



Anthony Uresti,
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 9-01-2026

PROPOSED SALAZAR ACRES PH I SUBDIVISION PRECINCT No. 1

ENGINEER: RIO DELTA ENGINEERING DEVELOPER ALEJANDRO SOLIS

☒ PRELIMINARY APPROVAL ☐ FINAL APPROVAL ☐ FINAL APPROVAL WITH FINANCIAL GUARANTEE ☐ WITH VARIANCE

NUMBER OF LOTS: 3 ☒ *SINGLE FAMILY ☐ *MULTI-FAMILY ☐ COMMERCIAL ☐ INSTITUTIONAL

NUMBER OF STREETLIGHTS: N/A

FILLING STATIONS: N/A

LOCATION DESCRIPTION: MILE 2 ROAD APPROXIMATELY 330 FEET NORTH OF NORTH MILE 6 ROAD.

SUBDIVISION LIES WITHIN THE: ☒ RURAL

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 8-1-2026 PROPERTY LIES WITHIN FLOOD ZONE "B" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY NATURAL PERCULATION AND SURFACE RUNOFF WILL DRAIN INTO N MILE 6 ROAD SIDE DITCH.

SEWER SYSTEM: ☒ SANITARY SEWER CITY OF MERCEDES.

WATER SERVICE PROVIDER: CITY OF MERCEDES

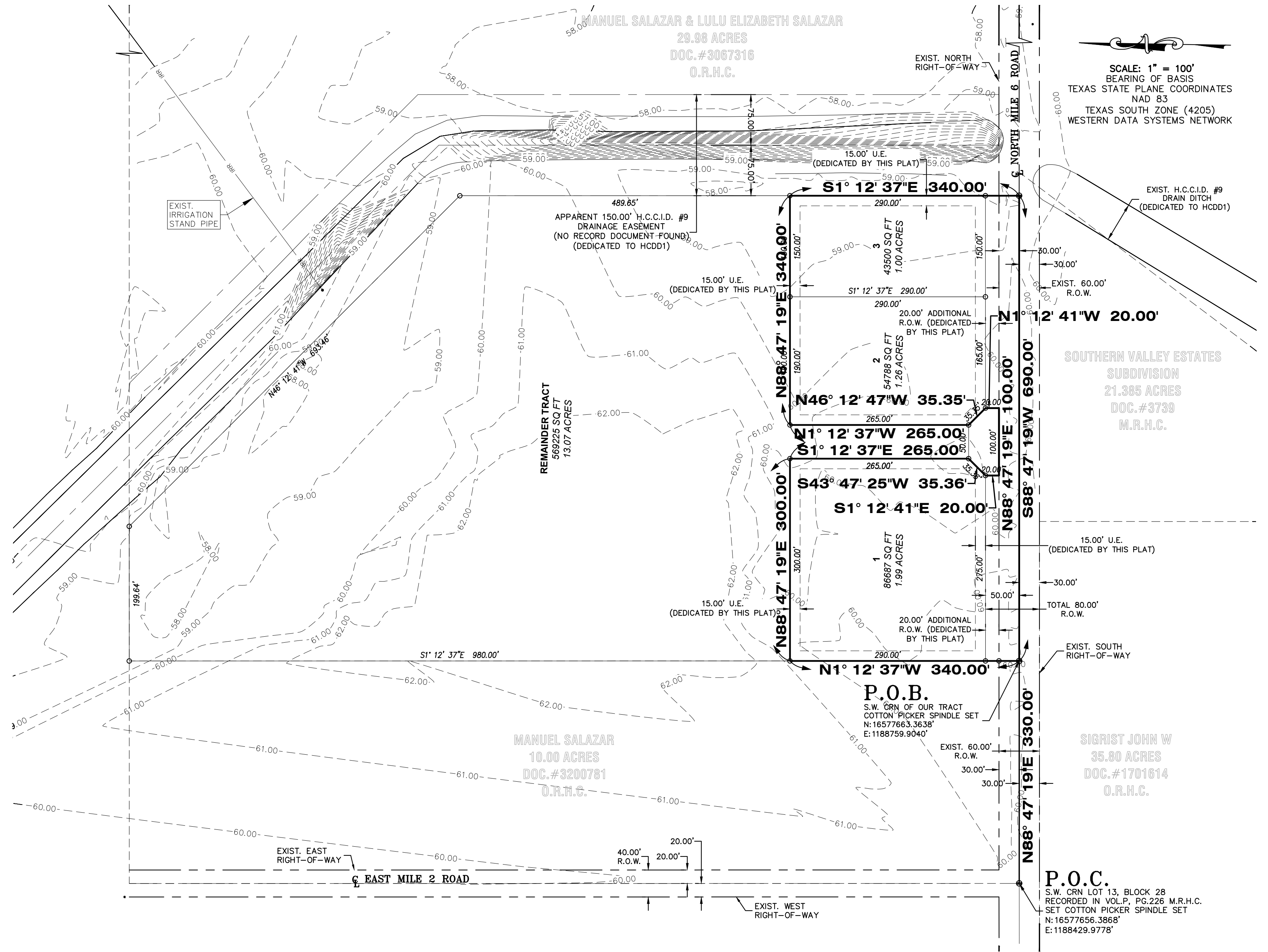
STAFF RECOMMENDS: ☒ **Preliminary Approval** *subject to comments and future recommendations by planning, other departments.*

☐ **Final Approval** *subject to recommendations other departments*

*This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,
* Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.*

SALAZAR ACRES PHASE I SUBDIVISION

BEING 5.03 ACRES TRACT OF LAND MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, SAID 5.03 ACRES BEING OUT OF AND FORMING A PART OR PORTION OF LOT 13, BLOCK 28, CAPISALLO DISTRICT SUBDIVISION RECORDED IN VOLUME "P", PAGE 226, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



ABBREVIATION LEGEND

F.B.S.L.	FRONT BUILDING SETBACK LINE
R.B.S.L.	REAR BUILDING SETBACK LINE
S.B.S.L.	SIDE BUILDING SETBACK LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCING
S.W.C.	SOUTHWEST CORNER
F.M.	FARM TRACT
C.P.&L.	CENTRAL POWER & LIGHT CO.
D.R.H.C.	DEED RECORDS OF HIDALGO COUNTY
U.E.	UTILITY EASEMENT
O.S.S.F.	ON-SITE SEWAGE FACILITY
S	SURVEY
H.C.D.D.	HIDALGO COUNTY DRAINAGE DIST. #1

LEGEND

△	SET C-P-S
▲	FD, C-P-S
○	SET 1/2" IRON ROD
●	FD 1/2" IRON ROD
●	FD 5/8" IRON ROD
●	FD 60-D NAIL
⊙	SET PK NAIL
⊙	STORM INLET
⊙	POWER POLE
⊙	FIRE HYDRANT
⊙	IRR. STAND PIPE
⊙	CHAIN LINK FENCE
⊙	EXIST. WATER METER
⊙	GAS SPOTTING
⊙	EXIST. WATER METER
⊙	TELEPHONE PEDESTAL
⊙	POWER POLE
⊙	TRAFFIC SIGN

METES AND BOUNDS DESCRIPTION

BEING A 5.03 ACRES TRACT LAND OUT OF LOT 13, BLOCK 28, OF CAPISALLO DISTRICT SUBDIVISION, RECORDED IN VOLUME "P", PAGE 226, MAP RECORDS HIDALGO COUNTY, TEXAS, SAID 5.03 ACRES TRACT BEING OUT OF AND FORMING A PART OR PORTION OF A CALLED 29.98 ACRES TRACT CONVEYED TO MANUEL SALAZAR AND SPOUSE, ELIZABETH LULU SALAZAR, RECORDED IN DOCUMENT #3067316, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 5.03 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY THE METES AND BOUNDS AS FOLLOWS:

COMMENCING, AT A COTTON PICKER SPINDLE SET AT THE SOUTHWEST CORNER OF THE SAID LOT 13, BLOCK 28, SAME BEING A POINT ON THE CENTERLINE INTERSECTION BETWEEN MILE 6 N ROAD & MILE 2 E ROAD;

THENCE, N88° 47' 19" E ALONG THE SOUTH LINE OF THE SAID LOT 13, BLOCK 28, SAME BEING ALONG THE CENTERLINE OF MILE 6 N ROAD, TO THE SOUTHEAST CORNER OF A CALLED 10.00 ACRES TRACT CONVEYED TO MANUEL SALAZAR, RECORDED IN DOCUMENT #3200781, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE 330.00 FEET TO A COTTON PICKER SPINDLE SET, FOR THE SOUTHWEST CORNER OF THE HERIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE, N01° 12' 37" W ACROSS THE SAID LOT 13, BLOCK 28, SAME BEING ALONG THE DIVIDING LINE BETWEEN THE SAID 10.00 ACRES AND 29.98 ACRES TRACTS, PASSING AT A DISTANCE OF 30.00 FEET, A 1/2-INCH CAPPED IRON ROD SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF MILE 6 N ROAD, AND CONTINUING FOR A TOTAL DISTANCE OF 340.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE NORTHWEST CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, N 88° 47' 19" E ACROSS THE SAID LOT 13, BLOCK 28, A DISTANCE OF 300.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, S 01° 12' 37" E ACROSS THE SAID LOT 13, BLOCK 28, A DISTANCE OF 265.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, S 43° 47' 25" W ACROSS THE SAID LOT 13, BLOCK 28, A DISTANCE OF 35.36 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, S 01° 12' 37" E ACROSS THE SAID LOT 13, BLOCK 28, TO A POINT ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF MILE 6 N ROAD, A DISTANCE OF 20.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, N 88° 47' 19" E ALONG THE EXISTING NORTH RIGHT-OF-WAY LINE OF MILE 6 N ROAD, A DISTANCE OF 100.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, N 01° 12' 37" E ACROSS THE SAID LOT 13, BLOCK 28, A DISTANCE OF 20.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, N 46° 12' 47" W ACROSS THE SAID LOT 13, BLOCK 28, A DISTANCE OF 20.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, N 01° 12' 37" W ACROSS THE SAID LOT 13, BLOCK 28, A DISTANCE OF 265.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, N 88° 47' 19" E ACROSS THE SAID LOT 13, BLOCK 28, A DISTANCE OF 340.00 FEET, TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE NORTHEAST CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, S 01° 12' 37" E ACROSS THE SAID LOT 13, BLOCK 28, TO A POINT ON THE SOUTH LINE OF THE SAID LOT 13, BLOCK 28, SAME BEING A POINT ON THE CENTERLINE OF MILE 6 N ROAD, PASSING AT A DISTANCE OF 310.00 FEET A 1/2-INCH CAPPED IRON ROD SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF THE MILE 6 N ROAD, AND CONTINUING FOR A TOTAL DISTANCE OF 340.00 FEET TO A COTTON PICKER SPINDLE SET, FOR THE SOUTHEAST CORNER OF THE HERIN DESCRIBED TRACT;

THENCE, S 88° 47' 19" W ALONG THE SOUTH LINE OF THE SAID LOT 13, BLOCK 28, SAME BEING ALONG THE CENTERLINE OF MILE 6 N ROAD, A DISTANCE OF 860.00 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT OF LAND CONTAINING 5.03 ACRES MORE OR LESS, BOTH WHICH THE SOUTH 30.00 FEET (0.792 ACRES) LIES WITHIN THE EXISTING RIGHT-OF-WAY OF MILE 6 N ROAD.

