



Planning Department

Anthony Uresti
Director of Planning

Main Office

2818 S. Business Hwy 281
Edinburg, Texas 78539
Phone (956) 318-2840

Precinct No. 1 Substation

1900 Joe Stephens Ave. Ste. A
Weslaco, TX 78596
Phone (956) 968-4734

Precinct No. 3 Substation

2401 N. Moorefield Road
Mission, Texas 78572
Phone (956) 205-7045

PIPELINE AND UTILITY PERMIT APPLICATION PACKET

THE STATE OF TEXAS

COUNTY OF HIDALGO

PRECINCT 1 _____

APPLICATION AND AGREEMENT FOR PIPELINE OR UTILITY PERMIT

Date: 2-12-26

RGV LAND DEVELOPMENT LLC (hereinafter referred to as "Applicant") does hereby make application to the Hidalgo County through the Hidalgo County Planning Department (hereinafter referred to as "HCPD") to construct, maintain and repair pipelines or utilities across the easements, right-of-ways, property or property interest as described below.

Information required:

1. Name, Address and Phone number of Applicant:

RGV LAND DEVELOPMENT, LLC. 1200 W SAM HOUSTON BLVD ST AA,
PHARR, TX 78577 RAUL GARCIA 956-502-2555

2. Name, Address and Phone number of company or agency owning Pipeline or Utility (please indicate if same as Applicant):

SAME

3. Name, Address and Phone number of operator of Pipeline or Utility (please indicate if same as Applicant):

SAME

4. Name, Address and Phone number of contractor to install Pipeline or Utility:

RGV LAND DEVELOPMENT, LLC. 1200 W SAM HOUSTON BLVD ST AA,
PHARR, TX 78577 RAUL GARCIA 956-502-2555



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5. Is this a common carrier pipeline or utility? If yes, please submit the Applicant's Texas Railroad Commission Form "T-4" or similar form designating the facility:

UTILITY

6. Does Applicant have the Power of Eminent Domain?

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

7. Will the product be carried for hire or by the owner of the goods?

BY THE OWNER OF THE UTILITY

8. Name and Legal description of property owner requesting utility services if applicable:

CAYETANO DEVELOPMENT, LLC, 56.134 ACRES BEING ALL OF BLOCK 179 & 180, HILL HALBERT'S SUBDIVISION, VOLUME 1, PAGE 35 H.C.M.R.

9. Type of utility work within county road right-of-way:

☒ Bore Crossing ☒ Line Extension Along R.O.W. ☐ Other OPEN CUT

10. Where is the origin of the line?

ALONG WEST SIDE OF GOOLEY RD APPROXIMATELY 430 FEET SOUTH OF SIOUX RD.

11. Where is the destination of the line?

ALONG EAST SIDE OF GOOLIE RD APPROXIMATELY 505 FEET NORTH OF SIOUX RD.



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12. Utility Crossing Coordinate X: 1129321.752 Y: 16599890.515
(NAD 83 Texas South FIPS 4205 feet)
13. Number and size of lines:
36" STORM DRAIN LINE

14. Pressure (each line):
N/A

15. Content (each line):
STORM RUNOFF

16. Estimated date of installation of Pipeline or Utility:
AFTER APPROVALE FROM HIDALGO COUNTY COMMISSIONERS COURT



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If requested permit is granted by HCPD, Applicant, in consideration thereof, agrees and binds itself as follows:

1. All pipelines or utilities herein will be horizontally placed within the right-of-way as determined by HCPD and at a minimum depth of five (5) feet below natural ground. Depth, horizontal, and vertical location shall be confirmed by HCPD Inspectors.
2. Location map, profile, and plans concerning the proposed pipeline or utility crossing will be furnished with this application.
3. HCPD will be notified in writing ten days prior to the beginning date of construction under this permit.
4. Applicant will bear the entire expense of all future relocations of any pipelines or utilities should such relocation, at the sole discretion of the Hidalgo County Commissioners Court, be necessary for improvements, alteration, or maintenance of Hidalgo County's easement or property of interest.
5. Applicant will notify the HCPD at least 48 hours prior to covering work and or completion of its work and removal of its equipment from the job site to permit HCPD to make an inspection.
6. Upon notification by the HCPD, the Applicant will promptly repair or rectify any deficiency or condition caused by the Applicant's operations or installations under this permit. Applicant will leave easement in as near the same condition or better, in the HCPD's sole judgment, as it existed prior to the commencement of the operations under this permit.
7. Hidalgo County shall not be liable or responsible for, and shall be saved and held harmless by Applicant, and further shall be indemnified by Applicant, from and against any and all suits, actions, losses, damages, claims, or liability of any character, type, or description, including all expenses of litigation, court costs, attorney's fees, and engineering fees for injury or death to any person, or injury to any property, received or sustained by any person or persons or property, arising out of, or occasioned by, directly or indirectly, the performance of Applicant under this agreement, including claims and damages arising in part from the negligence of Hidalgo County.



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It is the expressed intent of the parties to this agreement that the indemnity provided for in this section is extended by Applicant to indemnity and protect Hidalgo County from the consequences of Hidalgo County's own negligence, whether that negligence is the sole or contributory cause of the resultant injury death, or damage.

Applicant further agrees to defend, at its own expense, with attorneys acceptable to Hidalgo County and on behalf of Hidalgo County, and in the name of Hidalgo County, any claim or litigation brought against Hidalgo County in connection with any such injury, death or damage.

Before construction is begun on such pipeline or utility crossings, Applicant will furnish to the HCPD a certificate of insurance (or other security approved by the HCPD) payable to Hidalgo County and protecting Hidalgo County (as an additional named insured) against any claims for personal injuries or damages to property resulting from the operations of Applicant, its agents, servants, employees, and contractors under this permit. Insurance is to be supplied in accordance with the attached Schedule A.

8. Hidalgo County makes no warranties, expressed or implied, in the granting of this permit; nor does Hidalgo County purport to grant any property interest or exclusive privileges whatsoever by granting such permit. It is specifically understood that Hidalgo County is not the agent for, nor does it act for, the fee owners or any persons or entities having any right, or title to possession of the land upon which Hidalgo County's easement or other property interest is located. Furthermore, in granting this permit Hidalgo County makes no representation or warranty that it has any property interest, including, but not limited to, an easement or right of way, in the land upon which Applicant constructs, maintains, repairs, or modifies the pipelines or utilities, made the subject of this application, nor does Hidalgo County make any representation or warranty as to the validity, quality or extent of such property interest, if any. Applicant acknowledges its understanding that Hidalgo County in granting this permit, does not convey or grant to Applicant any rights, title or interest for which it has no legal authority to grant or convey.
9. Applicant binds itself to comply with all federal, state, and local laws or regulations and will obtain all necessary permits from all local and federal agencies required by law before installation or construction is begun.



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10. Applicant will install its pipelines and utilities in a manner and location as shown in the plans and specifications filed with HCPD in support of this application for permit. Hidalgo County Planning Department's representative may at any time make such inspection as such engineer or other representation may deem necessary to assure that the construction of the pipeline or utilities is in accordance with the plans and specifications submitted, and said engineer or representative shall have the right to temporarily suspend Applicant's work if necessary, while such inspection is being made. Should Applicant not install the pipelines or utilities in accordance with the terms and conditions of this permit, Applicant agrees that Hidalgo County shall have the right to require, at Applicant's expense, the removal of the pipelines and utilities and its replacement in conformance to said plans and specifications and conditions of this permit. Hidalgo County may revoke this permit and suspend all work hereunder if it is determined by Hidalgo County that the pipelines or utilities are not being installed in accordance with such plans and specifications and conditions of this permit. The suspension or revocation of this permit shall not be a basis for a claim for damages against Hidalgo County.
11. Except in emergency situations where it is necessary to protect life and property, Applicant will not make any change, modification, or alteration in or to the pipelines or utilities without first securing a new or amended permit from Hidalgo County prior to the making of any such change. Applicant will maintain the pipelines or utilities hereby authorized in good and safe condition, and in accordance with plans, specifications, and this permit.
12. Applicant agrees to pay HCPD a permit fee to cover administrative costs in the amount of **\$500.00**, plus a reimbursement to HCPD for any necessary engineering fees which may be incurred for the study and processing of the Application. This fee will permit a single pipeline or utility to be within County right-of-way. Applicant further agrees to pay an additional fee of **\$500.00** for each additional line included in permit application at the same location; however, more than one location may be included in a single application.

Requests to lay additional line or lines, not included in an initial permit application, must be made by separate application, with new permit fees paid accordingly and support data provided.



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Permit fees may be waived where Applicant is a state, county, municipality, or a special political subdivision.

13. The Applicant is allowed one hundred twenty days (120) from the granting of the permit to start construction of the pipelines or utilities crossings. Once started, the Applicant is allowed ninety (90) days to complete all work under such permit. All construction must be completed within two hundred ten (210) days from the date of issuance of permit. Upon application, extension of the time periods set forth in this paragraph may be granted by the Hidalgo County Commissioners Court. Such applications for extension must be received by HCPD at least thirty days before the expiration of the two hundred ten (210) days period. A new permit fee, in accordance with Paragraph 12 hereof, will be charged for each extension granted.

Construction of any pipeline or utility crossing will not begin until written approval has been given by HCPD.

14. All provisions of the Pipeline and Utility Permit Administration Policy of Hidalgo County, if any, and all amendments thereto, are hereby incorporated herein as part of the terms and conditions of this permit for all purposes.
15. Applicant warrants and represents that it has secured from all fee owners of the involved property an easement or other property rights to construct, repair or modify the pipeline or utility in the manner set forth herein.
16. This Pipeline and Utility Permit if granted by Hidalgo County is subject to any and all other requirements, specifications and conditions listed in Exhibit A attached hereto.
17. Hidalgo County requires all coordinates of all utility crossings. Horizontal datum to be in NAD 83 State Plane Texas South 4205 feet and vertical datum in NAVD 88 Geoid 12a.



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18. This permit constitutes the entire agreement between the parties with regard to the subject matter hereof, and all prior agreements, representations, and negotiations between the parties regarding the subject matter are hereby superseded. This permit shall not be altered or amended except by an agreement in writing executed by the parties hereto.

19. Applicant warrants and represents that its undersigned representative has full authority to bind Applicant to the terms and conditions of the foregoing Application and Agreement for Pipeline or Utility Permit.

DATED this 13th day of February, 2026.

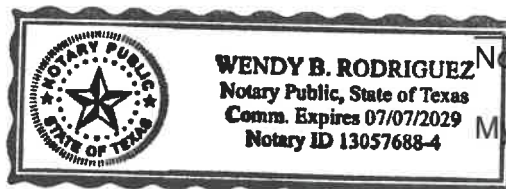
RGV Land Development
(Name of Applicant – Printed or Typed)

By: [Signature]
Signature

Title: President

STATE OF TEXAS
COUNTY OF HIDALGO

Raul Garcia SUBSCRIBED AND SWORN TO before me the Applicant,
on this 13th day of February, 2026,
to which witness my hand and seal of office.



[Signature] Notary Public for the State of Texas

Commission Expires: 07/07/2029



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APPROVAL OF APPLICATION BY HIDALGO COUNTY PLANNING DEPARTMENT

Came on for consideration this _____ day of _____,
20____. The above and foregoing Application for Pipeline and Utility
Permit, and after consideration of the same by the Hidalgo County
Commissioners Court, said Application and Agreement for Pipeline or
Utility Permit is hereby APPROVED.

HIDALGO COUNTY:

Richard F. Cortez, County Judge



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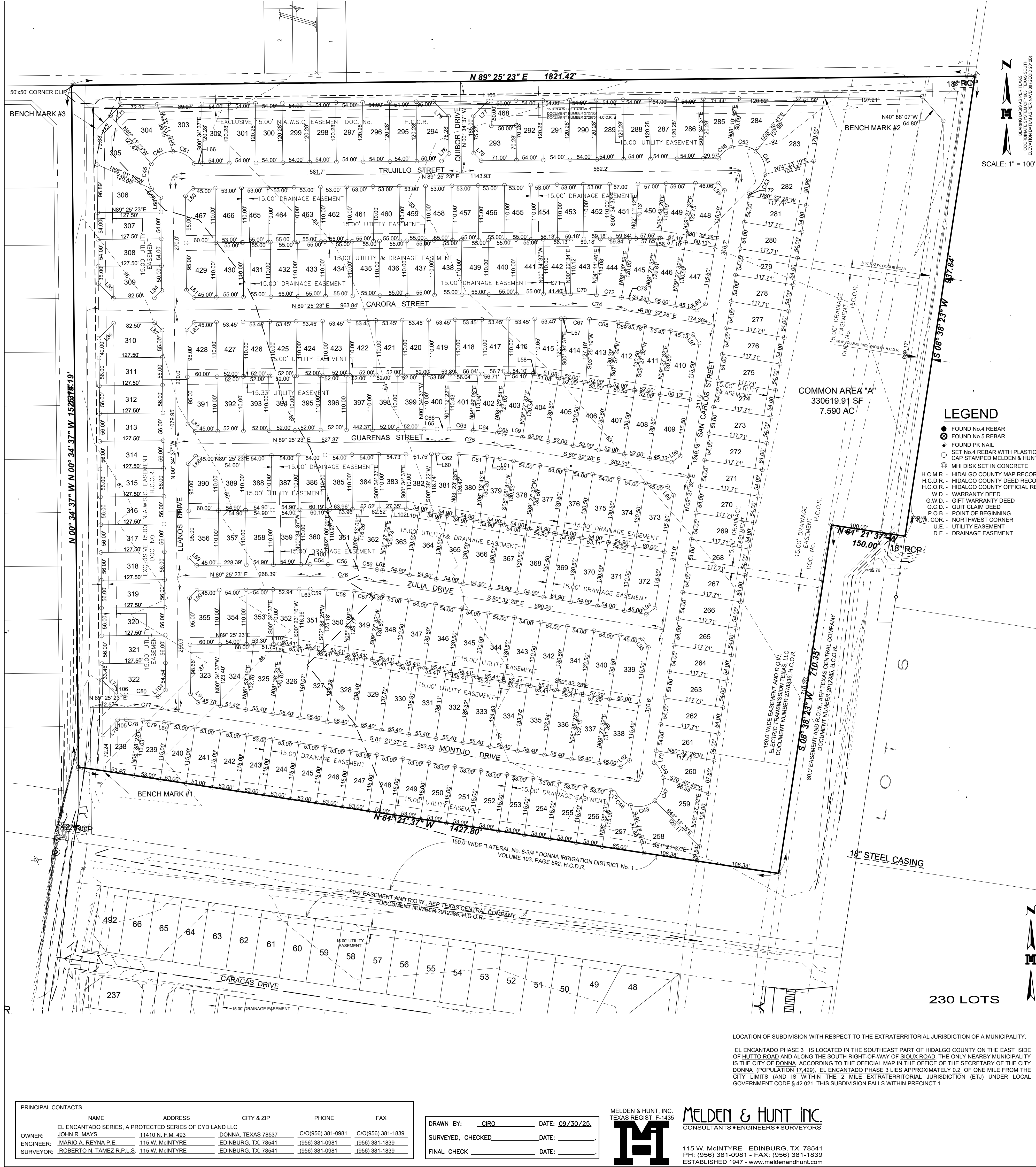
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EXHIBIT A

(Please insert description of project location and supporting documents for proposed utility work)



PLAT OF
EL ENCANTADO PHASE 3
BEING A SUBDIVISION OF 56.134 ACRES
BEING PART OR PORTION OF BLOCKS 179 & 180,
HILL HALBERTS SUBDIVISION
VOLUME 1, PAGE 35 H.C.M.R.

RIGHT OF WAY EASEMENT
KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS AND ASSIGNS, A PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE GRANTED, THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN. THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS. THE GRANTEE COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS, EXCEPT THE FOLLOWING:

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF THE TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANTEE HAS EXECUTED THIS INSTRUMENT THE _____ DAY OF _____, 20____.

EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND, LLC,
A TEXAS SERIES LIMITED LIABILITY COMPANY
JOHN R. MAYS, MANAGER
11410 N. F.M. 493
DONNA, TEXAS 78572

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES _____

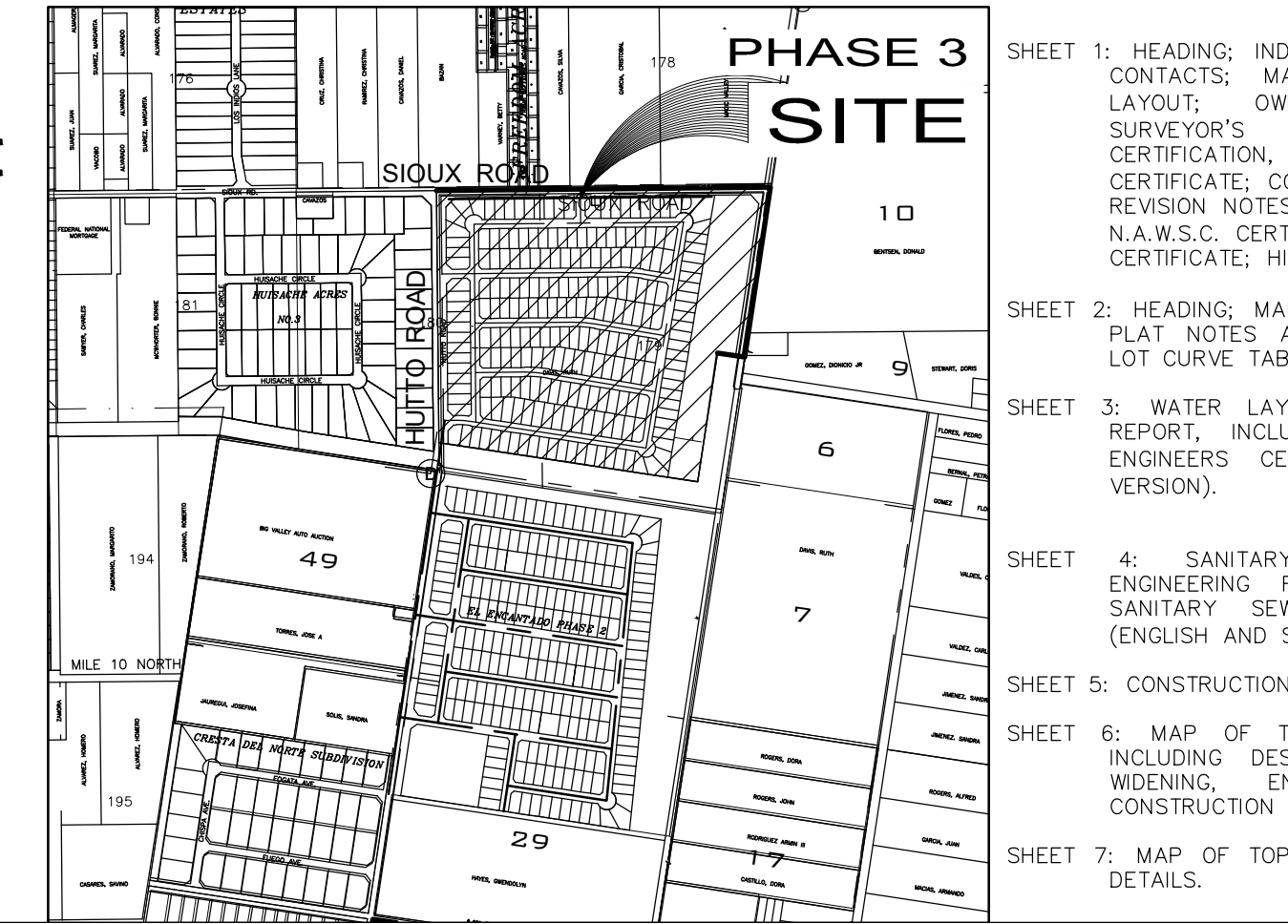
HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN P.E., C.F.M.
GENERAL MANAGER

SCALE: 1" = 1000'



STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND, LLC, AS OWNER OF THE 56.134 ACRES TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED EL ENCANTADO PHASE 3 HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT:

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
- (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND
- (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

EL ENCANTADO SERIES, A PROTECTED SERIES OF
CYD LAND, LLC, A TEXAS SERIES LIMITED LIABILITY COMPANY

JOHN R. MAYS, MANAGER
11410 N. F.M. 493
DONNA, TEXAS 78537

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein given under my hand and seal of office.

THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MARIO A. REYNA, P.E. # 22183.00
DATE PREPARED: 04/26/19 BY: CP

DATE: _____



STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PREPARED PLAT AND DESCRIPTION OF EL ENCANTADO PHASE 3, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 09-26-22, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238
DATE SURVEYED: 03-4-2021
T-1160, PAGE 61-62
SURVEY JOB NO. 22743.08



THIS PLAT IS HEREBY APPROVED BY THE DONNA IRRIGATION DISTRICT ON

THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON DONNA IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

PRESIDENT SECRETARY

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

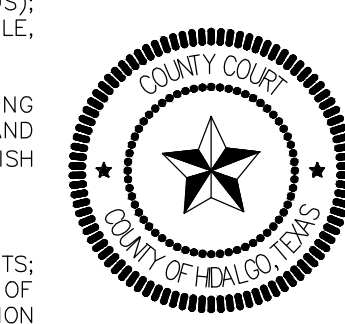
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF EL ENCANTADO PHASE 3 WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____ DAY OF _____, 20____.

HIDALGO COUNTY JUDGE DATE: _____

ATTEST: HIDALGO COUNTY CLERK DATE: _____

SCALE: 1" = 1000'

INDEX TO SHEET OF EL ENCANTADO PHASE 3	
SHEET 1: HEADING; INDEX; LOCATION MAP & ETJ; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; OWNER'S DEDICATION, CERTIFICATION; SURVEYOR'S CERTIFICATION; ENGINEERING CERTIFICATION; ATTESTATION; CITY: APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; IRRIGATION DISTRICT, H.C.D.D. NO. 1; N.A.W.S.C. CERTIFICATION; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY JUDGE CERTIFICATE;.	
SHEET 2: HEADING; MAP: DESCRIPTION (METES AND BOUNDS); PLAT NOTES AND RESTRICTIONS; LOT AREA TABLE, LOT CURVE TABLE, LOT LINE TABLE	
SHEET 3: WATER LAYOUT AND DISTRIBUTION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION).	
SHEET 4: SANITARY SEWER LAYOUT IMPROVEMENTS; ENGINEERING REPORT, INCLUDING DESCRIPTION OF SANITARY SEWER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION);	
SHEET 5: CONSTRUCTION DETAILS OF WATER AND SANITARY.	
SHEET 6: MAP OF TOPOGRAPHY AND DRAINAGE, REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DITCH WIDENING, ENGINEERING CERTIFICATION; STORM CONSTRUCTION DETAILS.	
SHEET 7: MAP OF TOPOGRAPHY AND PAVING; CONSTRUCTION DETAILS.	



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

PRINCIPAL CONTACTS				
NAME	ADDRESS	CITY & ZIP	PHONE	FAX
EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND LLC				
OWNER: JOHN R. MAYS	11410 N. F.M. 493	DONNA, TEXAS 78537	(505) 381-0981	(505) 381-1839
ENGINEER: MARIO A. REYNA P.E.	115 W. McIntyre	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: ROBERTO N. TAMEZ R.P.L.S.	115 W. McIntyre	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY: CIRO DATE: 09/30/25
SURVEYED, CHECKED DATE:
FINAL CHECK DATE:

MELDEN & HUNT, INC.
TEXAS REGIST. F-1435
M
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:
EL ENCANTADO PHASE 3 IS LOCATED IN THE SOUTHEAST PART OF HIDALGO COUNTY ON THE EAST SIDE OF HUTTO ROAD AND ALONG THE SOUTH RIGHT-OF-WAY OF SILOU ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF DONNA. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF DONNA (POPULATION 17,429), EL ENCANTADO PHASE 3 LIES APPROXIMATELY 0.2 OF ONE MILE FROM THE CITY LIMITS (AND IS WITHIN THE 2 MILE EXTRATERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. THIS SUBDIVISION FALLS WITHIN PRECINCT 1.

Lot Area Table		
Lot #	SQ. FT.	Area
238	7304.91	0.168
239	6066.56	0.139
240	6094.80	0.140
241	6094.80	0.140
242	6094.80	0.140
243	6094.80	0.140
244	6094.80	0.140
245	6094.80	0.140
246	6094.80	0.140
247	6094.80	0.140
248	6094.80	0.140
249	6094.80	0.140
250	6094.80	0.140
251	6094.80	0.140
252	6094.80	0.140
253	6094.80	0.140
254	6094.80	0.140
255	6094.80	0.140
256	6094.80	0.140
257	6357.21	0.146

Lot Area Table		
Lot #	SQ. FT.	Area
258	9652.49	0.222
259	7778.47	0.179
260	6447.59	0.148
261	6356.42	0.146
262	6356.42	0.146
263	6356.42	0.146
264	6356.42	0.146
265	6356.42	0.146
266	6356.42	0.146
267	6356.42	0.146
268	6356.42	0.146
269	6356.42	0.146
270	6356.42	0.146
271	6356.42	0.146
272	6356.42	0.146
273	6356.42	0.146
274	6356.42	0.146
275	6356.42	0.146
276	6356.42	0.146
277	6356.42	0.146

Lot Area Table		
Lot #	SQ. FT.	Area
278	6356.42	0.146
279	6356.42	0.146
280	6356.42	0.146
281	6356.42	0.146
282	6843.87	0.157
283	12711.83	0.292
284	8735.87	0.201
285	7145.33	0.164
286	6494.91	0.149
287	6494.91	0.149
288	6494.91	0.149
289	6494.91	0.149
290	6494.91	0.149
291	6494.95	0.149
292	6495.22	0.149
293	7281.24	0.167
294	7255.54	0.167
295	6494.91	0.149
296	6494.92	0.149
297	6494.92	0.149

Lot Area Table		
Lot #	SQ. FT.	Area
298	6494.92	0.149
299	6494.92	0.149
300	6495.21	0.149
301	6494.63	0.148
302	6494.92	0.149
303	7856.34	0.180
304	8540.37	0.196
305	8851.84	0.203
306	8519.56	0.196
307	6884.90	0.158
308	6884.83	0.158
309	7724.84	0.177
310	8362.33	0.192
311	7139.86	0.164
312	7139.86	0.164
313	7139.86	0.164
314	7139.86	0.164
315	7139.86	0.164
316	7139.86	0.164
317	7139.86	0.164

Lot Area Table		
Lot #	SQ. FT.	Area
318	7139.86	0.164
319	7139.86	0.164
320	7139.86	0.164
321	7139.86	0.164
322	7691.33	0.177
323	7000.81	0.161
324	7607.35	0.175
325	7901.04	0.181
326	7782.04	0.179
327	7738.15	0.178
328	7694.26	0.177
329	7650.37	0.176
330	7606.48	0.175
331	7562.60	0.174
332	7518.71	0.173
333	7474.82	0.172
334	7430.93	0.171
335	7387.04	0.170
336	7343.15	0.169
337	7423.23	0.170

GENERAL PLAT NOTES & RESTRICTIONS:

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "C" AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NO. 480334 0425 C
EFFECTIVE DATE: NOVEMBER 16, 1982.

ZONE "C" COMMUNITY-PANEL NO. 480334 0425 C EFFECTIVE DATE: NOVEMBER 16, 1982 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED NO OTHER AREAS AS SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.
CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- SETBACKS:
FRONT: 25.00 FEET. CUL-DE-SAC 15.00 FEET
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER SIDE: 10.00 FEET CORNER GARAGE SIDE: 18.00 FEET
CORNER GARAGE FRONT: 18.00 FEET
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
--B.M. NO. 1-ELEV. 87.20 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE SOUTHWEST CORNER OF LOT 238 OF THIS SUBDIVISION; N:16598910.90 E:1127644.77
--B.M. NO. 2-ELEV. 84.80 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE NORTHEAST CORNER OF LOT 283 OF THIS SUBDIVISION; N:16600287.54 E:1129100.74
--B.M. NO. 3-ELEV. 86.10 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE NORTHWEST CORNER OF LOT 305 OF THIS SUBDIVISION; N:16600202.46 E:1127631.76.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 253.924 CUBIC FEET S 829 ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO. 6 FOR STORM SEWER IMPROVEMENTS.)
- THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF ITS DETERMINES AT THE DEVELOPMENT PERMIT STATE ABOVE DUE TO THE IMPROVISED AREA BEING GREATER THAT PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 10.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS; SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER.
- 4-FT. SIDEWALK IS REQUIRED ON BOTH SIDES OF ALL INTERIOR STREET AT TIME OF BUILDING PERMIT STAGE.
- FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.
- STORM WATER POLLUTION PREVENTION PLAN PRIOR TO BUILDING PERMIT.
- ALL INTERIOR LOT CORNERS ARE SET BY NO. 4 REBARS WITH PLASTIC CAP STAMPED MELDEN & HUNT.
- ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
- LOTS 238 & 304 THROUGH 322 SHALL NOT HAVE ACCESS ON TO THE HUTTO ROAD.
- LOT 283 THROUGH 304 SHALL NOT HAVE ACCESS ONTO SIOUX ROAD.
- LOT 468 SHALL BE USE FOR LIFT STATION ONLY.
- ALL IRRIGATION EASEMENT ARE EXCLUSIVE TO DONNA IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT-OF-WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM DONNA IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT; ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FORM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THIS DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- BUFFER FENCE IS REQUIRED FOR ALL LOTS ABUTTING SIOUX ROAD AND HUTTO ROAD. FENCE MUST BE INSTALLED PRIOR TO FINAL APPROVAL.
- COMMON ACRES "A" SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF DONNA.

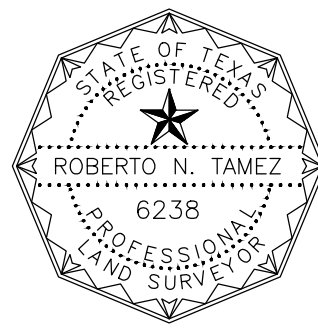
MASTER PLAT OF
EL ENCANTADO PHASE 3
BEING A SUBDIVISION OF 56.134 ACRES
BEING PART OR PORTION OF BLOCKS 179 & 180,
HILL HALBERTS SUBDIVISION
VOLUME 1, PAGE 35 H.C.M.R.

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 56.134 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 179 AND 180, HILL HALBERT SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 35, HIDALGO COUNTY MAP RECORDS, SAID 56.134 ACRES OUT OF A CERTAIN TRACT CONVEYED TO THE DAVIS FAMILY TRUST BY VIRTUE OF A DISTRIBUTION DEED RECORDED UNDER DOCUMENT NUMBER 2811528, HIDALGO COUNTY OFFICIAL RECORDS, SAID 56.134 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A NAIL SET [NORTHING: 16800310.601, EASTING: 1129404.678] AT THE NORTHEAST CORNER OF SAID BLOCK 179 AND THE EAST LINE OF A CERTAIN TRACT CONVEYED TO WONDERFUL CITRUS II, LLC BY VIRTUE OF A CORPORATE ADMINISTRATION NAME CHANGE RECORDED UNDER DOCUMENT NUMBER 2630939, HIDALGO COUNTY OFFICIAL RECORDS, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 08° 38' 23" W, ALONG THE EAST LINE OF SAID BLOCK 179 AND WITHIN THE EXISTING RIGHT-OF-WAY OF GOOLIE ROAD AND THE WEST LINE OF SAID CERTAIN TRACT CONVEYED TO WONDERFUL CITRUS II, LLC, A DISTANCE OF 937.84 FEET TO A NO. 4 REBAR SET, FROM WHICH A NO. 4 REBAR FOUND BEARS S 08° 38' 23" W, A DISTANCE OF 2,645.51 FEET AND S 08° 53' 14" W, A DISTANCE OF 690.85 FEET, FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, N 81° 21' 37" W, ALONG A NORTH LINE OF A 150-FOOT RIGHT-OF-WAY FOR LATERAL 8-3/4 TO DONNA IRRIGATION DISTRICT, A DISTANCE OF 150.00 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, S 08° 38' 23" W ALONG THE WEST LINE OF SAID 150-FOOT RIGHT-OF-WAY FOR LATERAL 8-3/4, A DISTANCE OF 710.35 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 21' 37" W ALONG THE NORTH LINE OF SAID 150-FOOT RIGHT-OF-WAY FOR LATERAL 8-3/4, AT A DISTANCE OF 1,402.48 FEET PASS A NO. 4 REBAR SET ON THE EXISTING EAST RIGHT-OF-WAY LINE OF HUTTO ROAD, CONTINUING A TOTAL DISTANCE OF 1,427.80 FEET TO A NAIL SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 00° 34' 37" W ALONG THE EAST LINE OF HUISACHE ACRES NO. 3 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 46, PAGE 173, HIDALGO COUNTY MAP RECORDS, AND WITHIN THE EXISTING RIGHT-OF-WAY OF HUTTO ROAD, A DISTANCE OF 1,374.19 FEET TO A NAIL SET, FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, N 89° 25' 23" E ALONG THE NORTH LINE OF SAID BLOCKS 179 AND 180, AND WITHIN THE EXISTING RIGHT-OF-WAY OF SIOUX ROAD, AT A DISTANCE OF 554.50 FEET PASS THE NORTHEAST CORNER OF SAID BLOCK 180 AND THE NORTHWEST CORNER OF SAID BLOCK 179, CONTINUING A TOTAL DISTANCE OF 1,821.42 FEET TO THE POINT OF BEGINNING AND CONTAINING 56.134 ACRES OF WHICH 0.773 ACRES LIES WITHIN THE EXISTING RIGHT-OF-WAY OF HUTTO ROAD, 1.215 ACRES LIES WITHIN THE EXISTING RIGHT-OF-WAY OF SIOUX ROAD, 0.623 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF GOOLIE ROAD, LEAVING AN EXISTING NET OF 53.523 ACRES OF LAND, MORE OR LESS.



