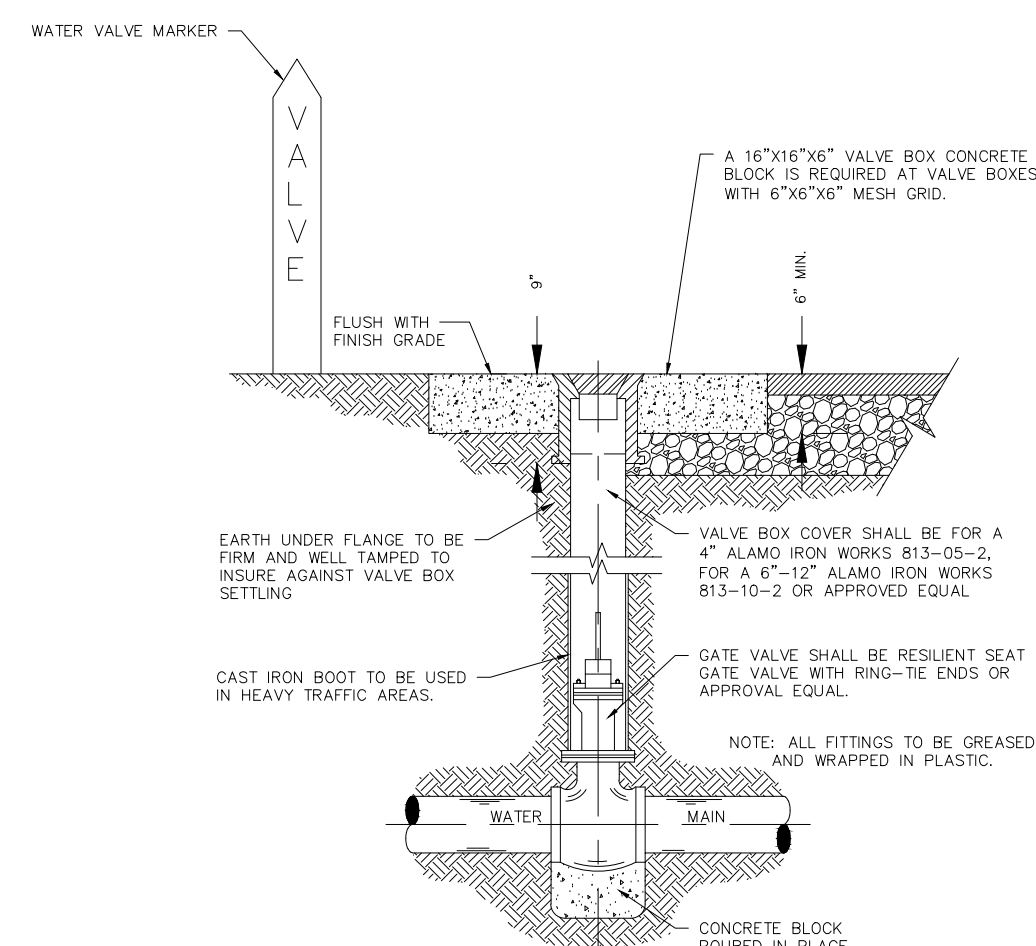
W-7 FIRE HYDRANT INSTALLATION



W-14 SAME SIZE WATER TAPPING SLEEVE AND VALVE INSTALLATION

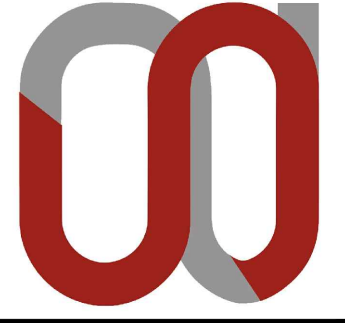


W-10 FLUSH VALVE



W-8 VALVE AND VALVE BOX INSTALLATION

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CIVIL ENGINEERING & LAND SURVEYING
TDR# F-22869 TDL# 10194796





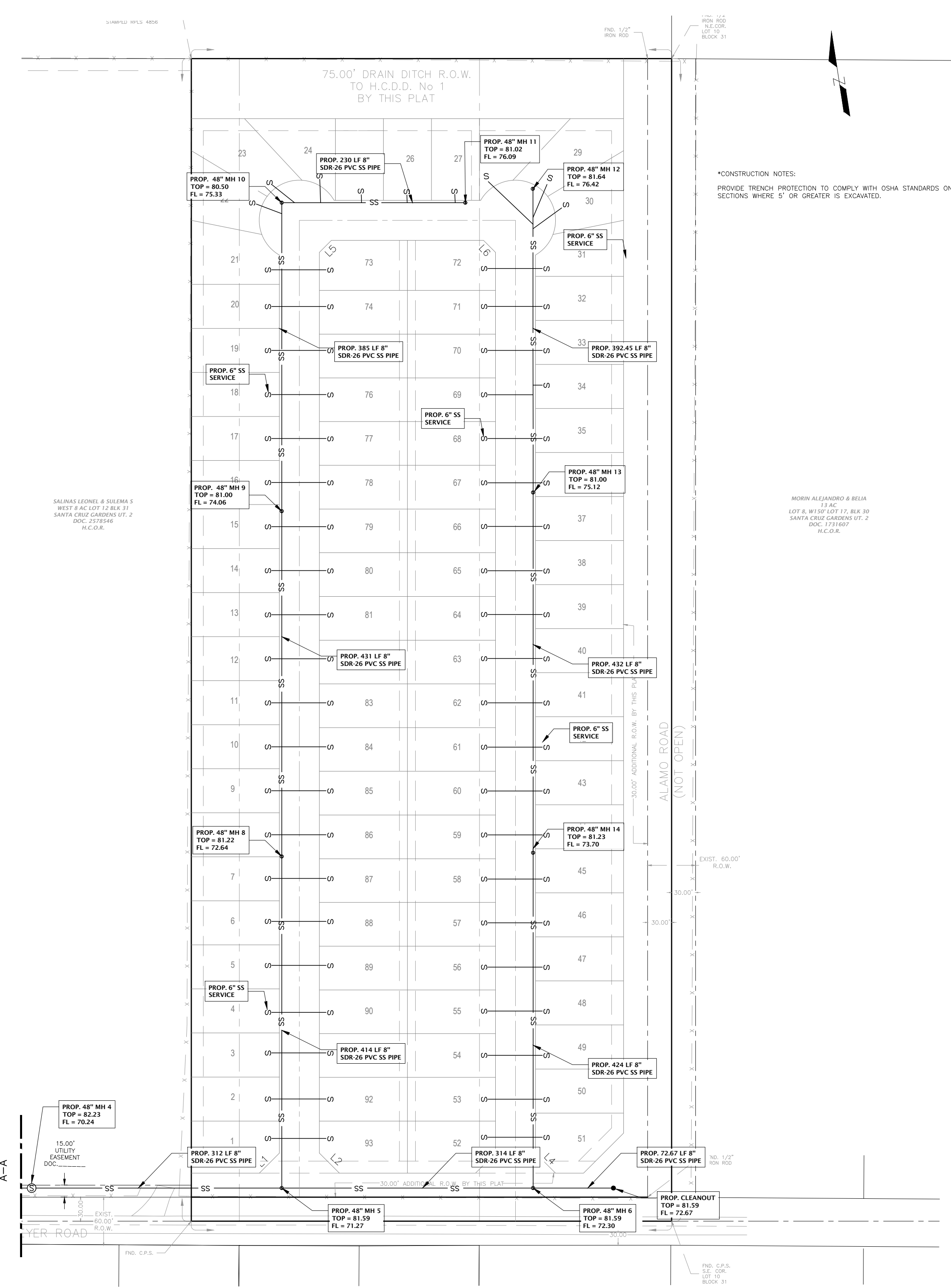
PRELIMINARY

VISTA BONITA SUBDIVISION NO. 16
SANITARY SEWER LAYOUT

S2 ENGINEERING, PLLC
CIVIL ENGINEERING & LAND SURVEYING
11816 E. 238th St. Houston, TX 77058
TEL: 281.947.786



SHEET NO. 4
OF SHEETS



VISTA BONITA No. 16 SUBDIVISION
BY JOSE N. SALDIVAR, P.E.
SEWER SUPPLY, Description and Costs.

SANITARY SEWER DESCRIPTION AND EXPENSES:
VISTA BONITA SUBDIVISION NO. 16 HAS BEEN TREATED BY WASTEWATER SERVICE FROM THE CITY OF EDINBURG.

THE SANITARY SEWER SYSTEM OF VISTA BONITA SUBDIVISION NO. 16 CONSISTS OF A PROPOSED 8" DIAMETER SEWER LINE THAT TAPS INTO THE EXISTING SANITARY SEWER SYSTEM LOCATED ON THE NORTH EAST OF THE CESAR CHAVEZ RD AND RAMSEYER RD INTERSECTION. SAID PROPOSED SEWER SYSTEM WILL RUN THROUGH THE NORTH SIDE OF RAMSEYER ROAD ROW AND PROPOSED UTILITY EASEMENTS ON A WESTERLY DIRECTION. THE SYSTEM WILL RUN THROUGH THE INTERNAL STREET R.O.W. OF THE SUBDIVISION.

SANITARY SERVICES TERMINATE AT EACH LOT FOR A TOTAL OF NINETY THREE (93) SANITARY SEWER SERVICES.

THE 8" SEWER LINE, THE 4" SERVICE LINES, THE 11 SANITARY SEWER MANHOLES, AND 3 CLEANOUTS HAS BEEN INSTALLED, AT A TOTAL COST OF \$ _____ PER LOT. IN ADDITION, THE ENTIRE WASTEWATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY THE CITY OF EDINBURG AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:
BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWER SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.345, WATER CODE, I CERTIFY THAT THE COSTS TO INSTALL WATER AND SEWER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

SEWER FACILITIES - THESE FACILITIES FULLY CONSTRUCTED HAS COST A GRAND TOTAL OF \$ _____ WHICH EQUALS TO \$ _____ PER LOT.



VISTA BONITA SUBDIVISION NO. 16
POR: JOSE N. SALDIVAR, P.E.

DRENAJE: DESCRIPCION, GASTOS Y FECHA DE INICIO PARA FACILITAR EL DRENAJE PARA LA SUBDIVISION
LA SUBDIVISION DE VISTA BONITA NO. 16 RECIBE SU PROVISION DE DRENAJE SANITARIO DE LA CIUDAD DE EDINBURG.

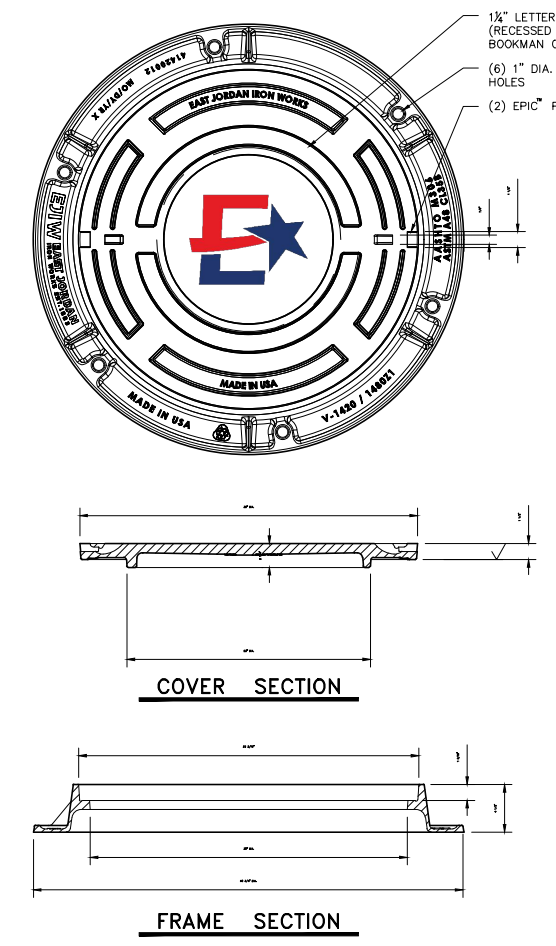
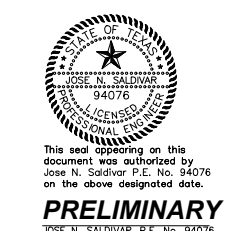
EL DRENAJE SANITARIO DE VISTA BONITA NO. 16 CONSISTE DE UNA LINEA NUEVA DE 8 PULGADAS DE DIAMETRO QUE SE CONECTA A EL MANHOLE EXISTENTE QUE ESTA LOCALIZADO AL NOROESTE DE LA INTERSECCION DE LAS CALLES CESAR CHAVEZ Y RAMSEYER RD. ESTA LINEA CORRERA POR EL LADO NORTE DE LA CALLE RAMSEYER A TRAVES DEL ROW Y A TRAVES DE LOS ACCESOS DE PASOS PARA UTILIDAD, DEL SISTEMA CORRERA TAMBIEN POR LAS CALLES INTERNAS DE LA SUBDIVISION.