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SALAZAR ACRES PHASE I SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON THIS ____ DAY OF 2026.

HIDALGO COUNTY PLANNING DEPARTMENT OSSF DIVISION DATE

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT NO. 9 THIS PLAT APPROVED BY THE HIDALGO COUNTY AND CAMERON COUNTIES IRRIGATION DISTRICT # 9,

DATED THIS ____ DAY OF 2026

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9 RIGHT-OF-WAYS AND /OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF H.C.C.I.D. #9.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER SYSTEM TO ANY LOT WITH IN THIS SUBDIVISION. AS WELL, H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITH IN THIS SUBDIVISION. IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- H.C.C.I.D. #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.
- HCID #9 EXCLUSIVE EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, FENCES, SHRUBS, TRESS, AND OTHER PLANTINGS AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

GENERAL MANAGER HIDALGO & CAMERON COUNTIES IRRIGATION DISTRICT No.9

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE GENERAL MANAGER

STATE OF TEXAS – COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, MANUEL SALAZAR & ELIZABETH LULU SALAZAR, AS OWNER OF THE 5.03 TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED SALAZAR ACRES PHASE I SUBDIVISION HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE OF STREETS, PARKS, AND EASEMENTS SHOWN HEREIN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 222.032 AND THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
- GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

MANUEL SALAZAR DATE 2210 JEWEL CIRCLE, EDINBURG, TX. 78539

ELIZABETH LULU SALAZAR DATE 2210 JEWEL CIRCLE, EDINBURG, TX. 78539

STATE OF TEXAS – COUNTY OF HIDALGO PUBLIC NOTARY CERTIFICATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED MANUEL SALAZAR, PROVED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF 2026

NOTARY PUBLIC MY COMMISSION EXPIRES

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SALAZAR ACRES PHASE I SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON THIS ____ DAY OF 20__

HIDALGO COUNTY JUDGE DATE

ATTEST: HIDALGO COUNTY CLERK DATE

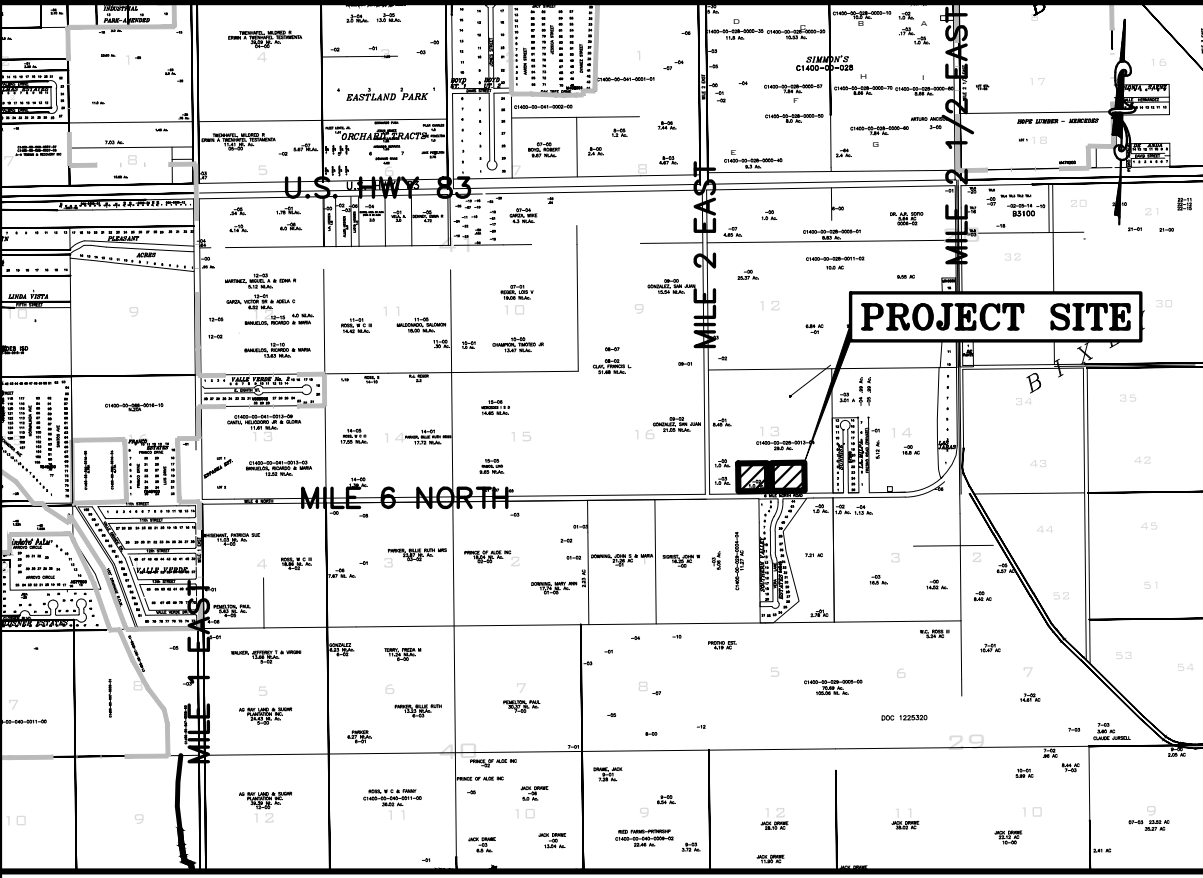
STATE OF TEXAS – COUNTY OF HIDALGO PUBLIC NOTARY CERTIFICATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED ELIZABETH LULU SALAZAR, PROVED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF 2026

NOTARY PUBLIC MY COMMISSION EXPIRES

NAME	ADDRESS	PHONE & FAX
OWNER(S): MANUEL SALAZAR & ELIZABETH LULU SALAZAR	1956 AURORA ST. MERCEDES, TX. 78570	(956) 334-3966
SURVEYOR: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083



LOCATION MAP SCALE: 1" = 2000'

LOCATION OF SALAZAR ACRES PHASE I SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF MUNICIPALITY:

SALAZAR ACRES PHASE I SUBDIVISION IS LOCATED 330.00' FEET EAST FROM THE INTERSECTION OF MILE 2 EAST AND MILE 6 NORTH ROAD, ALONG THE NORTH RIGHT-OF-WAY OF MILE 6 NORTH ROAD IN HIDALGO COUNTY PRECINCT 1. THE ESTIMATED POPULATION OF THE CITY OF MERCEDES IS 17,535 (2024 CENSUS) AS PER THE 2024 UNITED STATES CENSUS BUREAU. THE SUBDIVISION HAS BEEN RELEASED FROM THE CITY OF MERCEDES (ETJ). THE SUBDIVISION IS IN HIDALGO COUNTY PRECINCT 1.

GENERAL NOTES:

- FEMA FLOOD ZONE STATEMENT: FLOOD ZONE DESIGNATION: "ZONE "B"
- THE SUBDIVISION FEMA ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING)
- SETBACKS: FRONT: 50.00 FEET OR EASEMENT WHICHEVER IS GREATER REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOTS. NO COMMERCIAL USE SHALL BE ALLOWED ON ANY LOTS. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOTS.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:
--S.M. NO. 1-- ELEV. 60.78 N.G.V.D. 88, DESCRIPTION: 1/2-INCH IRON ROD FOUND ALONG THE EXISTING NORTH R.O.W. OF MILE 6. GPS POINT, GRID COORDINATES N 16577657.0900', E 1188428.2330'.
--S.M. NO. 2-- ELEV. 60.00 N.G.V.D. 88, DESCRIPTION: 1/2-INCH IRON ROD FOUND IN EDGE OF PAVEMENT ALONG MILE 6 NORTH R.O.W. GPS POINT, GRID COORDINATES N 16577681.1631', E 1188787.7612'.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN FOR LOT 1 3,924 CUBIC-FeET OR 0.000 ACRE-FeET, LOT 2 2,520 CUBIC-FeET OR 0.0279 ACRE-FeET, LOT 3 1,987 CUBIC-FeET OR 0.0452 ACRE-FeET, WE HAVE CALCULATED APPROXIMATELY A TOTAL OF 8,411 CUBIC-FeET OR 0.193 ACRE-FeET, WILL NEED TO BE OBTAINED FOR A 60-YR RAINFALL EVENT.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER CERTIFIES THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4.
- ALL SUBDIVISION BOUNDARY LOT CORNERS HAVE CONCRETE MONUMENTS AND ALL LOT CORNERS HAVE CAPPED IRON ROD MARKERS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON LOTS MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- ANY ALTERATIONS TO THE ROADSIDE DITCH THAT WOULD EITHER REDUCE CURRENT DETENTION REQUIREMENTS OR IMPEDE POSITIVE DRAINAGE INTO THE OUTFALL ARE PROHIBITED. HIDALGO COUNTY PRECINCT #1 IS RESPONSIBLE FOR MAINTENANCE AND ANY ADDITIONAL IMPROVEMENTS TO THE ROADSIDE DITCH.
- ALL FENCES ABUTTING DRAIN DITCH R.O.W. SHALL BE PLACED WITHIN INDIVIDUAL LOT AS TO NOT IMPEDE WITH DITCH MAINTENANCE.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE:
LOT 1: 61.65 LOT 2: 61.00 LOT 3: 61.00
OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- THE PURCHASER OF EACH LOT SHALL BE RESPONSIBLE TO INSTALL DRIVEWAY CULVERT REINFORCED CONCRETE PIPE OF ON LEAST 18 INCHES IN DIAMETER AND 24 FEET IN LENGTH.

