



Anthony Uresti,
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 9-29-2026

PROPOSED PUEBLO DE PALMAS NO 29 SUBDIVISION, PRECINCT No. 1.

ENGINEER: RIO DELTA ENGINEERING DEVELOPER PDP MILE 4, LTD

☒ PRELIMINARY APPROVAL ☐ FINAL APPROVAL ☐ FINAL APPROVAL WITH FINANCIAL GUARANTEE ☐ WITH VARIANCE

NUMBER OF LOTS: 47 ☒ *SINGLE FAMILY ☐ *MULTI-FAMILY ☐ COMMERCIAL ☐ INSTITUTIONAL

ESTIMATED NUMBER OF STREETLIGHTS: 8

FILLING STATIONS: 3

LOCATION DESCRIPTION: SOUTH OF MILE 14 NORTH ROAD APPROXIMATELY ½ OF MILE EAST OF FM 1015.

SUBDIVISION LIES WITHIN THE: ☒ RURAL AREA

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 7-21-26 PROPERTY LIES WITHIN FLOOD ZONE "C" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

SEWER SYSTEM: ☒ OSSF'S

WATER SERVICE PROVIDER: NAWSC LINE SIZE: 8" LOCATION: MILE 14 NORTH ROAD

STAFF RECOMMENDS: ☒ **Preliminary Approval** subject to comments and future recommendations by planning, other departmentS.

☐ **Final Approval** subject to recommendations other departments

*This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules,
* Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.*

Boundary Line Table		
Line #	Length	Direction
L1	135.00	S1° 09' 06.80"E
L2	35.36	S43° 50' 53.20"W
L3	25.00	S1° 09' 06.80"E
L4	25.00	N1° 09' 06.80"W
L5	35.36	N46° 09' 06.80"W
L6	136.00	N1° 09' 06.80"W
L7	136.00	S1° 09' 06.80"E
L8	35.36	S43° 50' 53.20"E
L9	25.00	S1° 09' 06.80"E
L10	25.00	N1° 09' 06.80"W

Boundary Line Table		
Line #	Length	Direction
L11	35.36	N46° 09' 06.80"W
L12	136.00	N1° 09' 06.80"W

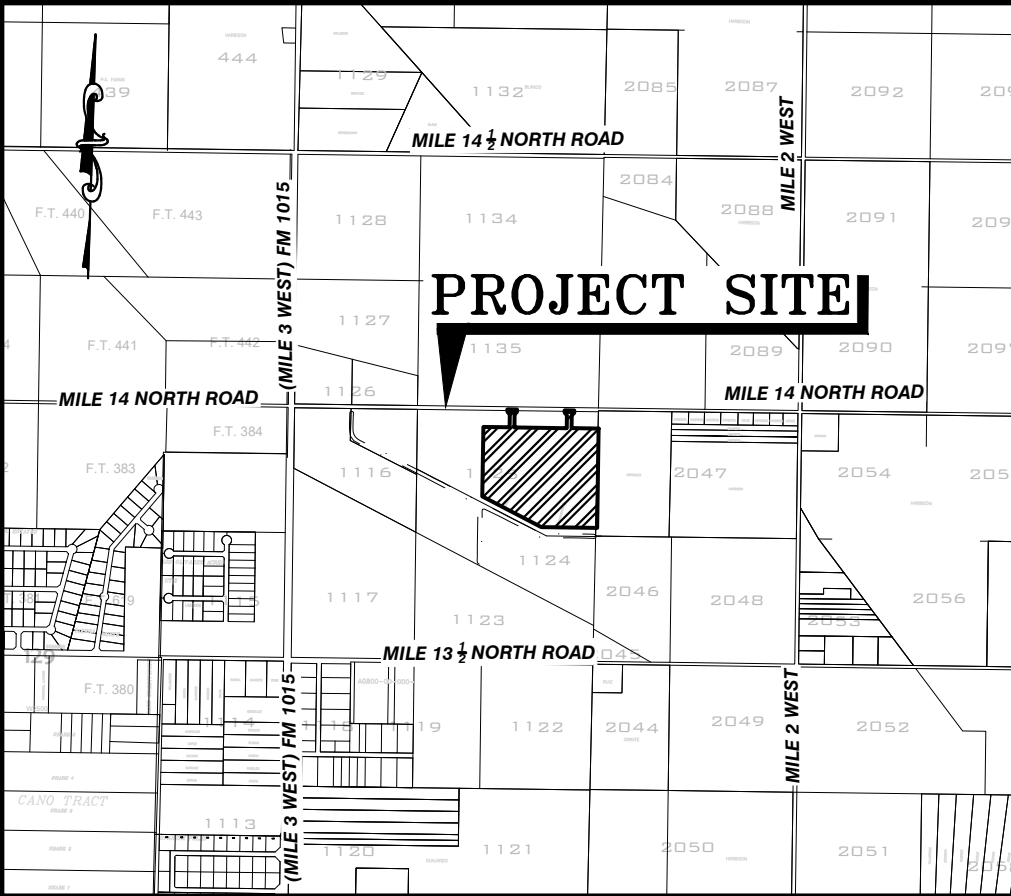
Parcel Line Table		
Line #	Length	Direction
L8	15.72	N1° 09' 06.80"W
L9	14.43	S64° 35' 12.62"E
L10	8.53	S88° 50' 53.20"W
L11	3.97	N64° 38' 14.36"W
L12	0.64	N1° 11' 05.79"W
L13	20.34	S1° 09' 06.80"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C12	17.45	20.00	49.99	N23° 50' 44"E	16.90
C13	24.34	50.00	27.89	N34° 53' 48"E	24.10
C14	50.00	50.00	57.30	N7° 41' 54"W	47.94
C15	49.99	50.04	57.24	S64° 59' 28"E	47.94
C16	18.28	50.00	20.95	N75° 53' 29"E	18.18
C17	17.45	20.00	49.99	S89° 35' 03"E	16.90
C18	32.46	70.00	26.57	N77° 52' 10"W	32.17
C19	25.93	55.00	27.02	N39° 32' 21"W	25.69
C20	40.94	55.00	42.65	N74° 22' 17"W	40.00
C21	40.94	55.00	42.65	S62° 58' 53"W	40.00

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C22	40.94	55.00	42.65	S20° 20' 02"W	40.00
C23	40.94	55.00	42.65	S22° 18' 48"E	40.00
C24	19.66	55.00	20.48	S53° 52' 36"E	19.55
C25	31.42	20.00	90.00	N43° 50' 53"E	28.28
C26	9.27	20.00	26.57	S77° 52' 10"E	9.19
C27	22.14	20.00	63.43	S32° 52' 10"E	21.03

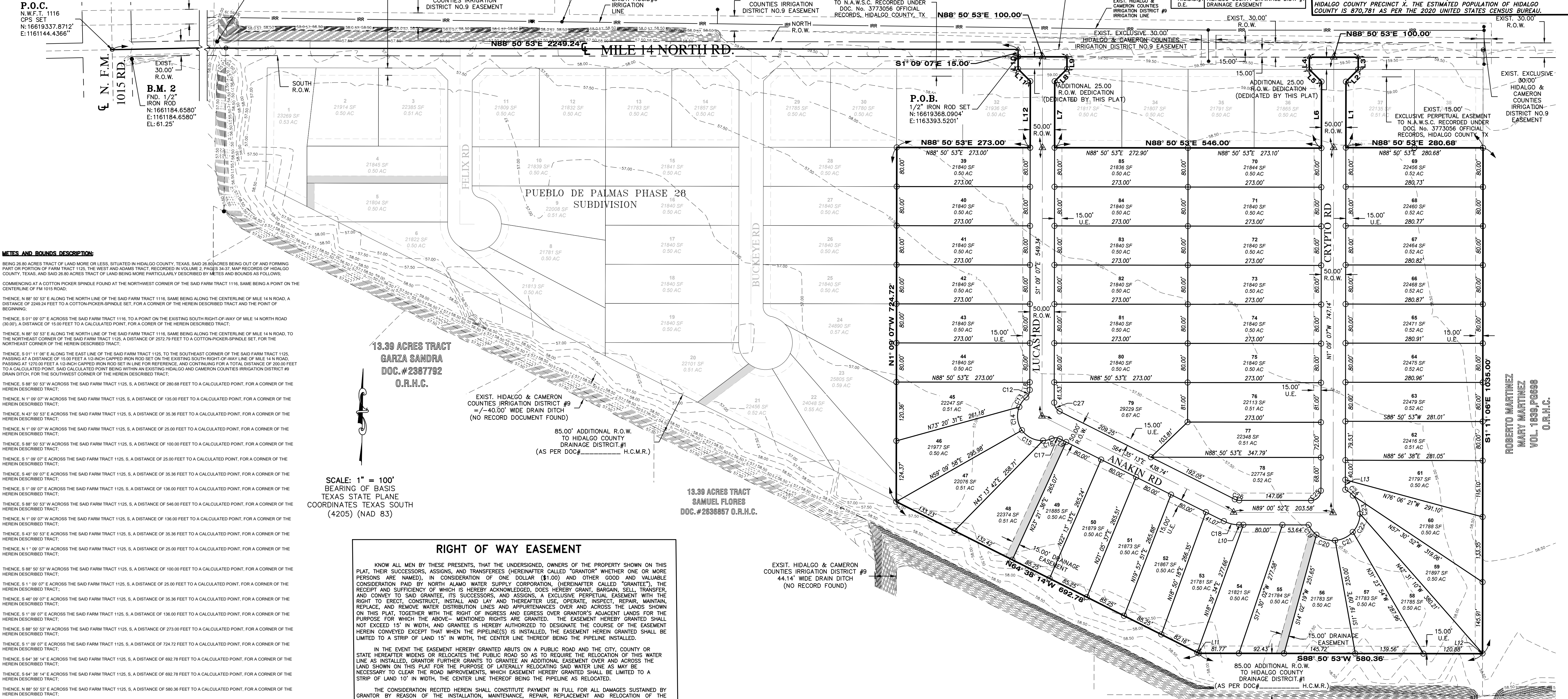
LEGEND	
△	SET C-P-S
△	FD. C-P-S
△	CALCULATED POINT
●	SET 1/2" IRON ROD
●	FND. 5/8" IRON ROD
●	FND. 60-D NAIL
—	SET PK NAIL
—	STORM INLET
—	FIRE HYDRANT
—	IRR. STAND PIPE
—	CHAIN LINK FENCE
—	EXIST. WATER METER
—	GAS SPOTTING
—	TELEPHONE PEDESTAL
—	POWER POLE

ABBREVIATION LEGEND	
F.B.S.L.	FRONT BUILDING SETBACK LINE
R.B.S.L.	REAR BUILDING SETBACK LINE
S.B.S.L.	SIDE BUILDING SETBACK LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
S.W.C.	SOUTHWEST CORNER
F.T.M.	FARM TRACT MAP
C.P. & L.	CENTRAL POWER & LIGHT CO.
D.R.H.C.	DEED RECORDS OF HIDALGO COUNTY
U.E.	UTILITY EASEMENT
M.H.W.S.C.	MILITARY HWY WATER SUPPLY CORP.
C.S.S.F.	ON-SITE SEWAGE FACILITY
C	CENTER LINE
H.C.D.D.#1	HIDALGO COUNTY DRAINAGE DIST. #1
D.E.	DRAINAGE EASEMENT



LOCATION MAP SCALE: 1" = 2000'

LOCATION OF PUEBLO DE PALMAS PH. 29 SUBDIVISION
PUEBLO DE PALMAS PH. 28 SUBDIVISION IS LOCATED SOUTH OF MILE 14 1/2 NORTH ROAD AND BETWEEN (MILE 3 WEST) FM 1015 AND MILE 2 WEST IN HIDALGO COUNTY PRECINCT X. ESTIMATED POPULATION OF HIDALGO COUNTY IS 870,781 AS PER THE 2020 UNITED STATES CENSUS BUREAU.



RIGHT OF WAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES, (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER, AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS, AND ASSIGNS, A EXCLUSIVE PERPETUAL EASEMENT WITH THE RIGHT TO REPAIR, CONSTRUCT, INSTALL AND LAY THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE, AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE FOR WHICH THE ABOVE- MENTIONED RIGHTS ARE GRANTED. THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS INSTALLED, THE EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

IN THE EVENT THE EASEMENT HEREBY GRANTED ABUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREINTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANTOR FURTHER GRANTS TO GRANTEE AN ADDITIONAL EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATING SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 10' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE EASEMENT CONVEYED HEREIN AS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF THE SAID GRANTOR EXECUTED THIS INSTRUMENT THIS _____ DAY OF _____ 2026.

J. GARY FRISBY, ATTORNEY IN FACT
PDP MILE 4 LTD.
P.O. BOX 1000
MISSION TEXAS 78573

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF HIDALGO COUNTY, TEXAS.

DATED THIS _____ DAY OF _____, 2026



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

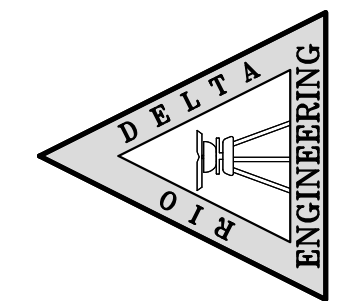
PRINCIPAL CONTACTS:			
NAME	ADDRESS	PHONE & FAX	
OWNER: PDP MILE 4 LTD, GARY FRISBY, ATTORNEY IN FACT	P.O. BOX 1000	MISSION, TX 78573	(956) 458-8153
ENGINEER: IVAN GARCIA, P.E., R.P.L.S.	921 SOUTH 10th AVE.	EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083
SURVEYOR: IVAN GARCIA, P.E., R.P.L.S.	921 SOUTH 10th AVE.	EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083

IVAN GARCIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496
SURVEY FIRM # 10194027

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

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RIO DELTA ENGINEERING
FIRM REGISTRATION NO. F-7628
SURVEY FIRM NO. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF
IVAN GARCIA, P.E. 115662 ON
APRIL 15, 2026
IT IS NOT TO BE
USED FOR CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.

