



Anthony Uresti
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 4-02-2024

PROPOSED MILANOS ESTATES PH II SUBDIVISION, PRECINCT No. 1.

ENGINEER: RIO DELTA ENGINEERING DEVELOPER: GARVIC PROPERTIES, LP

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 128 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INSTITUTIONAL

NUMBER OF STREETLIGHTS: 25

FILLING STATIONS: 12

LOCATION DESCRIPTION: EAST OF MILE 6 ½ WEST ROAD APPROXIMATELY ½ MILE NORTH OF MILE 5 NORTH ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF WESLACO

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 4-15-2021 PROPERTY LIES WITHIN FLOOD ZONE: "B" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY AN EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 20 FEET ONTO MILE 6 ½ WEST ROAD.

H.C.R.O.W. FINAL APPROVAL DATE: 03-05-2024 BY, PRECINCT 1 R.O.W. AGENT

H.C.H.D. FINAL APPROVAL DATE: 03-13-2024 BY, ENVIRONMENTAL HEALTH DIVISION MANAGER

SEWER SYSTEM: SANITARY SEWER BY: CITY OF WESLACO LINE SIZE: 8" LOCATION: MILE 6 ½ WEST ROAD.

WATER SERVICE PROVIDER: CITY OF WESLACO LINE SIZE: 8" LOCATION: MILE 6 ½ WEST ROAD

H.C.E.O.C. FINAL APPROVAL DATE: 02-26-2024 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

REQUEST FOR FINAL APPROVAL WITH: **CASH DEPOSIT: Amount: \$11,697.50 For: (SUBDIVISION IMPROVEMENTS)**

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: 8/18/2022

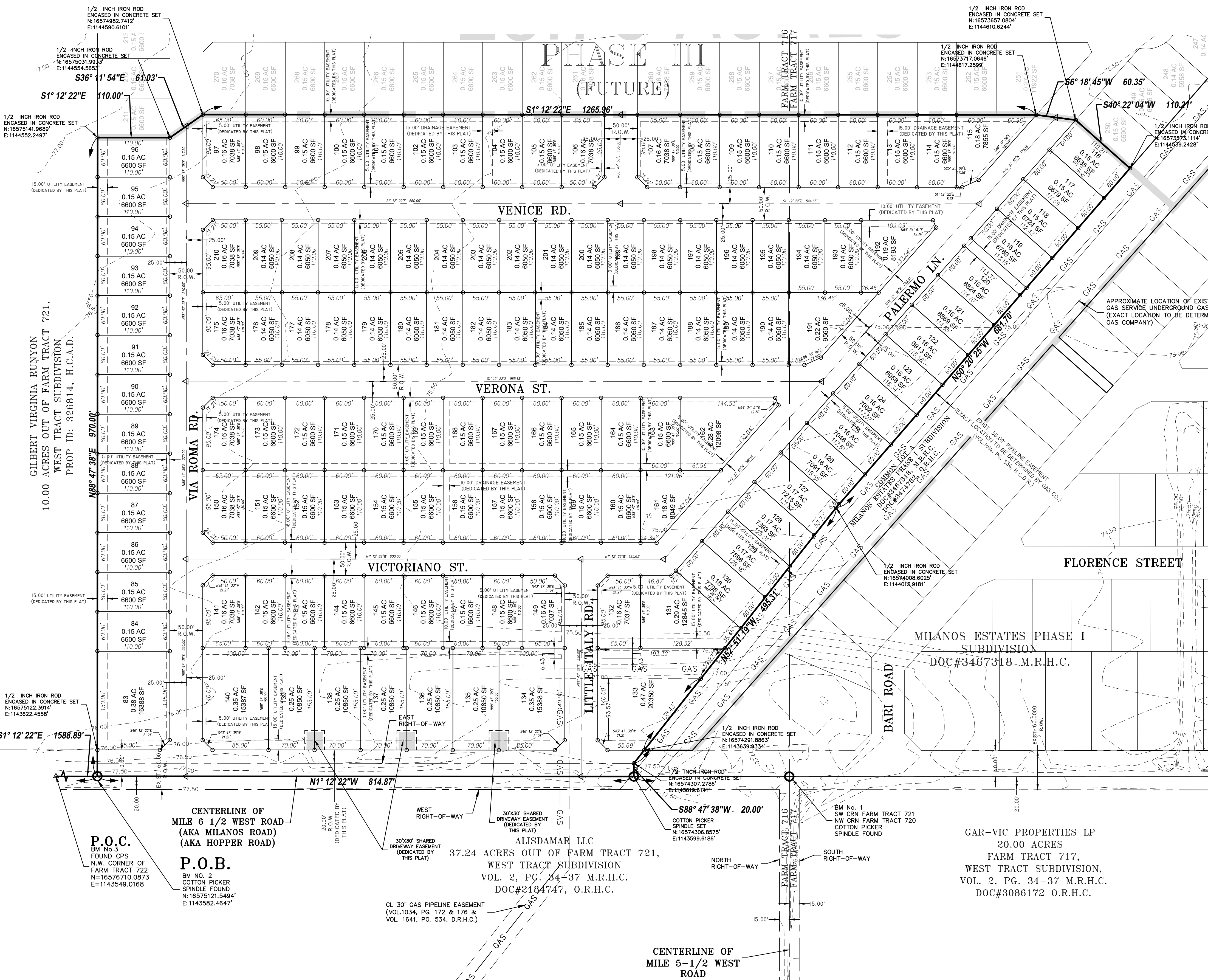
STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning,
other departments and the approval of the City of WESLACO

Final Approval with financial guarantee.

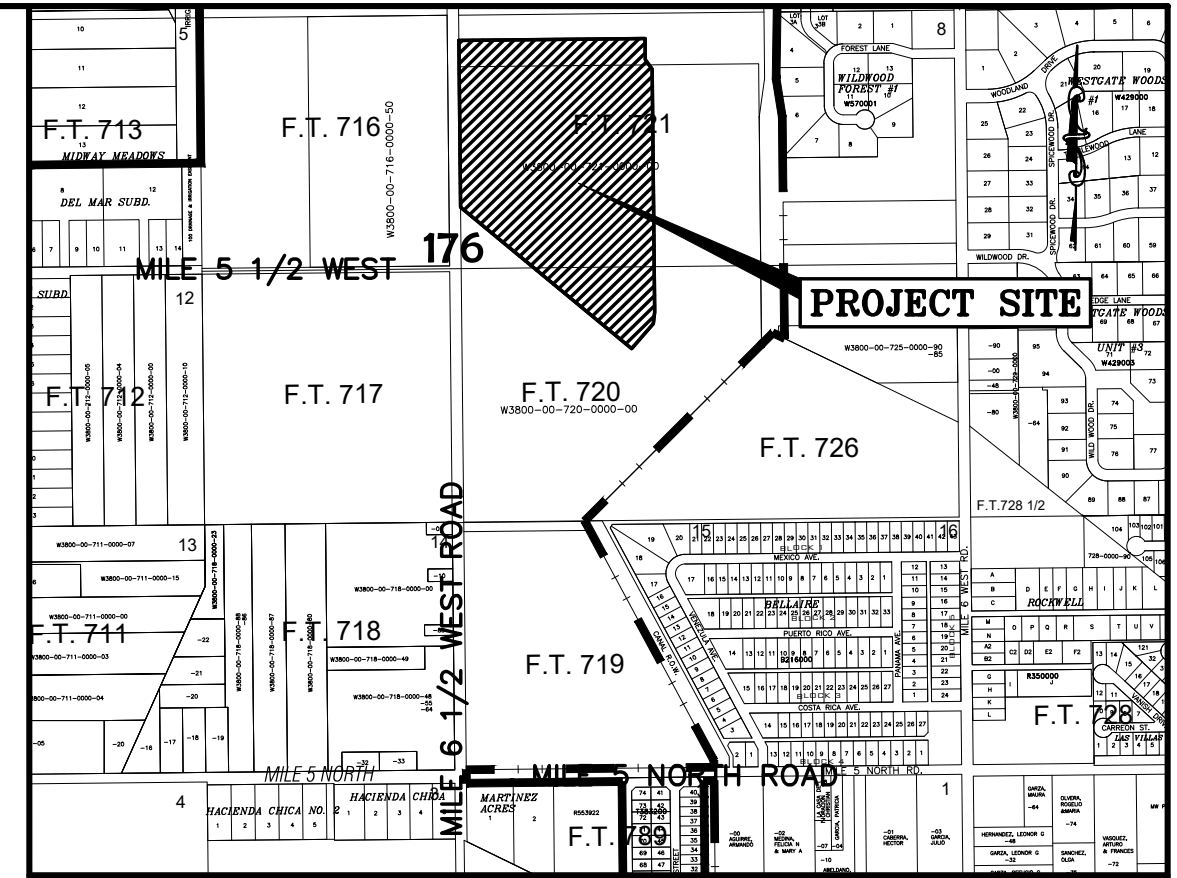
This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,
* Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

MILANOS ESTATES PHASE II SUBDIVISION

BEING A 27.65 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 27.65 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



SCALE: 1" = 80'
BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK



LOCATION MAP SCALE: 1" = 1000'

LOCATION OF MILANOS ESTATES PHASE I WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF MUNICIPALITY:
MILANOS ESTATES PHASE II IS LOCATED APPROX. 15080 FEET SOUTH FROM THE INTERSECTION OF MILE 6 ROAD AND HOPPER ROAD, EAST SIDE OF HOPPER ROAD IN HIDALGO COUNTY PRECINCT 1. THIS SUBDIVISION LIES APPROXIMATELY 1/2 MILE FROM THE CITY LIMITS AND IS WITHIN THE CITY OF WESLACO TWO-MILE EXTRATERRITORIAL (E.T.) UNDER LOCAL GOVERNMENT CODE # 42.02. THE ESTIMATED POPULATION OF THE CITY OF WESLACO IS 41,629 (2019 CENSUS) AS PER THE 2019 UNITED STATES CENSUS BUREAU.

- LEGEND**
- ▲ - SET C-P-S
 - - FD. C-P-S
 - - SET 1/2" IRON ROD
 - - SET 5/8" IRON ROD
 - - SET 1" IRON ROD
 - - SET PK NAIL
 - - STORM INLET
 - - FIRE HYDRANT
 - - IRR. STAND PIPE
 - - CHAIN LINK FENCE
 - - EXIST. WATER METER
 - - GAS SPOTTING
 - - TELEPHONE PEDESTAL
 - - POWER POLE
 - - TRAFFIC SIGN

- ABBREVIATION LEGEND**
- F.B.S.L. FRONT BUILDING SETBACK LINE
 - R.B.S.L. REAR BUILDING SETBACK LINE
 - S.B.S.L. SIDE BUILDING SETBACK LINE
 - R.O.W. RIGHT-OF-WAY
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCING
 - S.W.C. SOUTHWEST CORNER
 - F.T. FARM TRACT
 - F.M. FARM-TO-MARKET
 - C.P.M. CENTRAL POWER & LIGHT CO.
 - D.R.H.C. DEED RECORDS OF HIDALGO COUNTY
 - U.E. UTILITY EASEMENT
 - H.W.S. HIGHLAND WATER SUPPLY CORP.
 - U.S. UTILITY EASEMENT
 - O.S.S.F. ON-SITE SEWAGE FACILITY
 - C.L. CENTER LINE
 - L.O.T. LOT LINE
 - H.C.D.D. HIDALGO COUNTY DRAINAGE DIST. #1

METES AND BOUNDS DESCRIPTION

BEING A 27.65 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 27.65 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS;

AND SAID 27.65 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A COTTON-PICKER-SPINDLE FOUND AT THE NORTHWEST CORNER OF FARM TRACT 722 OF THE SAID WEST TRACT SUBDIVISION, SAME BEING THE POINT OF INTERSECTION BETWEEN THE CENTERLINES OF MILE 6 NORTH ROAD (A.K.A. 18TH STREET) AND MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD);

AND SAID 27.65 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THENCE S 1°12'22" E ALONG THE WEST LINE OF THE SAID FARM TRACTS 722 AND 721, SAME BEING ALONG THE CENTERLINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), TO THE SOUTHWEST CORNER OF THE NORTH 10.00 ACRES OF THE SAID FARM TRACT 721, PASSING AT THE NORTHWEST CORNER OF THE SAID FARM TRACT 721, SAME POINT BEING THE SOUTHWEST CORNER OF THE SAID FARM TRACT 722, AND CONTINUING FOR A TOTAL DISTANCE OF 1588.89 FEET TO A COTTON-PICKER-SPINDLE SET, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE N 88°47'38" E ACROSS THE SAID FARM TRACT 721, SAME BEING ALONG THE SOUTH BOUNDARY LINE OF THE NORTH 10.00 ACRES OF THE SAID FARM TRACT 721, TO A POINT ON THE WEST LINE OF A CALLED HIDALGO AND CAMERON IRRIGATION DISTRICT NO. 9 TRACT OF LAND AND RIGHT-OF-WAY, DESCRIBED IN A WARRANTY DEED FROM AMERICAN RIO GRANDE LAND AND IRRIGATION COMPANY TO HIDALGO AND CAMERON COUNTIES WATER CONTROL AND IMPROVEMENT DISTRICT, RECORDED IN VOLUME 314, PAGE 62, DEED RECORDS OF HIDALGO COUNTY, TEXAS, AND SAME BEING A POINT ON THE EAST LINE OF THE SAID FARM TRACT 721, PASSING AT 20.00 FEET A 1/2-INCH CAPPED IRON ROD SET ON THE EXISTING EAST RIGHT-OF-WAY LINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), AND CONTINUING FOR A TOTAL DISTANCE OF 970.00 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 1°12'22" E, A DISTANCE OF 110.00 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE S 36°11'54" E, A DISTANCE OF 61.03 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE S 1°12'22" E, A DISTANCE OF 1265.96 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE S 6°18'45" W, A DISTANCE OF 60.35 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE S 40°22'04" W, A DISTANCE OF 110.21 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE N 50°20'25" W ACROSS THE SAID FARM TRACT 720, SAME BEING ALONG THE NORTHERN LINE OF THE SAID EASEMENT AND RIGHT-OF-WAY FOR PIPELINE TO RIO GRANDE VALLEY GAS COMPANY, A DISTANCE OF 881.70 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A BEND IN LINE OF THE HEREIN DESCRIBED TRACT;

THENCE N 52°51'19" W ACROSS THE SAID FARM TRACTS 720 AND 721, SAME BEING IN PART ALONG THE NORTHERN LINE OF THE SAID EASEMENT AND RIGHT-OF-WAY FOR PIPELINE TO RIO GRANDE VALLEY GAS COMPANY, TO A POINT ON THE EXISTING EAST RIGHT-OF-WAY LINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), A DISTANCE OF 495.31 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 88°47'38" W ACROSS THE SAID FARM TRACT 721, TO A POINT ON THE WEST LINE OF THE SAID FARM TRACT 721, SAME BEING ALONG THE CENTERLINE OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD), A DISTANCE OF 814.87 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 27.65 ACRES OF LAND, MORE OR LESS, OUT OF WHICH 0.37 ACRES LIE WITHIN THE EXISTING RIGHT-OF-WAY OF MILE 6 1/2 WEST ROAD (A.K.A. HOPPER ROAD).

STATE OF TEXAS - COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WESLACO AND HIDALGO COUNTY, TEXAS.



IVAN GARCIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496
SURVEY FIRM # 10194027

INDEX TO SHEETS OF MILANOS ESTATES PHASE II SUBDIVISION	
SHEET 1: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT, DESCRIPTION (METES AND BOUNDS), SURVEYOR'S CERTIFICATION.	CHECKED BY: IVAN GARCIA P.E. R.P.L.S.
SHEET 2: PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#9, H.C.D.D.# NO. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.	CHECKED BY: OSCAR ALARCON JR.
SHEET 3: SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE LOCATION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	SCALE: AS SHOWN
SHEET 4: WATER LAYOUT, INCLUDING PROPOSED FIRE HYDRANTS, AND WATER SERVICE LOCATION; SUBDIVIDER CERTIFICATION.	DATE: JANUARY 4, 2024
SHEET 5: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	PROJECT: SUB 19 028
SHEET 6: PAVING & DRAINAGE DETAIL SHEET	REVISIONS:
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET	PAGE NO. 1-OF-7

NAME	ADDRESS	PHONE & FAX
OWNER(S): GARVIC PROPERTIES LP	P.O. BOX 2604	EDINBURG, TX. 78536 (956) 821-7108
SURVEYOR: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083

RIO DELTA ENGINEERING
 FIRM REGISTRATION NO. F-7628
 SURVEY FIRM NO. 10194027
 921 S. 10TH AVENUE EDINBURG, TEXAS 78539
 (TEL) 956-380-5152 (FAX) 956-380-5083

PLAT SHEET
MILANOS ESTATES PHASE II SUBDIVISION
HIDALGO COUNTY

PROJECT: MILANOS ESTATES PHASE II SUBDIVISION
 SHEET: SUB 19 028
 DATE: JANUARY 4, 2024
 SCALE: AS SHOWN

MILANOS ESTATES PHASE II SUBDIVISION

BEING A 27.65 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 27.65 ACRES TRACT BEING OUT OF AND FORMING A PART PORTION OF FARM TRACTS 720 AND 721, WEST TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS – COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, **VICTOR J. DANIEC**, ON BEHALF OF **GARVIC PROPERTIES LP (OWNED)**, AS OWNER OF THE 28.27 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED **MILANOS ESTATES PHASE II SUBDIVISION** HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE OF STREETS, PARK, AND EASEMENTS SHOWN HEREIN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.028 AND THAT:

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
- (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

VICTOR J. DANIEC, PRESIDENT
GARVIC MGMT, INC
IT'S SOLE GENERAL PARTNER
P.O. BOX 2604
EDINBURG, TX 78536

DATE _____

STATE OF TEXAS – COUNTY OF HIDALGO PUBLIC NOTARY CERTIFICATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED **VICTOR J. DANIEC** PROVED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2024

NOTARY PUBLIC MY COMMISSION EXPIRES _____

STATE OF TEXAS – CITY OF WESLACO PLAT APPROVAL CERTIFICATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF WESLACO, HEREBY CERTIFY THAT **MILANOS ESTATES PHASE II SUBDIVISION** PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY MAYOR _____ DATE _____ ATTEST: CITY SECRETARY _____ DATE _____

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WESLACO, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISIONS REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING COMMISSION CHAIRMAN _____ DATE _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT NO. 9

THIS PLAT IS APPROVED BY THE HIDALGO COUNTY AND CAMERON COUNTIES IRRIGATION DISTRICT # 9.