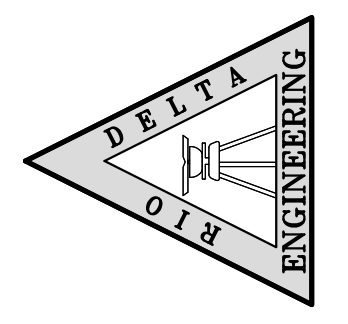


FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUJARDO, JR. HIDALGO COUNTY CLERK

ON: ____ AT ____ AM/PM INSTRUMENT NUMBER ____ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS BY: ____ DEPUTY

INDEX TO SHEETS OF SALAZAR ACRES PHASE I SUBDIVISION	
SHEET 1: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.C.I.D. NO. 9, H.C.D.D. No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.	
SHEET 2: UTILITY LAYOUT, INCLUDING PROPOSED SANITARY SEWER SERVICE LOCATION; ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATION, INCLUDING PROPOSED WATER SERVICE LOCATION; SUBDIVIDER CERTIFICATION.	
SHEET 3: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.	
SHEET 4: STANDARD DETAILS SHEET	

RIO DELTA ENGINEERING
FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



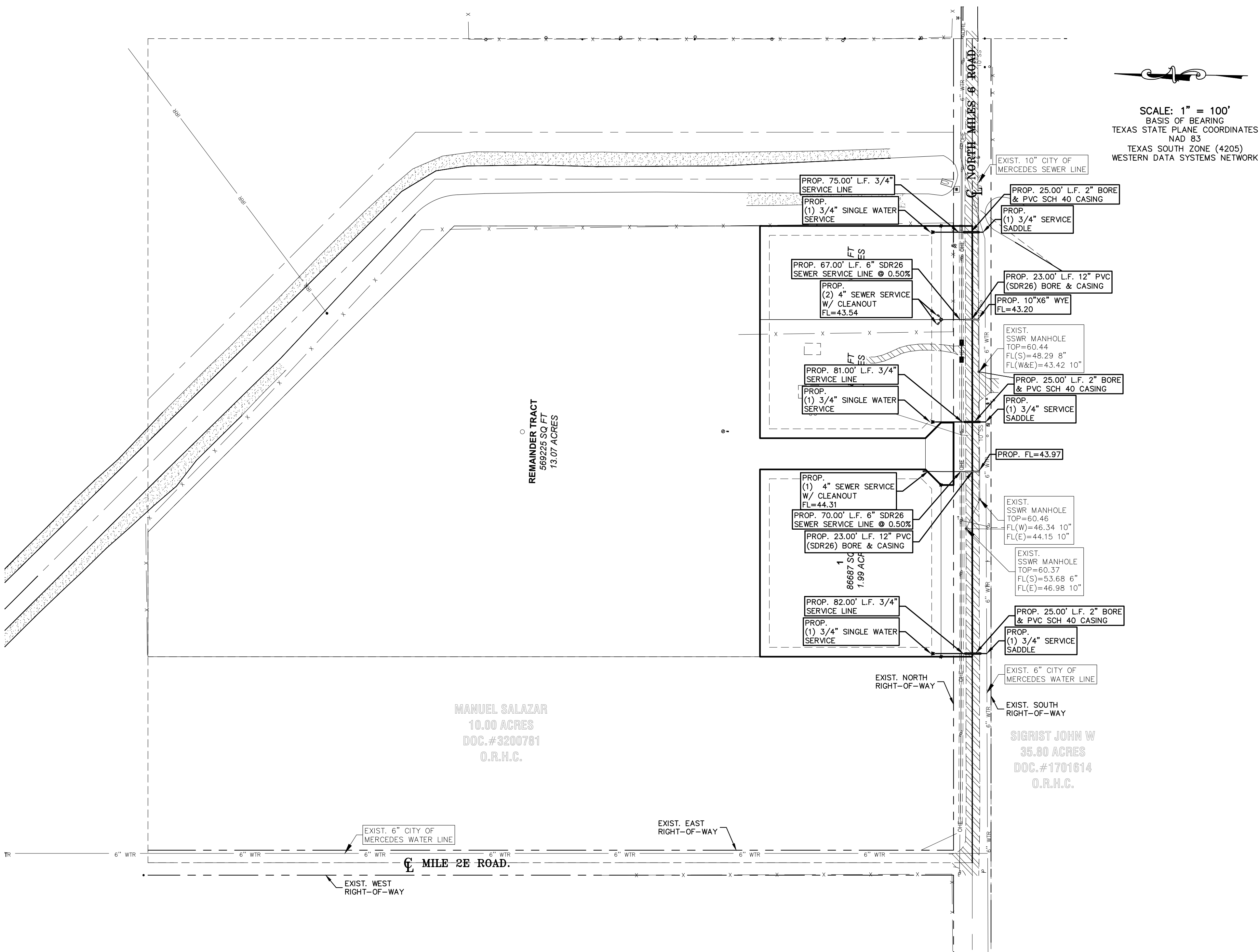
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF IVAN GARCIA, P.E. 115662 ON APRIL 23, 2026. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ISSUED FOR: PRELIMINARY

PLAT SHEET
SALAZAR ACRES PHASE I SUBDIVISION
HIDALGO COUNTY, TEXAS

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: HR/ G.F.
SCALE: 1"=100'
DATE: AUGUST 10, 2026
PROJECT: SUB 23 006
REVISIONS:
PAGE NO. 1-OF-4

C:\Users\SismetCompen\OneDrive\Dropbox\DATA\RD SUBDIVISIONS\2023\SUB 23.006 - MANUEL SALAZAR - MERCEDES TX.DWG SUB 23.006_SHT 4 UTILITY LAYOUT.dwg SSIMAI COMPEAN 8/11/2026 4:38 PM



ENGINEERING REPORT FOR SALAZAR ACRES PHASE 1 SUBDIVISION

BY IVAN GARCIA, P.E., R.P.L.S.
I, IVAN GARCIA, P.E., R.P.L.S., being a duly licensed Professional Engineer in the State of Texas, do hereby certify that I am the author of the above-entitled report, and that the same is a true and correct copy of the original report as the same appears in my files.

THE LOT IS VACANT AND WILL BE USED FOR A RESIDENTIAL DEVELOPMENT.

WATER SUPPLY AND DISTRIBUTION
THIS SUBDIVISION WILL BE PROVIDED WATER SERVICE BY CITY OF MERCEDES. THE SUBDIVISION AND CITY OF MERCEDES HAVE ENTERED INTO A CONTRACT WHEREBY THE CITY OF MERCEDES HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS. CITY OF MERCEDES HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG-TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

CITY OF MERCEDES HAS AN EXISTING 4" DIAMETER WATER LINE RUNNING ALONG THE SOUTH SIDE OF N. MILE 6 ROAD, RIGHT-OF-WAY. THE WATER SYSTEM FOR SALAZAR ACRES PHASE 1 SUBDIVISION CONSISTS OF THREE (3) SINGLE WATER SERVICES, LINES THAT CONNECT INTO THE EXISTING 4" LINE FOR THE LOT SERVICE TERMINATE AT THE WATER METER BOX FOR THE LOTS. THE (3) 3/4" DIAMETER SINGLE WATER SERVICES, AND THE WATER BOXES HAVE ALREADY BEEN INSTALLED. THE COST FOR THE CONSTRUCTION OF THE WATER SYSTEM TO THIS SUBDIVISION IS ESTIMATED TO BE \$1,000.00. THE OWNER OF THIS DEVELOPMENT HAS PAID WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO THE CITY OF MERCEDES. A TOTAL OF \$1,000.00 AS STATED IN THE 30-YEAR WATER SERVICE AGREEMENT WHICH SAYS REPRESENT SAG INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOT IN THE SUBDIVISION TO THE CITY OF MERCEDES.

SEWER FACILITIES DESCRIPTION, COST AND OPERABILITY DATES

SEWERAGE FROM SALAZAR ACRES PHASE 1 WILL BE TREATED BY SANITARY SEWER SYSTEM CONSISTING OF A 4" SEWER SERVICE LINE FOR EACH LOT. THE CITY OF MERCEDES HAS AN EXISTING SEWER LINE ON THE SOUTH OF N. MILE 6 ROAD, RIGHT-OF-WAY. THE (3) 4" DIAMETER SEWER SERVICE LINES THAT CONNECT INTO THE EXISTING 4" SEWER SERVICE LINE HAVE ALREADY BEEN INSTALLED. THE COST FOR THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM TO THIS SUBDIVISION IS ESTIMATED TO BE \$1,000.00. THE OWNER OF THIS DEVELOPMENT HAS PAID SANITARY SEWER FEES, WHICH INCLUDE THE INSPECTION FEES, TO THE CITY OF MERCEDES. A TOTAL OF \$1,000.00 AS STATED IN THE 30-YEAR SEWER SERVICE AGREEMENT WHICH SAYS REPRESENT SAG INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOT IN THE SUBDIVISION TO THE CITY OF MERCEDES.

ENGINEER CERTIFICATION:

I CERTIFY THAT THE WATER AND SANITARY SEWER SYSTEM FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL SUBDIVISION RULES ADOPTED UNDER SECTION 65.03, WATER CODE.

I CERTIFY THAT THE COSTS FOR THE CONSTRUCTED WATER AND SANITARY SEWER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES

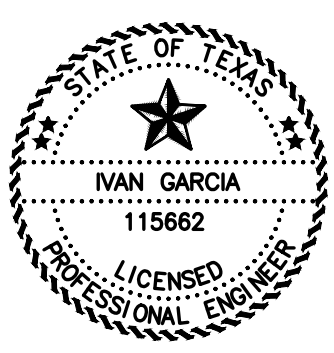
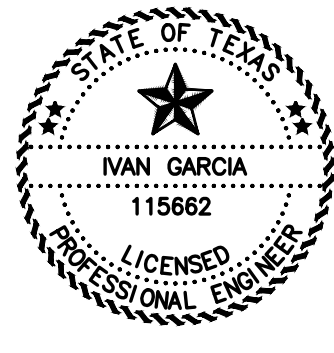
THESE FACILITIES WILL HAVE A TOTAL COST OF \$1,000.00. THE OWNER OF THIS DEVELOPMENT WILL PAY WATER TAP FEES, WHICH INCLUDE THE WATER METER INSTALLATION AND INSPECTION FEES, TO THE CITY OF MERCEDES. A TOTAL OF \$1,000.00 AS STATED IN THE 30-YEAR WATER SERVICE AGREEMENT WHICH SAYS REPRESENT SAG INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF MERCEDES.