LOS SERVICIOS DE DRENAJE SANITARIO TERMINAN EN LOS MEDIDORES DE DRENAJE SANITARIO DE CADA LOTE PARA DAR UN TOTAL DE NOVENTA Y TRES (93) SERVICIOS.

LAS LINEAS DE DRENAJE SANITARIO DE 8 PULGADAS, LOS SERVICIOS DE 4 PULGADAS, Y LOS ONCE (11) POZOS DE VISITA HAN SIDO INSTALADOS, A UN COSTO TOTAL DE US \$ _____ O US \$ _____ POR LOTE. EL SISTEMA DE DRENAJE SANITARIO ESTA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

CERTIFICACION:
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBIERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.345 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS), CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

DRENAJE: SE ESTIMA QUE EL DRENAJE COSTO EN TOTAL US \$ _____ O US \$ _____ POR LOTE.



S-12 MANHOLE COVER

SUBDIVIDER CERTIFICATION
I, _____ BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:
I, _____ (WE), SANTA CRUZ PROPERTIES LTD, SUBDIVIDERS OF VISTA BONITA SUBDIVISION NO. 16 HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

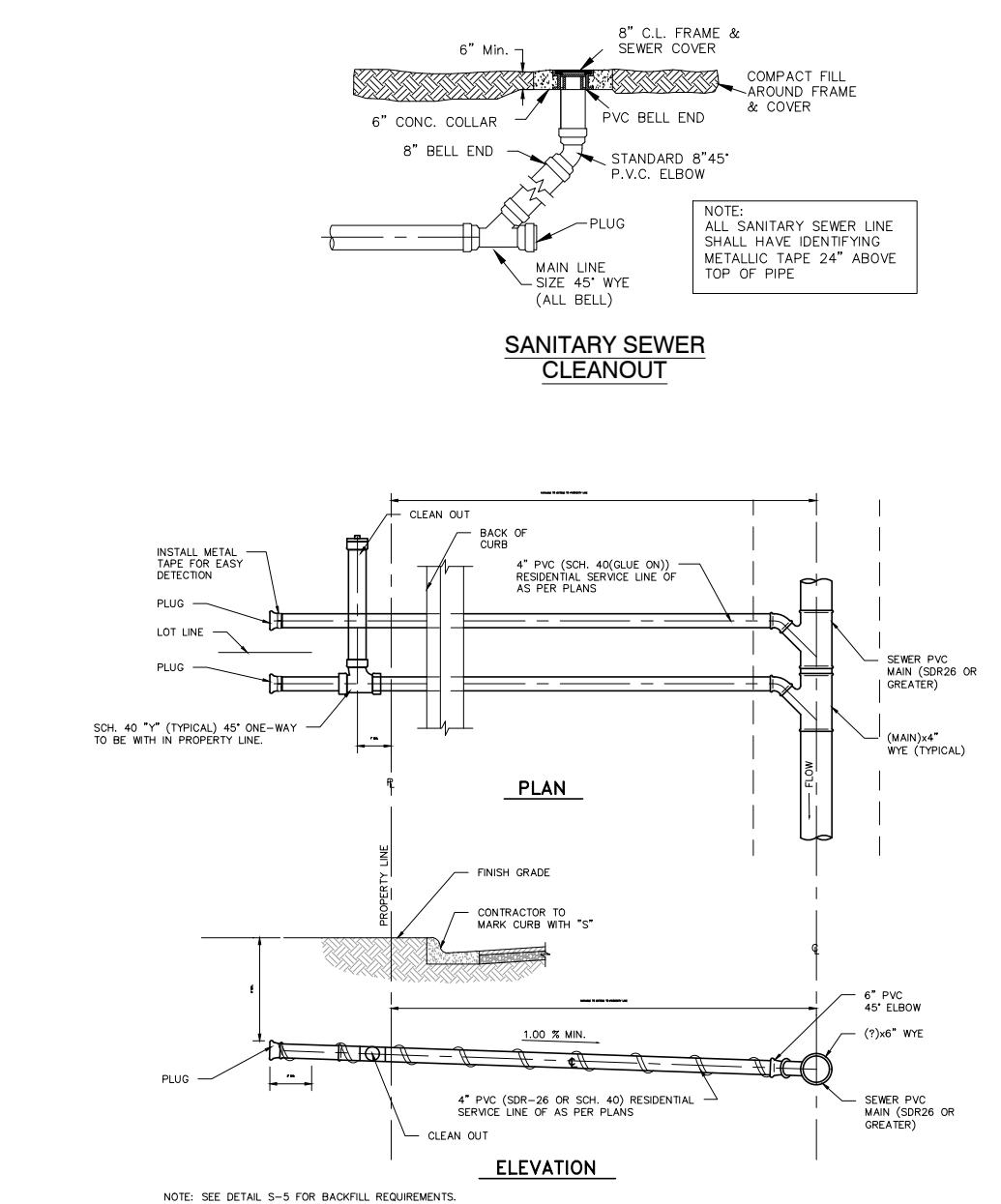
KRYS WEYNAD, PRESIDENT
SANTA CRUZ PROPERTIES LTD
2810 N. CLOISNER BLVD.
EDINBURG, TEXAS 77541

DATE _____

BEFORE ME, the undersigned notary public, on this day personally appeared KRYS WEYNAD, proved to me through her Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this day of _____, 2023.

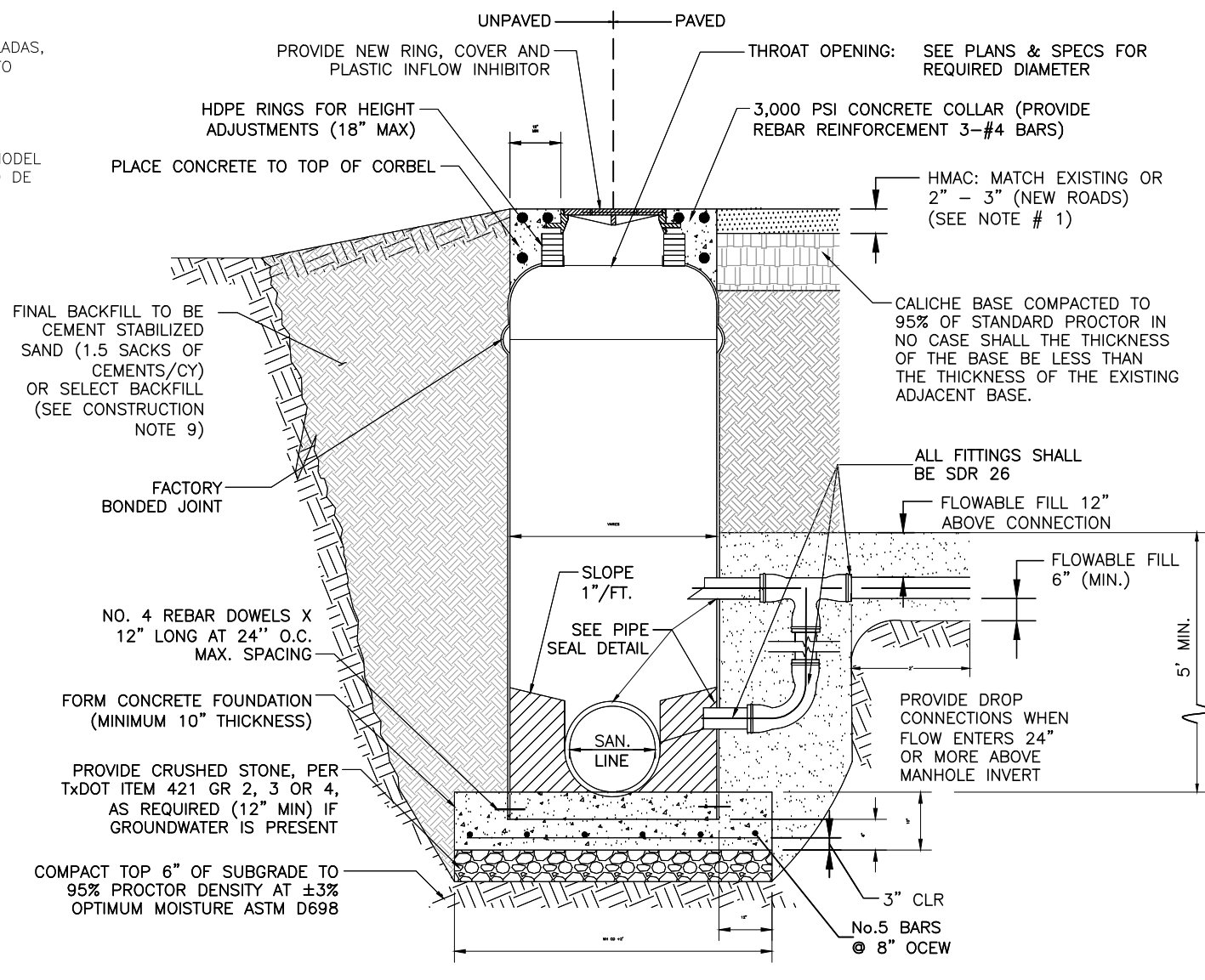
NOTARY PUBLIC - STATE OF TEXAS



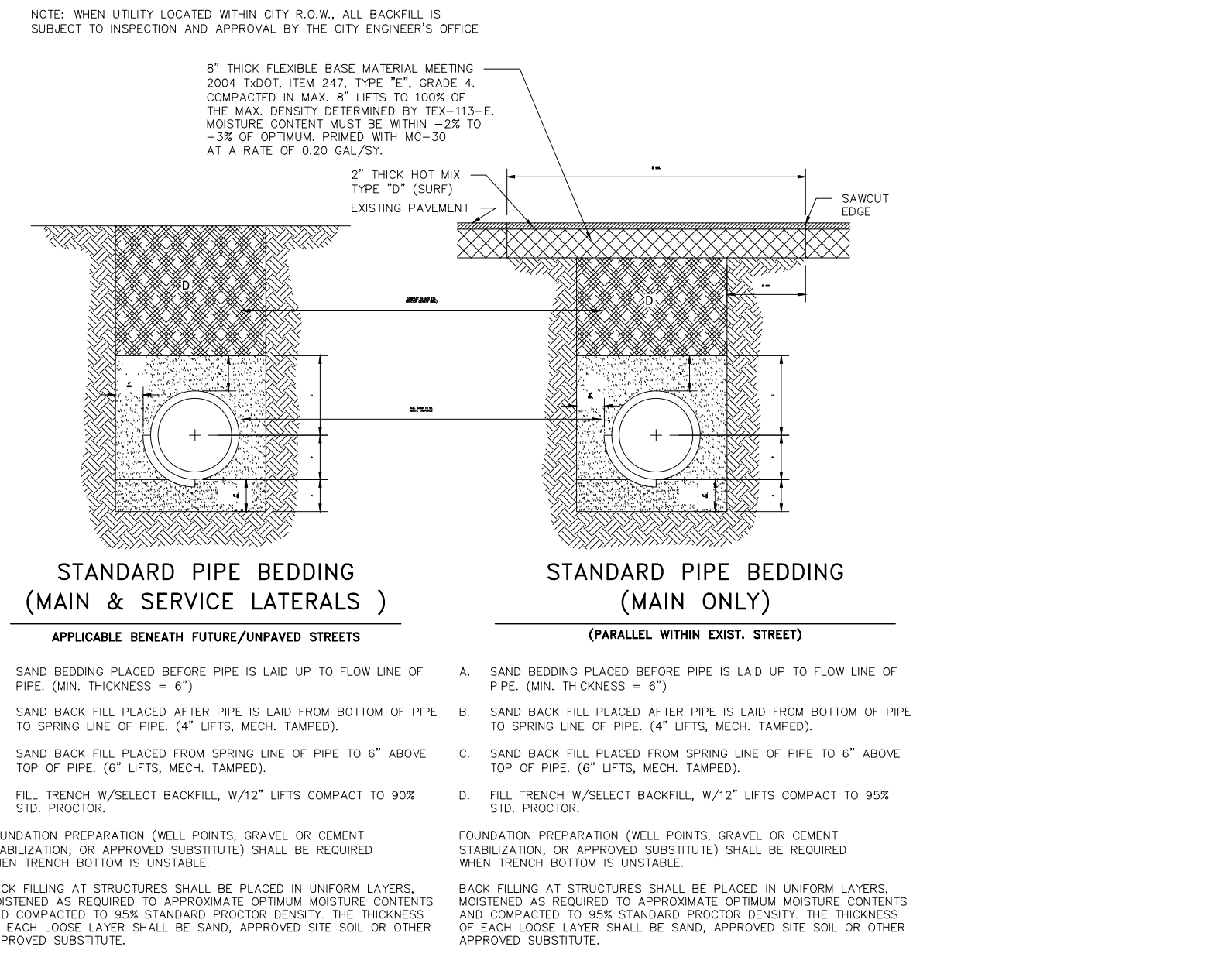
S-1 RESIDENTIAL SEWER SERVICE

GENERAL WASTEWATER CONSTRUCTION NOTES:

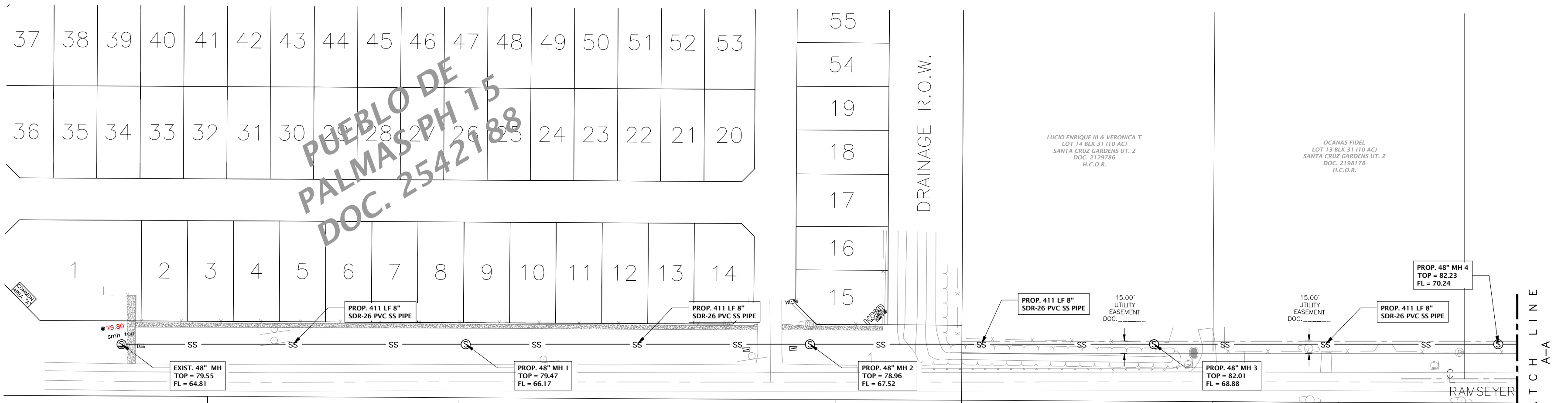
- HMAC: 2" MINOR RESIDENTIAL, RESIDENTIAL AND MULTI-FAMILY COLLECTOR, COLLECTOR, MINOR AND PRINCIPAL ARTERIAL STREETS. HMAC: 3" RURAL ARTERIAL STREETS. IN NO CASE SHALL THE THICKNESS OF THE HMAC BE LESS THAN THE THICKNESS OF THE EXISTING ADJACENT HMAC.
- THE CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND EXAMINE LOCAL CONDITIONS TO BE ENCOUNTERED, IMPROVEMENTS TO BE PROTECTED, AND PERMITS AND FEES TO BE REQUIRED, ALONG WITH OTHER RESEARCH THAT IS NECESSARY TO ENSURE THAT THE CONTRACTOR THOROUGHLY UNDERSTANDS THE PROJECT AND IS FULLY AWARE OF ALL THE CONDITIONS AND CONSTRAINTS THAT MAY BE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL ADHERE TO ALL TCEC REGULATIONS PER 30 TAC CHAPTER 217 AND TRENCH SAFETY FOR EXCAVATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND MUST ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL FIBERGLASS MANHOLES SHALL BE MONOLITHIC WITH 0.50" MINIMUM WALL THICKNESS. FIBERGLASS BOTTOM SHALL BE DESIGNED TO WITHSTAND HYDROSTATIC HEAD PRESSURE UNDER ALL CONDITIONS.
- ALL MANHOLE WALL PENETRATIONS SHALL BE CORED AND SEALED WITH APPROVED TSPMHA WATER STOP GASKET ASSEMBLY.
- THE CONTRACTOR SHALL PROVIDE PROTECTIVE COATING ON ALL EXPOSED CONCRETE SURFACES, INCLUDING CORBELS, AREA, MANHOLE WALLS AND MANHOLE BENCH.
- FOR FIBERGLASS MANHOLES WITH WATERTIGHT BOTTOM, ADHERE TO ALL MANUFACTURER REQUIREMENTS. FIBERGLASS BOTTOM AND BENCH MUST ALSO BE FACTORY INSTALLED.
- CEMENT STABILIZED SAND AND SELECT BACKFILL TO BE COMPACTED IN 12 INCH LIFTS TO 95% STD. PROCTOR.
- ALL DROP CONNECTIONS TO MANHOLE SHALL USE TSPMHA WATER STOP GASKET ASSEMBLY.
- CONCRETE COLLARS WITHIN PAVED AREAS SHALL BE SQUARE.



S-3A MONOLITHIC FIBERGLASS MANHOLE



S-7 SANITARY SEWER STANDARD PIPE BEDDING



PUEBLO DE PALMAS PH 15
DOC. 2542188



PRELIMINARY

PAVING AND DRAINAGE LAYOUT: VISTA BONITA SUBDIVISION NO. 16

DRAINAGE STATEMENT
VISTA BONITA SUBDIVISION NO. 16

I. PROJECT LOCATION

VISTA BONITA SUBDIVISION NO. 16 is a proposed 93-lot single-family subdivision within the Edinburg's extra territorial jurisdiction, Texas. It is located in Hidalgo county, on the north side of Ramseyer Rd, and approximately 2,300 feet east of Cesar Chavez Street. Being a 20.00-acre tract of land being all of lot 8, all of lot 10, and the east 2.0 acres of lot 12, block 21, Santa Cruz gardens unit no. 2 as per map recorded in volume 8, page 29, map records of Hidalgo county, Texas

II. FLOOD PLAIN

The proposed subdivision is in Zone "X" (unshaded), defined as areas determined to be outside 500-year flood-plain. And Zone "X" (shaded), defined as areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood. According to the FEMA FIRM Community Panel No. 480334 0325 D, revised June 6, 2000.

III. SOIL CONDITIONS

According to the Soil Survey Report prepared for Hidalgo County by the USDA Natural Resources Conservation Service, the site consists of 2 soil types.

- Hidalgo fine sandy loam (25), hydrologic soil group "B", and moderately well drained with negligible runoff potential when thoroughly wet.
- Willacy fine sandy loam (70), hydrologic soil group "B", and well drained with negligible runoff potential when thoroughly wet.

The web soil survey is attached.

IV. EXISTING CONDITIONS

The existing runoff sheet flows overland in a south direction towards Ramseyer Road. Based on the Rational Method and the attached calculations, an existing 10-year storm event generates 6.68 cfs of runoff. The proposed runoff after development is 38.06 cfs for a 50-year storm event. The proposed project will have an approximate increase of 31.38 cfs of storm runoff for a 50-year storm event.

V. PROPOSED CONDITIONS

In accordance with the county of Hidalgo's drainage requirements, 90,092 cubic feet (3,337 cubic yards) of runoff detention will need to be detained for a 50-year storm event on the subdivision. The proposed storm system will run through the internal streets of the subdivision into the proposed storm inlets starting with 24" pipe and ending up with 36" pipe discharging on the proposed detention ponds on the south side of the subdivision. Finally, the runoff will go into the proposed ditch at the north side of the subdivision to finally outfall at the existing drain ditch (J-01-04) owned and maintained by HCDD1. Runoff will not be increased during a 50-year storm event due to the proposed subdivision.

CERTIFICATION:

By my signature below, I certify that the floodplain for zone "C" (defined as areas with minimal flooding) As described in community panel number No. 480334 0425 C dated Nov. 16, 1982 is contained within the drainage of the subdivision as shown below.



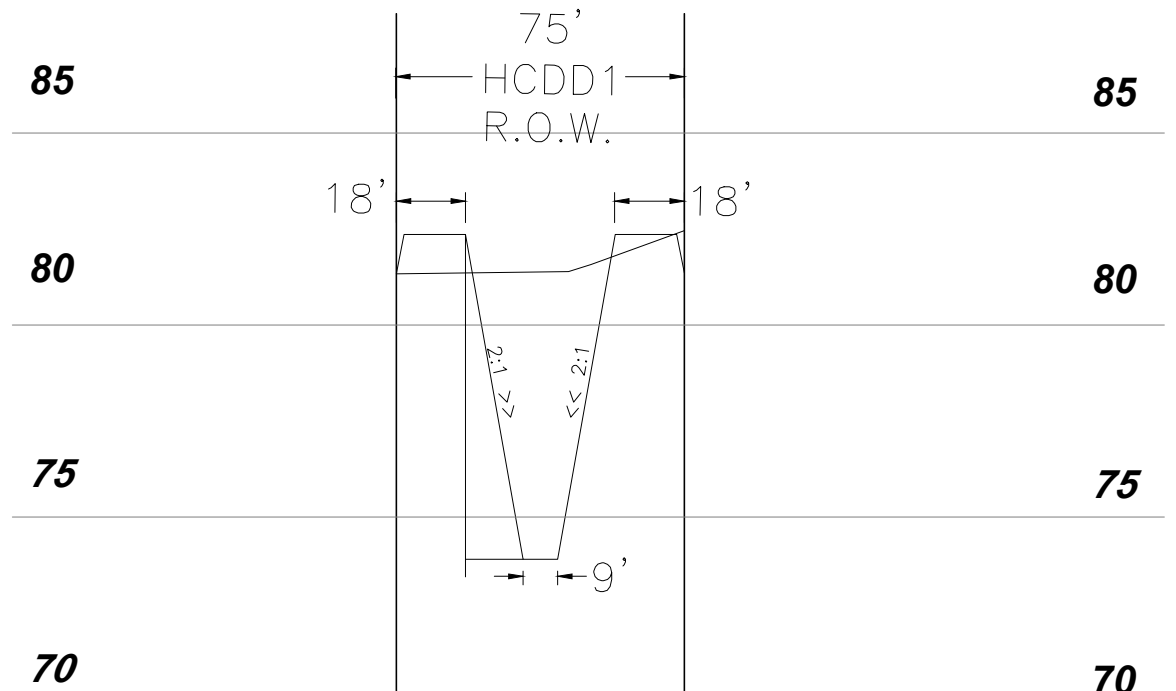
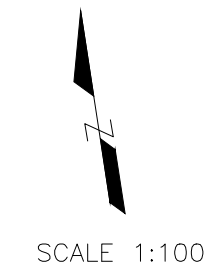
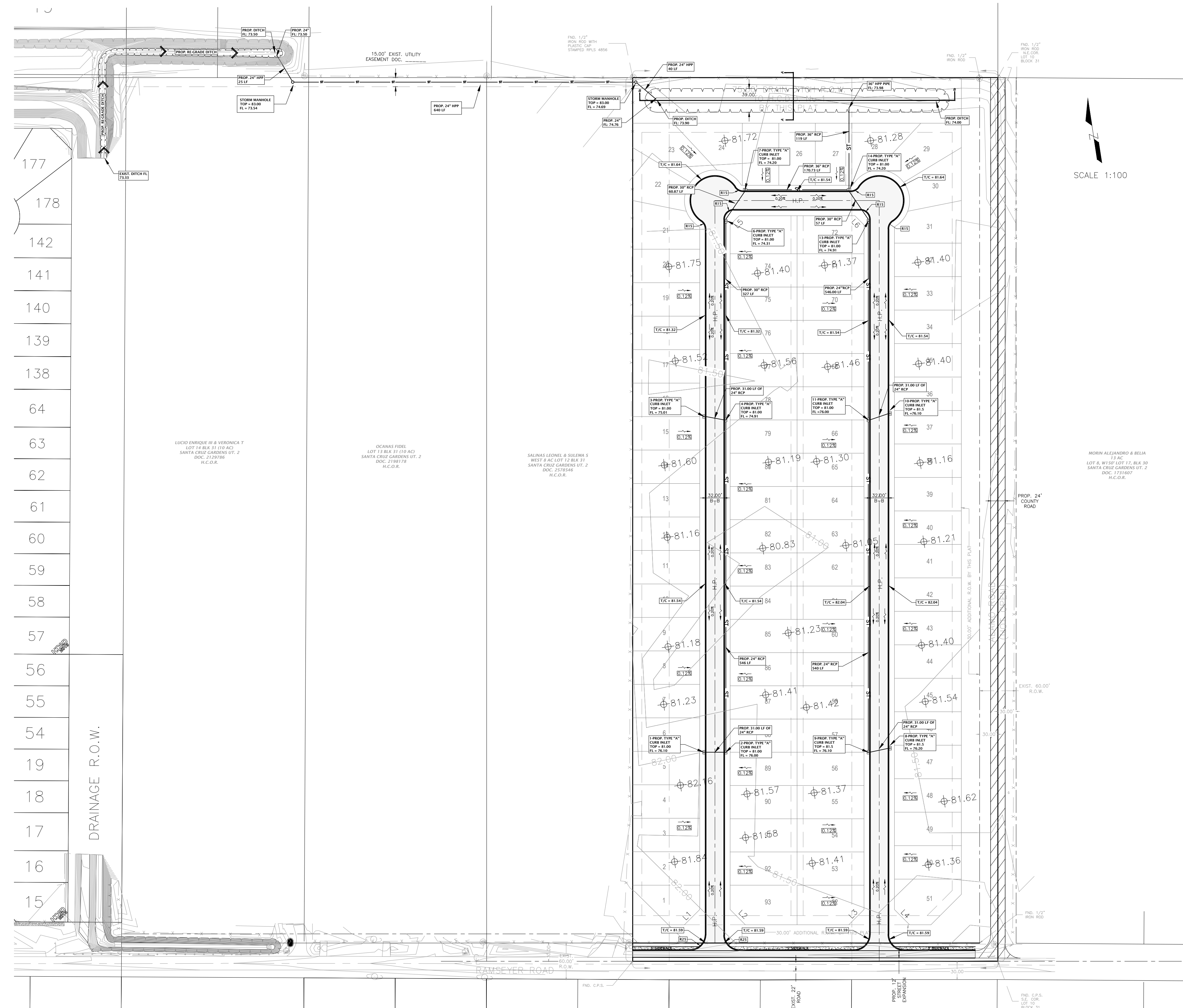
This seal appearing on this document was authorized by Jose N. Saldivar P.E. No. 94076 on the above designated date.

