



Anthony Uresti
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840

HIDALGO COUNTY COMMISSIONERS COURT MEETING DATE: 10-01-2024

PROPOSED GROVES SUBDIVISION, PRECINCT No. 1.

ENGINEER SALINAS ENGINEERING & ASSOCIATES DEVELOPER: ROBERT VALLADARES, JR.

PRELIMINARY APPROVAL FINAL APPROVAL FINAL APPROVAL WITH FINANCIAL GUARANTEE WITH VARIANCE

NUMBER OF LOTS: 16 *SINGLE FAMILY *MULTI-FAMILY COMMERCIAL INSTITUTIONAL

NUMBER OF STREETLIGHTS: 5

FILLING STATIONS: 2

LOCATION DESCRIPTION: EAST OF MILE 6 WEST ROAD AND APPROXIMATELY ¼ OF A MILE NORTH OF MILE 11 NORTH ROAD.

SUBDIVISION LIES WITHIN THE: ETJ OF CITY OF WESLACO

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 9-23-2022 PROPERTY LIES WITHIN FLOOD ZONE: "X" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

ROAD R.O.W. DEDICATION: 8.0 FEET ONTO MILE 6 WEST ROAD.

H.C.R.O.W. FINAL APPROVAL DATE: 12-13-2023 BY, PRECINCT 1 R.O.W. AGENT

H.C.H.D. FINAL APPROVAL DATE: 2-08-2024 BY, ENVIRONMENTAL HEALTH DIVISION MANAGER

SEWER SYSTEM: OSSF'S HAVE BEEN ESCROWED.

WATER SERVICE PROVIDER: N.A.W.S.C. LINE SIZE: 10" LOCATION: MILE 6 WEST ROAD.

H.C.E.O.C. FINAL APPROVAL DATE: 9-04-2024: BY ENVIRONMENTAL COMPLIANCE COORDINATOR

LARGE CONSTRUCTION

The applicant has submitted the required NOI as per Part II, Section E of the TPDES General Permit for Construction Activities (TXR150000) along with a copy of the Erosion Control Plan for the proposed Project.

REQUEST FOR FINAL APPROVAL WITH: **CASH DEPOSIT: Amount: \$24,000.00 For: (16 OSSF'S)**

PRELIMINARY APPROVAL FROM THE
HIDALGO COUNTY COMMISSIONERS COURT ON: MAY 30, 2023

STAFF RECOMMENDS: **Preliminary Approval** subject to comments and future recommendations by planning, Other departments, and the approval of the City of WESLACO.

Final Approval with financial guarantee.

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

*

LEGEND

- FOUND 1/2" IRON ROD
- FOUND COTTON PICKER SPINDLE
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- RIGHT-OF-WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- N.E.C. NORTHEAST CORNER
- S.E.C. SOUTHEAST CORNER
- S.W.C. SOUTHWEST CORNER
- N.W.C. NORTHWEST CORNER
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- U.E. UTILITY EASEMENT
- U.E.B.T.P. UTILITY EASEMENT BY THIS PLAT
- N.A.W.S.C. NORTH ALAMO WATER SUPPLY CORPORATION
- F.T. FARM TRACT

Scale 1"=100'
Bearing Basis as per
NAD 1983 State Plane Texas
South FIPS 4205 Feet