SANITARY SEWER FACILITIES

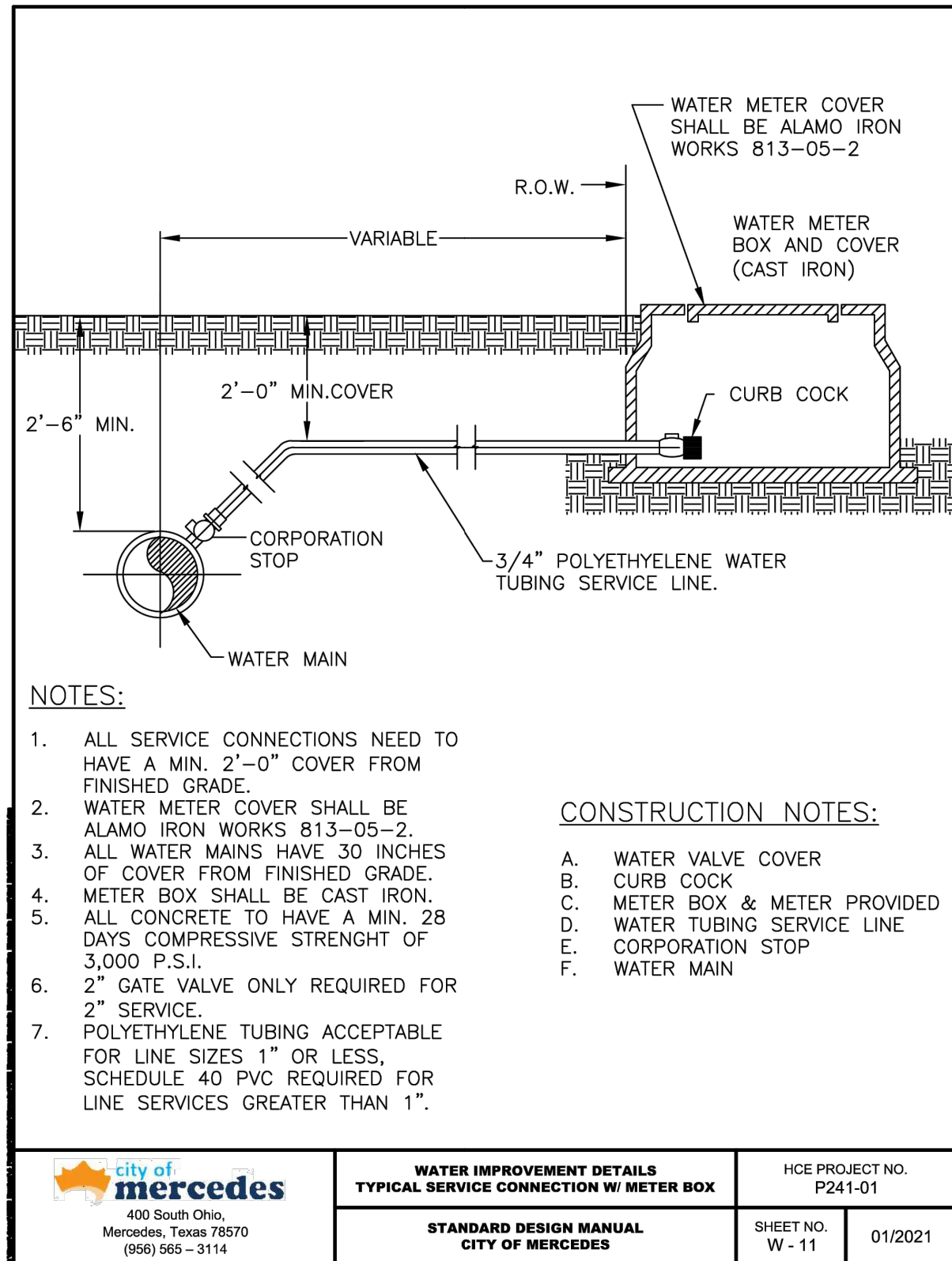
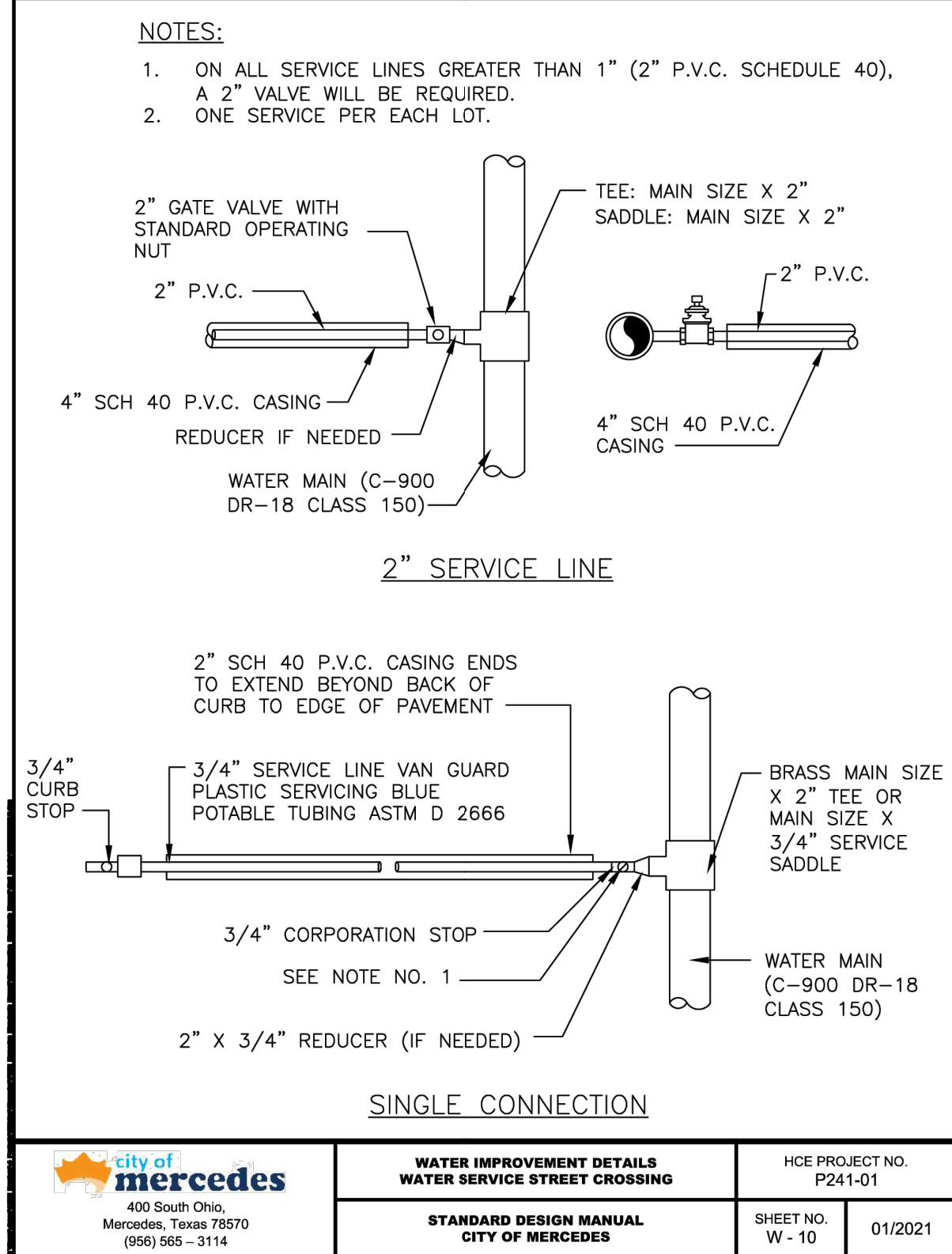
THESE FACILITIES WILL HAVE A TOTAL COST OF \$1,000.00. THE OWNER OF THIS DEVELOPMENT WILL PAY SANITARY SEWER FEES, WHICH INCLUDE THE SANITARY SEWER SERVICE INSTALLATION AND INSPECTION FEES, TO THE CITY OF MERCEDES. A TOTAL OF \$1,000.00 AS STATED IN THE 30-YEAR SANITARY SEWER SERVICE AGREEMENT WHICH SAYS REPRESENT SAG INSTALLATIONS, ACQUISITION FEES, AND ALL OTHER FEES ASSOCIATED WITH CONNECTING EACH ONE OF THE LOTS IN THE SUBDIVISION TO THE CITY OF MERCEDES.

IVAN GARCIA, P.E., R.P.L.S.

DATE



SCALE: 1" = 100'
BASIS OF BEARING
TEXAS STATE PLANE COORDINATES
NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK



	WATER IMPROVEMENT DETAILS TYPICAL SERVICE CONNECTION W/ METER BOX	HCE PROJECT NO. P241-01
	STANDARD DESIGN MANUAL CITY OF MERCEDES	SHEET NO. W-11

MANUEL SALAZAR
1956 AURORA ST.
MERCEDES TX, 78570

EDZABETH LULU SALAZAR
2210 JEWEL CIRCLE
EDINBURG, TX, 78539

STATE OF TEXAS
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY
APPEARED _____ KNOWN TO ME BY THE
PERSON (S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE
FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE
EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN
STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20
DAY OF _____ 20__

NOTARY PUBLIC
MY COMSTUART EXPIRES _____

LEGEND

- PROP. GRATE INLET
- PROP. CURB INLET
- PROP. TELEPHONE PEDESTAL
- PROP. GRATE INLET
- PROP. LAMP POLE
- PROP. TRAFFIC POLE
- PROP. GUY WIRE
- PROP. POWER POLE
- PROP. WATER VALVE
- PROP. FLUSH VALVE
- PROP. IRRIGATION VALVE
- PROP. FIREHYDRANT
- PROP. MAIL BOX
- PROP. BRICK MAIL BOX
- PROP. WATER METER
- PROP. STREET SIGN
- PROP. SANITARY SEWER MANHOLE
- PROP. STORM SEWER MANHOLE
- EXIST. FENCE LINE
- EXIST. OVERHEAD ELECTRIC LINE
- EXIST. UNDERGROUND CABLE
- EXIST. UNDERGROUND GAS LINE
- 1/2" IRON ROD SET
- 1/2" IRON ROD FOUND
- FENCE CORNER FOUND
- 1/2-INCH IRON PIPE FOUND
- RIGHT-OF-WAY POST FOUND
- CALCULATED POINT
- COTTON PICKER SPINDLE SET
- ELECTRICAL BOX

GENERAL NOTES:
1.) THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.

2.) ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.

3.) THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES, LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY, AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.

4.) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.

5.) ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

6.) ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

7.) CORP STOP AND ANGLE STOPS SHALL BE BRASS.

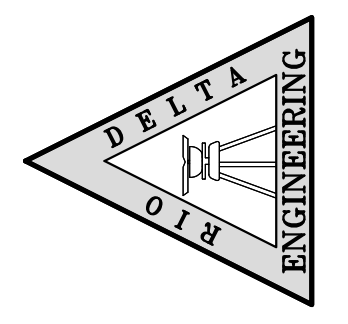
8.) WATER SERVICE TUBING SHALL BE POLYETHYLENE "TOUGH TUBING".

9.) WATER VALVE CONCRETE COLLARS SHALL BE SQUARE IN TRAFFIC AREAS AND ROUND IN GREEN AREAS

10.) WATER METERS TO BE LOCATED OUTSIDE OF PAVED AREAS.

