



Anthony Uresti,
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 9-29-2026

PROPOSED PENCO ESTATES SUBDIVISION, PRECINCT No. 1.

ENGINEER: CRUZ-HOGAN CONSULTANTS, INC. DEVELOPER PENCO RGV ENTERPRISES, LLC

☐ PRELIMINARY APPROVAL ☐ FINAL APPROVAL ☒ FINAL APPROVAL WITH FINANCIAL GUARANTEE ☐ WITH VARIANCE

NUMBER OF LOTS: 12 ☒ *SINGLE FAMILY ☐ *MULTI-FAMILY ☐ COMMERCIAL ☐ INSTITUTIONAL

NUMBER OF STREETLIGHTS: 3

FILLING STATIONS: 1

LOCATION DESCRIPTION: SOUTH OF MILE 5 NORTH ROAD, APPROXIMATELY 500 FEET EAST OF MILE 4 ½ NORTH ROAD.

SUBDIVISION LIES WITHIN THE: ☒ RURAL AREA

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 5-1-2025 PROPERTY LIES WITHIN FLOOD ZONE "B" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY AN ONSITE DETENTION POND.

SEWER SYSTEM: ☒ OSSF'S HAVE BEEN ESCROWED

WATER SERVICE PROVIDER: CITY OF WESLACO

REQUEST FOR FINAL APPROVAL WITH: ☒ CASH DEPOSIT: Amount: **\$31,500.00** For: (9 OSSF'S)

STAFF RECOMMENDS: ☐ Preliminary Approval subject to comments and future recommendations by planning, other departments, and the approval of the City of WESLACO.

☒ Final Approval with financial guarantee

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

STATE OF TEXAS
COUNTY OF HIDALGO
OWNERS DEDICATION, CERTIFICATION AND ATTESTATION

I, GENE PAUL PENA, DAVID DALE PENA AND PABLO G. PENA JR., (S) OF THE 16.09 ACRES OF LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS Penco Estates Subdivision GRANTS AN EASEMENT TO THE COUNTY OF HIDALGO AND THOSE WHO MAY NOW OR HEREAFTER HOLD RIGHTS ESTABLISHED BY THE COUNTY OF HIDALGO AND STATE OF TEXAS. THE STREETS HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR BEEN ACCEPTED BY THE COUNTY AS PUBLIC IMPROVEMENTS. AND THE STREET SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION WITHIN THE SUBDIVISION. THE STREET SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES. THE USE OF THE STREETS, AND EASEMENTS HEREON SHOWN, IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE COUNTY OF HIDALGO, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE COUNTY OF HIDALGO, AND OR THE STATE OF TEXAS AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE S 232.032 AND THAT:

(A.) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

(B.) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;

(C.) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND

(D.) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

GENE PAUL PENA, DATE DAVID DALE PENA DATE
625 S. AIRPORT 625 S. AIRPORT
WESLACO, TEXAS 78596 WESLACO, TEXAS 78596

PABLO G. PENA JR. DATE
625 S. AIRPORT
WESLACO, TEXAS 78596

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED GENE PAUL PENA, PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE, TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS CONTAINED THEREIN ARE TRUE AND CORRECT, AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED DAVID DALE PENA, PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE, TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS CONTAINED THEREIN ARE TRUE AND CORRECT, AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED PABLO G. PENA JR., PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE, TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS CONTAINED THEREIN ARE TRUE AND CORRECT, AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

PAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

CERTIFICATION OF HIDALGO & CAMERON COUNTIES IRRIGATION DISTRICT NO. 9:

THIS PLAT IS APPROVED BY HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT NO. 9

DATE THIS _____ DAY OF _____, 2025

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO AND CAMERON COUNTIES IRRIGATION DISTRICT No. 9 RIGHT-OF-WAYS AND/OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF H.C. CID #9.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- H.C.ID #9 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER SYSTEM TO ANY LOT WITHIN THIS SUBDIVISION, AS WELL, H.C.ID #9 WILL NOT BE RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITHIN THIS SUBDIVISION. IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- H.C.ID #9 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.
- H.C.ID #9 EXCLUSIVE EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, FENCES, SHRUBS, TREES, AND OTHER PLANTINGS AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

GENERAL MANAGER
HIDALGO & CAMERON
COUNTIES IRRIGATION
DISTRICT NO. 9

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF Penco Estates Subdivision WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____

ENVIRONMENTAL HEALTH DIVISION MANAGER

DATE

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE S 232.028(a)
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF _____ WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____