REVISION NOTES			
NO.	SHEET	REVISION	DATE

- GENERAL PLAT NOTES:**
- MINIMUM SETBACK LIMITS:
 - FRONT 25.00' OR GREATER FOR EASEMENTS.
 - REAR 15.00' OR GREATER FOR EASEMENTS.
 - SIDE 6.00' OR GREATER FOR EASEMENTS.
 - CORNER 10.00' OR GREATER FOR EASEMENTS.
 - CUL-DE-SAC LOTS: FRONT 20.00' OR GREATER FOR EASEMENTS.
 - GARAGE 18.00' OR GREATER FOR EASEMENTS.
 - FLOOD ZONE STATEMENT:
 - FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD.
 - COMMUNITY PANEL NO. 480334 0450 C
 - MAP REVISED JUNE 06, 2000
 - (REVISED TO REFLECT LOMR 5/30/02)
 - AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
 - MINIMUM FINISH FLOOR NOTE: MINIMUM FINISHED FLOOR ELEVATION FOR LOTS 1 THRU 16 SHALL BE A MINIMUM OF 73.50.
 - DRAINAGE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND CITY OF WESLACO REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 44,134.19 CUBIC FEET (1.01 ACRE FEET) OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT IS DETERMINED AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ABOVE DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE ENGINEER CONSIDERED FOR HIS CALCULATION OF THIS SUBDIVISION.
 - NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT. THERE SHALL BE NO COMMERCIAL USE.
 - UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOT IS MONUMENTED BY 1/2 INCH WIDE BY 18 INCH LONG IRON RODS W/YELLOW CAP STAMPED "SEA 5782".
 - NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
 - EACH PURCHASED CONTRACT MADE BETWEEN THE DEVELOPER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
 - BENCHMARK NOTE: B.M. NO. 1 - N=16604953.46, E=1145627.98. TOP OF IRON ROD LOCATED ON THE INTERSECTION OF THE EXISTING EAST RIGHT OF WAY LINE OF MILE 6 WEST AND THE NORTH PROPERTY LINE OF THIS SUBDIVISION. ELEVATION= 70.86. N.A.V.D. 88.
B.M. NO. 2 - N=16605053.43, E=1145620.81. TOP OF IRON ROD LOCATED ON THE INTERSECTION OF THE EXISTING EAST RIGHT OF WAY LINE OF MILE 6 WEST AND THE SOUTH PROPERTY LINE OF THIS SUBDIVISION. ELEVATION= 70.78. N.A.V.D. 88.
B.M. NO. 3 - N=16604982.04, E=1146842.64. TOP OF IRON ROD SET IN CONCRETE LOCATED ON THE NORTHEAST CORNER OF PROPOSED LOT 8 OF THIS SUBDIVISION. ELEVATION= 70.80. N.A.V.D. 88.
 - THIS SUBDIVISION WAS DESIGNED FOR 50 YEAR FLOOD MODIFIED RATIONAL METHOD.
 - A FOUR (4) FOOT SIDEWALK BEHIND THE BACK OF CURB IS REQUIRED BY THE COUNTY AND THE CITY OF WESLACO AT BUILDING PERMIT STAGE PROVIDED BY EACH LOT OWNER.
 - ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.0 FEET AS PER THE HIDALGO COUNTY MAP RECORDS AND SUBDIVISION RULES. BY SIGNING THIS PLAT DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
 - NO ACCESS SHALL BE GRANTED ONTO MILE 6 WEST FOR LOTS 1 & 16.
 - ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.
 - ANY ADDITION TO EXISTING RESIDENCE MUST COMPLY WITH ALL SETBACKS RESTRICTIONS RECORDED ON THIS PLAT.
 - STREET LIGHT MUST BE LOCATED EVERY 300 FEET.
 - A 5.0 FOOT SIDEWALK IS REQUIRED BY THE COUNTY AND THE CITY OF WESLACO ALONG MILE 6 WEST ROAD.
 - CORNER LOT DRIVEWAYS SHOULD BE CONSTRUCTED AT FURTHEST POSSIBLE POINT FROM INTERSECTION AND IN COMPLIANCE WITH ACCESS MANAGEMENT ORDINANCE.
 - AS PART OF THE BUILDING PERMIT, OWNERS OF LOTS 8 THRU 16 SHALL PROVIDE FOR A 6' FOOT OPAQUE BUFFER ALONG REAR PROPERTY LINES OF SAID LOTS ADJACENT TO THE DITCH. ALL FENCING ABUTTING DRAINAGE DITCH ROW SHALL BE PLACED WITHIN INDIVIDUAL'S LOT AS TO NOT IMPED WITH THE MAINTENANCE OF THE DITCH.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
 - ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS.
 - A. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.
 - B. OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
 - C. SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCERPTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM.
 - D. APPROVED OSSF PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.
 - E. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
 - F. A SPECIAL DESIGN IS REQUIRED FOR ALL OSSF SYSTEMS LOCATED WITHIN A DESIGNATED FLOOD ZONE. THE DESIGN SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS: ANCHORING OF SEPTIC TANK(S) BACK FLOW VALVES SEPTIC TANK COVER SHALL BE ABLE TO SEAL.
 - ROBERT VALLADARES, JR. AND LUCIA J. VALLADARES, THE OWNER & SUBDIVIDER OF GROVES SUBDIVISION, RETAINS A BLANKET EASEMENT UPON EACH LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET 2 OF THIS PLAT.
 - IT IS NOTED THAT THE NORTHERN PROPERTY CORNERS FOR LOT 1-7 SHOWN HEREIN ARE SET OFFSET A DISTANCE OF 2.0 FEET SOUTH FROM THE LOT CORNER, AND, THE NORTHEAST CORNER OF LOT 8 IS SET OFFSET A DISTANCE OF 3.0 FEET SOUTH.

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E.
REGISTERED PROFESSIONAL ENGINEER #71973

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID OMAR SALINAS, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR #5782