Lot Area Table		
Lot #	SQ. FT.	Area
338	7742.19	0.178
339	7717.16	0.177
340	7046.75	0.162
341	7047.00	0.162
342	7047.00	0.162
343	7047.00	0.162
344	7047.00	0.162
345	7047.00	0.162
346	7047.00	0.162
347	7047.00	0.162
348	6916.50	0.159
349	7105.30	0.163
350	6772.57	0.155
351	6323.68	0.145
352	5858.14	0.134
353	5939.97	0.136
354	5940.00	0.136
355	6487.50	0.149
356	6487.50	0.149
357	6039.00	0.139

Lot Area Table		
Lot #	SQ. FT.	Area
358	6039.00	0.139
359	6039.00	0.139
360	6347.72	0.146
361	6756.40	0.155
362	7050.42	0.162
363	7100.26	0.163
364	7164.45	0.164
365	7164.45	0.164
366	7164.45	0.164
367	7164.45	0.164
368	7164.45	0.164
369	7164.45	0.164
370	7164.45	0.164
371	7163.99	0.164
372	7717.16	0.177
373	7717.16	0.177
374	7047.43	0.162
375	7047.00	0.162
376	7047.00	0.162
377	7047.00	0.162

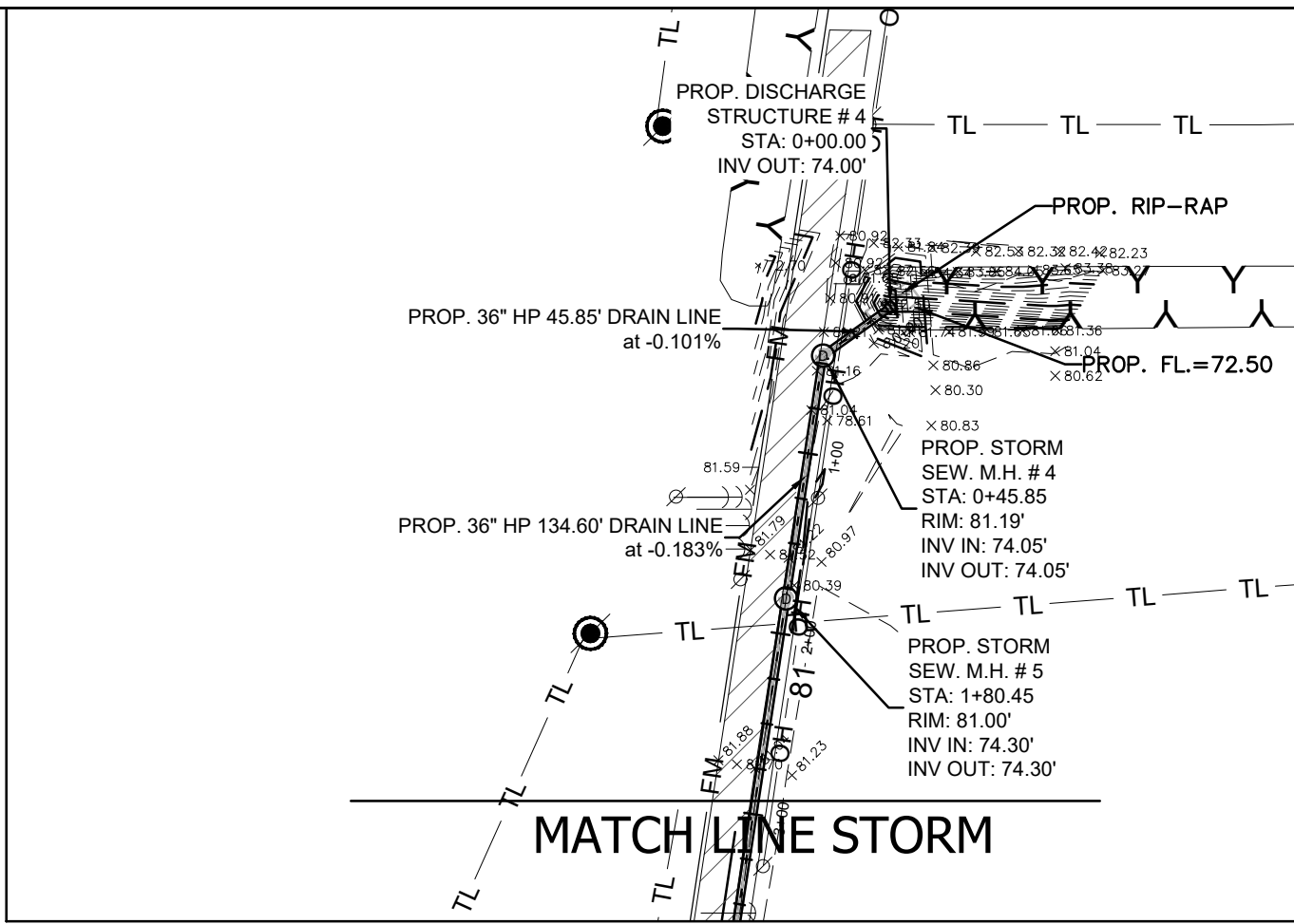
Lot Area Table		
Lot #	SQ. FT.	Area
378	6851.24	0.157
379	6805.41	0.156
380	6841.70	0.157
381	6453.67	0.148
382	5779.48	0.133
383	6020.29	0.138
384	5940.01	0.136
385	5940.01	0.136
386	5940.01	0.136
387	5940.03	0.136
388	5939.98	0.136
389	5940.02	0.136
390	6487.51	0.149
391	6487.50	0.149
392	5720.45	0.131
393	5720.46	0.131
394	5720.46	0.131
395	5720.46	0.131
396	5720.46	0.131
397	5720.46	0.131

Lot Area Table		
Lot #	SQ. FT.	Area
398	5720.46	0.131
399	5720.46	0.131
400	5742.20	0.132
401	5862.08	0.135
402	6159.94	0.141
403	6562.15	0.151
404	6785.58	0.156
405	6785.66	0.156
406	6785.66	0.156
407	6785.66	0.156
408	6785.66	0.156
409	7734.12	0.178
410	7734.12	0.178
411	6975.32	0.160
412	6922.16	0.159
413	6749.74	0.155
414	6542.02	0.150
415	6167.31	0.142
416	5881.11	0.135
417	5879.45	0.135

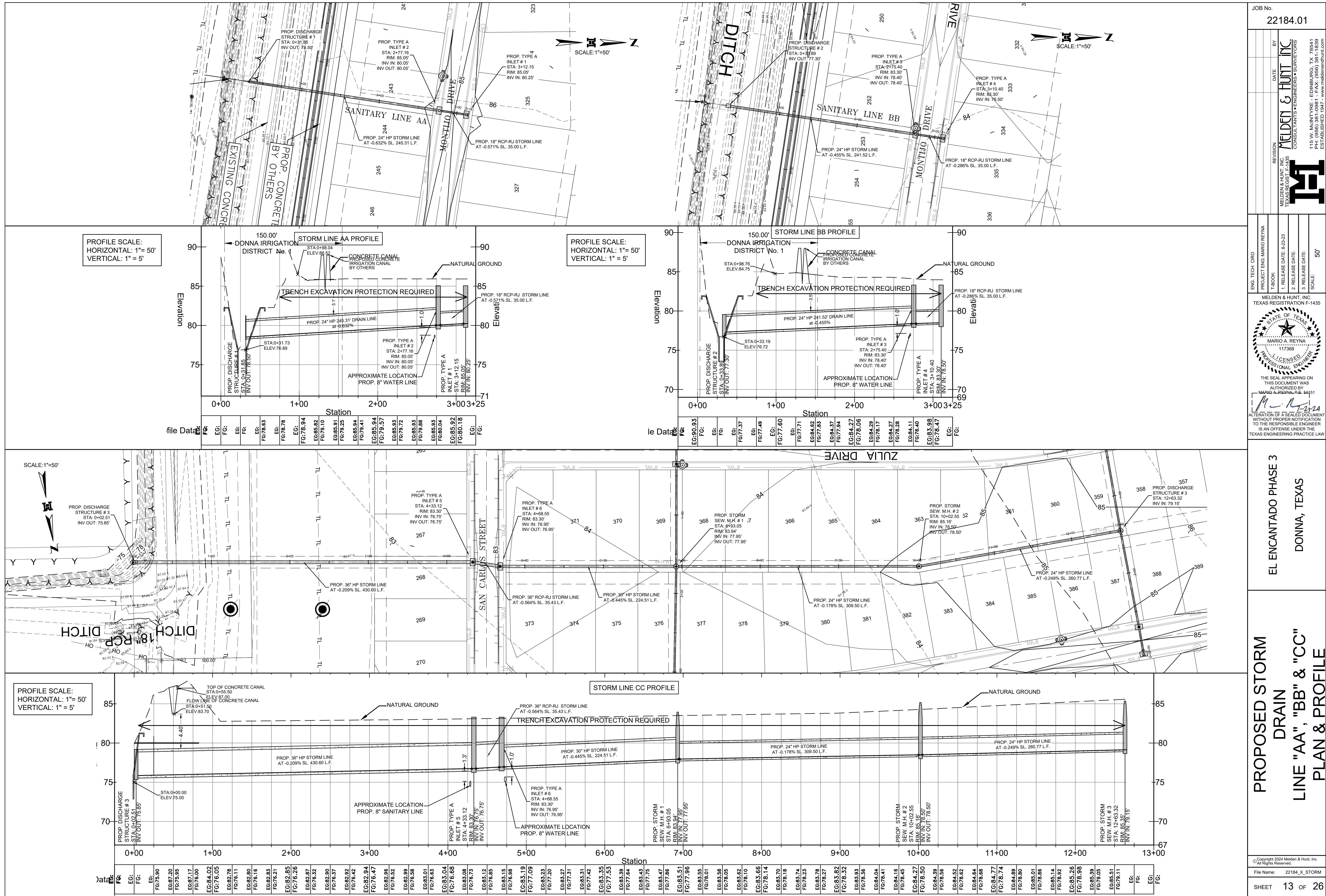
Lot Area Table		
Lot #	SQ. FT.	Area
418	5879.44	0.135
419	5879.44	0.135
420	5879.44	0.135
421	5879.44	0.135
422	5879.44	0.135
423	5879.44	0.135
424	5879.44	0.135
425	5879.43	0.135
426	5879.43	0.135
427	5879.43	0.135
428	6487.49	0.149
429	6487.50	0.149
430	6049.51	0.139
431	6049.51	0.139
432	6049.51	0.139
433	6049.51	0.139
434	6049.51	0.139
435	6049.51	0.139
436	6049.51	0.139
437	6049.51	0.139

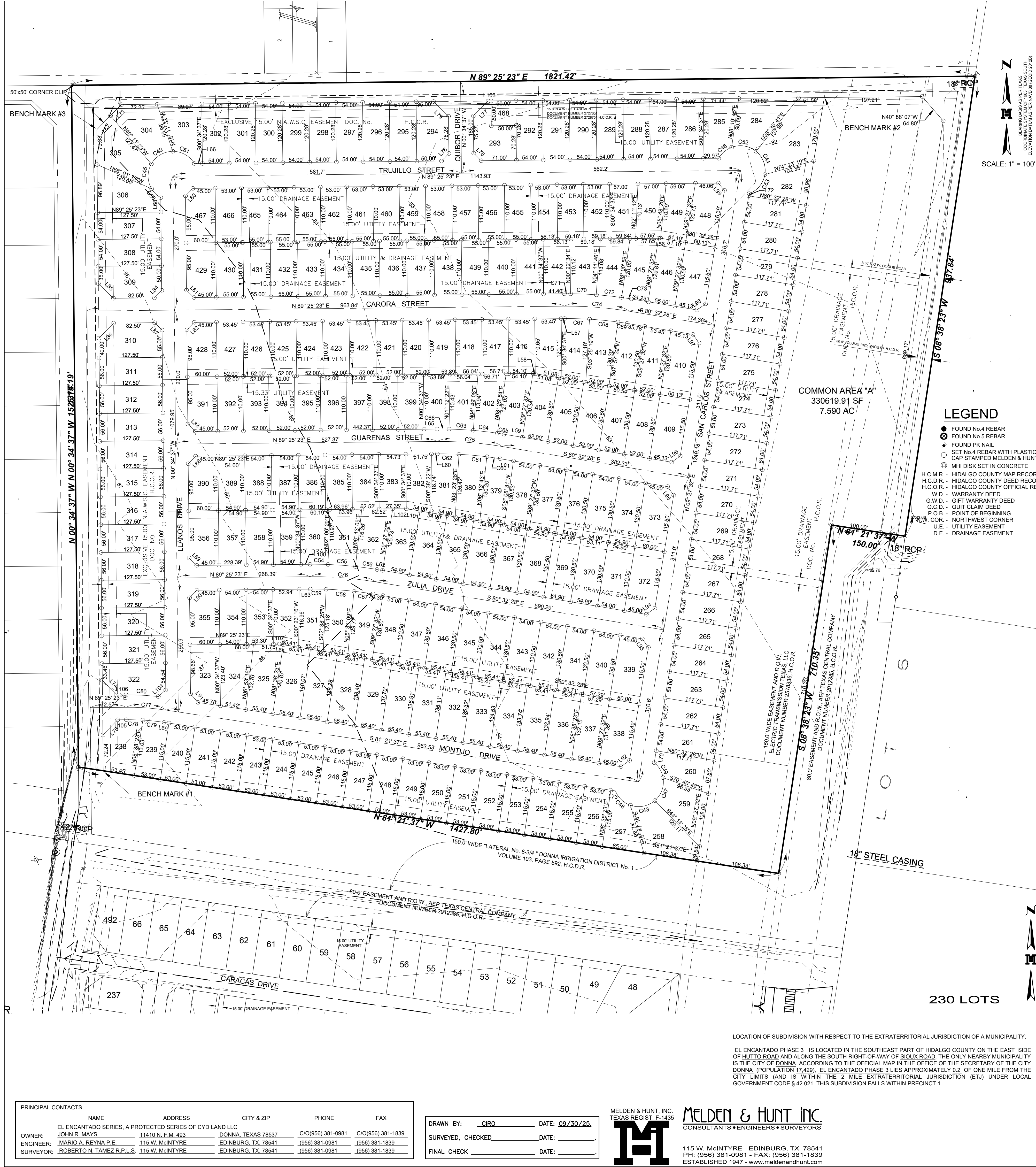
Lot Area Table		
Lot #	SQ. FT.	Area
438	6049.51	0.139
439	6049.51	0.139
440	6049.51	0.139
441	6049.51	0.139
442	6073.56	0.139
443	6162.33	0.141
444	6455.80	0.148
445	6904.36	0.159
446	7176.45	0.165
447	7734.12	0.178
448	7469.69	0.171
449	6333.31	0.145
450	5885.03	0.135
451	5977.95	0.137
452	5830.00	0.134
453	5830.00	0.134
454	5830.00	0.134
455	5830.00	0.134
456	5830.00	0.134
457	5830.00	0.134

Lot Area Table		
Lot #	SQ. FT.	Area
458	5830.00	0.134
459	5830.00	0.134
460	5830.00	0.134
461	5830.00	0.134
462	5830.00	0.134
463	5830.00	0.134
464	5830.00	0.134
465	5830.00	0.134
466	5830.00	0.134
467	6487.50	0.149
468	2499.93	0.057



JOB No.		22184.01	
DATE	07-30-24	BY	CRO
REVISION		REVISION	
PROJECT: EL ENCANTADO PHASE 3		MELDEN & HUNT, INC. CONSULTANTS & ENGINEERS SURVEYORS	
PROJECT ENGINEER: MARIO REYNA		MELDEN & HUNT, INC. TEXAS REGISTRATION F-1435	
T-BOOK		1. RELEASE DATE: 8-29-23	
		2. RELEASE DATE:	
		3. RELEASE DATE:	
		SCALE: 1" = 100'	
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARIO A. REYNA, P.E. 54151			
EL ENCANTADO PHASE 3		DONNA, TEXAS	
PROPOSED STORM SEWER LINE IMPROVEMENTS			
Copyright 2024 Melden & Hunt, Inc. All Rights Reserved.			
File Name: 22184_X_STORM			
SHEET 12 OF 26			





PLAT OF
EL ENCANTADO PHASE 3
BEING A SUBDIVISION OF 56.134 ACRES
BEING PART OR PORTION OF BLOCKS 179 & 180,
HILL HALBERTS SUBDIVISION
VOLUME 1, PAGE 35 H.C.M.R.

