



Anthony Uresti
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 10-01-2024

PROPOSED DE LEON-ZAMORA SUBDIVISION, PRECINCT No. 3.

ENGINEER URBAN INFRASTRUCTURE GROUP INC DEVELOPER: JOSE DE LEON

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: *SINGLE FAMILY 24 *MULTI-FAMILY 2 COMMERCIAL INSTITUTIONAL

ESTIMATED NUMBER OF STREETLIGHTS: 5

FILLING STATIONS: 3

LOCATION DESCRIPTION: WEST OF CONWAY AVE. APPROXIMATELY ¼ OF A MILE NORTH OF MILE 3 LINE.

SUBDIVISION LIES WITHIN THE: ETJ CITY OF MISSION

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 5-23-24 PROPERTY LIES WITHIN FLOOD ZONE: "X & A" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE ONSITE DETENTION PONDS WITH DISCHARGE TO THE TXDOT ROADSIDE DITCH.

ROAD R.O.W. DEDICATION: NO RIGHT OF WAY DEDICATION

H.C.R.O.W. PRELIMINARY APPROVAL DATE: 10-14-2024 BY, PCT. 3 R.O.W. AGENT

H.C.H.D. PRELIMINARY APPROVAL DATE: 1-24-23 BY, ENVIRONMENTAL HEALTH DIVISION MANAGER
SEWER SYSTEM: CITY OF MISSION LINE SIZE: 8" LOCATION: CONWAY AVE.

WATER SERVICE PROVIDER: S.W.S.C. LINE SIZE: 8" LOCATION: CONWAY AVE.

H.C.E.O.C. PRELIMINARY APPROVAL DATE: 1-13-24 BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

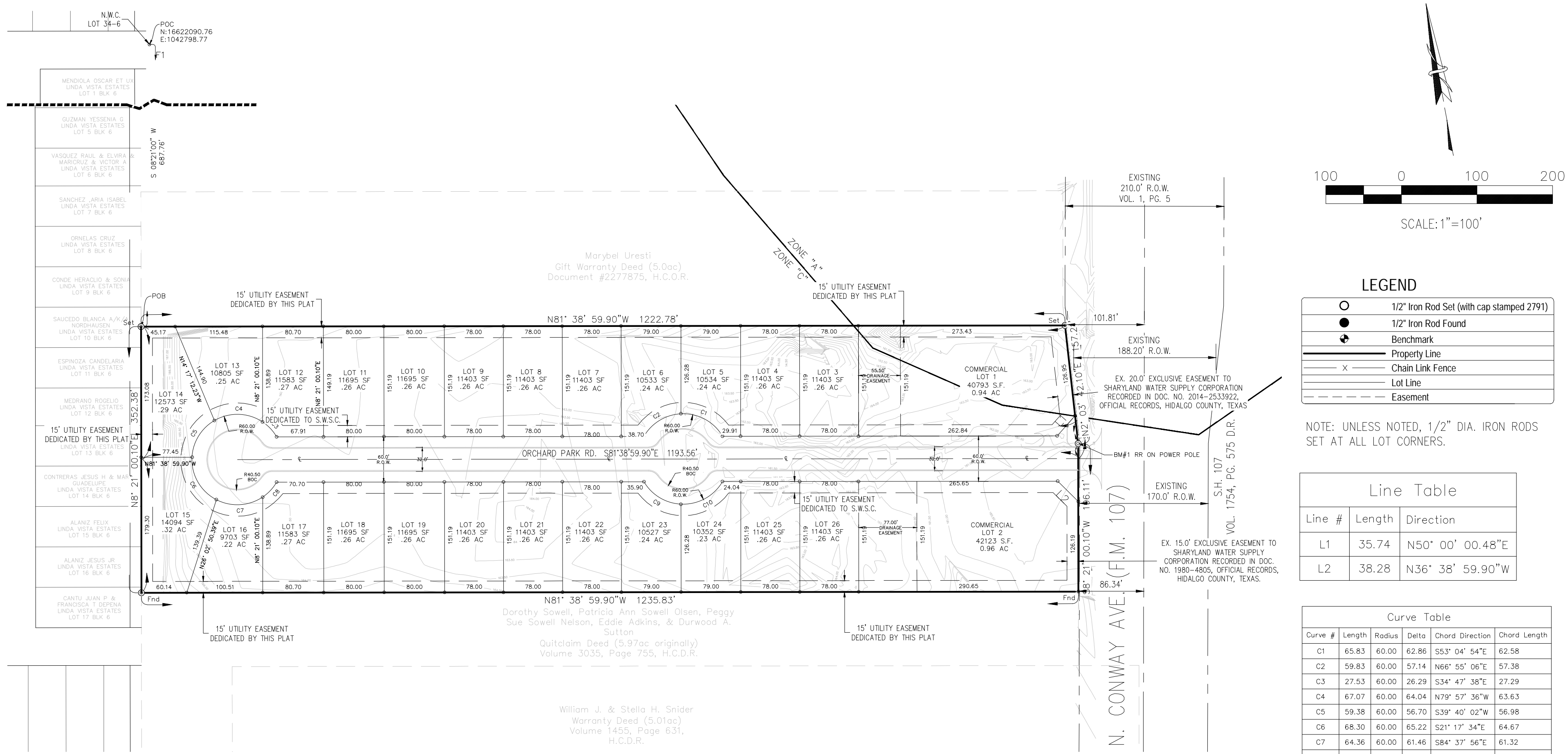
VARIANCE REQUEST TITTLE B. CHAPTER 2. SECTION 2.4 ITEM F. CUL-DE-SAC

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: N/A

STAFF RECOMMENDS: **Preliminary Approval** *subject to comments and future recommendations by planning, Other departments. and the approval of the City of MISSION.*

Final Approval *subject to recommendations other departments*

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.