RIO DELTA ENGINEERING

FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



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IVAN GARCIA, P.E. 115662 ON APRIL 23, 2026
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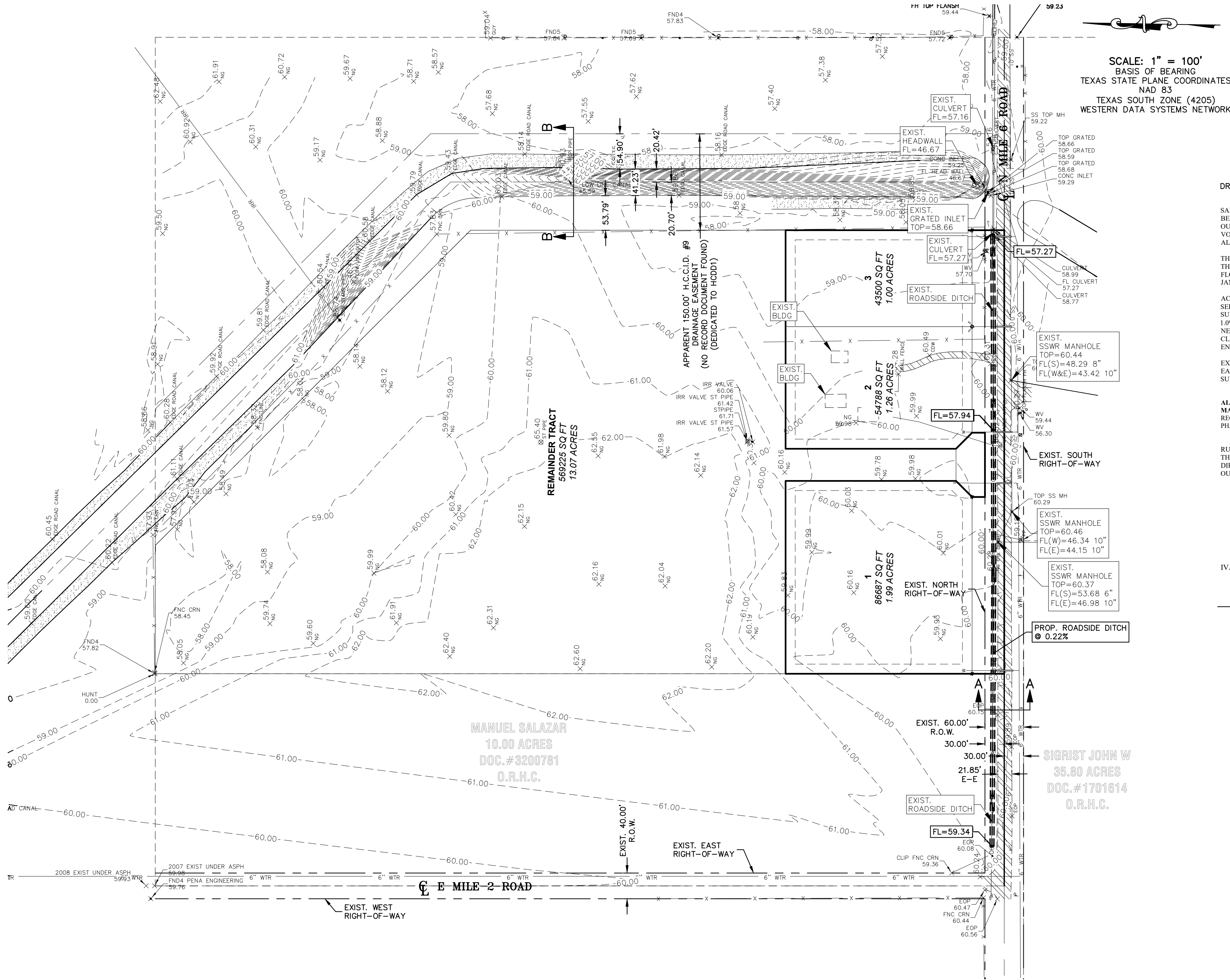
ISSUED FOR:
PRELIMINARY

**UTILITY LAYOUT
SALAZAR ACRES PHASE 1 SUBDIVISION**

PROJECT :
ENGINEER:
SURVEYOR:
CHECKED:
DRAWN:
SCALE:
DATE:
PROJECT:
REVISIONS:
PAGE NO.

INDEX TO SHEETS OF SALAZAR ACRES PHASE 1 SUBDIVISION
SHEET 1: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION; ENGINEER'S CERTIFICATION AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.I.D. NO. 9, H.C.D.D. No. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE.
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SHEET 3: STORM SEWER, INCLUDING ALL DRAINAGE IMPROVEMENTS, CROSS-SECTIONS AND DRAINAGE REPORT.
SHEET 4: STANDARD DETAILS SHEET

C:\Users\StimelCompen\OneDrive\Dropbox\DATA\RD SUBDIVISIONS\2023\SUB 23.006_SHT 5 PAVING & DRAINAGE LAYOUT.dwg SISMA COMPEAN 8/11/2026 1:38 PM



DRAINAGE REPORT

SALAZAR ACRES PHASE I SUBDIVISION IS A PROPOSED 3 LOTS SUBDIVISION, LOCATED WITHIN THE HIDALGO COUNTY, SAME BEING 5.03 ACRES TRACT OF LAND MORE OR LESS, SITUATED IN THE COUNTY OF HIDALGO, TEXAS, SAID 5.03 ACRES BEING OUT OF AND FORMING PART OR PORTION OF LOT 13, BLOCK 28, OF CAPISALLO DISTRICT SUBDIVISION RECORDED IN VOLUME "P", PAGE 226, MAP RECORDS OF HIDALGO COUNTY, TEXAS. THIS PROPERTY IS EXCLUDED FROM MERCEDES ETI. ALL LOTS WILL BE USED FOR THE CONSTRUCTION OF SINGLE-FAMILY HOMES.

THE SUBDIVISION IS IN ZONE "B", AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREA AS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 480334 0525 B MAP DATED: JANUARY 2, 1981.

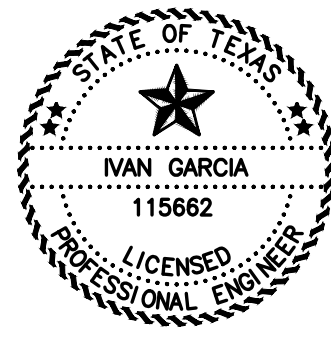
ACCORDING TO THE SOIL SURVEY REPORT PREPARED FOR HIDALGO COUNTY BY THE U.S.D.A. SOIL CONSERVATION SERVICE, THE SITE CONSISTS OF 99.9% HIDALGO SANDY LOAM (2), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED, AND SURFACE RUNOFF IS NEGLIGIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND WATER CAPACITY IS MODERATE. 1.0% OF RAYMONDVILLE CLAY LOAM (52), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED AND SURFACE RUNOFF IS NEGLIGIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND THE WATER CAPACITY IS MODERATE. SOILS (2) ARE CLASSIFIED AS GROUP B, AND SOIL (52) IS CLASSIFIED AS A GROUP C. PLEASE SEE THE ATTACHED TABLES FOR THE ENGINEERING, PHYSICAL AND CHEMICAL PROPERTIES OF THESE SOILS.

EXISTING RUNOFF SHEET FLOWS OVERLAND IN A SOUTHEASTERLY DIRECTION INTO THE 21 DRAIN DITCH LOCATED AT THE EAST SIDE OF THE PROPOSED SUBDIVISION, WITH OUTFALL TO THE 21A, THEN SOUTH ARROYO COLORADO, AND SUBSEQUENTLY WITH FINAL OUTFALL TO THE LAGUNA MADRE.

ALL RUNOFF AND DETENTION FOR THIS SUBDIVISION HAD ALREADY BEEN ACCOUNTED FOR IN THE APPROVED MASTERPLAN DRAINAGE REPORT FOR SALAZAR ACRES PHASE I SUBDIVISION, APPROVED ON AUGUST 2026 (ATTACHED), THE REQUIRED DETENTION VOLUME FOR SALAZAR ACRES PHASE I IS 8.411 CF OR 0.193 AC-FT AS PER THE APPROVED SALAZAR ACRES PHASE I SUBDIVISION MASTER PLAN DRAINAGE REPORT.

RUNOFF WILL BE HELD WITHIN THE GREEN AREAS OF THE LOTS WITH OVERFLOW INTO THE ROADSIDE DITCH, LOCATED AT THE SOUTH SIDE OF THE PROPOSED SUBDIVISION, THEN FOLLOW THE EXISTING DRAINAGE PATTERNS IN A SOUTHERLY DIRECTION WITH OUTFALL TO THE DRAIN DITCH 21A, THEN SOUTH ARROYO COLORADO, AND SUBSEQUENTLY WITH FINAL OUTFALL TO THE LAGUNA MADRE.

IVAN GARCIA, P.E., R.P.L.S.



DATE

LEGEND	
	PROP. GRATE INLET
	PROP. CURB INLET
	PROP. TELEPHONE PEDESTAL
	PROP. GRATE INLET
	PROP. LAMP POLE
	PROP. TRAFFIC POLE
	PROP. GUY WIRE
	PROP. POWER POLE
	PROP. WATER VALVE
	PROP. FLUSH VALVE
	PROP. IRRIGATION VALVE
	PROP. FIREHYDRANT
	PROP. MAIL BOX
	PROP. BRICK MAIL BOX
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	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	EXIST. UNDERGROUND GAS LINE
	1/2" IRON ROD SET
	1/2" IRON ROD FOUND
	FENCE CORNER FOUND
	1/2-INCH IRON PIPE FOUND
	RIGHT-OF-WAY POST FOUND
	CALCULATED POINT
	COTTON PICKER SPINDLE SET
	ELECTRICAL BOX

GENERAL NOTES:

1.) THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.

2.) CONTRACTOR WILL BEGIN DOWN STREAM END OF PROJECT AND CONTINUE UPSTREAM WITH PIPE GROVES FACING UPSTREAM.

3.) ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.

4.) THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES, LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY, AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.