RIGHT OF WAY EASEMENT
KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS AND ASSIGNS, A PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE GRANTED, THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANITOR BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN. THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS. THE GRANITOR COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS, EXCEPT THE FOLLOWING:

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF THE TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANITOR HAS EXECUTED THIS INSTRUMENT THE _____ DAY OF _____, 20____.

EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND, LLC,
A TEXAS SERIES LIMITED LIABILITY COMPANY
JOHN R. MAYS, MANAGER
11410 N. F.M. 493
DONNA, TEXAS 78572

THE STATE OF TEXAS &
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES _____

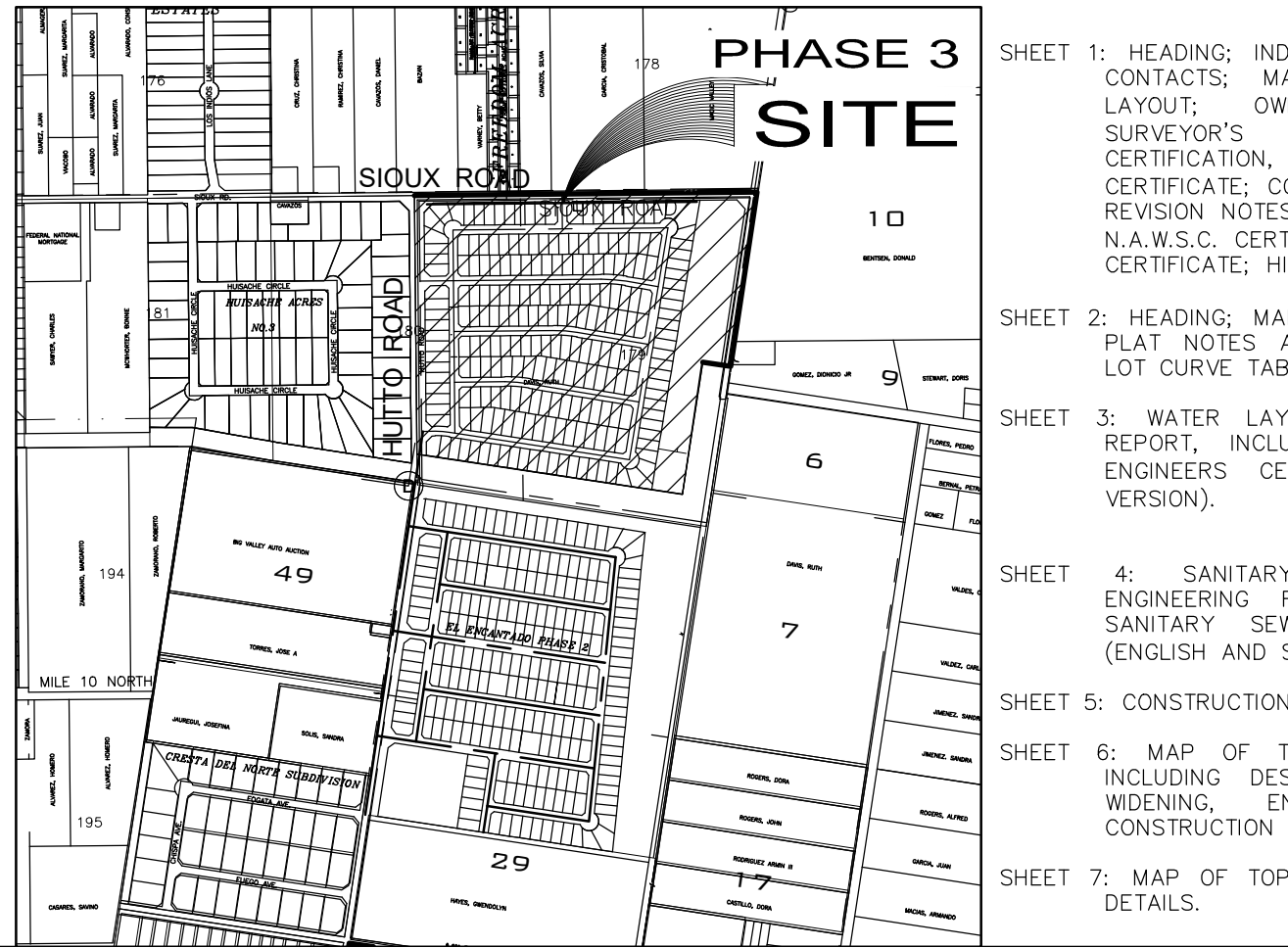
HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN P.E., C.F.M.
GENERAL MANAGER

SCALE: 1" = 1000'



STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND, LLC, AS OWNER OF THE 56.134 ACRES TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED EL ENCANTADO PHASE 3 HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET(S), PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT:

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
- (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND
- (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

EL ENCANTADO SERIES, A PROTECTED SERIES OF
CYD LAND, LLC, A TEXAS SERIES LIMITED LIABILITY COMPANY

JOHN R. MAYS, MANAGER
11410 N. F.M. 493
DONNA, TEXAS 78537

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein given under my hand and seal of office.

THIS _____ DAY OF _____, 20____.

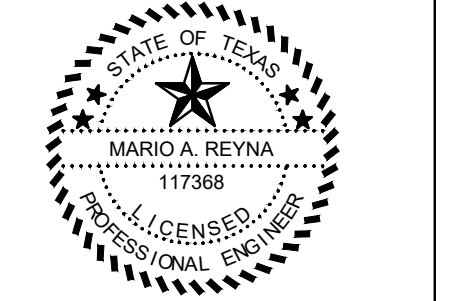
NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MARIO A. REYNA, P.E. # 22183.00
DATE PREPARED: 04/26/19 BY: CP

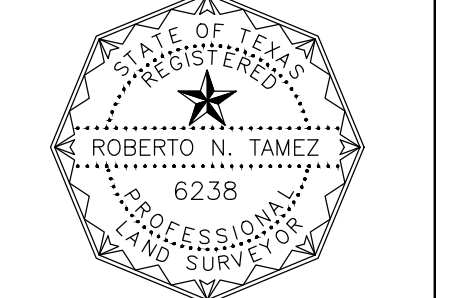
DATE: _____
MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435



STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PREPARED PLAT AND DESCRIPTION OF EL ENCANTADO PHASE 3, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 09-26-22, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238
DATE SURVEYED: 03-4-2021
T-1160, PAGE 61-62
SURVEY JOB NO. 22743.08



THIS PLAT IS HEREBY APPROVED BY THE DONNA IRRIGATION DISTRICT ON

THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON DONNA IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

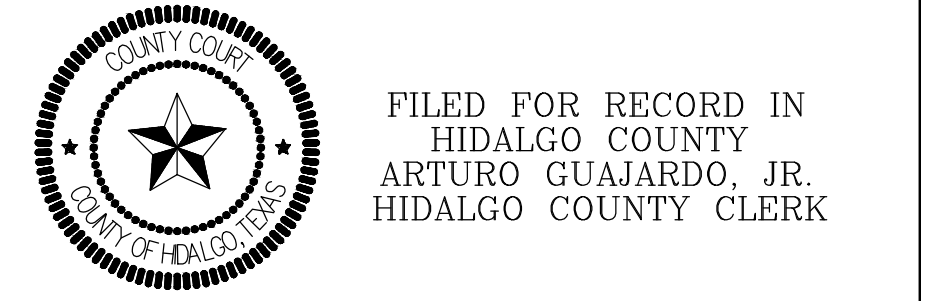
PRESIDENT SECRETARY

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF EL ENCANTADO PHASE 3 WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____ DAY OF _____, 20____.

HIDALGO COUNTY JUDGE DATE: _____

ATTEST: HIDALGO COUNTY CLERK DATE: _____



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

PRINCIPAL CONTACTS				
NAME	ADDRESS	CITY & ZIP	PHONE	FAX
EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND LLC				
OWNER: JOHN R. MAYS	11410 N. F.M. 493	DONNA, TEXAS 78537	(505) 381-0981	(505) 381-1839
ENGINEER: MARIO A. REYNA P.E.	115 W. McIntyre	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: ROBERTO N. TAMEZ R.P.L.S.	115 W. McIntyre	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY: CIRO DATE: 09/30/25
SURVEYED, CHECKED DATE: _____
FINAL CHECK DATE: _____

MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

Lot Area Table		
Lot #	SQ. FT.	Area
238	7304.91	0.168
239	6066.56	0.139
240	6094.80	0.140
241	6094.80	0.140
242	6094.80	0.140
243	6094.80	0.140
244	6094.80	0.140
245	6094.80	0.140
246	6094.80	0.140
247	6094.80	0.140
248	6094.80	0.140
249	6094.80	0.140
250	6094.80	0.140
251	6094.80	0.140
252	6094.80	0.140
253	6094.80	0.140
254	6094.80	0.140
255	6094.80	0.140
256	6094.80	0.140
257	6357.21	0.146

Lot Area Table		
Lot #	SQ. FT.	Area
258	9652.49	0.222
259	7778.47	0.179
260	6447.59	0.148
261	6356.42	0.146
262	6356.42	0.146
263	6356.42	0.146
264	6356.42	0.146
265	6356.42	0.146
266	6356.42	0.146
267	6356.42	0.146
268	6356.42	0.146
269	6356.42	0.146
270	6356.42	0.146
271	6356.42	0.146
272	6356.42	0.146
273	6356.42	0.146
274	6356.42	0.146
275	6356.42	0.146
276	6356.42	0.146
277	6356.42	0.146

Lot Area Table		
Lot #	SQ. FT.	Area
278	6356.42	0.146
279	6356.42	0.146
280	6356.42	0.146
281	6356.42	0.146
282	6843.87	0.157
283	12711.83	0.292
284	8735.87	0.201
285	7145.33	0.164
286	6494.91	0.149
287	6494.91	0.149
288	6494.91	0.149
289	6494.91	0.149
290	6494.95	0.149
291	6494.95	0.149
292	6495.22	0.149
293	7281.24	0.167
294	7255.54	0.167
295	6494.91	0.149
296	6494.92	0.149
297	6494.92	0.149

Lot Area Table		
Lot #	SQ. FT.	Area
298	6494.92	0.149
299	6494.92	0.149
300	6495.21	0.149
301	6494.63	0.148
302	6494.92	0.149
303	7856.34	0.180
304	8540.37	0.196
305	8851.84	0.203
306	8519.56	0.196
307	6884.90	0.158
308	6884.83	0.158
309	7724.84	0.177
310	8362.33	0.192
311	7139.86	0.164
312	7139.86	0.164
313	7139.86	0.164
314	7139.86	0.164
315	7139.86	0.164
316	7139.86	0.164
317	7139.86	0.164

Lot Area Table		
Lot #	SQ. FT.	Area
318	7139.86	0.164
319	7139.86	0.164
320	7139.86	0.164
321	7139.86	0.164
322	7691.33	0.177
323	7000.81	0.161
324	7607.35	0.175
325	7901.04	0.181
326	7782.04	0.179
327	7738.15	0.178
328	7694.26	0.177
329	7650.37	0.176
330	7606.48	0.175
331	7562.60	0.174
332	7518.71	0.173
333	7474.82	0.172
334	7430.93	0.171
335	7387.04	0.170
336	7343.15	0.169
337	7423.23	0.170

GENERAL PLAT NOTES & RESTRICTIONS:

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "C" AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NO. 480334 0425 C
EFFECTIVE DATE: NOVEMBER 16, 1982.

ZONE "C" COMMUNITY-PANEL NO. 480334 0425 C EFFECTIVE DATE: NOVEMBER 16, 1982 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED NO OTHER AREAS AS SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.
CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- SETBACKS:
FRONT: 25.00 FEET. CUL-DE-SAC 15.00 FEET
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER SIDE: 10.00 FEET CORNER GARAGE SIDE: 18.00 FEET
CORNER GARAGE FRONT: 18.00 FEET
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
--B.M. NO. 1-ELEV. 87.20 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE SOUTHWEST CORNER OF LOT 238 OF THIS SUBDIVISION. N:16598910.90 E:1127644.77
--B.M. NO. 2-ELEV. 84.80 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE NORTHEAST CORNER OF LOT 283 OF THIS SUBDIVISION. N:16600287.54 E:1129100.74
--B.M. NO. 3-ELEV. 86.10 N.G.V.D. 29 DESCRIPTIONS: MHI DISC SET IN CONCRETE AT THE NORTHWEST CORNER OF LOT 305 OF THIS SUBDIVISION. N:16600202.46 E:1127631.76.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 253.924 CUBIC FEET S 829 ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO. 6 FOR STORM SEWER IMPROVEMENTS.)
- THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF ITS DETERMINES AT THE DEVELOPMENT PERMIT STATE ABOVE DUE TO THE IMPROVISED AREA BEING GREATER THAT PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 10.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS. SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER.
- 4-FT. SIDEWALK IS REQUIRED ON BOTH SIDES OF ALL INTERIOR STREET AT TIME OF BUILDING PERMIT STAGE.
- FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.
- STORM WATER POLLUTION PREVENTION PLAN PRIOR TO BUILDING PERMIT.
- ALL INTERIOR LOT CORNERS ARE SET BY NO. 4 REBARS WITH PLASTIC CAP STAMPED MELDEN & HUNT.
- ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
- LOTS 238 & 304 THROUGH 322 SHALL NOT HAVE ACCESS ON TO THE HUTTO ROAD.
- LOT 283 THROUGH 304 SHALL NOT HAVE ACCESS ONTO SIOUX ROAD.
- LOT 468 SHALL BE USE FOR LIFT STATION ONLY.
- ALL IRRIGATION EASEMENT ARE EXCLUSIVE TO DONNA IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT-OF-WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM DONNA IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FORM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THIS DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- BUFFER FENCE IS REQUIRED FOR ALL LOTS ABUTTING SIOUX ROAD AND HUTTO ROAD. FENCE MUST BE INSTALLED PRIOR TO FINAL APPROVAL.
- COMMON ACRES "A" SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF DONNA.

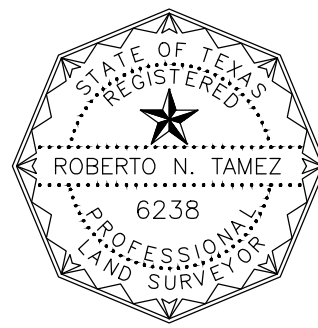
MASTER PLAT OF
EL ENCANTADO PHASE 3
BEING A SUBDIVISION OF 56.134 ACRES
BEING PART OR PORTION OF BLOCKS 179 & 180,
HILL HALBERTS SUBDIVISION
VOLUME 1, PAGE 35 H.C.M.R.

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 56.134 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF BLOCKS 179 AND 180, HILL HALBERT SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 35, HIDALGO COUNTY MAP RECORDS, SAID 56.134 ACRES OUT OF A CERTAIN TRACT CONVEYED TO THE DAVIS FAMILY TRUST BY VIRTUE OF A DISTRIBUTION DEED RECORDED UNDER DOCUMENT NUMBER 2811528, HIDALGO COUNTY OFFICIAL RECORDS, SAID 56.134 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A NAIL SET [NORTHING: 16800310.601, EASTING: 1129404.678] AT THE NORTHEAST CORNER OF SAID BLOCK 179 AND THE EAST LINE OF A CERTAIN TRACT CONVEYED TO WONDERFUL CITRUS II, LLC BY VIRTUE OF A CORPORATE ADMINISTRATION NAME CHANGE RECORDED UNDER DOCUMENT NUMBER 2630939, HIDALGO COUNTY OFFICIAL RECORDS, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 08° 38' 23" W, ALONG THE EAST LINE OF SAID BLOCK 179 AND WITHIN THE EXISTING RIGHT-OF-WAY OF GOOLIE ROAD AND THE WEST LINE OF SAID CERTAIN TRACT CONVEYED TO WONDERFUL CITRUS II, LLC, A DISTANCE OF 937.84 FEET TO A NO. 4 REBAR SET, FROM WHICH A NO. 4 REBAR FOUND BEARS S 08° 38' 23" W, A DISTANCE OF 2,645.51 FEET AND S 08° 53' 14" W, A DISTANCE OF 690.85 FEET, FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, N 81° 21' 37" W, ALONG A NORTH LINE OF A 150-FOOT RIGHT-OF-WAY FOR LATERAL 8-3/4 TO DONNA IRRIGATION DISTRICT, A DISTANCE OF 150.00 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, S 08° 38' 23" W ALONG THE WEST LINE OF SAID 150-FOOT RIGHT-OF-WAY FOR LATERAL 8-3/4, A DISTANCE OF 710.35 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 21' 37" W ALONG THE NORTH LINE OF SAID 150-FOOT RIGHT-OF-WAY FOR LATERAL 8-3/4, AT A DISTANCE OF 1,402.48 FEET PASS A NO. 4 REBAR SET ON THE EXISTING EAST RIGHT-OF-WAY LINE OF HUTTO ROAD, CONTINUING A TOTAL DISTANCE OF 1,427.80 FEET TO A NAIL SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 00° 34' 37" W ALONG THE EAST LINE OF HUISACHE ACRES NO. 3 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 46, PAGE 173, HIDALGO COUNTY MAP RECORDS, AND WITHIN THE EXISTING RIGHT-OF-WAY OF HUTTO ROAD, A DISTANCE OF 1,374.19 FEET TO A NAIL SET, FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, N 89° 25' 23" E ALONG THE NORTH LINE OF SAID BLOCKS 179 AND 180, AND WITHIN THE EXISTING RIGHT-OF-WAY OF SIOUX ROAD, AT A DISTANCE OF 554.50 FEET PASS THE NORTHEAST CORNER OF SAID BLOCK 180 AND THE NORTHWEST CORNER OF SAID BLOCK 179, CONTINUING A TOTAL DISTANCE OF 1,821.42 FEET TO THE POINT OF BEGINNING AND CONTAINING 56.134 ACRES OF WHICH 0.773 ACRES LIES WITHIN THE EXISTING RIGHT-OF-WAY OF HUTTO ROAD, 1.215 ACRES LIES WITHIN THE EXISTING RIGHT-OF-WAY OF SIOUX ROAD, 0.623 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF GOOLIE ROAD, LEAVING AN EXISTING NET OF 53.523 ACRES OF LAND, MORE OR LESS.