DATED THIS _____ DAY OF _____, 20__

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9 RIGHT-OF-WAYS AND/OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF H.C.C.I.D. #9.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE SYSTEM TO ANY LOT WITHIN THIS SUBDIVISION, AS WELL, H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITHIN THIS SUBDIVISION. IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- H.C.C.I.D. #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.
- H.C.C.I.D.#9 EXCLUSIVE EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHED, FENCES, SHRUBS, TREES, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

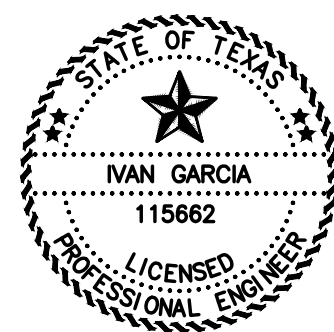
GENERAL MANAGER
HIDALGO & CAMERON COUNTIES IRRIGATION DISTRICT No.9

STATE OF TEXAS – COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

IVAN GARCIA P.E., R.P.L.S.
REG. PROFESSIONAL ENGINEER NO. 115662

DATE _____



STATE OF TEXAS – COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WESLACO AND HIDALGO COUNTY, TEXAS.

IVAN GARCIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496
SURVEY FIRM # 10194027

DATE _____



GENERAL NOTES:

1. FEMA FLOOD ZONE STATEMENT:

THE SUBDIVISION IS IN ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANELS NO.: 480334 0525 B MAP REVISED: JANUARY 2, 1981.

2. SETBACKS:

FRONT: 25.00 FEET OR EASEMENT WHICHEVER IS GREATER
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER

3. NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOTS. COMMERCIAL USE SHALL BE ALLOWED ON LOTS 83, 133 AND 140. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOTS. ANY OTHER USE SHALL REQUIRE HEALTH, PLANNING AND FIRE MARSHALL APPROVAL.
4. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6" ABOVE THE CENTER LINE OF MILE 6 1/2 WEST ROAD, OR 18" ABOVE THE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT, WHICHEVER IS GREATER AS PER THE TABLE BELOW. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.

LOT	FINISHED FLOOR ELEVATION (FT)	LOT	FINISHED FLOOR ELEVATION (FT)	LOT	FINISHED FLOOR ELEVATION (FT)
83	78.65	127	77.15	171	77.30
84	78.65	128	77.25	172	77.65
85	78.65	129	77.25	173	77.65
86	78.40	130	77.25	174	77.65
87	78.40	131	76.90	175	77.65
88	78.40	132	76.90	176	77.65
89	78.30	133	78.02	177	77.65
90	78.30	134	78.10	178	77.30
91	78.30	135	77.85	179	77.30
92	78.50	136	77.85	180	77.30
93	78.50	137	77.67	181	77.10
94	78.50	138	77.67	182	77.10
95	78.35	139	77.67	183	77.10
96	78.35	140	77.67	184	76.75
97	78.35	141	77.30	185	76.75
98	77.65	142	77.30	186	76.75
99	77.65	143	77.30	187	76.55
100	77.45	144	76.90	188	76.55
101	77.35	145	76.90	189	76.55
102	77.10	146	76.90	190	76.55
103	77.10	147	76.65	191	76.30
104	77.10	148	76.65	192	76.75
105	77.45	149	76.65	193	76.50
106	77.45	150	77.30	194	76.50
107	77.25	151	77.30	195	77.00
108	77.25	152	77.30	196	77.00
109	77.00	153	76.90	197	77.25
110	77.00	154	76.90	198	77.25
111	76.50	155	76.90	199	77.25
112	76.50	156	76.65	200	77.45
113	76.75	157	76.65	201	77.45
114	76.75	158	76.65	202	77.10
115	76.75	159	76.65	203	77.10
116	77.00	160	76.90	204	77.10
117	77.00	161	77.25	205	77.10
118	77.00	162	76.55	206	77.00
119	76.50	163	76.55	207	77.65
120	76.50	164	76.75	208	77.65
121	76.50	165	76.75	209	77.65
122	76.30	166	77.10	210	78.35
123	76.30	167	77.10		
124	76.30	168	77.10		
125	77.15	169	77.30		
126	77.15	170	77.30		

5. THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:
-->B.M. NO. 1-- ELEV. **77.83** N.G.V.D. 88. DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND AT THE INTERSECTION BETWEEN THE CENTERLINE OF MILE 6 1/2 WEST ROAD AND MILE 5 1/2 WEST ROAD. GPS POINT, GRID COORDINATES N **16574070.7400**, E **1143804.3160**.
-->B.M. NO. 2-- ELEV. **77.05** N.G.V.D. 88. DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND ON THE CENTERLINE OF MILE 6 1/2 WEST ROAD AT THE NORTHWEST CORNER OF THIS SUBDIVISION. GPS POINT, GRID COORDINATES N **16573121.5494**, E **1143502.4647**.
-->B.M. NO. 3-- ELEV. **81.01** N.G.V.D. 88. DESCRIPTIONS: COTTON-PICKER-SPINDLE FOUND AT THE INTERSECTION BETWEEN THE CENTERLINE OF 18TH STREET AND MILE 6 1/2 WEST ROAD (AKA MILANOS ROAD). GPS POINT, GRID COORDINATES N **16576710.1100**, E **1143549.0630**.

6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND CITY OF WESLACO REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF **104,544** CUBIC FEET (**2.40** ACRE-FEET) OF STORM WATER RUNOFF. DETENTION FOR THIS SUBDIVISION WERE ALREADY ACCOUNTED FOR IN THE CONSTRUCTION OF MILANOS ESTATES PHASE I SUBDIVISION, AS SHOWN ON THE APPROVED MILANOS ESTATES SUBDIVISION PHASES I, II, III, AND IV MASTER PLAN DRAINAGE REPORT. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE THAT THE DETAINED VOLUME SHOWN ABOVE IF IT DETERMINES AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ABOVE DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE ENGINEER CONSIDERED FOR HIS CALCULATION OF THIS SUBDIVISION. ALL DETENTION WILL BE PLACED WITHIN MILANOS ESTATES PHASE I DESIGNATED DETENTION AREA.

7. EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
8. ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER CERTIFIES THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.

9. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
10. THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.

11. A 4 FT. SIDEWALK IS REQUIRED ALONG ALL STREETS UPON THE ISSUANCE OF A BUILDING PERMIT. ON CORNER LOTS, THE OWNER SHALL BE RESPONSIBLE FOR THE SIDEWALK ALONG ALL STREETS ADJOINING THE LOT.

12. ALL SUBDIVISION BOUNDARY LOT CORNERS HAVE CONCRETE MONUMENTS AND ALL LOT CORNERS HAVE CAPPED IRON ROD MARKERS.
13. CORNERS LOT DRIVEWAYS SHOULD BE CONSTRUCTED AT FURTHEST POSSIBLE POINT FROM INTERSECTIONS AND IN COMPLIANCE WITH ACCESS MANAGEMENT ORDINANCE.

14. STREETLIGHT MUST BE LOCATED EVERY 300 FEET.
15. NO INDIVIDUAL LOT DRIVEWAY ACCESS WILL BE ALLOWED FROM MILE 6 1/2 WEST ROAD (AKA MILANOS ROAD) TO LOTS 83, 133 AND 140. A 24 FOOT SHARED DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED BY DEVELOPER BETWEEN LOTS 134 THROUGH 139 TO PROVIDE INGRESS AND EGRESS FROM MILE 6 1/2 WEST ROAD (AKA MILANOS ROAD).

16. AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S).

17. NO PERMANENT STRUCTURES ARE PERMITTED OVER ANY EASEMENTS. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES AND OTHER PLANTINGS (EXCEPT LOW, LESS AN 18" MATURE HEIGHTS, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT)

18. THE FUTURE DEVELOPMENT OF MILANOS ESTATES PHASE 3 DRAINAGE DETENTION WILL BE TYING INTO MILANOS ESTATES PHASE 2 AND ULTIMATELY OUTFALLING INTO THE DETENTION POND OF MILANOS ESTATES PHASE 1.

19. ACCESS EASEMENTS SHALL REMAIN FREE AND CLEAR OF ANY OBSTRUCTIONS SO THAT INCOMING AND OUTGOING TRAFFIC MAY TRAVEL FREELY. THE INDIVIDUAL LOT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PAVING AND DRAINAGE IMPROVEMENTS WITHIN THE ROAD ACCESS EASEMENT WITH HIS RESPECTIVE SECTION.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

INDEX TO SHEETS OF MILANOS ESTATES PHASE II SUBDIVISION

SHEET 1: HEADING; INDEX; LOCATION MAP; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION.
SHEET 2: PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#9, H.C.D.D. No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.
SHEET 3: SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE LOCATION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.
SHEET 4: WATER LAYOUT, INCLUDING PROPOSED FIRE HYDRANTS, AND WATER SERVICE LOCATION; SUBDIVIDER CERTIFICATION.
SHEET 5: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.
SHEET 6: PAVING & DRAINAGE DETAIL SHEET
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET

ISSUED FOR:
FINAL

PLAT SHEET NOTES MILANOS ESTATES PHASE II SUBDIVISION HIDALGO COUNTY

ENGINEER:
IVAN GARCIA P.E., R.P.L.S.

SURVEYOR:
IVAN GARCIA P.E., R.P.L.S.

CHECKED:
IVAN GARCIA P.E., R.P.L.S.

DRAWN:
OSCAR ALARCON JR.

SCALE:
AS SHOWN

DATE:
JANUARY 4, 2024

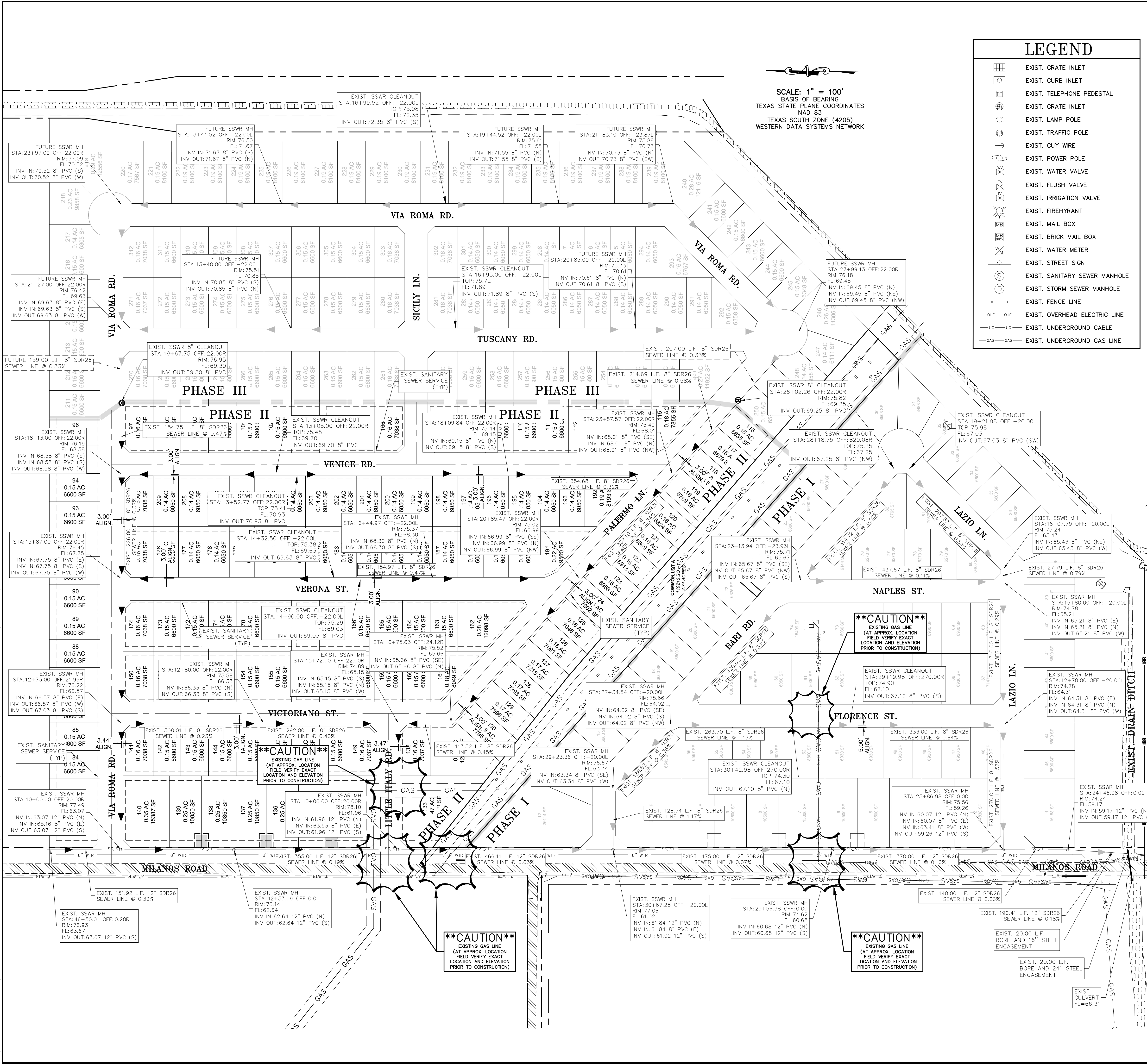
PROJECT:
SUB 19 028

REVISIONS:

PAGE NO.
2-OF-7

Y:\DCS SUBDIVISIONS\2019\SUB 19 028 - SUB 19 028 - MILANOS ESTATES\DWG\PHASE 2\DWG\SUB 19 028_SHT 2 - PHASE II.DWG RIDEEL.TX 2/13/2024 4:52 PM

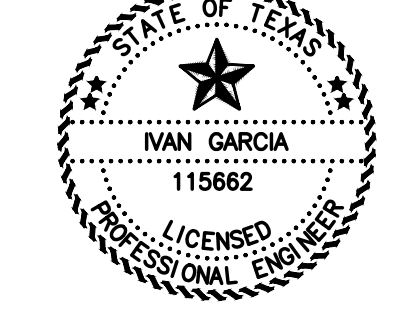
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SCALE: 1" = 100'
BASIS OF BEARING
TEXAS STATE PLANE COORDINATES
NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK

LEGEND table with symbols for EXIST. GRATE INLET, EXIST. CURB INLET, EXIST. TELEPHONE PEDESTAL, EXIST. LAMP POLE, EXIST. TRAFFIC POLE, EXIST. GUY WIRE, EXIST. POWER POLE, EXIST. WATER VALVE, EXIST. FLUSH VALVE, EXIST. IRRIGATION VALVE, EXIST. FIREHYDRANT, EXIST. MAIL BOX, EXIST. BRICK MAIL BOX, EXIST. WATER METER, EXIST. STREET SIGN, EXIST. SANITARY SEWER MANHOLE, EXIST. STORM SEWER MANHOLE, EXIST. FENCE LINE, EXIST. OVERHEAD ELECTRIC LINE, EXIST. UNDERGROUND CABLE, EXIST. UNDERGROUND GAS LINE.

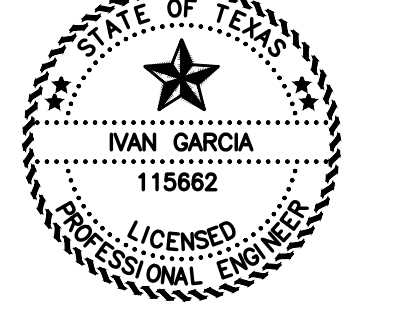
ENGINEERING REPORT FOR MILANOS ESTATES PHASE II
BY IVAN GARCIA, P.E., R.P.L.S.
LEGAL DESCRIPTION
PROPOSED USE
WATER SUPPLY AND DISTRIBUTION
SEWERAGE FACILITIES DESCRIPTION, COST AND OPERABILITY DATA
ENGINEER CERTIFICATION



REPORT DE INGENIERIA DE MILANOS ESTATES PHASE II
POR: IVAN GARCIA, P.E., R.P.L.S.
ABASTECIMIENTO DE AGUA POTABLE: DESCRIPCION, COSTO, Y FECHA DE OPERABILIDAD
LA SUBDIVISION MILANOS ESTATES PHASE II RECIBIRA SU PROVISION DE AGUA DE LA CIUDAD DE WESLACO...