PLAT NOTES:

- FLOOD ZONE DESIGNATION: ZONE "C" & ZONE "A". ZONE "C" AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAN COMMUNITY PANEL NO. 480334 0400 EFFECTIVE DATE: NOVEMBER 16, 1982. ZONE "A" COMMUNITY PANEL NO. 480334 0400 C EFFECTIVE DATE: NOVEMBER 16, 1982. AREAS WITH A 1% ANNUAL CHANCE OF FLOODING AND A 26% CHANCE OF FLOODING OVER THE LIFE OF A 30-YEAR MORTGAGE, RESPECTIVELY. FLOOD ZONE HAS BEEN REMOVED AS A SPECIAL FLOOD HAZARD AREA DETERMINED BY LETTER OF MAP REVISION BASED ON FILL CASE NUMBER: 23-06-1054P.
- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS: FRONT: 25.00 FEET OR EASEMENT WIDTH, WHICHEVER IS GREATER. REAR: 15.00 FEET OR EASEMENT WIDTH, WHICHEVER IS GREATER. SIDE: 6.00 FEET OR EASEMENT WIDTH, WHICHEVER IS GREATER. GARAGE: 15.00 FEET OR EASEMENT WIDTH, WHICHEVER IS GREATER. CURB-DE-SAC: 15.00 FEET OR EASEMENT WIDTH, WHICHEVER IS GREATER.
- LOT 1 AND LOT 2 SHALL BE FOR COMMERCIAL USE ONLY. LOTS 3-24 WILL BE FOR RESIDENTIAL MULTI-FAMILY USE. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACT FOR DEEDS. A BUFFER FENCE IS REQUIRED TO BE INSTALLED BY DEVELOPER ALONG ALL ADJUTING RESIDENTIAL LOTS. APPLICATIONS FOR CONSTRUCTION APPROVED BY THE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 163.00 OR 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF THE EASEMENT.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT: BM 1 - RR FOUND ON POWER POLE LOCATED AT SOUTHEAST CORNER OF PROPOSED COMMERCIAL LOT 1, N: 16621075.45 E: 043904047 ELEVATION: 161.615
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 AND THE CITY OF MISSION REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 69,587 CUBIC FEET OF STORM WATER RUNOFF.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
- LOTS 1 & 2 SHALL NOT HAVE DIRECT ACCESS TO FM 107, ACCESS SHALL BE BY ORCHARD PARK ROAD.
- CLEARANCES FOR WATER METERS: ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCY PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METERS(S).
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE DEVELOPMENT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4.
- AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT SHALL BE REQUIRED FOR SCHOOLS, COMMERCIAL AND INDUSTRIAL USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSP PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATE STANDARDS.
- OWNERS OF COMMERCIAL LOTS 1 AND 2 SHALL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE FOR THEIR RESPECTIVE EASEMENTS.
- ALL SHARPLYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARPLYLAND WATER SUPPLY CORPORATION.

ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.

NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.

NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT ON THIS, THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHTS OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: _____ PRESIDENT _____ SECRETARY

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MISSION MAYORS CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MISSION, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MISSION _____ DATE

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MISSION MAYORS CERTIFICATION

I, CARLOS LIMA HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE DE LEON-ZAMORA SUBDIVISION LOCATED IN THE CITY OF MISSION, TEXAS, IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISIONS POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARPLYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARPLYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
GENERAL MANAGER _____ DATE

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE SECTION 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER _____ DATE

STATE OF TEXAS
COUNTY OF HIDALGO
CERTIFICATION BY THE CHAIRMAN OF THE COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSION, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBERTO ZAMORA KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARIA ZAMORA KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

OWNERS DEDICATION, CERTIFICATION, AND ATTESTATION

I, ROBERTO AND MARIA N. ZAMORA AS OWNER OF THE 5.0 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED DE LEON-ZAMORA SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

WE CERTIFY THAT WE HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT

(A) THE WATER QUALITY CONNECTIONS TO THE LOT(S) MEET OR WILL MEET MINIMUM STATE STANDARDS.

(B) SANITARY SEWER CONNECTIONS TO THE LOT(S) OR SEPTIC TANKS MEET OR WILL MEET MINIMUM STATE STANDARDS.

(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOT(S) MEET OR WILL MEET MINIMUM STATE STANDARDS.

(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOT(S) MEET OR WILL MEET MINIMUM STATE STANDARDS.

WE ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

BY: ROBERTO ZAMORA _____ DATE
2612 UVALDE AVE.
MCALLEN TX 78503

BY: MARIA N. ZAMORA _____ DATE
2612 UVALDE AVE.
MCALLEN TX 78503

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBERTO ZAMORA KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARIA ZAMORA KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

OWNERS DEDICATION, CERTIFICATION, AND ATTESTATION

I, JOSE A. DE LEON AND MARIA O. DE LEON AS OWNER OF THE 5.0 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED DE LEON-ZAMORA SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

WE CERTIFY THAT WE HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT

(A) THE WATER QUALITY CONNECTIONS TO THE LOT(S) MEET OR WILL MEET MINIMUM STATE STANDARDS.

(B) SANITARY SEWER CONNECTIONS TO THE LOT(S) OR SEPTIC TANKS MEET OR WILL MEET MINIMUM STATE STANDARDS.

(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOT(S) MEET OR WILL MEET MINIMUM STATE STANDARDS.

(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOT(S) MEET OR WILL MEET MINIMUM STATE STANDARDS.

WE ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

BY: JOSE A. DE LEON _____ DATE
114 WAGON TRAIL RD.
MISSION, TX 78573

BY: MARIA O. DE LEON _____ DATE
114 WAGON TRAIL RD.
MISSION, TX 78573

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOSE A. DE LEON KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARIA O. DE LEON KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOSE A. DE LEON KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