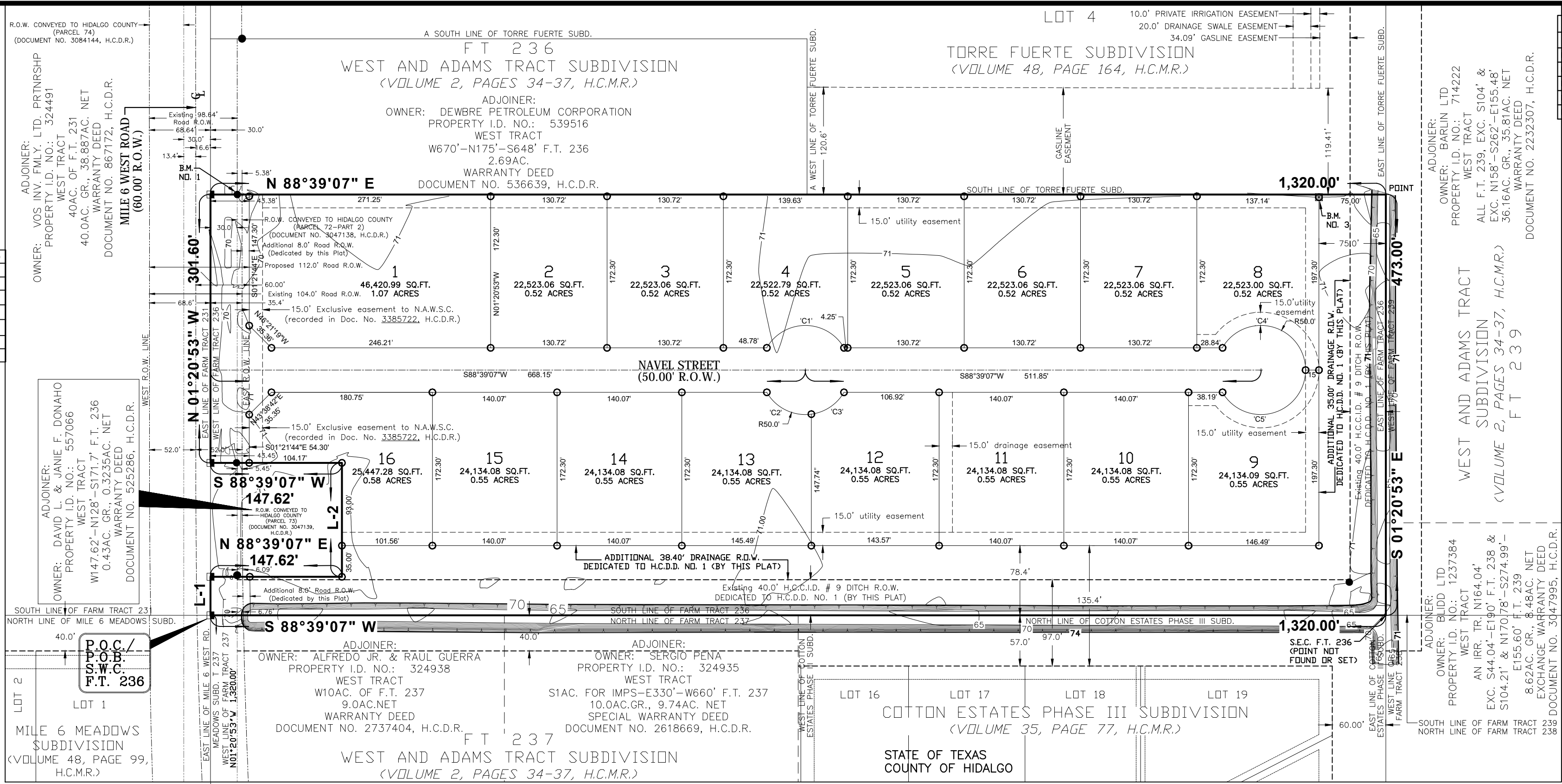
HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF THE GROVES SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, 20____.

GENERAL MANAGER
HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No. 9

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: ROBERT VALLADARES, JR.	P.O. BOX 332 WESLACO, TEXAS 78596	(956) 778-0080	NONE	NONE
OWNER: LUCIA J. VALLADARES	P.O. BOX 332 WESLACO, TEXAS 78596	(956) 778-0080	NONE	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFPODIL AVE. MCALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489	
SURVEYOR: DAVID O. SALINAS	2221 DAFPODIL AVE. MCALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489	

ENVIRONMENTAL HEALTH DIVISION MANAGER _____ DATE: _____



GROVES SUBDIVISION
HIDALGO COUNTY, TEXAS
BEING A 13.90 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF FARM TRACT (F.T.) 236, WEST AND ADAMS TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 02, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

WE, ROBERT JR. AND LUCIA J. VALLADARES AS OWNERS OF THE 13.9-ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED GROVES SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREON.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE SECTION 232.032 THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- SANITARY SEWER CONNECTIONS TO ALL LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- ELECTRICAL CONNECTIONS PROVIDED TO THE LOT MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- GAS CONNECTIONS, IF AVAILABLE AND IF PROVIDED AS AN ALTERNATE SOURCE OF ENERGY, PROVIDED TO EACH LOT MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

WE ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

OWNER: ROBERT VALLADARES, JR.
P.O. BOX 332
WESLACO, TEXAS 78596

LUCIA J. VALLADARES
P.O. BOX 332
WESLACO, TEXAS 78596

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ROBERT JR. AND LUCIA J. VALLADARES, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 20____.