ISSUED FOR:
PRELIMINARY

PLAT SHEET
PUEBLO DE PALMAS PH. 29 SUBDIVISION
HIDALGO COUNTY, TEXAS

PROJECT :
ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: G.F.
SCALE: 1" = 100'
DATE: APRIL 15, 2026
PROJECT: SUB 25 031
REVISIONS:
PAGE NO. 1-OF-6

C:\Users\FranciscoGerza\Dropbox\DATA\RD E SUBDIVISIONS\2025\SUB 25.031 -- MR FRISBY -- MILE 14 AND FM 1015\DWG\PHASE 29\SUB 25.031-SHT 2 PLAT SHEET (Frank Gerza's conflicted copy 2026-07-20).dwg FRANCISCO GERZA 8/18/2026 10:25 AM

PUEBLO DE PALMAS PH. 29 SUBDIVISION

BEING 26.80 ACRES TRACT OF LAND MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, SAID 26.80 ACRES BEING OUT OF AND FORMING PART OR PORTION OF FARM TRACT 1125, THE WEST AND ADAMS TRACT, RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

G E N E R A L P L A T N O T E S

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: THE SUBDIVISION IS IN ZONE "X", AREAS OF MINIMAL FLOODING.
COMMUNITY PANEL NO. **480334, 0450 C**, REVISED JUNE 6, 2000.
- SETBACKS:
FRONT: 25.00 FEET OR EASEMENT WHICHEVER IS GREATER
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDES: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT. ANY OTHER USE SHALL REQUIRE HEALTH, PLANNING AND FIRE MARSHALL APPROVAL.
- ALL LOTS SHOULD BE FOR RESIDENTIAL USE. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACT FOR DEEDS. APPLICATIONS FOR CONSTRUCTION APPROVED BY THE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT

- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
B.M. NO. 1--ELEV. 57.47 N.G.V.D. N=16619363.5700 E=1161754.1610 DESCRIPTIONS: FOUND 3/4" ROD LOCATED AT THE NORTHEAST CORNER OF THIS SUBDIVISION.
B.M. NO. 2--ELEV. 61.25 N.G.V.D. N=16619318.8000 E=1161184.6580 DESCRIPTIONS: FOUND 3/4" ROD LOCATED AT THE SOUTHEAST CORNER OF FM 1015 AND MILE 14.

- DRAINAGE:
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF ~~136,904~~ CUBIC FEET (**3.14** ACRE--FEET) OF STORM WATER RUNOFF. DETENTION FOR THIS SUBDIVISION WERE ALREADY ACCOUNTED FOR IN THE CONSTRUCTION OF PUEBLO DE PALMAS PHASE 28 SUBDIVISION, AS SHOWN ON THE APPROVED PUEBLO DE PALMAS PHASE 28 AND 29 MASTER PLAN DRAINAGE REPORT. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT DETERMINES AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ABOVE DUE TO THE IMPERVIOUS AREA BEING GRATER THAN THE ENGINEER CONSIDERED FOR HIS CALCULATION OF THIS SUBDIVISION. ALL DETENTION WILL BE PLACED WITHIN PUEBLO DE PALMAS PHASE 28 DESIGNATED DETENTION AREA.

- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON THE LOT MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS. A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE.

- OSSF SYSTEMS ARE BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWERAGE ONLY.
- EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.
- OSSF SYSTEMS SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
- SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCERPTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM.
- APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.
- ALL LOT CORNERS ARE SET 1/2 INCH IRON RODS WITH CAP.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1. NO COVERING OR ALTERNATING OF ROAD SIDE DITCH.
- PDP MILE 4, LTD, THE OWNER & SUBDIVIDER OF PUEBLO DEL PALMAS PHASE 29 SUBDIVISION, RETAIN A BLANKET EASEMENT UPON THE LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET No. 1 OF THIS PLAT.
- AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT SHALL BE REQUIRED FOR SCHOOLS, COMMERCIAL AND INDUSTRIAL USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATE STANDARDS.
- NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY DRAINAGE SWALE EASEMENT. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION OF THE DRAINAGE SWALE. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SWALE.
- ALL FENCES ABUTTING DRAIN DITCH R.O.W. SHALL BE PLACED WITHIN INDIVIDUALS LOTS AS TO NOT IMPEDE WITH MAINTENANCE OF DITCH.

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF PUEBLO DE PALMAS PH. 29 SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON THIS ____ DAY OF _____, 2026.

HIDALGO COUNTY JUDGE DATE

ATTEST: HIDALGO COUNTY CLERK DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE
GENERAL MANAGER

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT NO. 9

THIS PLAT APPROVED BY THE HIDALGO COUNTY AND CAMERON COUNTIES IRRIGATION DISTRICT # 9,

DATED THIS ____ DAY OF _____, 20____.

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No.9 RIGHT-OF-WAYS AND /OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF H.C.C.I.D. #9.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER SYSTEM TO ANY LOT WITH IN THIS SUBDIVISION. AS WELL, H.C.C.I.D. #9 WILL NOT BE RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITH IN THIS SUBDIVISION. IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- H.C.C.I.D. #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.
- HCCID #9 EXCLUSIVE EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, FENCES, SHRUBS, TRESS, AND OTHER PLANTINGS AND OTHER CONSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

GENERAL MANAGER
HIDALGO & CAMERON COUNTIES IRRIGATION DISTRICT No.9



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

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SHEET 5-6: TYPICAL DETAILS	

OWNER'S ACKNOWLEDGMENT STATE OF TEXAS COUNTY OF HIDALGO

I, **J. GARY FRISBY**, ATTORNEY IN FACT FOR PDP MILE 4, LTD THE OWNER (S) OF THE 26.80 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED **PUEBLO DE PALMAS PH.29 SUBDIVISION**, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND THAT:
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SCEPTIC TANKS MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS AND;
(D) GAS CONNECTIONS IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS, I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

PDP MILE 4 LTD

J. GARY FRISBY, ATTORNEY IN FACT DATE
330 FM 3145
LOTT, TX 76656

STATE OF TEXAS COUNTY OF HIDALGO

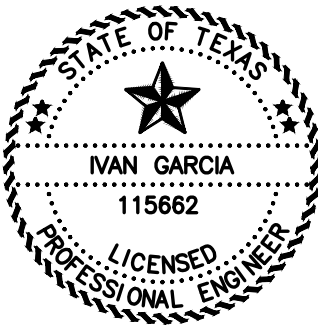
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES ____-____-____

STATE OF TEXAS -- COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



IVAN GARCIA P.E., R.P.L.S. DATE
REG. PROFESSIONAL ENGINEER No. 115662

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO COUNTY PLANNING OSSF DIVISION

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF **PUEBLO DE PALMAS PHASE 29 SUBDIVISION** WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT OSSF DIVISION.

PLANNING DEPARTMENT OSSF DIVISION DATE

PRINCIPAL CONTACTS:

NAME	ADDRESS	PHONE & FAX
OWNER: PDP MILE 4 LTD, GARY FRISBY, ATTORNEY IN FACT	P.O. BOX 1000 MISSION, TX 78573	(956) 458-8153
ENGINEER: IVAN GARCIA, P.E., R.P.L.S.	921 SOUTH 10th AVE. EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083
SURVEYOR: IVAN GARCIA, P.E., R.P.L.S.	921 SOUTH 10th AVE. EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083

PROJECT :

ENGINEER:
IVAN GARCIA P.E. R.P.L.S.
SURVEYOR:
IVAN GARCIA P.E. R.P.L.S.
CHECKED:
IVAN GARCIA P.E. R.P.L.S.

DRAWN:

G.F.

SCALE:

AS SHOWN

DATE:

APRIL 15, 2026

PROJECT:

SUB 25.031

REVISIONS:

PAGE NO.

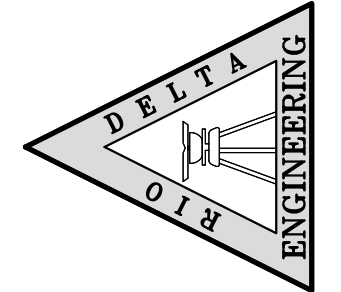
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PLAT NOTES
PUEBLO DE PALMAS PH. 29 SUBDIVISION
HIDALGO COUNTY, TEXAS

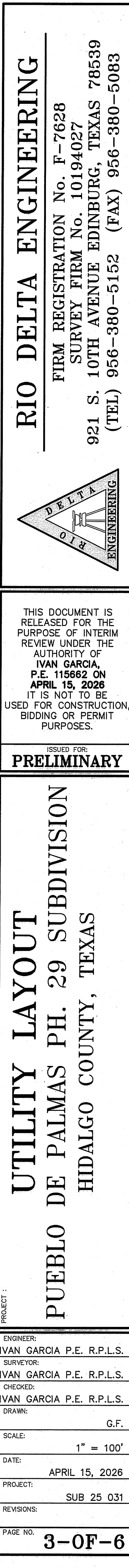
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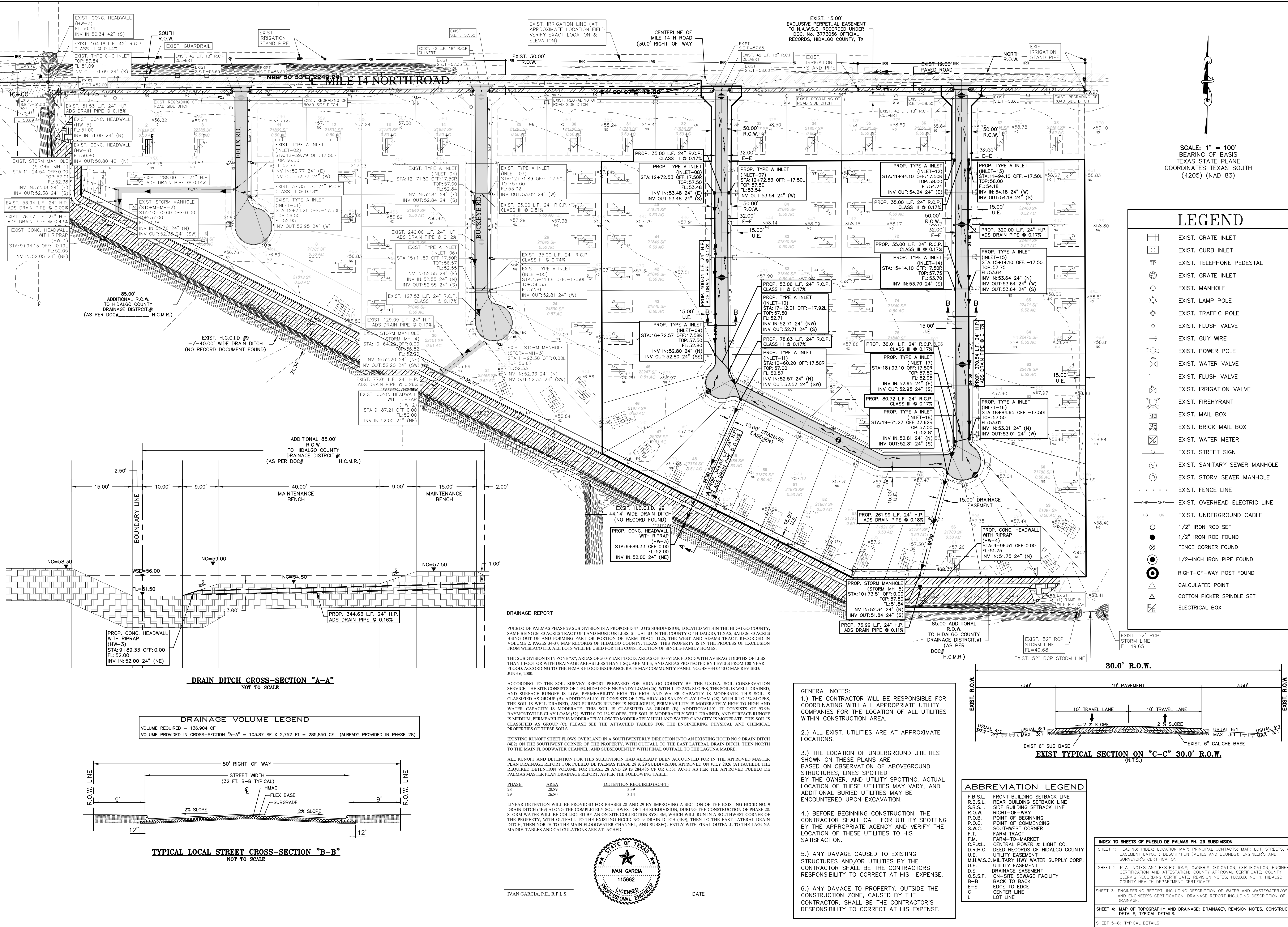
RIO DELTA ENGINEERING



FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



C:\Users\FranciscoGarcia\OneDrive\Documents\DATA\RD\SUBDIVISIONS\2025\SUB 25 031 - MR FRISBY - MILE 14 AND FM 1015\DWG\PHASE 29\SUB 25 031 - SHT 5 PAVING AND DRAINAGE LAYOUT.dwg FRANCISCO GARCIA 8/24/2026 10:42 AM



SCALE: 1" = 100'
BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES TEXAS SOUTH
(4205) (NAD 83)

LEGEND

- EXIST. GRATE INLET
- EXIST. CURB INLET
- EXIST. TELEPHONE PEDESTAL
- EXIST. GRATE INLET
- EXIST. MANHOLE
- EXIST. LAMP POLE
- EXIST. TRAFFIC POLE
- EXIST. FLUSH VALVE
- EXIST. GUY WIRE
- EXIST. POWER POLE
- EXIST. WATER VALVE
- EXIST. FLUSH VALVE
- EXIST. IRRIGATION VALVE
- EXIST. FIREHYDRANT
- EXIST. MAIL BOX
- EXIST. BRICK MAIL BOX
- EXIST. WATER METER
- EXIST. STREET SIGN
- EXIST. SANITARY SEWER MANHOLE
- EXIST. STORM SEWER MANHOLE
- EXIST. FENCE LINE
- EXIST. OVERHEAD ELECTRIC LINE
- EXIST. UNDERGROUND CABLE
- 1/2" IRON ROD SET
- 1/2" IRON ROD WITH RIPRAP
- FENCE CORNER FOUND
- 1/2-INCH IRON PIPE FOUND
- RIGHT-OF-WAY POST FOUND
- CALCULATED POINT
- COTTON PICKER SPINDLE SET
- ELECTRICAL BOX

DRAIN DITCH CROSS-SECTION "A-A"

NOT TO SCALE

DRAINAGE VOLUME LEGEND

VOLUME REQUIRED = 136,904 CF
VOLUME PROVIDED IN CROSS-SECTION "A-A" = 103.87 SF X 2,752 FT = 285,850 CF (ALREADY PROVIDED IN PHASE 28)

TYPICAL LOCAL STREET CROSS-SECTION "B-B"

NOT TO SCALE

DRAINAGE REPORT

PUEBLO DE PALMAS PHASE 29 SUBDIVISION IS A PROPOSED 47 LOTS SUBDIVISION, LOCATED WITHIN THE HIDALGO COUNTY, SAME BEING 26.80 ACRES TRACT OF LAND MORE OR LESS, SITUATED IN THE COUNTY OF HIDALGO, TEXAS, SAID 26.80 ACRES BEING OUT OF AND FORMING PART OR PORTION OF FARM TRACT 122, THE WEST AND ADAMS TRACT, RECORDED IN VOLUME 2, PAGES 34-37, MAP RECORDS OF HIDALGO COUNTY, TEXAS. THIS PROPERTY IS IN THE PROCESS OF EXCLUSION FROM WESLACO ETI. ALL LOTS WILL BE USED FOR THE CONSTRUCTION OF SINGLE-FAMILY HOMES.