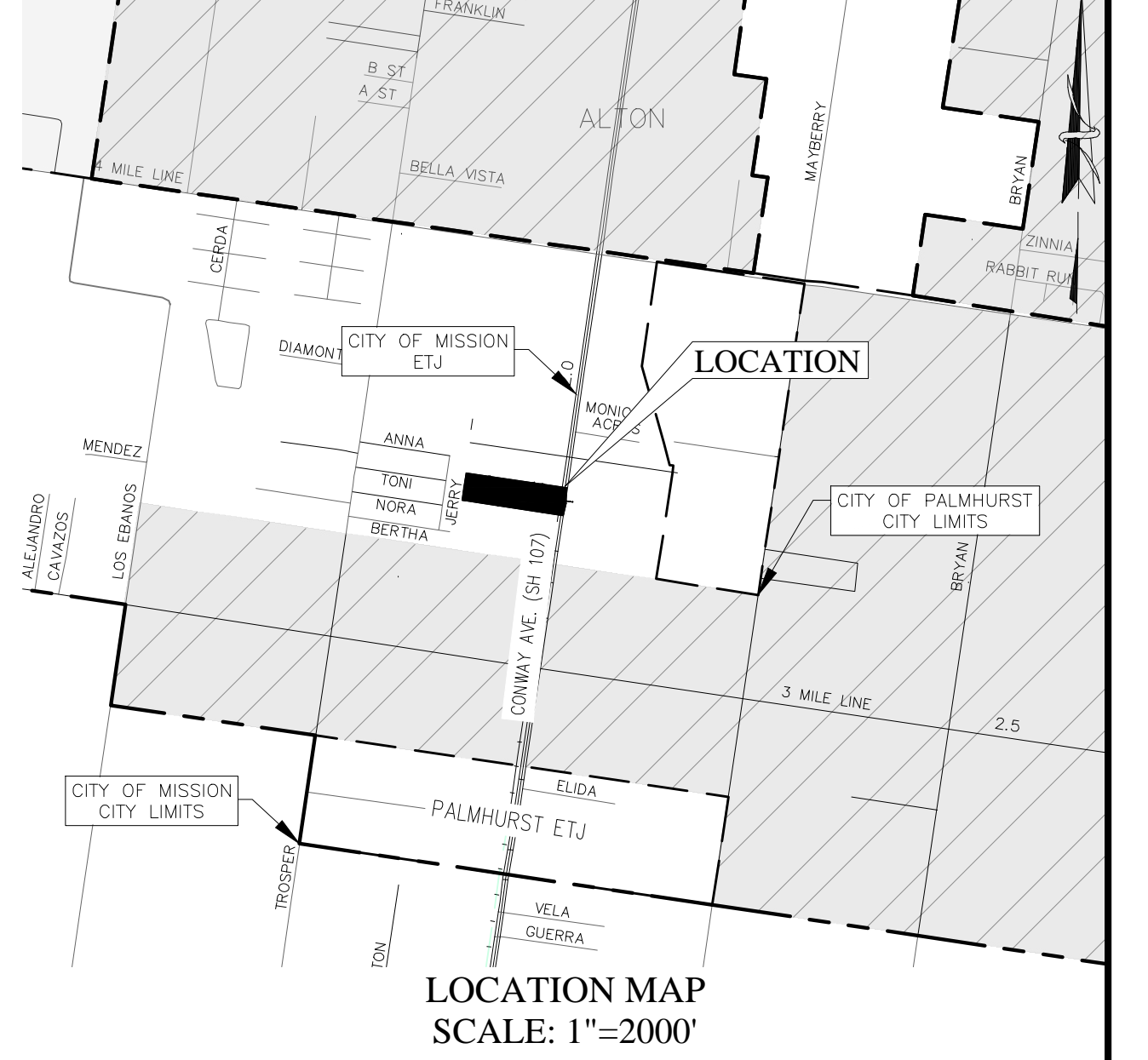
NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARIA O. DE LEON KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____



DE LEON-ZAMORA SUBDIVISION IS LOCATED WITHIN HIDALGO COUNTY PRECINCT NO.3 IN THE SOUTHWESTERN PART OF HIDALGO COUNTY AT A DISTANCE APPROXIMATELY 2.150 FEET NORTH OF THE INTERSECTION OF NORTH MILE 3 AND FM 107. THE SUBDIVISION IS LOCATED .85 MILES FROM THE CITY LIMITS OF THE CITY OF MISSION, TEXAS. (POPULATION 85,870 (CENSUS 2020)) AND IS WITHIN THE 2 MILE EXTRATERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 212.001 AND § 212.003.

METES AND BOUNDS DESCRIPTION:

A 10,000-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 34-6, JOHN H. SHARY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGES 17, HIDALGO COUNTY MAP RECORDS, TEXAS, REFERENCE TO WHICH IS HEREIN MADE FOR ALL PURPOSES, LOCATED ON THE WEST SIDE OF SH 107 (CONWAY) APPROXIMATELY 1,605 FEET NORTH OF MILE 3 NORTH ROAD, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A POINT FOR THE APPARENT NORTHWEST CORNER OF SAID LOT 34-6, THENCE, SOUTH 08 DEGREES 21 MINUTES 00 SECONDS WEST, WITH THE APPARENT WEST LINE OF SAID LOT 34-6, A DISTANCE OF 687.76 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR AN EXTERNAL CORNER OF SAID 10,000-ACRE TRACT OF LAND HEREIN DESCRIBED, AND BEING THE POINT OF BEGINNING (P.O.B.) OF SAID 10,000-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 02 DEGREES 03 MINUTES 42 SECONDS WEST, WITH THE SAID EXISTING WEST RIGHT-OF-WAY LINE OF SH 107 AND THE APPARENT NORTHERN EAST LINE OF SAID 10,000-ACRE TRACT, A DISTANCE OF 157.21 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR AN EXTERNAL CORNER OF SAID 10,000-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 08 DEGREES 21 MINUTES 00 SECONDS WEST, WITH THE SAID EXISTING WEST RIGHT-OF-WAY LINE OF SH 107, AND THE APPARENT SOUTHERN EAST LINE OF SAID 10,000-ACRE TRACT, A DISTANCE OF 196.11 FEET TO A NO. 4 REBAR FOUND WITH PLASTIC CAP FOR THE APPARENT NORTHWEST CORNER OF A TRACT VESTED IN DOROTHY SOWELL, ANN SOWELL OLSEN, PEGGY SUE SOWELL NELSON, EDDIE ADKINS, & DURWOOD A. SUTTON (VOLUME 3035, PAGE 755, DEED RECORDS, HIDALGO COUNTY, TEXAS), AND THE SOUTHEAST CORNER OF SAID 10,000-ACRE TRACT OF LAND HEREIN DESCRIBED;