DESARROLLO DEL SISTEMA/SERVICIO DE AGUA POTABLE DE MILANOS ESTATES PHASE II
EL DRENAJE DE MILANOS ESTATES PHASE II SERA TRATADO POR UN SISTEMA DE DRENAJE SANITARIO QUE CONSISTE DE UN 2" SERVICIO DE DRENAJE PARA CADA LOTE...

CERTIFICACION
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS REGLAS Y ORDENANZAS DE LA CIUDAD DE WESLACO...



INDEX TO SHEETS OF MILANOS ESTATES PHASE II SUBDIVISION table with columns for SHEET NO., SHEET TITLE, and SHEET DESCRIPTION.

Vertical title block containing: RIO DELTA ENGINEERING, FIRM REGISTRATION No. F-7628, SURVEY FIRM No. 10194027, 921 S. 10TH AVENUE EDINBURG, TEXAS 78539, HIDAIGO COUNTY, OVERALL SANITARY SEWER LAYOUT, MILANOS ESTATES PHASE II SUBDIVISION, HIDAIGO COUNTY, SUB 19 028, and the word 'FINAL'.

Y:\RDE SUBDIVISIONS 2019\SUB 19 028 - MILANOS ESTATES\DWG\PHASE 2 DWMS\SUB 19 028-SHT 13 OVERALL WTR - PHASE II.DWG R10DELTA 3/13/2024 7:03 PM

SCALE: 1" = 100'
BASIS OF BEARING
TEXAS STATE PLANE COORDINATES
NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK

SUBDIVIDER CERTIFICATION

1.- BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

1.- I, GARY FRISBY, SUBDIVIDER OF MILANOS ESTATES PHASE II HEREBY CERTIFY SEWER PERMITS ARE REQUIRED PRIOR TO BUILDING ON ANY LOT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT TO HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

GARVC PROPERTIES LP
GARY FRISBY, PRESIDENT
GARVC MGMT, INC
IT'S SOLE GENERAL PARTNER

STATE OF TEXAS
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KNOWN TO ME BY THE PERSON (S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____ 20____

NOTARY PUBLIC
MY COMSTUAT EXPIRES _____

LEGEND

- EXIST. GRATE INLET
- EXIST. CURB INLET
- EXIST. TELEPHONE PEDESTAL
- EXIST. GATE INLET
- EXIST. LAMP POLE
- EXIST. TRAFFIC POLE
- EXIST. GUY WIRE
- EXIST. POWER POLE
- EXIST. WATER VALVE
- EXIST. FLUSH VALVE
- EXIST. IRRIGATION VALVE
- EXIST. FIREHYDRANT
- EXIST. MAIL BOX
- EXIST. BRICK MAIL BOX
- EXIST. WATER METER
- EXIST. STREET SIGN
- EXIST. SANITARY SEWER MANHOLE
- EXIST. STORM SEWER MANHOLE
- EXIST. FENCE LINE
- EXIST. OVERHEAD ELECTRIC LINE
- EXIST. UNDERGROUND CABLE
- EXIST. UNDERGROUND GAS LINE