HIDALGO COUNTY JUDGE

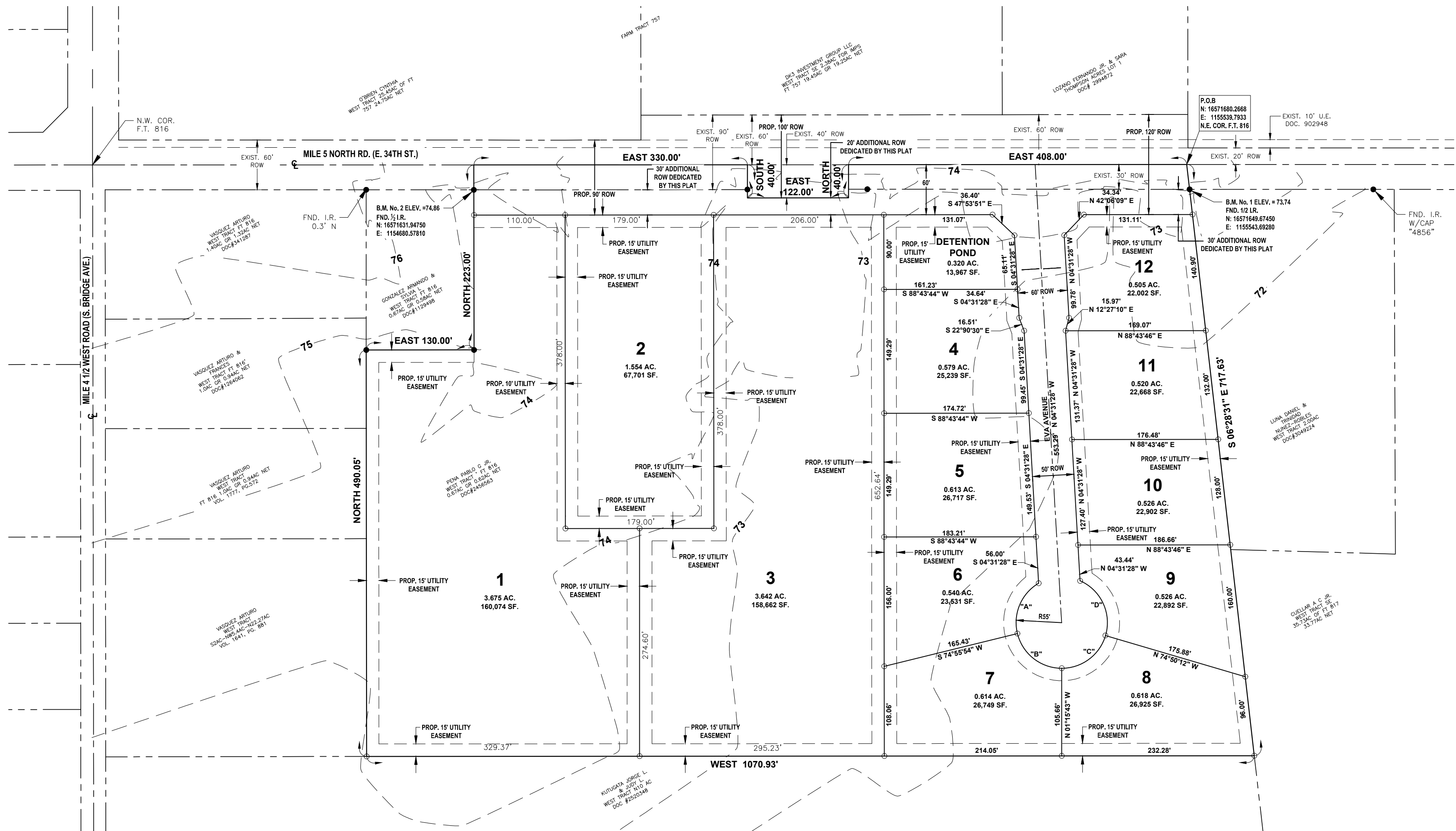
DATE

HIDALGO COUNTY CLERK

DATE

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: GENE PAUL PENA	625 S. AIRPORT	WESLACO, TX. 78596	(956) 968-8525
OWNER: DAVID DALE PENA	625 S. AIRPORT	WESLACO, TX. 78596	(956) 968-8525
OWNER: PABLO G. PENA JR.	625 S. AIRPORT	WESLACO, TX. 78596	(956) 968-8525
ENGINEER: ROLANDO CRUZ, PE	605 E. VIOLET AVE. STE. 1	MCALLEN, TX. 78504	(956) 682-5022
SURVEYOR: REYNALDO ROBLES	P.O. BOX 476	WESLACO, TX. 78599	(956) 968-2422



PENCO ESTATES SUBDIVISION

BEING A 16.09 ACRES OF LAND OUT OF FARM TRACT 816, THE WEST AND ADAMS TRACTS SUBDIVISION HIDALGO COUNTY, TEXAS AS RECORDED IN VOL-2, PG. 34-37 MAP RECORDS OF HIDALGO COUNTY, TEXAS

CURVE	DELTA	CURVE DATA		
		RADIUS	TANGENT	LENGTH
"A"	73°34'22.08"	55.00'	41.12'	70.62'
"B"	76°10'58.08"	55.00'	43.12'	73.14'
"C"	73°34'29.64"	55.00'	41.13'	70.63'
"D"	82°35'14.28"	55.00'	48.31'	79.28'