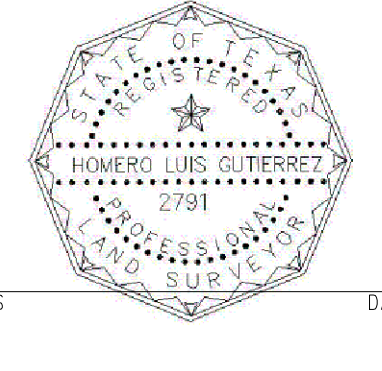
THENCE, NORTH 81 DEGREES 39 MINUTES 00 SECONDS WEST, PARALLEL TO THE SAID NORTH LOT LINE OF SAID LOT 34-6, AND WITH THE APPARENT SOUTH LOT LINE OF SAID 10,000-ACRE TRACT, AND THE NORTH LOT LINE OF SAID TRACT VESTED IN DOROTHY SOWELL, ANN SOWELL OLSEN, PEGGY SUE SOWELL NELSON, EDDIE ADKINS, & DURWOOD A. SUTTON, A DISTANCE OF 1,240.00 FEET TO A NO. 4 REBAR FOUND ON THE SAID WEST LOT LINE OF SAID LOT 34-6 (N: 16621061.65, E: 1042647.69) FOR THE APPARENT NORTHWEST CORNER OF SAID TRACT VESTED IN DOROTHY SOWELL, ANN SOWELL OLSEN, PEGGY SUE SOWELL NELSON, EDDIE ADKINS, & DURWOOD A. SUTTON, AND THE SOUTHWEST CORNER OF SAID 10,000-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 08 DEGREES 21 MINUTES 00 SECONDS EAST, WITH SAID WEST LOT LINE OF SAID LOT 34-6, AND OF SAID 10,000-ACRE TRACT, A DISTANCE OF 352.38 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT NORTHWEST CORNER OF SAID 10,000-ACRE TRACT OF LAND HEREIN DESCRIBED, AND ALSO BEING THE POINT OF BEGINNING (P.O.B.), CONTAINING A GROSS OF 10,000 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, HOMERO LUIS GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND AT THE TIME OF SURVEY

HOMERO L. GUTIERREZ, RPLS
R.P.L.S. No. 2791 _____ DATE



**DE LEON-ZAMORA SUBDIVISION
PRELIMINARY PLAT**

A 10,000-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 34-6, JOHN H. SHARY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGES 17, HIDALGO COUNTY MAP RECORDS, TEXAS,

COMMERCIAL LOTS: LOT 1-2 **RESIDENTIAL LOTS: LOT 3-26**

INDEX TO SHEET OF DE LEON-ZAMORA SUBDIVISION PLAT

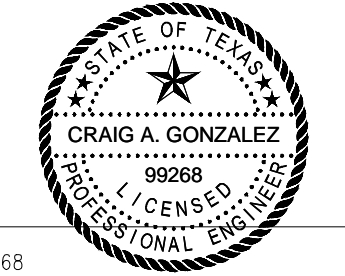
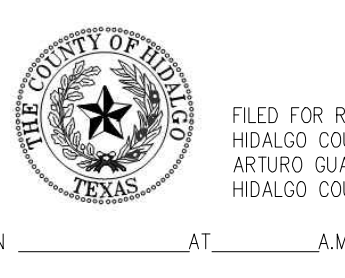
- HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES AND BOUNDS); PLAT NOTES AND RESTRICTIONS; OWNERS DEDICATION, CERTIFICATION & ATTESTATION; ENGINEER'S & SURVEYOR'S CERTIFICATION; CITY OF MISSION MAYOR'S CERTIFICATION OF PLAT APPROVAL; CITY OF MISSION PLANNING AND ZONING COMMISSION CERTIFICATION OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE ETJ OF A MUNICIPALITY AND DESIGNATION OF THE PRECINCT THE PROJECT IS SITUATED; COUNTY CLERK'S RECORDING CERTIFICATION; HIDALGO COUNTY DRAINAGE DISTRICT NO.1 APPROVAL.
- WATER DISTRIBUTION AND SANITARY SEWER MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION) INCLUDING DESCRIPTION OF WATER AND WASTE WATER AND ENGINEER'S CERTIFICATION AND STATEMENT.
- DRAINAGE PLAN INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEER'S CERTIFICATION REVISION NOTES.
- CIVIL DETAILS INCLUDING: WATER SERVICE CONNECTIONS, STREET CROSS SECTIONS, SEWER SERVICE CONNECTIONS & DRAINAGE STRUCTURE DETAILS

URBAN INFRASTRUCTURE GROUP, INC.

260 S TEXAS BLVD, STE. 403
WESLACO, TEXAS 78596

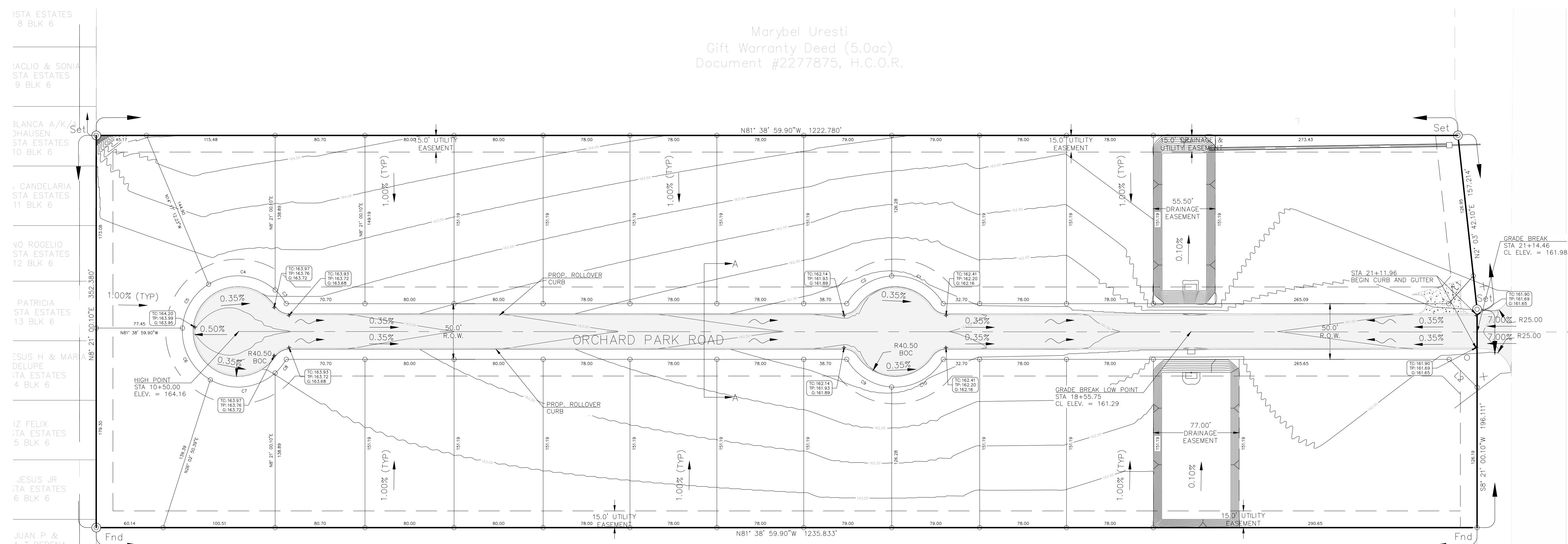
(956) 405-3337
TBPE FIRM NO. F-13094
WWW.UIGTEXAS.COM