THE SUBDIVISION IS IN ZONE "X", AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, ACCORDING TO THE FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 480334 0500 C MAP REVISED: JUNE 6, 2000.

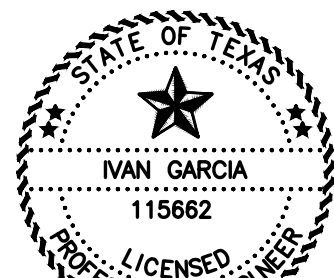
ACCORDING TO THE SOIL SURVEY REPORT PREPARED FOR HIDALGO COUNTY BY THE U.S.D.A. SOIL CONSERVATION SERVICE, THE SITE CONSISTS OF 4.4% HIDALGO FINE SANDY LOAM (2b), WITH 1 TO 2.9% SLOPES, THE SOIL IS WELL DRAINED, AND SURFACE RUNOFF IS LOW, PERMEABILITY HIGH TO HIGH AND WATER CAPACITY IS MODERATE. THIS SOIL IS CLASSIFIED AS GROUP (b). ADDITIONALLY, IT CONSISTS OF 1.7% HIDALGO SANDY CLAY LOAM (2b), WITH 0 TO 1% SLOPES, THE SOIL IS WELL DRAINED, AND SURFACE RUNOFF IS NEGLIGIBLE, PERMEABILITY IS MODERATELY HIGH TO HIGH AND WATER CAPACITY IS MODERATE. THIS SOIL IS CLASSIFIED AS GROUP (b). ADDITIONALLY, IT CONSISTS OF 93.9% RAYMONVILLE CLAY LOAM (S), WITH 0 TO 1% SLOPES, THE SOIL IS MODERATELY WELL DRAINED, AND SURFACE RUNOFF IS MODERATE, PERMEABILITY IS MODERATELY LOW TO MODERATELY HIGH AND WATER CAPACITY IS MODERATE. THIS SOIL IS CLASSIFIED AS GROUP (c). PLEASE SEE THE ATTACHED TABLES FOR THE ENGINEERING, PHYSICAL AND CHEMICAL PROPERTIES OF THESE SOILS.

EXISTING RUNOFF SHEET FLOWS OVERLAND IN A SOUTHWESTERLY DIRECTION INTO AN EXISTING HCCID NO.9 DRAIN DITCH (4E) ON THE SOUTHWEST CORNER OF THE PROPERTY, WITH OUTFALL TO THE EAST LATERAL DRAIN DITCH, THEN NORTH TO THE MAIN FLOODWATER CHANNEL, AND SUBSEQUENTLY WITH FINAL OUTFALL TO THE LAGUNA MADRE.

ALL RUNOFF AND DETENTION FOR THIS SUBDIVISION HAD ALREADY BEEN ACCOUNTED FOR IN THE APPROVED MASTER PLAN DRAINAGE REPORT FOR PUEBLO DE PALMAS PHASE 28 & 29 SUBDIVISION, APPROVED ON JULY 2026 (ATTACHED). THE REQUIRED DETENTION VOLUME FOR PHASE 28 AND 29 IS 284,485 CF OR 6,531 AC-FT AS PER THE APPROVED PUEBLO DE PALMAS MASTER PLAN DRAINAGE REPORT, AS PER THE FOLLOWING TABLE.

PHASE	AREA	DETENTION REQUIRED (AC-FT)
28	28.89	3.39
29	26.80	3.14

LINEAR DETENTION WILL BE PROVIDED FOR PHASES 28 AND 29 BY IMPROVING A SECTION OF THE EXISTING HCCID NO.9 DRAIN DITCH (4E) ALONG THE COMPLETELY SOUTHWEST OF THE SUBDIVISION, DURING THE CONSTRUCTION OF PHASE 28. STORM WATER WILL BE COLLECTED BY AN ON-SITE COLLECTION SYSTEM, WHICH WILL RUN IN A SOUTHWEST CORNER OF THE PROPERTY, WITH OUTFALL TO THE EXISTING HCCID NO.9 DRAIN DITCH (4E), THEN TO THE EAST LATERAL DRAIN DITCH, THEN NORTH TO THE MAIN FLOODWATER CHANNEL, AND SUBSEQUENTLY WITH FINAL OUTFALL TO THE LAGUNA MADRE. TABLES AND CALCULATIONS ARE ATTACHED.



IVAN GARCIA, P.E., R.P.L.S.

DATE

GENERAL NOTES:

- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.
- ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES, LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY, AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
- ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.
- ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

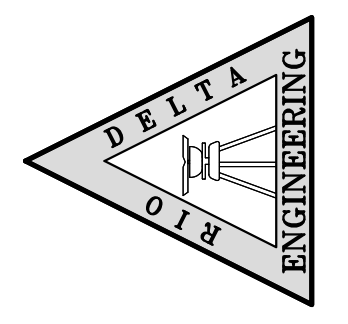
ABBREVIATION LEGEND

- F.B.S.L. FRONT BUILDING SETBACK LINE
- R.B.S.L. REAR BUILDING SETBACK LINE
- S.B.S.L. SIDE BUILDING SETBACK LINE
- R.O.W. RIGHT-OF-WAY
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCING
- S.W.C. SOUTHWEST CORNER
- F.T. FARM-TO-MARKET
- C.P.&L. CENTRAL POWER & LIGHT CO.
- D.R.H.C. DEED RECORDS OF HIDALGO COUNTY
- U.E. UTILITY EASEMENT
- M.H.W.S.C. MILITARY HWY WATER SUPPLY CORP.
- D.E. DRAINAGE EASEMENT
- O.S.S.F. ON-SITE SEWAGE FACILITY
- B-B BACK TO BACK
- E-E EDGE TO EDGE
- C CENTER LINE
- L LOT LINE

INDEX TO SHEETS OF PUEBLO DE PALMAS PH. 29 SUBDIVISION
SHEET 1: HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT, DESCRIPTION (METES AND BOUNDS), ENGINEER'S AND SURVEYOR'S CERTIFICATION
SHEET 2: PLAT NOTES AND RESTRICTIONS, OWNER'S DEDICATION, CERTIFICATION, ENGINEER'S CERTIFICATION, AND ATTESTATION; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES; H.C.D.D. NO. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE
SHEET 3: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER/OSSF AND ENGINEER'S CERTIFICATION, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE
SHEET 4: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE, REVISION NOTES, CONSTRUCTION DETAILS, TYPICAL DETAILS
SHEET 5-6: TYPICAL DETAILS

RIO DELTA ENGINEERING

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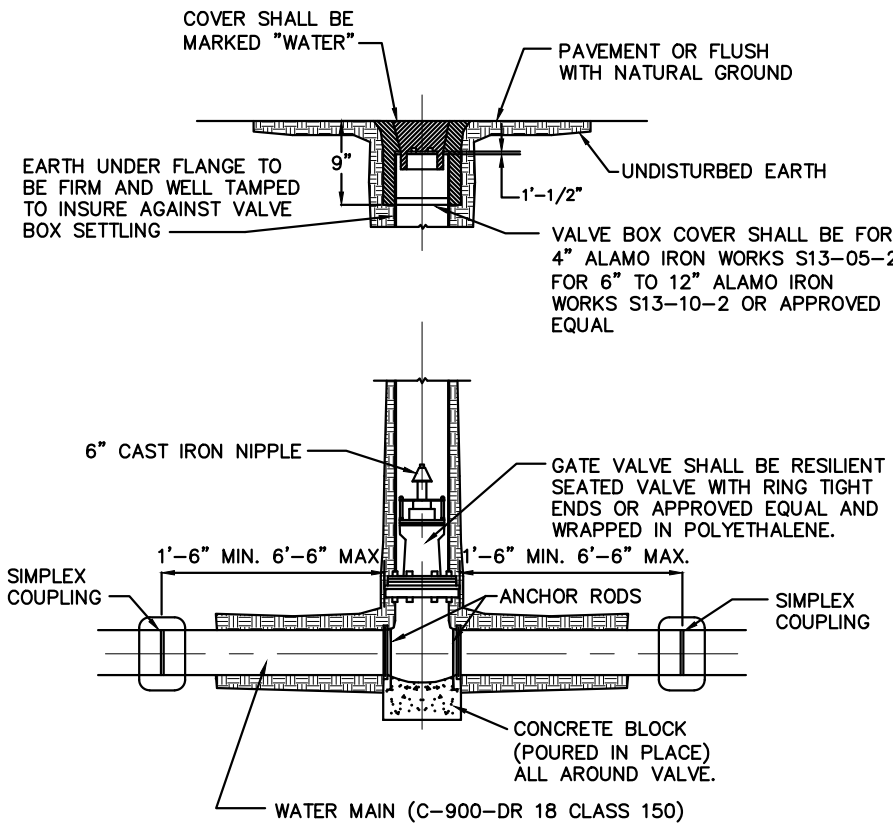
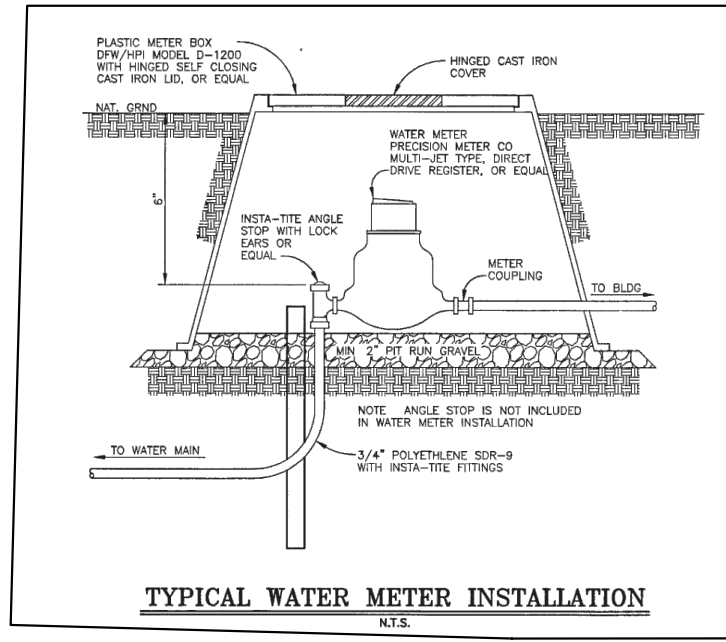
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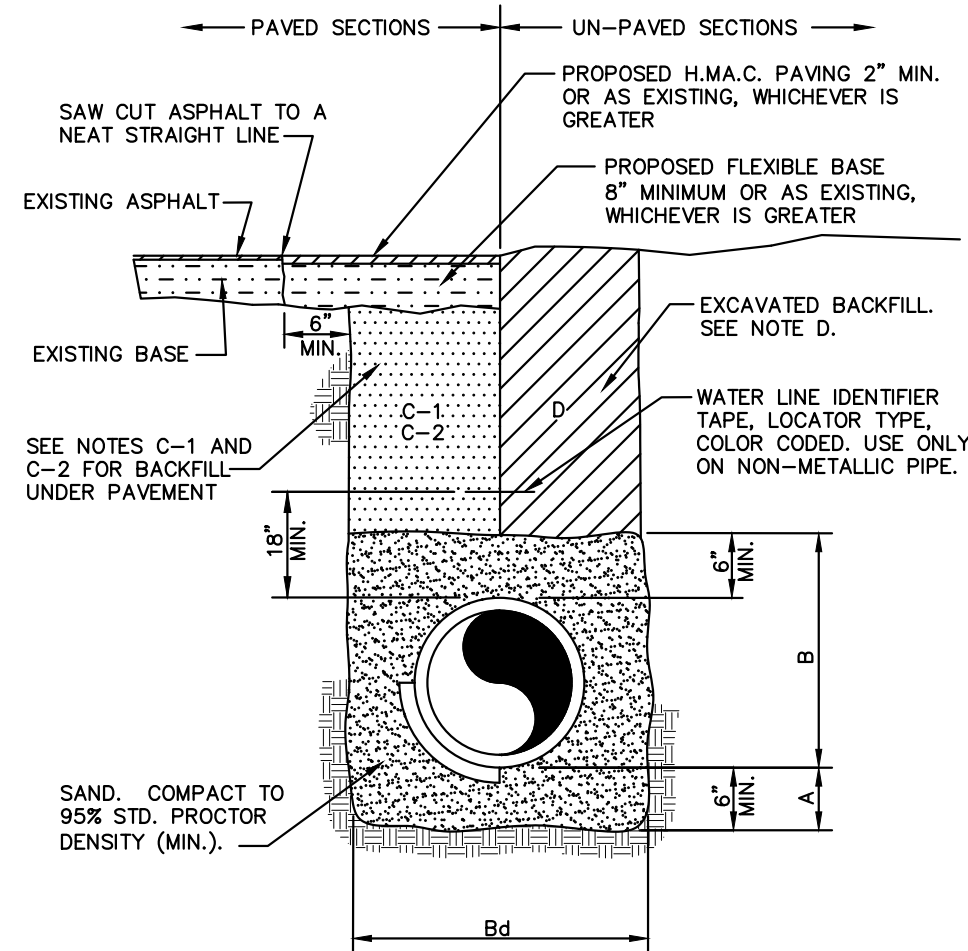
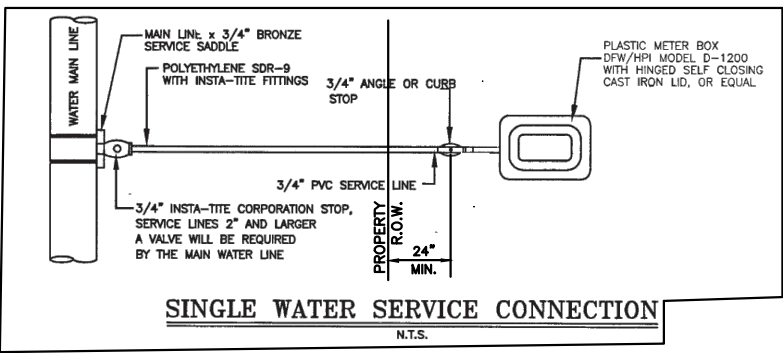
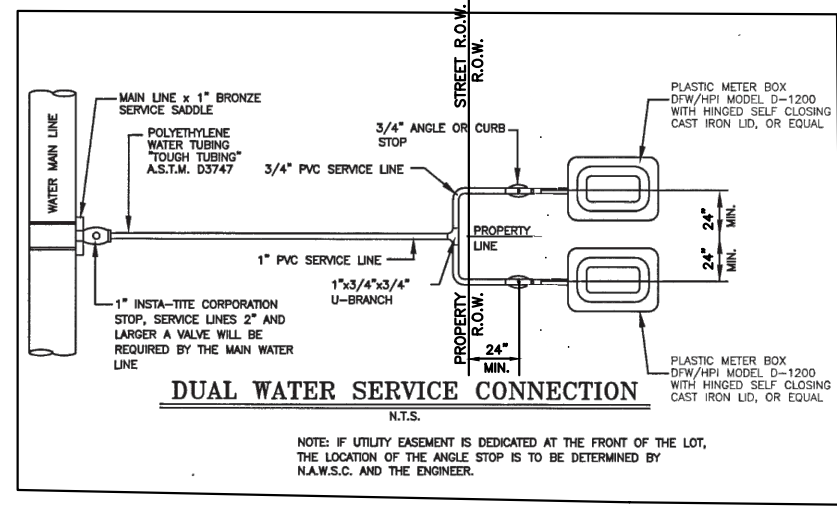
PAVING AND DRAINAGE LAYOUT PUEBLO DE PALMAS PH. 29 SUBDIVISION HIDALGO COUNTY, TEXAS