GENERAL NOTES:

- THIS SUBDIVISION IS IN FLOOD ZONE "B".
ZONE "B" (AREAS OF MINIMAL FLOOD) AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEARS FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE FLOOD.
COMMUNITY-PANEL NUMBER: 480334 0525 B
EFFECTIVE DATE: JANUARY 2, 1981
- FINISHED FLOOR ELEVATIONS ESTABLISHED MUST BE HIGHER THAN ELEVATION 73.00' (NOVD 28) OR 18" ABOVE CENTER LINE OF STREET, WHICHEVER IS GREATER, MEASURED FROM THE CENTER OF THE LOT. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATION. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION. ALL FILL FOR LOTS WILL BE CONSTRUCTED AT BUILDING PERMIT STAGE.
- SETBACKS: FRONT SETBACK LOTS 1-3.....50.00 FEET
FRONT SETBACK LOTS 4-12.....25.00 FEET
REAR.....15.00 FEET
SIDE.....8.00 FEET
CUL-DE-SAC.....15.00 FEET
OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
B.M. No.1 ELEV. = 73.74 (NAVD 88) DESCRIPTION: FOUND ½ IRON ROD ON THE SOUTH RIGHT-OF-WAY LINE OF SAID MILE 5 NORTH ROAD.
B.M. No.2 ELEV. = 74.86 (NAVD 88) DESCRIPTION: FOUND ½ IRON ROD ON THE SOUTH RIGHT-OF-WAY OF SAID MILE 5 NORTH ROAD.
- IN ACCORDANCE WITH HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 22,640 CUBIC FEET OR 0.63 ACRE-FEET OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO. 2 FOR STORM SEWER IMPROVEMENTS.)
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS ARE BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS PLAT.
- NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY DRAINAGE SWALE EASEMENT. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION OF THE DRAINAGE SWALE. THE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SWALE.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 15' MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- 5' SIDEWALK ALONG MILE 5 NORTH ROAD (E. 34TH ST.) BY THE DEVELOPER AND IN FRONT OF EACH LOT BY THE OWNER AT BUILDING PERMIT STAGE.
- STREET LIGHTS TO BE INSTALLED BY DEVELOPER, AS PER HIDALGO COUNTY REGULATIONS.
- NO ACCESS FROM LOT 12 AND DETENTION POND TO MILE 5 NORTH ROAD (E. 34TH ST.).
- ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING AND OSSF ON ALL LOTS.
A. OSSF SYSTEM IS BEING DESIGNED FOR DISPOSAL FOR DOMESTIC SEWAGE ONLY.
B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.
C. OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
- SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXPERTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAIN FIELD SYSTEM.
- APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
- A SPECIAL DESIGN IS REQUIRED FOR ALL OSSF SYSTEMS LOCATED WITHIN A DESIGNATED FLOOD ZONE. THE DESIGN SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS:
1. ANCHORING OF SEPTIC TANK(S)
2. BACK FLOW VALVES
3. SEPTIC TANK COVER SHALL BE ABLE TO SEAL.

