



# HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281  
EDINBURG TEXAS 78539  
Tel. 956-318-2840

Anthony Uresti  
Director of Planning

## HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 10-01-2024

PROPOSED BORDER TOWN No. 4 SUBDIVISION, PRECINCT No. 4.

ENGINEER RIO DELTA ENGINEERING DEVELOPER: BORDERTOWN DEVELOPEMENT, LLC.

PRELIMINARY APPROVAL     FINAL APPROVAL     FINAL APPROVAL WITH FINANCIAL GUARANTEE     WITH VARIANCE

NUMBER OF LOTS: 98  \*SINGLE FAMILY     \*MULTI-FAMILY     COMMERCIAL     INSTITUTIONAL

NUMBER OF STREETLIGHTS: 34

FILLING STATIONS: 17

LOCATION DESCRIPTION: SOUTHEAST CORNER OF THE INTERSECTION OF MILE 22 1/2 ROAD AND BRUSHLINE ROAD.

SUBDIVISION LIES WITHIN THE:  RURAL AREA OF THE COUNTY (AREA HAS BEEN RELEASED FROM CITY ETJ)

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 3-23-2023 PROPERTY LIES WITHIN FLOOD ZONE: "X" & "A" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 27.50 FEET ONTO MILE 22 1/2 NORTH ROAD AND 10.0 FEET ONTO BRUSHLINE ROAD.

H.C.R.O.W. FINAL APPROVAL DATE: 6-06-2024 BY, PRECINCT 4 R.O.W. AGENT

H.C.H.D. FINAL APPROVAL DATE: 9-13-2024 BY, ENVIRONMENTAL HEALTH DIVISION MANAGER

SEWER SYSTEM:  OSSF'S HAVE BEEN ESCROWED.

WATER SERVICE PROVIDER: N.A.W.S.C. LINE SIZE: 8" LOCATION: BRUSHLINE ROAD

H.C.E.O.C. FINAL APPROVAL DATE: 7-26-2024 : BY ENVIRONMENTAL COMPLIANCE COORDINATOR

**LARGE CONSTRUCTION**

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

REQUEST FOR FINAL APPROVAL WITH:  **CASH DEPOSIT: Amount: \$55,250.00 For: (17 Fire hydrants)**

**LETTER OF CREDIT NO. 313: Amount: \$147,000.00 For: (98 OSSF'S)**

PRELIMINARY APPROVAL FROM THE  
HIDALGO COUNTY COMMISSIONERS COURT ON: 4/04/2023

STAFF RECOMMENDS:  **Preliminary Approval** subject to comments and future recommendations by planning, Other departments, and the approval of the City of **EDINBURG.**

**Final Approval** with financial guarantee.

*This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,*

\* *Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.*

# BORDER TOWN SUBDIVISION No. 4

BEING A 71.20 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 71.20 ACRES TRACT BEING OUT OF AND FORMING A PART OR PORTION OF UT OF LOTS 1 & 8, BLOCK 71, AND LOTS 4 & 5, BLOCK 70, ENGELMAN RE-SUBDIVISION, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS OF HIDALGO COUNTY, TEXAS

### METES AND BOUNDS:

BEING 71.20 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 71.20 ACRES TRACT BEING OUT OF AND FORMING A PART OR PORTION OF LOTS 1 & 8, BLOCK 71, AND LOTS 4 & 5, BLOCK 70, ENGELMAN RE-SUBDIVISION, HIDALGO COUNTY, TEXAS, AND SAID 71.20 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A COTTON PICKER SPINDLE SET AT THE NORTHWEST CORNER OF LOT 1, BLOCK 71, OF THE SAID ENGELMAN RE-SUBDIVISION, SAME BEING A POINT WITHIN THE EXISTING RIGHT-OF-WAY OF MILE 22 1/2 ROAD AND BRUSHLINE ROAD;

THENCE S 09° 01' 03" W ALONG THE WEST BOUNDARY LINES OF THE SAID LOT 1 & 8, BLOCK 71, SAME BEING ACROSS THE EXISTING RIGHT-OF-WAY OF BRUSHLINE ROAD, A DISTANCE OF 1200.00 FEET TO A COTTON PICKER SPINDLE SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE S 80° 59' 25" E ACROSS THE SAID LOT 1, BLOCK 71 AND LOT 4, BLOCK 70, A DISTANCE OF 2537.03 FEET TO A 1/2-INCH CAPPED IRON ROD SET FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 09° 01' 04" W ACROSS THE SAID LOTS 4 & 5, BLOCK 70, A DISTANCE OF 1106.46 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 57° 24' 23" W ACROSS THE SAID LOT 5, BLOCK 70, A DISTANCE OF 64.85 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 86° 53' 41" W ACROSS THE SAID LOT 5, BLOCK 70, A DISTANCE OF 91.23 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 09° 01' 03" W ACROSS THE SAID LOT 5, BLOCK 70, A DISTANCE OF 309.00 FEET TO A 1/2-INCH CAPPED IRON ROD SET FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81° 02' 55" W ACROSS THE SAID LOT 5, BLOCK 70, TO A POINT ON THE COMMON BOUNDARY LINE BETWEEN THE SAID LOT 5, BLOCK 70 AND LOT 8, BLOCK 71, A DISTANCE OF 897.73 FEET TO A 1/2-INCH CAPPED IRON ROD SET FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 08° 57' 17" E ALONG THE COMMON BOUNDARY LINE BETWEEN THE SAID LOTS 5, BLOCK 70 AND LOT 8, BLOCK 71, A DISTANCE OF 387.19 FEET TO A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81° 02' 55" W ACROSS THE SAID LOT 8, BLOCK 71, SAME BEING ALONG THE NORTH BOUNDARY LINE OF AN EXISTING 150.00 FEET HIDALGO COUNTY DRAINAGE DISTRICT #1 DRAIN DITCH RIGHT-OF-WAY DESCRIBED AS "TRACT No. 5-4-8 ACRES" IN THE SAID DOCUMENT # 275989, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, TO A POINT ON THE WEST LINE OF THE SAID LOT 8 OF BLOCK 71, SAME BEING A POINT WITHIN THE EXISTING RIGHT-OF-WAY OF BRUSHLINE ROAD, A DISTANCE OF 1499.64 FEET TO A COTTON-PICKER-SPINDLE SET, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 09° 01' 03" E ALONG THE WEST LINES OF THE SAID LOTS 8 & 1, BLOCK 71, SAME BEING WITHIN THE EXISTING RIGHT-OF-WAY OF BRUSHLINE ROAD, A DISTANCE OF 1083.50 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 71.20 ACRES OF LAND, MORE OR LESS.

### NAME AND EXCEPT TRACT - 3.57 ACRES

BEING 3.57 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 3.57 ACRES TRACT BEING OUT OF AND FORMING A PART OR PORTION OF LOT 5 OF BLOCK 70, AND LOT 8 OF BLOCK 71, ENGELMAN RE-SUBDIVISION, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 3.57 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A COTTON PICKER SPINDLE SET AT THE NORTHWEST CORNER OF LOT 1 OF BLOCK 71, OF THE SAID ENGELMAN RE-SUBDIVISION, AND SAME BEING A POINT WITHIN THE EXISTING RIGHT-OF-WAY OF MILE 22 1/2 ROAD AND BRUSHLINE ROAD;

THENCE S 09° 01' 03" W ALONG THE WEST LINES OF THE SAID LOT 1 OF BLOCK 71 AND LOT 8 OF BLOCK 71, SAME BEING ACROSS THE EXISTING RIGHT-OF-WAY OF BRUSHLINE ROAD, A DISTANCE OF 1873.98 FEET TO A COTTON PICKER SPINDLE SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE S 82° 28' 01" E ACROSS THE SAID LOT 1 OF BLOCK 71 AND THE SAID LOT 5 OF BLOCK 70, A DISTANCE OF 1512.49 FEET TO A 1/2-INCH IRON ROD SET FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 53° 11' 20" E ACROSS THE SAID LOT 5 OF BLOCK 70, A DISTANCE OF 1103.92 FEET TO A 1/2-INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 86° 53' 41" W ACROSS THE SAID LOT 5 OF BLOCK 70, A DISTANCE OF 91.23 FEET TO A 1/2-INCH IRON ROD SET FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 09° 01' 03" W ACROSS THE SAID LOT 5 OF BLOCK 70, A DISTANCE OF 102.77 FEET TO A 1/2-INCH IRON ROD SET FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 53° 02' 57" W ACROSS THE SAID LOT 5 OF BLOCK 70, A DISTANCE OF 98.93 FEET TO A 1/2-INCH IRON ROD SET FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 81° 31' 57" W ACROSS THE SAID LOT 5 OF BLOCK 70 AND THE SAID LOT 8 OF BLOCK 71, TO A POINT ON THE WEST LINE OF THE SAID LOT 8 OF BLOCK 71, A DISTANCE OF 1530.34 FEET TO A COTTON PICKER SPINDLE SET FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

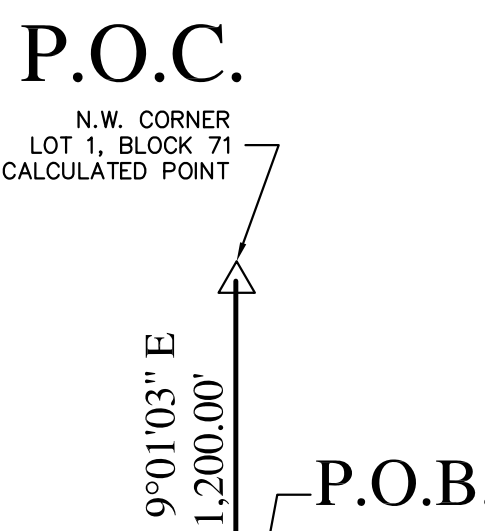
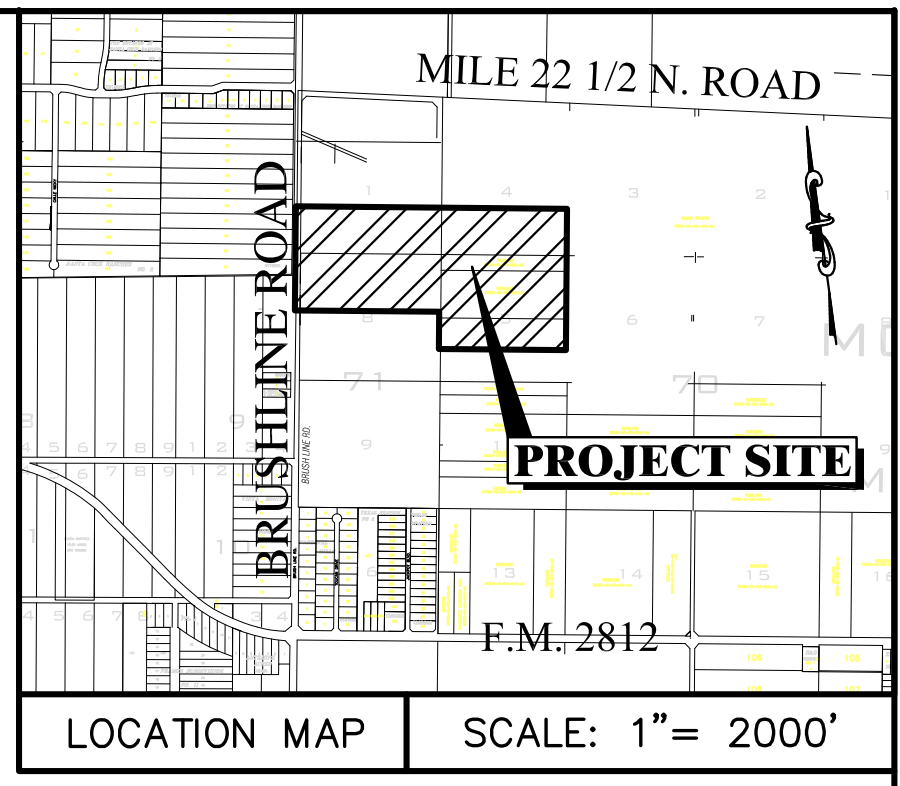
THENCE, N 09° 01' 03" E ALONG THE WEST LINE OF THE SAID LOT 8, BLOCK 71, SAME BEING ACROSS BRUSHLINE ROAD, A DISTANCE OF 49.84 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 3.57 ACRES OF LAND, MORE OR LESS.

### ABBREVIATION LEGEND

F.B.S.L.	FRONT BUILDING SETBACK LINE
R.B.S.L.	REAR BUILDING SETBACK LINE
S.B.S.L.	SIDE BUILDING SETBACK LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
P.O.P.	POINT OF COMMENCING
S.W.C.	SOUTHWEST CORNER
F.A.R.	FARM TRACT
F.A.M.	FARM-TO-MARKET
C.F.A.L.	CENTRAL POWER & LIGHT CO.
D.R.H.C.	DEED RECORDS OF HIDALGO COUNTY
U.E.	UTILITY EASEMENT
N.A.W.S.C.	NORTH ALAMO WATER SUPPLY CORP.
U.E.	UTILITY EASEMENT
S.S.F.	ON-SITE SEWAGE FACILITY
C.E.L.	CENTER LINE
L.O.L.	LOT LINE
H.C.D.#1	HIDALGO COUNTY DRAINAGE DIST. #1

### LEGEND

▲	SET C-P-5
△	FD, C-P-5
△	CALCULATED POINT
○	SET 1/2" IRON ROD
○	FD, 1/2" IRON ROD
○	FD, 5/8" IRON ROD
○	FD, 60-D NAIL
○	SET PK NAIL
○	STORM INLET
○	POWER POLE
○	FIRE HYDRANT
○	IRR, STAND PIPE
○	CHAIN LINK FENCE



STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG AND HIDALGO COUNTY, TEXAS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

IVAN GARCIA  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496  
SURVEY FIRM # 10194207

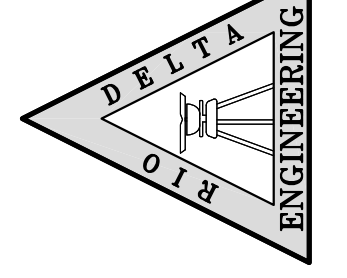


NAME	ADDRESS	PHONE & FAX
OWNER(S): BORDERTOWN DEVELOPMENT, LLC.	P.O. BOX 959 EDINBURG, TX 78540	(956) 383-0868
SURVEYOR: IVAN GARCIA	P.E., R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	P.E., R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083

INDEX TO SHEETS OF BORDER TOWN PHASE 4 SUBDIVISION	
SHEET 1:	HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS)
SHEET 2:	ENGINEER'S AND SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.D.#9, H.C.D.#, No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE
SHEET 3:	ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER/OSSF AND ENGINEER'S CERTIFICATION, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE, ZONE A
SHEET 4:	ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER/OSSF AND ENGINEER'S CERTIFICATION, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE, ZONE B
SHEET 5:	MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES; CONSTRUCTION DETAILS, TYPICAL DETAILS, ZONE A
SHEET 6:	MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES; CONSTRUCTION DETAILS, TYPICAL DETAILS, ZONE B
SHEET 7 AND 8:	TYPICAL DETAILS

BORDERS NOWELL & RANELL  
REMAINDER OF LOTS 3, 5, 6, 11, 12, 14, & 16,  
BLOCK 70, ENGELMAN RESUB.,  
VOL. 9, PG. 28, M.R.H.C. DOC# 1202934, O.R.H.C.