OWNER:	ADDRESS:	PHONE:
OWNER: JOSE A. DE LEON	114 WAGON TRAIL RD., MISSION, TX 78573	(956) 827-6502
OWNER: ROBERTO & MARIA ZAMORA	2612 UVALDE AVE., MCALLEN, TX 78503	(956) 405-3337
ENGINEER: URBAN INFRASTRUCTURE GROUP, INC.	260 S TEXAS BLVD, STE. 403, WESLACO TX 78596	(956) 369-0988
SURVEYOR: CRAIG A. GONZALEZ	P.O. BOX 548 MCALLEN, TEXAS 78505	



DATE PREPARED:
09/04/2024

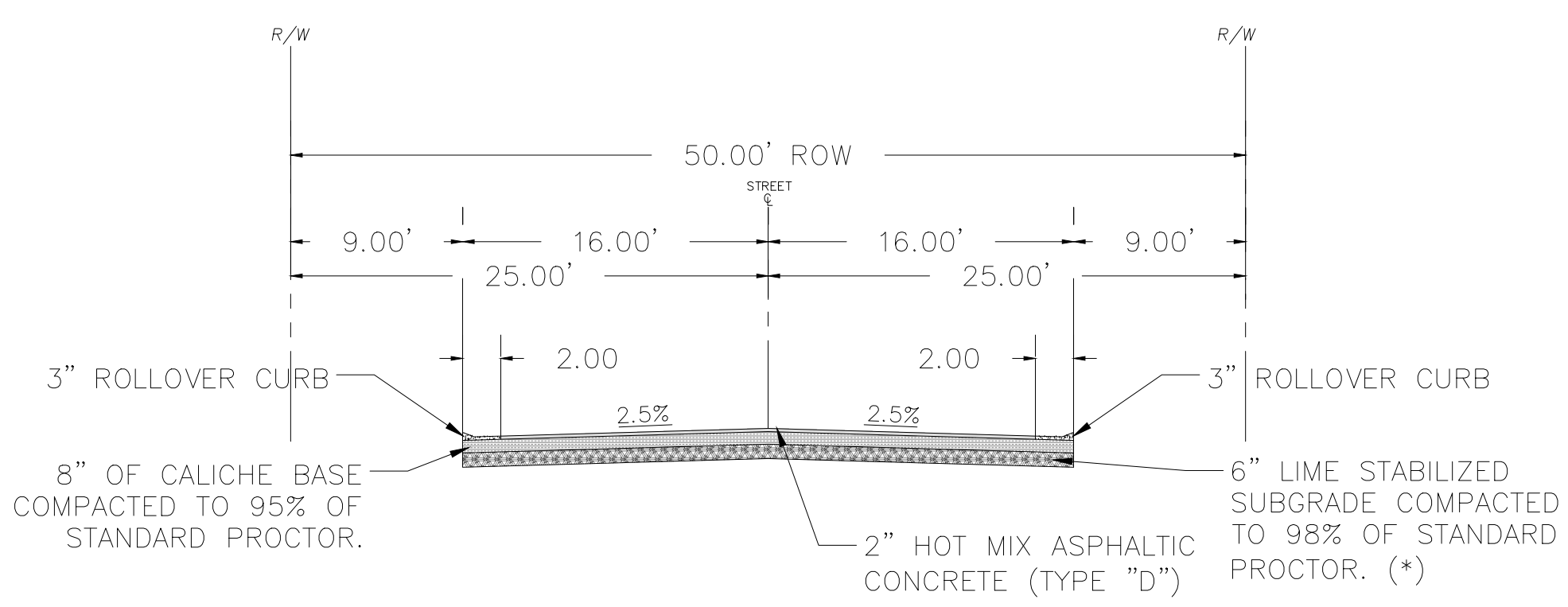
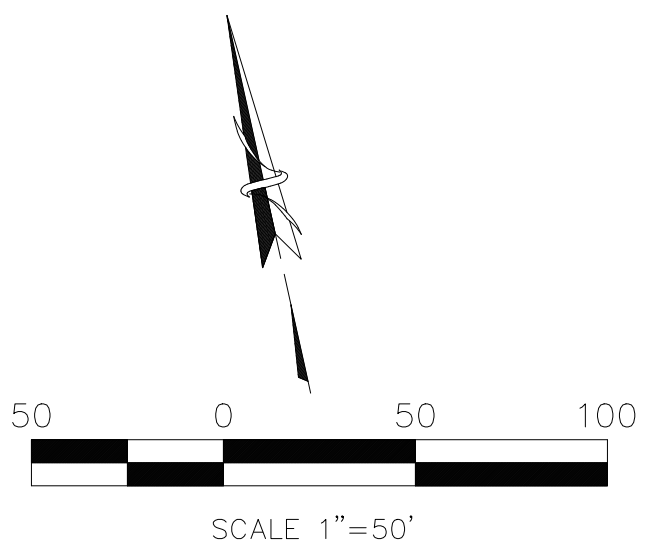
Marybel Uresti
Gift Warranty Deed (5.0ac)
Document #2277875, H.C.O.R.