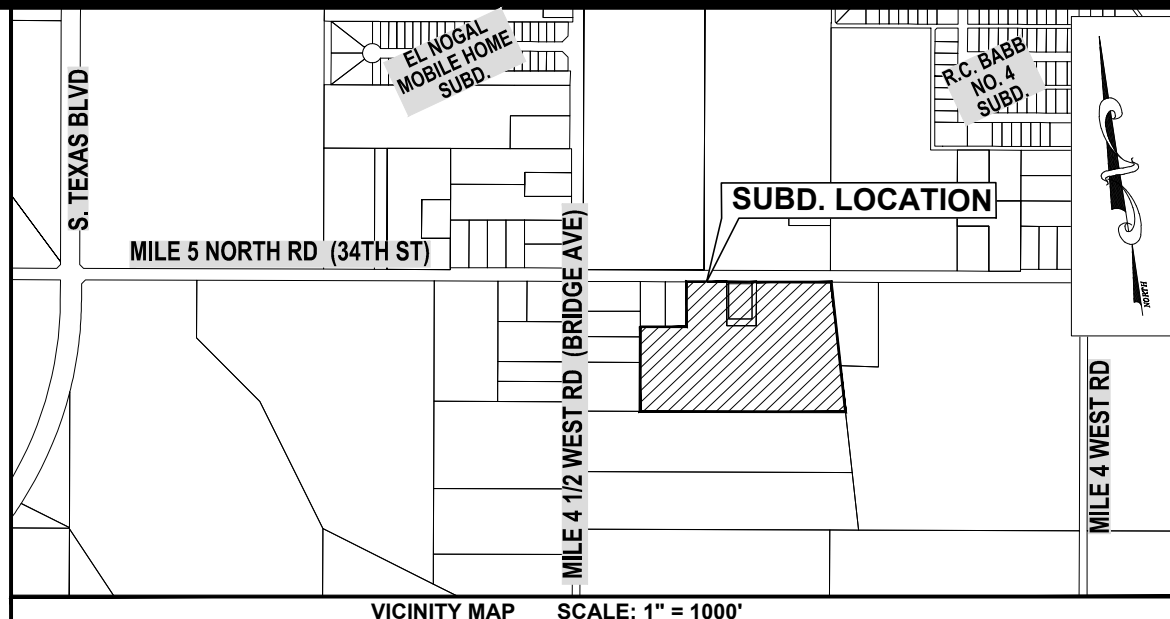
- GENE PAUL PENA, DAVID DALE PENA AND PABLO G. PENA JR., SUBDIVIDERS OF PENCO ESTATES SUBDIVISION, RETAINS A BLANKET EASEMENT UPON EACH LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBE ON SHEET NO. 2 OF THIS PLAT.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROAD SIDE DITCH AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPROX. S. COUNTY CONSTRUCTION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPANCY AND EASEMENT.
- THE SUBDIVISION WILL BE PRIVATE. THE STREETS, GATES, DETENTION POND, ETC. WILL BE MAINTAINED BY AN HOA OR THE OWNERS OF THE LOTS AND NOT THE COUNTY OF HIDALGO.
- COMMON OR DETENTION AREAS, ANY PRIVATE STREETS/ALLEYS OR DRIVES AND/OR GATES MUST BE MAINTAINED BY THE PROPERTY OWNERS' HOA AND NOT THE COUNTY OF HIDALGO.
- DEVELOPER/HOMEOWNERS ASSOCIATION (HOA)/OWNER, THEIR SUCCESSORS, AND ASSIGNEES AND NOT THE COUNTY OF HIDALGO SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
- THE HOMEOWNERS ASSOCIATION AND/OR EVERY LOT OWNER SHALL HOLD THE COUNTY OF HIDALGO, HARMLESS AND INDEMNIFY COUNTY FROM ANY AND ALL CLAIMS RELATING TO THE CONDITION OR ACCESSIBILITY OF THE PRIVATE STREETS. THE LOT OWNERS SHALL BE RESPONSIBLE FOR THE COSTS TO MAINTAIN THE PRIVATE STREETS, PRIVATE SIDEWALKS, AND PRIVATE STREETLIGHTS. ANY REQUEST FOR DEDICATION OF THE PRIVATE ROADS TO PUBLIC USE IF APPROVED SHALL CAUSE CONSTRUCTION SPECIFICATIONS TO MEET COUNTY REQUIREMENTS.
- HOMEOWNERS ASSOCIATION COVENANTS FOR PENCO ESTATES SUBDIVISION AS RECORDED UNDER DOCUMENT NO. _____-HCOB
- AS PER DECLARATION OF COVENANTS AND CONDITIONS AND RESTRICTIONS FOR PENCO ESTATES SUBDIVISION RECORDED UNDER DOCUMENT NO. _____, HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE COUNTY OF HIDALGO SHALL BE RESPONSIBLE OF INSTALLATION MAINTENANCE AND OTHER REQUIREMENTS INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION POND. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF COUNTY OF HIDALGO SHALL BE NULL AND VOID.
- THE DETENTION POND AND ANY PRIVATE STREETS/SERVICE DRIVES ETC. SHALL BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNERS ASSOCIATION PENCO ESTATES SUBDIVISION HOMEOWNERS ASSOCIATION UPON CONVEYANCE OF TITLE TO THE SAME. THEIR SUCCESSORS AND ASSIGNEES AND NOT BY THE COUNTY OF HIDALGO. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERECTED IN THE DETENTION POND WHICH SHALL BE USED EXCLUSIVELY AS DETENTION AREA. AFTER THE DETENTION POND TRANSFER OF TITLE TO PENCO ESTATES SUBDIVISION HOMEOWNERS ASSOCIATION, THE SUBDIVISION LOT OWNER'S PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY PENCO ESTATES SUBDIVISION HOMEOWNERS ASSOCIATION. FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE COUNTY OF HIDALGO MAY BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES PRIOR TO THE IMPOSITION OF ANY LIEN THE COUNTY SHALL SERVE A LIEN WITH WRITTEN NOTICE REQUIREMENTS. THE SPECIFIC AND EXCLUSIVE USE OF THE DETENTION POND THEN OWNER'S MAINTENANCE OBLIGATION AND THE CONSEQUENCES OF A DEED RESTRICTION SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION RECORDED IN INSTRUMENT NO. _____ OFFICIAL RECORDS HIDALGO COUNTY, TEXAS.
- DETENTION POND IS FOR DETENTION PURPOSES ONLY WILL BE PRIVATE AND MAINTAINED BY THE HOA/PROPERTY OWNERS AND NOT THE COUNTY OF HIDALGO.
- DETENTION POND IDENTIFIED AS DETENTION POND SHALL BE UTILIZED AND DESIGNATED AS STORM SEWER DETENTION FOR PENCO ESTATES SUBDIVISION.