PROJECT: SUB 25 031
ENGINEER: IVAN GARCIA P.E., R.P.L.S.
SURVEYOR: IVAN GARCIA P.E., R.P.L.S.
CHECKED: IVAN GARCIA P.E., R.P.L.S.
DRAWN: G.F.
SCALE: 1" = 100'
DATE: APRIL 15, 2026
PROJECT: SUB 25 031
REVISIONS:
PAGE NO.: 4-OF-6

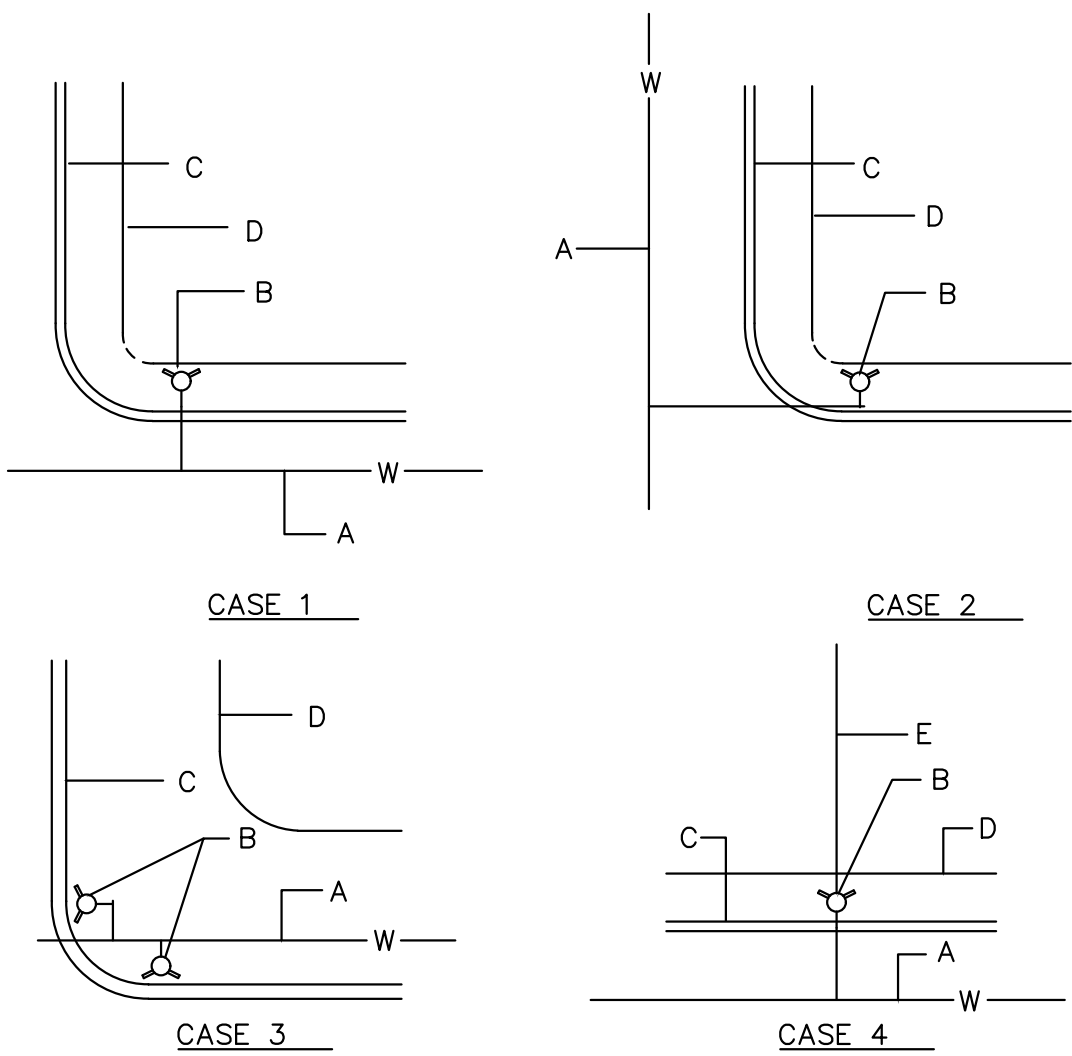
C:\Users\FranciscoGerza\OneDrive\Documents\Projects\2025\SUB 25 031 - MR FRISBY - MILE 14 AND FM 1015\DWG\PHASE 29\SUB 25 031 - SHT 5 TYPICAL DETAILS.dwg FRANCISCO GERZA 8/18/2026 11:49 AM



- NOTES:
1. CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS CONCRETE BLOCK (POURED IN PLACE)
 2. VALVE SHALL BE MUELLER BRAND.
- GATE VALVE & VALVE BOX**

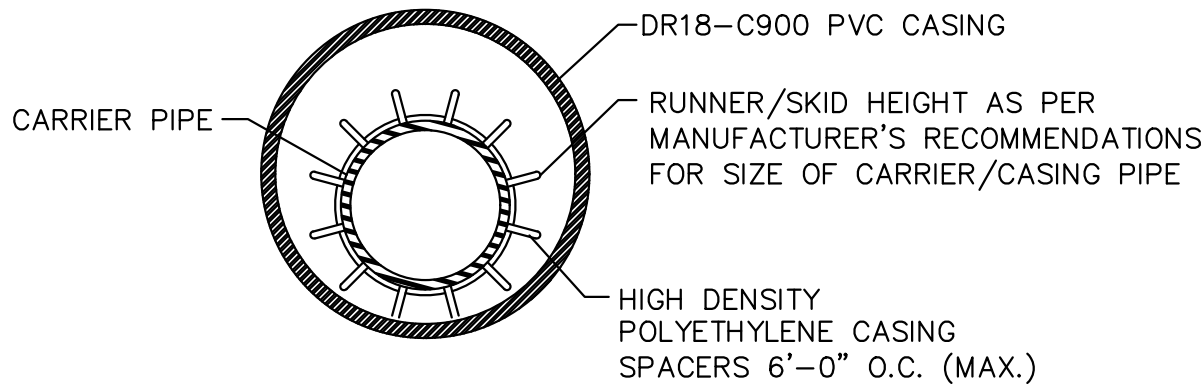


TYPICAL WATER LINE BEDDING DETAIL



- NOTES:
1. NORMALLY, FIRE HYDRANTS ARE TO BE LOCATED AT THE END OF CURB RETURN, OR AT PROPERTY LINE.
 2. PERMANENT OBSTRUCTIONS SUCH AS POLES, TRAFFIC SIGNALS ETC. MAY REQUIRED RELOCATION OF FIRE HYDRANT 5' DISTANCE FROM OBSTRUCTION. FIRE HYDRANT NOT TO BE LOCATED WITHIN AREA OF CURB RETURN.
- CONSTRUCTION NOTES:
- A. WATER MAIN.
 - B. FIRE HYDRANT.
 - C. CURB AND GUTTER.
 - D. RIGHT OF WAY.
 - E. PROPERTY LINE.

TYPICAL FIRE HYDRANT LOCATIONS

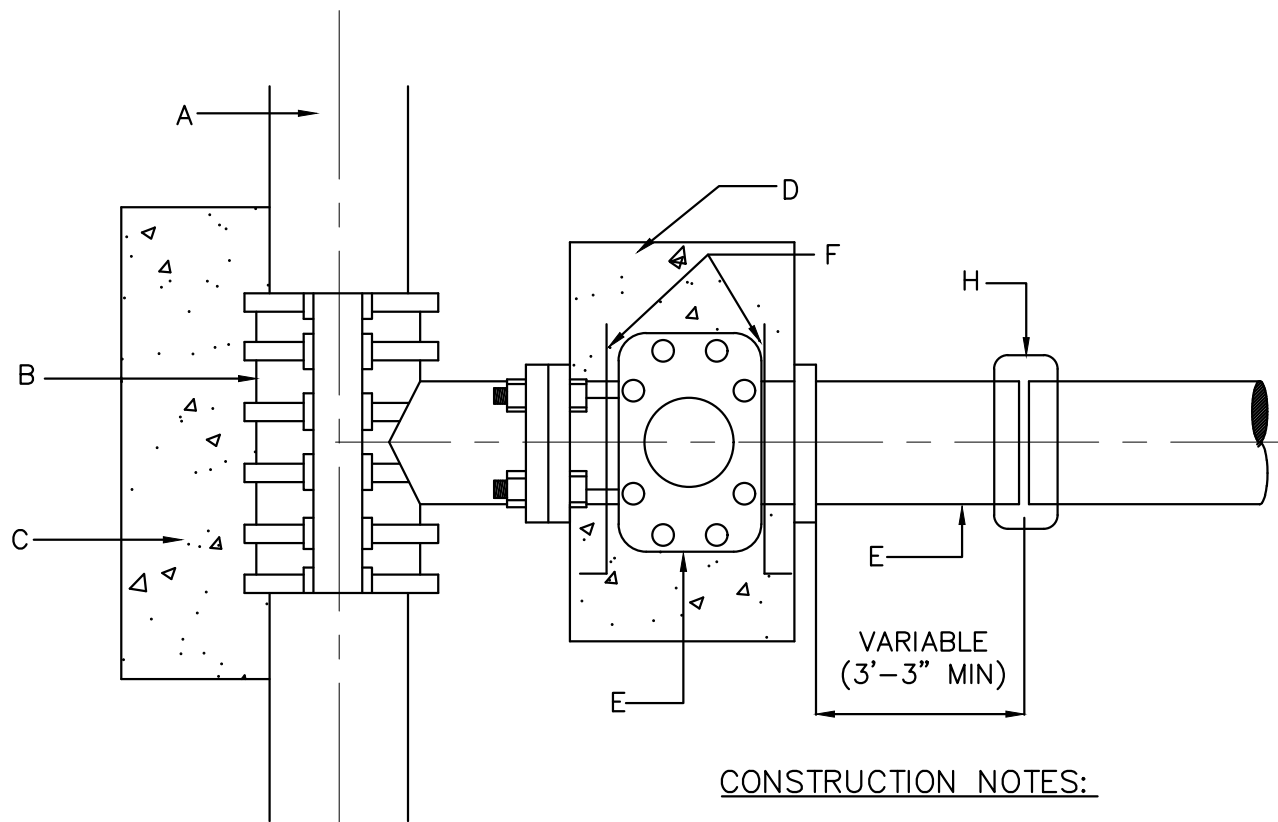


BORING INSTALLATION		
CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.3125"
8"	16"	0.3125"
10"	18"	0.3125"
12"	21"	0.3750"
14", 15"	24"	0.4375"
16"	26"	0.4375"
18"	30"	0.5000"
24"	36"	0.5625"
36"	48"	0.6250"

GENERAL NOTES:

1. DR18-C900 PVC CASING SHALL BE CLOSED AT EACH END USING SYNTHETIC RUBBER END SEALS.
2. CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASUREMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY ON THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASUREMENT.
3. PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
4. INSTALLATION AND SIZE OF SPACERS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

UTILITY LINE BORE DETAIL



GENERAL NOTES:

1. ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
2. TAPPING SLEEVE MUST BE ALL STAINLESS STEEL WITH STAINLESS BOLTS
3. VALVE SHALL BE MUELLER BRAND.

TAPPING SLEEVE & VALVE INSTALLATION

GENERAL NOTES:

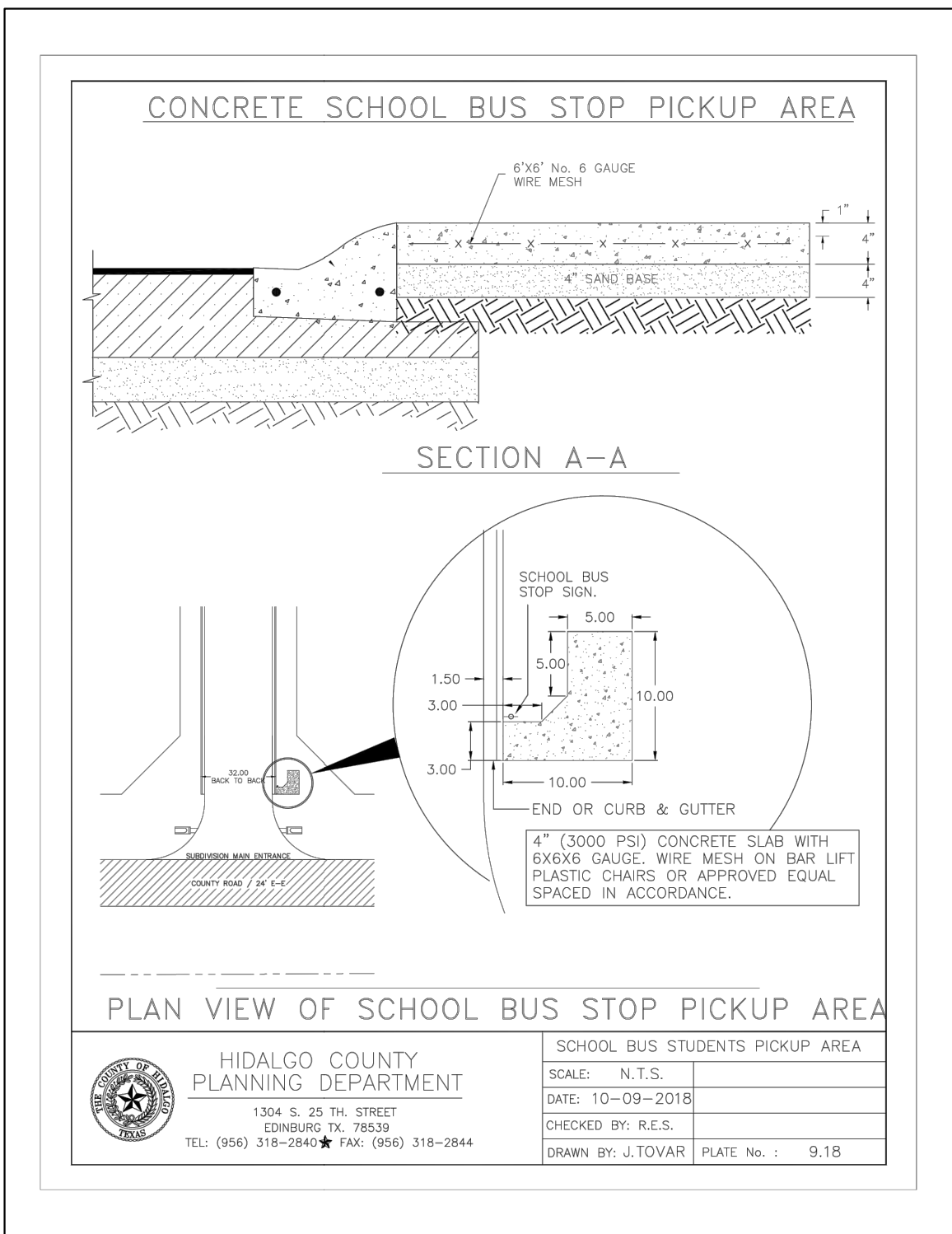
- A. CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
 - B. CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
 - Bd. MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER); PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
 - C-1. (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
 - C-2 (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - D. EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY
- EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 SIEVE. MAXIMUM 3/4" SIZE FOR PIPE SIZE ≤ 15". GREATER THAN 50% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.

IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).

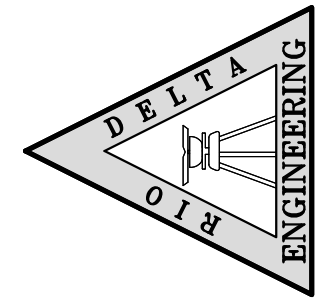
WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.



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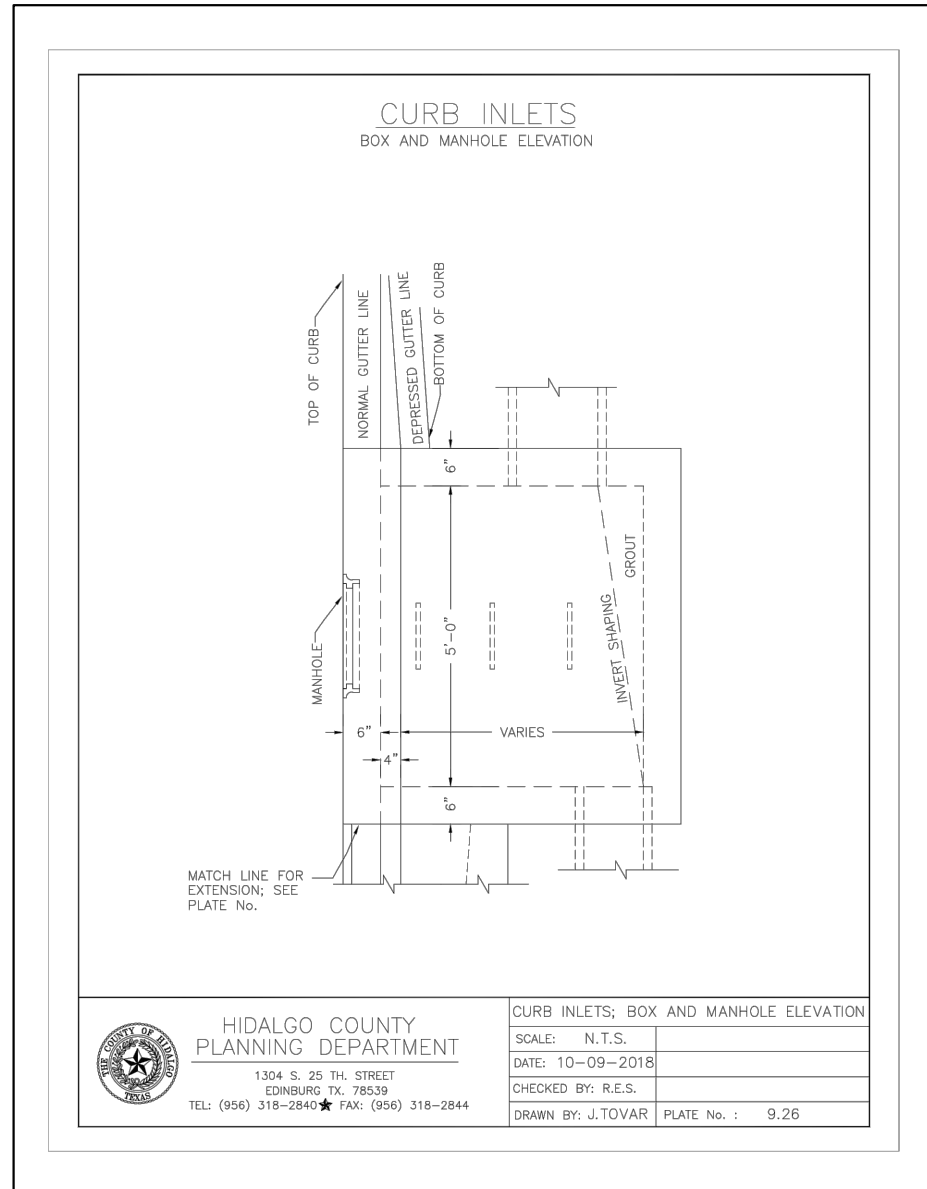
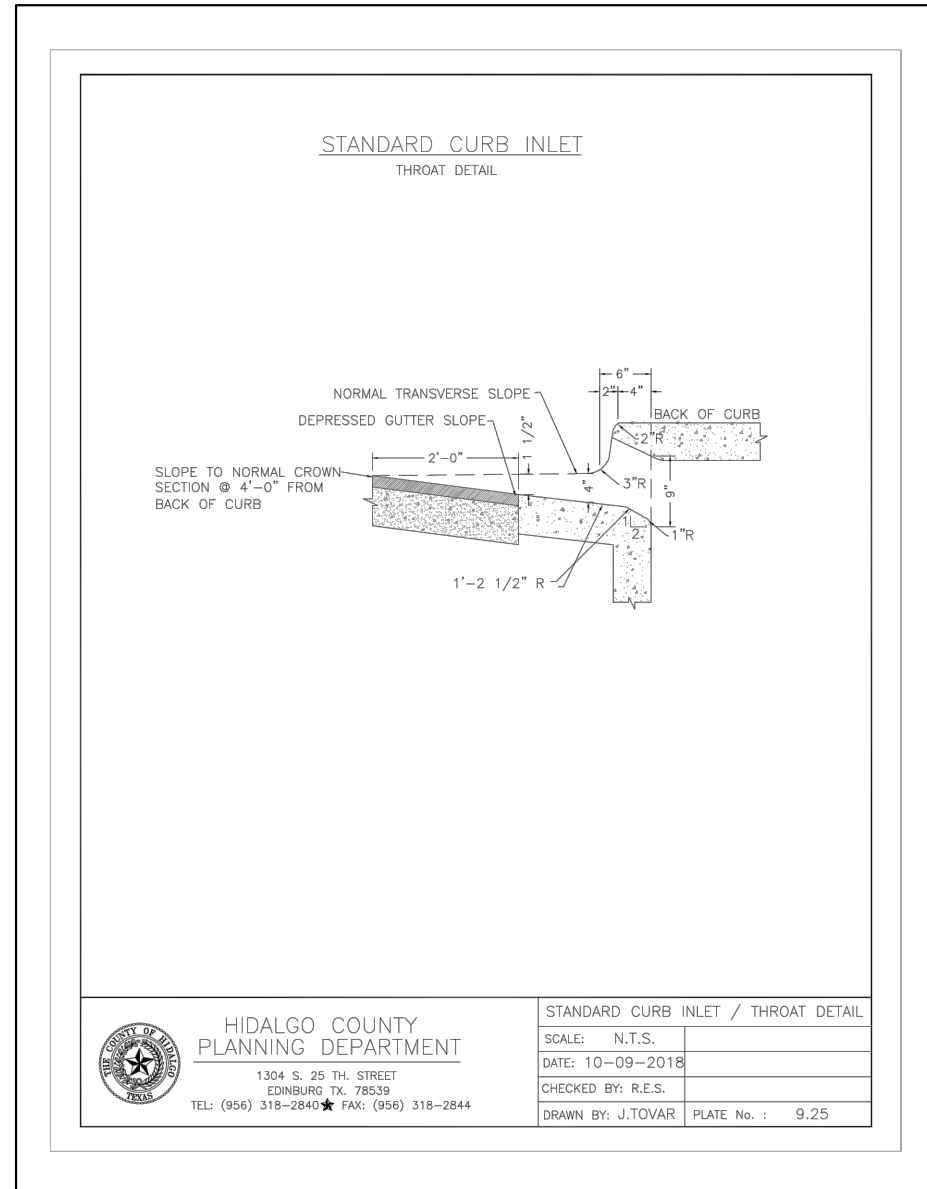
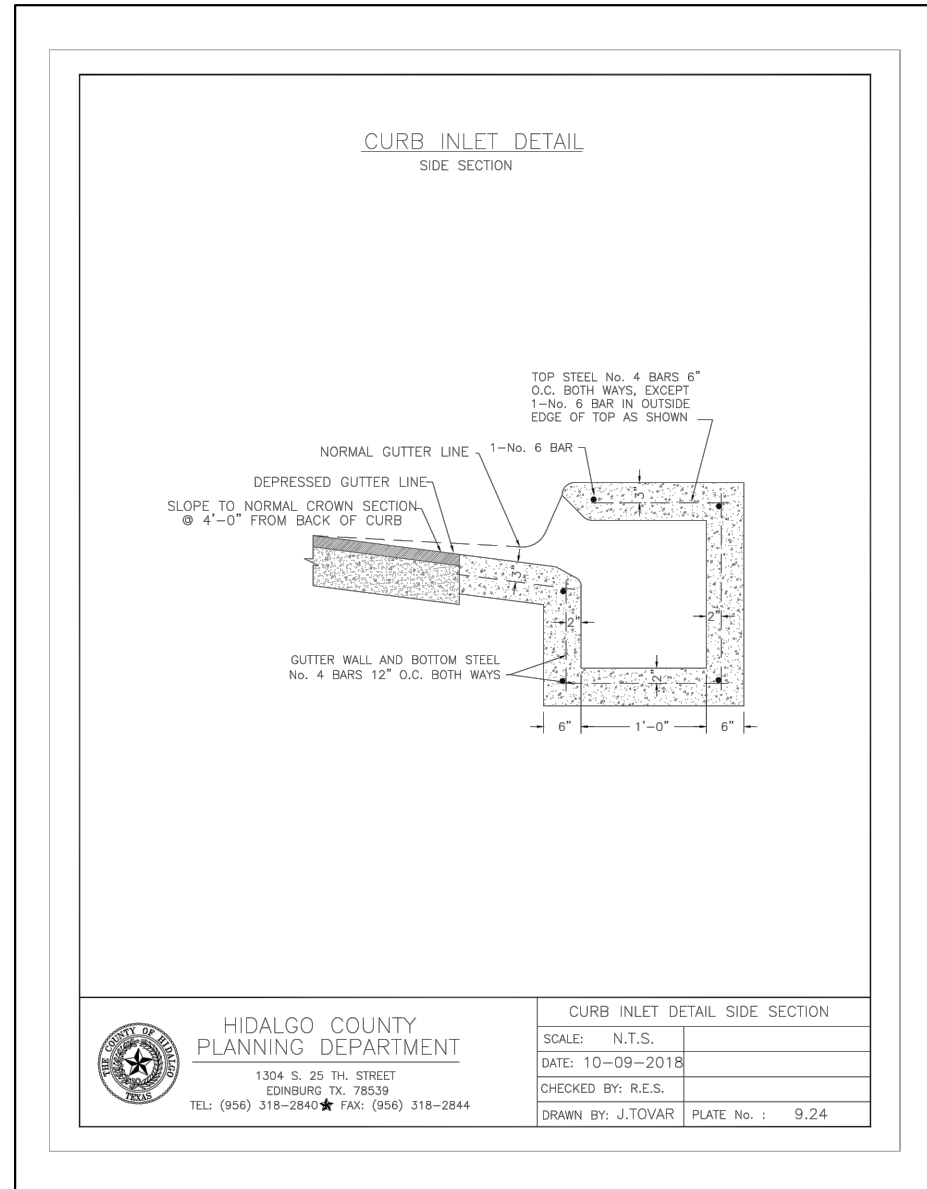