RIO DELTA ENGINEERING
FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083

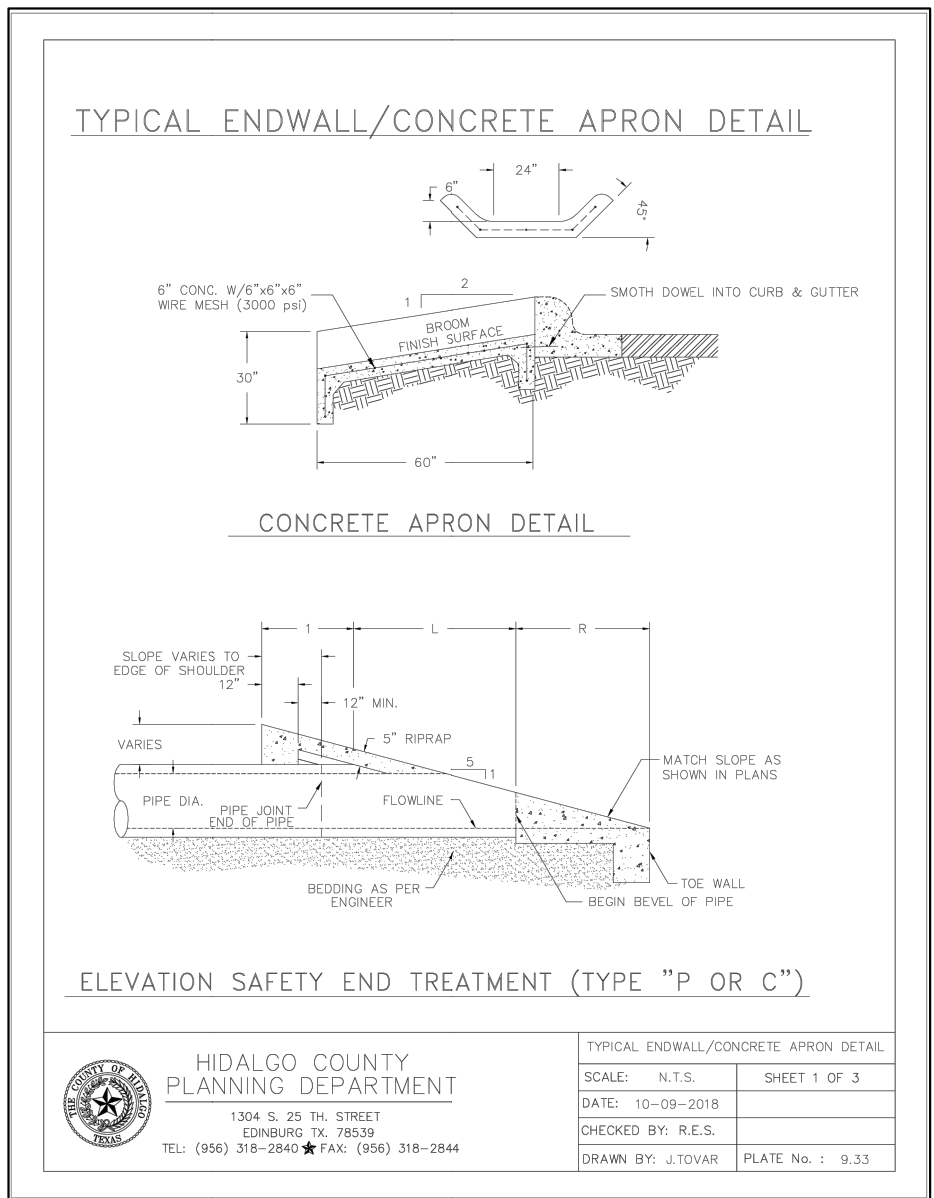
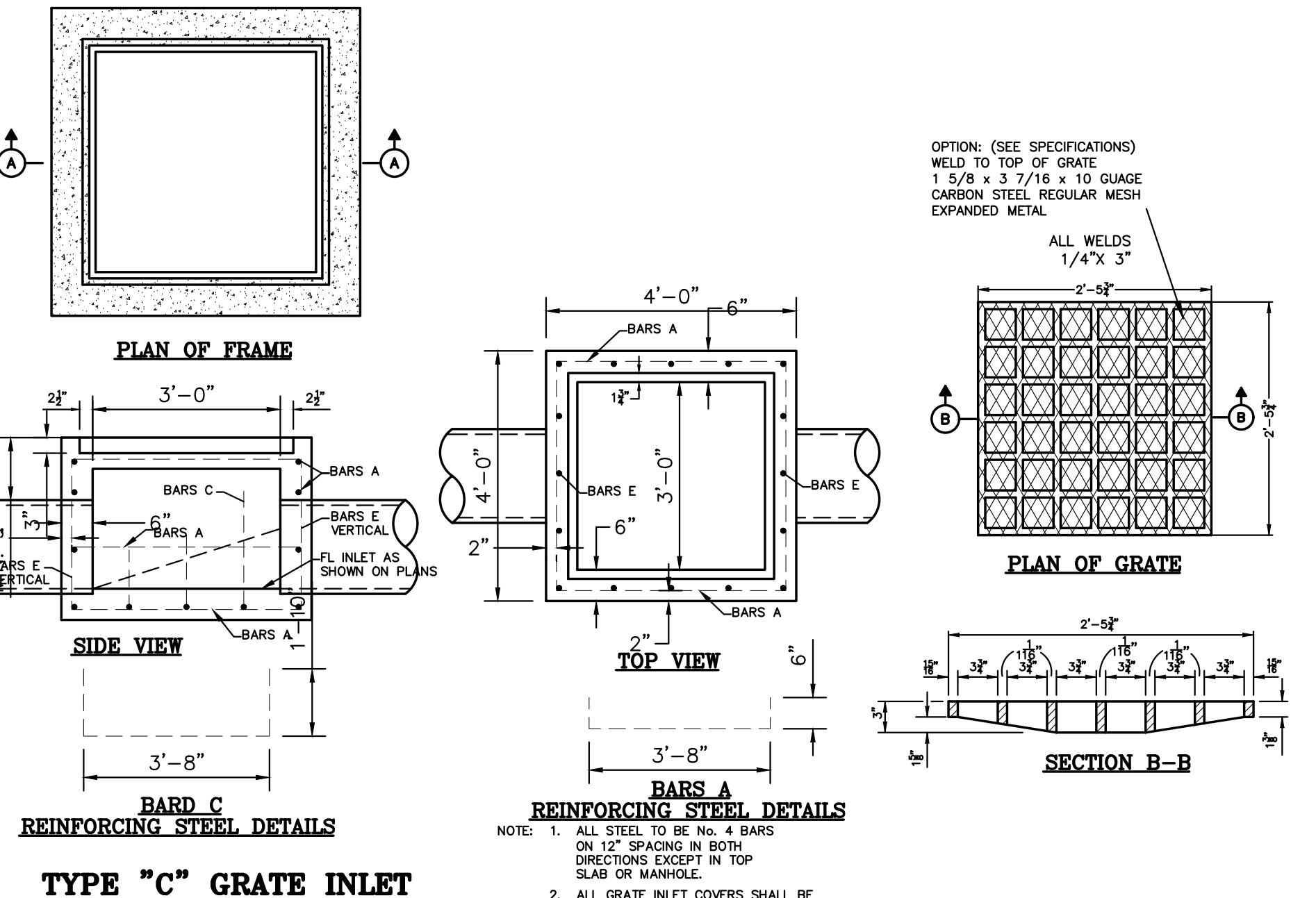
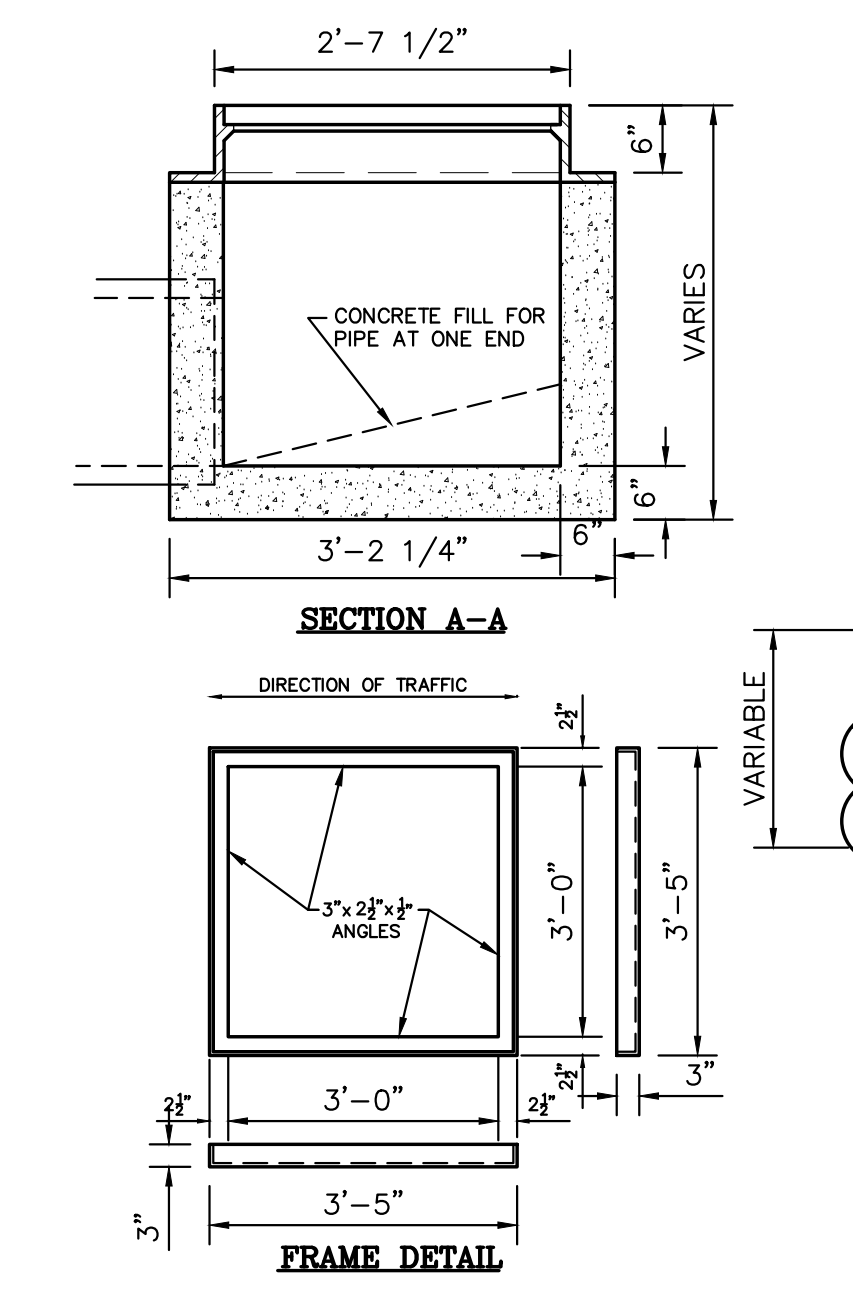
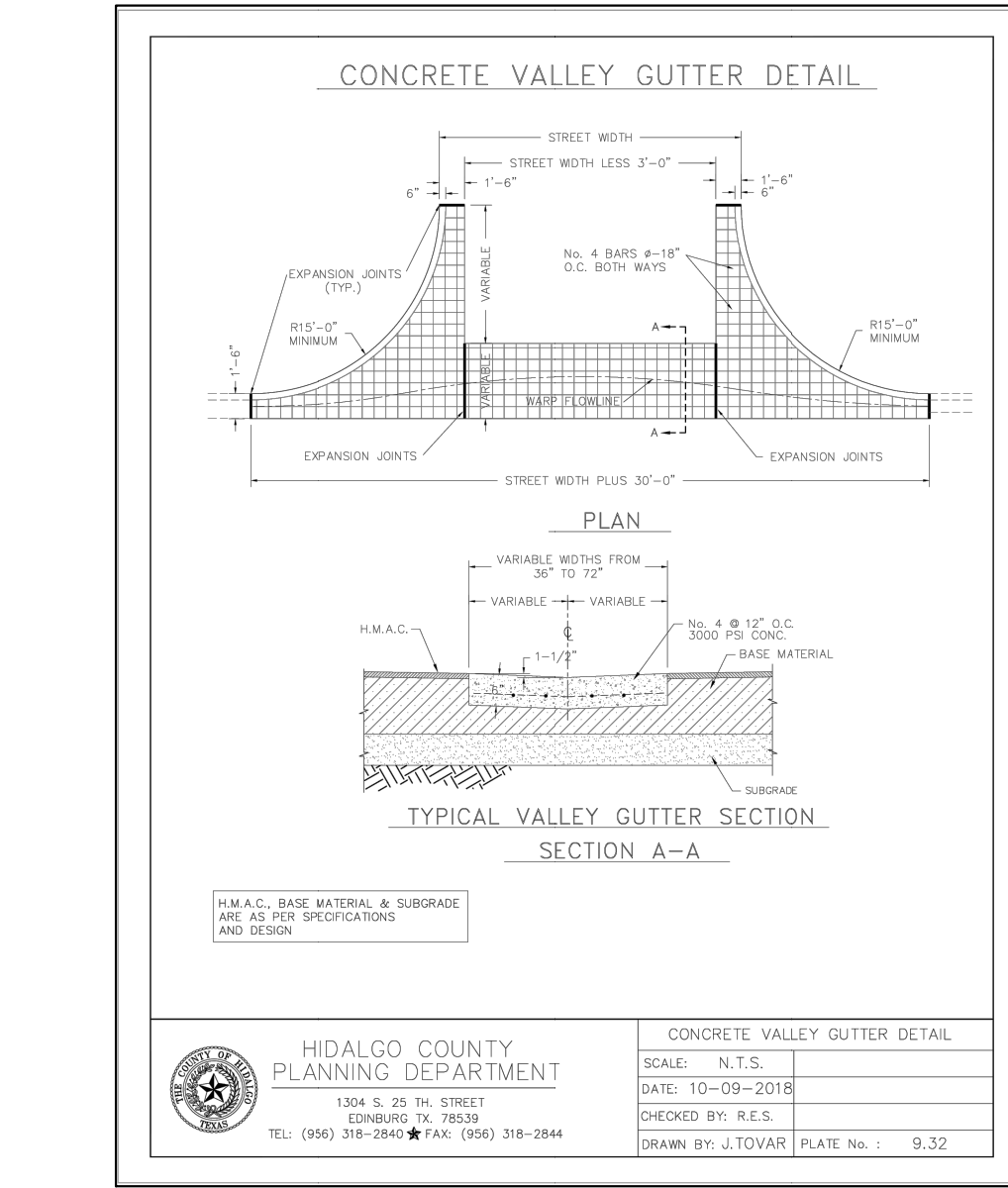
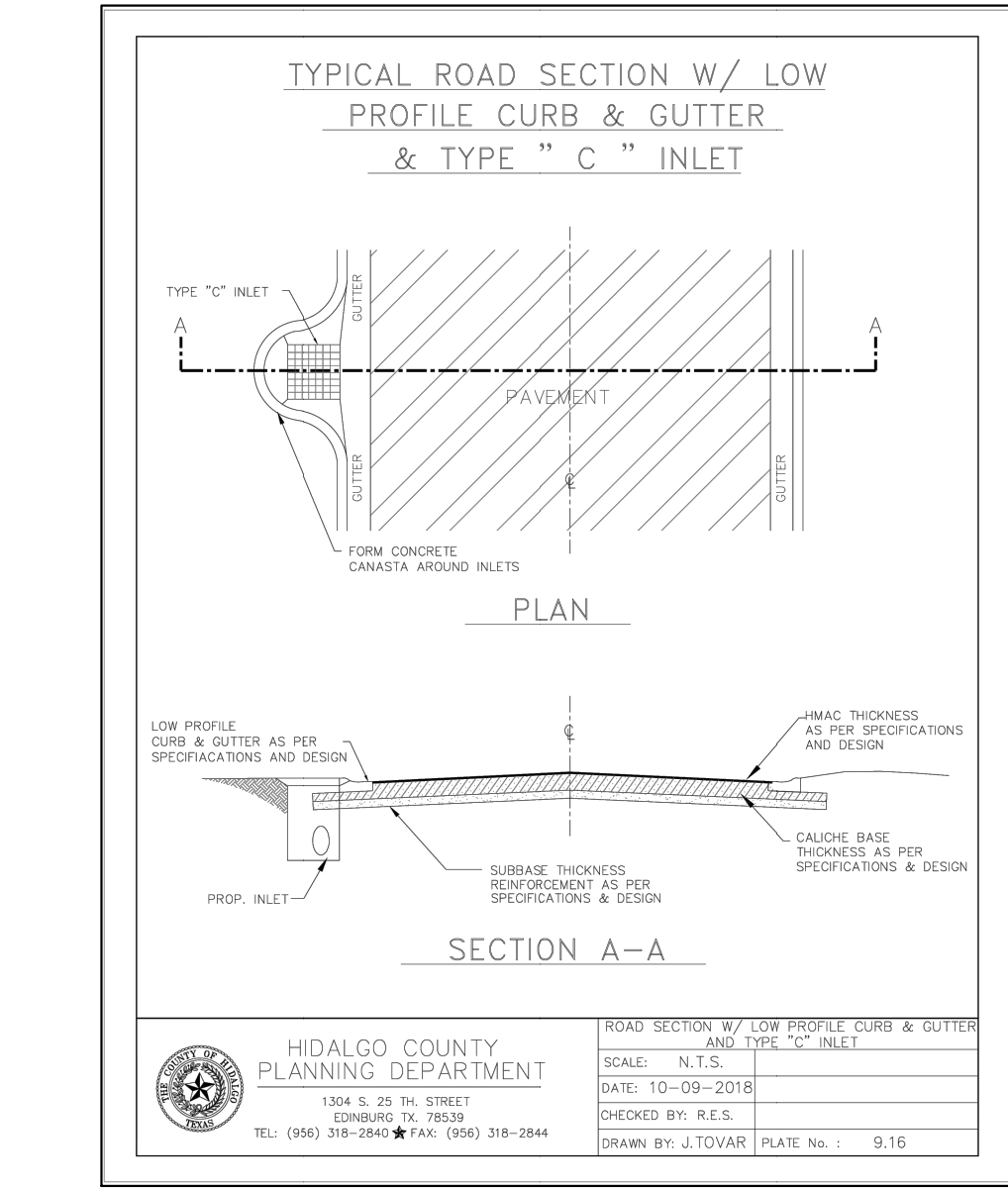
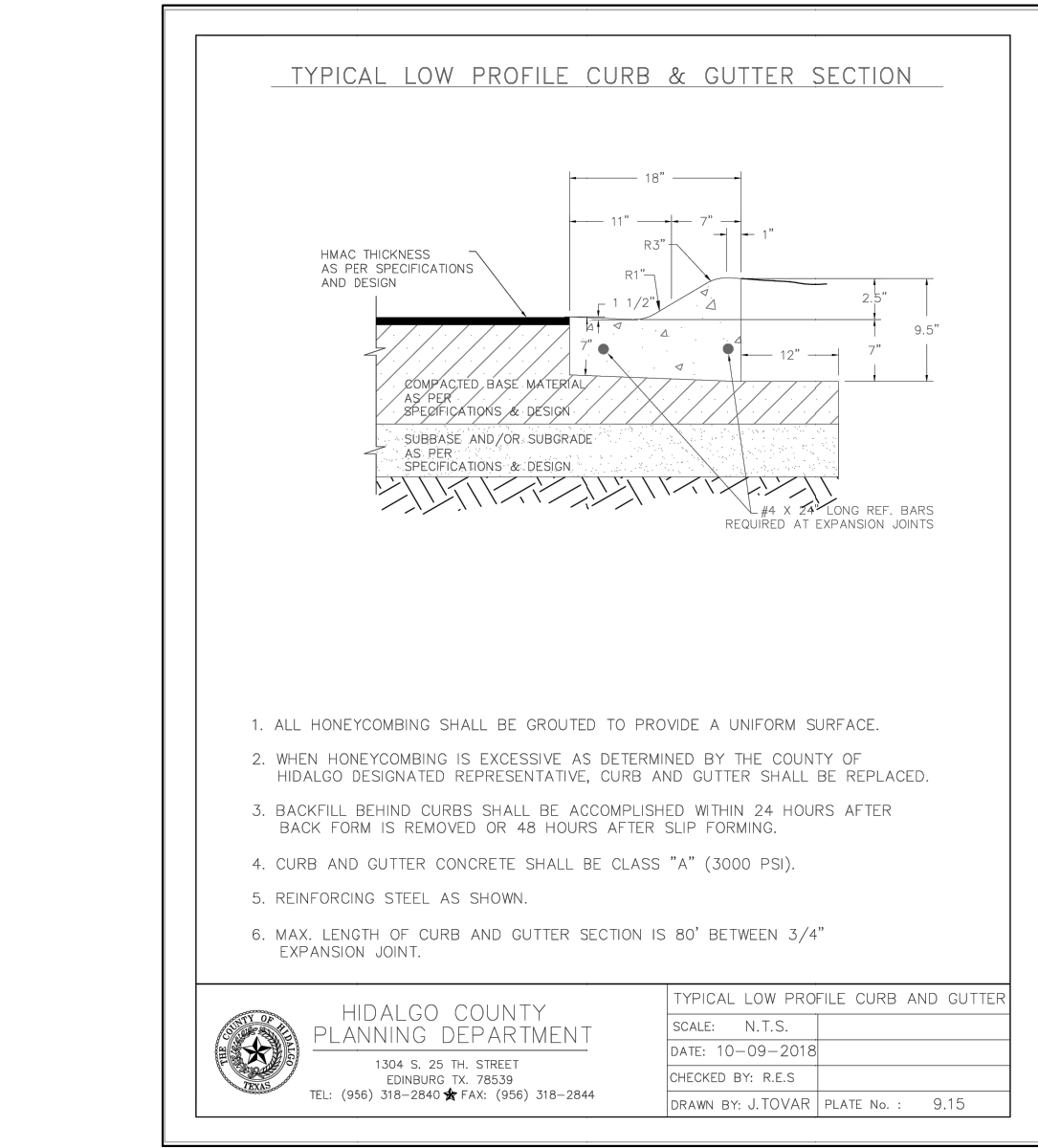
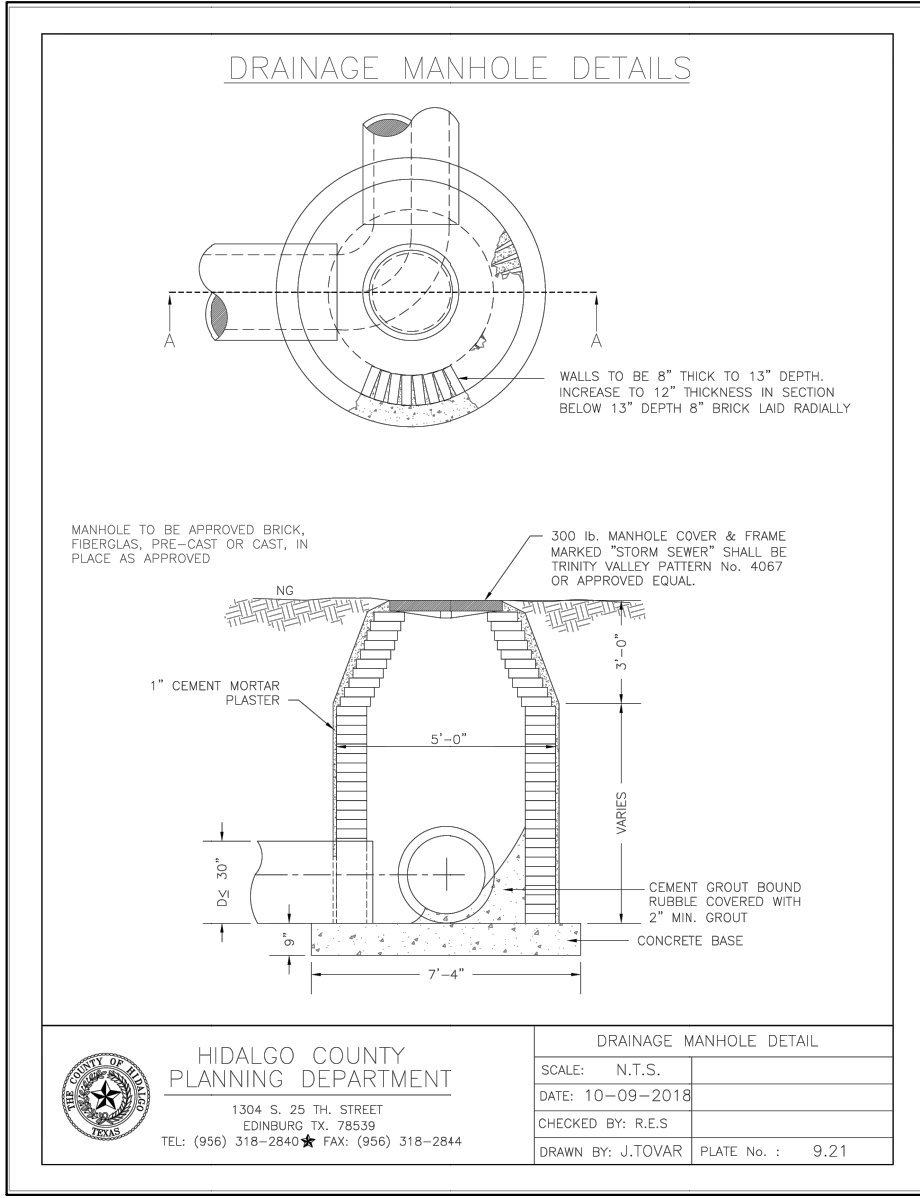
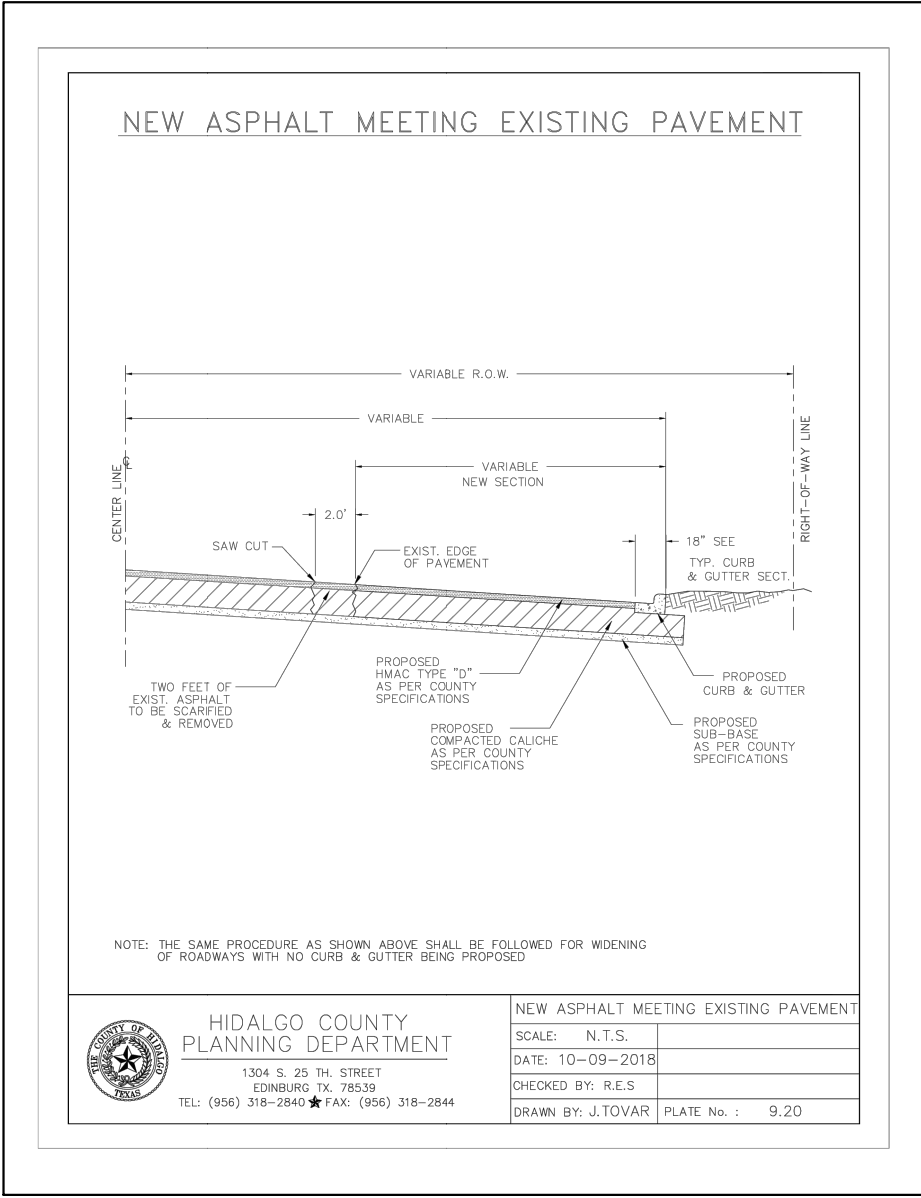
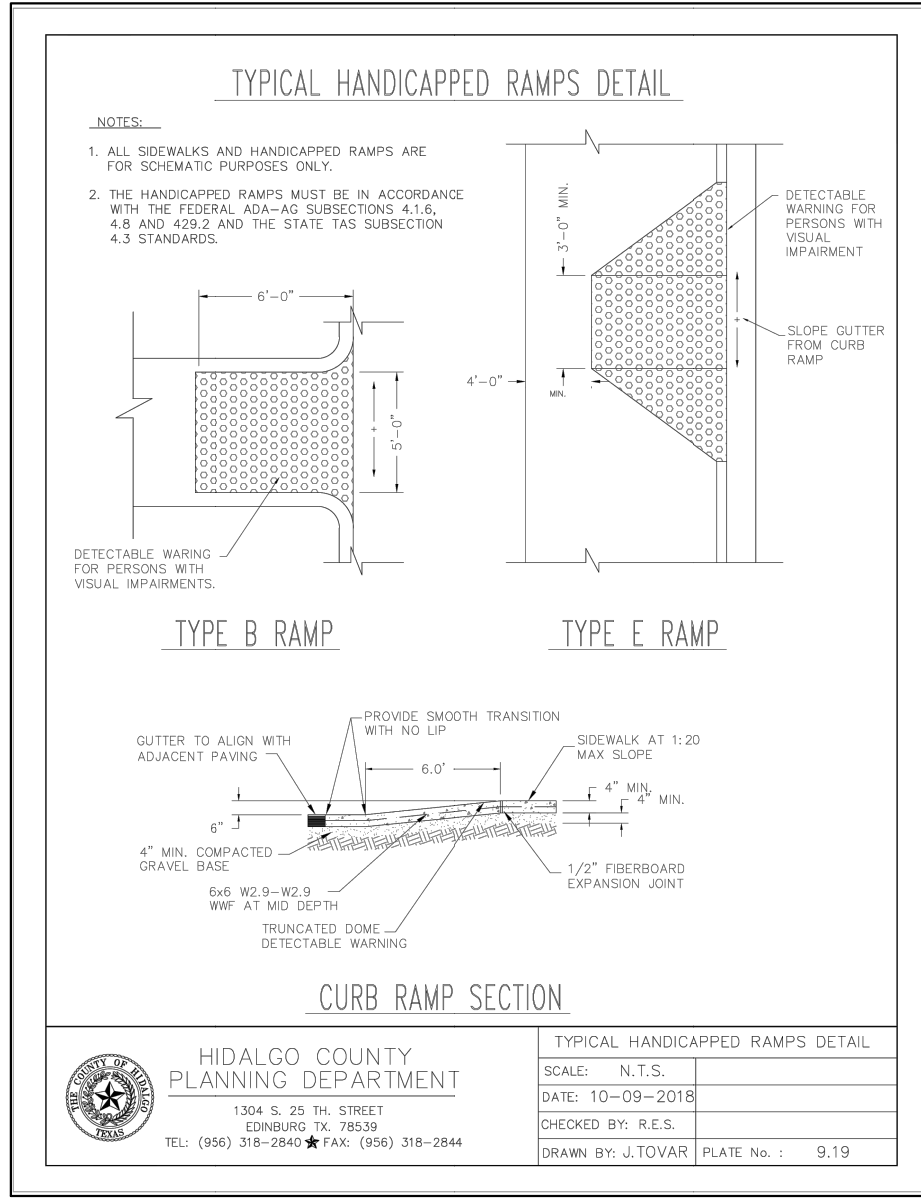
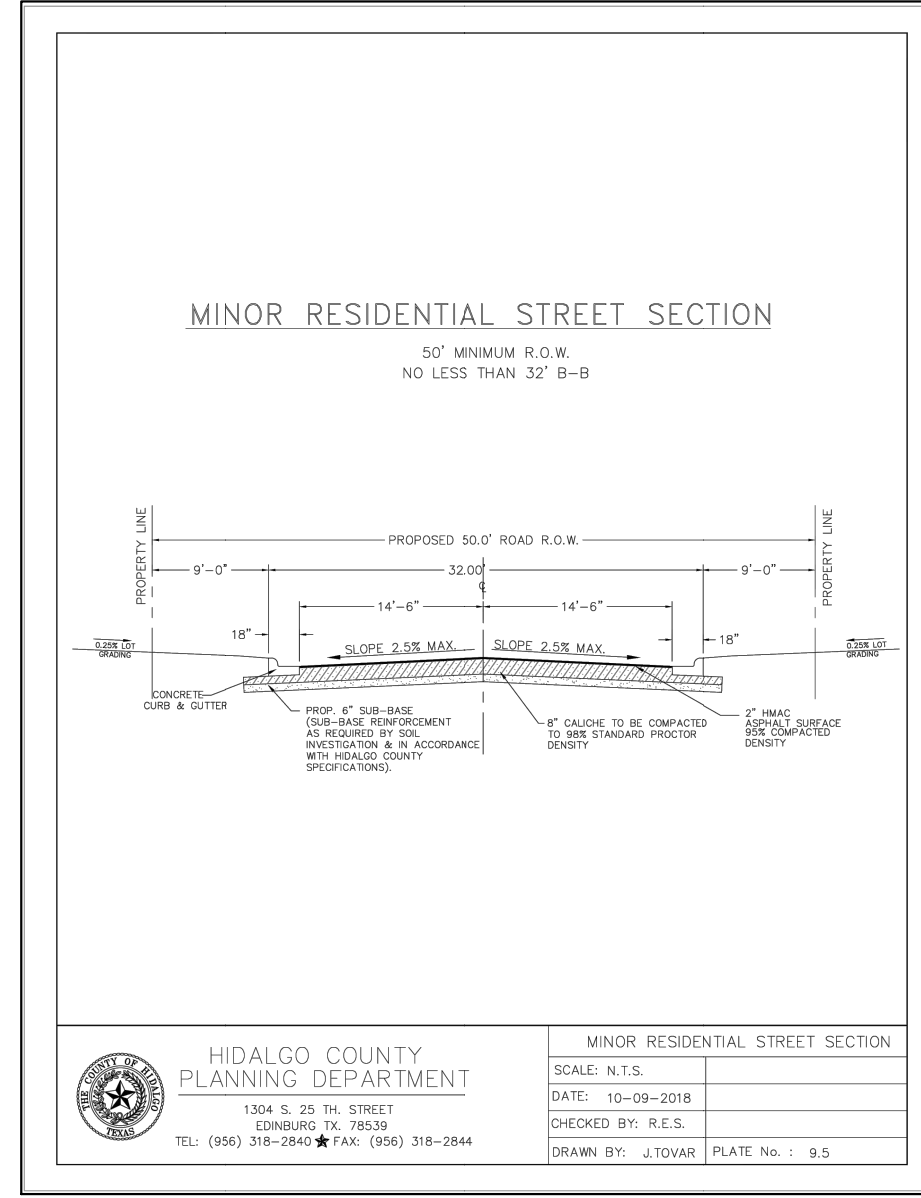
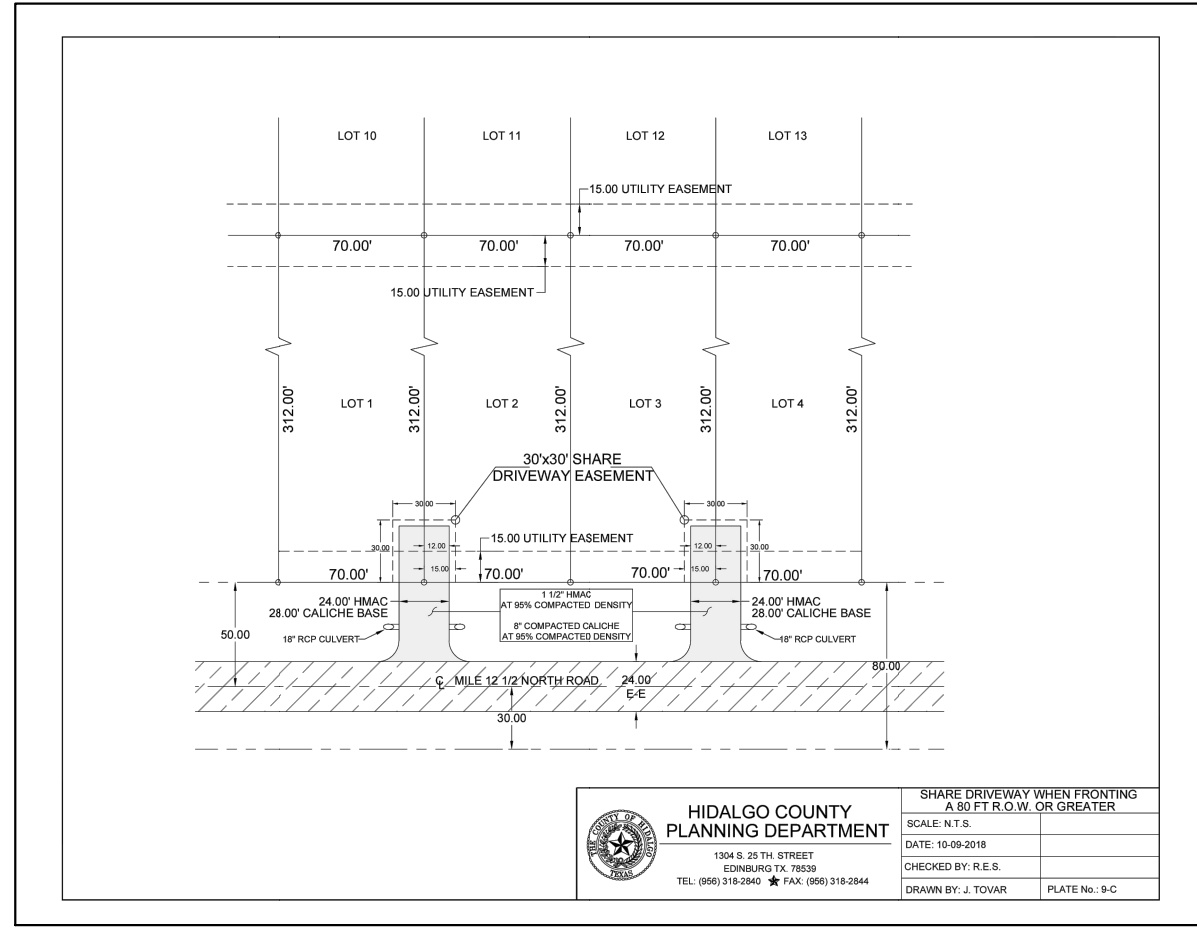
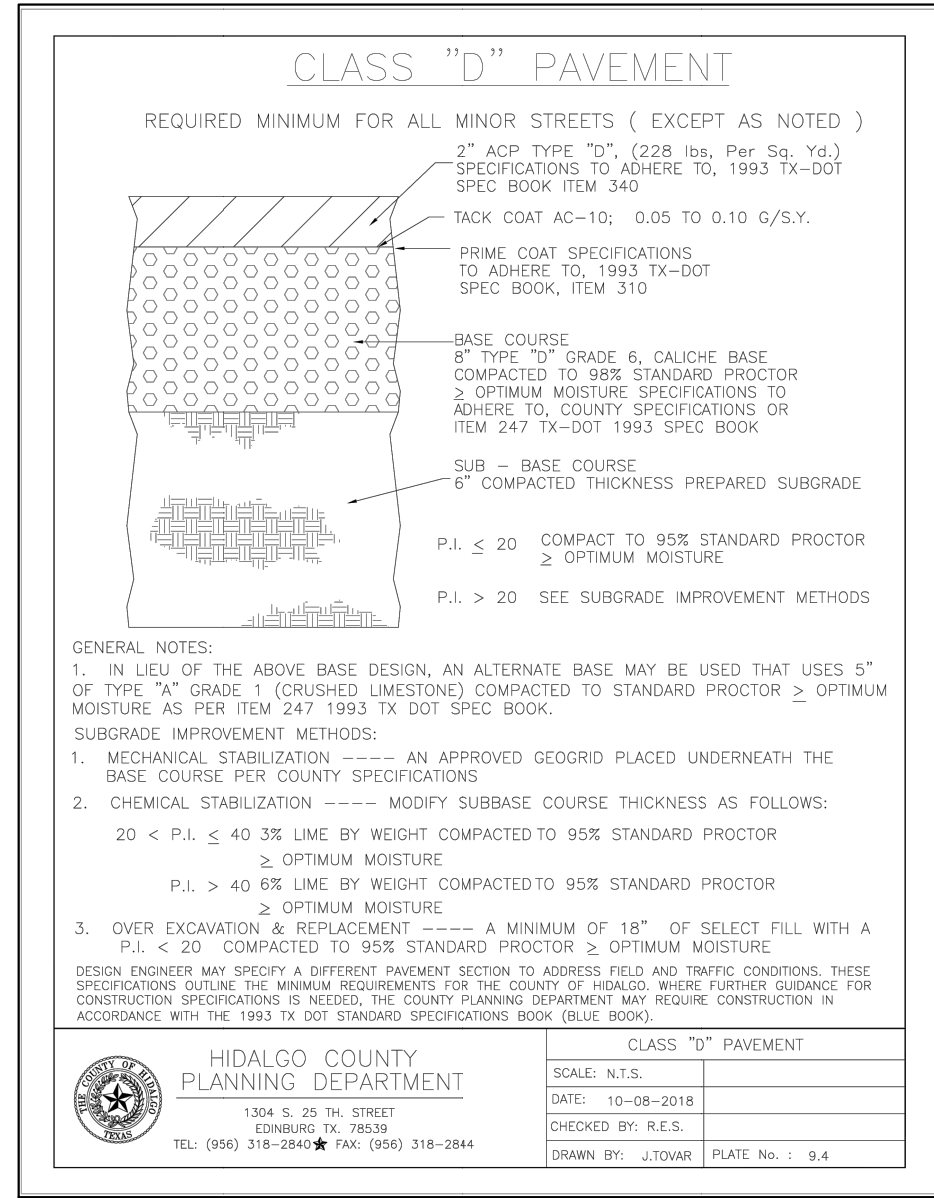