INDEX TO SHEET OF PENCO ESTATES SUBDIVISION

SHEET 1: HEADING, LOCATION MAP AND ETJ; PRINCIPLES CONTACTS; MAP; LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS DEDICATION, CERTIFICATION, ATTESTATION, ENGINEERING CERTIFICATION CITY; APPROVAL CERTIFICATE; CITY OF WESLACO CERTIFICATE; HIDALGO COUNTY JUDGE; COUNTY CLERK'S RECORDING CERTIFICATE; IRRIGATION DISTRICT No.1, H.C.D.D. No.1; INDEX.

SHEET 2: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND SANITARY SEWER SYSTEM, ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION);

SHEET 3: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE;



PENCO ESTATES SUBDIVISION IS LOCATED WITHIN HIDALGO COUNTY PRECINCT NO. 1 ON THE SOUTHEAST SIDE OF HIDALGO COUNTY. THE SUBDIVISION IS LOCATED ON THE INTERSECTION OF MILE 5 NORTH ROAD (34TH ST.) AND EAST OF MILE 4 1/2 WEST ROAD APPROXIMATELY 460 FEET. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF WESLACO ACCORDING TO THE MAP IN THE OFFICE OF THE SECRETARY OF THE CITY WESLACO (POPULATION 42,233). PENCO ESTATES SUBDIVISION LIES APPROXIMATELY 1.080 FEET SOUTH OF THE CITY LIMITS OF WESLACO AND LIES WITHIN THE CITY 3.5 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE 42.028

METES & BOUNDS

BEING 16.09 ACRES OF LAND SITUATED IN HIDALGO COUNTY, TEXAS AND BEING OUT OF FARM TRACT 816 OF THE WEST AND ADAMS TRACTS SUBDIVISION, AS PER MAP RECORDED IN VOLUME 2, PAGES 34-37 OF THE HIDALGO COUNTY MAP RECORDS, AND SAID 16.09 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT ON THE CENTERLINE OF MILE 5 NORTH ROAD (E. 34TH STREET) FOR THE NORTHEAST CORNER OF SAID FARM TRACT 816 AND THE NORTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, SOUTH 6°28'31" EAST, WITH THE EAST LINE OF SAID FARM TRACT 816 AND THE WEST LINE OF FARM TRACT 817, PASSING AT A DISTANCE OF 30.19 FEET A 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "R&A" SET FOR REFERENCE ON THE SOUTH RIGHT-OF-WAY LINE OF SAID MILE 5 NORTH ROAD, AND CONTINUING FOR A TOTAL DISTANCE OF 717.63 FEET TO A POINT FOR THE SOUTHEAST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, WEST, 1070.93 FEET WITH THE NORTH LINE OF A 10.00 ACRE TRACT DESCRIBED IN DOCUMENT #2520348 OF THE HIDALGO COUNTY OFFICIAL RECORDS, TO A POINT FOR THE SOUTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, NORTH, 490.05 FEET WITH THE EAST LINE OF A 2.00 ACRE TRACT DESCRIBED IN VOLUME 1641, PAGE 881, A 1.00 ACRE TRACT DESCRIBED IN VOLUME 1777, PAGE 572 AND A 1.00 ACRE TRACT DESCRIBED IN DOCUMENT #1264082 OF THE HIDALGO COUNTY OFFICIAL RECORDS, TO A 1/2-INCH IRON ROD FOUND FOR THE MOST WESTERLY NORTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, EAST, 130.00 FEET WITH THE SOUTH LINE OF A TRACT OF LAND DESCRIBED IN DOCUMENT #1129498 OF THE HIDALGO COUNTY OFFICIAL RECORDS, TO A 1/2-INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID TRACT DESCRIBED IN DOCUMENT #1129498 AND AN INSIDE CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, NORTH, WITH THE WEST LINE OF A 0.67 ACRE TRACT DESCRIBED IN DOCUMENT #2456563 OF THE HIDALGO COUNTY OFFICIAL RECORDS, AT A DISTANCE OF 193.00 FEET PAST A 1/2-INCH IRON ROD FOUND FOR REFERENCE OF SOUTH RIGHT-OF-WAY LINE OF MILE 5 NORTH ROAD AND CONTINUING FOR A TOTAL DISTANCE OF 222.00 FEET TO A POINT FOR THE NORTHWEST CORNER OF SAID 0.67 ACRE TRACT AND THE MOST NORTHERLY NORTHWEST CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, EAST, 330.00 FEET WITH THE NORTH LINE OF SAID FARM TRACT 816, THE SOUTH LINE OF FARM TACT 757 AND THE CENTERLINE OF SAID MILE 5 NORTH ROAD TO A POINT FOR A CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, SOUTH, WITH THE WEST LINE OF A 0.2625 ACRE TRACT DESCRIBED IN DOCUMENT #2392022 OF THE HIDALGO COUNTY OFFICIAL RECORDS, PASSING AT A DISTANCE OF 30.00 FEET A 1/2-INCH IRON ROD FOUND FOR REFERENCE ON THE SOUTH RIGHT-OF-WAY LINE OF SAID MILE 5 NORTH ROAD, AND CONTINUING FOR A TOTAL DISTANCE OF 40.00 FEET TO AN INSIDE CORNER OF SAID TRACT HEREIN DESCRIBED;