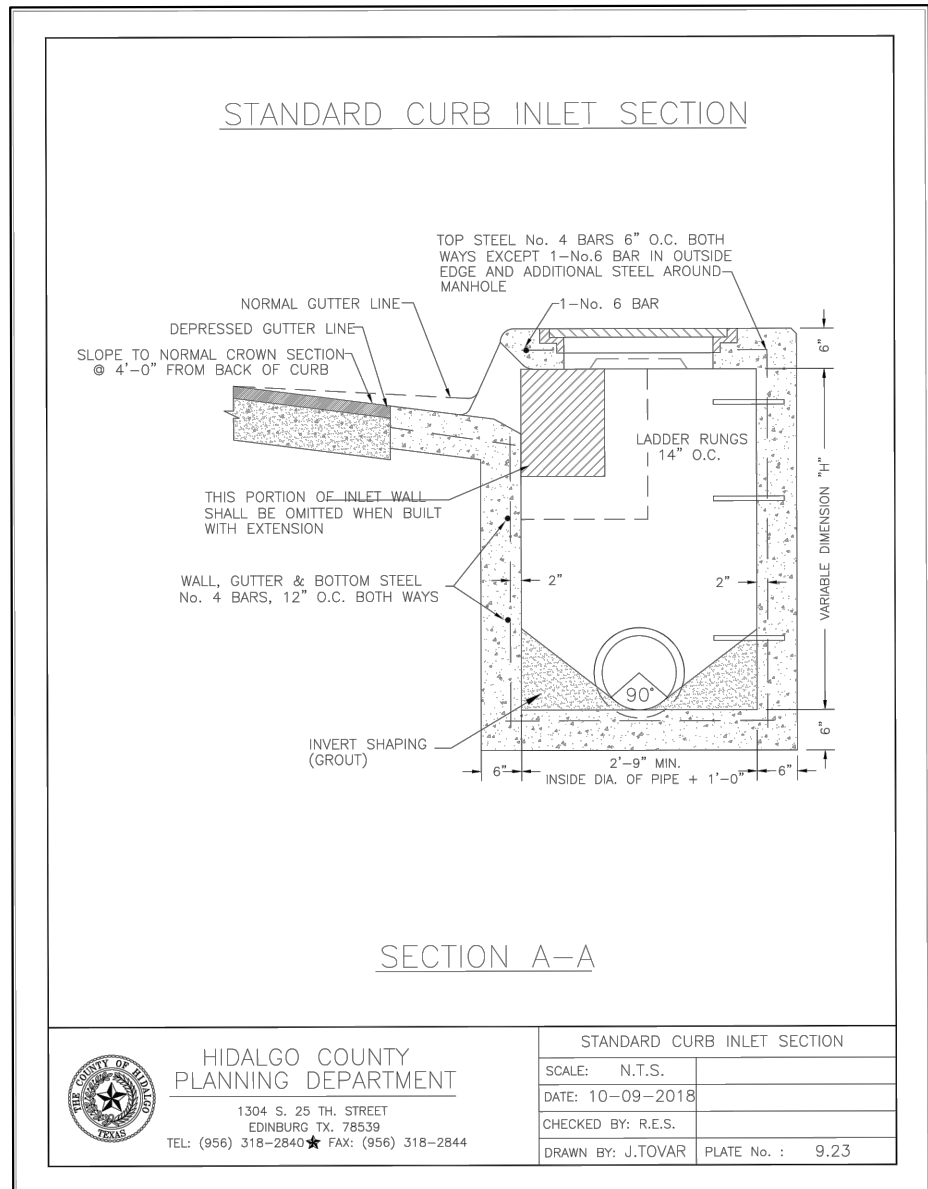
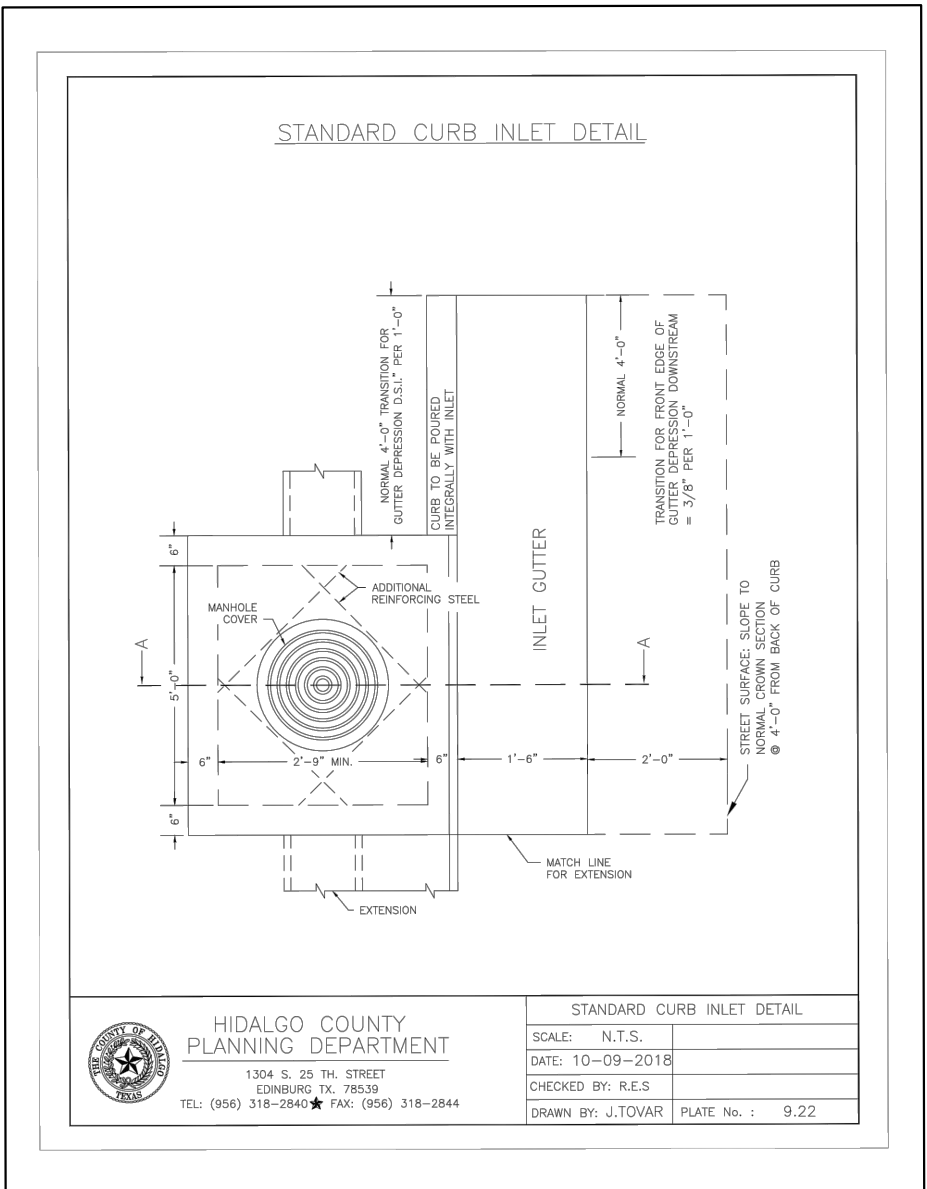
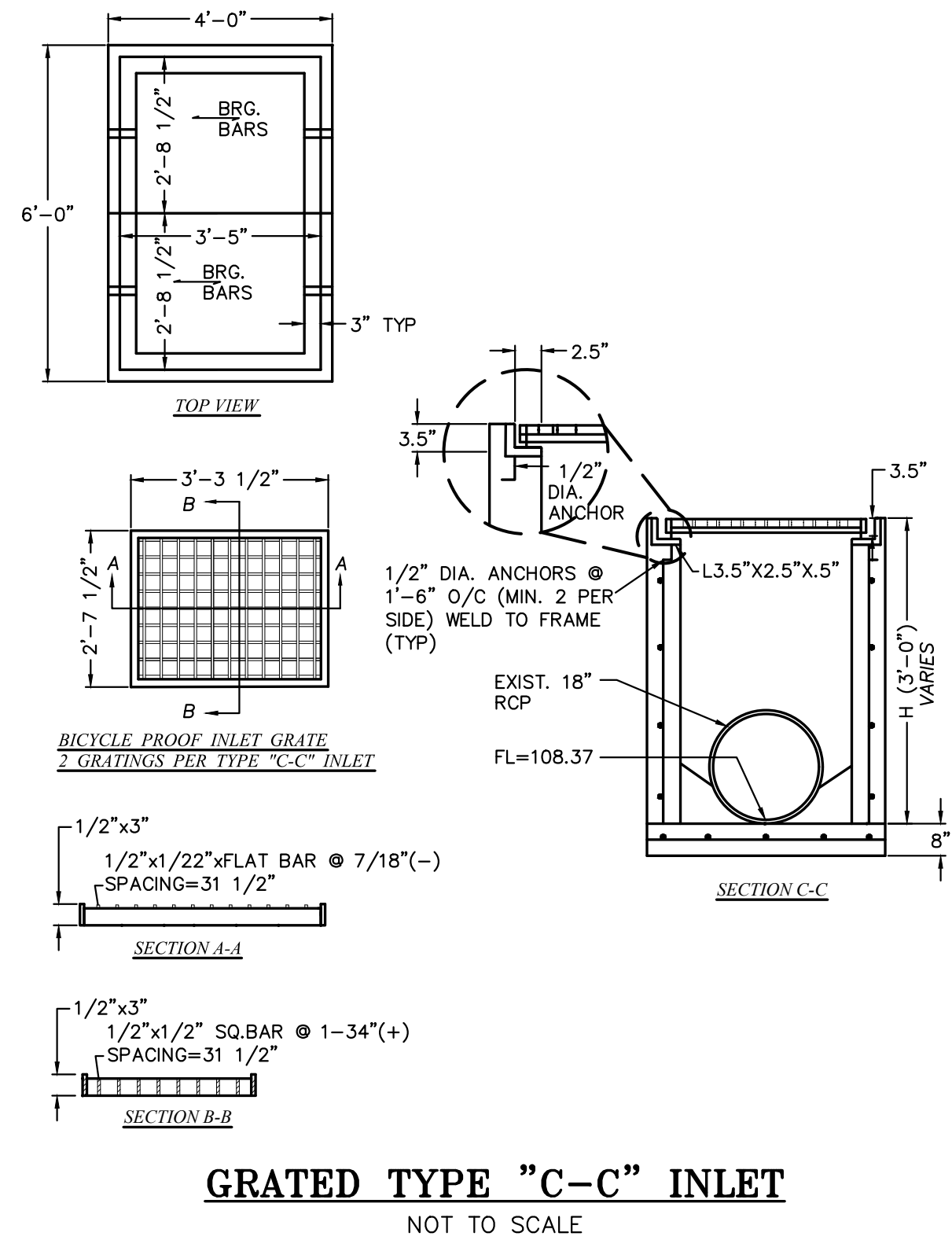
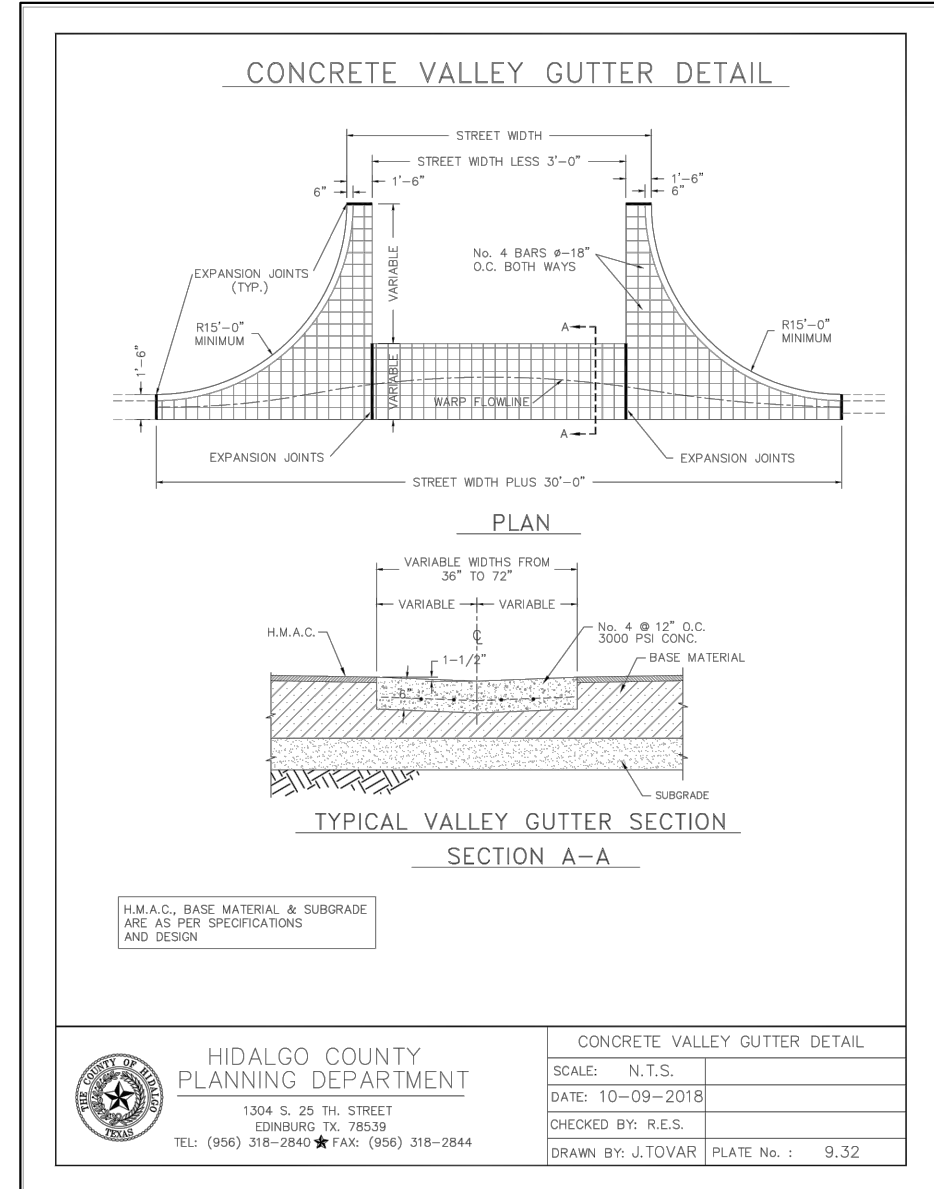
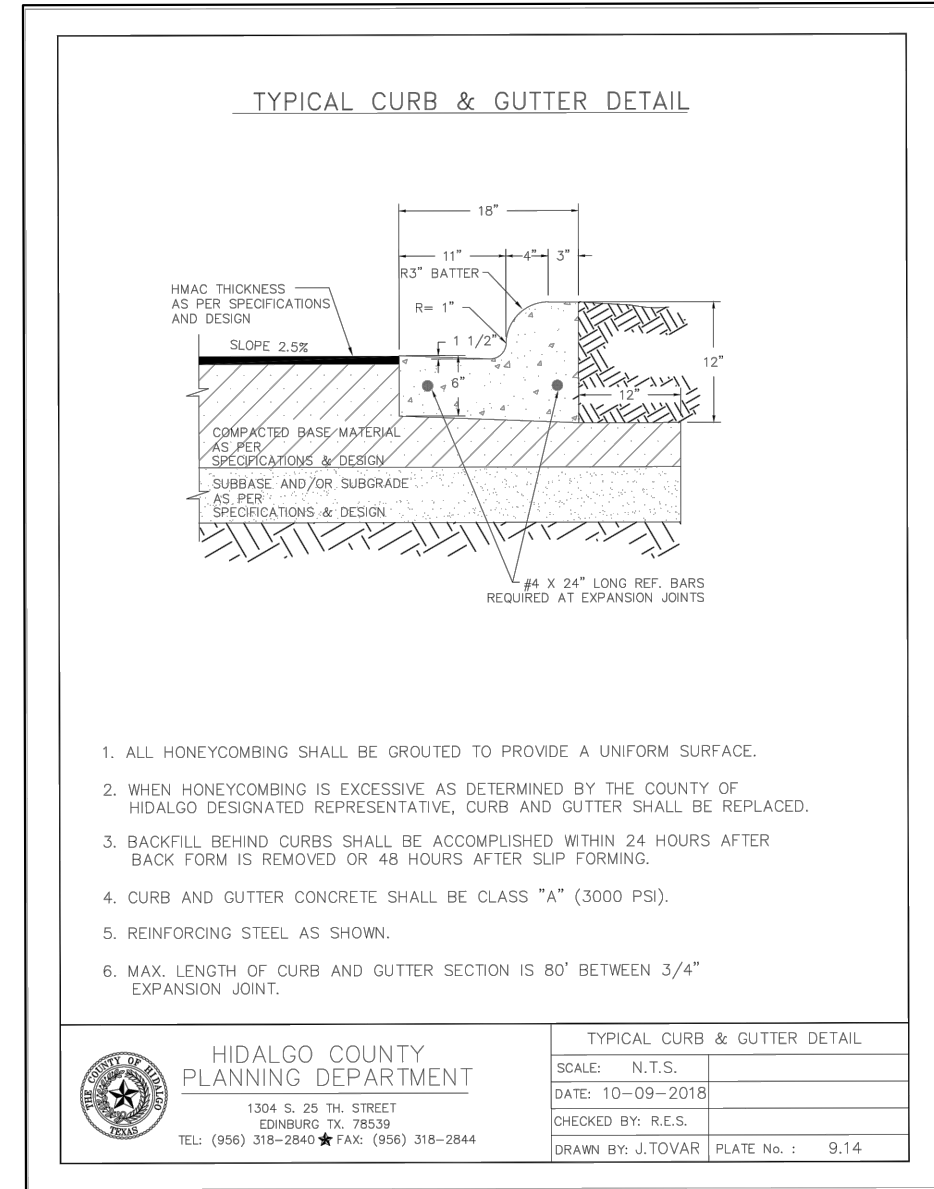
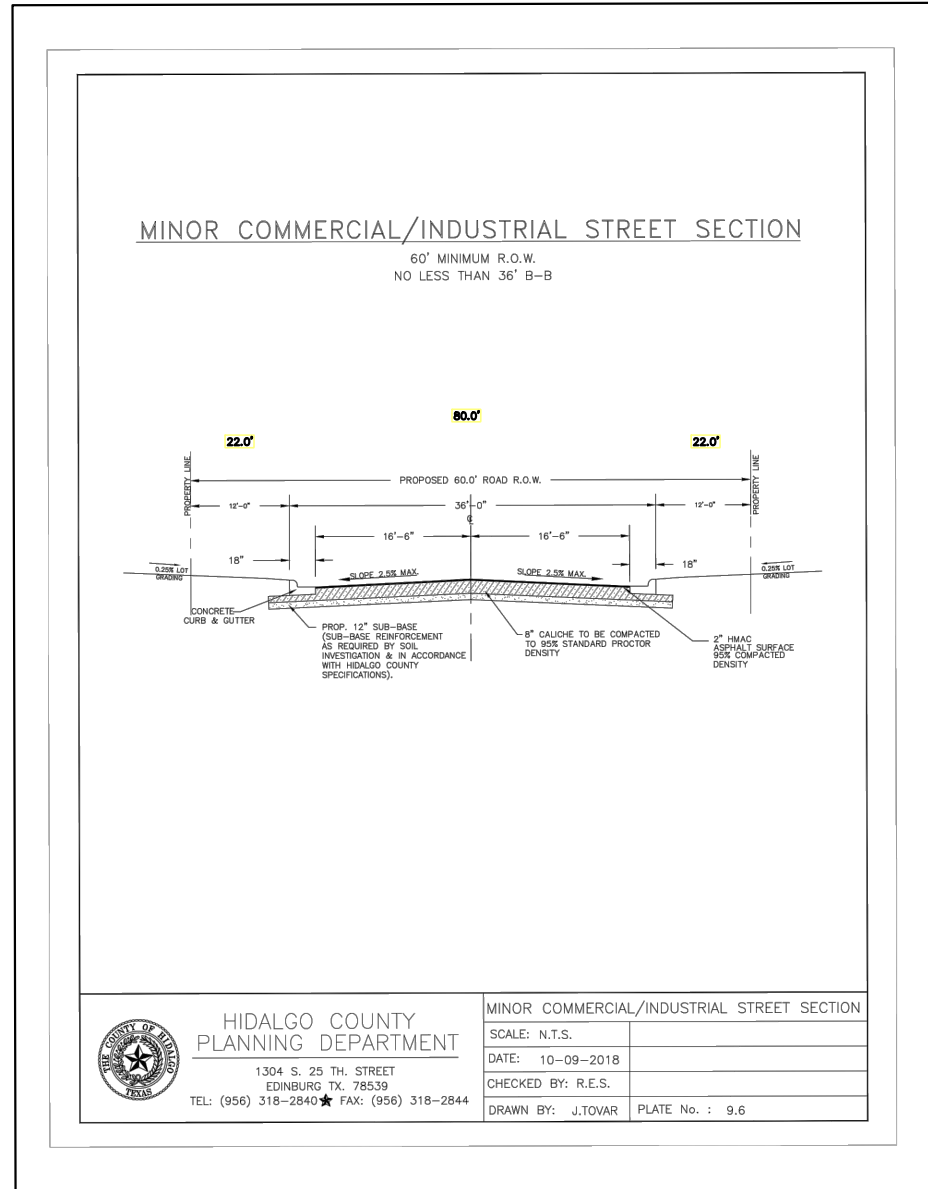
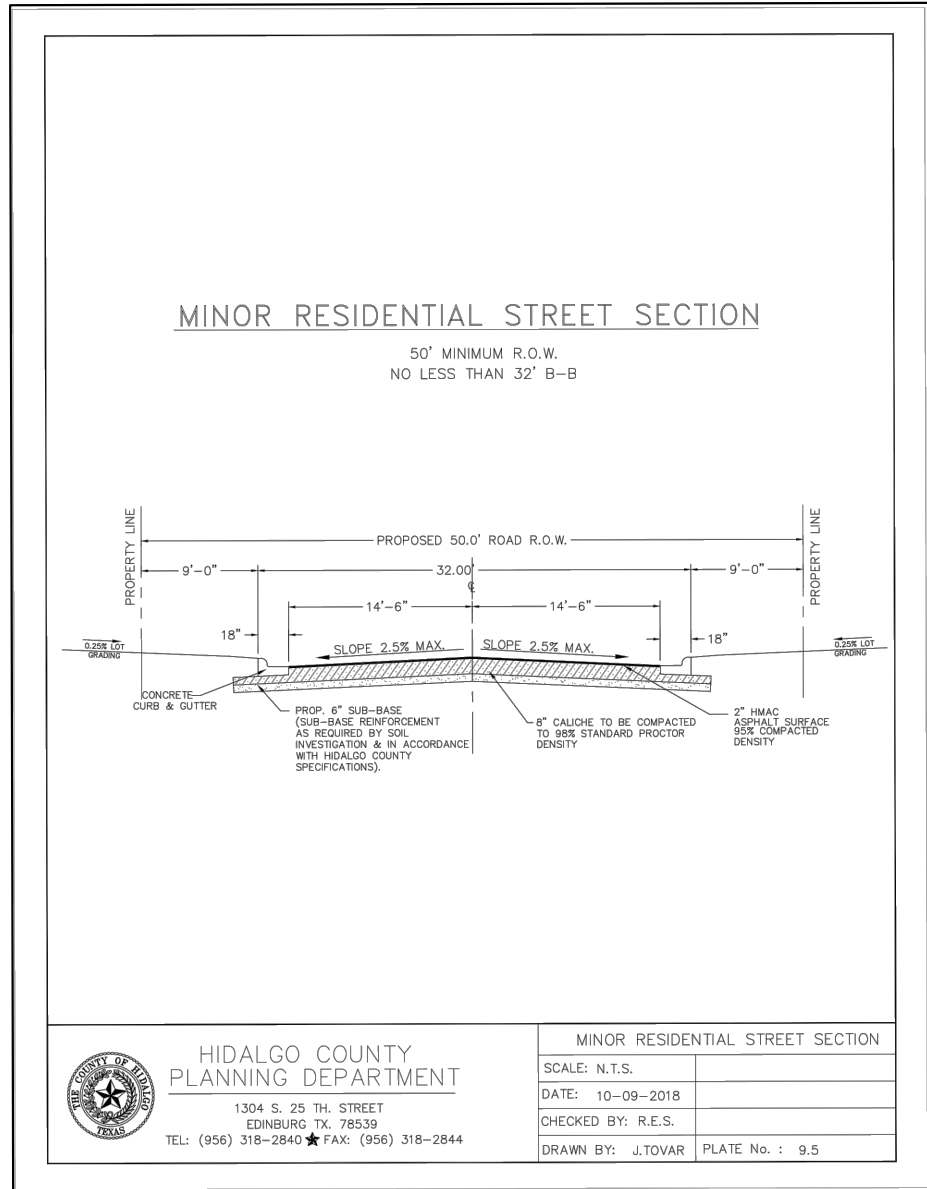