**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083



STATUS FOR: **FINAL**

**PLAT SHEET**  
BORDER TOWN SUBDIVISION No.4  
HIDALGO COUNTY, TEXAS

ENGINEER:	IVAN GARCIA P.E. R.P.L.S.
SURVEYOR:	IVAN GARCIA P.E. R.P.L.S.
CHECKED:	IVAN GARCIA P.E. R.P.L.S.
DRAWN:	
SCALE:	G.F./H.G./O.A.
DATE:	MAY 14, 2024
PROJECT:	SUB 22 011
REVISIONS:	
PAGE NO.:	1-OF-8

# BORDER TOWN SUBDIVISION No. 4.

BEING A 71.20 ACRES TRACT OF LAND LYING AND SITUATED IN HIDALGO COUNTY, TEXAS, SAID 71.20 ACRES TRACT BEING OUT OF AND FORMING A PART OR PORTION OF UT OF LOTS 1 & 8, BLOCK 71, AND LOTS 4 & 5, BLOCK 70, ENGLMAN RE-SUBDIVISION, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS OF HIDALGO COUNTY, TEXAS

### OWNER'S ACKNOWLEDGMENT STATE OF TEXAS COUNTY OF HIDALGO

I, BORDERTOWN DEVELOPMENT, LLC, AS THE OWNER (S) OF THE 66.75 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED BORDER TOWN SUBDIVISION No.4, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND THAT:  
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;  
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;  
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS AND;  
(D) GAS CONNECTIONS IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS, I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

BORDERTOWN DEVELOPMENT, LLC. DATE \_\_\_\_\_  
SANTA CRUZ PROPERTIES, LTD  
MANAGING MEMBER  
BY: RICHARD W. RUPPERT,  
MANAGER OF THE RUPPERT COMPANY, LLC  
ITS: GENERAL PARTNER  
P.O. BOX 959  
EDINBURG, TX. 78540

### STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICHARD W. RUPPERT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES \_\_\_\_\_

### HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO COUNTY HEALTH DEPARTMENT

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF BORDER TOWN SUBDIVISION No.4 WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
ENVIRONMENTAL HEALTH DIVISION MANAGER DATE

### STATE OF TEXAS COUNTY OF HIDALGO

THIS PLAN IS HEREBY APPROVED BY THE ENGLMAN IRRIGATION DISTRICT SUBJECT TO THE CONDITION THAT IF IRRIGATION FROM SAID DISTRICT IS DESIRED TO THE INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENT FOR THE INSTALLATION OF NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE CLOSEST WATER DISTRICT DELIVERY POINT AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY TO INSTALL SUCH NECESSARY FACILITIES.

\_\_\_\_\_  
DISTRICT PRESIDENT DATE

\_\_\_\_\_  
SECRETARY DATE

### RIGHT OF WAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER, AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS, AND ASSIGNS, A EXCLUSIVE PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL, AND LAY THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE, AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE FOR WHICH THE ABOVE- MENTIONED RIGHTS ARE GRANTED. THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

IN THE EVENT THE EASEMENT HEREBY GRANTED ABUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREAFTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANTEE FURTHER GRANTS TO GRANTEE AN ADDITIONAL EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATING SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 10' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF TITLE V OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF THE SAID GRANTEE EXECUTED THIS INSTRUMENT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2024.

BORDERTOWN DEVELOPMENT, LLC. DATE \_\_\_\_\_  
SANTA CRUZ PROPERTIES, LTD  
MANAGING MEMBER  
BY: RICHARD W. RUPPERT,  
MANAGER OF THE RUPPERT COMPANY, LLC  
ITS: GENERAL PARTNER  
P.O. BOX 959  
EDINBURG, TX. 78540

### HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF BORDER TOWN SUBDIVISION No.4 WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
HIDALGO COUNTY JUDGE DATE

ATTEST: \_\_\_\_\_  
HIDALGO COUNTY CLERK DATE

### HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

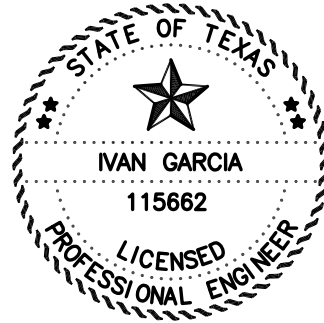
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

\_\_\_\_\_  
RAUL E. SESIN, P.E., C.F.M. DATE  
GENERAL MANAGER

### STATE OF TEXAS - COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

\_\_\_\_\_  
IVAN GARCIA P.E. R.P.L.S. DATE  
REG. PROFESSIONAL ENGINEER NO. 115662



### GENERAL NOTES:

- FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: ZONE "X" (NO SHADE) AND A PORTION IS IN ZONE "A" OF FLOOD INSURANCE RATE.  
  
THE SUBDIVISION IS IN ZONE "X" OF THE FLOOD INSURANCE RATE, AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEEVES FROM 100-YEAR FLOOD, ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANELS NO.: 480334 0325 D MAP REVISED: JUNE 6, 2000. REVISED TO REFLECT LOMR DATED MAY 17, 2001.
- SETBACKS:  
BRUSHLINE ROAD: 25.00 FEET OR EASEMENT WHICHEVER IS GREATER  
FRONT: 25.00 FEET OR EASEMENT WHICHEVER IS GREATER  
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER  
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER  
CORNER SIDE: 20.00 FEET OR EASEMENT WHICHEVER IS GREATER, WHERE R.O.W. IS GRATER THAN 50.00 FEET.  
CORNER SIDE: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT. COMMERCIAL USE SHALL BE ALLOWED ON LOTS 1, 77, 78, 117, 118, 148, 149, 150, 151, 152 AND 191. ANY OTHER USE SHALL REQUIRE HEALTH, PLANNING AND FIRE MARSHALL APPROVAL.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURVE OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.  
---SBM, NO. 1---, ELEV. 72.54 N.G.V.D. 88, DESCRIPTIONS: STORM MANHOLE AT THE SOUTHWEST OF MILE 22 1/2 AND BRUSHLINE ROAD. GPS POINT, GRID COORDINATES  
N 16665812.0600, E 1125221.2770.  
---SBM, NO. 2---, ELEV. 83.26 N.G.V.D. 88, DESCRIPTIONS: STORM MANHOLE AT THE NORTHEAST CORNER OF MILE 22 1/2 AND BRUSHLINE ROAD. GPS POINT, GRID COORDINATES  
N 16665795.0700, E 1125375.9270.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 253,946 CUBIC-FEET OR 8,830 ACRE-FEET OF STORM WATER RUNOFF. LINEAR DETENTION WILL BE PROVIDED BY IMPROVEMENT THE EXISTING HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 J-14--00 AS REQUIRED WITHIN ADDITIONAL RIGHT-OF-WAY DEDICATED TO HDD01 IN ORDER TO ADD THE REQUIRED DETENTION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS. A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE.  
  
A. OSSF SYSTEMS ARE BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWERAGE ONLY.  
B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.  
C. OSSF SYSTEMS SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.  
D. SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCERPTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM.  
E. APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- BORDERTOWN DEVELOPMENT, LLC, THE OWNER & SUBDIVIDER OF THIS SUBDIVISION, RETAIN A BLANKET EASEMENT UPON THE LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET NO. 1 OF THIS PLAT.
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON THE LOT MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.
- CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORMWATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY CONSTRUCTION.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- RICHARD W. RUPPERT, THE OWNER & SUBDIVIDER OF BORDER TOWN PHASE 4 SUBDIVISION, RETAINS A BLANKET EASEMENT UPON EACH LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET NO.2 OF THIS PLAT.
- AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT SHALL BE REQUIRED FOR SCHOOLS, COMMERCIAL AND INDUSTRIAL USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATE STANDARDS.

ISSUED FOR:  
**FINAL**

PLAT NOTES  
BORDER TOWN SUBDIVISION NO4  
HIDALGO COUNTY, TEXAS

ENGINEER:  
IVAN GARCIA P.E. R.P.L.S.  
SURVEYOR:  
IVAN GARCIA P.E. R.P.L.S.  
CHECKED:  
IVAN GARCIA P.E. R.P.L.S.  
DRAWN:  
G.F./H.G./O.A.  
SCALE:  
AS SHOWN  
DATE:  
MAY 14, 2024  
PROJECT:  
SUB 22 011  
REVISIONS:  
PAGE NO.  
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SHEET 6: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE; REVISION NOTES, CONSTRUCTION DETAILS, TYPICAL DETAILS, ZONE B	
SHEET 7 AND 8: TYPICAL DETAILS	



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

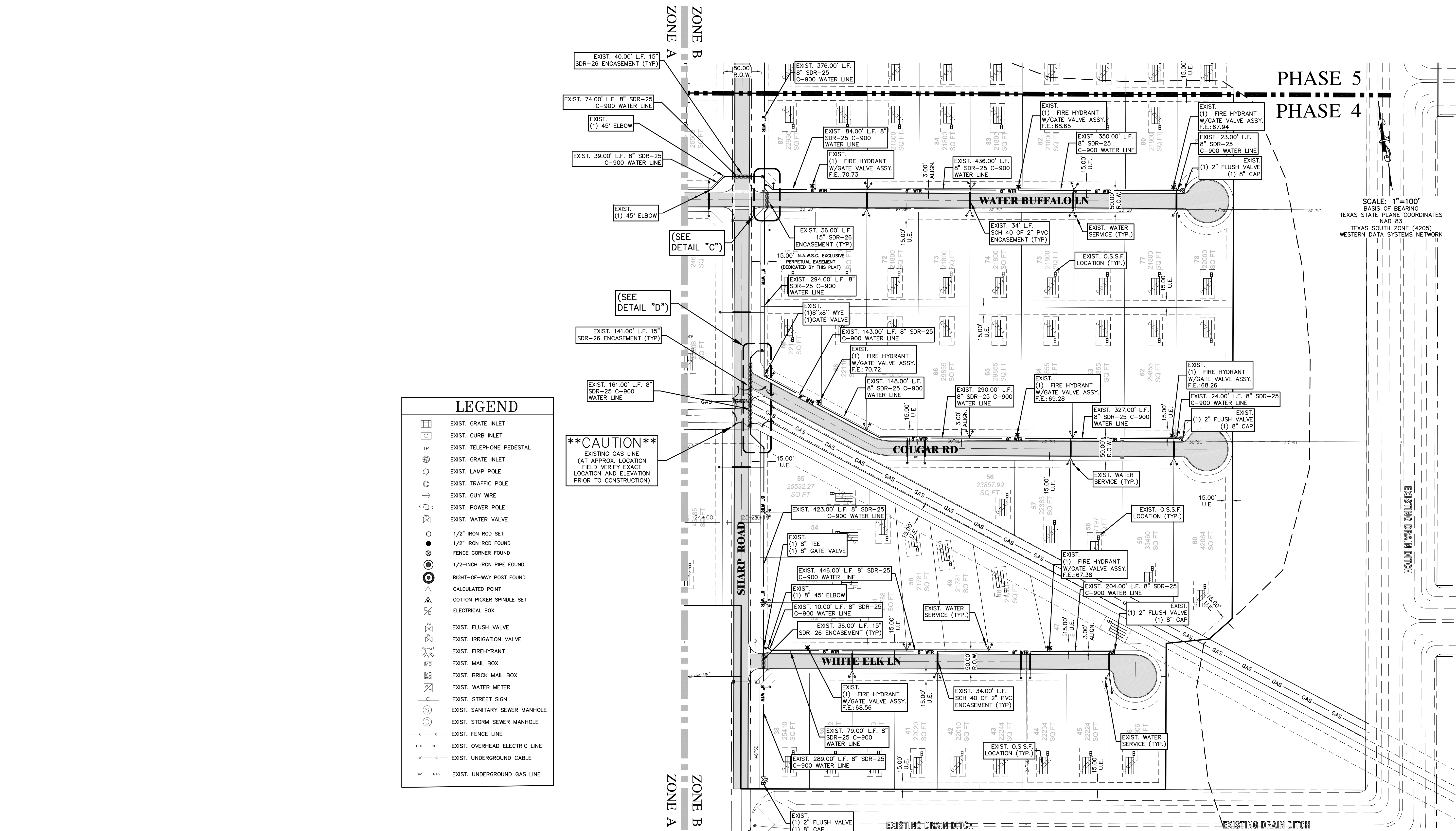
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

NAME	ADDRESS	PHONE & FAX
OWNER(S): BORDERTOWN DEVELOPMENT, LLC.	P.O. BOX 959	EDINBURG, TX 78540 (956) 383-0868
SURVEYOR: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083