MONICA GUERRA
Notary ID #11673539
My Commission Expires
August 2, 2027

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES _____

STATE OF TEXAS
CITY OF WESLACO
MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF WESLACO, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR-CITY OF WESLACO _____ DATE: _____

ATTEST: _____ CITY SECRETARY _____ DATE _____

STATE OF TEXAS
CITY OF WESLACO

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF WESLACO, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE: _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE 232.028 (A)

WE THE UNDER SIGNED CERTIFY THAT THIS PLAT OF GROVES SUBDIVISION, WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONER ON _____, 20____.

HIDALGO COUNTY JUDGE _____ DATE _____

ATTEST: _____ HIDALGO COUNTY CLERK _____ DATE _____

APPROVED BY DRAINAGE DISTRICT:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 _____ DATE _____
RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

CURVE DATA

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH	DELTA
C1	50.00'	104.72'	N 68°39'07" E	86.60'	120°00'00"
C2	50.00'	59.03'	N 65°10'16" W	55.66'	67°38'47"
C3	50.00'	45.69'	S 54°49'44" W	44.11'	52°21'13"
C4	50.00'	130.90'	S 76°20'53" W	96.59'	150°00'00"
C5	50.00'	130.90'	S 73°39'07" W	96.59'	150°00'00"

LINE TABLE

LINE	LENGTH	BEARING
L-1	43.40'	N 01°20'53" W
L-2	128.00'	N 01°20'53" W

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____ PAGE _____

RECORDED IN VOLUME _____ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

GROVES SUBDIVISION IS LOCATED 0.25 MILE FROM THE INTERSECTION OF MILE 6 WEST ROAD AND MILE 11 NORTH ROAD, ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF WESLACO (POPULATION 72,481 AS PER THE 2020 CENSUS).

GROVES SUBDIVISION DOES NOT LIE ADJACENT TO OR CONTIGUOUS WITH THE CITY LIMITS OF WESLACO. IT IS WITHIN THE 2 MILE EXTRATERRITORIAL JURISDICTION OF WESLACO UNDER LOCAL GOVERNMENT CODE 42.021. PRECINCT No. 1.

METES AND BOUNDS DESCRIPTION

BEING A 13.90 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF FARM TRACT (F.T.) 236, WEST AND ADAMS TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 02, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 13.90 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A FOUND COTTON PICKER SPINDLE ON THE SOUTHWEST CORNER OF SAID F.T. 236 LOCATED IN THE CENTER OF MILE 6 WEST ROAD FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