ISSUED FOR:
FINAL

OVERALL WATER LAYOUT
MILANOS ESTATES PHASE II SUBDIVISION
HIDALGO COUNTY

INDEX TO SHEETS OF MILANOS ESTATES PHASE II SUBDIVISION	
SHEET 1: COVER SHEET	ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SHEET 2: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT, DESCRIPTION (METES AND BOUNDS), SURVEYOR'S CERTIFICATION.	SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
SHEET 2A: PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#9, H.C.D.D.#1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.	CHECKED: IVAN GARCIA P.E. R.P.L.S.
SHEET 3: SANITARY SEWER LAYOUT, INCLUDING EXIST. MANHOLES, AND SANITARY SEWER SERVICE LOCATION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	DRAWN: OSCAR ALARCON JR.
SHEET 4: WATER LAYOUT, INCLUDING EXIST. FIRE HYDRANTS, AND WATER SERVICE LOCATION; SUBDIVIDER CERTIFICATION.	SCALE: 1"=100'
SHEET 5: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	DATE: MARCH 12, 2024
SHEET 6: PAVING & DRAINAGE DETAIL SHEET	PROJECT: SUB 19 028
SHEET 7: WATER & SANITARY SEWER DETAIL SHEET	REVISIONS:
	PAGE NO. SHT 4

Y:\RDE SUBDIVISIONS 2019\SUB 19_028 - SUB19_030 - MILANOS ESTATES\DWG\PHASE 2\DWG\SUB 19_028_SHT 27_TYPICAL DETAILS.dwg R10DELTA 3/13/2024 7:08 PM



TYPICAL ENDWALL/CONCRETE APRON DETAIL

SAFETY END TREATMENT PIPE LENGTHS

PIPE DIA (IN)	3:1	4:1	5:1	6:1
12"	2'-0"	2'-8"	3'-4"	4'-0"
15"	2'-5"	2'-8"	4'-2"	5'-0"
18"	3'-0"	4'-8"	5'-10"	7'-0"
24"	5'-1 1/2"	6'-10"	8'-8 1/2"	10'-0"
30"	6'-5"	8'-0"	11'-2"	13'-0"
36"	8'-0"	11'-4"	14'-2"	17'-0"
42"	10'-1 1/2"	13'-8"	18'-10 1/2"	20'-0"
48"	11'-8"	15'-8"	19'-7"	22'-0"