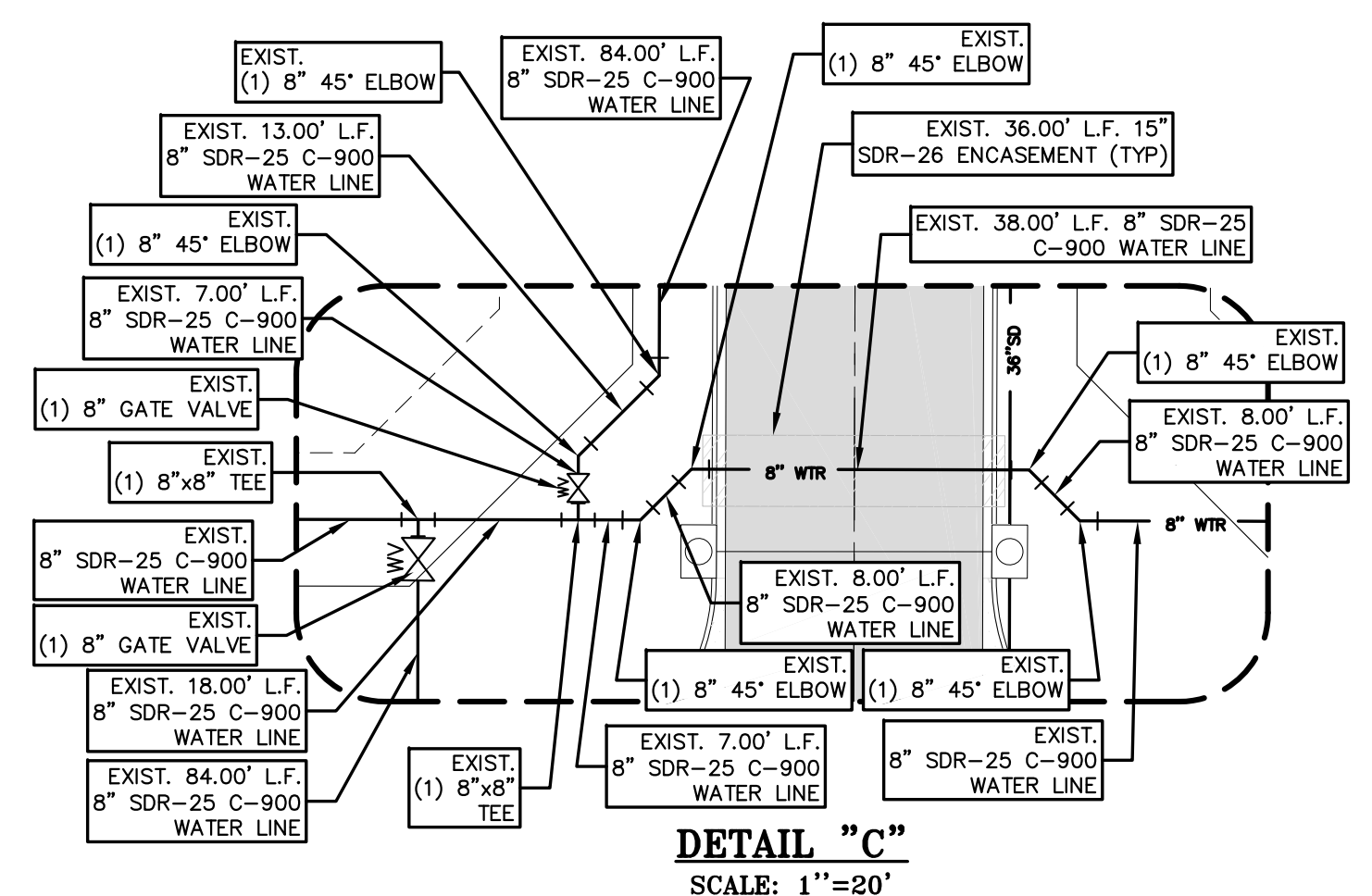
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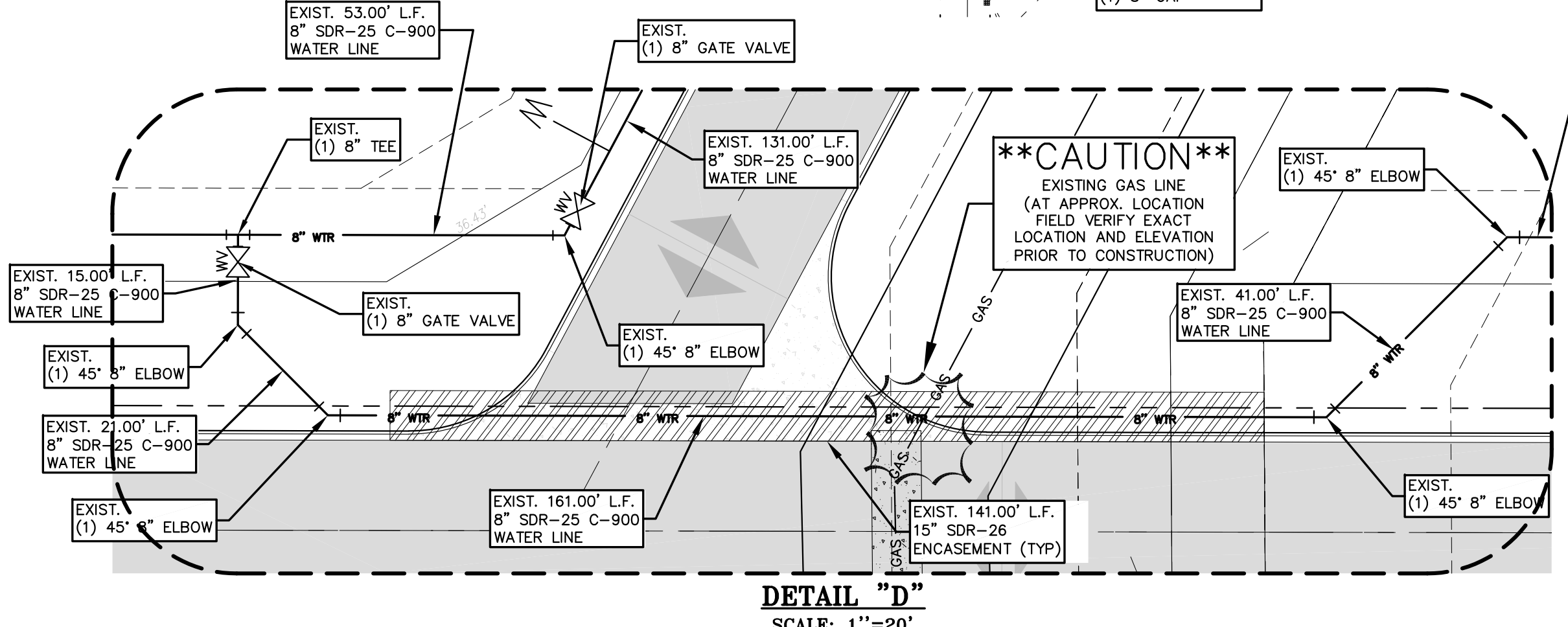
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BASIS OF BEARING  
TEXAS STATE PLANE COORDINATES  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK

LEGEND	
	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. TELEPHONE PEDESTAL
	EXIST. GRATE INLET
	EXIST. LAMP POLE
	EXIST. TRAFFIC POLE
	EXIST. GUY WIRE
	EXIST. POWER POLE
	EXIST. WATER VALVE
	1/2" IRON ROD SET
	1/2" IRON ROD FOUND
	FENCE CORNER FOUND
	1/2" IRON PIPE FOUND
	RIGHT-OF-WAY POST FOUND
	CALCULATED POINT
	COTTON PICKER SPINDLE SET
	ELECTRICAL BOX
	EXIST. FLUSH VALVE
	EXIST. IRRIGATION VALVE
	EXIST. FIREHYDRANT
	EXIST. MAIL BOX
	EXIST. BRICK MAIL BOX
	EXIST. WATER METER
	EXIST. STREET SIGN
	EXIST. SANITARY SEWER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. FENCE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	EXIST. UNDERGROUND GAS LINE

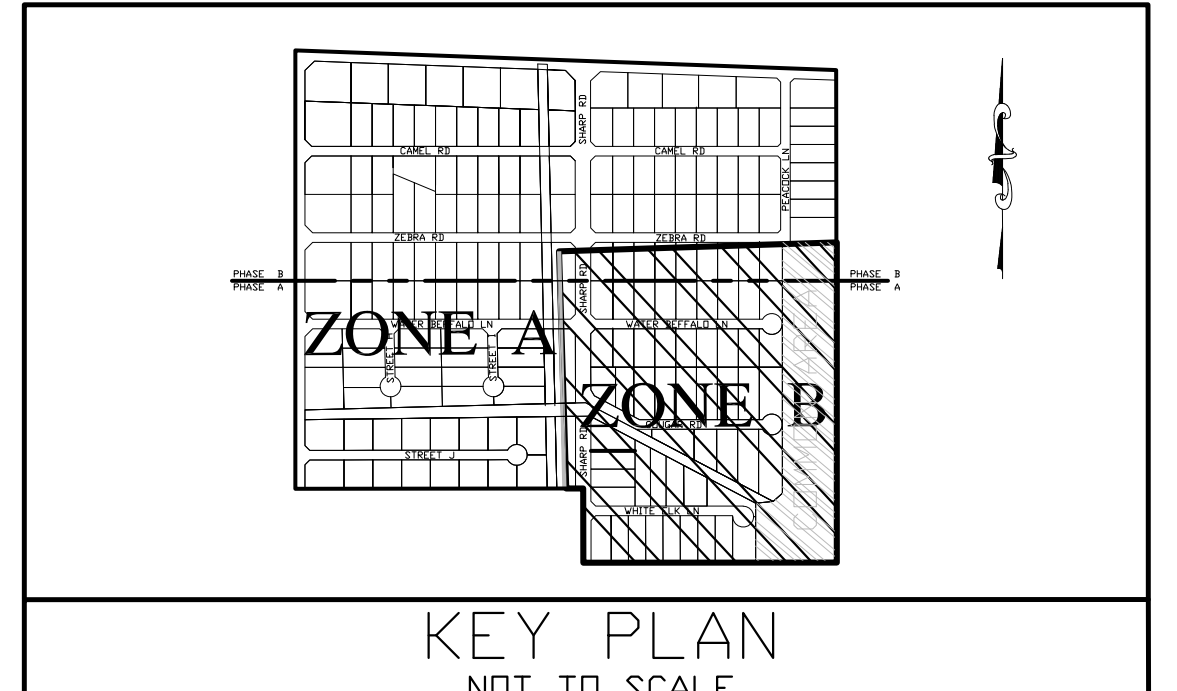
**\*\*CAUTION\*\***  
EXISTING GAS LINE  
(AT APPROX. LOCATION  
FIELD VERIFY EXACT  
LOCATION AND ELEVATION  
PRIOR TO CONSTRUCTION)



DETAIL "C"  
SCALE: 1"=20'



DETAIL "D"  
SCALE: 1"=20'



KEY PLAN  
NOT TO SCALE

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SHEET 7 AND 8: TYPICAL DETAILS	

**RIO DELTA ENGINEERING**  
FIRM REGISTRATION NO. F-7628  
SURVEY FIRM NO. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083

**UTILITY LAYOUT ZONE B**  
BORDER TOWN SUBDIVISION NO4  
HIDALGO COUNTY, TEXAS

ISSUED FOR:  
**FINAL**

ENGINEER:  
IVAN GARCIA P.E. R.P.L.S.

SURVEYOR:  
IVAN GARCIA P.E. R.P.L.S.

CHECKED:  
IVAN GARCIA P.E. R.P.L.S.

DRAWN:  
G.F./H.G./O.A.

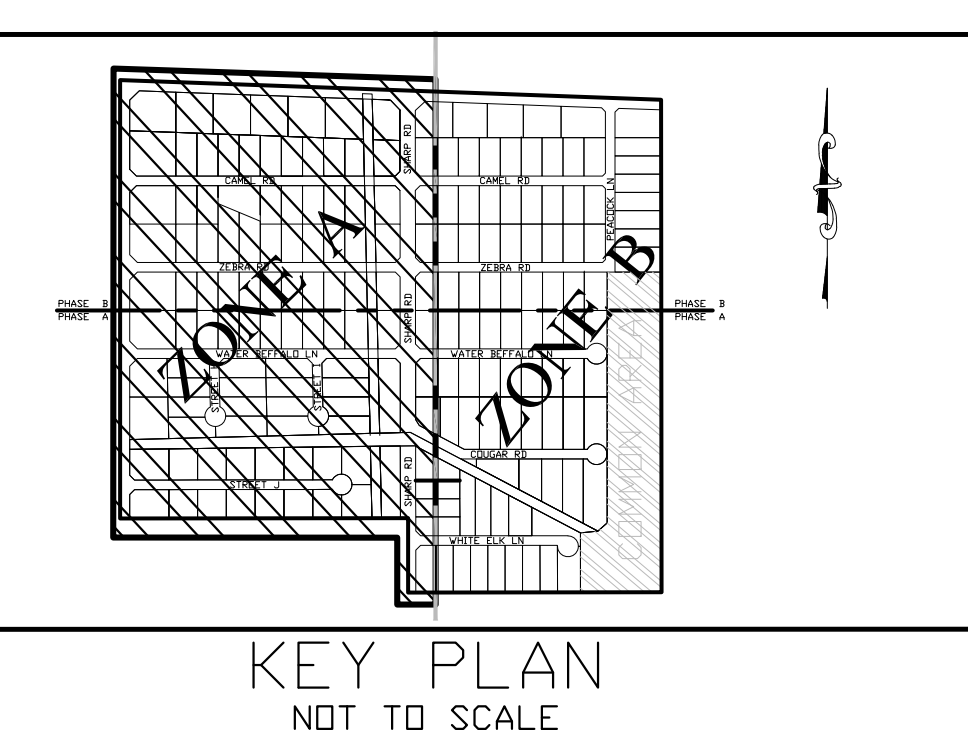
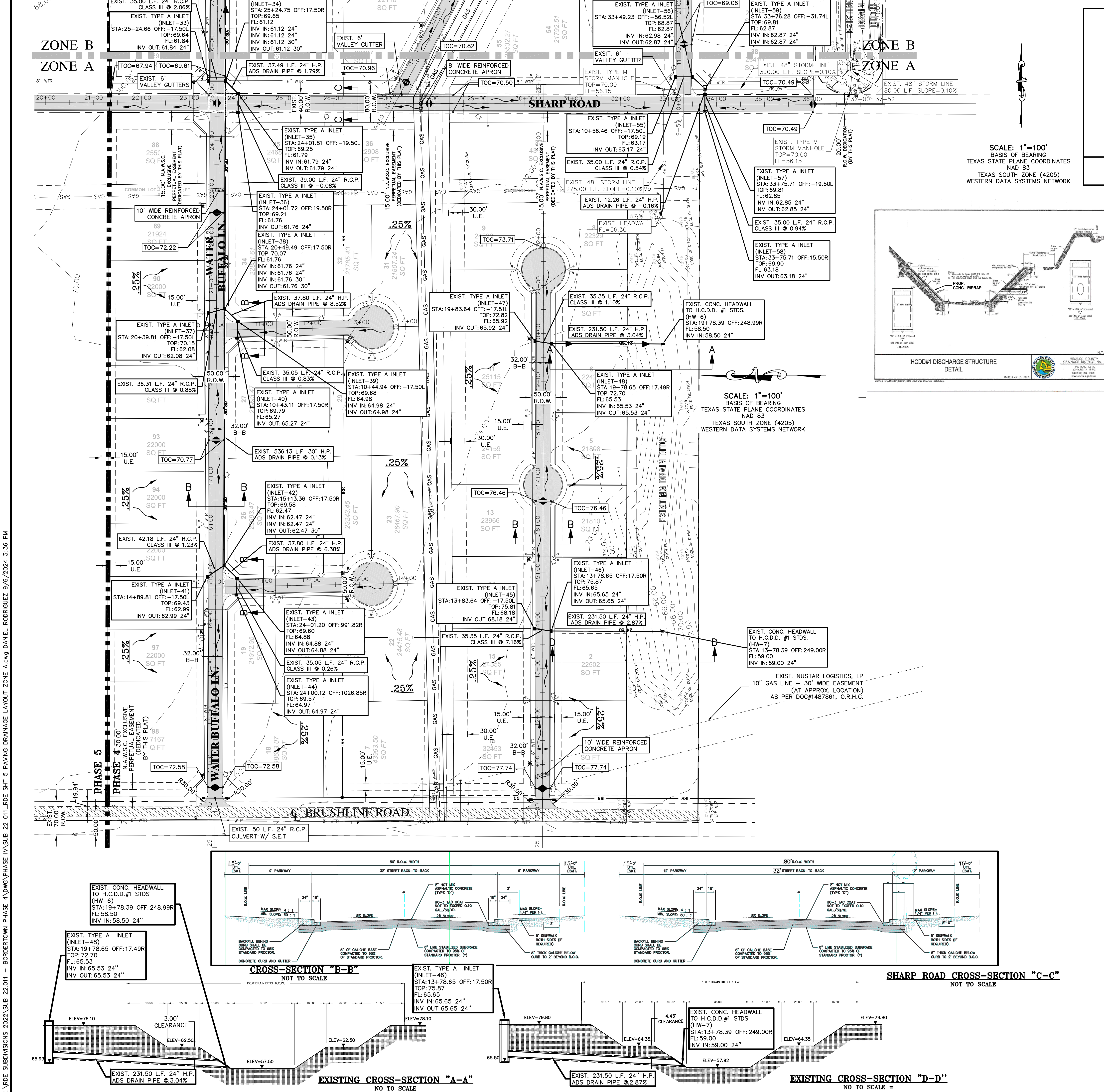
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MAY 2, 2024