TO A POINT FOR, THENCE, EAST, 122.00 FEET, WITH SOUTH R.O.W. LINE OF SAID MILE 5 NORTH ROAD FOR AN INSIDE CORNER OF SAID TRACT HEREIN DESCRIBED;

TO A POINT FOR, THENCE, NORTH, WITH THE WEST LINE OF SAID 0.2625 ACRE TRACT, 40.00 FEET TO A POINT FOR THE CORNER OF SAID 0.2625 ACRE TRACT AND A CORNER OF SAID TRACT HEREIN DESCRIBED;

THENCE, EAST, 408.00 FEET WITH THE NORTH LINE OF SAID FARM TRACT 816, THE SOUTH LINE OF FARM TRACT 757 AND THE CENTERLINE OF SAID MILE 5 NORTH ROAD TO THE POINT OF BEGINNING AND CONTAINING 16.09 ACRES OF LAND MORE OR LESS.

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, REYNALDO ROBLES, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF MCALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

REYNALDO ROBLES
REGISTERED PROFESSIONAL
LAND SURVEYOR
NO. 4032
WESLACO, TEXAS 78599

DATE

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, ROLANDO CRUZ, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT, AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF MCALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

ROLANDO CRUZ, P.E. CFM
REGISTERED PROFESSIONAL ENGINEER
NO. 54599
MCALLEN, TEXAS 78504

DATE



ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

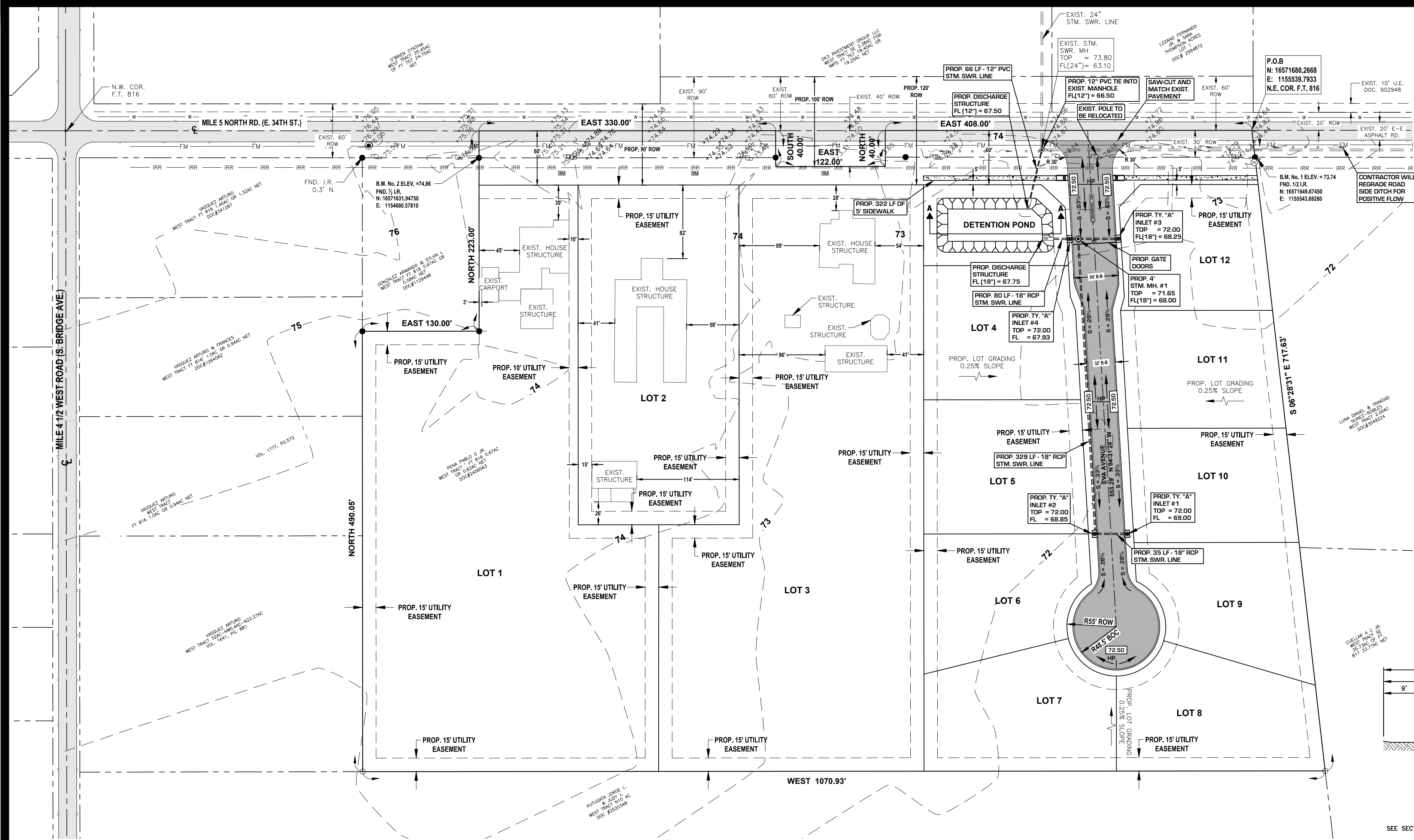
BY: _____ DEPUTY

PENCO ESTATES SUBDIVISION
DATE OF PREPARATION: MARCH 26, 2025



CRUZ-HOGAN
ENGINEERS & PLANNERS

McAllen Harlingen Weslaco
TPE FIRM REGISTRATION NO: F-4860



DRAINAGE REPORT PENCO ESTATES SUBDIVISION

PROJECT LOCATION:
THE PROPOSED PENCO ESTATES SUBDIVISION IS A 16.09 ACRE OF LAND BEING OUT OF FARM TRACT 816, THE WEST AND ADAMS TRACT SUBDIVISION, HIDALGO COUNTY, TEXAS AS PER MAP RECORDED IN VOLUME 2, PAGES 34-37, OF THE HIDALGO COUNTY MAP RECORDS. THIS SUBDIVISION IS LOCATED ON MILE 5 NORTH ROAD APPROXIMATELY 500 FEET EAST OF MILE 4 / WEST ROAD (BRIDGE AVE.) WESLACO, TEXAS. THE PROPOSED SUBDIVISION WILL CONSIST OF 12 RESIDENTIAL LOTS.

FLOOD PLAIN:
THIS TRACT OF LAND IS IN ZONE "B" ACCORDING TO FIRM FLOOD INSURANCE RATE MAP COMMUNITY PANEL 480334 0525 B, DATED JANUARY 2, 1981. ZONE "B" ARE AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD (MEDIUM SHADING).

SOIL CONDITIONS:
ACCORDING TO THE SOIL SURVEY REPORT FOR HIDALGO COUNTY BY THE U.S.D.A. SOIL CONSERVATION SERVICE, THE SOILS FOR THIS SUBDIVISION ARE (28) HIDALGO SANDY CLAY LOAM, HIDALGO CLAY LOAM HAS A PLASTICITY INDEX BETWEEN 11 AND 23. THIS SOIL IS WELL DRAINED, SURFACE RUNOFF IS SLOW, AND PERMEABILITY IS MODERATE, WITHIN HYDROLOGICAL GROUP 8 WITH NATURAL SLOPES OF 0 TO 1 PERCENT. THE AVAILABLE WATER CAPACITY IS HIGH.

EXISTING CONDITIONS:
EXISTING ARE 3 RESIDENTIAL HOMES ON THE 16.09 ACRES. RUNOFF IS MAINLY RETAINED ON THE ACREAGE WHICH IS MOSTLY FARMLAND. A ROADSIDE DITCH EXISTS ON THE SOUTH SIDE OF MILE 5 NORTH ROAD. THE CONTOUR OF THE LAND IS FROM THIS HIGH POINT TO THE EAST AT A SLOPE TOWARDS THE RECEIVING DITCH DESIGNATED AS DITCH NO. 36. IT IS LOCATED APPROXIMATELY 1,400' EAST OF THIS PROPOSED SUBDIVISION.

PROPOSED CONDITIONS:
(12-RESIDENTIAL LOTS)
EXISTING ARE 3 RESIDENTIAL HOMES. PROPOSED IS FOR THE 3 EXISTING HOMES TO HAVE LARGE LOTS. LOT 1 WILL BE 3.675 ACRES; LOT 2 WILL BE 1.554 ACRES AND LOT 3 WILL BE 3.642 ACRES. LOTS 4 THROUGH 12 WILL EACH BE .505 ACRES UP TO .662 ACRES. PROPOSED IS FOR LOTS 1, 2, AND 3 TO MAINTAIN THE EXISTING DRAINAGE CRITERIA WHICH IS RUNOFF TO THE ADJACENT FARMLAND AND TO A ROADSIDE SWALE ALONG MILE 5 NORTH ROAD. PROPOSED FOR LOTS 4-12 IS TO INSTALL CURB & GUTTER WITH TWO TYPE "A" INLETS DRAINING INTO A DETENTION POND. ALL PIPES WILL BE 18"-24" RCP. FROM THE DETENTION POND, DISCHARGE WILL BE VIA A 12" DRAIN LINE INTO AN EXISTING MANHOLE LOCATED IN FRONT OF THIS DEVELOPMENT. EXISTING IS A 24" DRAIN LINE FLOWING EAST ALONG SOUTH R.O.W. SIDE OF MILE 5 NORTH ROAD, ULTIMATELY DISCHARGING INTO HDD #1 DITCH NO. 36. THE DETENTION VOLUME REQUIRED WILL BE 27,620 FT³ OR .63 AC-FT. THE DETENTION POND WILL BE MAINTAINED AND OWNED BY THE HOA/PROPERTY OWNERS AND NOT THE HDD#1 OR THE COUNTY OF HIDALGO.