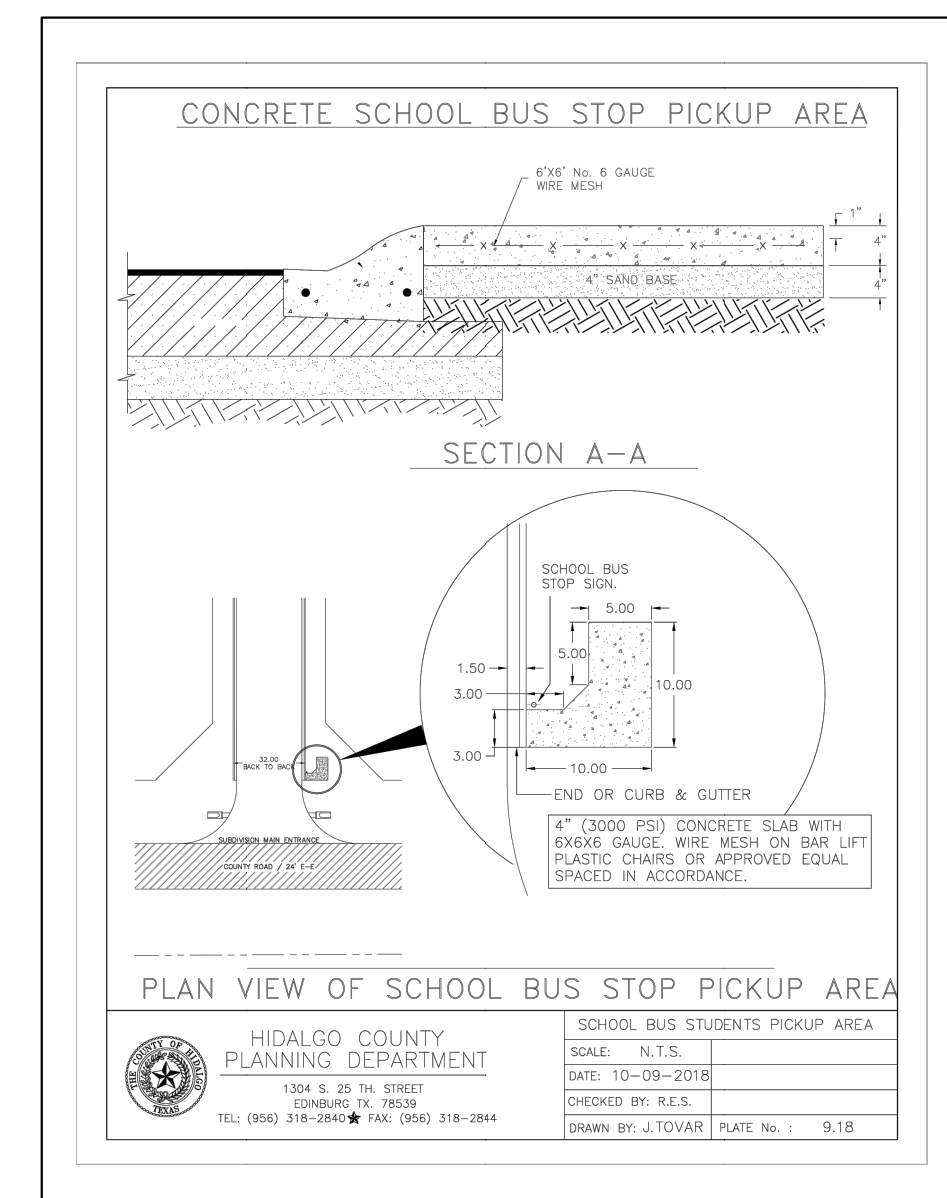
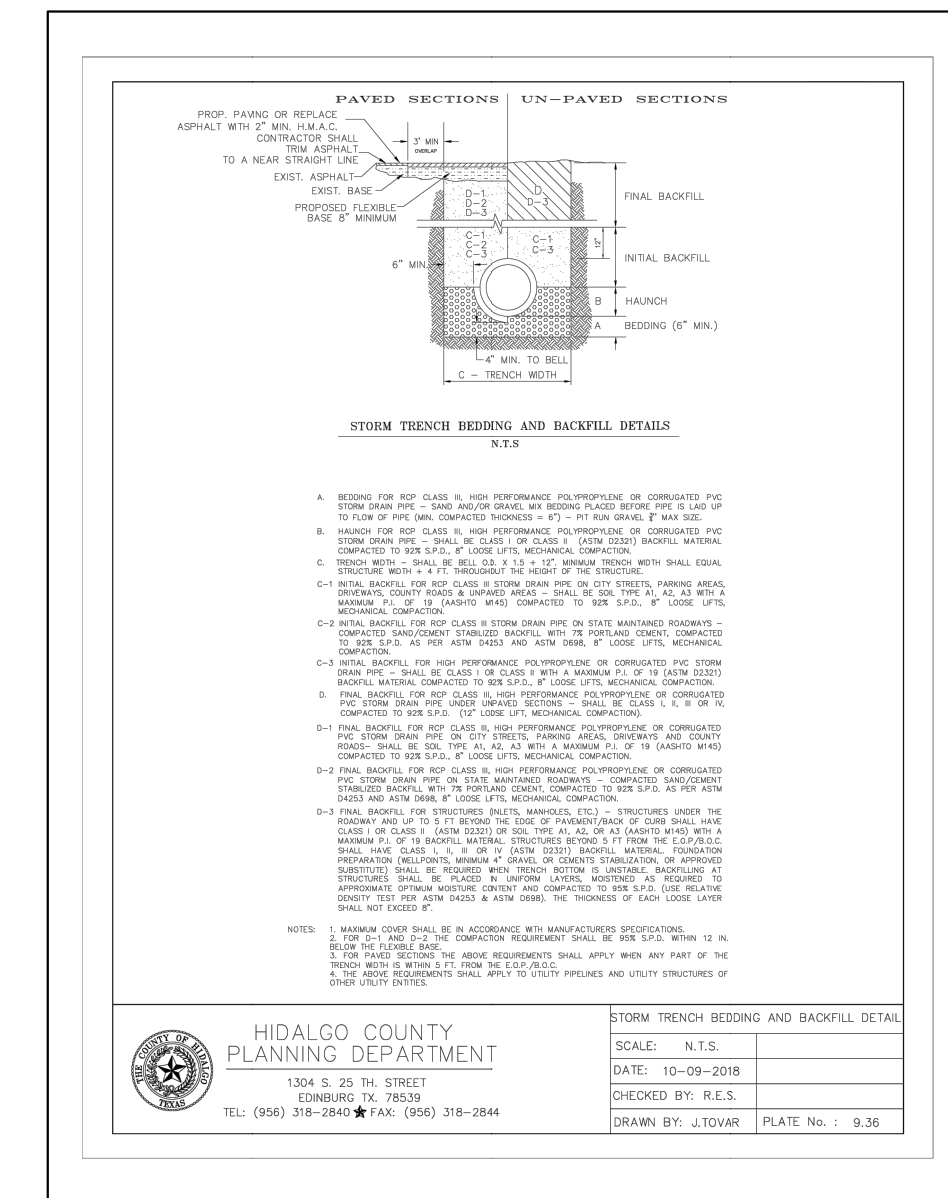
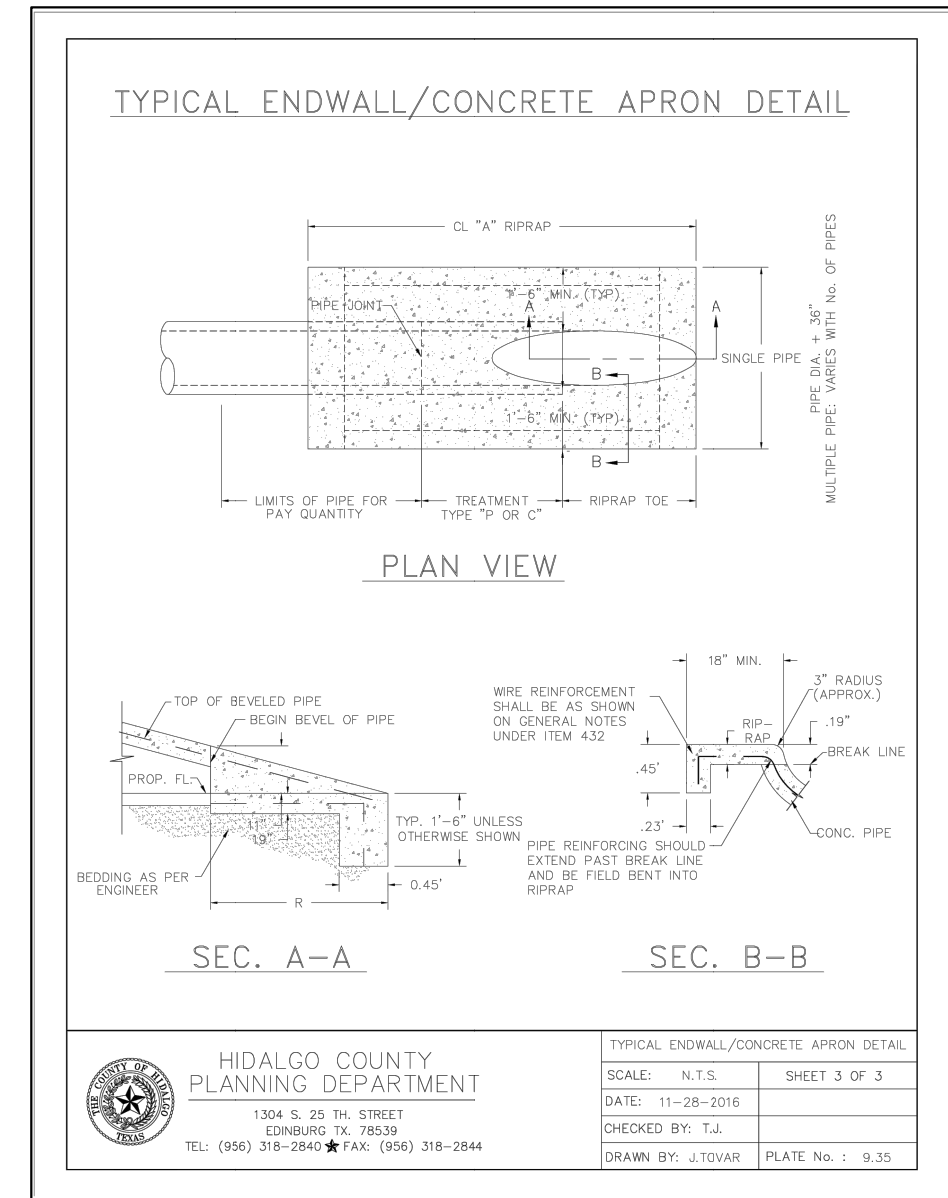
ESTIMATED RIPRAP CL "A" VOLUME (CY)

PIPE DIA (IN)	3:1	4:1	5:1	6:1
12"	.88	1.11	1.34	1.57
15"	.88	1.23	1.49	1.75
18"	1.08	1.38	1.64	1.93
24"	1.29	1.63	1.97	2.32
30"	1.50	1.91	2.32	2.73
36"	1.73	2.21	2.69	3.17
42"	1.95	2.50	3.00	3.60
48"	2.18	2.80	3.42	4.05

RIPRAP TOP LENGTHS

SLOPE	"4"	"6"
3:1	2'-0"	1'-0"
4:1	2'-8"	2'-0"
5:1	4'-2"	2'-11"
6:1	5'-6"	3'-6"

HIDALGO COUNTY PLANNING DEPARTMENT
1304 S. 25 TH STREET
EDINBURG, TX, 78039
TEL: (956) 318-2844 FAX: (956) 318-2844
SCALE: N.T.S.
DATE: 10-09-2018
CHECKED BY: R.E.S.
DRAWN BY: J.TOVAR PLATE No.: 9.26



INDEX TO SHEETS OF MILANOS ESTATES PHASE II SUBDIVISION

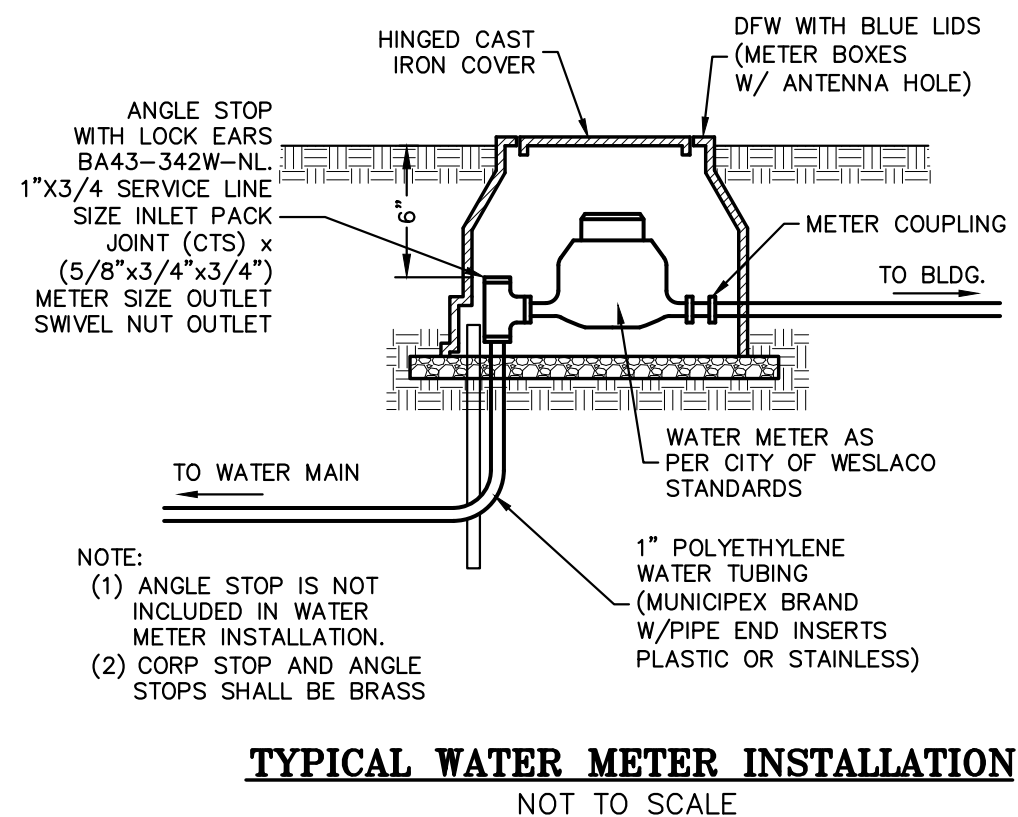
SHEET NO.	TITLE	DATE
1	COVER SHEET	
2	HEADING; INDEX; LOCATION MAP; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT, DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION.	
2A	PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D.#99, H.C.I.D.# 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATION.	
3	SANITARY SEWER LAYOUT, INCLUDING PROPOSED MANHOLES, AND SANITARY SEWER SERVICE, LOCATION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION.	
4	WATER LAYOUT, INCLUDING PROPOSED FIRE HYDRANTS, AND WATER SERVICE LOCATION; SUBDIVIDER CERTIFICATION.	
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6	PAVING & DRAINAGE DETAIL SHEET	
7	WATER & SANITARY SEWER DETAIL SHEET	

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
DRAWN: OSCAR ALARCON JR.
DATE: MARCH 12, 2024
PROJECT: SUB 19_028
REVISIONS:
PAGE NO. SHT 6

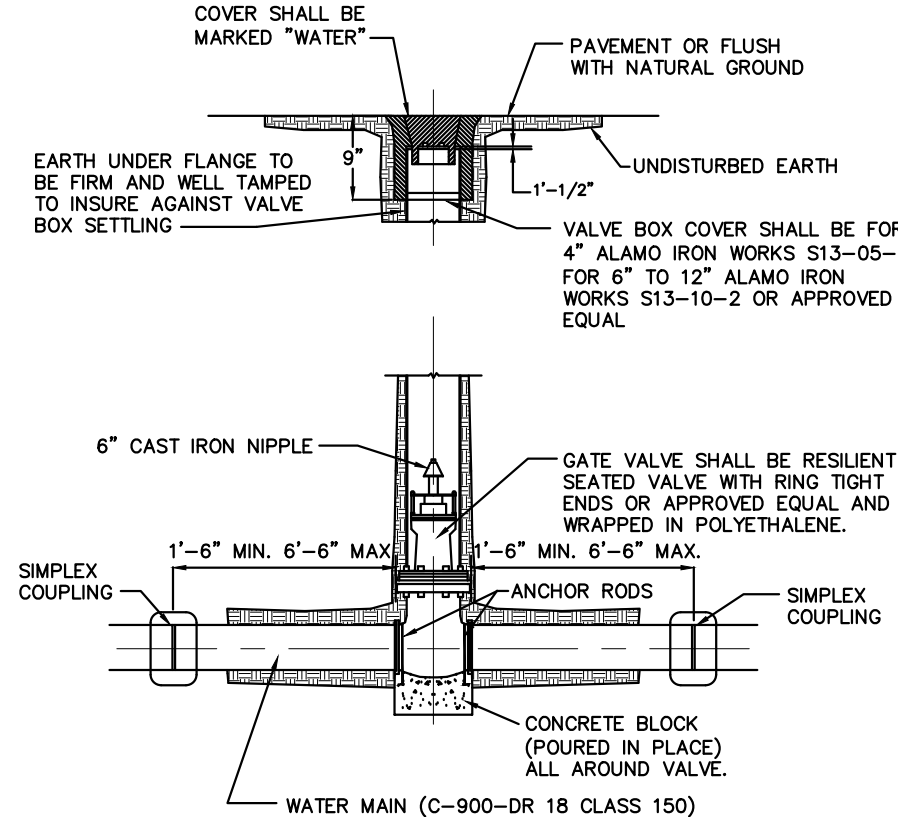
RIO DELTA ENGINEERING
FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083