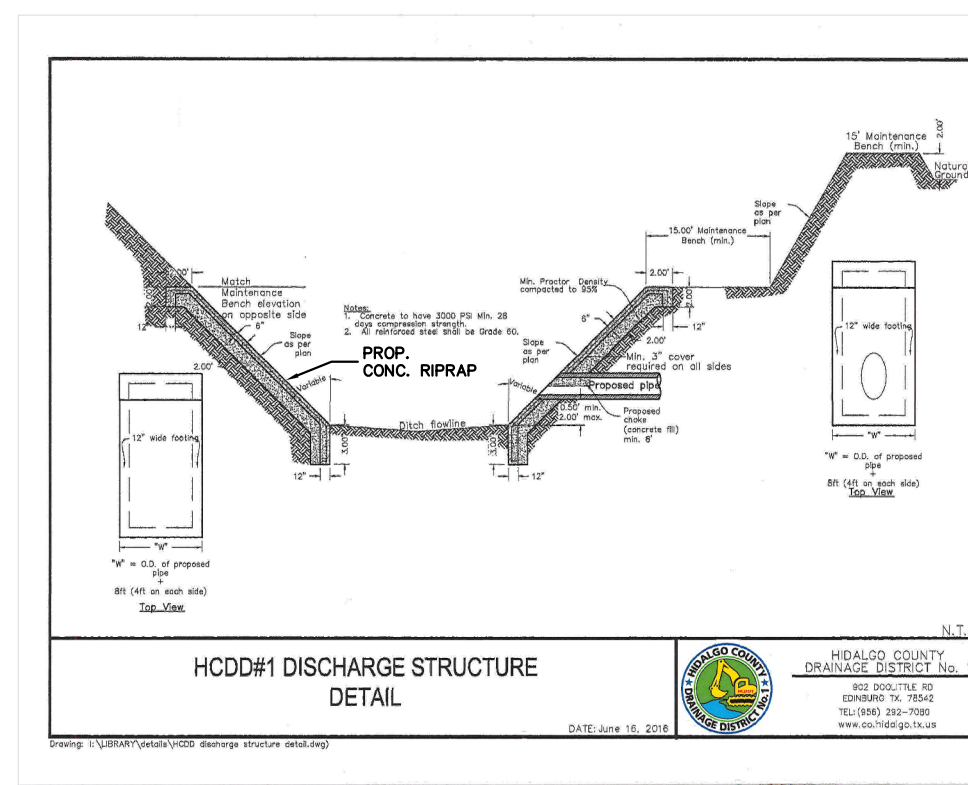
PROJECT:  
SUB 22.011

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- ### LEGEND
- EXIST. GRATE INLET
  - EXIST. CURB INLET
  - EXIST. TELEPHONE PEDESTAL
  - EXIST. GRATE INLET
  - EXIST. LAMP POLE
  - EXIST. TRAFFIC POLE
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  - EXIST. STREET SIGN
  - EXIST. SANITARY SEWER MANHOLE
  - EXIST. STORM SEWER MANHOLE
  - EXIST. FENCE LINE
  - EXIST. OVERHEAD ELECTRIC LINE
  - EXIST. UNDERGROUND CABLE
  - EXIST. UNDERGROUND GAS LINE



### DRAINAGE VOLUME LEGEND

VOLUME FOR DETENTION REQUIRED = 279,437 CF (6.415 CY) (AS PER DRAINAGE REPORT CALCULATIONS)

VOLUME PROVIDED IN CROSS-SECTION E-E FOR DETENTION = 678.00 SF x 1400.00 FT = 949,200 CF (35,156 CY)

VOLUME PROVIDED IN CROSS-SECTION F-F FOR DETENTION = 822.00 SF x 610.00 FT = 501,420 CF (18,571 CY)

TOTAL VOLUME PROVIDED FOR DISPLACEMENT AND ADDITIONAL DETENTION = 1,450,620 CF (53,727 CY) (519% OF VOLUME REQUIRED)

**DRAINAGE REPORT**

BORDER TOWN PHASE 4 SUBDIVISION IS A PROPOSED 98 LOT RESIDENTIAL SUBDIVISION, LOCATED WITHIN THE CITY OF EDINBURG ETU, SAME BEING A 71.20 ACRES TRACT OF LAND, MORE OR LESS, BEING OUT OF AND FORMING A PART OR PORTION OF LOTS 1 & 8, BLOCK 71, AND LOTS 4 & 5, BLOCK 70, ENGELMAN RE-SUBDIVISION, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS OF HIDALGO COUNTY, TEXAS. THESE LOTS WILL BE USED FOR SINGLE-FAMILY HOMES. BORDER TOWN PHASE 4 SUBDIVISION IS LOCATED ON THE SOUTHEAST CORNER OF THE INTERSECTION OF MILE 22 1/2 ROAD AND BRUSHLINE ROAD ON THE SOUTH RIGHT OF WAY OF MILE 22 1/2 ROAD.

THE SUBDIVISION IS IN ZONE "X" OF THE FLOOD INSURANCE RATE, AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANELS NO. 480334 0325 D MAP REVISED: JUNE 8, 2000. REVISED TO REFLECT LOMR DATED MAY 17, 2001.

ACCORDING TO THE SOIL SURVEY REPORT PREPARED FOR HIDALGO COUNTY BY THE U.S.D.A. SOIL CONSERVATION SERVICE, THE SITE CONSISTS OF 18.5% OF BRENNAN FINE SANDY LOAM (3), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS NEGLECTIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND THE WATER CAPACITY IS MODERATE. THE SOIL IS CLASSIFIED AS GROUP B. ADDITIONALLY, IT CONSISTS OF 25.5% OF HIDALGO FINE SANDY LOAM (25), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS NEGLECTIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND THE WATER CAPACITY IS LOW. THE SOIL IS CLASSIFIED AS GROUP B. ADDITIONALLY, IT CONSISTS OF 0.8% OF RACOMBS SANDY CLAY LOAM (48), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS NEGLECTIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND THE WATER CAPACITY IS MODERATE. THE SOIL IS CLASSIFIED AS GROUP B. ADDITIONALLY, IT CONSISTS OF 7.9% OF HIDALGO SANDY CLAY LOAM (30), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS MODERATELY HIGH TO HIGH AND THE WATER CAPACITY IS MODERATE. THE SOIL IS CLASSIFIED AS GROUP B. ADDITIONALLY, IT CONSISTS OF 1.2% OF RACOMBS SANDY CLAY LOAM (49), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS NEGLECTIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND THE WATER CAPACITY IS MODERATE. THE SOIL IS CLASSIFIED AS GROUP C. ADDITIONALLY, IT CONSISTS OF 46.2% OF WILLCAY FINE SANDY LOAM (70), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS NEGLECTIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND THE WATER CAPACITY IS HIGH. THE SOIL IS GROUP B. PLEASE SEE ATTACHED TABLES FOR THE ENGINEERING, PHYSICAL AND CHEMICAL PROPERTIES OF THESE SOILS.