PRELIMINARY

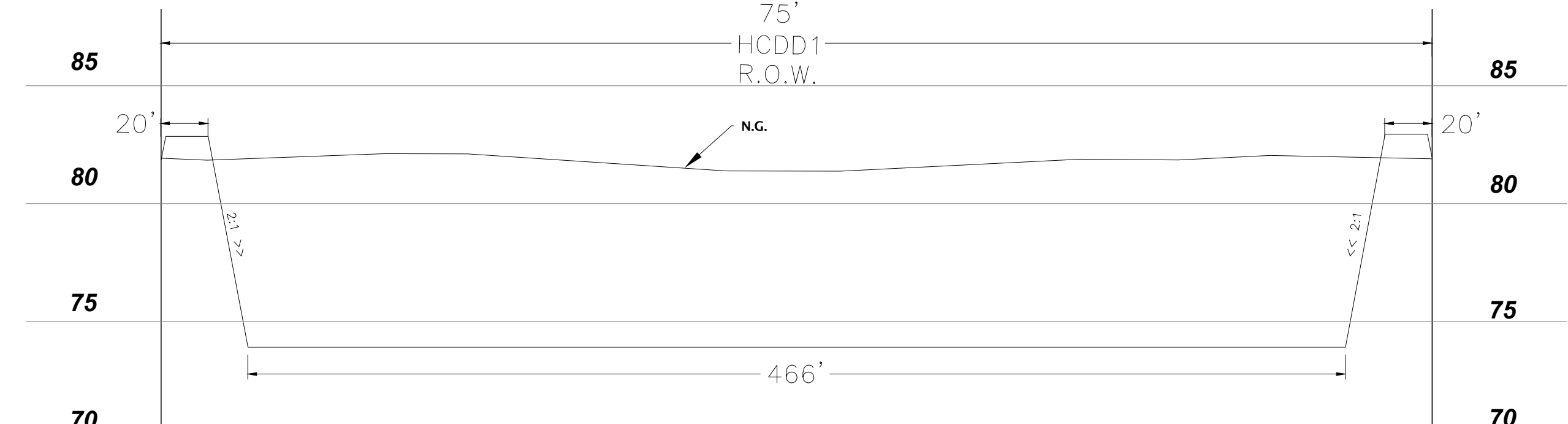
JOSE N. SALDIVAR, P.E. No. 94076

LEGEND	
	WOOD FENCE
	CHAIN LINK FENCE
	EXIST. PAVEMENT

COST ESTIMATE	
WATER DISTRIBUTION:	_____
OS&S IMPROVEMENTS:	_____
DRAINAGE IMPROVEMENTS:	_____
PAVING IMPROVEMENTS:	_____
TOTAL:	_____