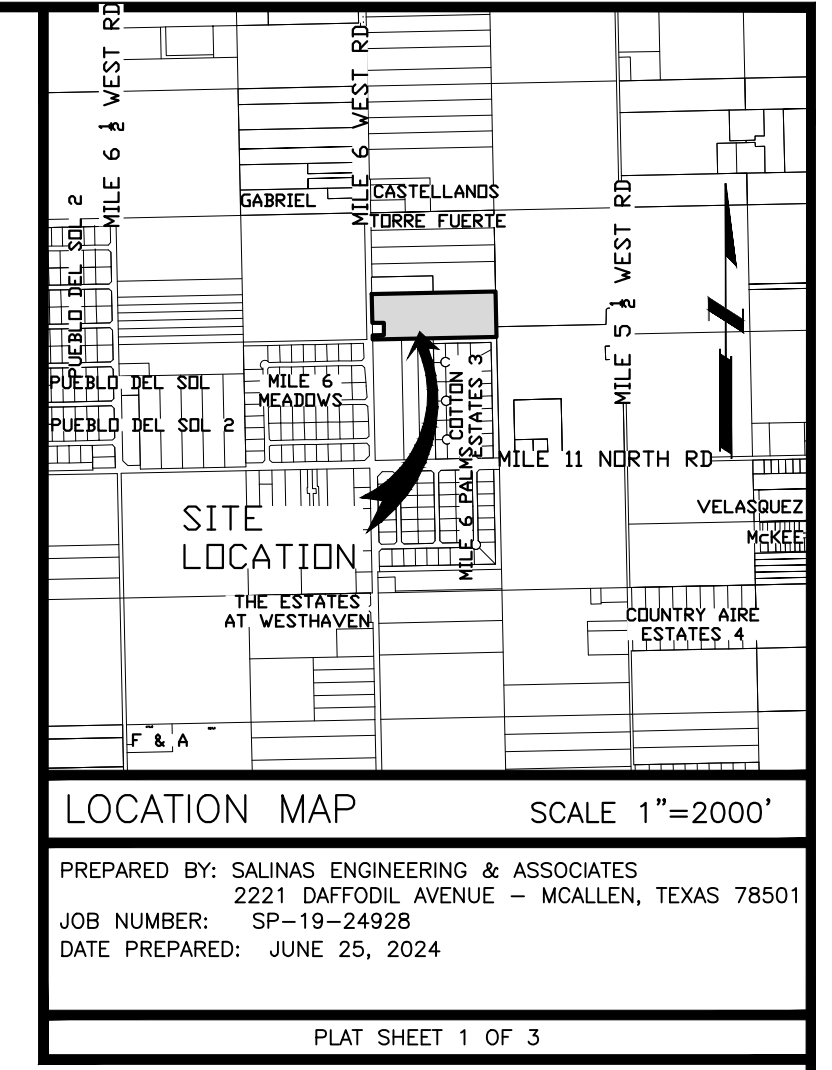
- THENCE, NORTH 01°20'53" WEST, COINCIDENT WITH THE WEST LINE OF SAID F.T. 236 WITH THE CENTER OF SAID MILE 6 WEST ROAD, A DISTANCE OF 43.40 FEET TO A COTTON PICKER SPINDLE FOUND FOR A CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 88°39'07" EAST, A DISTANCE OF 30.0 FEET PASS A 3/4 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID MILE 6 WEST ROAD, AT A DISTANCE OF 147.62 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR AN INSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 01°20'53" WEST, ALONG A LINE PARALLEL TO THE WEST LINE OF SAID F.T. 236, A DISTANCE OF 128.00 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR AN INSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 88°39'07" WEST, ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID F.T. 236, A DISTANCE OF 117.62 FEET PASS A 3/4 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID MILE 6 WEST ROAD, AT A DISTANCE OF 147.62 FEET IN ALL TO A COTTON PICKER SPINDLE FOUND ON INTERSECTION WITH THE WEST LINE OF SAID F.T. 236 AND LOCATED IN THE CENTER OF SAID MILE 6 NORTH ROAD FOR AN OUTSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 01°20'53" WEST, COINCIDENT WITH THE WEST LINE OF SAID F.T. 236 LOCATED IN THE CENTER OF SAID MILE 6 WEST ROAD, A DISTANCE OF 301.60 FEET TO A COTTON PICKER SPINDLE FOUND FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 88°39'07" EAST, ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID F.T. 236, A DISTANCE OF 30.0 FEET PASS A 3/4 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID MILE 6 WEST ROAD, AT A DISTANCE OF 1,280.0 FEET PASS THE WEST LINE OF A 40.0 FOOT H&C/D NO. 9 DITCH RIGHT-OF-WAY, AT A DISTANCE OF 1,330.0 FEET IN ALL TO A POINT LOCATED ON INTERSECTION WITH THE EAST LINE OF SAID F.T. 236 FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 01°20'53" EAST, COINCIDENT WITH THE EAST LINE OF SAID F.T. 236 LOCATED INSIDE SAID IRRIGATION DITCH, A DISTANCE OF 473.0 FEET TO A POINT ON THE SOUTHEAST CORNER OF SAID F.T. 236 LOCATED INSIDE SAID IRRIGATION DITCH FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 88°39'07" WEST, COINCIDENT WITH THE SOUTH LINE OF SAID F.T. 236, A DISTANCE OF 1,290.0 FEET PASS THE EXISTING EAST RIGHT-OF-WAY LINE OF SAID MILE 6 WEST ROAD, AT A DISTANCE OF 1,320.0 FEET IN ALL TO THE POINT OF BEGINNING, CONTAINING 13.90 GROSS ACRES OF LAND, MORE OR LESS.