ISSUED FOR: FINAL

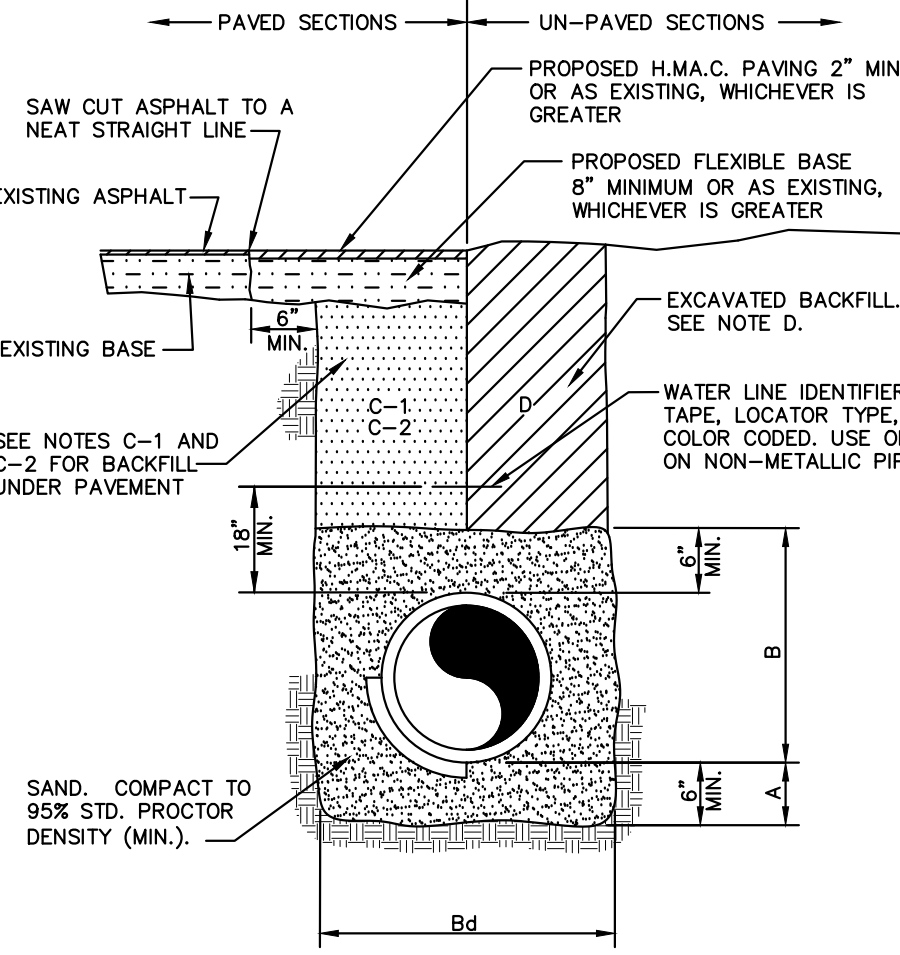
TYPICAL DETAIL- PHASE II
MILANOS ESTATES PHASE II SUBDIVISION
HIDALGO COUNTY



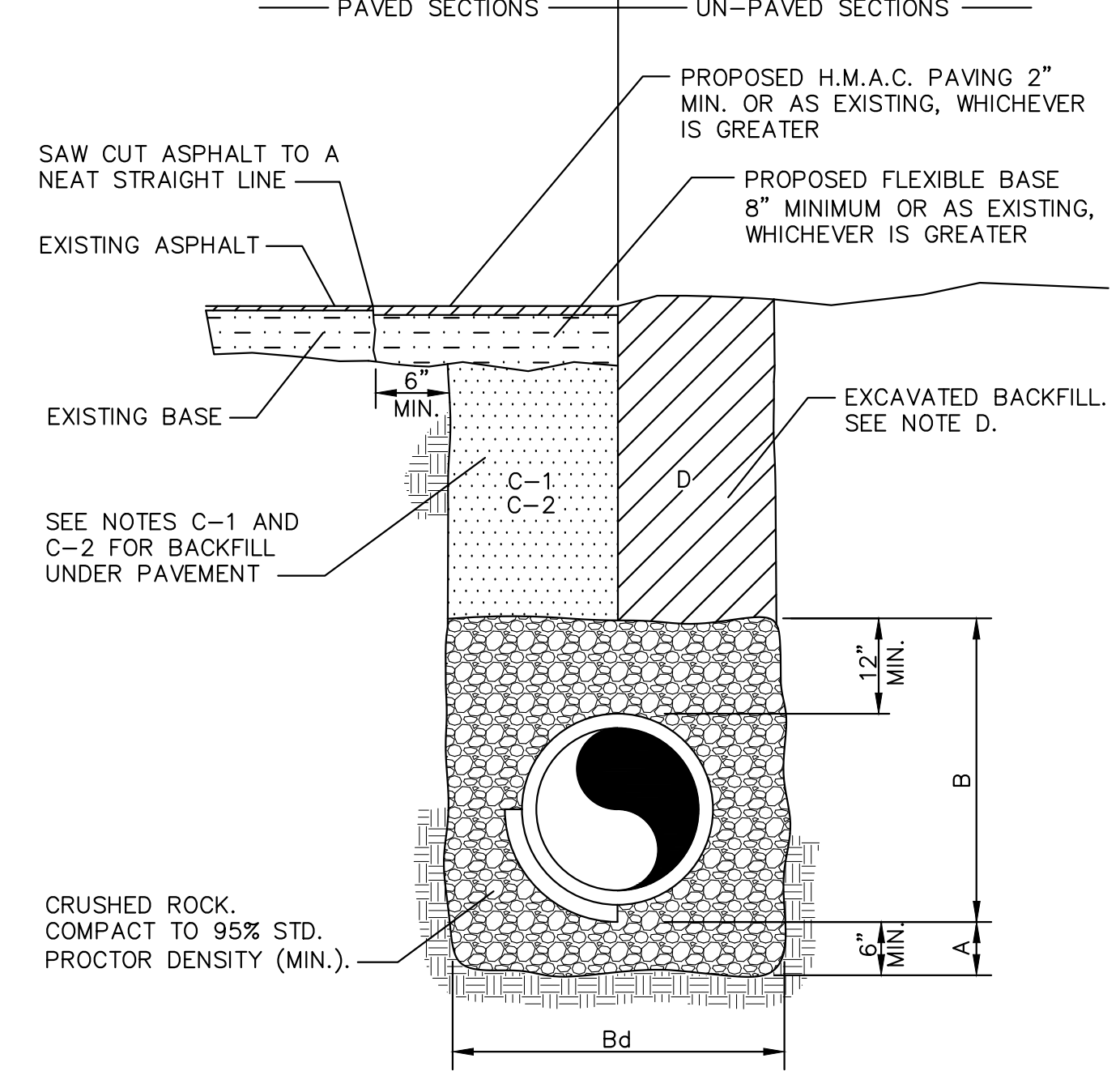
TYPICAL WATER METER INSTALLATION
NOT TO SCALE



RESIDENTIAL SINGLE WATER SERVICE CONNECTION
NOT TO SCALE



TYPICAL WATER LINE AND SEWER FORCEMAIN BEDDING DETAIL



SANITARY SEWER (NON-FORCEMAIN) PIPE BEDDING DETAIL

GENERAL NOTES:

- A. CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
- B. CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
- Bd. MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER); PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
- C-1. (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
- C-2. (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- D. EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY

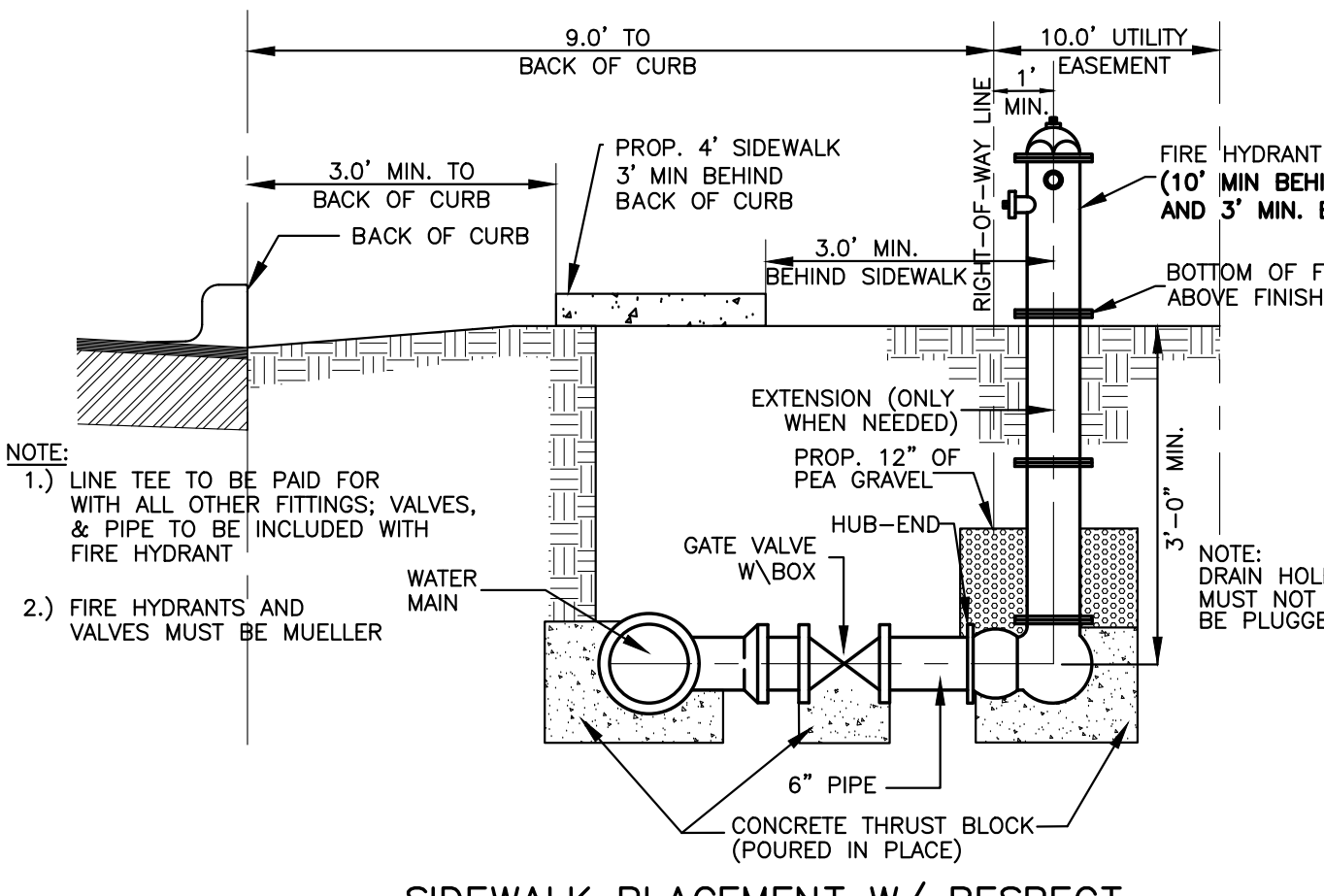
EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 Sieve. MAXIMUM 3/4" SIZE FOR PIPE SIZE ≤ 15". GREATER THAN 90% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.

IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).

WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

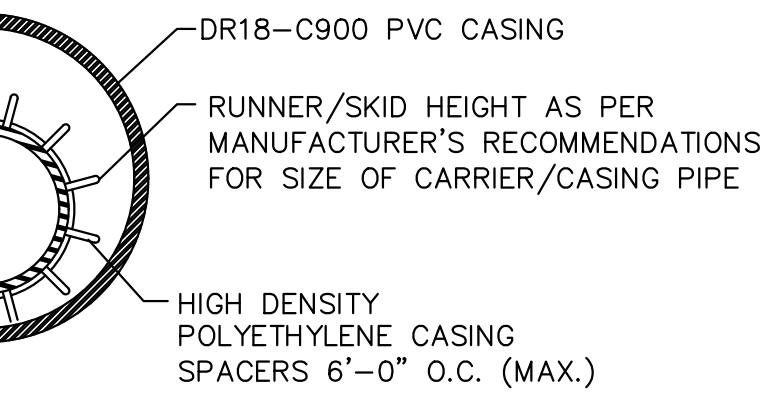
BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.



SIDEWALK PLACEMENT W/ RESPECT TO HYDRANT
NOT TO SCALE

- NOTES:**
- CONTRACTOR TO CONTACT ALL UTILITIES COMPANIES IN THE AREA FOR FIELD VERIFICATION OF EXISTING FACILITIES. UTILITY COMPANY'S SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 CITY OF WESLACO 956-972-7600
 CENTRAL POWER & LIGHT CO. 800-274-2611
 SOUTHERN UNION GAS CO. 800-743-2945
 AT&T 800-288-2020
 U.S. SPRINT CO. 956-948-3100
 TIME WARNER CABLE 800-222-5355
 TX. EXCAVATION SAFETY SYSTEM 800-344-8377
 - CONTRACTOR TO EXPOSE ANY EXISTING FACILITY THAT MAY BE IN CONFLICT PRIOR TO START OF CONSTRUCTION.
 - ALL EXISTING CITY UTILITIES (WATER/SEWER) SHOWN ARE FROM BEST INFORMATION AVAILABLE. NEITHER THE ENGINEER NOR THE CITY IS RESPONSIBLE FOR THE ACCURACY OF LOCATION.
 - CONTRACTOR SHALL AT ALL TIMES ALLOW ACCESS TO EXISTING DRIVEWAYS OR PROVIDE/MAINTAIN ALTERNATIVE ALL WEATHER ROUTES.
 - ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - TRENCHES OR EXCAVATIONS MAY NOT BE LEFT OPEN OVERNIGHT UNLESS AUTHORIZED IN WRITING BY THE ENGINEERING DEPARTMENT. IN SUCH CASES, THE CONTRACTOR MUST PROVIDE 1/2" STEEL PLATES OVER PLATES WITH ANCHORING AS PER SPECIFICATIONS TO BE PROVIDED BY THE CITY OF WESLACO.
 - ANY DAMAGE TO FENCES, WALKS, OR PRIVATE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXCAVATED MATERIAL AND DEBRIS FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING CONSTRUCTION MATERIALS TESTING THROUGH THE CITY'S DESIGNATED FIELD REPRESENTATIVE 24 HOURS PRIOR TO TESTING. CONTRACTOR IS RESPONSIBLE FOR ADHERING CLOSELY TO TESTING SCHEDULE AND AVOID ANY DELAYS IN THE FIELD.

- NOTES:**
- CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS CONCRETE (POURED IN PLACE)
 - VALVE SHALL BE MUELLER BRAND.



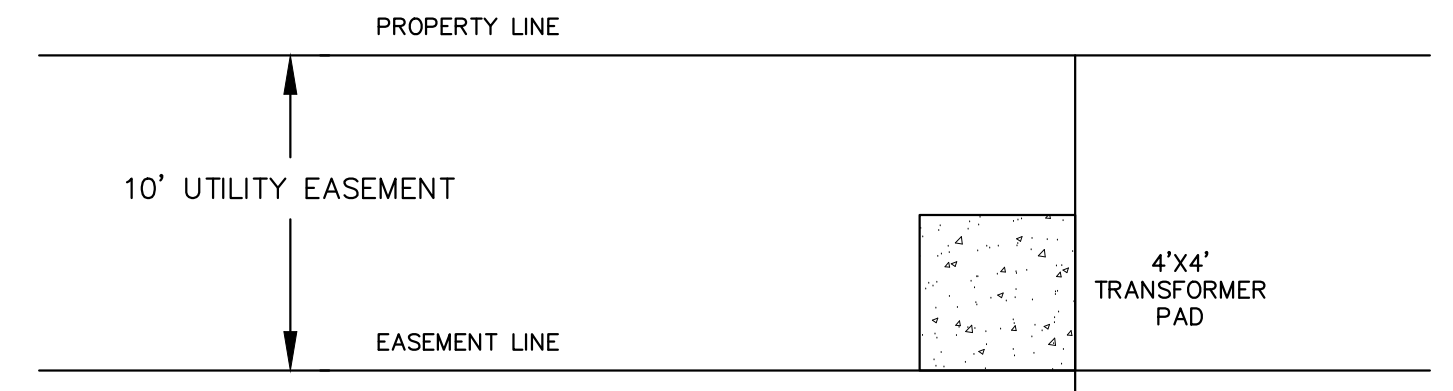
BORING INSTALLATION

CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.3125"
8"	16"	0.3125"
10"	18"	0.3125"
12"	21"	0.3750"
14", 15"	24"	0.4375"
16"	26"	0.4375"
18"	30"	0.5000"
24"	36"	0.5625"
36"	48"	0.6250"

GENERAL NOTES:

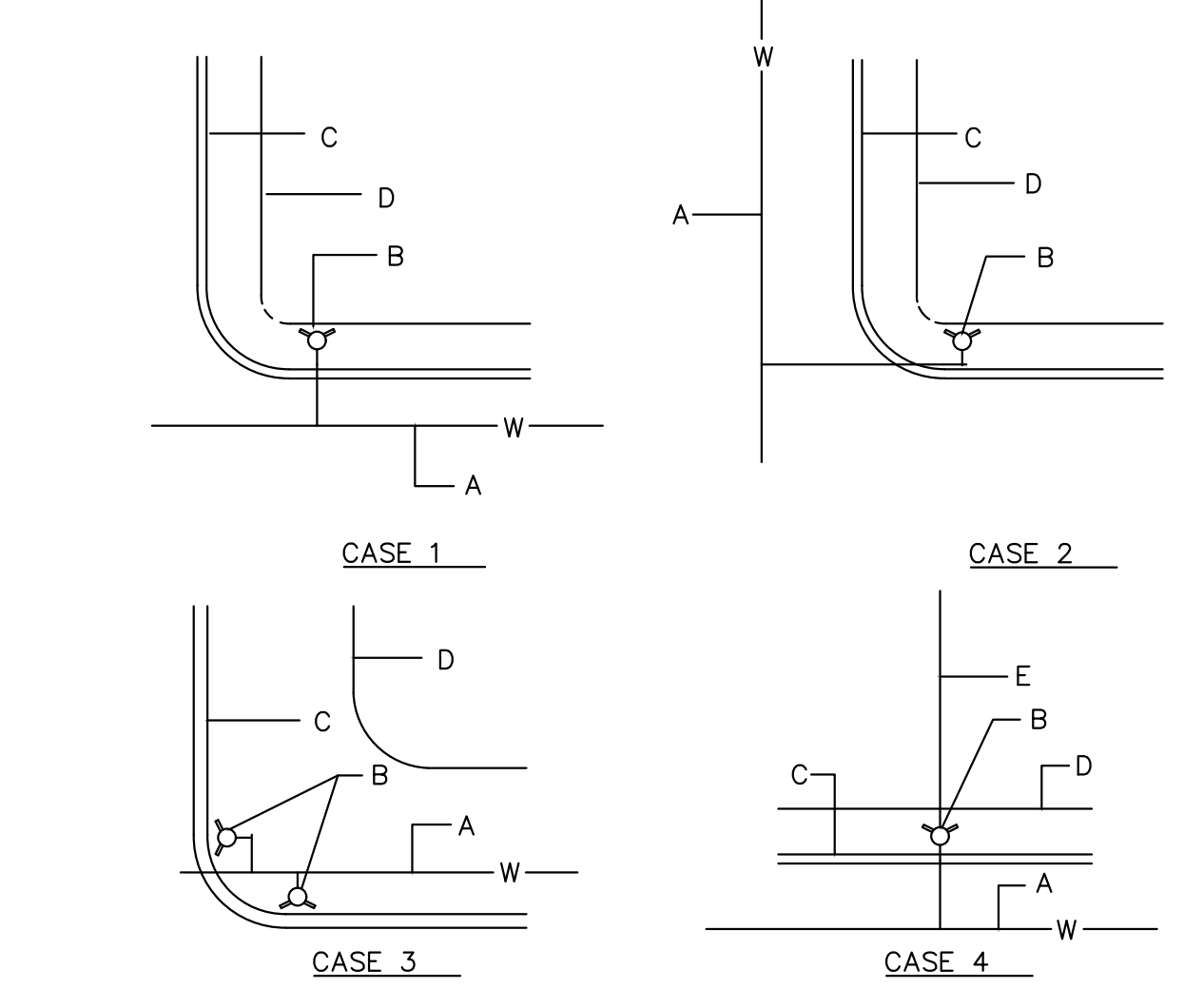
- DR18-C900 PVC CASING SHALL BE CLOSED AT EACH END USING SYNTHETIC RUBBER END SEALS.
- CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY ON THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASMENT.
- PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
- INSTALLATION AND SIZE OF SPACERS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