DETENTION POND CROSS SECTION A-A

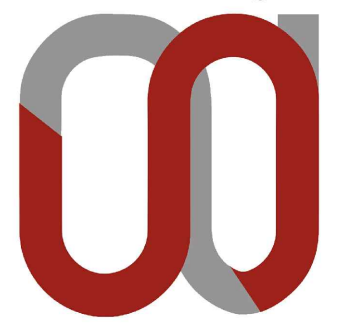


DETENTION POND CROSS SECTION B-B

DETENTION VOLUME PROVIDED:
3,341 CY
90,200 CF

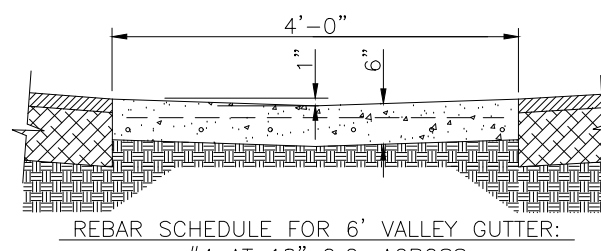
VISTA BONITA SUBDIVISION NO. 16
STORM SEWER SYSTEM, PAVING AND GRADING PLAN

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TBP# F-22858 TELS 10194796



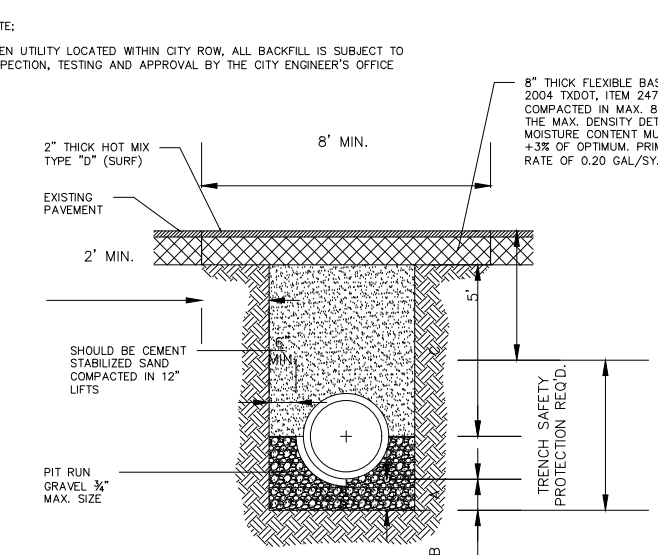
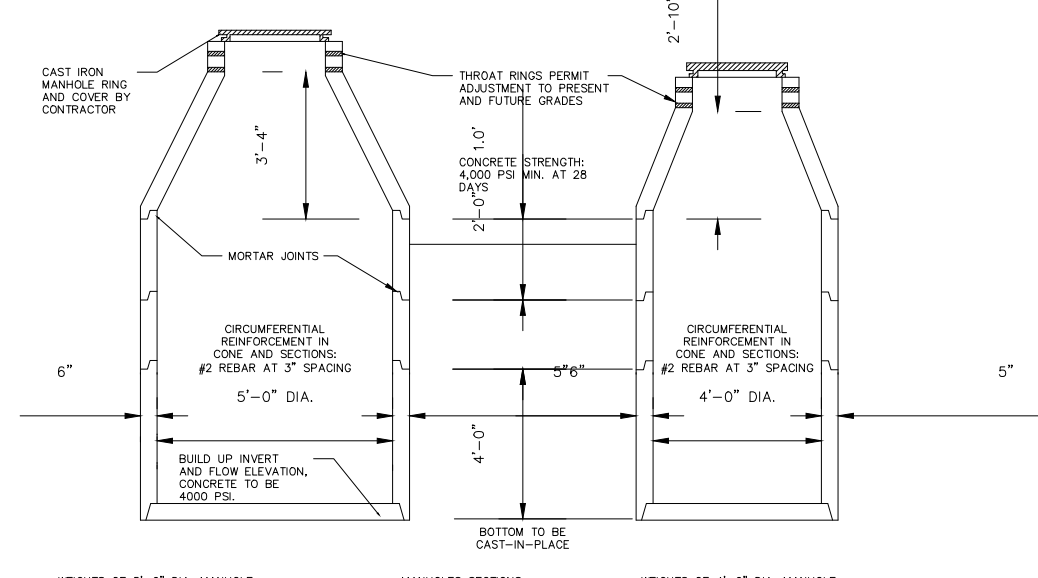
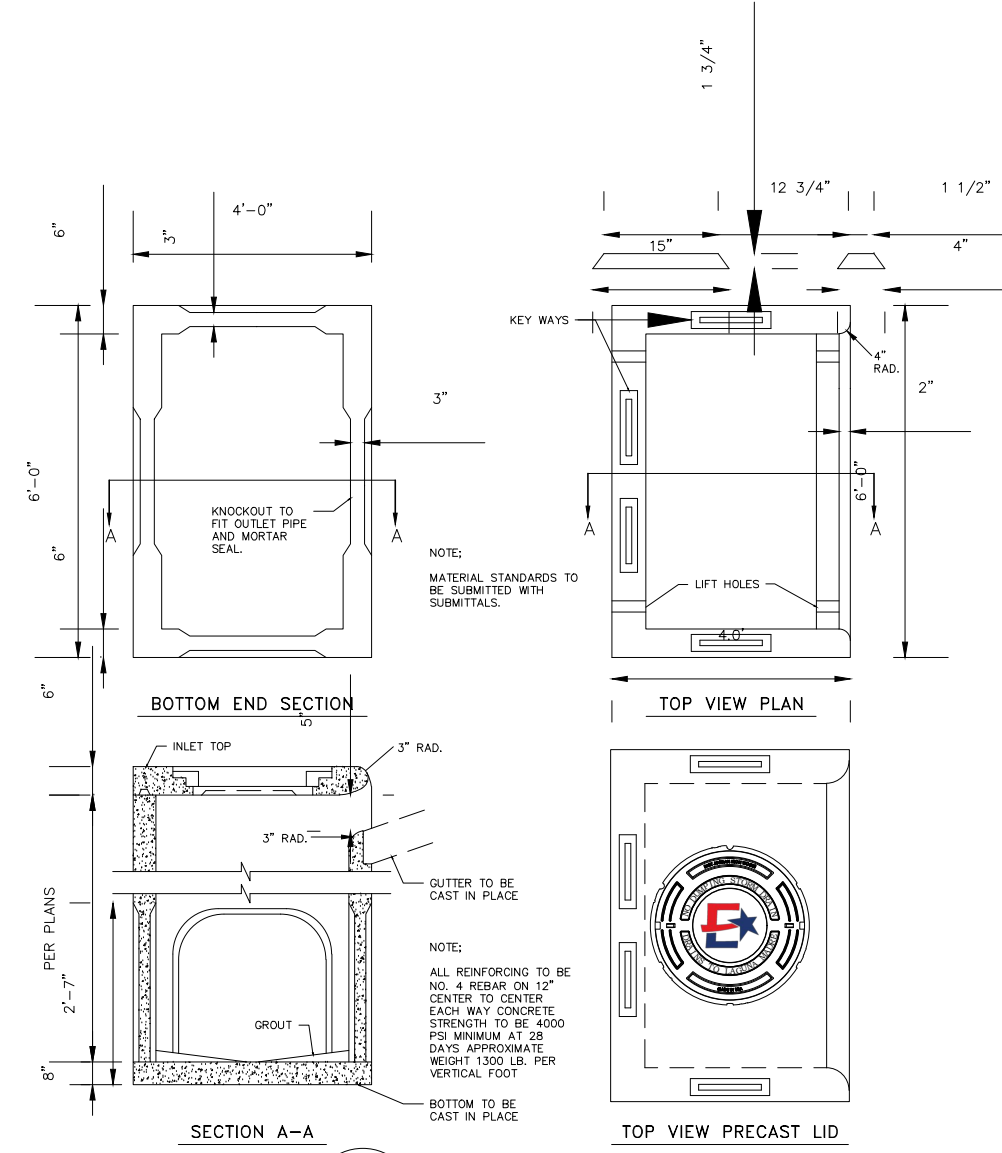
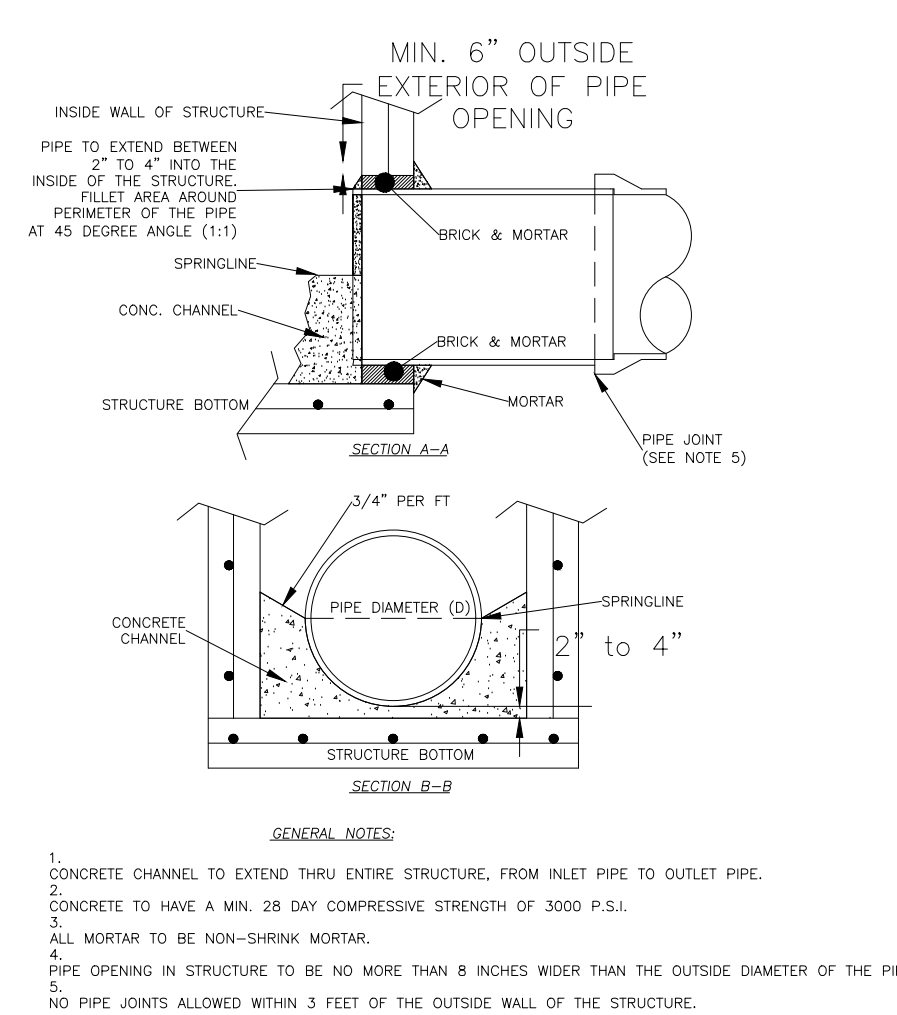
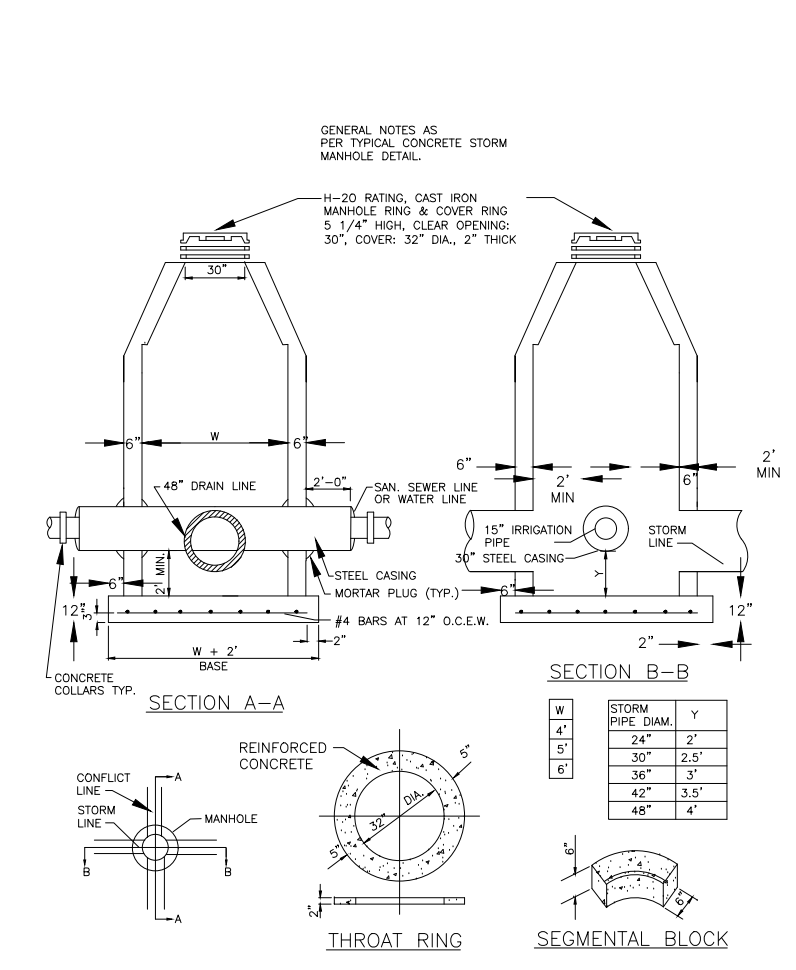
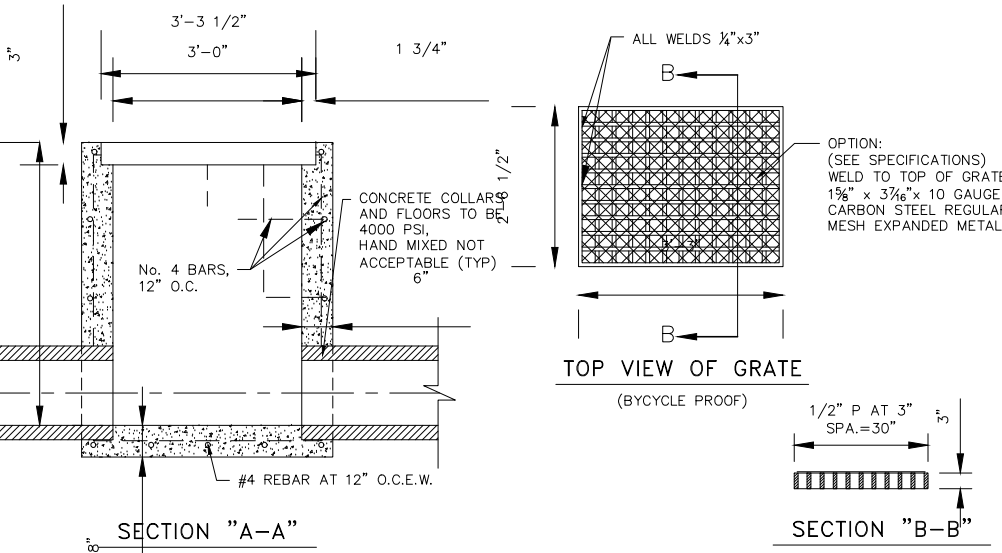
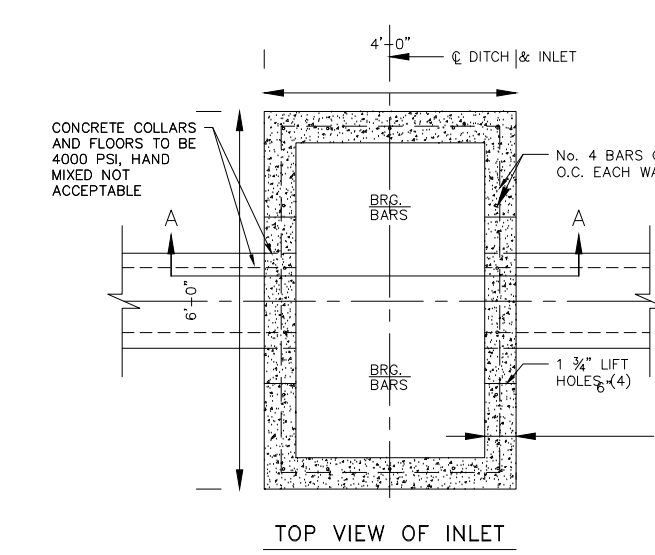
PAVING AND DRAINAGE DETAILS:

**VISTA BONITA SUBDIVISION
NO. 16**

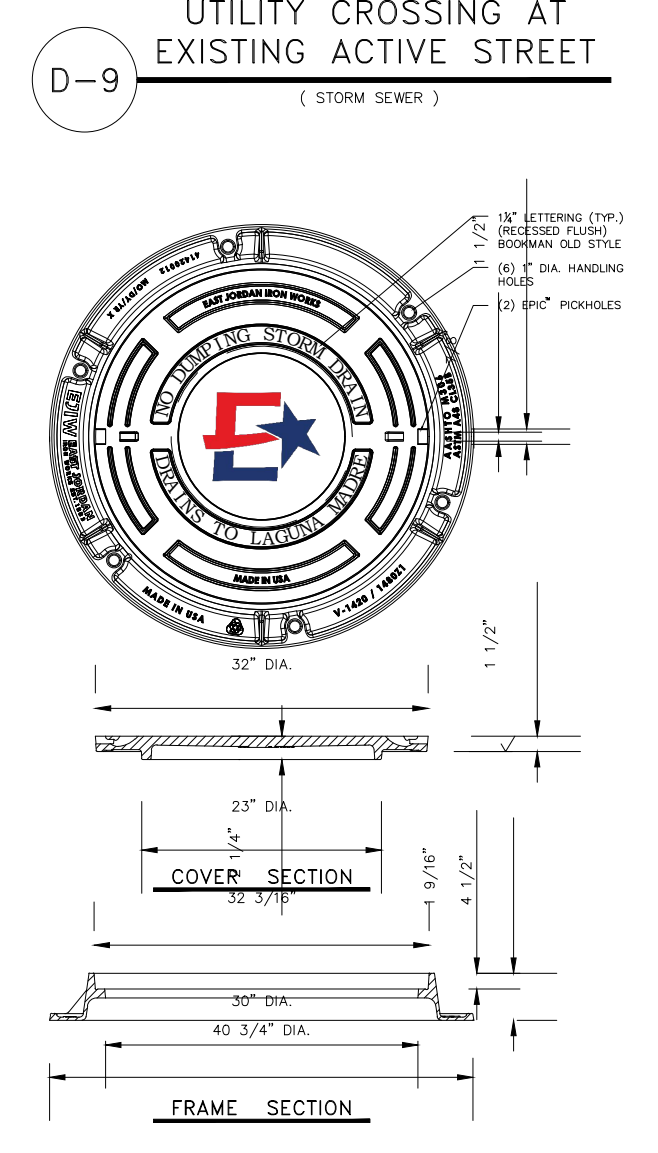
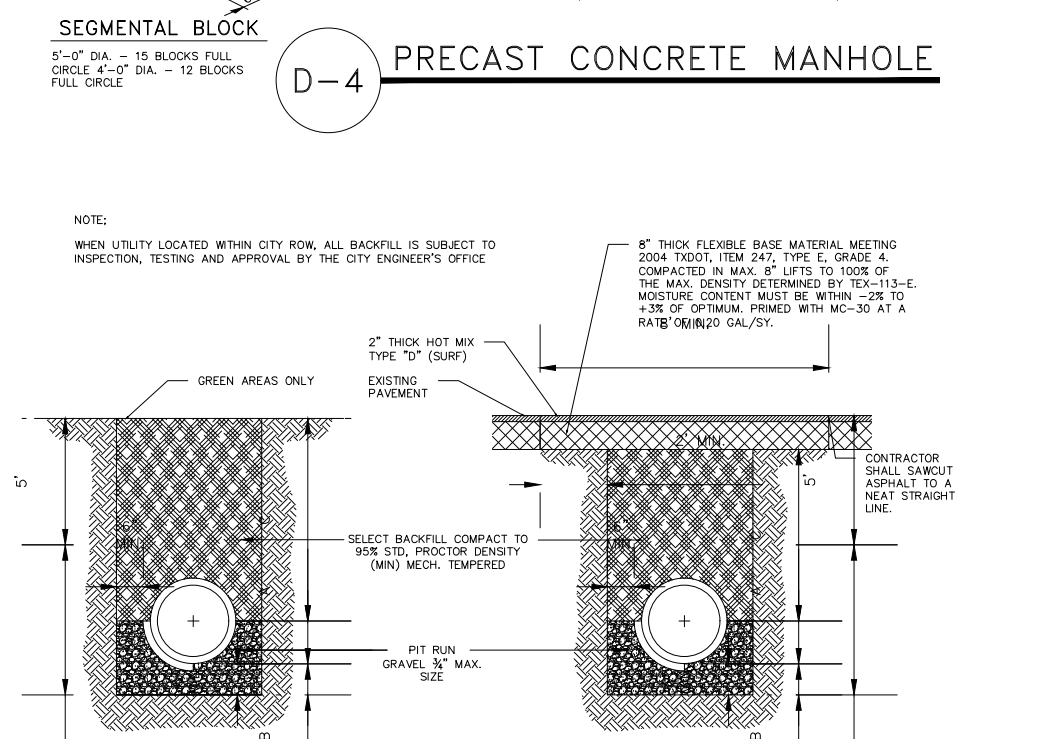
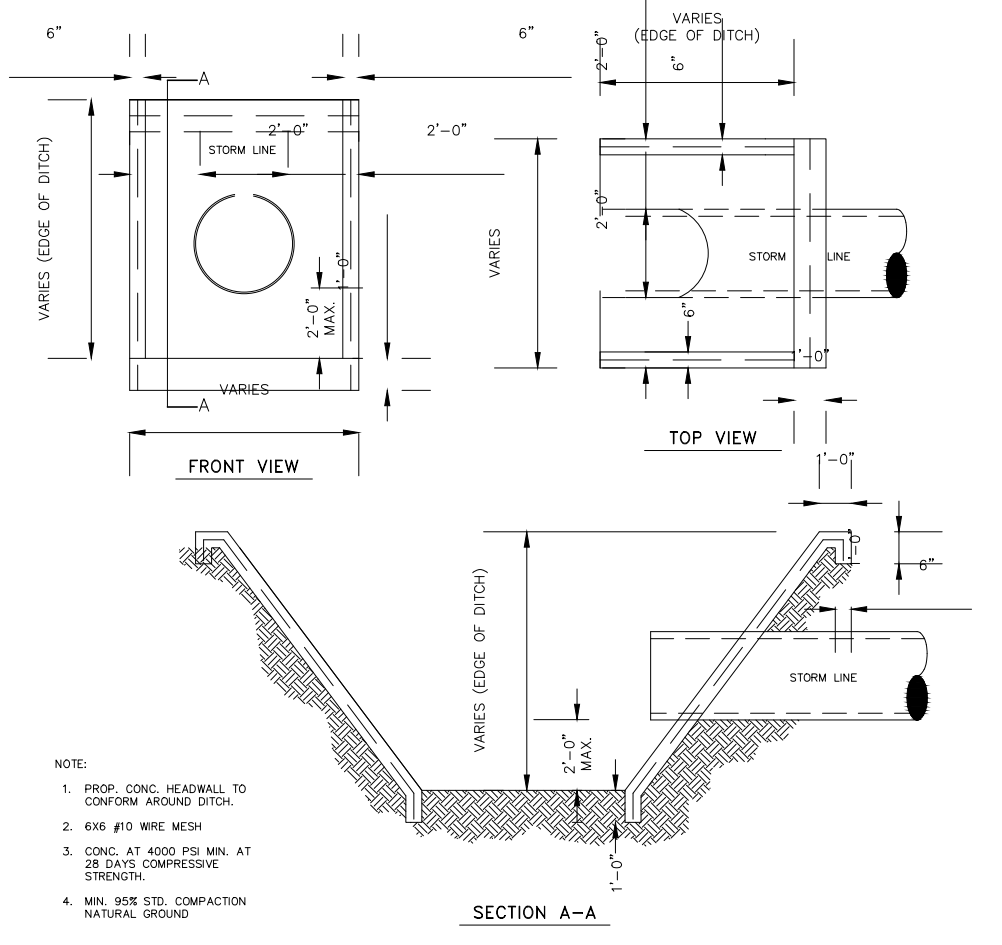
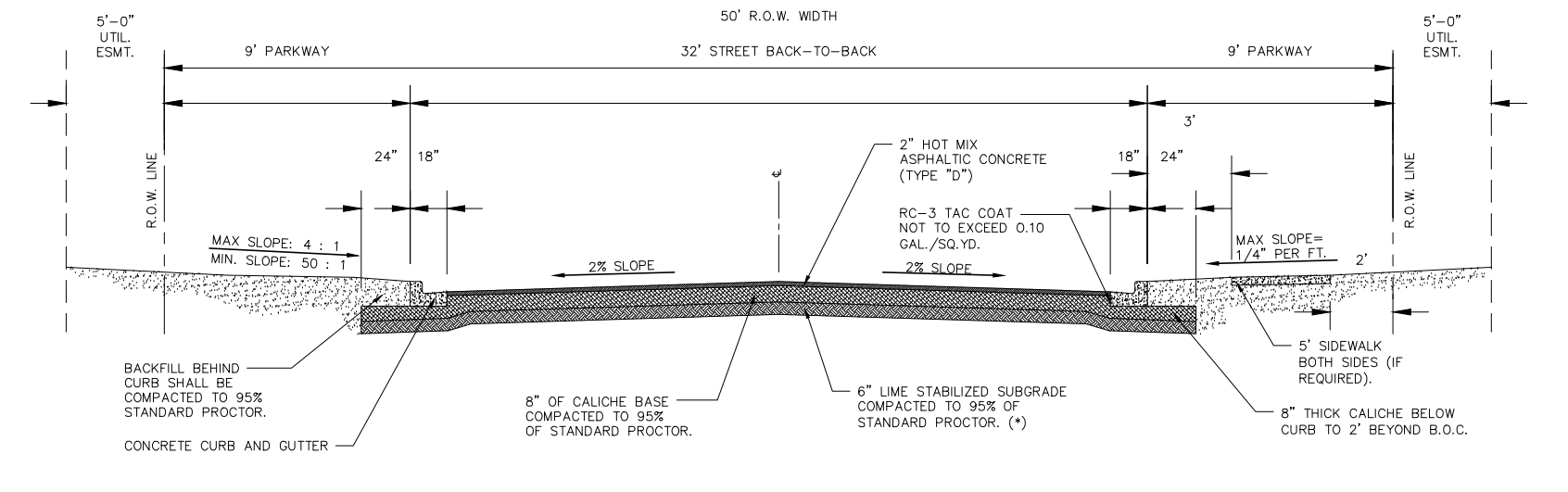
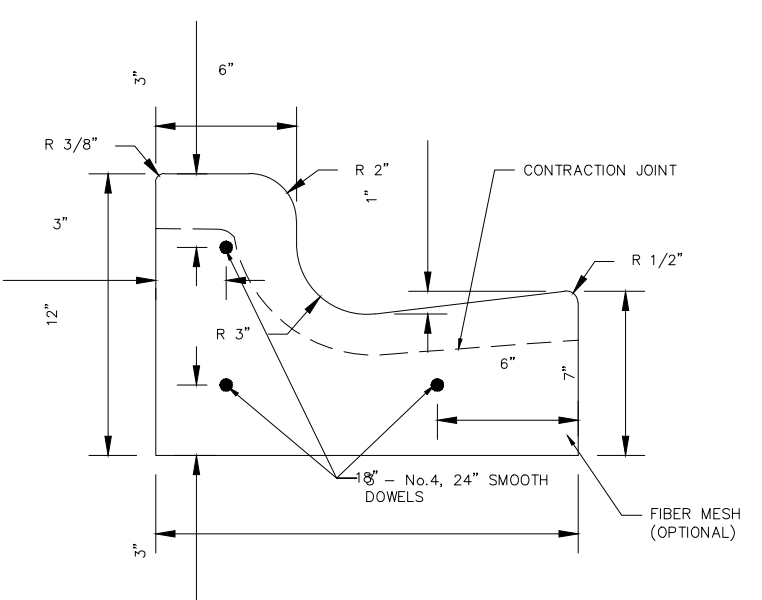


- GENERAL NOTES:
 1. ALL CONCRETE WORK SHALL BE TREATED WITH MEMBRANE CURING COMPOUND TYPE 2 WHITE PIGMENTED IN ACCORDANCE WITH 1972 SPECIFICATIONS ITEM 531. CONSIDERED INCIDENTAL TO CONCRETE WORK.
 2. 1/2" EXPANSION JOINTS REQUIRED AT 70' c.c. AND AT THE BEGINNING AND END OF ALL RADI. CONTRACTION JOINTS SHALL NOT EXCEED 10' c.c.

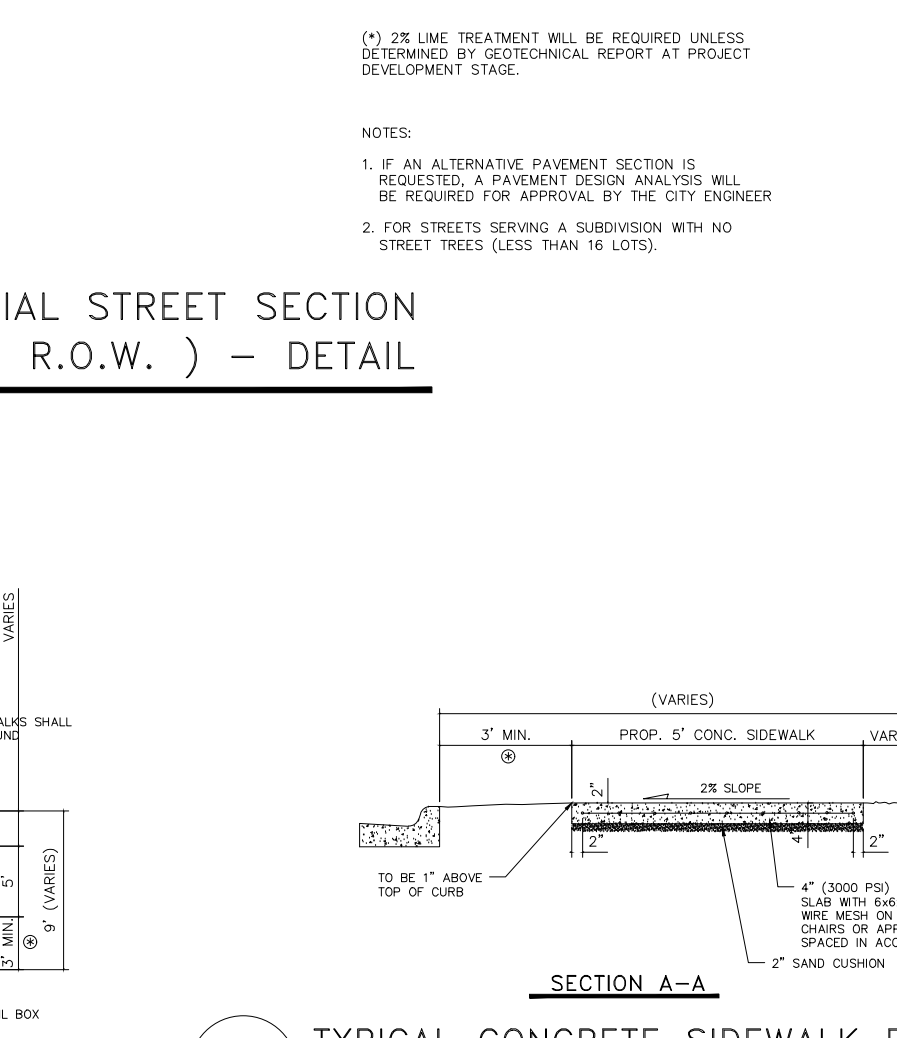
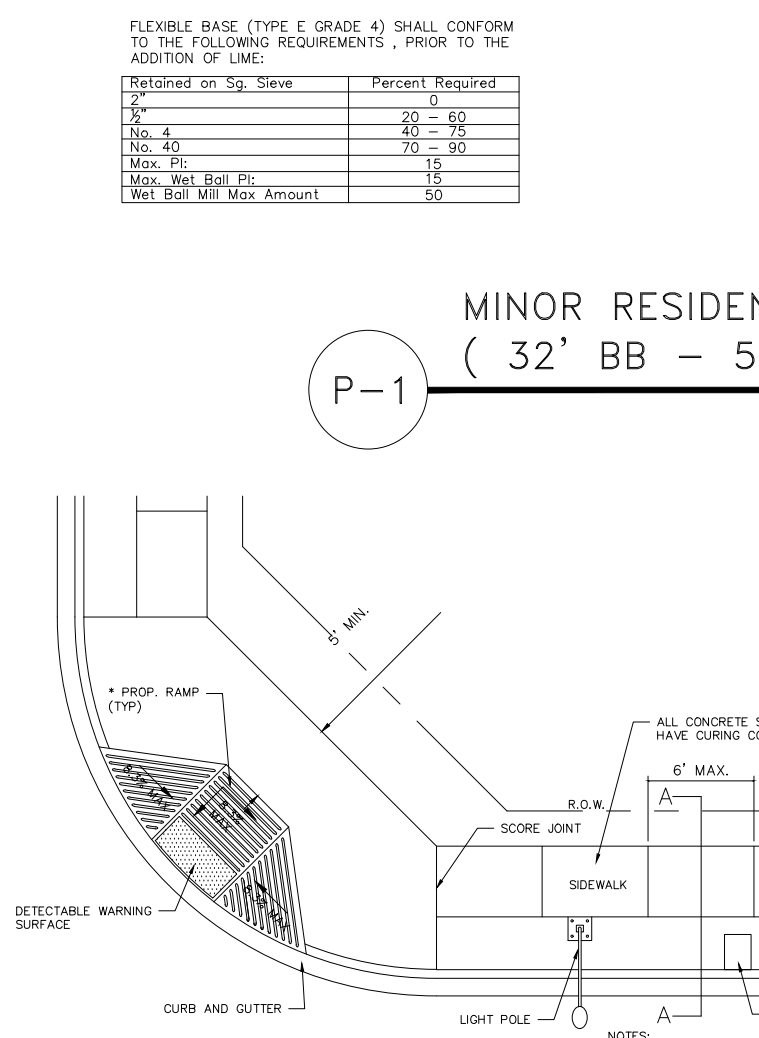
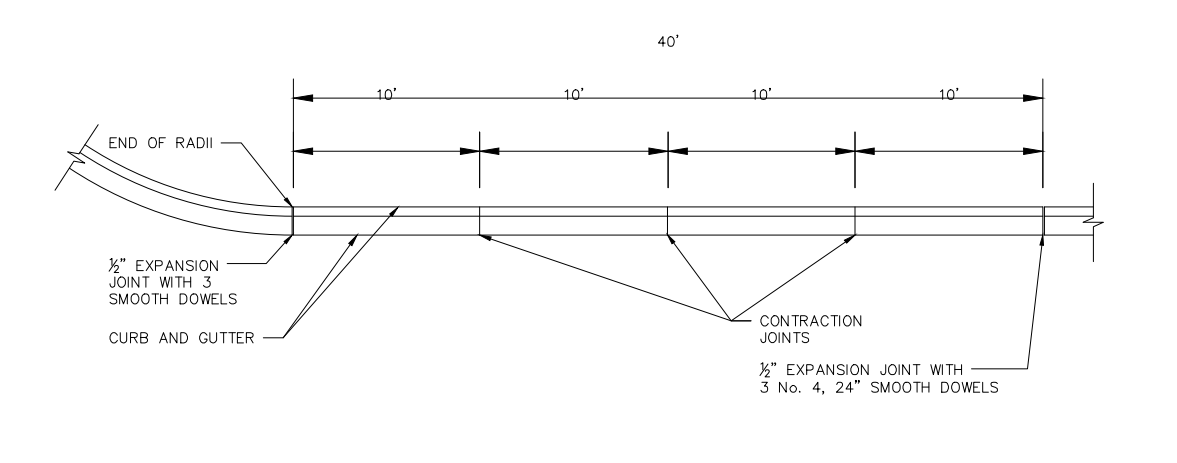
CONCRETE VALLEY GUTTER
NOT TO SCALE