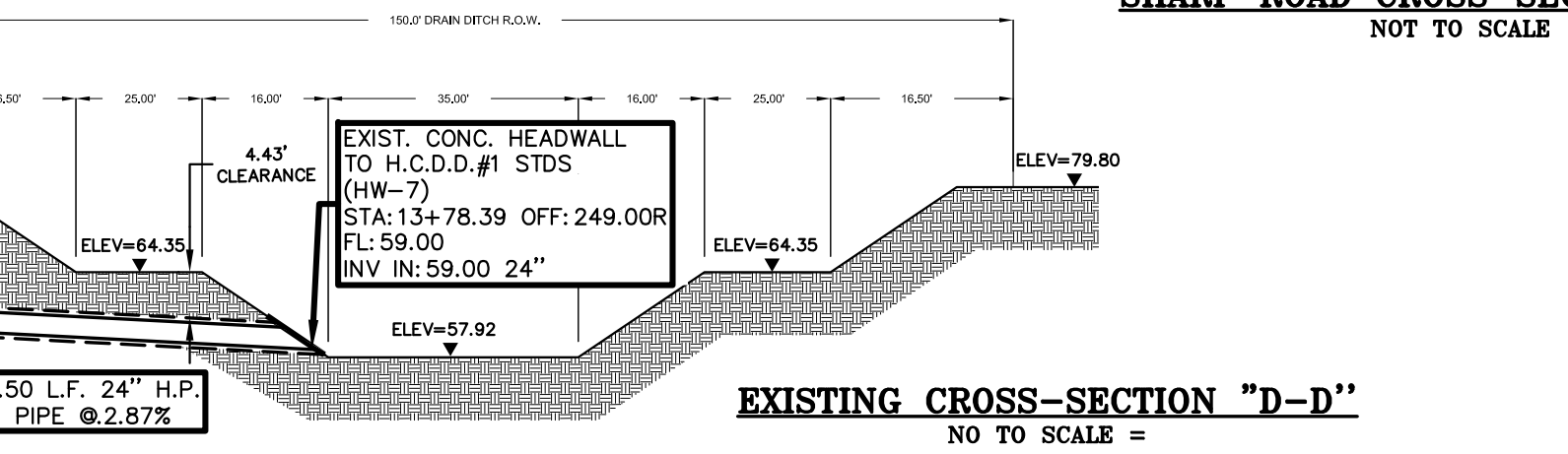
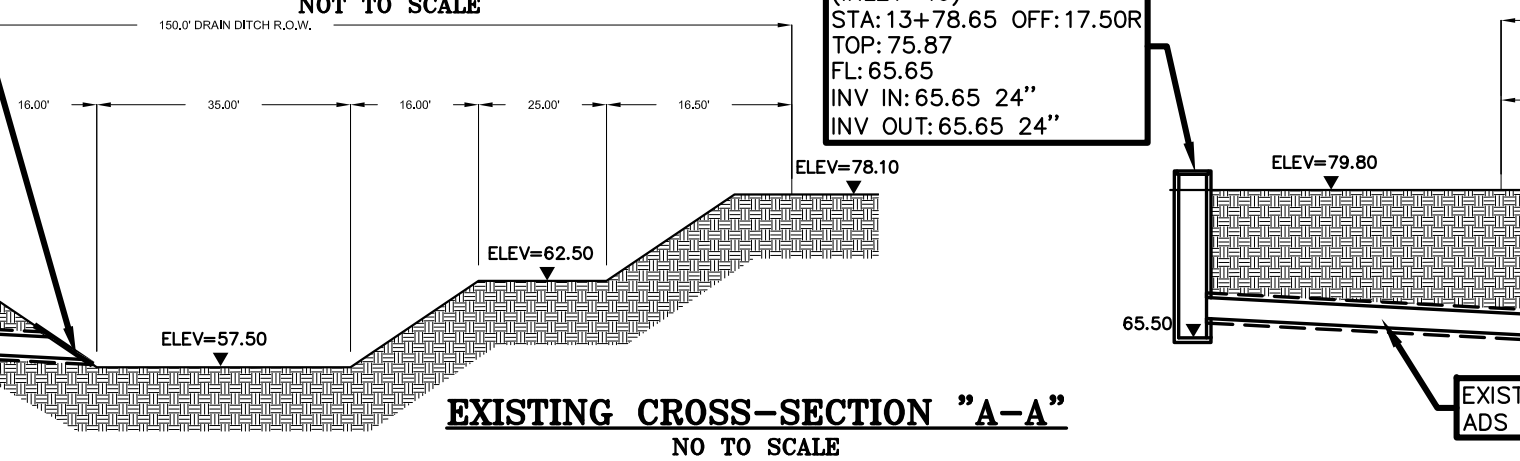
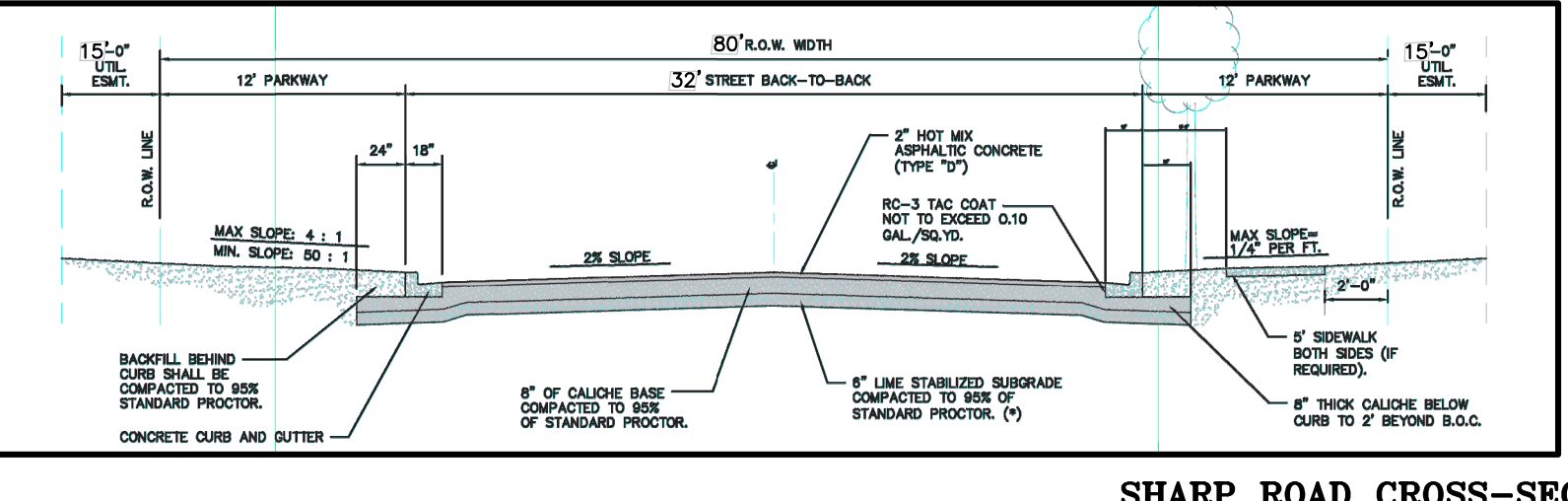
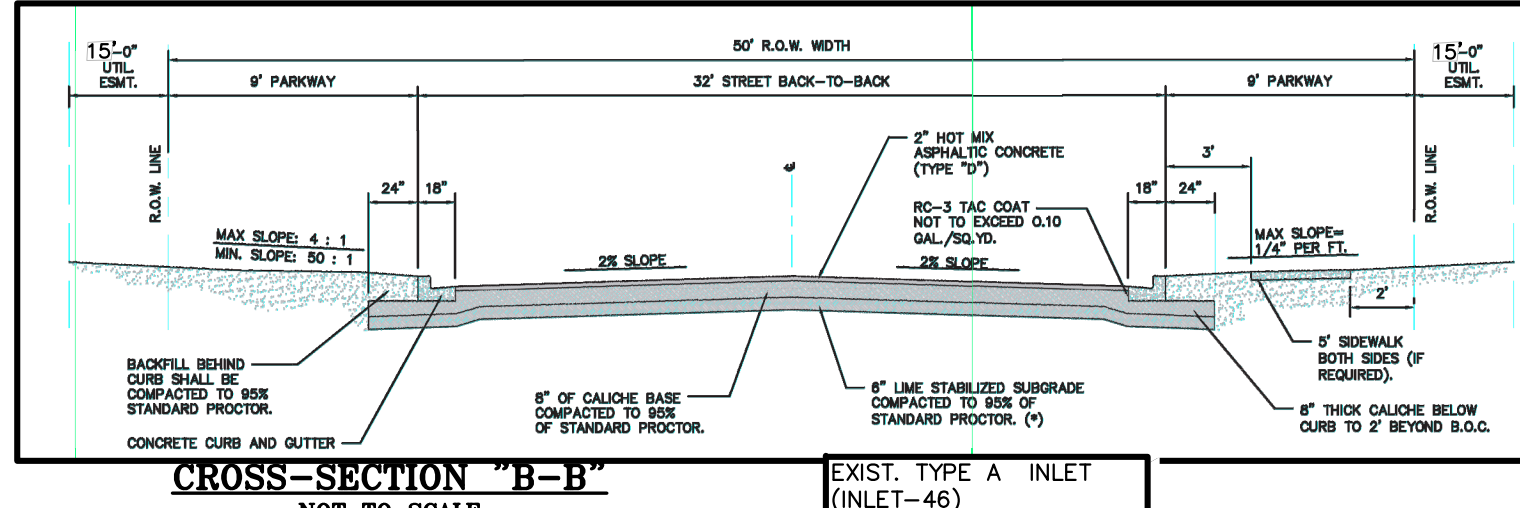
EXISTING RUNOFF SHEET FLOWS OVERLAND IN A NORTHEASTERLY DIRECTION AND OVERFLOWS TO AN EXISTING HIDALGO COUNTY DRAINAGE DISTRICT #1 J-14-00 ALONG THE EAST SIDE OF THE PROPOSED SUBDIVISION, WHICH THEN FLOWS EAST INTO J-01-00 (DA-1), THENCE NORTHEAST TO THE NORTH MAIN DRAIN I, AND FINAL OUTFALL TO THE LAGUNA MADRE.

USING THE RATIONAL METHOD, WE HAVE DETERMINED THAT A 10-YR RAINFALL EVENT WILL GENERATE APPROXIMATELY 34.51 CFS OF STORM RUNOFF. WE HAVE ALSO USED THE RATIONAL METHOD TO DETERMINE THAT THE IMPROVED SITE WILL GENERATE AN ESTIMATED 128.47 CFS OF RUNOFF 50-YR RAINFALL EVENTS RESPECTIVELY. THE IMPROVED SITE WILL HAVE AN APPROXIMATE INCREASE OF 93.96 CFS OF STORM RUNOFF.

IN ACCORDANCE WITH THE COUNTY'S DRAINAGE REQUIREMENTS, WE HAVE CALCULATED THAT APPROXIMATELY A TOTAL OF 279,437 CF OR 6.415 AC-FT, WILL NEED TO BE DETAINED FOR THE COMPLETE DEVELOPMENT OF THE SUBDIVISION FOR A 50-YR RAINFALL EVENT. LINEAR DETENTION WILL BE PROVIDED BY IMPROVING THE EXISTING HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 J-14-00 AS REQUIRED WITHIN ADDITIONAL RIGHT-OF-WAY DEDICATED TO HCCDD#1 IN ORDER TO ADD THE REQUIRED DETENTION. STORM WATERS WILL BE COLLECTED BY AN ON-SITE COLLECTION SYSTEM AND ROUTED TO THE EXISTING HIDALGO COUNTY DRAINAGE DISTRICT #1 J-14-00 ALONG THE EAST SIDE OF THE PROPOSED SUBDIVISION, WHICH FLOWS EAST INTO J-01-00 (DA-1), THENCE NORTHEAST TO THE NORTH MAIN DRAIN I, AND FINAL OUTFALL TO THE LAGUNA MADRE. TABLES AND CALCULATIONS, ARE ATTACHED.

IVAN GARCIA, P.E., R.P.L.S.

DATE



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SHEET 7 AND 8:	TYPICAL DETAILS

**RIO DELTA ENGINEERING**

FIRM REGISTRATION NO. F-7628  
SURVEY FIRM NO. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083

ISSUED FOR:  
**FINAL**

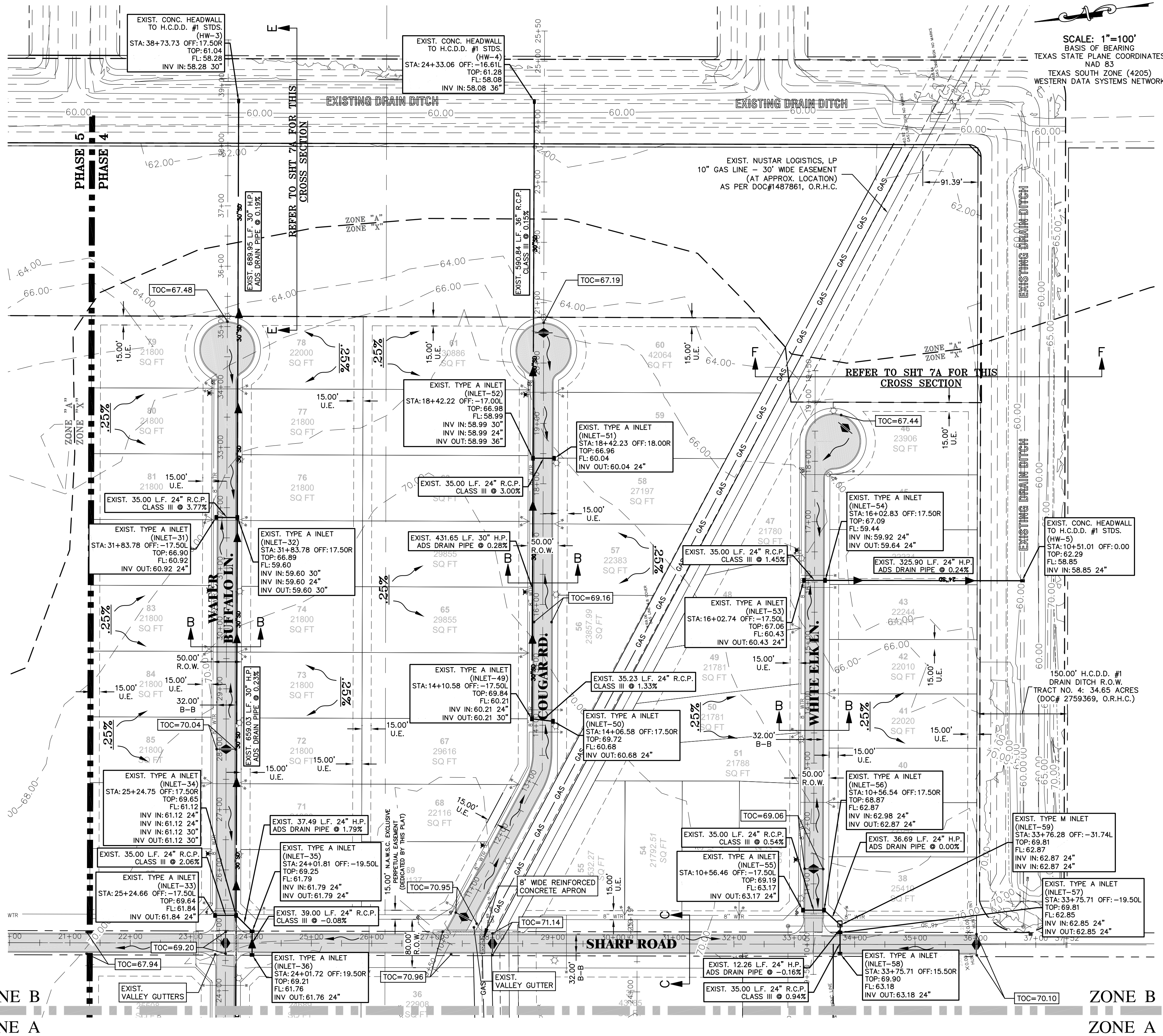
**PAVING DRAINAGE LAYOUT ZONE A**  
**BORDER TOWN SUBDIVISION NO. 4**  
**HIDALGO COUNTY, TEXAS**

PROJECT: SUB 22 011

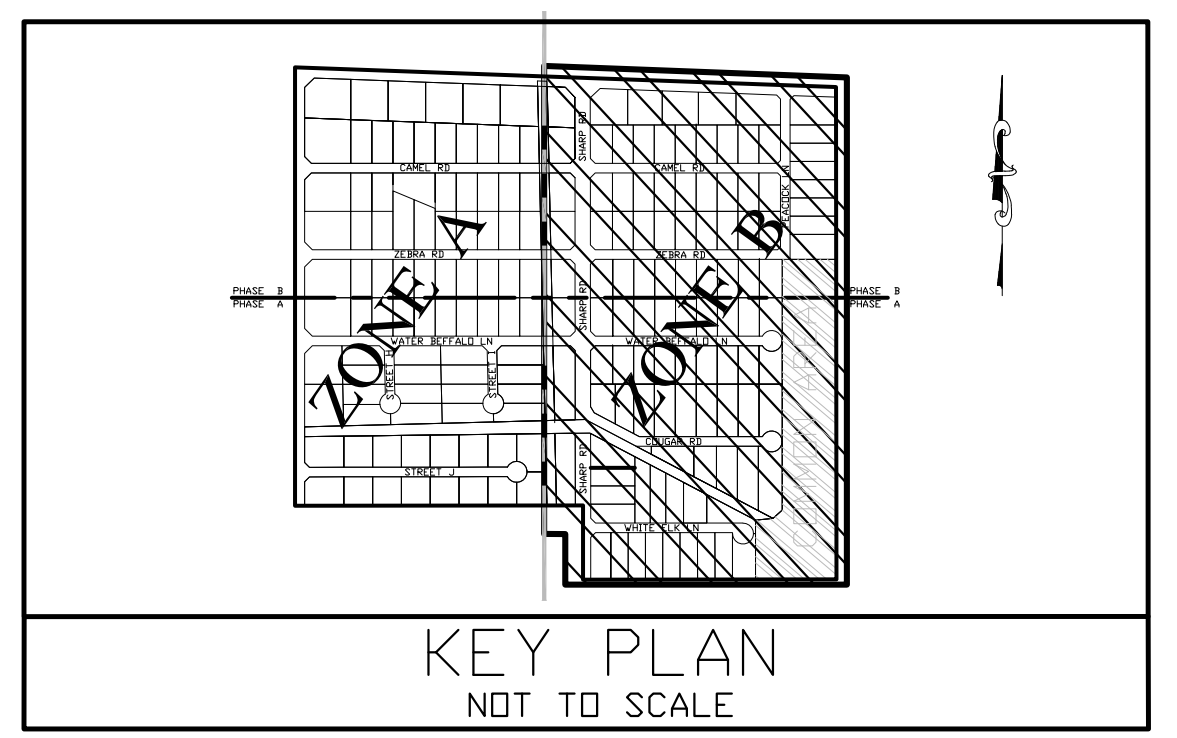
ENGINEER: IVAN GARCIA P.E., R.P.L.S.  
SURVEYOR: IVAN GARCIA P.E., R.P.L.S.  
DRAWN: IVAN GARCIA P.E., R.P.L.S.  
SCALE: G.F./H.G./O.A.  
DATE: MAY 2, 2024  
PROJECT: SUB 22 011  
REVISIONS:  
PAGE NO. 5-OF-8