UTILITY LINE BORE DETAIL



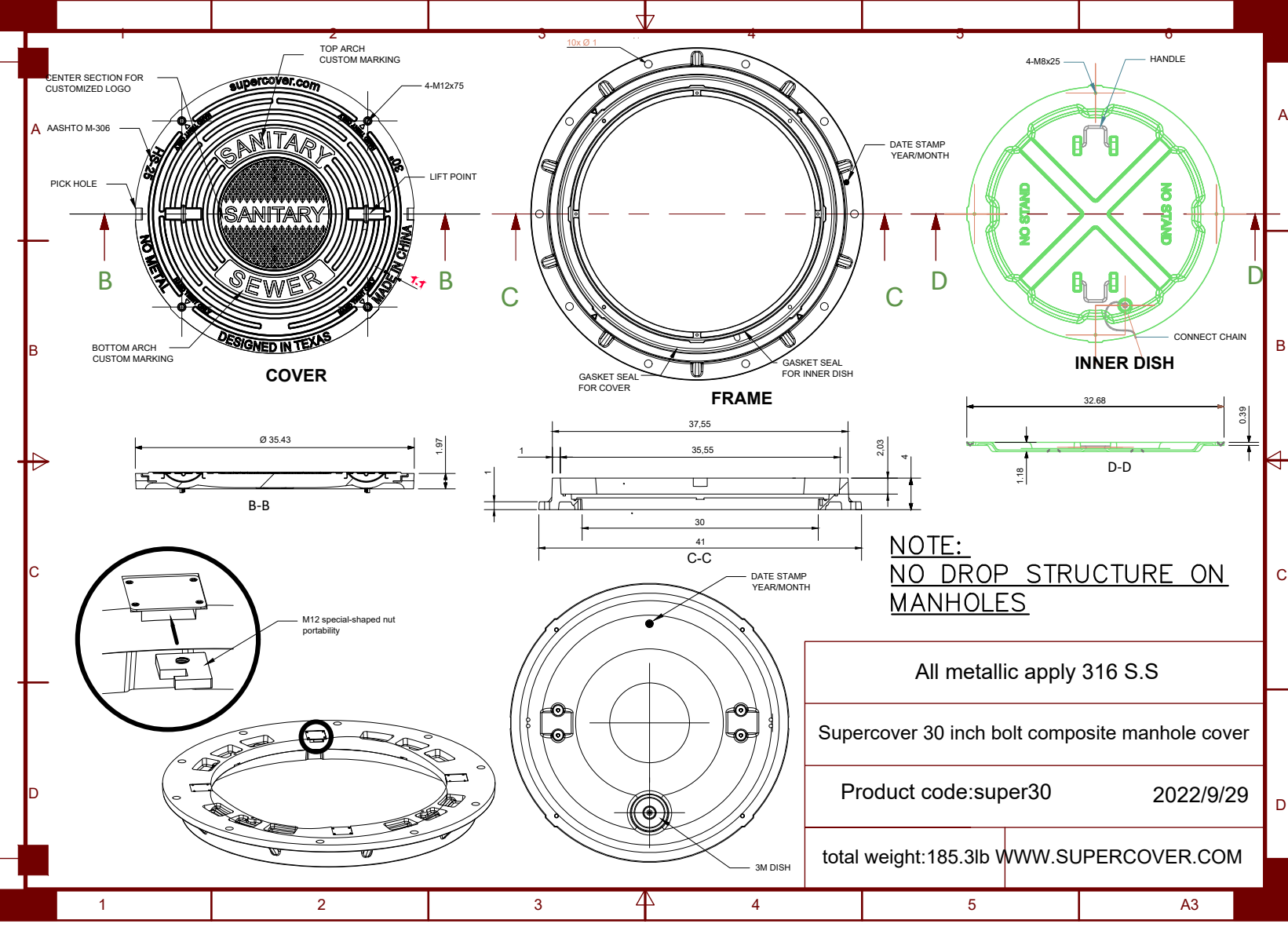
TRANSFORMER PAD PLACEMENT
NOT TO SCALE

NOTE: TRANSFORMER PADS WILL BE ALONG THE BACK OF LOTS AND CANNOT BE PLACED OVER ANY UTILITY LINES OR METER BOXES.



- NOTES:**
- NORMALLY, FIRE HYDRANTS ARE TO BE LOCATED AT THE END OF CURB RETURN, OR AT PROPERTY LINE.
 - PERMANENT OBSTRUCTIONS SUCH AS POLES, TRAFFIC SIGNALS ETC. MAY REQUIRE RELOCATION OF FIRE HYDRANT 5' DISTANCE FROM OBSTRUCTION. FIRE HYDRANT NOT TO BE LOCATED WITHIN AREA OF CURB RETURN.
- CONSTRUCTION NOTES:**
- WATER MAIN.
 - FIRE HYDRANT.
 - CURB AND GUTTER.
 - RIGHT OF WAY.
 - PROPERTY LINE.

TYPICAL FIRE HYDRANT LOCATIONS



NOTE: NO DROP STRUCTURE ON MANHOLES

All metallic apply 316 S.S

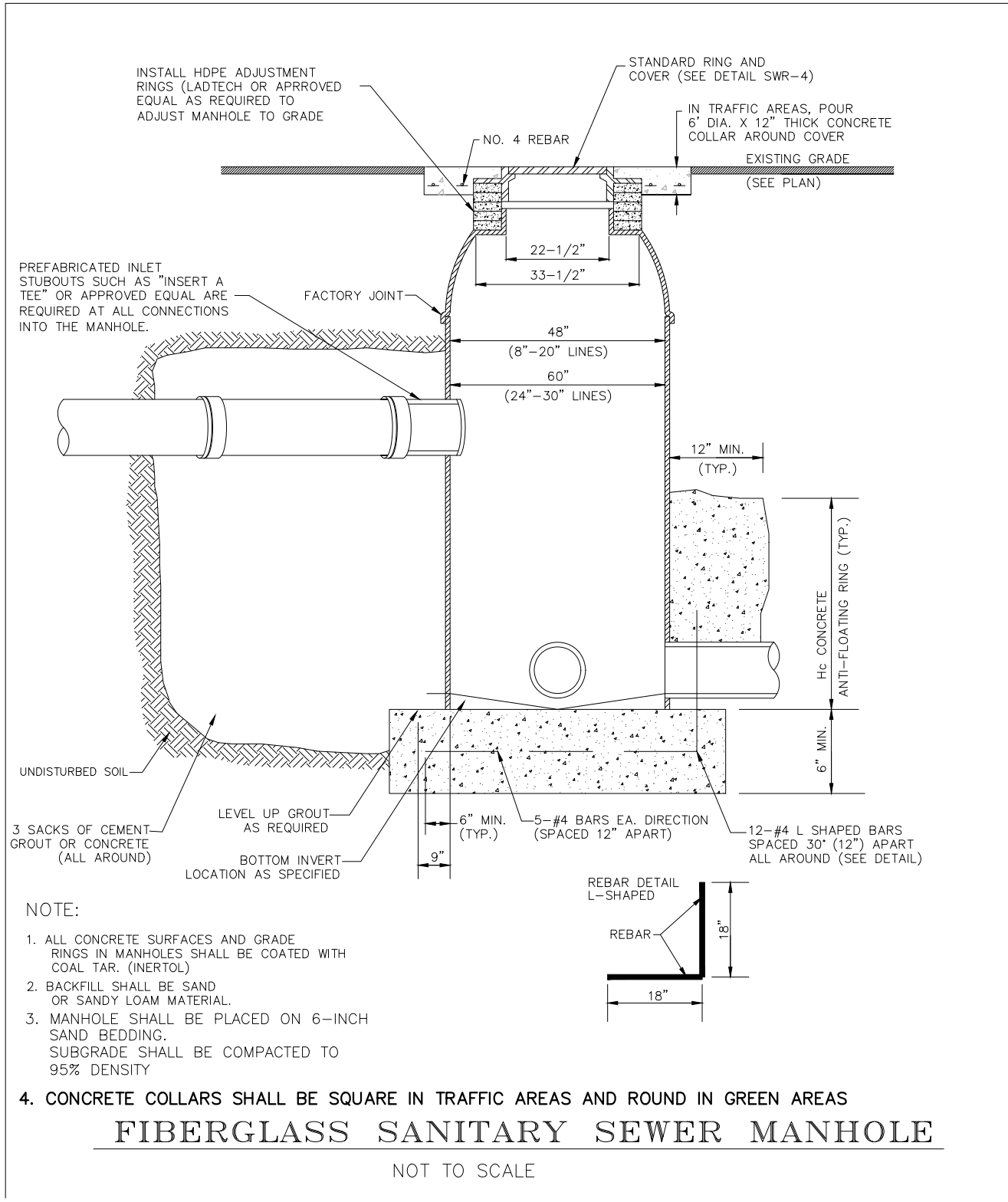
Supercover 30 inch bolt composite manhole cover

Product code: super30 2022/9/29

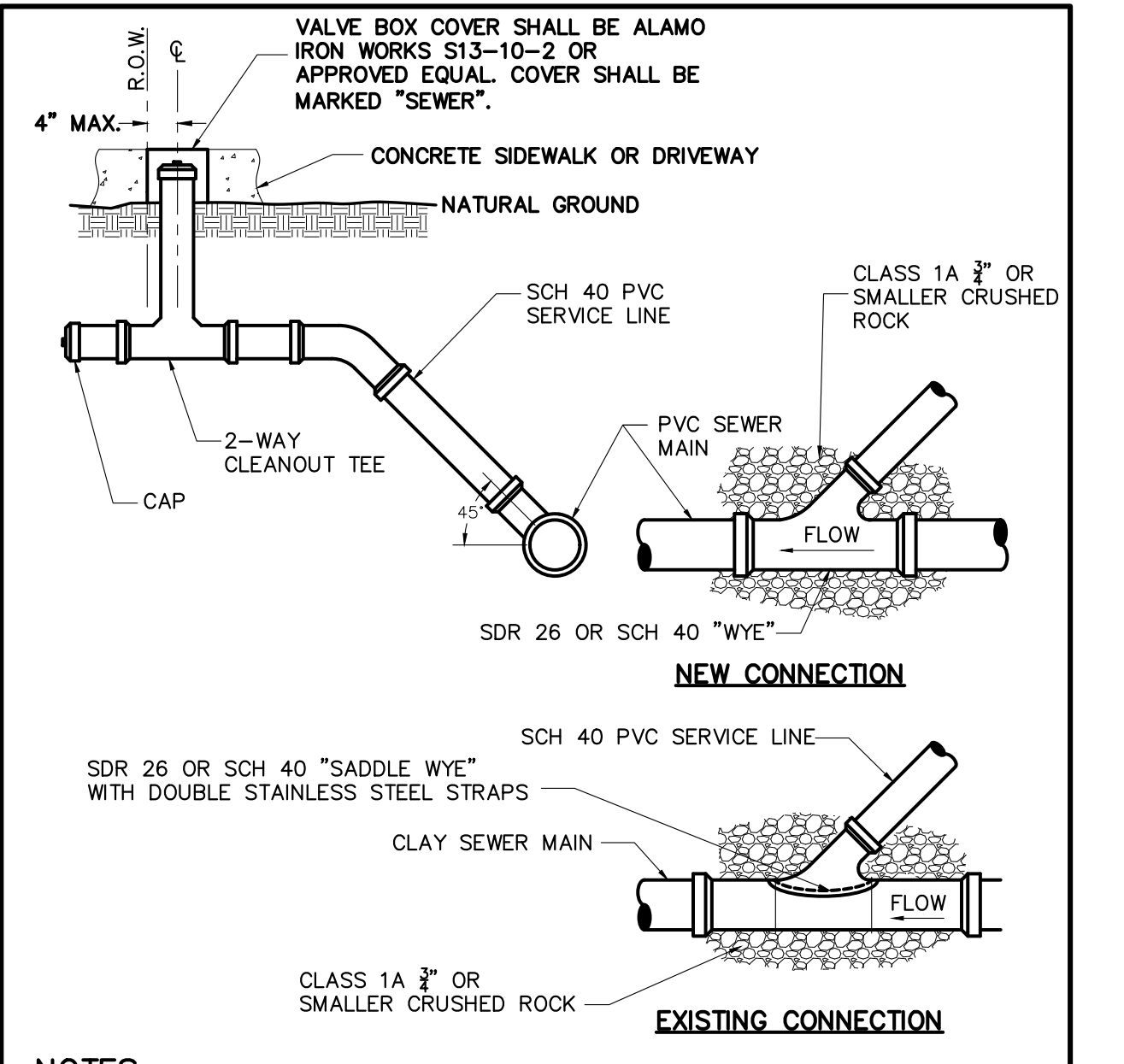
total weight: 185.3lb WWW.SUPERCOVER.COM

- GENERAL NOTES:**
- ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
 - TAPPING SLEEVE MUST BE ALL STAINLESS STEEL WITH STAINLESS BOLTS.
 - VALVE SHALL BE MUELLER BRAND.
- CONSTRUCTION NOTES:**
- WATER MAIN. (SEE PLANS AND SPECIFICATION)
 - TAPPING SLEEVE (SIZE AS REQUIRED). CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
 - THRUST BLOCK AS PER SPECIFICATIONS.
 - FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
 - ANCHOR RODS.
 - PVC PIPE.
 - SIMPLEX COUPLING.

TAPPING SLEEVE & VALVE INSTALLATION



- NOTE:**
- ALL CONCRETE SURFACES AND GRADE RINGS IN MANHOLES SHALL BE COATED WITH COAL TAR (INERT).
 - BACKFILL SHALL BE SAND OR SANDY LOAM MATERIAL.
 - MANHOLE SHALL BE PLACED ON 6-INCH SAND BEDDING. SUBGRADE SHALL BE COMPACTED TO 95% DENSITY.
 - CONCRETE COLLARS SHALL BE SQUARE IN TRAFFIC AREAS AND SEWER IN GREEN AREAS
- FIBERGLASS SANITARY SEWER MANHOLE**
NOT TO SCALE

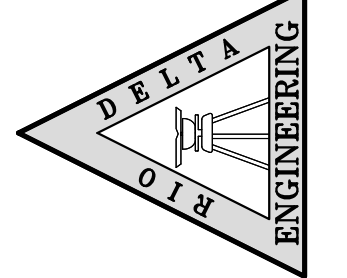


- NOTES**
- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
 - SINGLE FAMILY SERVICE SHALL BE 4" MIN. FOR MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL, SERVICE SHALL BE 6" OR GREATER AS REQUIRED.
 - SANITARY SERVICES INTO MANHOLES ARE NOT PERMITTED.
 - INSTALL CAST IRON VALVE BOX OVER CLEAN-OUTS LOCATED IN SIDEWALKS AND DRIVEWAYS WITH VALVE COVER MARKED "SEWER".
 - MAXIMUM CLEAN-OUT HEIGHT SHALL BE 6" FROM NATURAL GROUND.
 - TOP OF CAST IRON BOX SHALL BE FLUSH WITH TOP OF CONCRETE.

Y:\RDE SUBDIVISIONS 2019\SUB 19 028 - SUB19 030 - SUB19 028 - SHT 28 TYPICAL DETAILS.dwg RIODelta 3/13/2024 7:09 PM

RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



ISSUED FOR:
FINAL

TYPICAL DETAIL- PHASE II

MILANOS ESTATES PHASE II SUBDIVISION

HIDALGO COUNTY

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
 SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
 CHECKED: IVAN GARCIA P.E. R.P.L.S.
 DRAWN: OSCAR ALARCON JR.
 SCALE: AS SHOWN
 DATE: MARCH 12, 2024
 PROJECT: SUB 19 028
 REVISIONS:
 PAGE NO. **SHT 7**