Lot Area Table		
Lot #	SQ. FT.	Area
338	7742.19	0.178
339	7717.16	0.177
340	7046.75	0.162
341	7047.00	0.162
342	7047.00	0.162
343	7047.00	0.162
344	7047.00	0.162
345	7047.00	0.162
346	7047.00	0.162
347	7047.00	0.162
348	6916.50	0.159
349	7105.30	0.163
350	6772.57	0.155
351	6323.68	0.145
352	5858.14	0.134
353	5939.97	0.136
354	5940.00	0.136
355	6487.50	0.149
356	6487.50	0.149
357	6039.00	0.139

Lot Area Table		
Lot #	SQ. FT.	Area
358	6039.00	0.139
359	6039.00	0.139
360	6347.72	0.146
361	6756.40	0.155
362	7050.42	0.162
363	7100.26	0.163
364	7164.45	0.164
365	7164.45	0.164
366	7164.45	0.164
367	7164.45	0.164
368	7164.45	0.164
369	7164.45	0.164
370	7164.45	0.164
371	7163.99	0.164
372	7717.16	0.177
373	7717.16	0.177
374	7047.43	0.162
375	7047.00	0.162
376	7047.00	0.162
377	7047.00	0.162

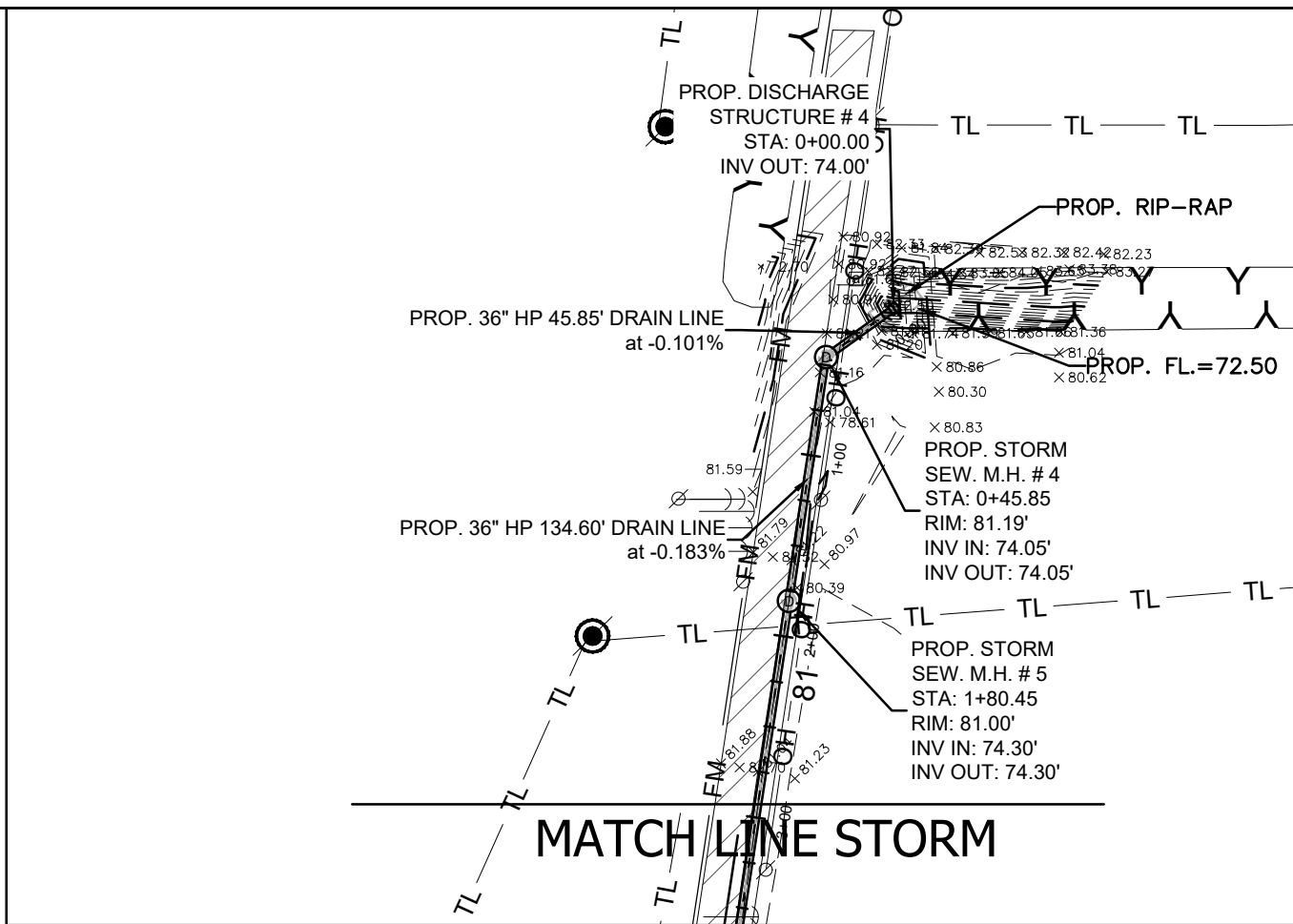
Lot Area Table		
Lot #	SQ. FT.	Area
378	6851.24	0.157
379	6805.41	0.156
380	6841.70	0.157
381	6453.67	0.148
382	5779.48	0.133
383	6020.29	0.138
384	5940.01	0.136
385	5940.01	0.136
386	5940.01	0.136
387	5940.03	0.136
388	5939.98	0.136
389	5940.02	0.136
390	6487.51	0.149
391	6487.50	0.149
392	5720.45	0.131
393	5720.46	0.131
394	5720.46	0.131
395	5720.46	0.131
396	5720.46	0.131
397	5720.46	0.131

Lot Area Table		
Lot #	SQ. FT.	Area
398	5720.46	0.131
399	5720.46	0.131
400	5742.20	0.132
401	5862.08	0.135
402	6159.94	0.141
403	6562.15	0.151
404	6785.58	0.156
405	6785.66	0.156
406	6785.66	0.156
407	6785.66	0.156
408	6785.66	0.156
409	7734.12	0.178
410	7734.12	0.178
411	6975.32	0.160
412	6922.16	0.159
413	6749.74	0.155
414	6542.02	0.150
415	6167.31	0.142
416	5881.11	0.135
417	5879.45	0.135

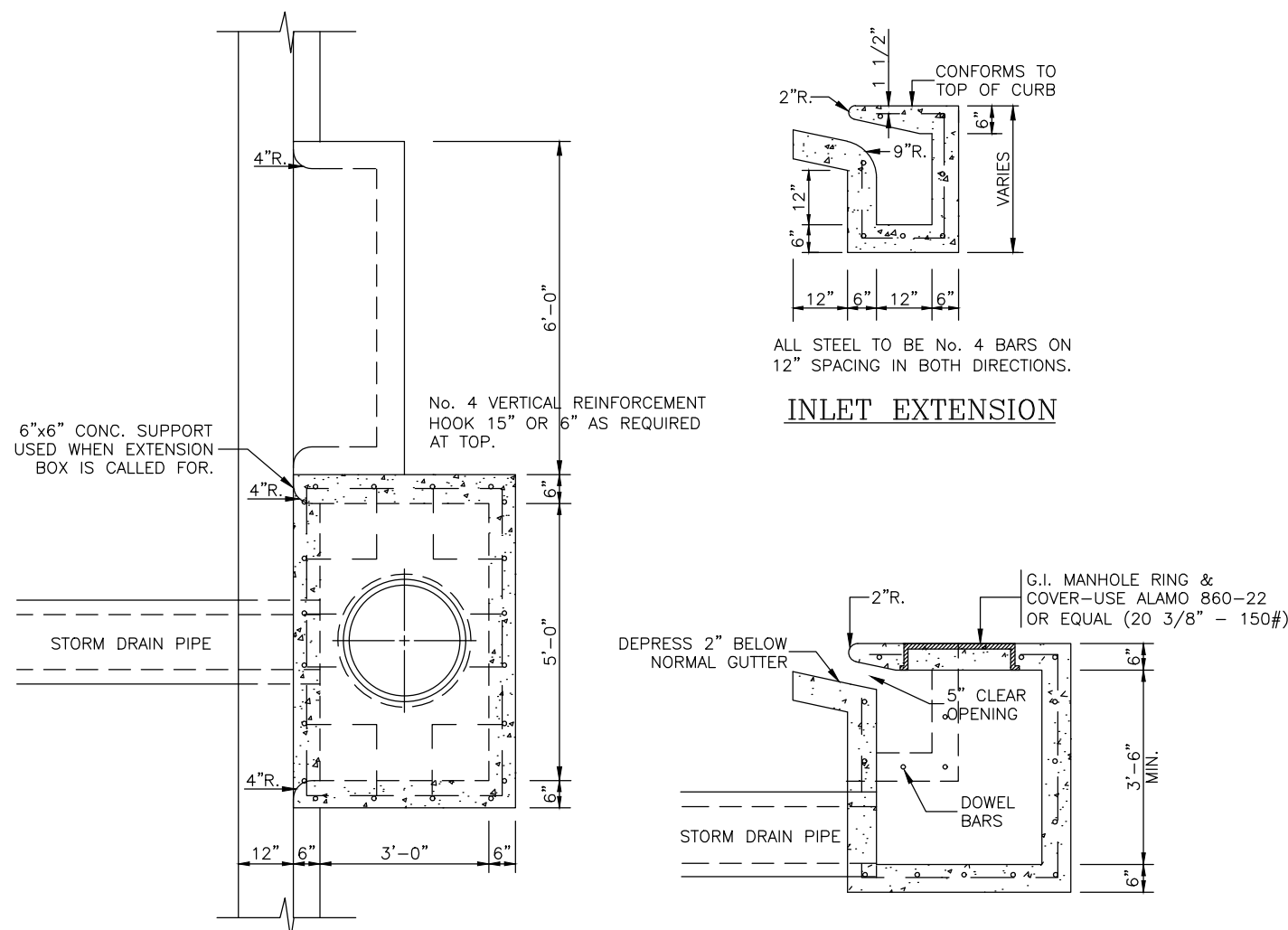
Lot Area Table		
Lot #	SQ. FT.	Area
418	5879.44	0.135
419	5879.44	0.135
420	5879.44	0.135
421	5879.44	0.135
422	5879.44	0.135
423	5879.44	0.135
424	5879.44	0.135
425	5879.43	0.135
426	5879.43	0.135
427	5879.43	0.135
428	6487.49	0.149
429	6487.50	0.149
430	6049.51	0.139
431	6049.51	0.139
432	6049.51	0.139
433	6049.51	0.139
434	6049.51	0.139
435	6049.51	0.139
436	6049.51	0.139
437	6049.51	0.139

Lot Area Table		
Lot #	SQ. FT.	Area
438	6049.51	0.139
439	6049.51	0.139
440	6049.51	0.139
441	6049.51	0.139
442	6073.56	0.139
443	6162.33	0.141
444	6455.80	0.148
445	6904.36	0.159
446	7176.45	0.165
447	7734.12	0.178
448	7469.69	0.171
449	6333.31	0.145
450	5885.03	0.135
451	5977.95	0.137
452	5830.00	0.134
453	5830.00	0.134
454	5830.00	0.134
455	5830.00	0.134
456	5830.00	0.134
457	5830.00	0.134

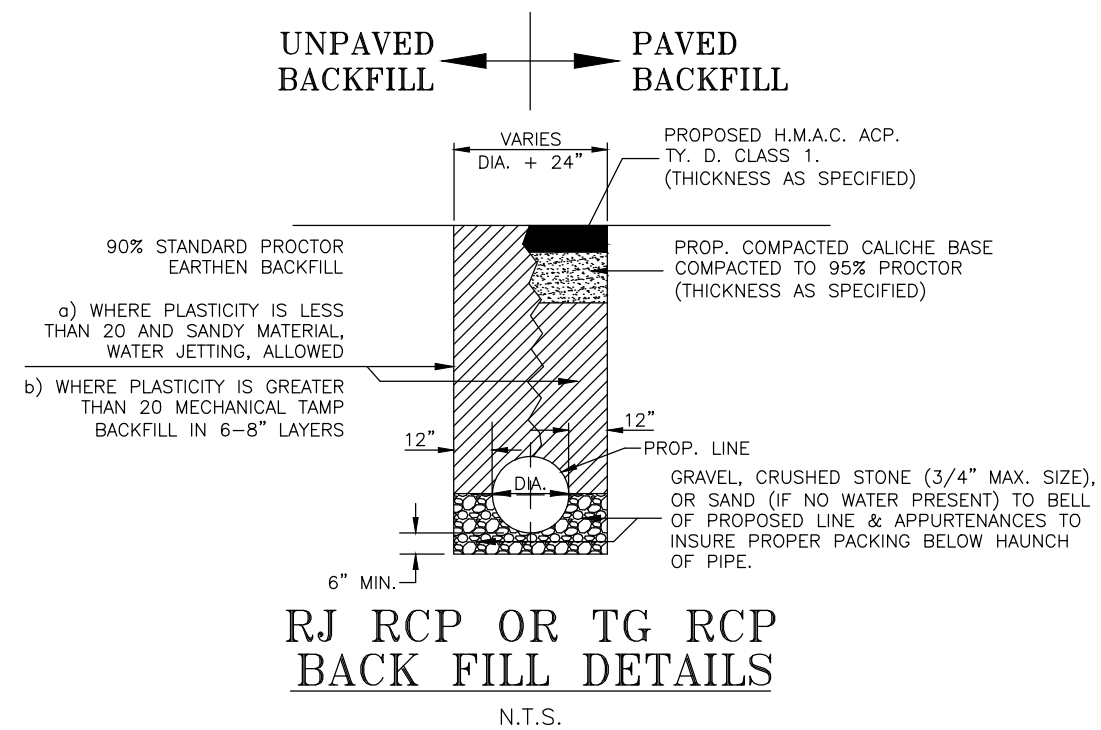
Lot Area Table		
Lot #	SQ. FT.	Area
458	5830.00	0.134
459	5830.00	0.134
460	5830.00	0.134
461	5830.00	0.134
462	5830.00	0.134
463	5830.00	0.134
464	5830.00	0.134
465	5830.00	0.134
466	5830.00	0.134
467	6487.50	0.149
468	2499.93	0.057