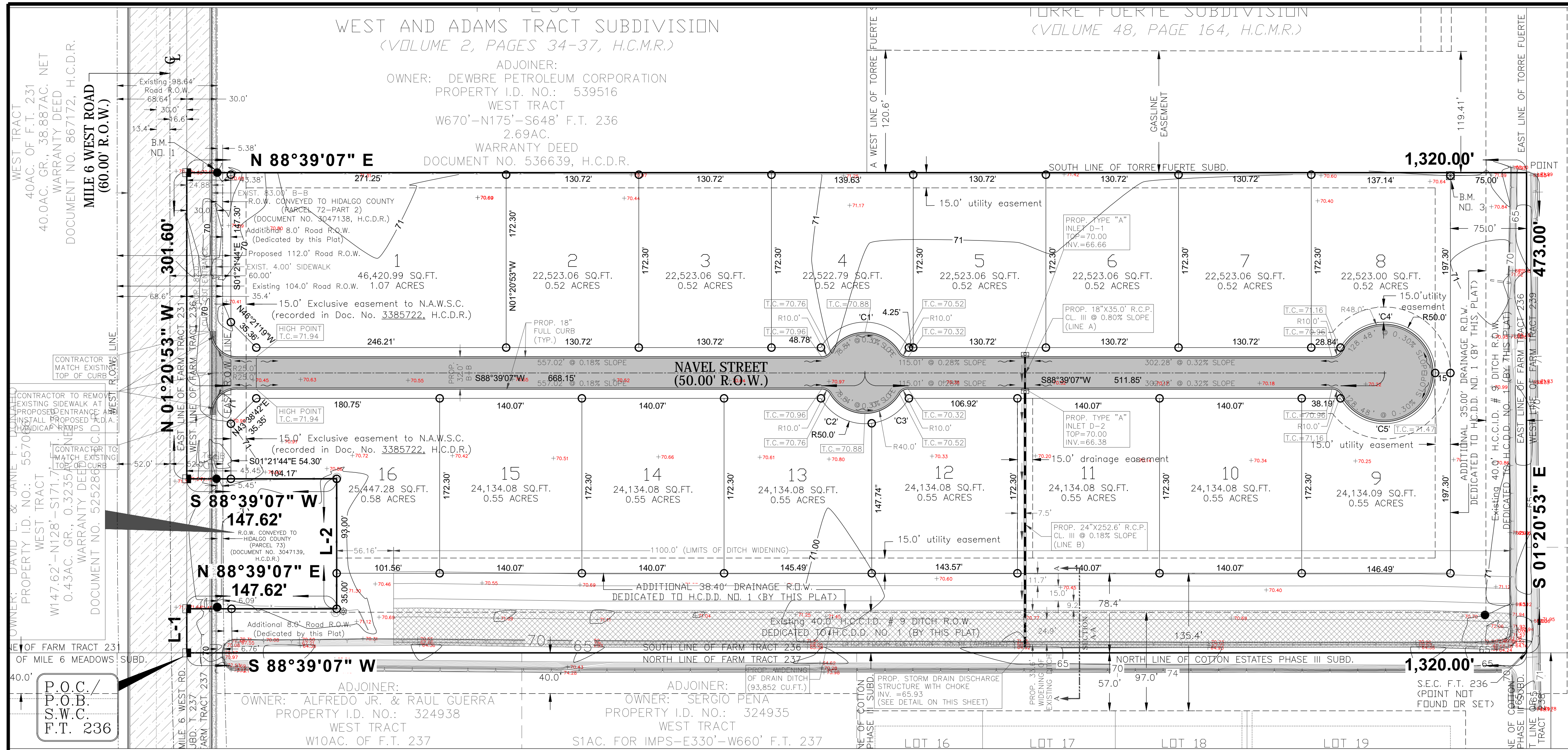
SHEET 1

INDEX SHEET OF GROVES SUBDIVISION

SHEET	DESCRIPTION
SHEET 1	HEADINGS, INDEX; LOCATION MAP PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES & BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS DESIGNATION; CERTIFICATION; AND ATTESTATION; CITY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE E.T.J. OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. CERTIFICATION; IRRIGATION DISTRICT CERTIFICATE OF APPROVAL; REVISION NOTES.
SHEET 2	WATER DISTRIBUTION AND SANITARY SEWER MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION), SUBDIVIDER'S CERTIFICATE AND STATEMENT.
SHEET 3	DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEER'S CERTIFICATION; REVISION NOTES; TYPICAL ROADWAY SECTION; CURB AND GUTTER SECTION.
SHEET 4	DRAINAGE EXCAVATION MAP

SEA
SALINAS ENGINEERING & ASSOC.
(F-6675)-ENGINEER
(10065700)-SURVEY
CONSULTING ENGINEERS & SURVEYORS
2221 DAFPODIL - MCALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)





Scale 1"=60'
Bearing Basis as per
NAD 1983 State Plane Texas
South FIPS 4205 Feet

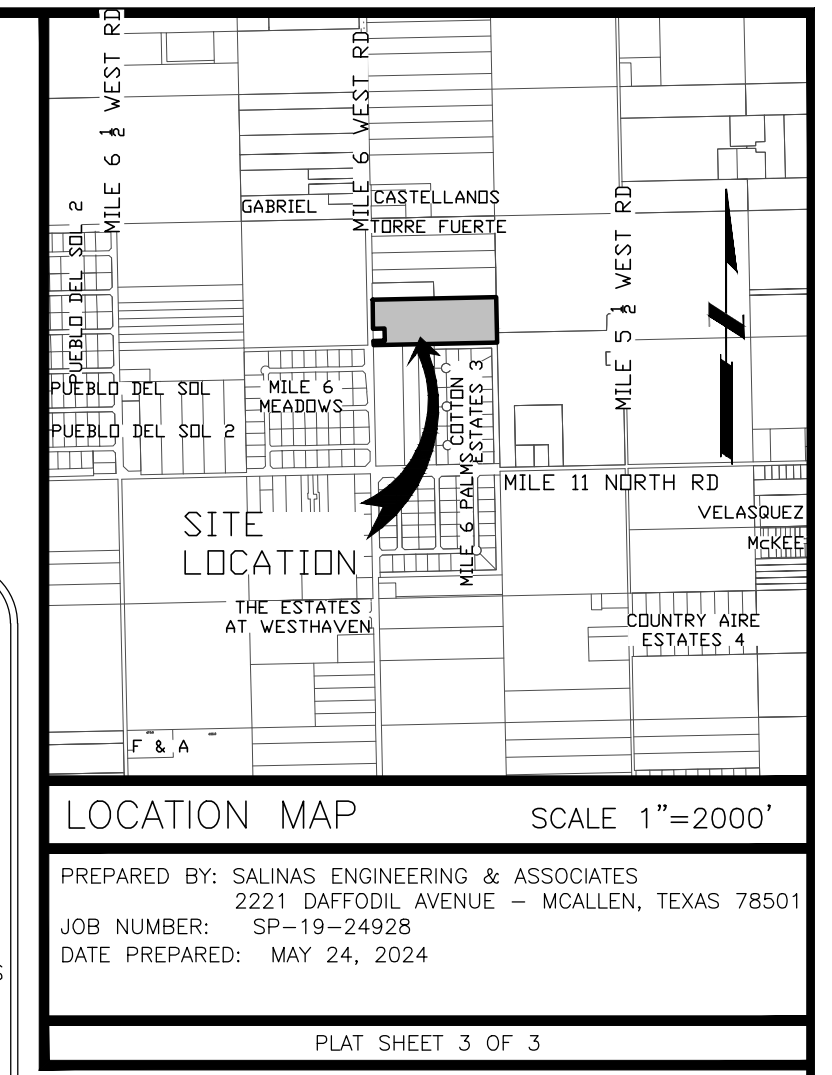
LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD
- SET NAIL
- R.O.W. RIGHT-OF-WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- N.E.C. NORTHEAST CORNER
- S.E.C. SOUTHWEST CORNER
- S.W.C. SOUTHWEST CORNER
- N.W.C. NORTHWEST CORNER
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- U.E. UTILITY EASEMENT
- U.E.B.T.P. UTILITY EASEMENT BY THIS PLAT
- N.A.W.S.C. NORTH ALAMO WATER SUPPLY CORPORATION