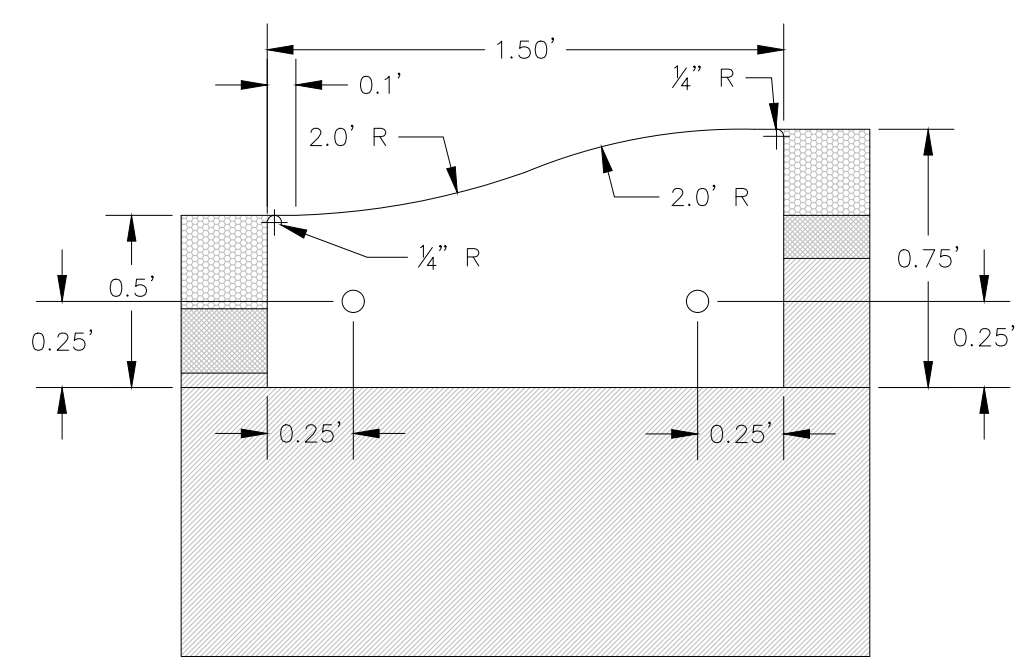
Dorothy Sowell, Patricia Ann Sowell Olsen, Peggy Sue Sowell Nelson, Eddie Adkins, & Durwood A. Sutton
Quitclaim Deed (5.97ac originally)
Volume 3035, Page 755, H.C.D.R.

REV.	DESCRIPTION	DATE

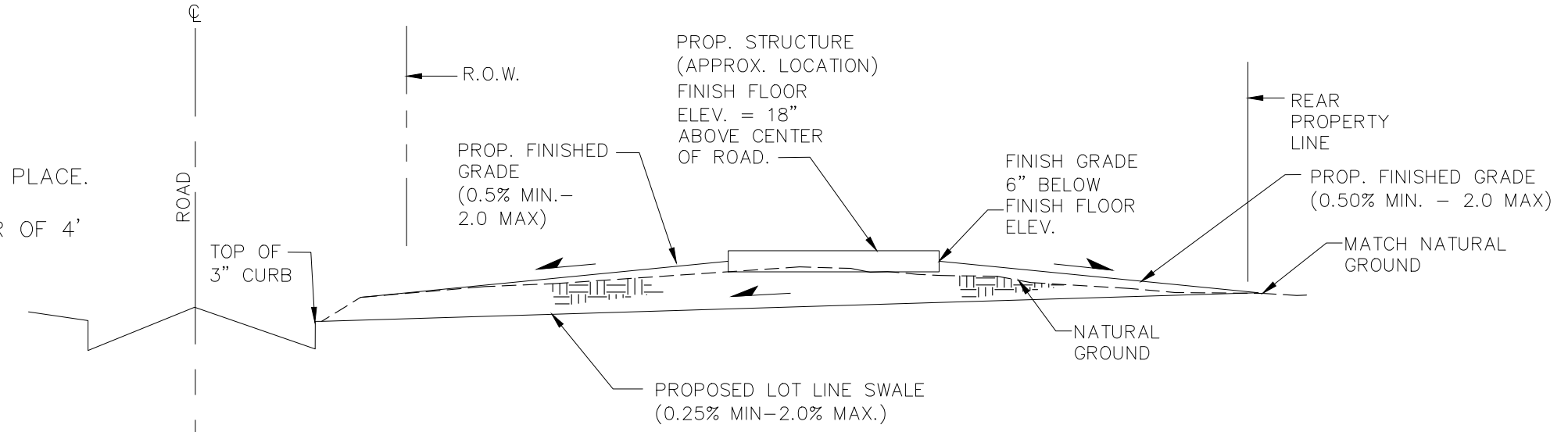
PAVING & GRADING PLAN
DE LEON-ZAMORA SUBDIVISION
HIDALGO COUNTY
MISSION TEXAS



ORCHARD PARK RD. STREET CROSS SECTION A-A
NOT TO SCALE



ROLL-OVER CURB
SCALE: NTS

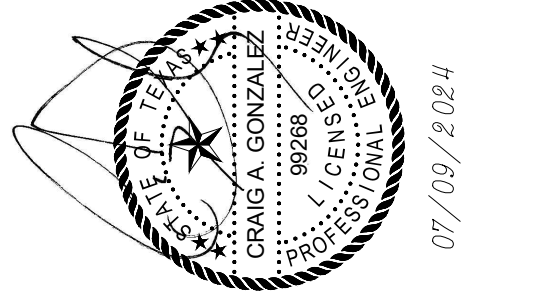


GRADING DETAIL
N.T.S.

NOTES:

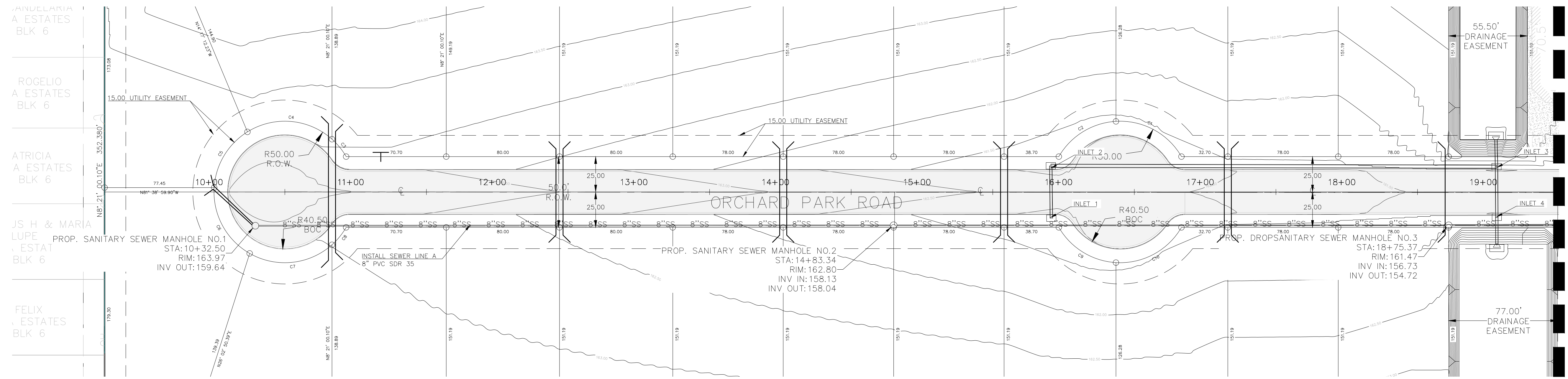
- SUITABLE EXCAVATED MATERIAL FROM PROJECT SITE SHALL BE USED AS BACKFILL FOR LOT GRADING.
- PERMANENT STABILIZATION: UPON COMPLETION OF THE FINAL GRADING THE CONTRACTOR SHALL WATER THE SOD AREAS ON A REGULAR BASIS UNTIL THE DATE OF FINAL ACCEPTANCE OR UNTIL THE STABILIZATION IS ESTABLISHED (AS DETERMINED BY THE ENGINEER). AT A MINIMUM THE CONTRACTOR SHALL WATER AREAS ONCE A WEEK AT A RATE EQUIVALENT TO A RATE OF ONE-INCH RAINFALL. THE WEEKLY WATERING WILL NOT BE REQUIRED IF A RAINFALL EVENT OF ONE-THIRD AN INCH IS EXPERIENCED DURING THAT WEEKS PERIOD. (COST IS NOT ASSOCIATED W/THE LANDSCAPE ALLOWANCE) SEE EROSION CONTROL LAYOUT.
- ALL BACKFILL SHALL BE FROM TOP OF CURB.
- FOR PROPOSED DIMENSIONS AND TIE-IN POINTS SEE HORIZONTAL CONTROL LAYOUT SHEET.
- CONTRACTOR SHALL SAW CUT A NEAT STRAIGHT LINE FOR ALL PROPOSED CONCRETE APRONS.
- CONTRACTOR NEEDS TO COORDINATE WITH CITY OF MISSION BEFORE TYING INTO EXISTING WATERLINE AND EXISTING SEWER LINE.
- NO TAPPING OR MAJOR CONNECTIONS UNDER PAVEMENT.
- NO PART OF PAVING SHALL BE DONE UNTIL ALL UTILITIES ARE IN PLACE.
- CONTRACTOR TO ENSURE THAT WATERLINE HAS A MINIMUM COVER OF 4' TO TOP OF PIPE.
- SUBGRADE COMPACTION FOR ASPHALT MUST BE 98%.

EXISTING LEGEND	
	UTILITY EASEMENT
	PROPERTY BOUNDARY
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
1	LOT NUMBER
X	EXISTING FENCE
1A	INLET DRAINAGE AREA BOUNDARY
	DRAINAGE AREA ID
OHE	OVERHEAD POWER
○	POWER POLE
○	FD 1/2" ROD
PROPOSED LEGEND	
	PROP. PAVEMENT
	PROPOSED CONCRETE
	PROPOSED CURB AND GUTTER
	DIRECTION OF RUN-OFF
0.10%	PROPOSED SLOPE
EL	ELEVATION
CONC.	CONCRETE
MH	MANHOLE
	INDICATES HIGH POINTS ON PAVEMENT
TW	TOP OF SIDEWALK ELEV.
FG	PROPOSED FINISH GRADE
TC	PROPOSED TOP OF CURB
TP	PROPOSED TOP OF PAVEMENT
FF	PROPOSED FINISH FLOOR ELEVATION
EXIST.	EXISTING
FL	FLOW LINE
PROP.	PROPOSED
HP	HIGH POINT
LP	LOW POINT

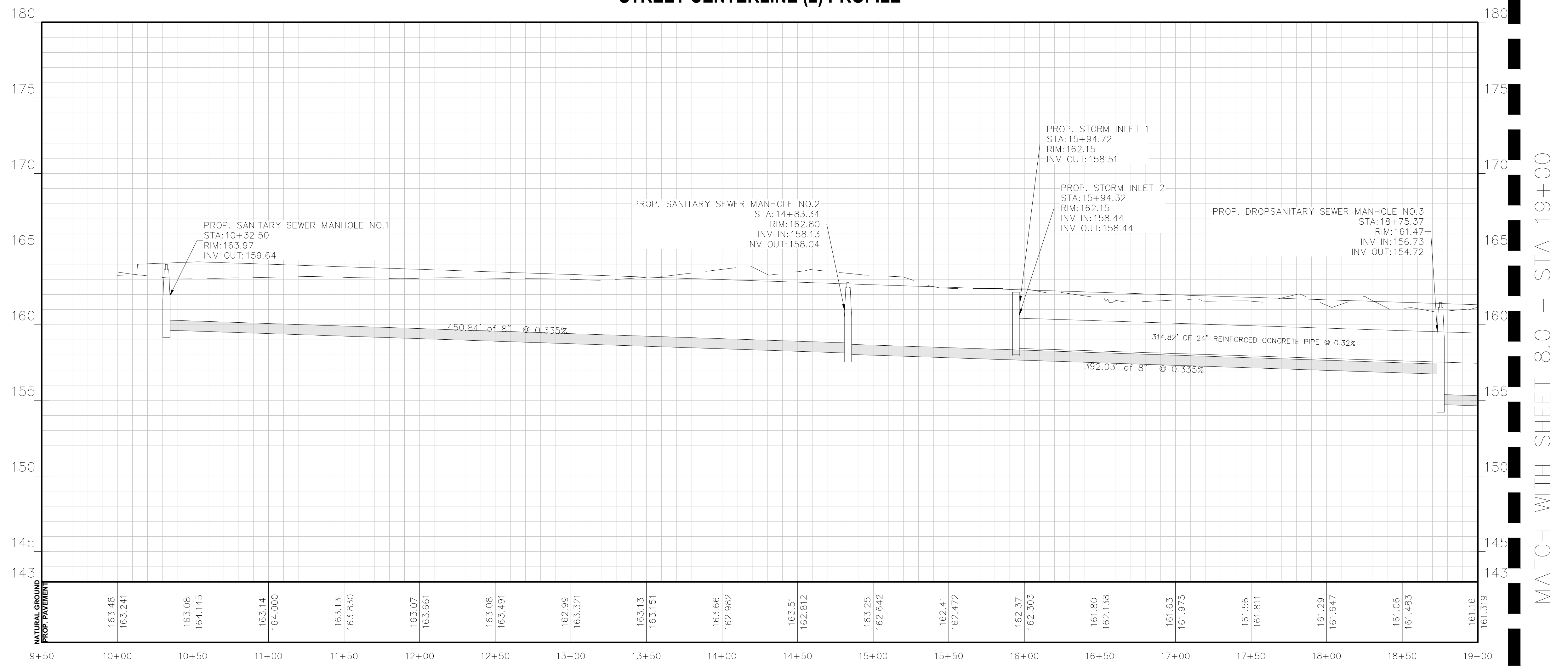


URBAN INFRASTRUCTURE GROUP, INC.
(956) 405-3337
TBE FIRM NO. F-13094
WWW.UIGTEXAS.COM
260 S. TEXAS BLVD.
STE 403
WESLACO, TEXAS 78596