Y. RDE SUBDIVISIONS 2022.SUB 22.011 - BORTERTOWN PHASE 4.DWG.PHASE IV.SUB 22.011 - RDE SHIT 5 PAVING DRAINAGE LAYOUT ZONE A.DWG.DANIEL RODRIGUEZ 9/16/2024 3:36 PM

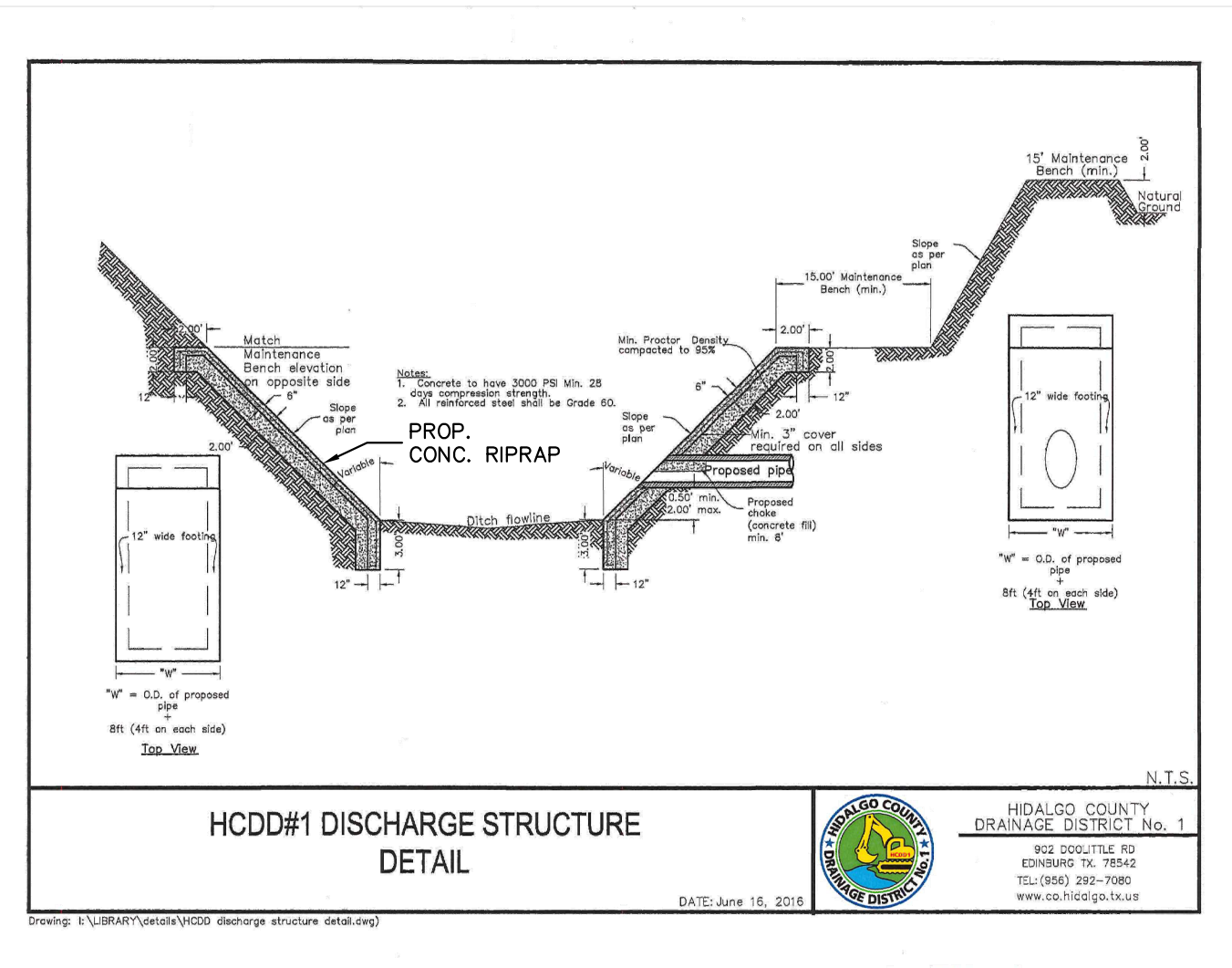
Y. RDE SUBDIVISIONS 2022.SUB 22.011 - BORBERTOWN PHASE 4.DWG/PHASE IV.SUB 22.01 - ROE SHIT 6 PAVING DRAINAGE LAYOUT ZONE B.dwg RODELTA 9/6/2024 3:42 PM



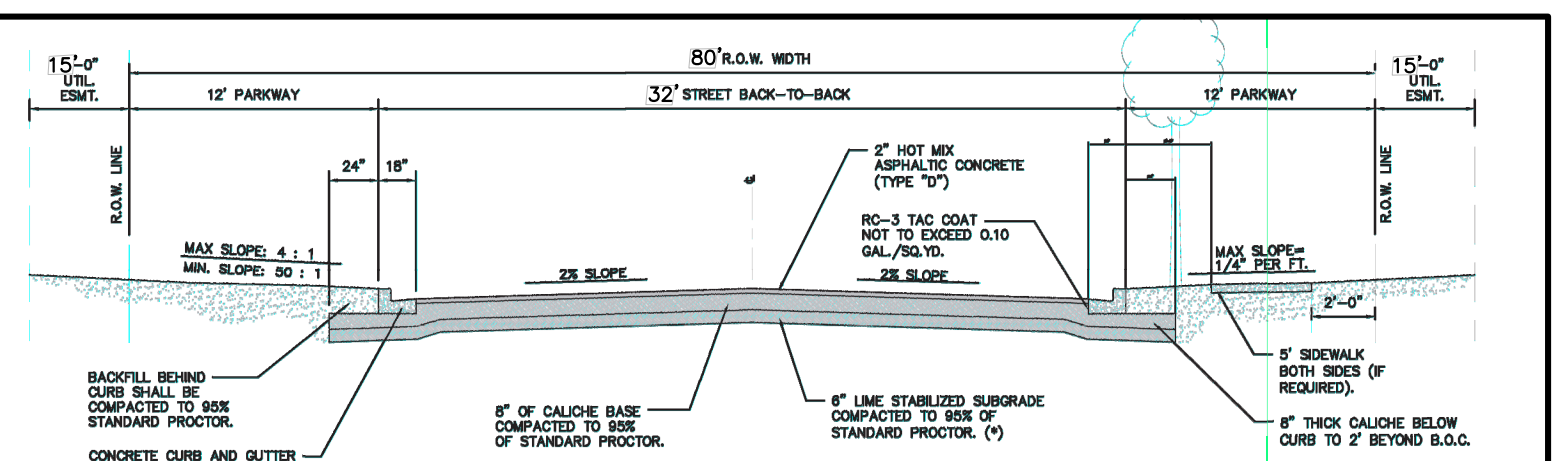
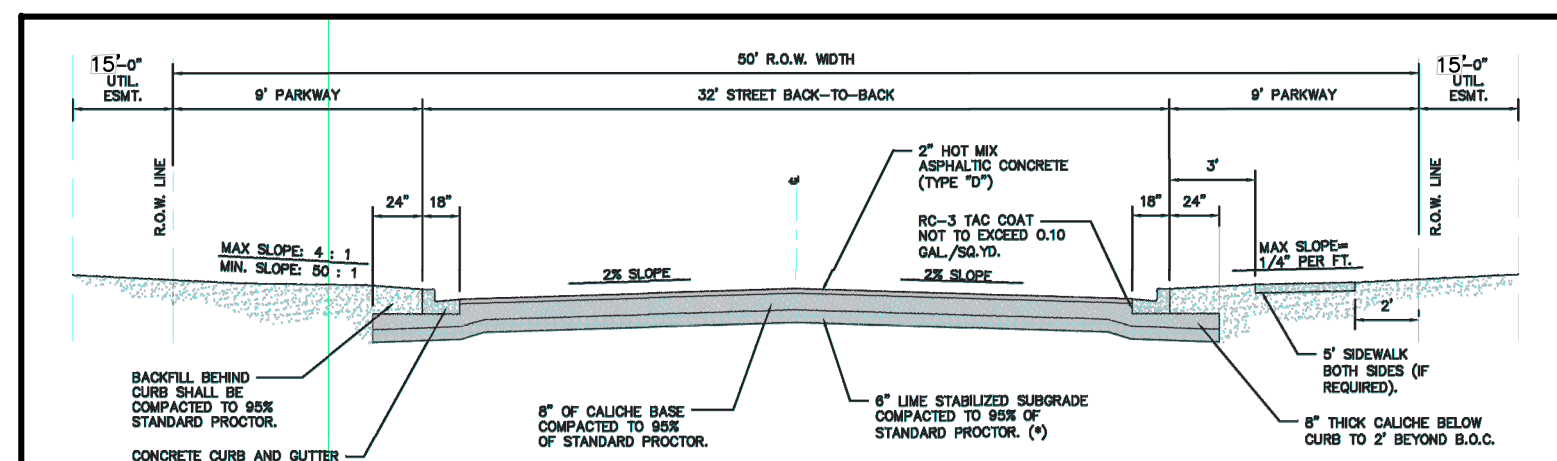
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 BASIS OF BEARING  
 TEXAS STATE PLANE COORDINATES  
 NAD 83  
 TEXAS SOUTH ZONE (4205)  
 WESTERN DATA SYSTEMS NETWORK



LEGEND	
	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. TELEPHONE PEDESTAL
	EXIST. GRATE INLET
	EXIST. LAMP POLE
	EXIST. TRAFFIC POLE
	EXIST. GUY WIRE
	EXIST. POWER POLE
	EXIST. WATER VALVE
	EXIST. FLUSH VALVE
	EXIST. IRRIGATION VALVE
	EXIST. FIREHYDRANT
	EXIST. MAIL BOX
	EXIST. BRICK MAIL BOX
	EXIST. WATER METER
	EXIST. STREET SIGN
	EXIST. SANITARY SEWER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. FENCE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	EXIST. UNDERGROUND GAS LINE



DRAINAGE VOLUME LEGEND	
VOLUME FOR DETENTION REQUIRED = 279,437 CF (6,415 CY) (AS PER DRAINAGE REPORT CALCULATIONS)	
VOLUME PROVIDED IN CROSS-SECTION E-E FOR DETENTION = 678,000 SF x 1400.00 FT = 949,200 CF (35,156 CY)	
VOLUME PROVIDED IN CROSS-SECTION F-F FOR DETENTION = 822,000 SF x 610.00 FT = 501,420 CF (18,571 CY)	
TOTAL VOLUME PROVIDED FOR DISPLACEMENT AND ADDITIONAL DETENTION = 1,450,620 CF (53,727 CY) (519% OF VOLUME REQUIRED)	



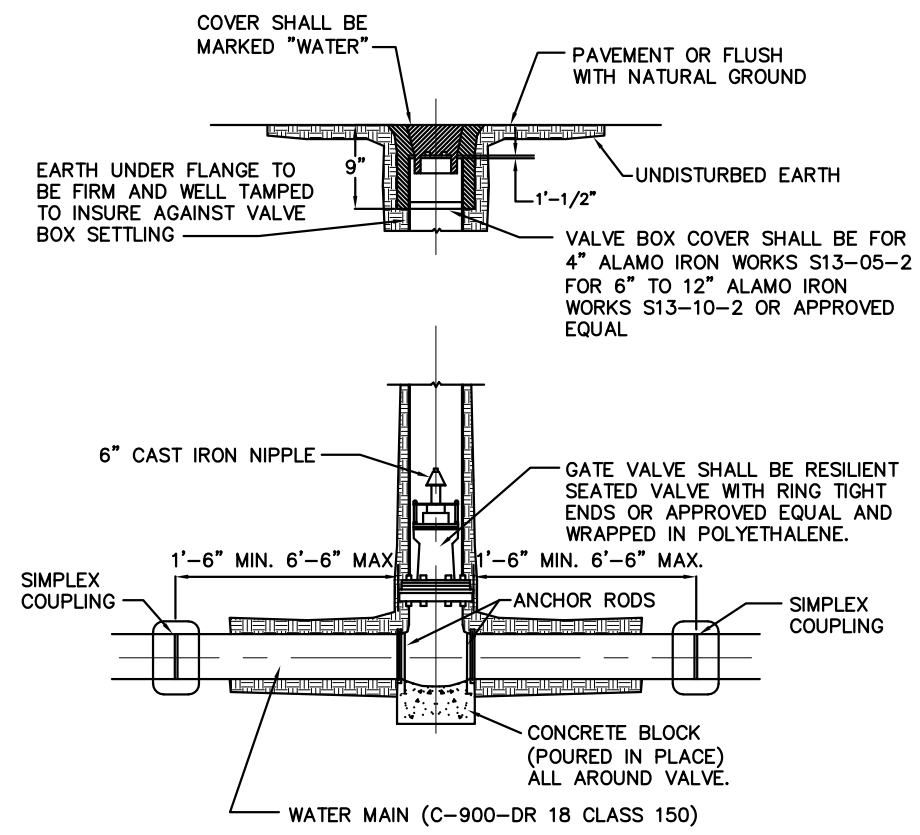
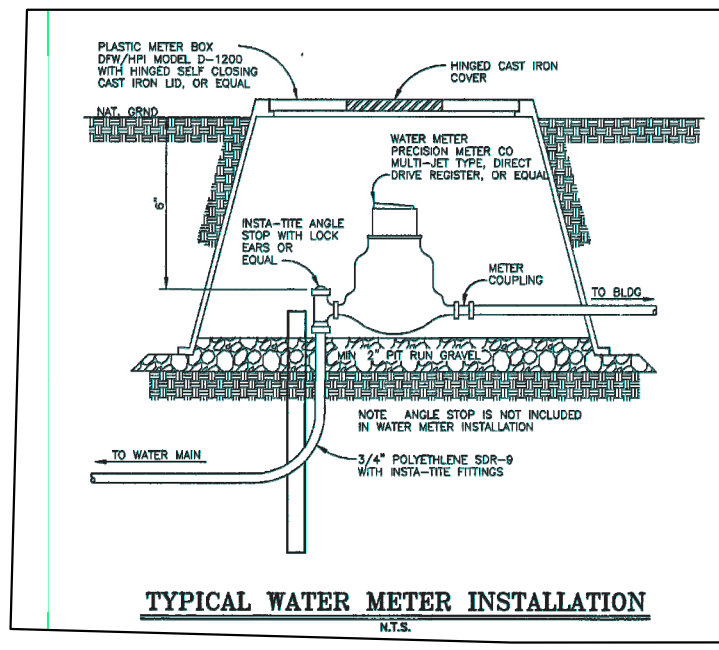
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SHEET 7 AND 8: TYPICAL DETAILS	