D-3 TYPE \"/>

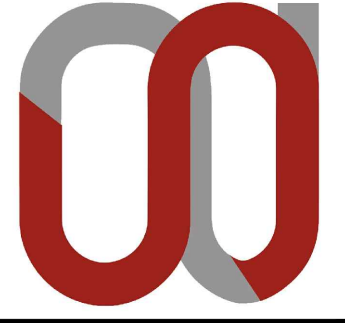


P-8 TYPICAL JOINTS

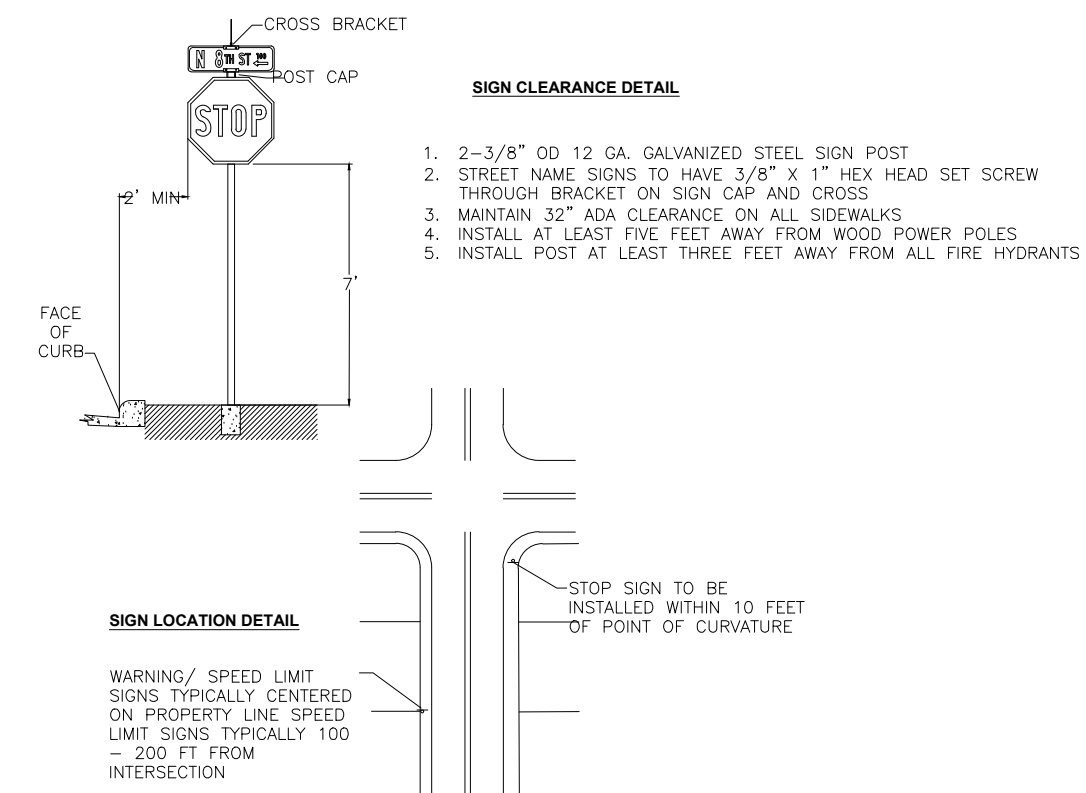
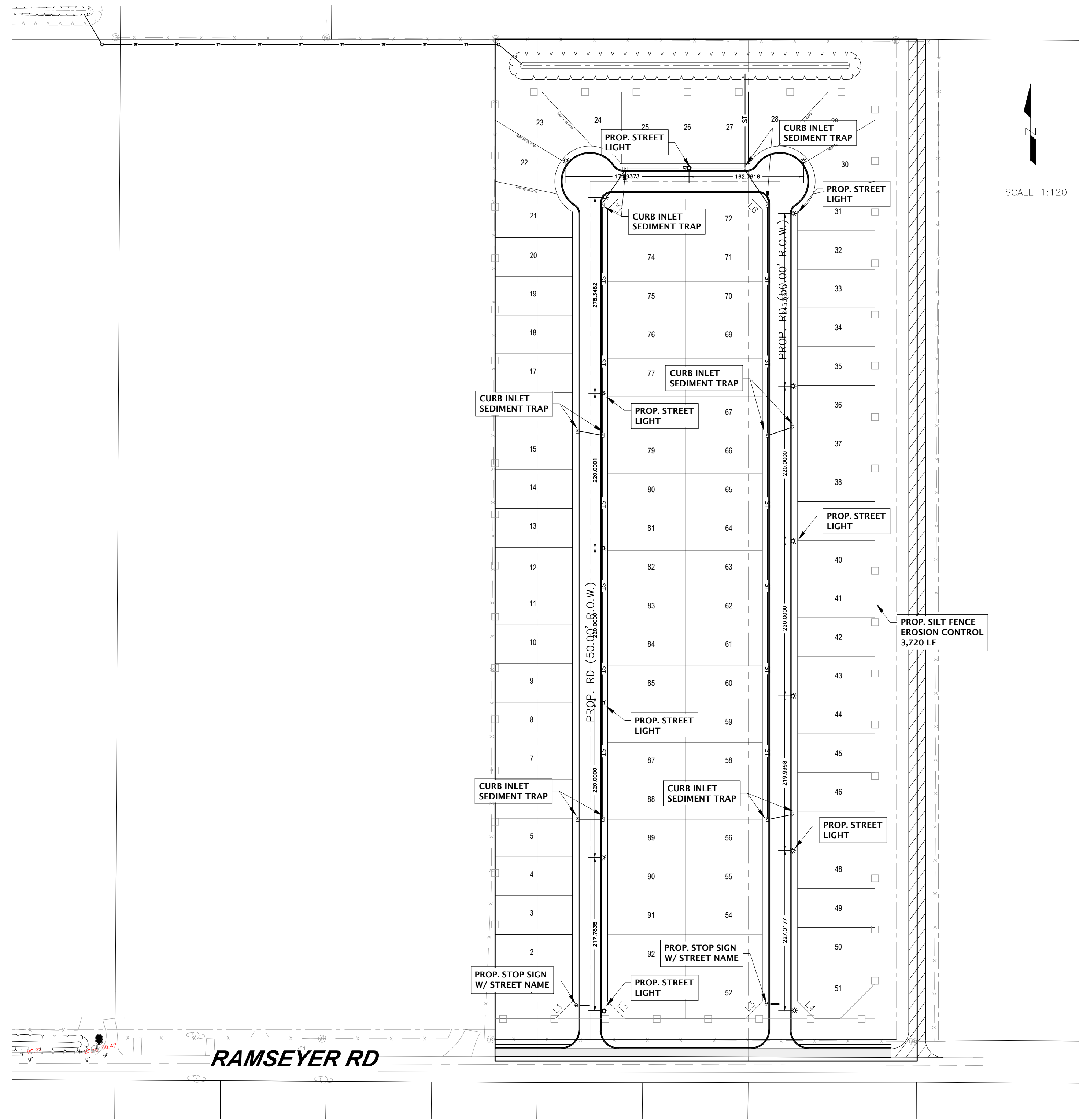


VISTA BONITA SUBDIVISION NO. 16
 STORM SEWER DETAILS, PAVING DETAILS,
 AND DITCH WIDENING DETAIL

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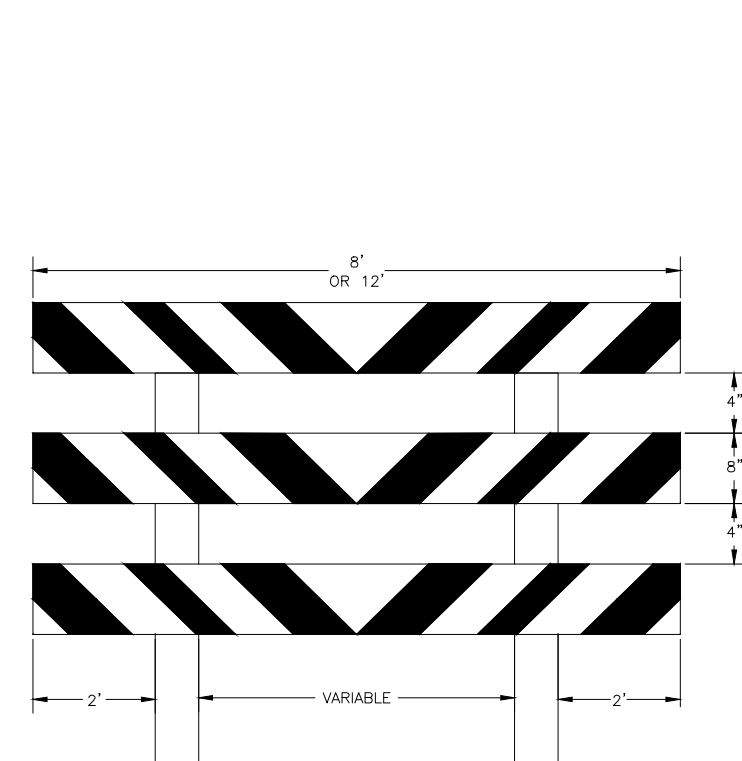


STREETLIGHT DISTRIBUTION :



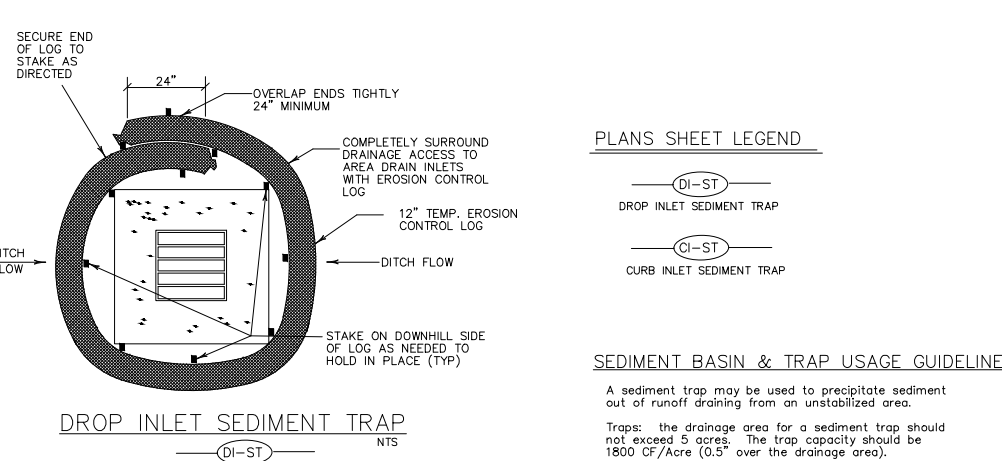
- GENERAL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR LOCATING SPRINKLERS AND UTILITIES PRIOR TO INSTALLATION.
 - STREET LIGHTS SHALL BE INSTALLED ACCORDING TO APPROVED PLAN SHEETS.
 - ANY DAMAGE TO EXISTING FENCES, WALLS, OR PRIVATE PROPERTY SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
 - THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING PRE-INSTALLATION AND POST-INSTALLATION INSPECTIONS THROUGH THE CITY'S DESIGNATED INSPECTOR 24 HOURS PRIOR TO INSPECTION DURING NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY.