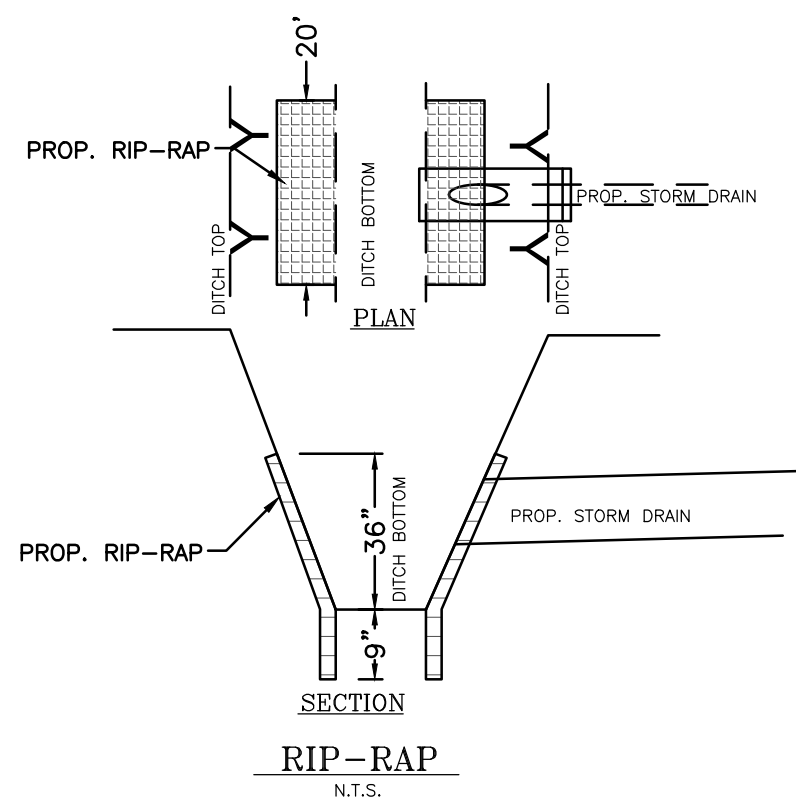
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DATE 07-30-24	BY CRO
REVISION 1. RELEASE DATE: 8-29-23	REVISION 2. RELEASE DATE: 8-29-23
3. RELEASE DATE: 8-29-23	3. RELEASE DATE: 8-29-23
SCALE: 1" = 100'	
MELDEN & HUNT, INC. CONSULTANTS • ENGINEERS • SURVEYORS 115 W. MCINTYRE • EDINBURG, TX 78541 PH: (956) 381-0881 • FAX: (956) 381-1899 ESTABLISHED 1947 • www.meldenandhunt.com	
MELDEN & HUNT, INC. TEXAS REGISTRATION F-1435	
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARIO A. REYNA, P.E. 54151	
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE LAW	
EL ENCANTADO PHASE 3 DONNA, TEXAS	
PROPOSED STORM SEWER LINE IMPROVEMENTS	
© Copyright 2024 Melden & Hunt, Inc. All Rights Reserved. File Name: 22184_X_STORM	
SHEET 12 OF 26	



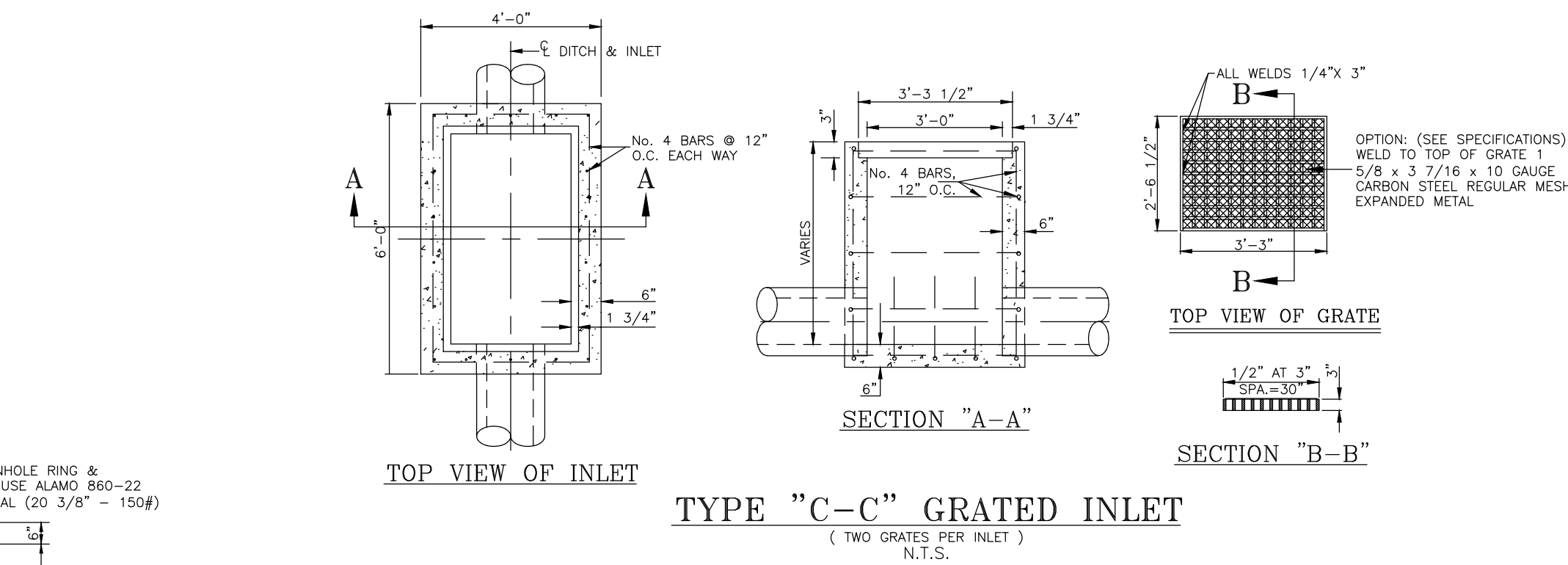
PLAN
TYPE "A" INLET
N.T.S.



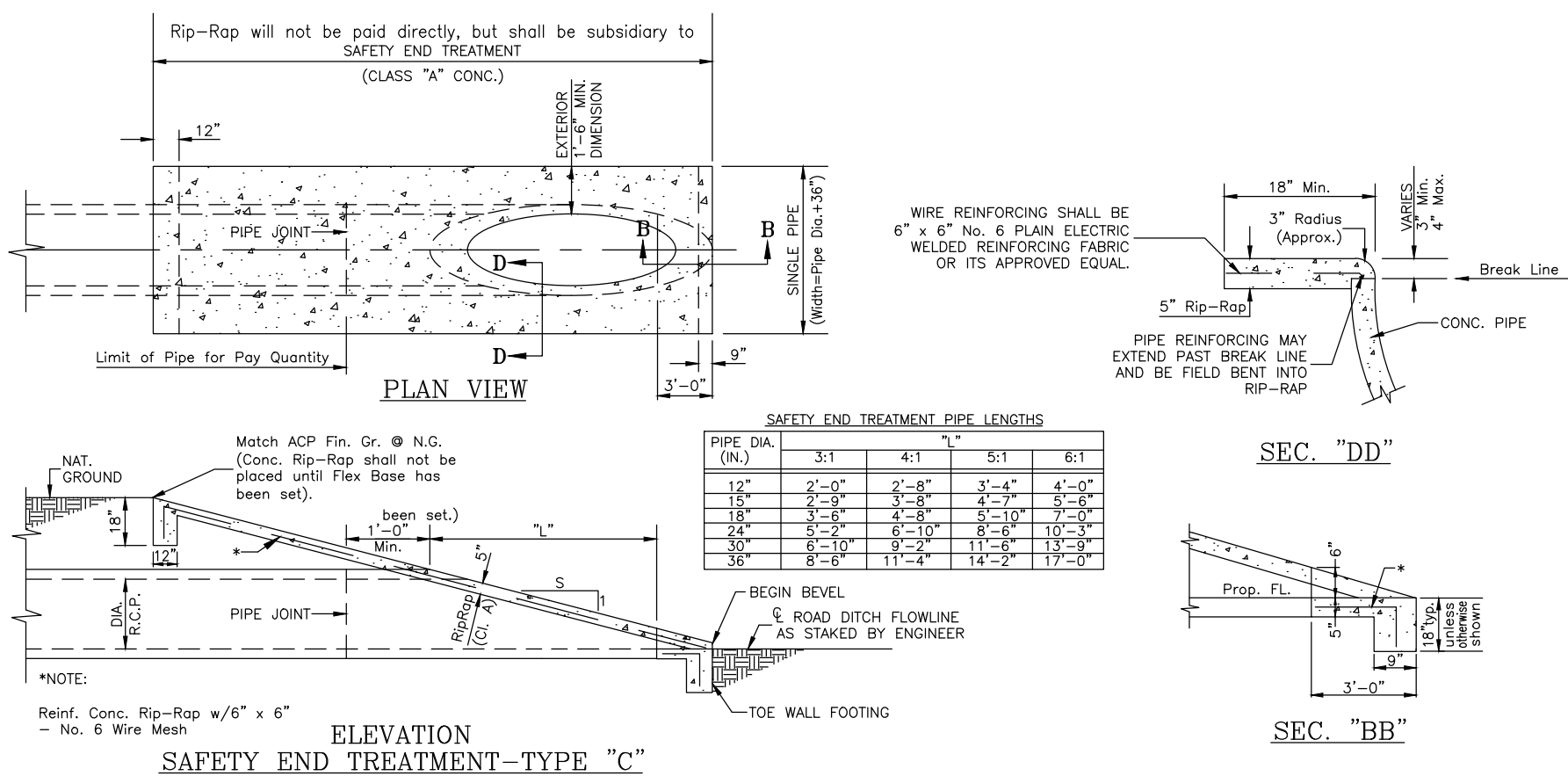
RJ RCP OR TG RCP
BACK FILL DETAILS
N.T.S.



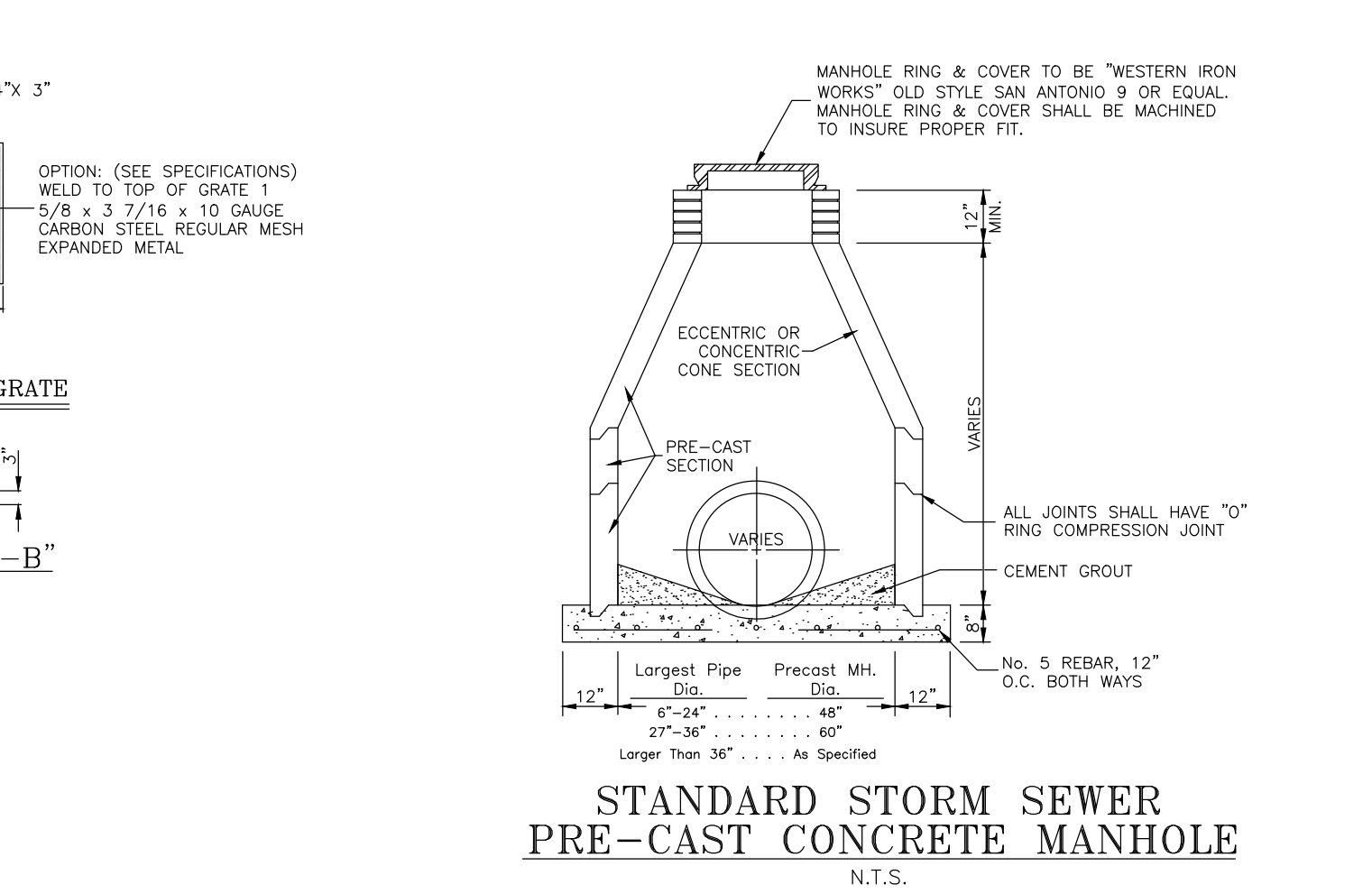
RIP-RAP
N.T.S.



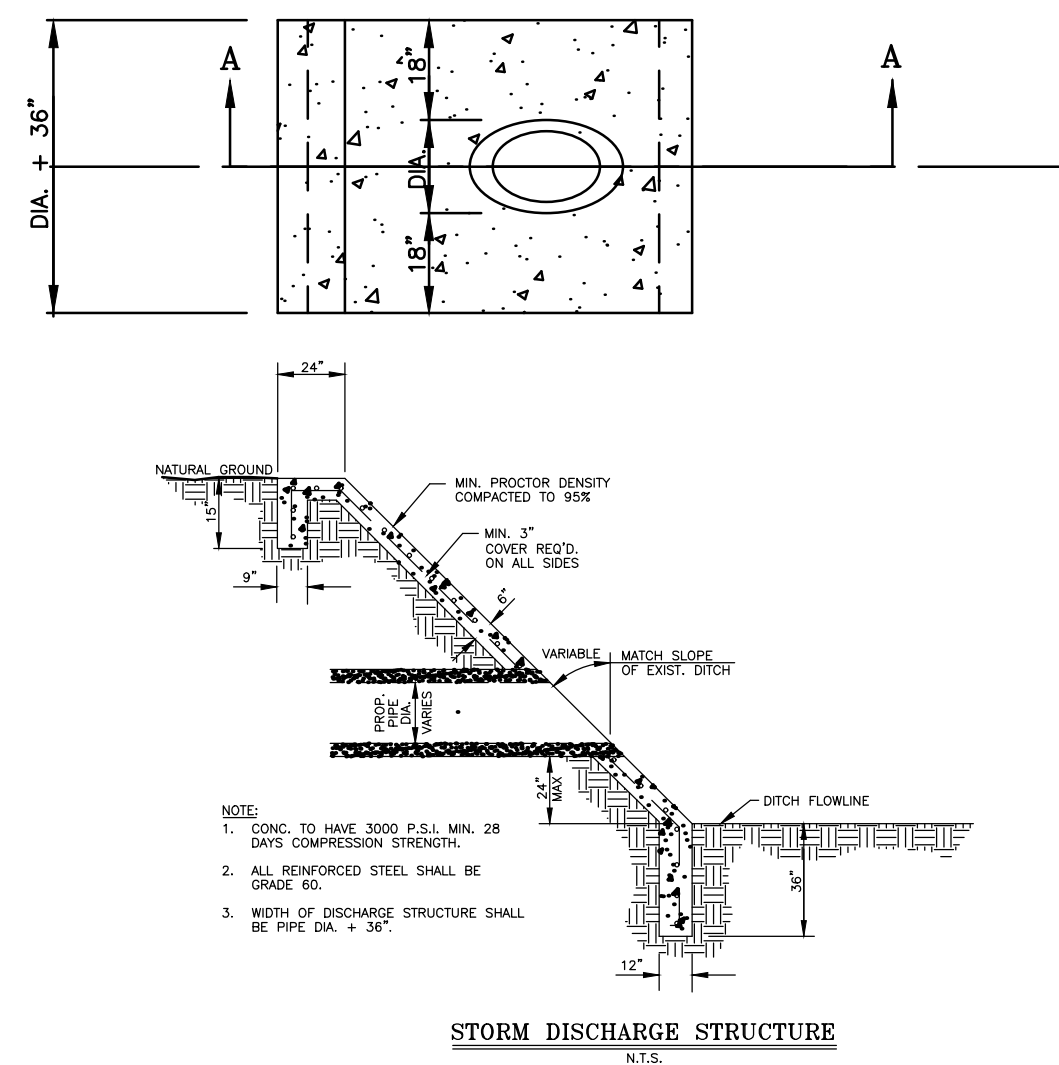
TYPE "C-C" GRATED INLET
(TWO GRATES PER INLET)
N.T.S.