**RIO DELTA ENGINEERING**  
 FIRM REGISTRATION NO. F-7628  
 SURVEY FIRM NO. 10194027  
 921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
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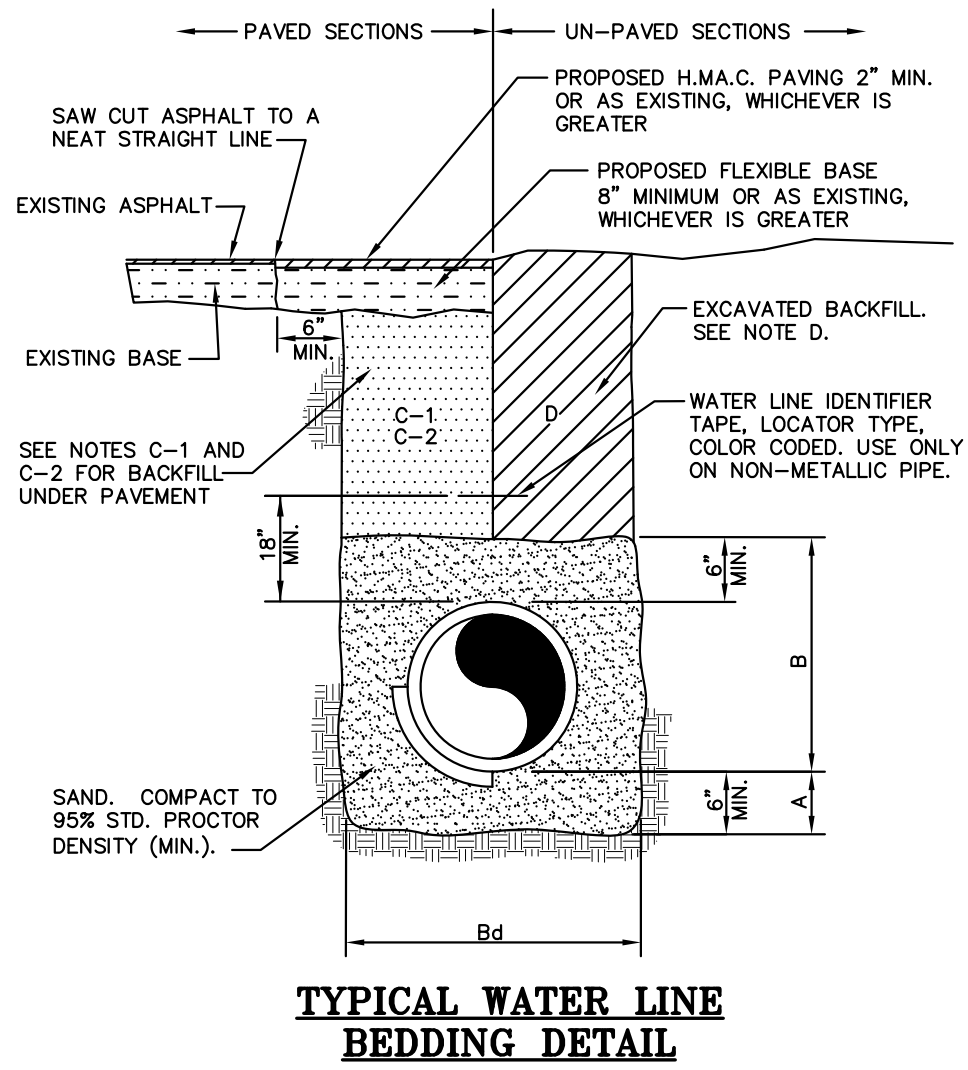
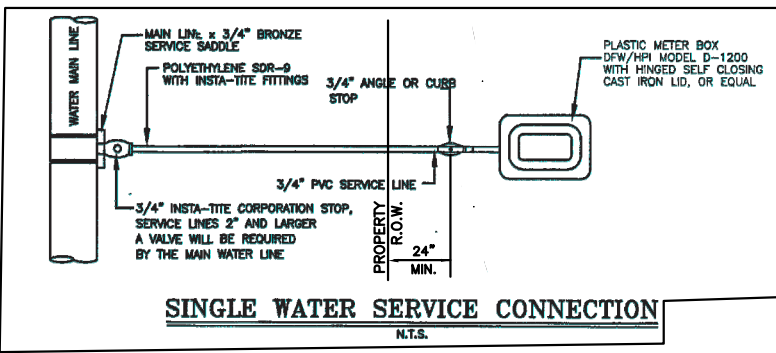
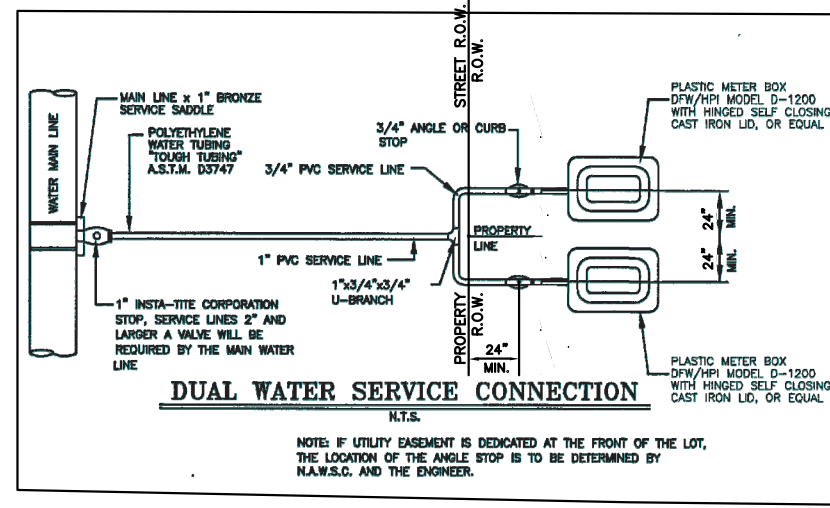
ISSUED FOR:  
**FINAL**

**PAVING DRAINAGE LAYOUT ZONE B**  
**BORDER TOWN SUBDIVISION NO. 4**  
 HIDALGO COUNTY, TEXAS

ENGINEER:  
 IVAN GARCIA P.E. R.P.L.S.  
 SURVEYOR:  
 IVAN GARCIA P.E. R.P.L.S.  
 CHECKED:  
 IVAN GARCIA P.E. R.P.L.S.  
 DRAWN:  
 G.F./H.G./O.A.  
 SCALE:  
 1"=100'  
 DATE:  
 MAY 2, 2024  
 PROJECT:  
 SUB 22.011  
 REVISIONS:  
 PAGE NO.  
 6-OF-8

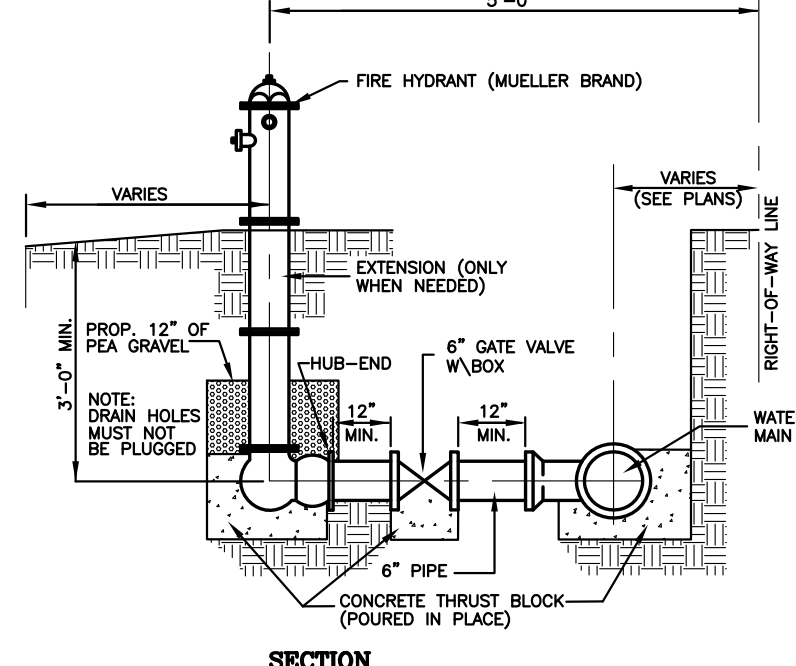
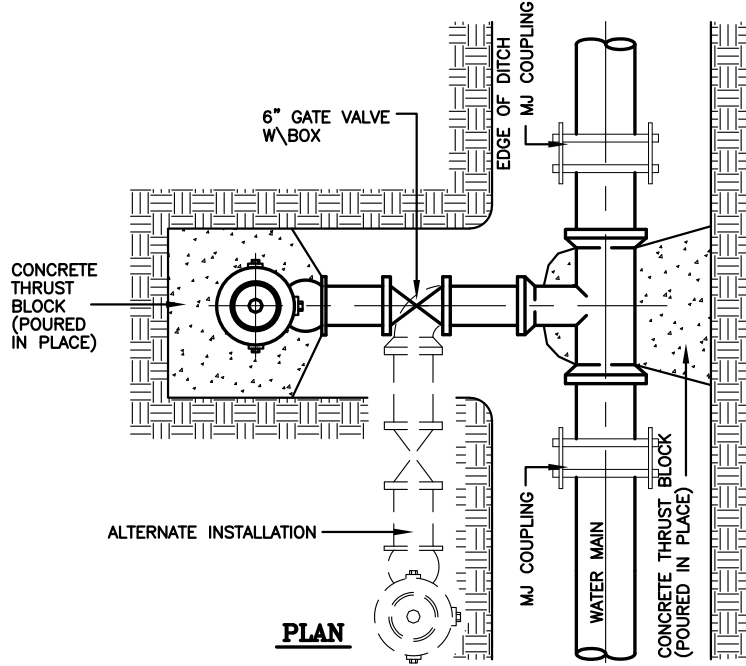


- NOTES:**
- CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS CONCRETE BLOCK (POURED IN PLACE)
  - VALVE SHALL BE MUELLER BRAND.



**GENERAL NOTES:**

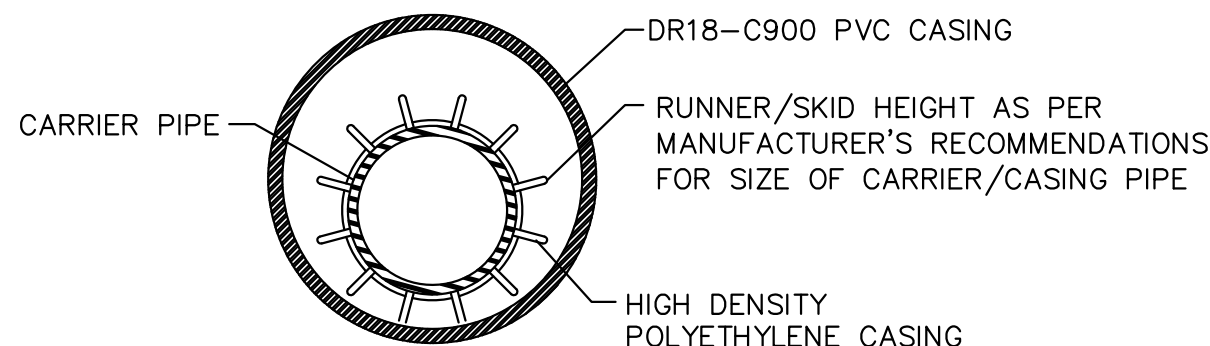
- CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
  - CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
  - MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER); PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
  - (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
  - (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 SIEVE. MAXIMUM 3/4" SIZE FOR PIPE SIZE ≤ 15". GREATER THAN 50% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.
- IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).
- WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.
- FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.



**TYPICAL FIRE HYDRANT INSTALLATION**

**NOTES:**

- CONTRACTOR TO CONTACT ALL UTILITIES COMPANIES IN THE AREA FOR FIELD VERIFICATION OF EXISTING FACILITIES. UTILITY COMPANY'S SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CENTRAL POWER & LIGHT CO. 800-274-2611
  - SOUTHERN UNION GAS CO. 800-743-2945
  - AT&T 800-298-2020
  - U.S. SPRINT CO. 956-948-3100
  - TIME WARNER CABLE 800-222-5355
  - TX. EXCAVATION SAFETY SYSTEM 800-344-8377
- CONTRACTOR TO EXPOSE ANY EXISTING FACILITY THAT MAY BE IN CONFLICT PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING CITY UTILITIES (WATER/SEWER) SHOWN ARE FROM BEST INFORMATION AVAILABLE. NEITHER THE ENGINEER NOR THE CITY IS RESPONSIBLE FOR THE ACCURACY OF LOCATION.
- CONTRACTOR SHALL AT ALL TIMES ALLOW ACCESS TO EXISTING DRIVEWAYS OR PROVIDE/MAINTAIN ALTERNATIVE ALL WEATHER ROUTES.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- TRENCHES OR EXCAVATIONS MAY NOT BE LEFT OPEN OVERNIGHT UNLESS AUTHORIZED IN WRITING BY THE ENGINEERING DEPARTMENT. IN SUCH CASES, THE CONTRACTOR MUST PROVIDE 1/2" STEEL PLATES OVER PLATES WITH ANCHORING AS PER SPECIFICATIONS TO BE PROVIDED BY THE COUNTY.
- ANY DAMAGE TO FENCES, WALKS, OR PRIVATE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXCAVATED MATERIAL AND DEBRIS FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING CONSTRUCTION MATERIALS TESTING THROUGH THE CITY'S DESIGNATED FIELD REPRESENTATIVE 24 HOURS PRIOR TO TESTING. CONTRACTOR IS RESPONSIBLE FOR ADHERING CLOSELY TO TESTING SCHEDULE AND AVOID ANY DELAYS IN THE FIELD.