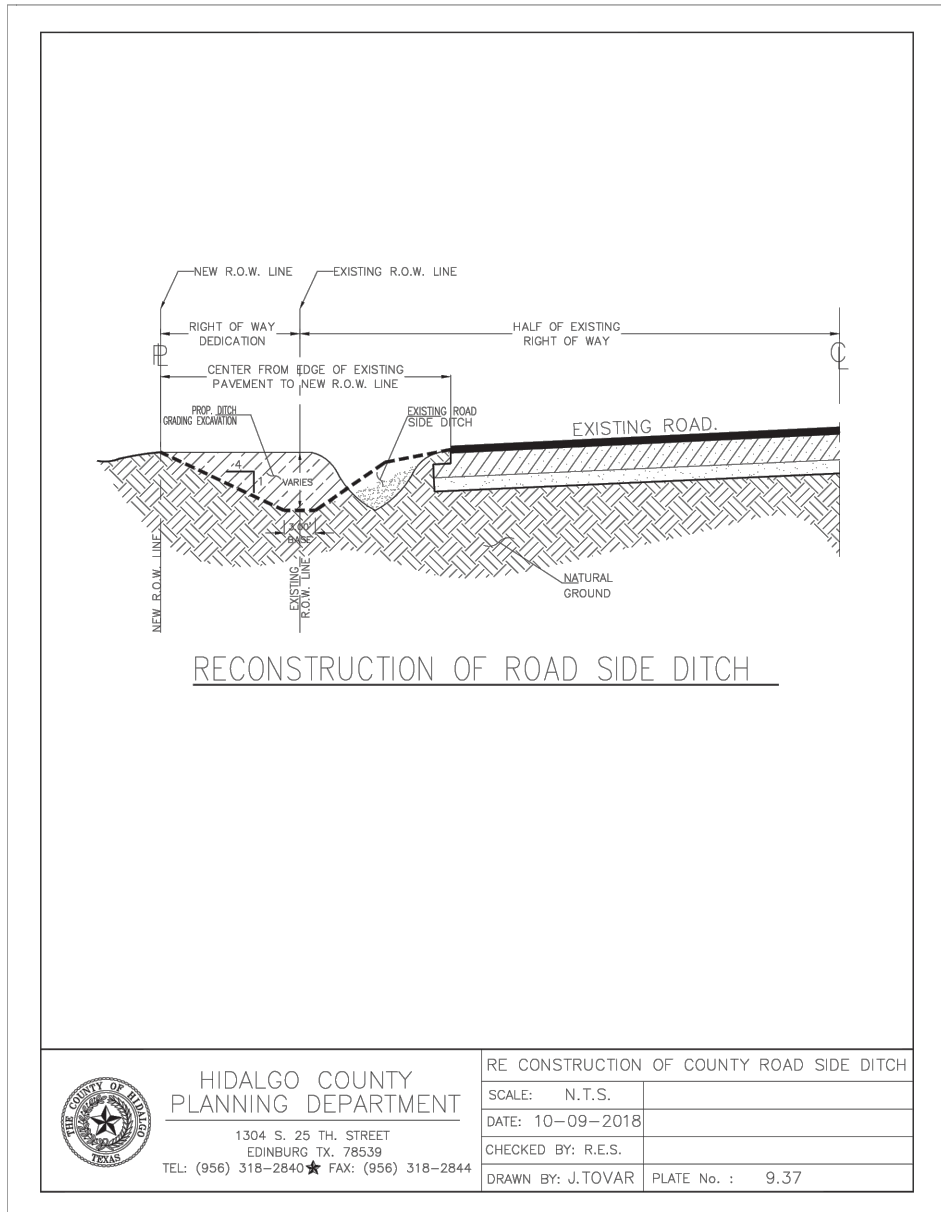
5.) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.

6.) ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

7.) ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

INDEX TO SHEETS OF SALAZAR ACRES PHASE I SUBDIVISION

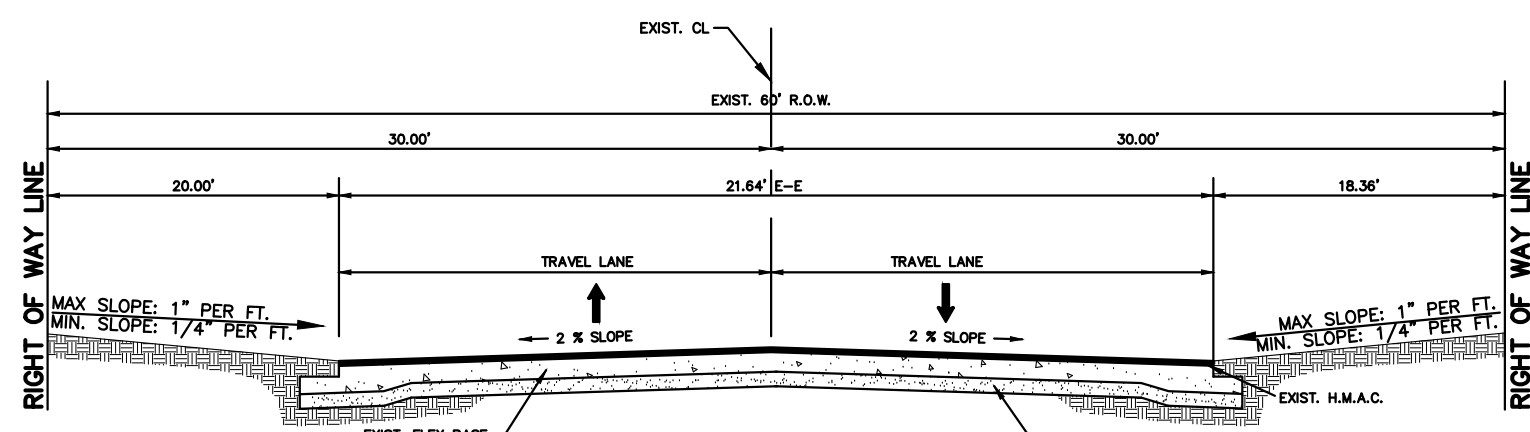
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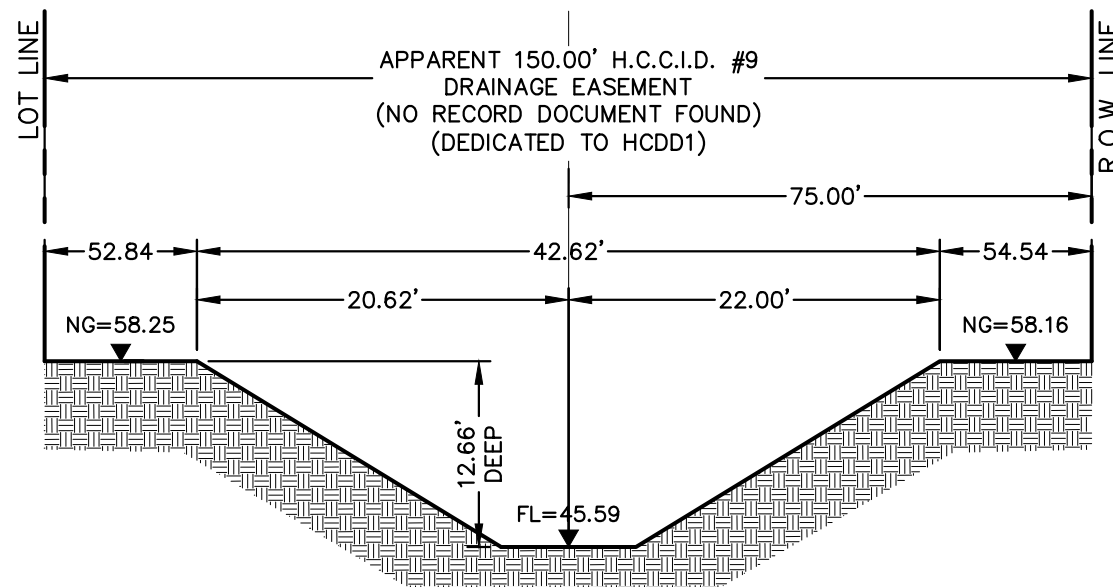
DRAINAGE VOLUME LEGEND

VOLUME FOR DETENTION REQUIRED = 87,654 CF (3,246.45 CY) (AS PER DRAINAGE REPORT CALCULATIONS)

VOLUME PROVIDED IN CROSS-SECTION B-B = 148.15 SF X 592.00 FT = 87,704.80 CF (100.06% OF REQUIRED)



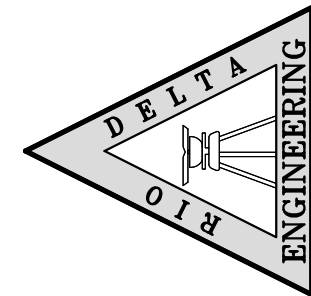
EXISTING STREET CROSS SECTION A-A
(N.T.S.)