LOCATION MAP SCALE 1"=2000'

PREPARED BY: SALINAS ENGINEERING & ASSOCIATES
JOB NUMBER: SP-19-24928
DATE PREPARED: MAY 24, 2024

PLAT SHEET 3 OF 3



DITCH WIDENING AND RESULTING NEW STORAGE:

MIN. STORAGE REQUIRED: 44,134.19 CU. FT.
WIDENING OF NORTH DITCH WALL: 33.63 FEET (NORTHERLY)
TOP OF DITCH (= BOTTOM OF MAINTENANCE BENCH): 68.39
FLOW LINE OF DITCH: 65.39 (65.00 AVERAGE)
THEREFORE, VERTICAL HEIGHT OF NEW DITCH: 3.00 FT. (68.39 FT. - 65.39 FT.)
TOTAL VOLUME CREATED BY WIDENING OF NORTH DITCH WALL:
AREA: 42.50 SQ. FT. (CALCULATED - SEE PROFILE)
VOLUME CREATED: 42.50 SQ. FT. X 1,100.0 FT. (L) = 46,750 CU. FT.

DISCHARGE PIPE CALCULATION:

DIAMETER: 24 IN.
W.P.: 3.14 FT.
AREA: 1.57 S.F.
SLOPE: 0.0018 FT./FT.
VELOCITY: 3.06 FT./S.
Q: 4.81 C.F.S.
NOTE: ON MARCH 09, 2022, OBSERVED WSE WAS 68.72