SIGN LOCATION STANDARDS



- GENERAL NOTES**
- 8"x12" or 8"x8" PANEL MADE OF HPPL PLASTIC MATERIAL.
 - SHEETING TO BE HI-PRISMATIC GRADE RED/WHITE.
 - 2-3/8" OD 12 GA. GALVANIZED STEEL POST.
 - TO BREAKAWAY SIGN INSTALLATION DETAIL (REFER TO BREAKAWAY SIGN INSTALLATION DETAIL).
 - SIGN TO BE SHEETED A PROTECTIVE ANTI-GRAFFITI OVERLAY FILM.

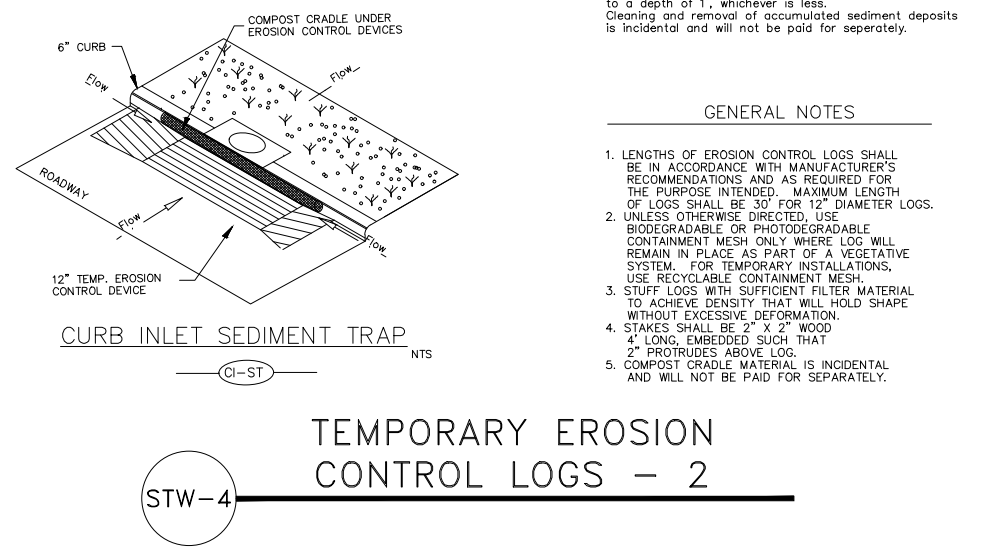
TYPE III PERMANENT BARRICADE



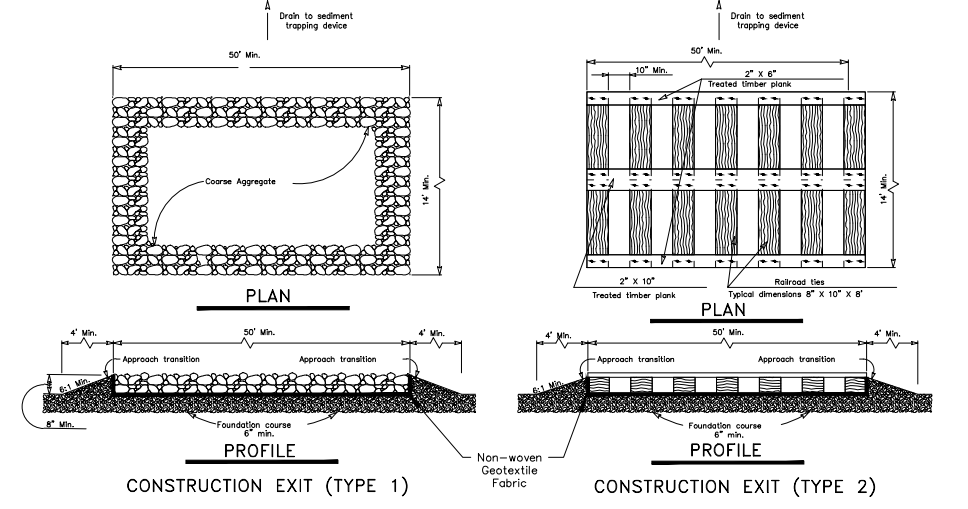
- PLANS SHEET LEGEND**
- STW-1 CURB INLET SEDIMENT TRAP
 - STW-2 CURB INLET SEDIMENT TRAP

- SEDIMENT BASIN & TRAP USAGE GUIDELINES**
- A sediment trap may be used to precipitate sediment out of runoff draining from an unimproved area.
- Trap: The drainage area for a sediment trap should not exceed 2 acres. The size capacity should be 1800 CF/acre (0.7' over the drainage area).
- Sediment traps should be placed in the following locations:
- Immediately preceding drop inlets.
 - Immediately preceding water courses.
 - Just before the drainage across the right of way.
 - At the end of the drainage from the unimproved area.
- The trap should be cleaned when the capacity has been reduced by 1/2 or the sediment has accumulated to a depth of 1' (whichever is less).
- Checklist for removal of accumulated sediment deposits to facilitate use will not be used for sediment.

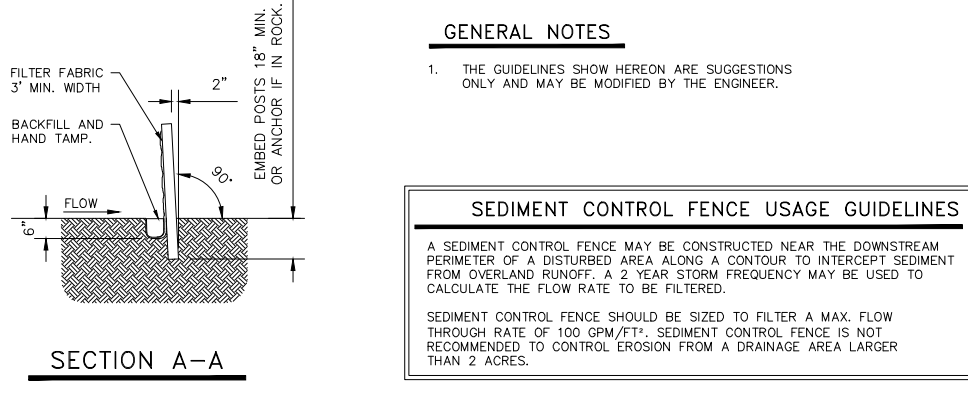
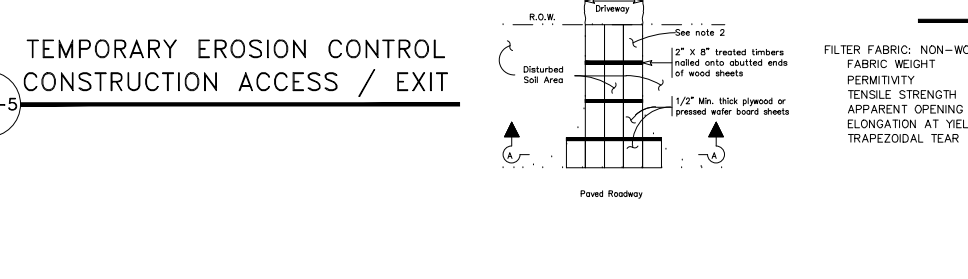
- GENERAL NOTES**
- LENGTHS OF EROSION CONTROL LOGS SHALL BE AS ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND AS SHOWN ON THE PLANS.
 - EROSION CONTROL LOGS SHALL BE INSTALLED AS SHOWN ON THE PLANS.
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TEMPORARY EROSION CONTROL LOGS - 2

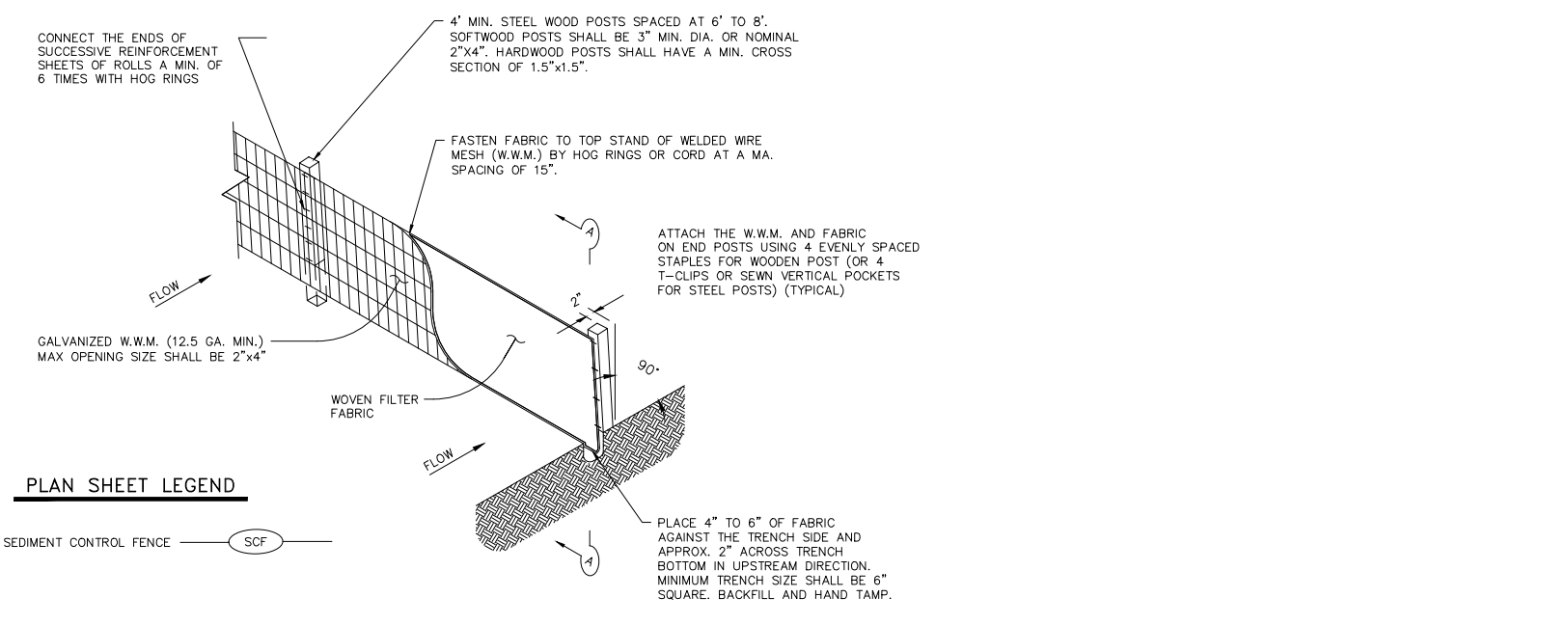


- GENERAL NOTES**
- ALL CONSTRUCTION EXITS SHALL BE AS INDICATED ON THE PLANS.
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- GENERAL NOTES**
- THE GUIDELINES SHOW HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

- SEDIMENT CONTROL FENCE USAGE GUIDELINES**
- A SEDIMENT CONTROL FENCE MAY BE CONSTRUCTED NEAR THE DOWNSTREAM PORTION OF A SEDIMENT BASIN ALONG A CONTIGUOUS SEDIMENT FROM OVERLAND RUNOFF. A 2-YEAR STORM FREQUENCY MAY BE USED TO CALCULATE THE FLOW RATE TO BE FILTERED.
- SEDIMENT CONTROL FENCE SHOULD BE SIZED TO FILTER A MAX. FLOW THROUGH RATE OF 100 GPM/FT. SEDIMENT CONTROL FENCE IS NOT RECOMMENDED TO CONTROL EROSION FROM A DRAINAGE AREA LARGER THAN 2 ACRES.



TEMPORARY SEDIMENT CONTROL FENCE - DETAILS



PRELIMINARY

VISTA BONITA SUBDIVISION NO. 16 STREETLIGHT PLAN

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