EXISTING DITCH CROSS-SECTION "B-B"
NOT TO SCALE

RIO DELTA ENGINEERING

FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083

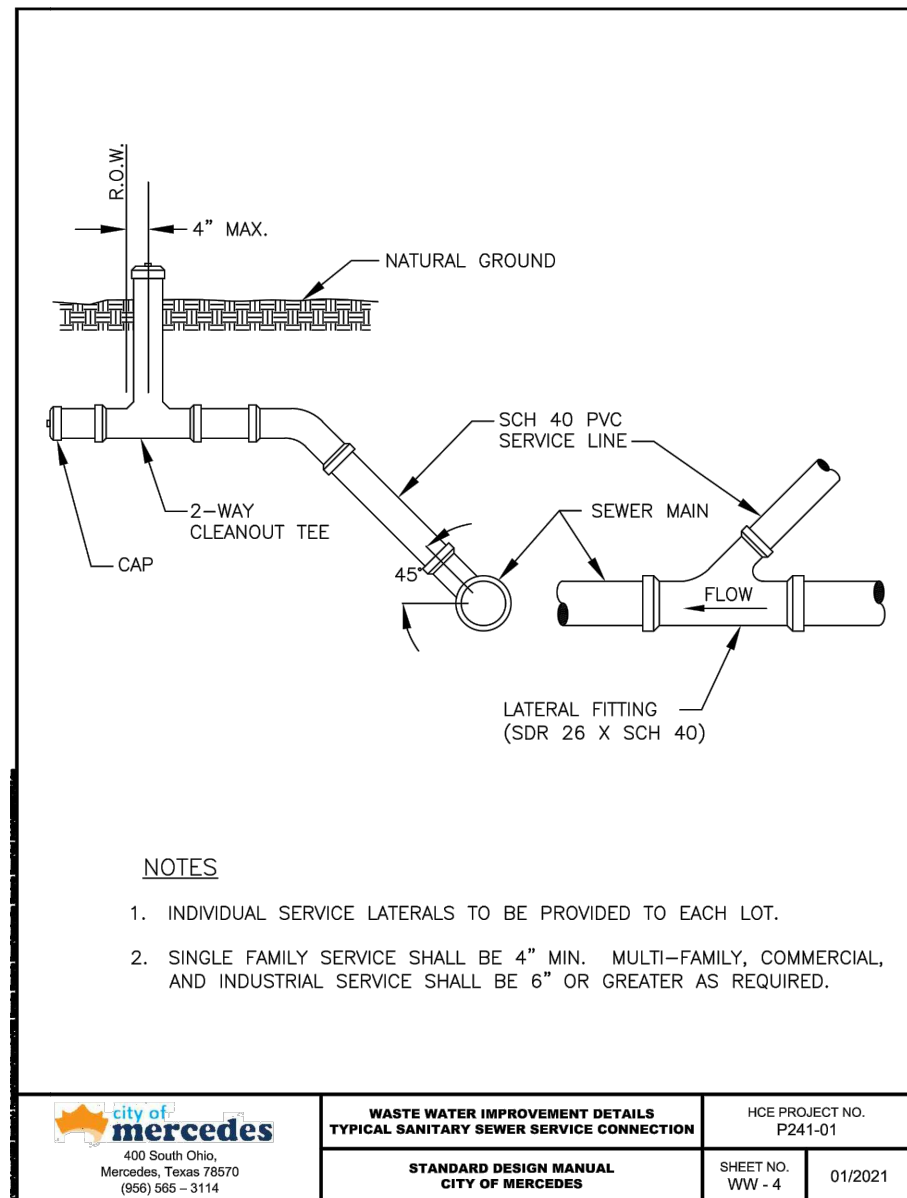
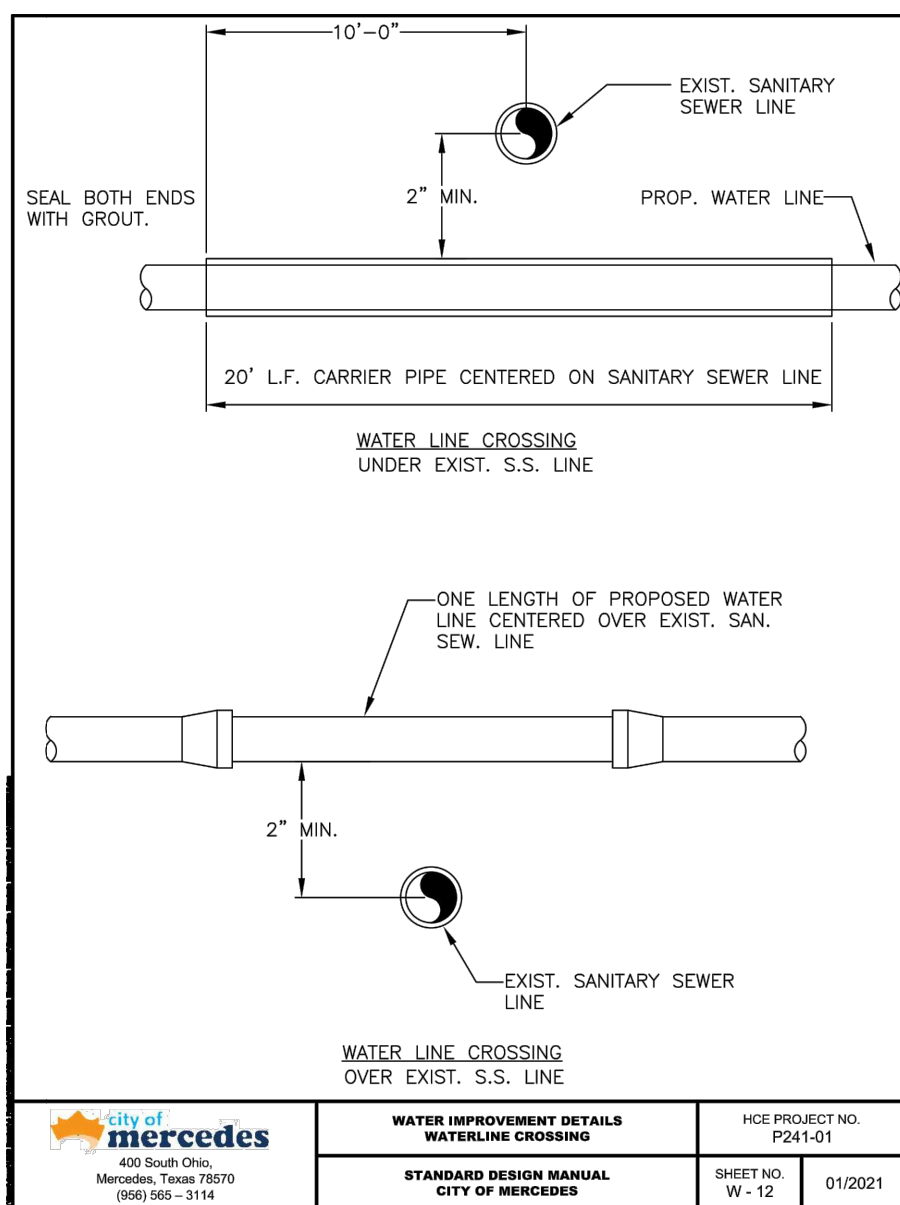
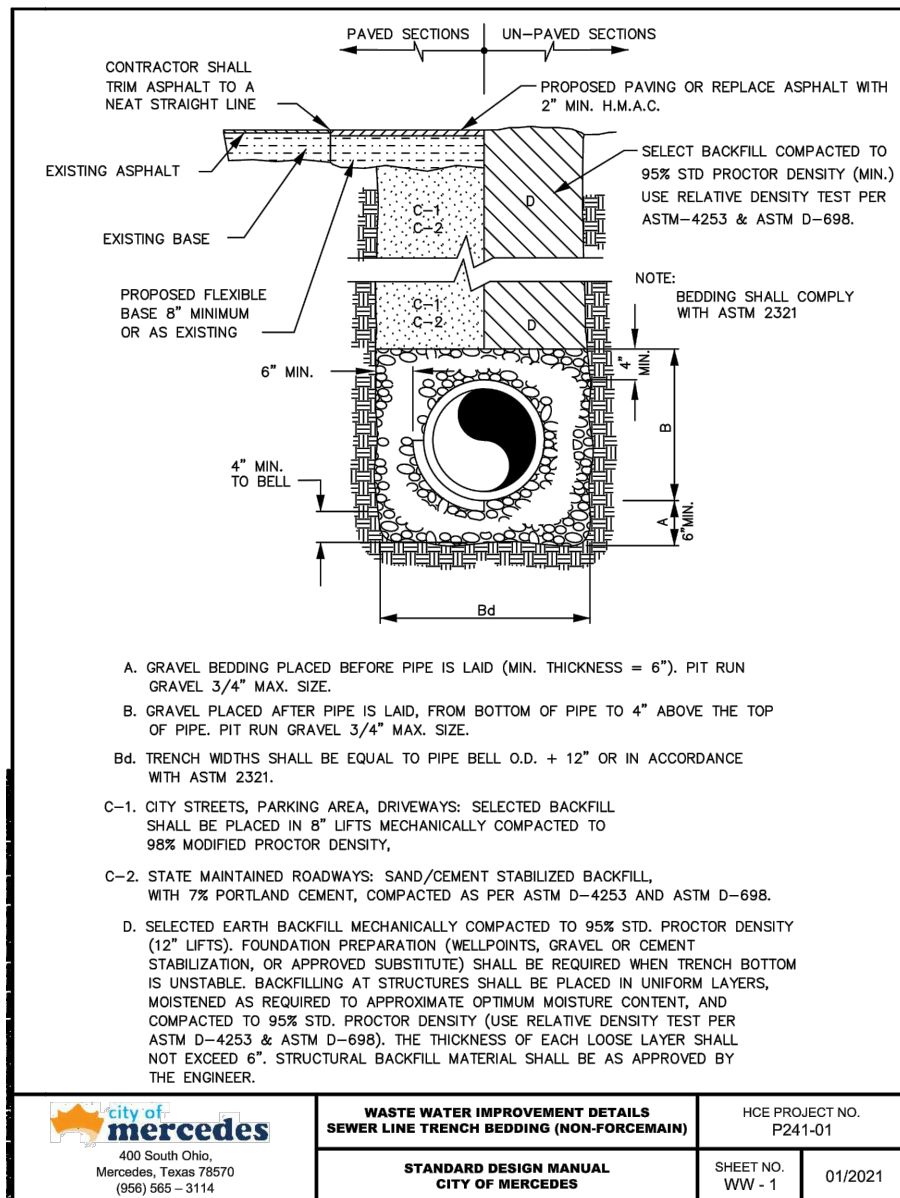
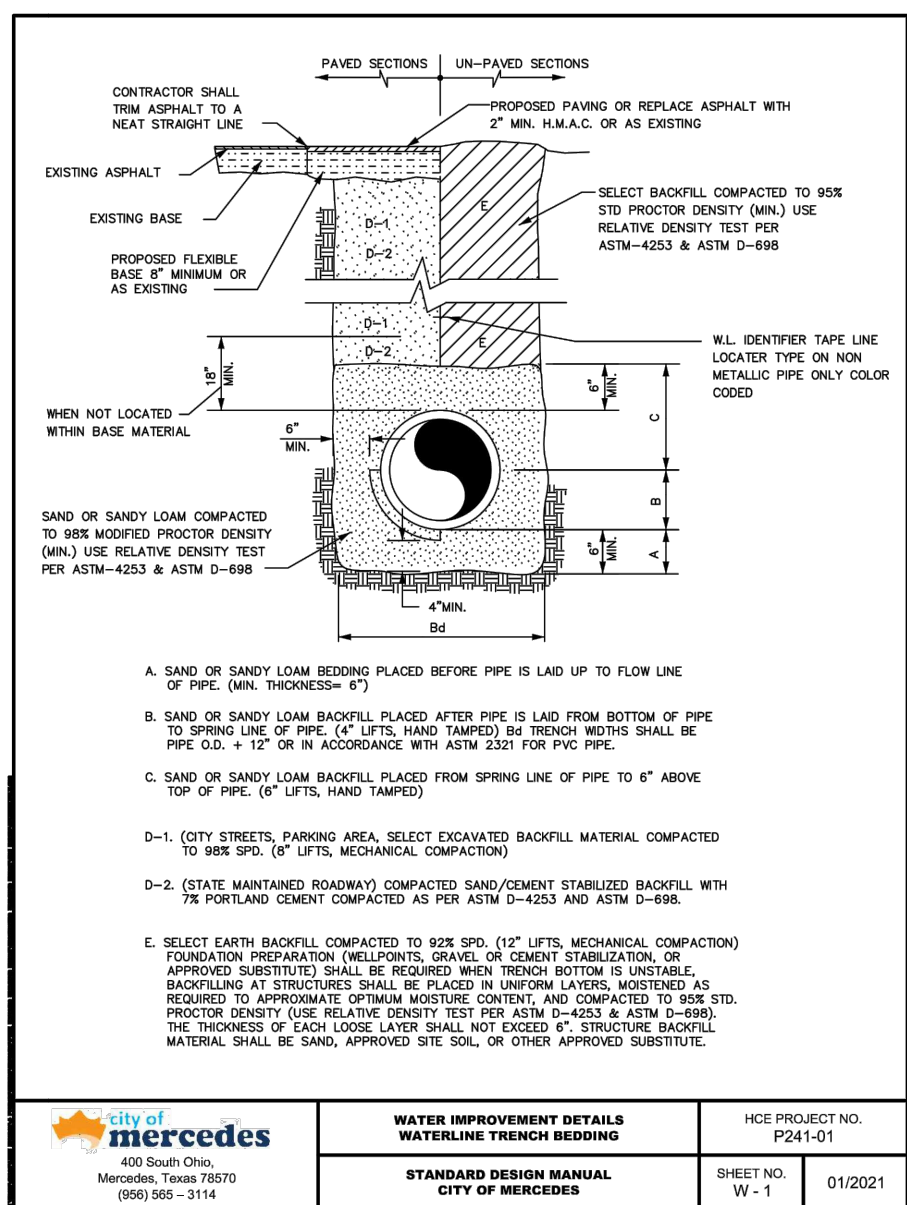
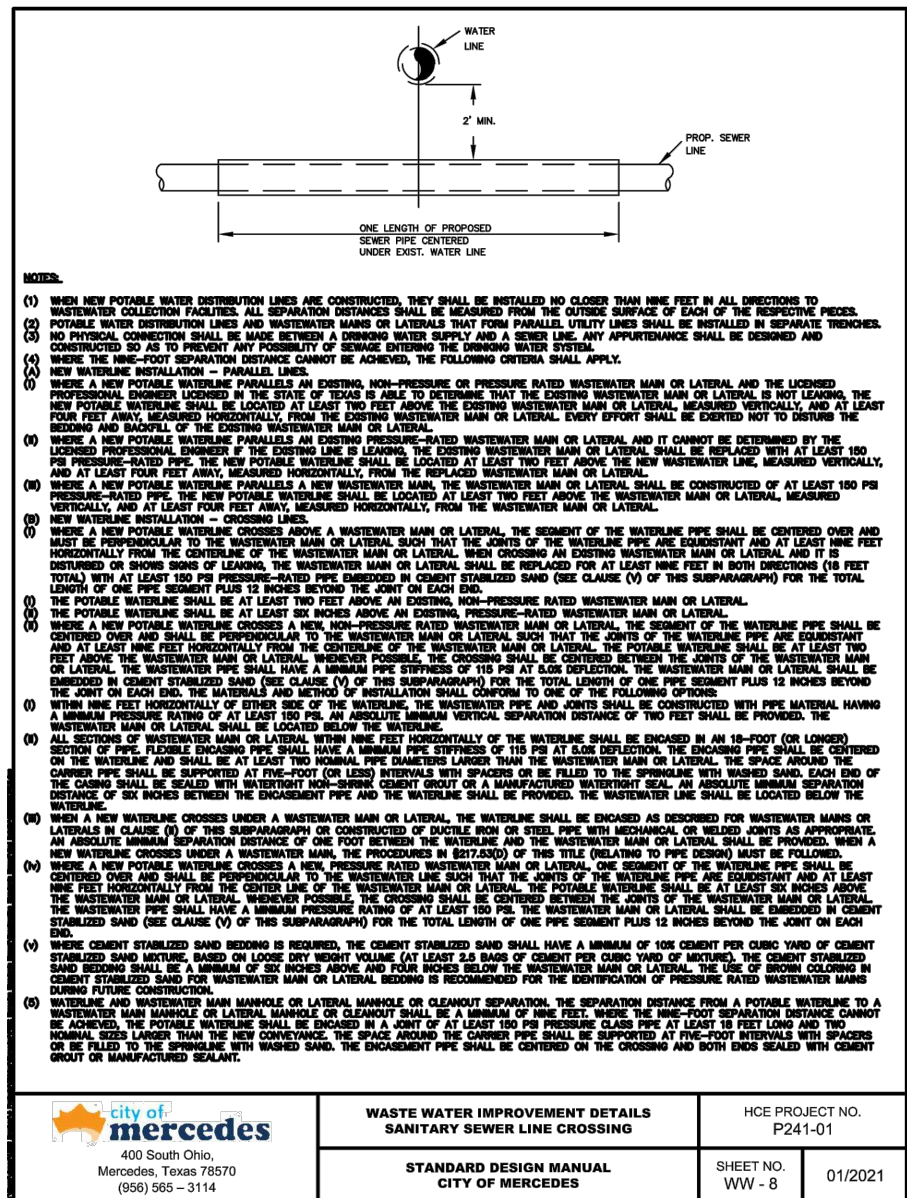
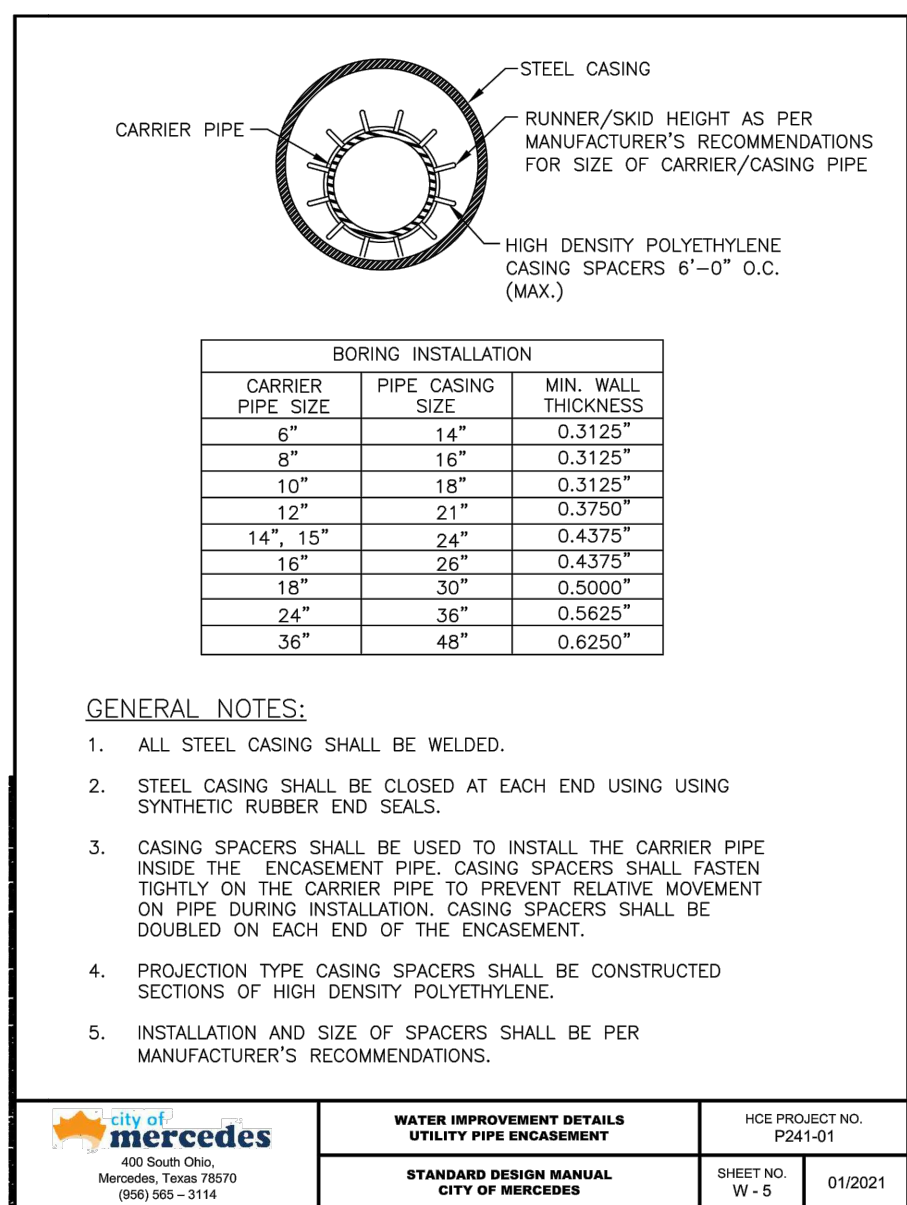
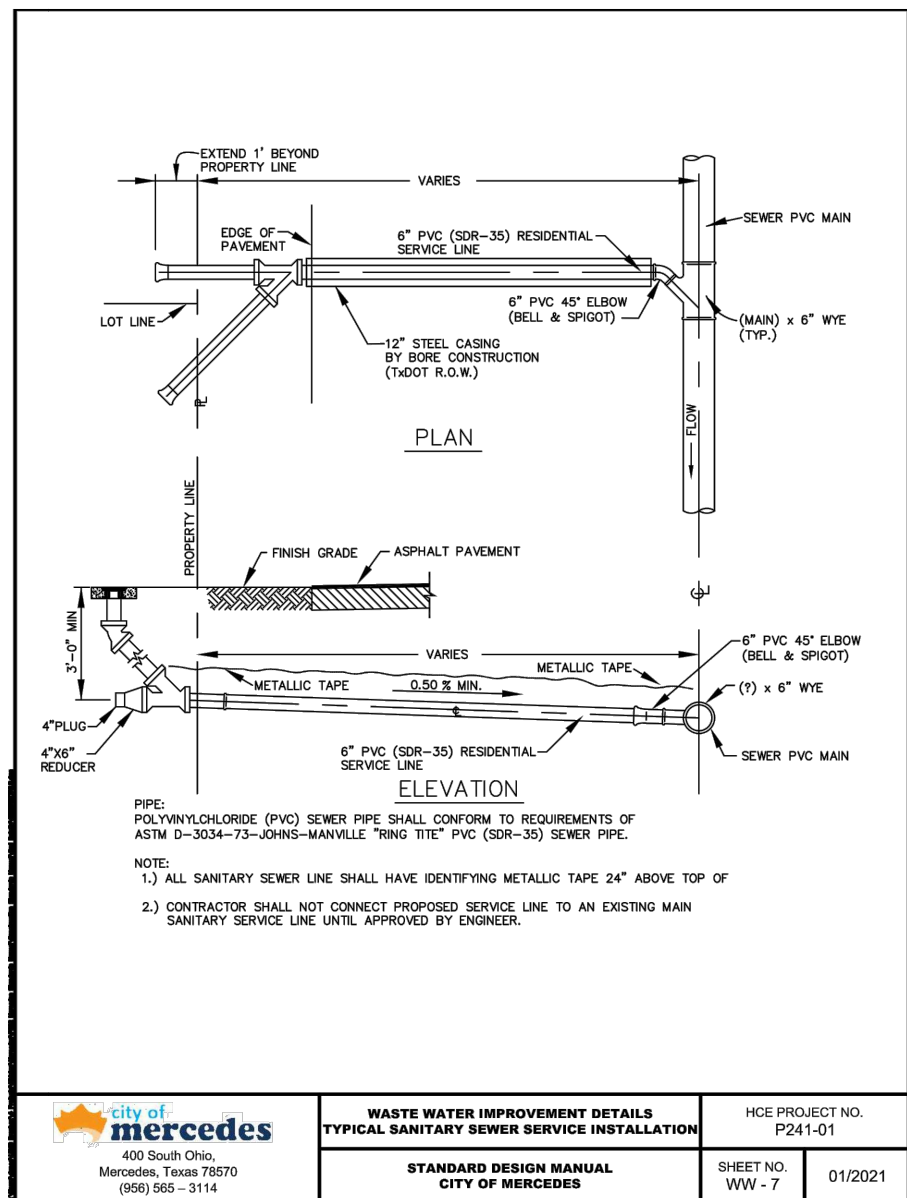


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ISSUED FOR:
PRELIMINARY

PAVING & DRAINAGE LAYOUT
SALAZAR ACRES PHASE I SUBDIVISION
HIDALGO COUNTY, TEXAS

PROJECT :
ENGINEER:
IVAN GARCIA P.E. R.P.L.S.
SURVEYOR:
IVAN GARCIA P.E. R.P.L.S.
CHECKED:
IVAN GARCIA P.E. R.P.L.S.
DRAWN:
HR/ G.F.
SCALE:
1"=100'
DATE:
AUGUST 10, 2026
PROJECT:
SUB 23.006
REVISIONS:
PAGE NO.
3-OF-4



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