PROJECT NO. 132200	DRAWN BY: MR3
DATE: 07-09-2024	DESIGNED BY: MR3
SCALE: AS NOTED	APPROVED BY: CAG
SHEET NUMBER: 7.0	



STREET CENTERLINE (2) PROFILE

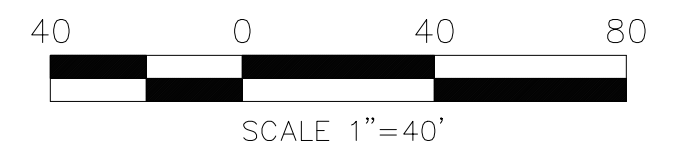


- NOTE:**
- NO TAPPING OR MAJOR CONNECTIONS UNDER PAVEMENT.
 - NO ELECTRICAL, WATER, OR SANITARY SEWER SERVICES IN SAME TRENCH.
 - NO PART OF PAVING SHALL BE DONE UNTIL ALL UTILITIES ARE IN PLACE, WHICH INCLUDE ALL ELECTRICAL CONDUITS.
 - MINIMUM 9' SEPARATION BETWEEN WATER & SANITARY SEWER MAIN LINES AND SERVICES.
 - CONTRACTOR TO ENSURE THAT PROPOSED WATERLINE HAS A MINIMUM COVER OF 5' TO TOP OF PIPE. (SEE WATERLINE DETAILS SHEET 12.0)
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION.
 - ALL PROPOSED 8" SANITARY SEWER LINE SHALL BE INSTALLED AT 0.33% SLOPE UNLESS NOTED.

- GENERAL NOTES:**
- CONTRACTOR TO OBTAIN CONSTRUCTION PERMIT FROM CITY OF MISSION PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
 - EXISTING OVERHEAD POWER LINE IN VICINITY, CONTRACTOR SHALL EXERCISE CARE.
 - CONTRACTOR SHALL ENSURE THE VEHICLES LEAVING THE CONSTRUCTION SITE ONTO A PUBLICLY MAINTAINED ROADWAY ARE CLEAR OF MUD AND DEBRIS. ANY MUD AND DEBRIS TRACKED ONTO ROADWAY SHALL BE CLEANED BY CONTRACTOR.
 - ANY UTILITY EXCAVATION OVER 4.0' IN DEPTH FROM NATURAL GROUND TO PROVIDE TRENCH SAFETY EXCAVATION PROTECTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF MISSION, CITY OF MISSION, AND HIDALGO COUNTY DRAINAGE DISTRICT NO. 1. STANDARDS SPECIFICATIONS SHALL GOVERN CONSTRUCTION WHERE NO OTHER REQUIREMENTS EXIST.
 - PRIOR TO BEGINNING, THE CONTRACTOR OR AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRECONSTRUCTION CONFERENCE BETWEEN THE CONSULTING ENGINEER AND OWNER. NOTIFY ALL SUCH PARTIES AT LEAST 48 HOURS PRIOR TO THE CONFERENCE AND 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL CONSTRUCTION ACTIVITIES, INCLUDING ACCESS, EGRESS, TRAVEL, STOCKPILING, ETC. ARE TO BE CONFINED TO AREAS IDENTIFIED BY THE OWNER AND/OR ENGINEER.
 - LOT PINS REMOVED, COVERED, OR MOVED DURING CONSTRUCTION SHALL BE RELOCATED AT THE CONTRACTOR'S SOLE EXPENSE BY A REGISTERED PROFESSIONAL LAND SURVEYOR.
 - THE CONTRACTOR SHALL USE CAUTION WHEN DIGGING. UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS 811 BY DIALING 811 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.
 - CONFLICTS WITH EXISTING UTILITIES SHALL BE REPORTED TO THE ENGINEER.
 - THE CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING STRUCTURES DAMAGED DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO MAIL BOXES, LANDSCAPE, WALLS, FENCING, RETAINING WALLS AND UTILITIES.
 - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PERFORM ALL FIELD VERIFICATIONS OF EXISTING FACILITIES NECESSARY TO SATISFY HIMSELF OF THE NATURE OF THE WORK TO BE PERFORMED, AND THE FITTING NEEDED, INCLUDING TIE IN LOCATIONS.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED BACK TO EXISTING CONDITION.
 - DISPOSAL OF DEMOLISHED ITEMS AND OTHER SPOILS SHALL COMPLY TO ALL STATE AND LOCAL REQUIREMENTS.

LEGEND

— 10SS — 10SS —	PROPOSED 10" SANITARY SEWER LINE
— 8SS — 8SS —	PROPOSED 8" SANITARY SEWER LINE
- - - - -	UTILITY EASEMENT
— — — — —	PROPERTY BOUNDARY
— — — — —	EXISTING STORM SEWER
1	LOT NUMBER

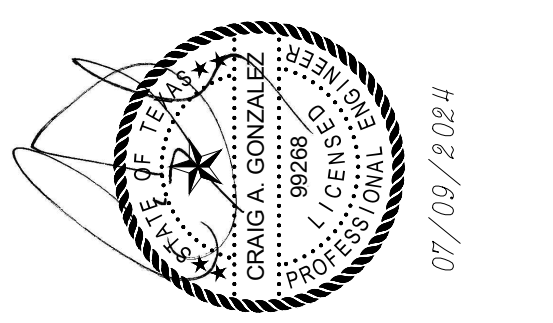


REVISIONS

REV.	DESCRIPTION	DATE

STREET AND SEWER PLAN AND PROFILE

**DE LEON-ZAMORA SUBDIVISION
HIDALGO COUNTY
MISSION TEXAS**



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