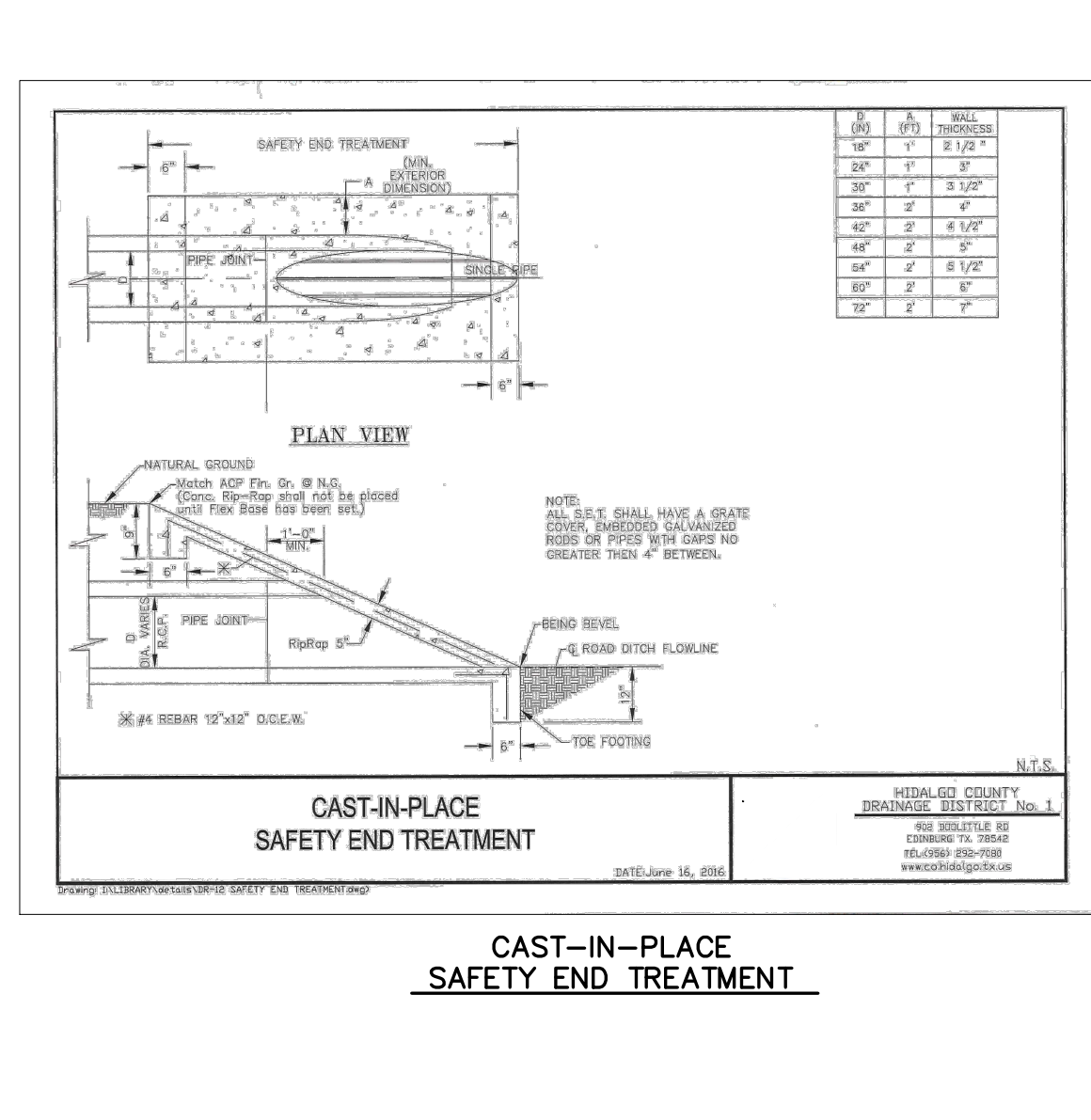
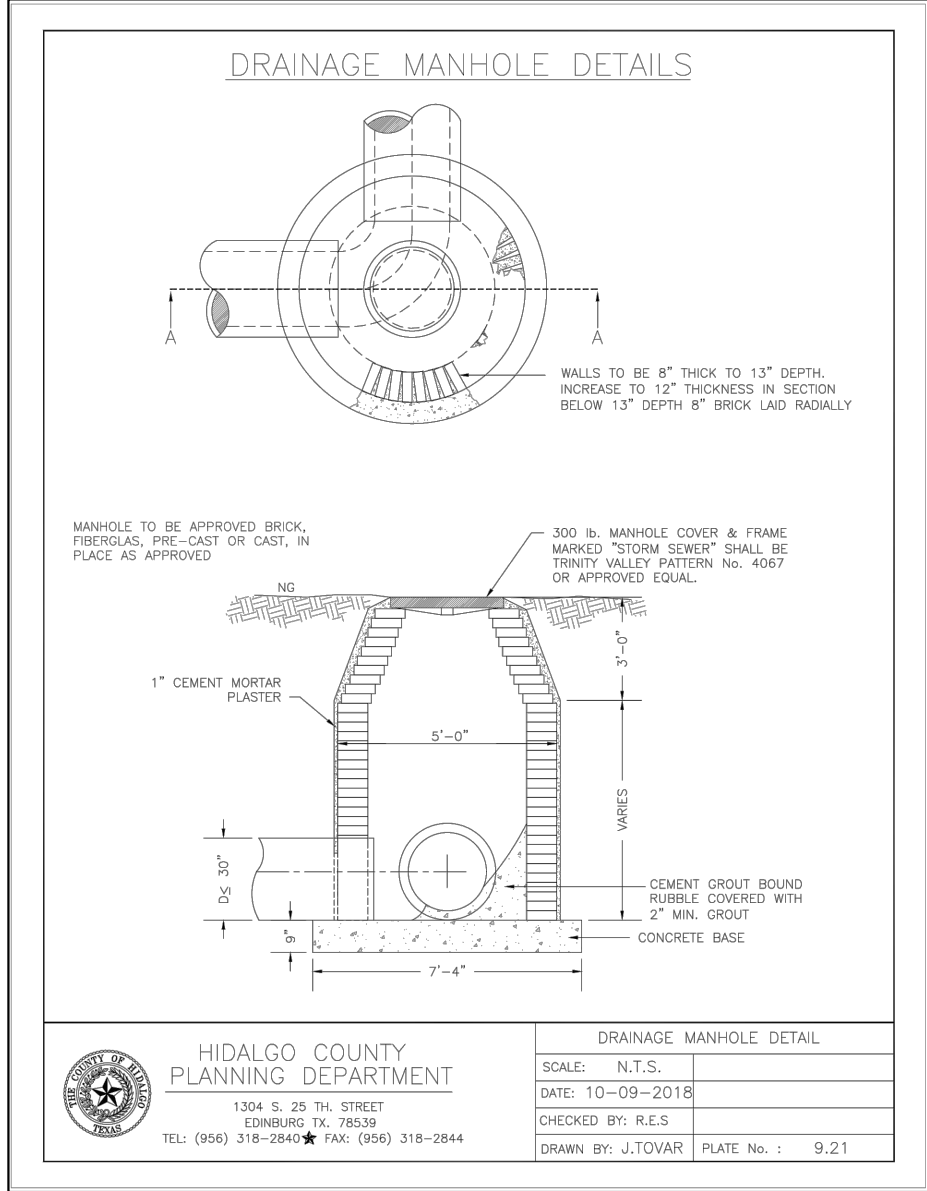
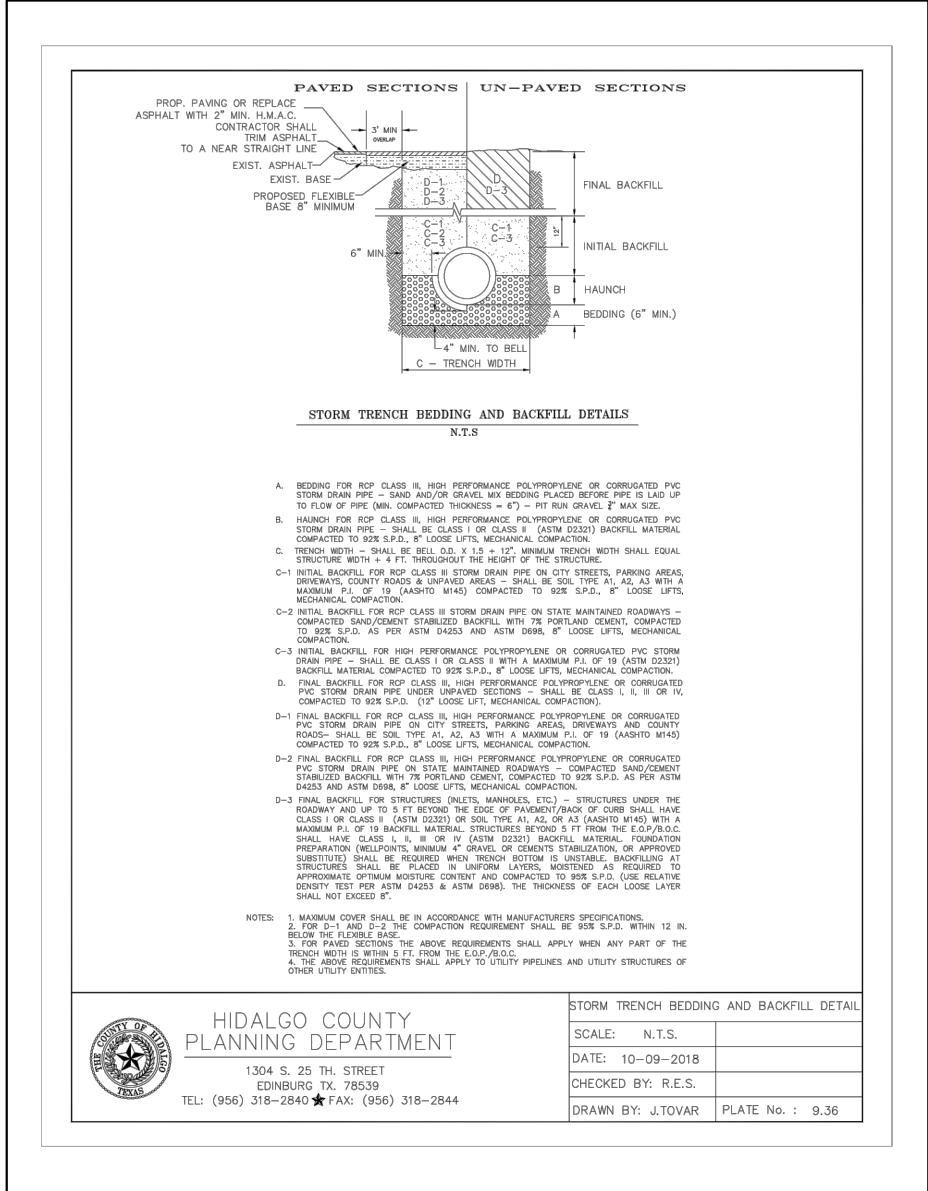
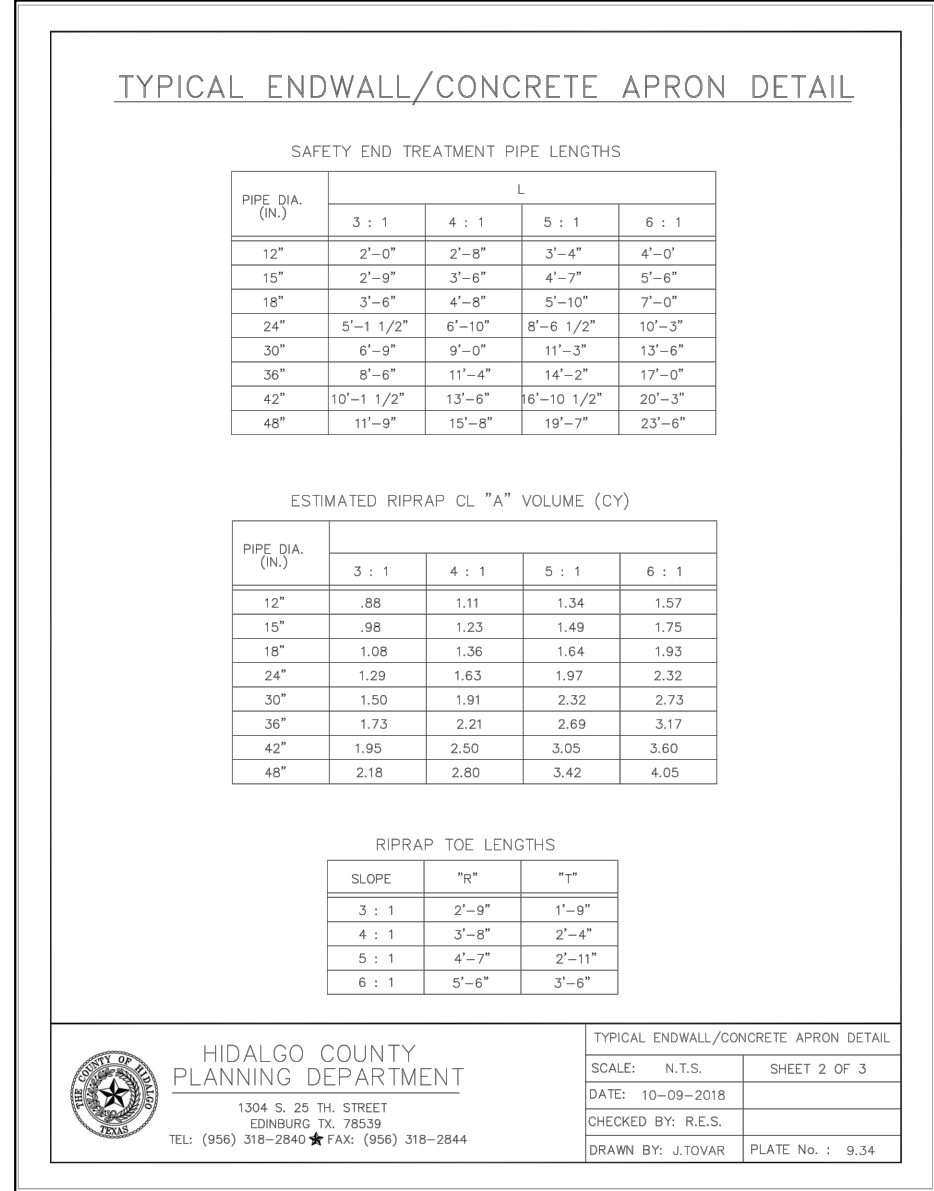
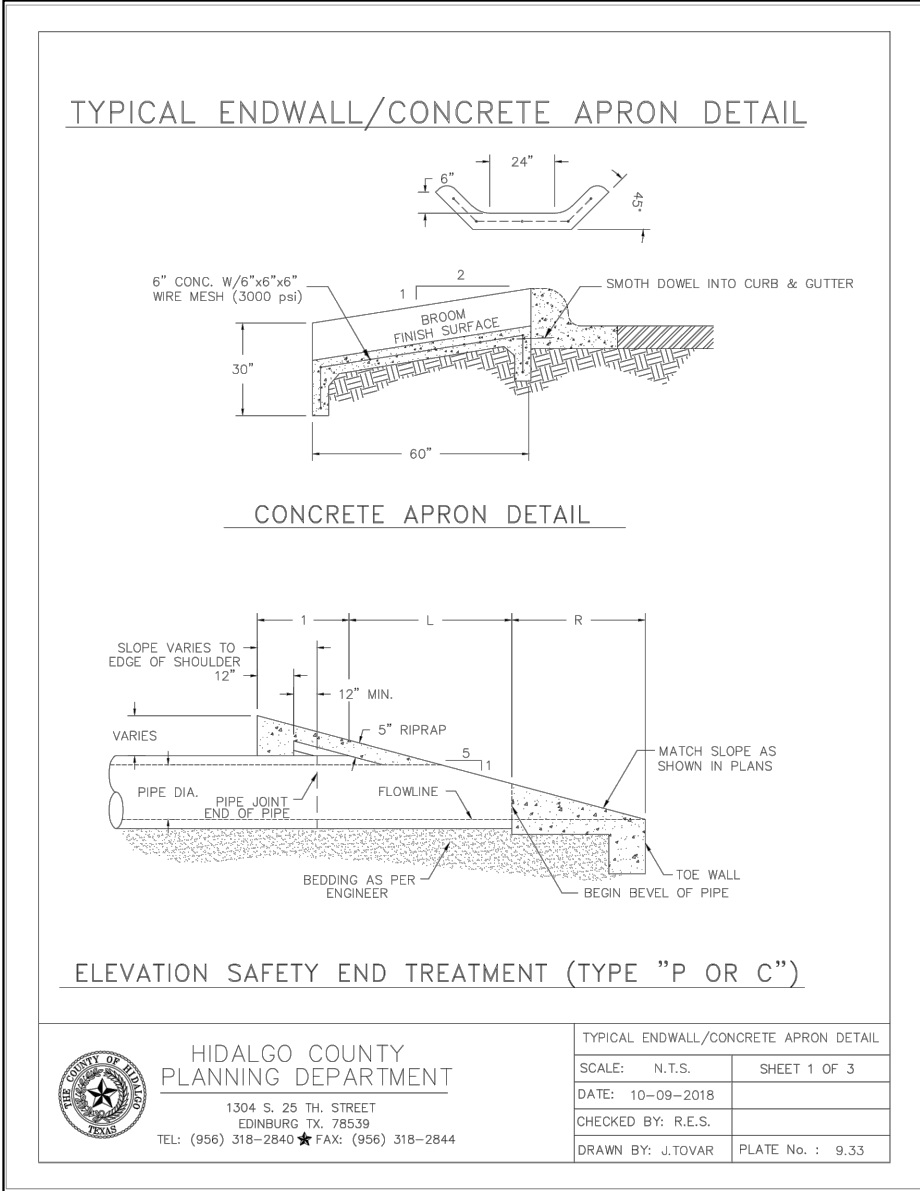
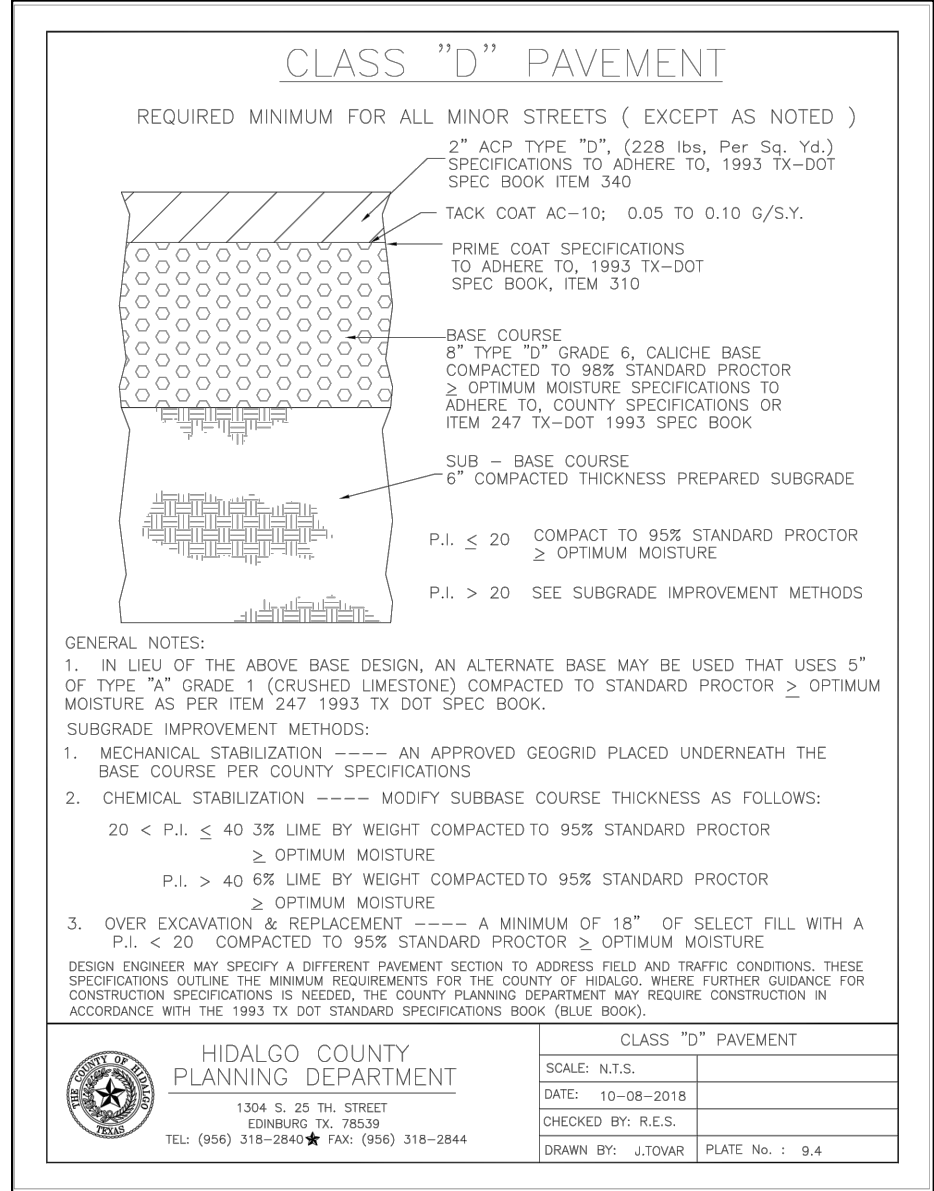


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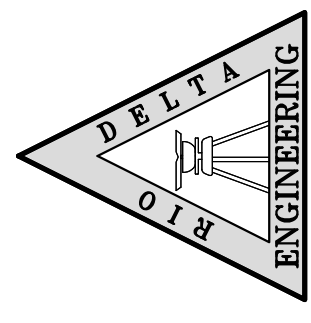
TYPICAL DETAILS
PUEBLO DE PALMAS PH. 29 SUBDIVISION
HIDALGO COUNTY, TEXAS

PROJECT :
ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: G.F.
SCALE: N.T.S.
DATE: APRIL 15, 2026
PROJECT: SUB 25 031
REVISIONS:
PAGE NO: **SHT 5**



RIO DELTA ENGINEERING

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