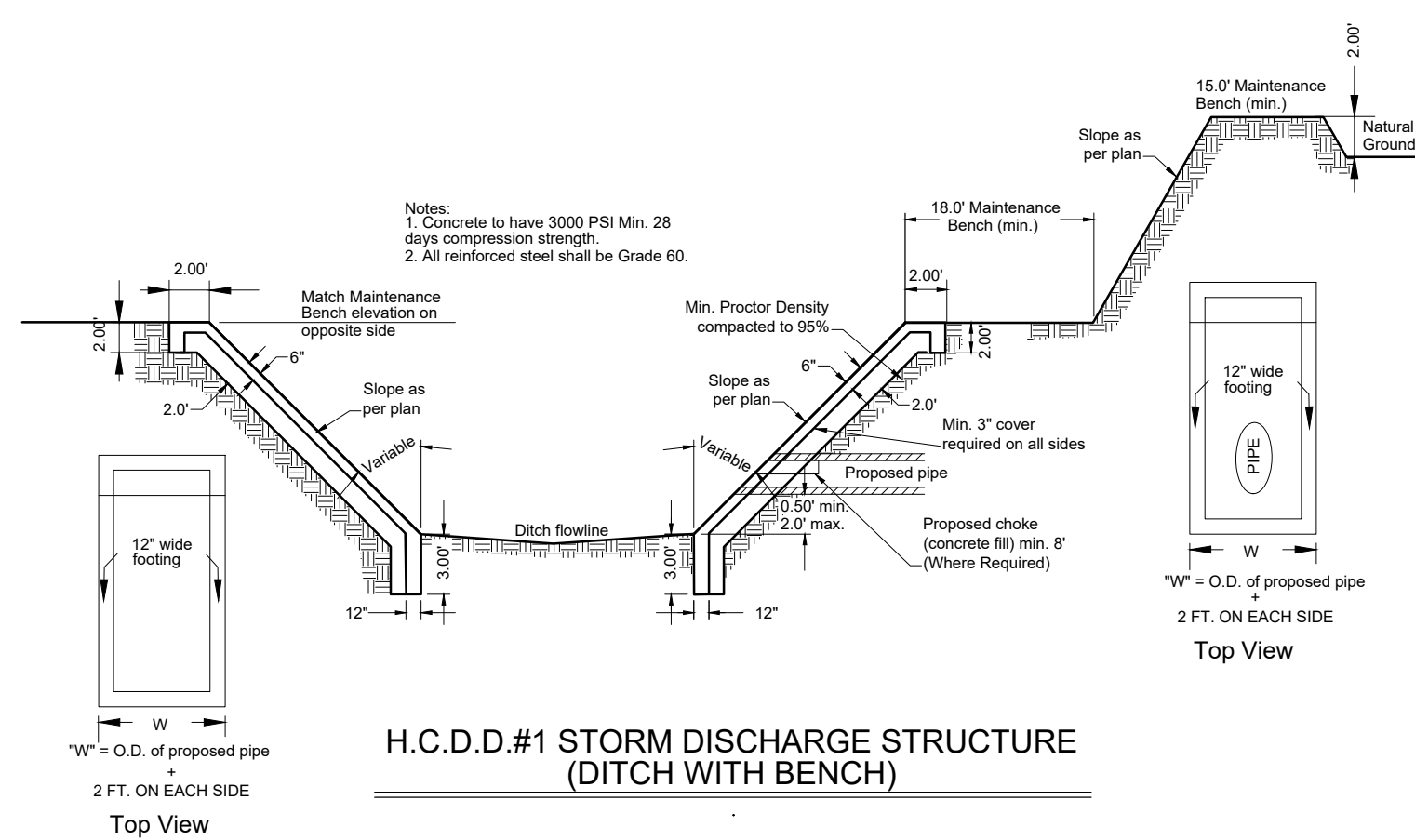
SAFETY END TREATMENT - (Type "C") DETAILS
N.T.S.



STANDARD STORM SEWER
PRE-CAST CONCRETE MANHOLE
N.T.S.

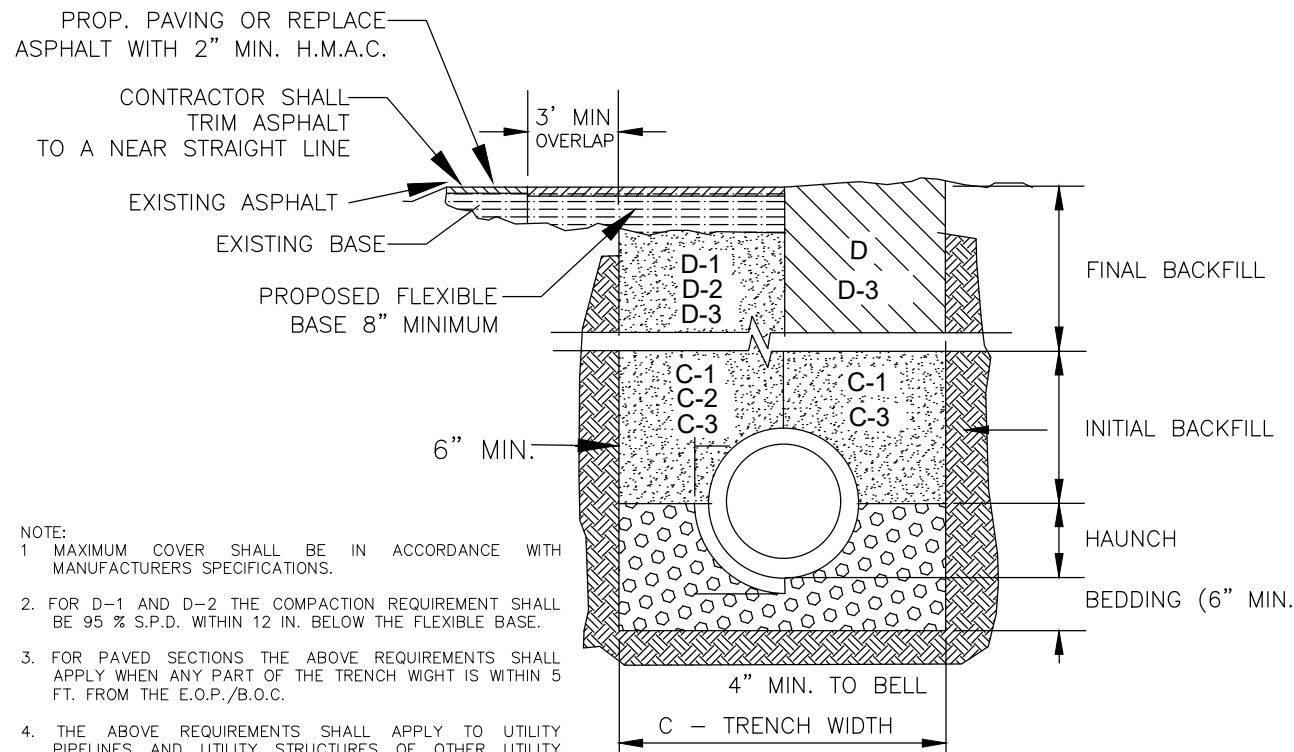


H.C.D.D.#1 STORM DISCHARGE STRUCTURE
N.T.S.



H.C.D.D.#1 STORM DISCHARGE STRUCTURE
(DITCH WITH BENCH)
N.T.S.

- A. BEDDING FOR RCP CLASS III HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SAND AND/OR GRAVEL MIX BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW OF PIPE (MIN. COMPACTED THICKNESS = 6") - PIT RUN GRAVEL 2" MIX SIZE.
- B. HAUNCH FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS I OR CLASS II (ASTM D2321) BACKFILL MATERIAL COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-1 TRENCH WIDTH - SHALL BE BELL O.D. X 1.5 + 12". MINIMUM TRENCH WIDTH SHALL EQUAL STRUCTURE WIDTH + 4FT. THROUGHOUT THE HIGH TRENCH.
- C-2 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON CITY STREET, PARKING AREAS, DRIVEWAYS, COUNTY ROADS & UNPAVED AREAS - SHALL BE SOL. TYPE A1, A2, A3 WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-3 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON STATE MAINTAINED ROADWAY - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D., AS PER ASTM D4253 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D. FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE UNDER UNPAVED SECTIONS - SHALL BE CLASS I, II, III, OR IV, COMPACTED TO 92% S.P.D., (12" LOOSE LIFTS, MECHANICAL COMPACTION).
- D-1 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON CITY STREETS, PARKING AREAS, DRIVEWAYS AND COUNTY ROADS - SHALL BE SOL. TYPE A1, A2, A3 WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-2 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON STATE MAINTAINED ROADWAY - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D., AS PER ASTM D4253 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-3 FINAL BACKFILL OR STRUCTURES (INLETS, MANHOLES, ETC.) - STRUCTURES UNDER THE ROADWAY AND UP TO 5 FT. BEYOND THE EDGE OF PAVEMENT/BACK OF CURB SHALL HAVE CLASS I OR CLASS II (ASTM D2321 OR SOL. TYPE A1, A2, OR A3 (AASHTO M145) WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION. OR APPROVED SUBSTITUTE SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% S.P.D. (USE RELATIVE DENSITY TEST PER ASTM D4253 & ASTM D698). THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 8".



STORM TRENCH BEDDING AND BACKFILL DETAILS
N.T.S.

JOB No. 22184.01

REVISION
DATE
BY
MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE - EDINBURG, TX. 78541
PH: (936) 381-0881 - FAX: (936) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

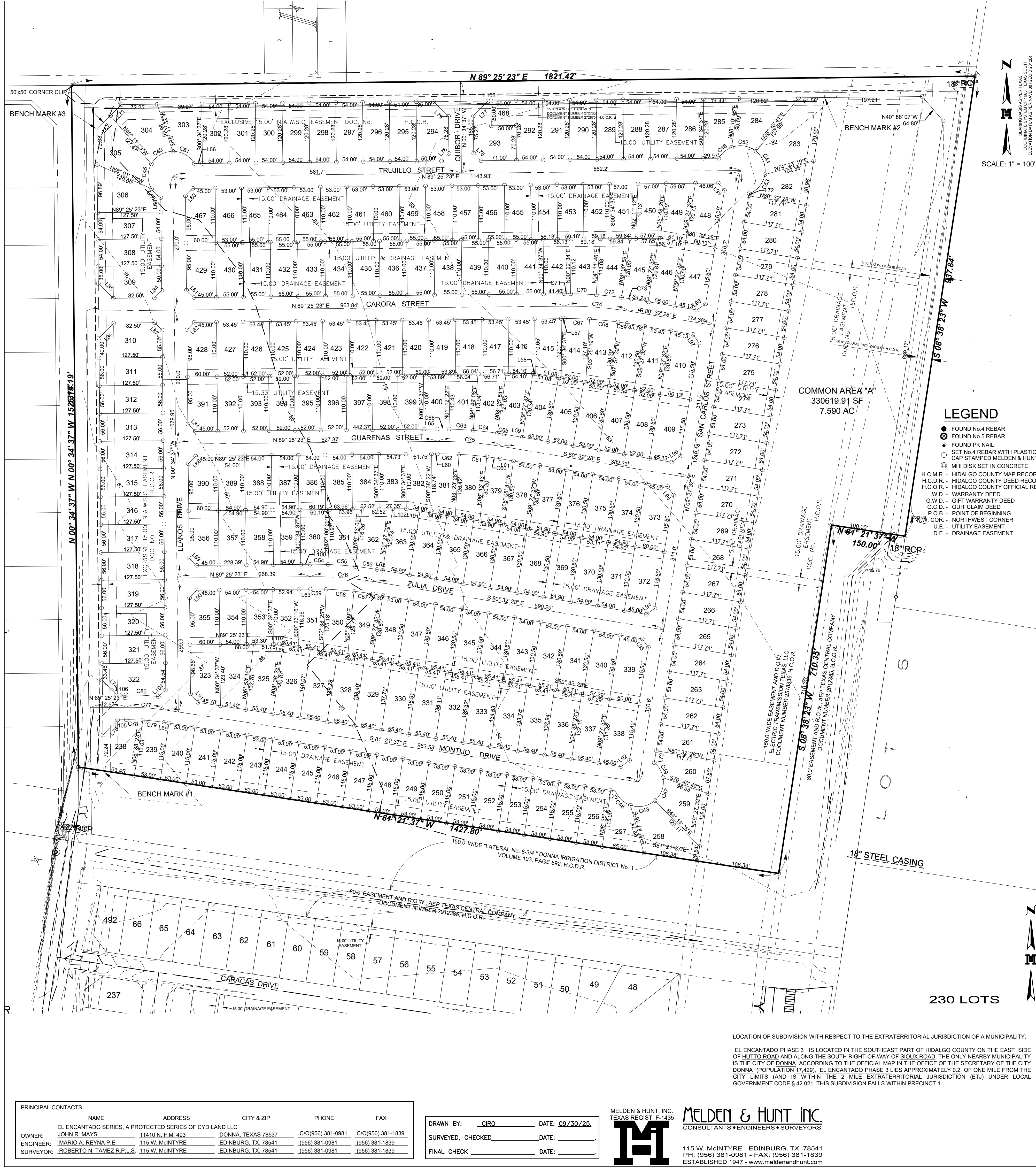
ENG. TECH. CRO
PROJECT ENG. MARIO REYNA
T-BOOK
1. RELEASE DATE: 8-23-23
2. RELEASE DATE:
3. RELEASE DATE:
SCALE: 50'

MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435

STATE OF TEXAS
MARIO A. REYNA
117368
LICENSED PROFESSIONAL ENGINEER
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARIO A. REYNA, P.E. 54151
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE LAW

EL ENCANTADO PHASE 3
DONNA, TEXAS

PROPOSED STORM DRAIN
DETAILS



PLAT OF
EL ENCANTADO PHASE 3
BEING A SUBDIVISION OF 56.134 ACRES
BEING PART OR PORTION OF BLOCKS 179 & 180,
HILL HALBERTS SUBDIVISION
VOLUME 1, PAGE 35 H.C.M.R.

RIGHT OF WAY EASEMENT
KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS AND ASSIGNS, A PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE GRANTED, THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN. THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS. THE GRANTEE COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS, EXCEPT THE FOLLOWING:

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF THE TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANTEE HAS EXECUTED THIS INSTRUMENT THE _____ DAY OF _____, 20____.

EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND, LLC,
A TEXAS SERIES LIMITED LIABILITY COMPANY
JOHN R. MAYS, MANAGER
11410 N. F.M. 493
DONNA, TEXAS 78572

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES _____

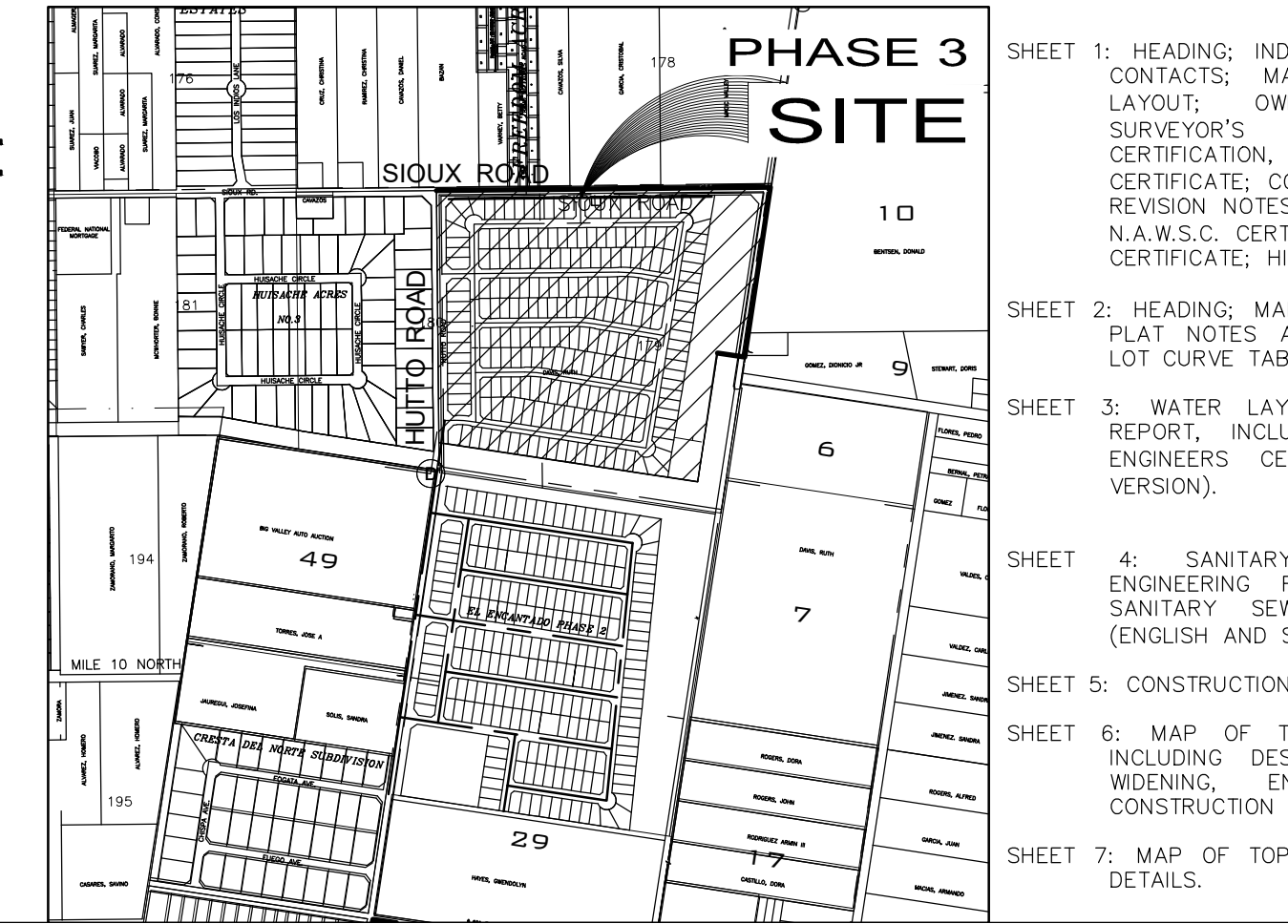
HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN P.E., C.F.M.
GENERAL MANAGER

SCALE: 1" = 1000'



STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND, LLC, AS OWNER OF THE 56.134 ACRES TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED EL ENCANTADO PHASE 3 HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT:

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
- (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND
- (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

EL ENCANTADO SERIES, A PROTECTED SERIES OF
CYD LAND, LLC, A TEXAS SERIES LIMITED LIABILITY COMPANY

JOHN R. MAYS, MANAGER
11410 N. F.M. 493
DONNA, TEXAS 78537

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein given under my hand and seal of office.

THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MARIO A. REYNA, P.E. # 22183.00
DATE PREPARED: 04/26/19 BY: CP

DATE: _____



STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PREPARED PLAT AND DESCRIPTION OF EL ENCANTADO PHASE 3, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 09-26-22, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238
DATE SURVEYED: 03-4-2021
T-1160, PAGE 61-62
SURVEY JOB NO. 22743.08



THIS PLAT IS HEREBY APPROVED BY THE DONNA IRRIGATION DISTRICT ON

THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON DONNA IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

PRESIDENT SECRETARY

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

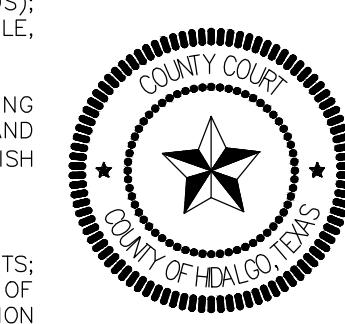
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF EL ENCANTADO PHASE 3 WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____ DAY OF _____, 20____.

HIDALGO COUNTY JUDGE DATE: _____

ATTEST: HIDALGO COUNTY CLERK DATE: _____

SCALE: 1" = 1000'

INDEX TO SHEET OF EL ENCANTADO PHASE 3	
SHEET 1: HEADING; INDEX; LOCATION MAP & ETJ; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; OWNER'S DEDICATION, CERTIFICATION; SURVEYOR'S CERTIFICATION; ENGINEERING CERTIFICATION; ATTESTATION; CITY: APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; IRRIGATION DISTRICT, H.C.D.D. NO. 1; N.A.W.S.C. CERTIFICATION; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY JUDGE CERTIFICATE;.	
SHEET 2: HEADING; MAP: DESCRIPTION (METES AND BOUNDS); PLAT NOTES AND RESTRICTIONS; LOT AREA TABLE, LOT CURVE TABLE, LOT LINE TABLE	
SHEET 3: WATER LAYOUT AND DISTRIBUTION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION).	
SHEET 4: SANITARY SEWER LAYOUT IMPROVEMENTS; ENGINEERING REPORT, INCLUDING DESCRIPTION OF SANITARY SEWER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION);	
SHEET 5: CONSTRUCTION DETAILS OF WATER AND SANITARY.	
SHEET 6: MAP OF TOPOGRAPHY AND DRAINAGE, REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DITCH WIDENING, ENGINEERING CERTIFICATION; STORM CONSTRUCTION DETAILS.	
SHEET 7: MAP OF TOPOGRAPHY AND PAVING; CONSTRUCTION DETAILS.	



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

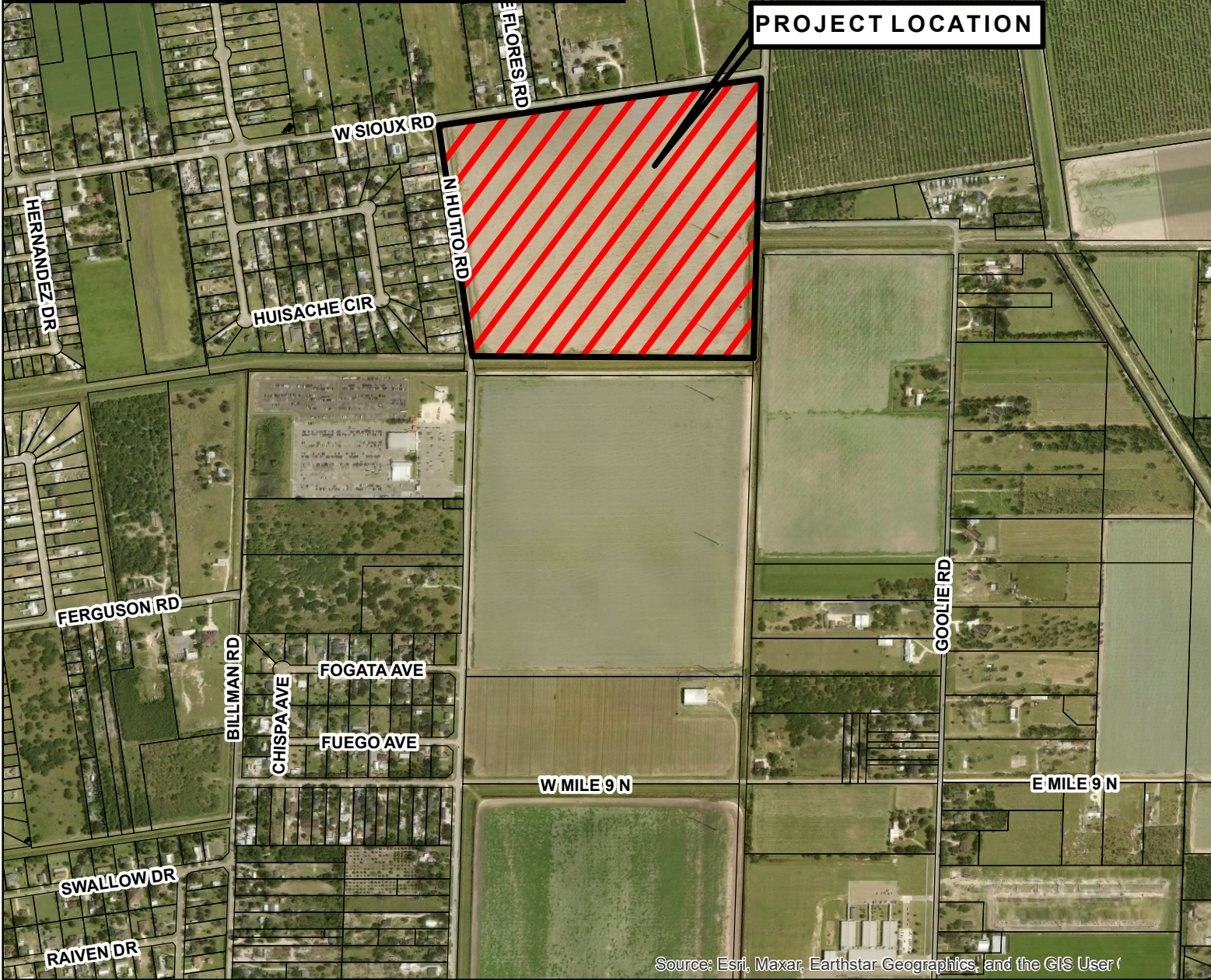
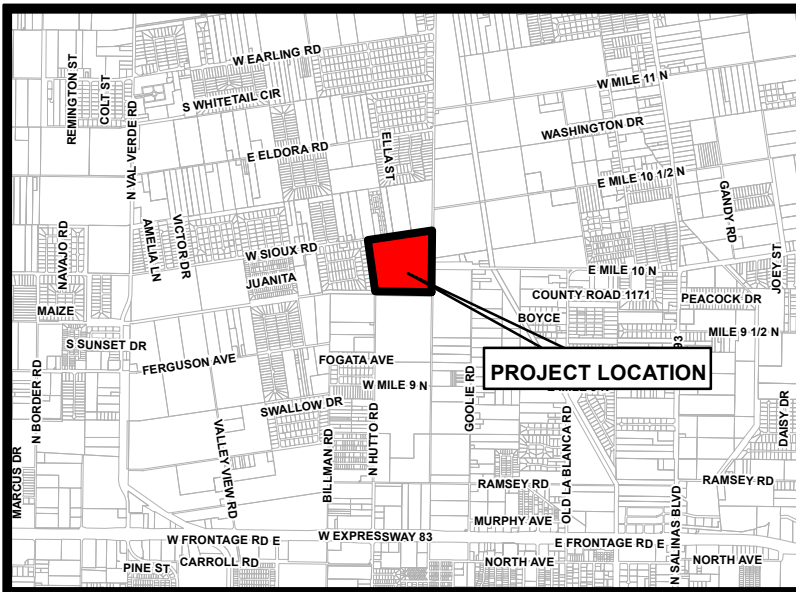
INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

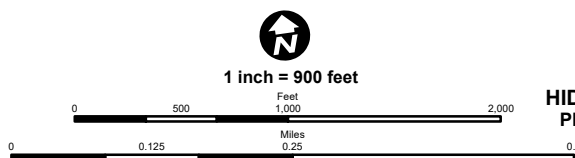
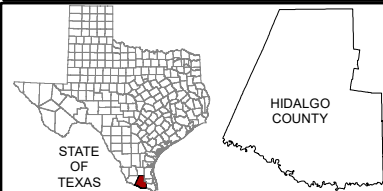
PRINCIPAL CONTACTS				
NAME	ADDRESS	CITY & ZIP	PHONE	FAX
EL ENCANTADO SERIES, A PROTECTED SERIES OF CYD LAND LLC				
OWNER: JOHN R. MAYS	11410 N. F.M. 493	DONNA, TEXAS 78537	(505) 381-0981	(505) 381-1839
ENGINEER: MARIO A. REYNA P.E.	115 W. McIntyre	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: ROBERTO N. TAMEZ R.P.L.S.	115 W. McIntyre	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY: CIRO DATE: 09/30/25
SURVEYED, CHECKED DATE:
FINAL CHECK DATE:

MELDEN & HUNT, INC.
TEXAS REGIST. F-1435
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com



Source: Esri, Maxar, Earthstar Geographics, and the GIS User



**EL ENCANTADO
PHASE III
CITY OF DONNA
HIDALGO COUNTY, TEXAS
PROJECT LOCATION MAP**

M MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE
EDINBURG, TX 78541
PH: (956) 381-0981
FAX: (956) 381-1839
ESTABLISHED 1947
www.meldenandhunt.com
DATE: 12-5-2022
JOB NO: 22194.00
DRAWN BY: M. HELLER
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EL ENCANTADO PHASE 3

STORM LINE AA

HEADLOSS FOR CONCRETE PIPE CULVERTS FLOWING FULL

Based on TXDOT Hydraulic Manual Nomograph K (for $n=0.013$ only)

Ce	=	0.500	Entrance loss coefficient
D	=	2.000	Diameter of Pipe in feet
n	=	0.012	Manning's Roughness Coefficient
L	=	254.0	Length of Culvert in feet
Q	=	6.079	Design Discharge rate in cfs

Headloss=	0.24 ft.
-----------	----------

EL ENCANTADO PHASE 3

STORM LINE BB

HEADLOSS FOR CONCRETE PIPE CULVERTS FLOWING FULL

Based on TXDOT Hydraulic Manual Nomograph K (for $n=0.013$ only)

Ce	=	0.500	Entrance loss coefficient
D	=	3.000	Diameter of Pipe in feet
n	=	0.012	Manning's Roughness Coefficient
L	=	946.0	Length of Culvert in feet
Q	=	7.760	Design Discharge rate in cfs

Headloss=	0.14 ft.
-----------	----------

EL ENCANTADO PHASE 3

STORM LINE CC

HEADLOSS FOR CONCRETE PIPE CULVERTS FLOWING FULL

Based on TXDOT Hydraulic Manual Nomograph K (for $n=0.013$ only)

Ce	=	0.500	Entrance loss coefficient
D	=	3.000	Diameter of Pipe in feet
n	=	0.012	Manning's Roughness Coefficient
L	=	946.0	Length of Culvert in feet
Q	=	7.760	Design Discharge rate in cfs

Headloss=	0.14 ft.
-----------	----------

EL ENCANTADO PHASE 3

STORM LINE DD

HEADLOSS FOR CONCRETE PIPE CULVERTS FLOWING FULL

Based on TXDOT Hydraulic Manual Nomograph K (for $n=0.013$ only)

Ce	=	0.500	Entrance loss coefficient
D	=	3.000	Diameter of Pipe in feet
n	=	0.012	Manning's Roughness Coefficient
L	=	45.0	Length of Culvert in feet
Q	=	25.560	Design Discharge rate in cfs

Headloss=	0.36 ft.
-----------	----------



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

2/27/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Alonso Camara Insurance Agency 1524 S IH 35 Suite 233 Austin TX 78704	CONTACT NAME: Alonso Camara PHONE (A/C, No, Ext): (512)477-5663 FAX (A/C, No): (512)477-3905 E-MAIL ADDRESS:														
INSURED RGV Land Development LLC 1200 W.Sam Houston Blvd.street PHARR TX 78577	<table><tr><th>INSURER(S) AFFORDING COVERAGE</th><th>NAIC #</th></tr><tr><td>INSURER A: Beazley Insurance Company, Inc.</td><td>37540</td></tr><tr><td>INSURER B: Infinity Commercial Vehicle</td><td>13820</td></tr><tr><td>INSURER C: Great American Insurance Group</td><td>16691</td></tr><tr><td>INSURER D:</td><td></td></tr><tr><td>INSURER E:</td><td></td></tr><tr><td>INSURER F:</td><td></td></tr></table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Beazley Insurance Company, Inc.	37540	INSURER B: Infinity Commercial Vehicle	13820	INSURER C: Great American Insurance Group	16691	INSURER D:		INSURER E:		INSURER F:	
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COVERAGES**CERTIFICATE NUMBER:** Mastercert 25-26**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	☒ COMMERCIAL GENERAL LIABILITY ☐ CLAIMS-MADE ☒ OCCUR ☒ Additional Insured ☒ Primary & Non-Contributory GEN'L AGGREGATE LIMIT APPLIES PER: ☐ POLICY ☒ PRO-JECT ☐ LOC OTHER:			BGC908581	11/14/2025	11/14/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
B	☒ AUTOMOBILE LIABILITY ☐ ANY AUTO ☐ ALL OWNED AUTOS ☐ SCHEDULED AUTOS ☐ HIRED AUTOS ☐ NON-OWNED AUTOS			50015699802	11/14/2025	11/14/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	☐ UMBRELLA LIAB ☐ OCCUR ☐ EXCESS LIAB ☐ CLAIMS-MADE ☐ DED ☐ RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N ☐	N/A				PER STATUTE ☐ OTH-ER ☐ E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
C	Rental Equipment.			IMS7140624	1/12/2026	1/12/2027	LIMIT: 100,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

Hidalgo County
2818 S Bus Hwy 281
Edinburg, TX 78539

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Alonso Camara/OFFICE

alonso camara

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ACORD 25 (2014/01)

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INS025 (201401)



Jose Tovar <jose.tovar@co.hidalgo.tx.us>

Re: El Encantado Phase 3 Subd. - Pipeline crossing permit

1 message

Daniel Guzman <daniel.guzman@co.hidalgo.tx.us>
To: Jose Tovar <jose.tovar@co.hidalgo.tx.us>
Cc: Jennifer Casanova <>JCasanova@meldenandhunt.com>

Tue, Jul 28, 2026 at 5:22 PM

Good afternoon, Mr. Tovar-

Please be advised Hidalgo County Precinct No. 1 has no issues with the proposed open cut for El Encantado Phase 3. Once work is complete, please make sure the road is paved again properly in a timely manner.

As per Jennifer, the contractor will close the road between one or two days. Please note this on the permit.

Thanks.

Danny Guzman
R.O.W. Agent
Office of Commissioner DAVID L FUENTES
HIDALGO COUNTY PCT.1
1902 Joe Stephens, Ste.101
Weslaco, TX 78599
(956) 968-8733 Ext. 1032

On Thu, Jul 16, 2026 at 8:30 AM Jose Tovar <jose.tovar@co.hidalgo.tx.us> wrote:

Good morning, Jennifer,

Following up on our conversation yesterday, could you please confirm whether the crossing will be an open cut or a bore crossing? Additionally, for the line extension along the east running north, please indicate if any fences, driveways, or trees will be affected.

Please provide the proposed traffic control plan for the section of the county roads being worked on.

If you have any questions, please feel free to reach out.

Thank you!

JOSE R. TOVAR
HIDALGO COUNTY SUBDIVISION COORDINATOR
2818 S. BUS HWY 281
EDINBURG TX, 78539
OFFICE: 956-318-2840
<https://www.hidalgocounty.us/261/Planning>