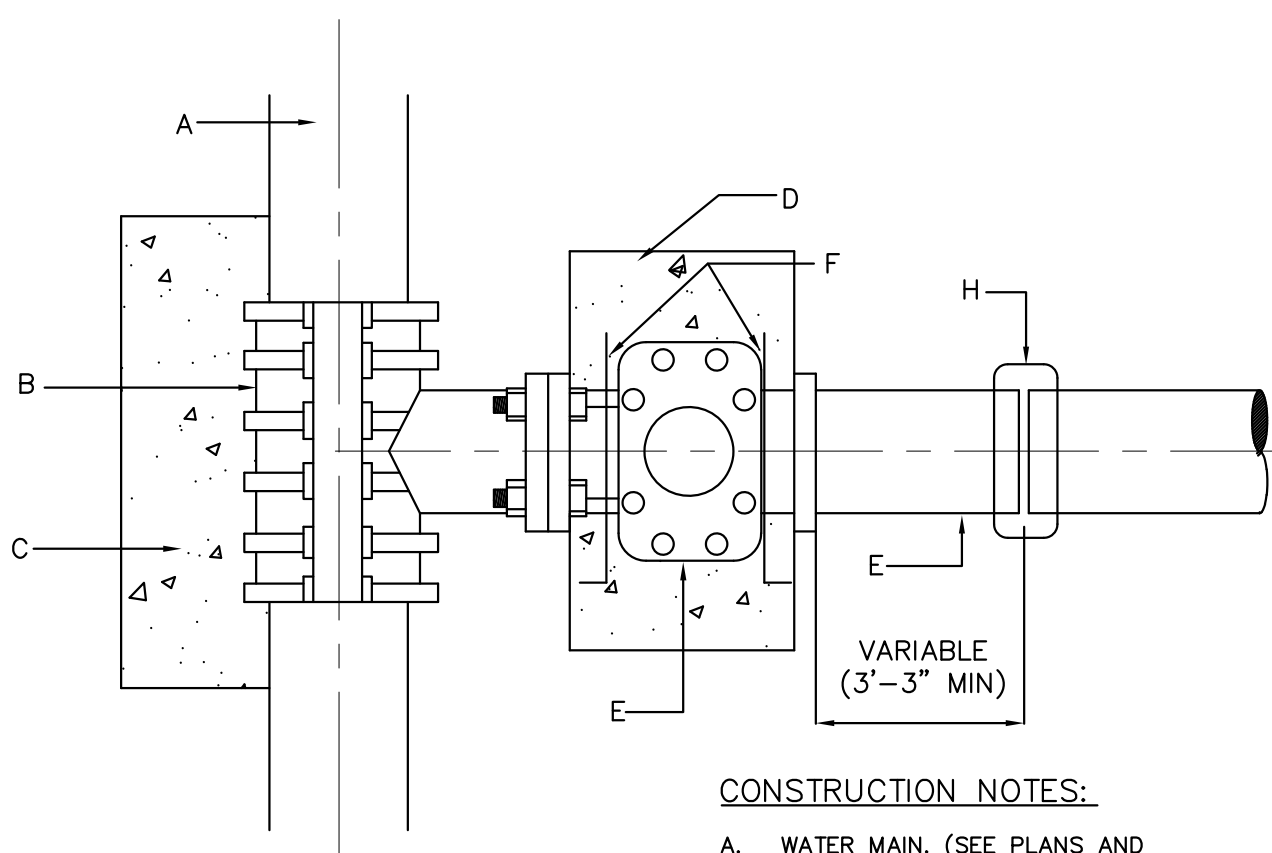


BORING INSTALLATION		
CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.3125"
8"	16"	0.3125"
10"	18"	0.3125"
12"	21"	0.3750"
14", 15"	24"	0.4375"
16"	26"	0.4375"
18"	30"	0.5000"
24"	36"	0.5625"
36"	48"	0.6250"

**GENERAL NOTES:**

- DR18-C900 PVC CASING SHALL BE CLOSED AT EACH END USING SYNTHETIC RUBBER END SEALS.
- CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASUREMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY ON THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASUREMENT.
- PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
- INSTALLATION AND SIZE OF SPACERS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

**UTILITY LINE BORE DETAIL**



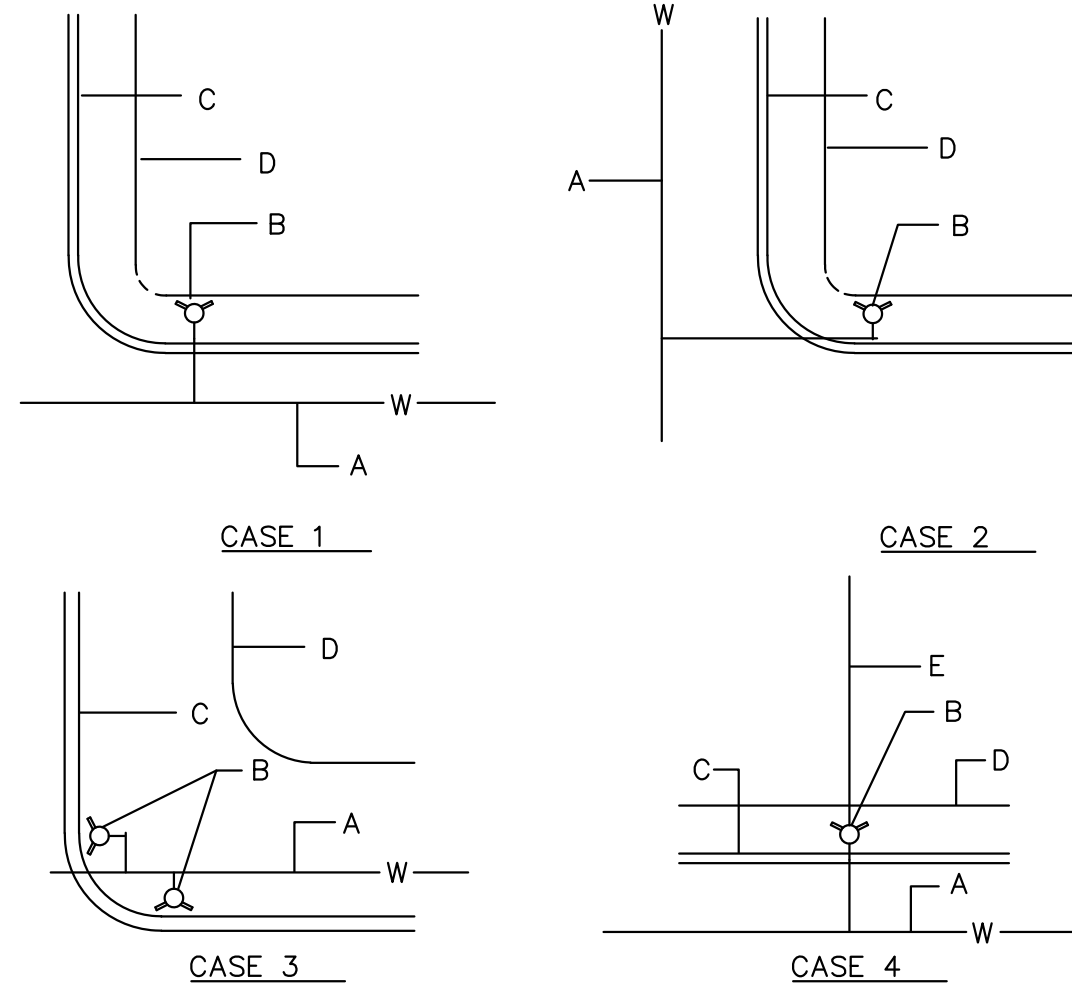
**GENERAL NOTES:**

- ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- TAPPING SLEEVE MUST BE ALL STAINLESS STEEL WITH STAINLESS BOLTS.
- VALVE SHALL BE MUELLER BRAND.

**TAPPING SLEEVE & VALVE INSTALLATION**

**CONSTRUCTION NOTES:**

- WATER MAIN. (SEE PLANS AND SPECIFICATION)
- TAPPING SLEEVE (SIZE AS REQUIRED).
- CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
- THRUST BLOCK AS PER SPECIFICATIONS.
- FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
- ANCHOR RODS.
- PVC PIPE.
- SIMPLEX COUPLING.



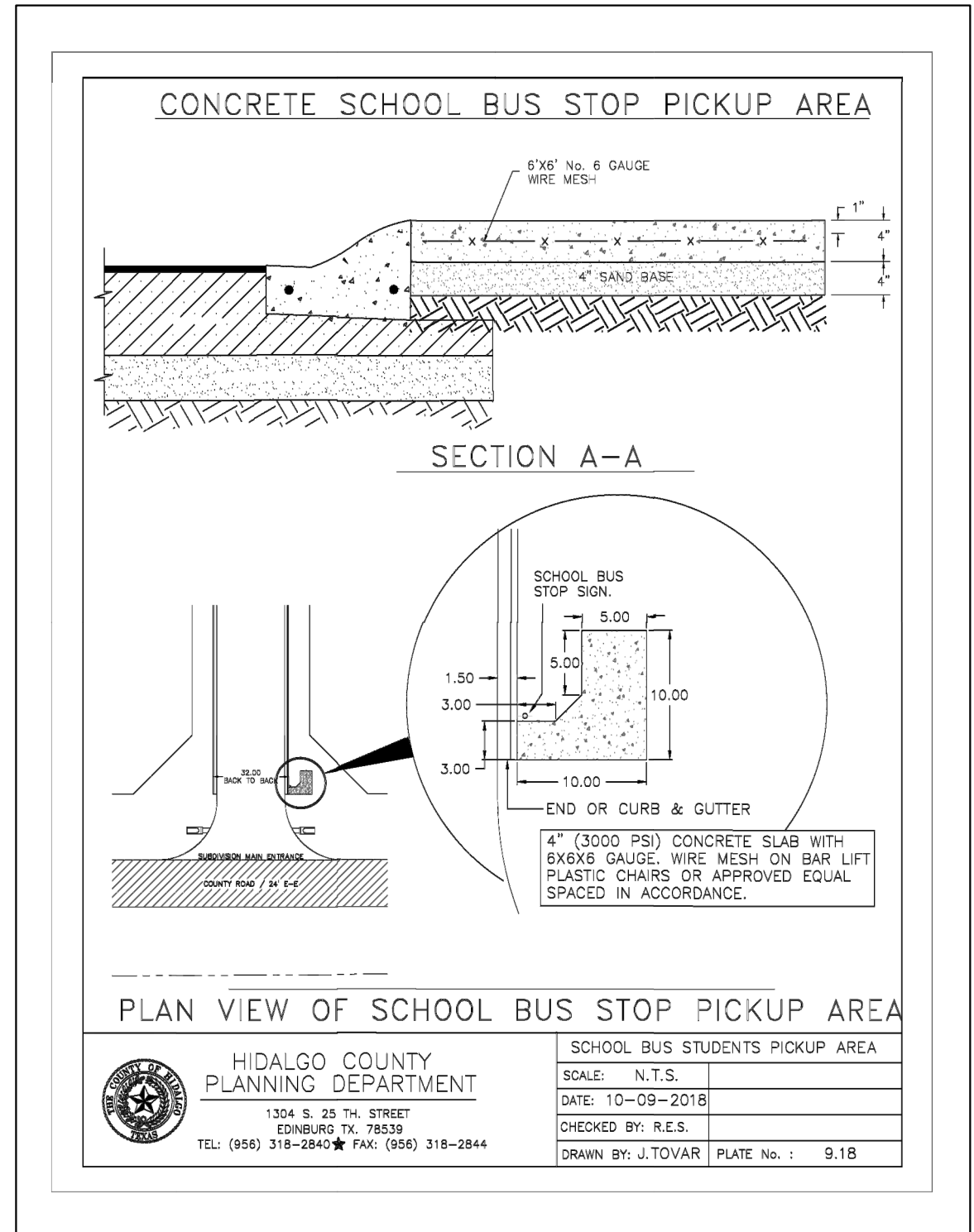
**NOTES:**

- NORMALLY, FIRE HYDRANTS ARE TO BE LOCATED AT THE END OF CURB RETURN, OR AT PROPERTY LINE.
- PERMANENT OBSTRUCTIONS SUCH AS POLES, TRAFFIC SIGNALS ETC. MAY REQUIRED RELOCATION OF FIRE HYDRANT 5' DISTANCE FROM OBSTRUCTION. FIRE HYDRANT NOT TO BE LOCATED WITHIN AREA OF CURB RETURN.

**TYPICAL FIRE HYDRANT LOCATIONS**

**CONSTRUCTION NOTES:**

- WATER MAIN.
- FIRE HYDRANT.
- CURB AND GUTTER.
- RIGHT OF WAY.
- PROPERTY LINE.



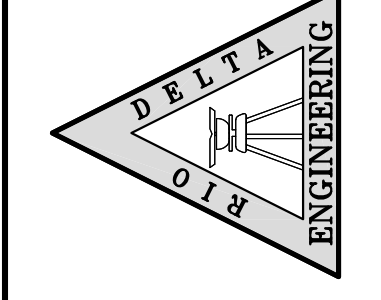
HIDALGO COUNTY PLANNING DEPARTMENT  
 1304 S. 25<sup>TH</sup> STREET EDINBURG, TX 78539  
 TEL: (956) 318-2842 FAX: (956) 318-2844

SCHOOL BUS STUDENTS PICKUP AREA  
 SCALE: N.T.S.  
 DATE: 10-09-2018  
 CHECKED BY: R.E.S.  
 DRAWN BY: J. TOVAR PLATE NO.: 9.18

**INDEX TO SHEETS OF BORDER TOWN PHASE 4 SUBDIVISION**

SHEET	DESCRIPTION
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 SURVEY FIRM NO. 10194027  
 921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
 (TEL) 956-380-5152 (FAX) 956-380-5083



ISSUED FOR:  
**FINAL**

**TYPICAL DETAILS**  
 BORDER TOWN SUBDIVISION NO. 4  
 HIDALGO COUNTY, TEXAS

PROJECT: **TYPICAL DETAILS**

ENGINEER: **IVAN GARCIA P.E. R.P.L.S.**

SURVEYOR: **IVAN GARCIA P.E. R.P.L.S.**

CHECKED: **IVAN GARCIA P.E. R.P.L.S.**

DRAWN: **G.F./H.G./O.A.**

SCALE: **AS SHOWN**

DATE: **MAY 14, 2024**

PROJECT: **SUB 22 011**

REVISIONS:

PAGE NO: **7-OF-8**