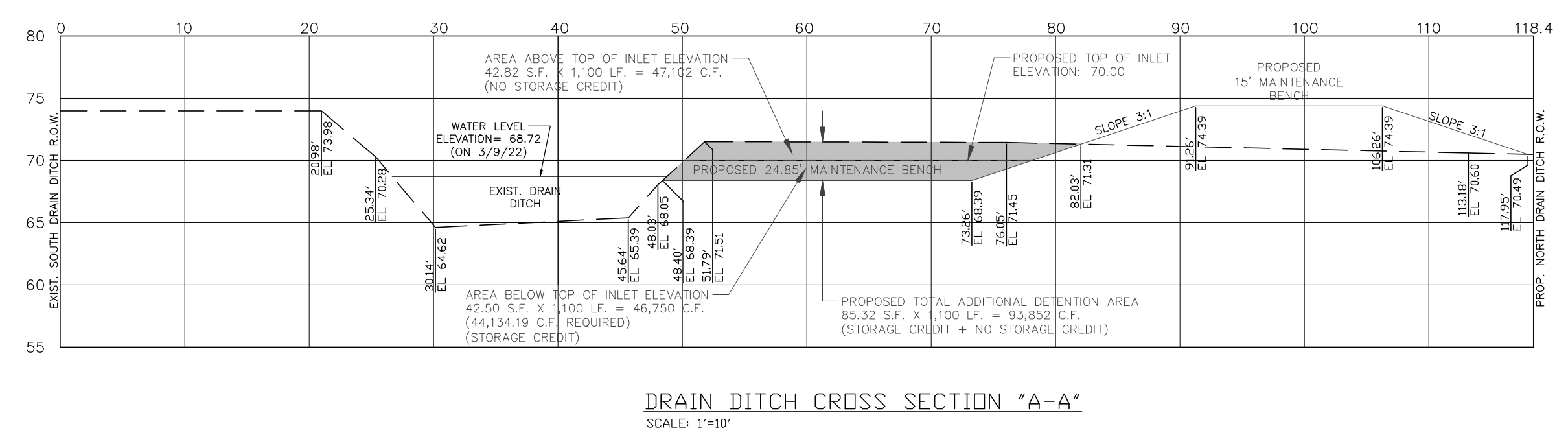
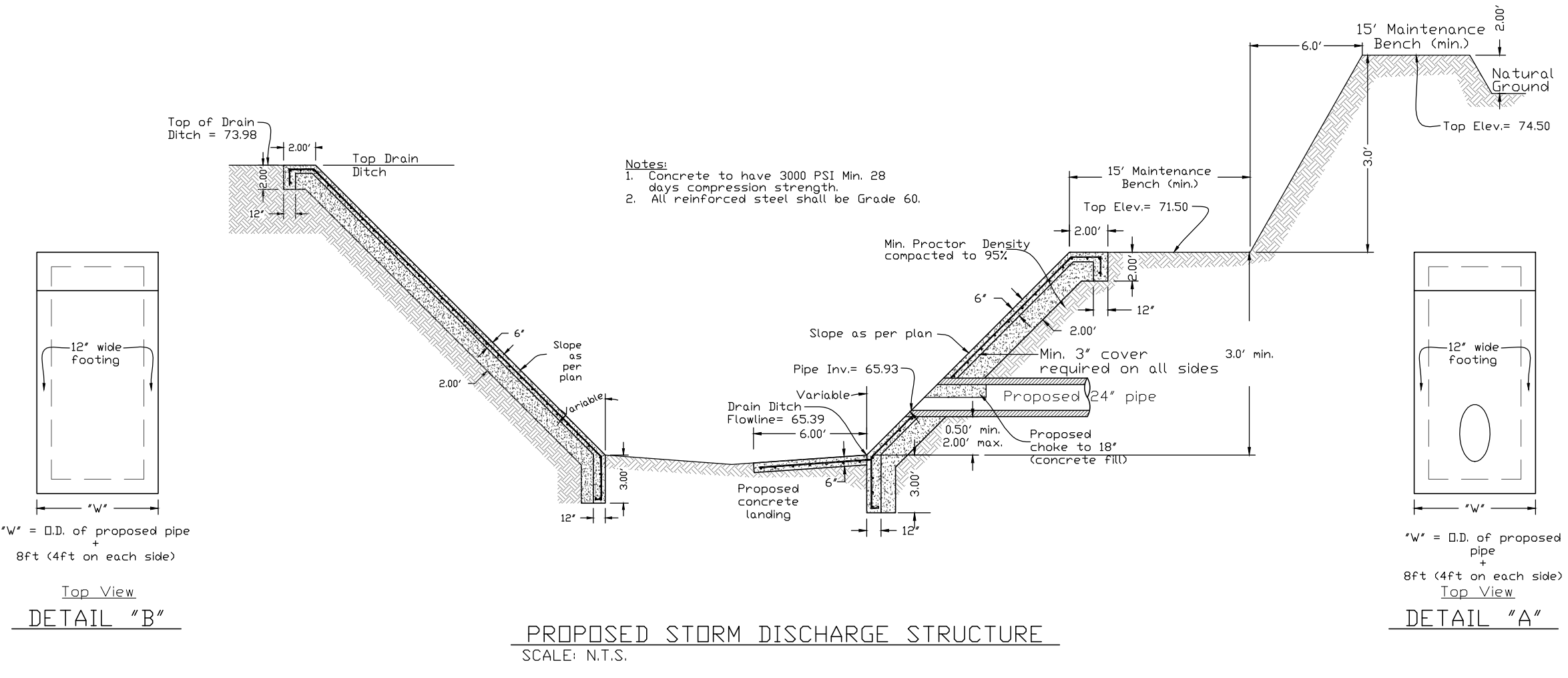
THEREFORE, 33.63 FT. WIDENING OF NORTH SIDE RESULTS IN A TOTAL ADDITIONAL VOLUME OF 46,750 CU. FT. > 44,134.19 CU. FT. REQ. = OKAY.



SHEET 4

INDEX SHEET OF GROVES SUBDIVISION

SHEET 1	HEADINGS; INDEX; LOCATION MAP PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES & BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS' OBLIGATION; CERTIFICATION; AND ATTESTATION; CITY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE E.T.U. OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. CERTIFICATION; IRRIGATION DISTRICT CERTIFICATE OF APPROVAL; REVISION NOTES.
SHEET 2	WATER DISTRIBUTION AND SANITARY SEWER MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSIONS), SUBDIVISIONS CERTIFICATE AND STATEMENT.
SHEET 3	DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEER'S CERTIFICATION; REVISION NOTES; TYPICAL ROADWAY SECTION; CURB AND GUTTER SECTION.
SHEET 4	DRAINAGE EXCAVATION MAP



SEA
SALINAS ENGINEERING & ASSOC.
(F-6675)-ENGINEER
(10065700)-SURVEY
CONSULTING ENGINEERS & SURVEYORS
2221 DAFODIL - McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)