CERTIFICATION:

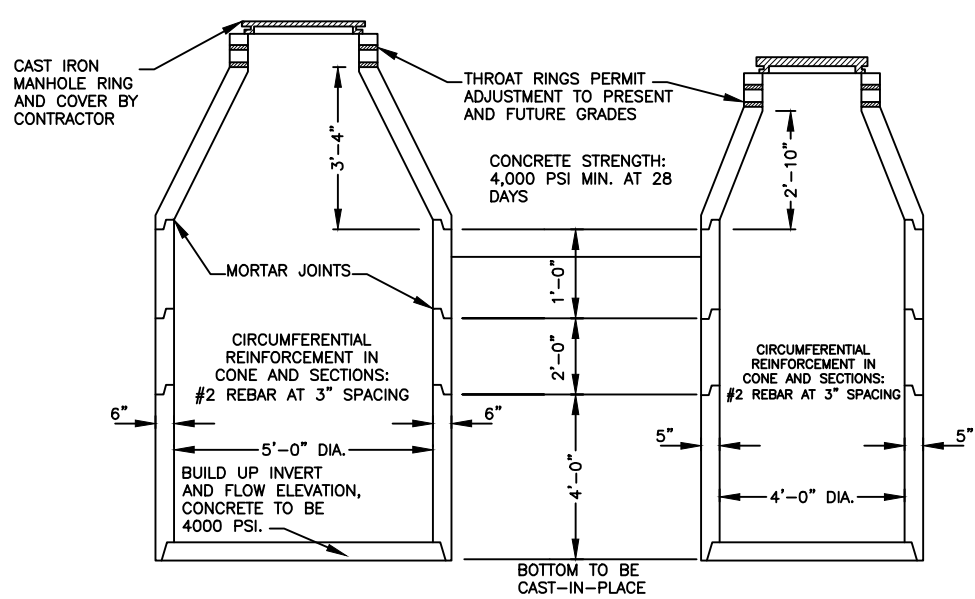
BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100 YEAR FLOODPLAIN AS DESCRIBED IN COMMUNITY PANEL 480334 0525 B, REVISED ON JANUARY 2, 1981 IS CONTAINED WITHIN THE DRAINAGE SWALES ALONG THE REAR OF ALL LOTS OF THE SUBDIVISION.

RONNIE CRUZ P.E., CFM

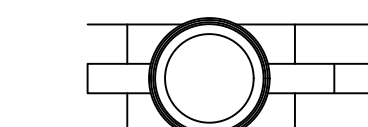
DATE

MAP OF TOPOGRAPHY AND DRAINAGE MAPA DE TOPOGRAFIA Y DESAGUE SUBDIVISION MAP OF PENCO ESTATES SUBDIVISION

BEING A 16.09 ACRES OF LAND OUT OF FARM TRACT 816, THE WEST AND ADAMS TRACTS SUBDIVISION HIDALGO COUNTY, TEXAS AS RECORDED IN VOL. 2, PG. 34-37 MAP RECORDS OF HIDALGO COUNTY, TEXAS



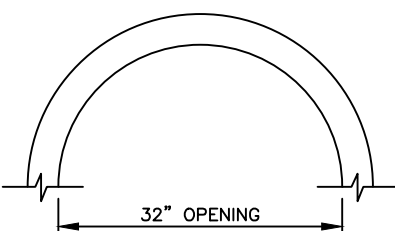
WEIGHTS OF 5'-0" DIA. MANHOLE		MANHOLES SECTIONS ARE CAST IN		WEIGHTS OF 4'-0" DIA. MANHOLE	
THROAT RING	90 LBS.	1'-0" LENGTHS	750 LBS.	THROAT RING	90 LBS.
1'-0" SECTION	2800 LBS.	2'-0" LENGTHS	875 LBS.	1'-0" SECTION	875 LBS.
2'-0" SECTION	1329 LBS.	3'-0" LENGTHS	1750 LBS.	2'-0" SECTION	1750 LBS.
3'-0" SECTION	2658 LBS.	4'-0" LENGTHS	3025 LBS.	3'-0" SECTION	3025 LBS.
4'-0" SECTION	3987 LBS.			4'-0" SECTION	3900 LBS.
5'-0" SECTION	5316 LBS.				



PRECAST CONCRETE SECTIONS MAY BE USED ON LARGER DIAMETER PIPELINES IN LIEU OF BREAKING OUT LARGE HOLES IN PRECAST SECTIONS

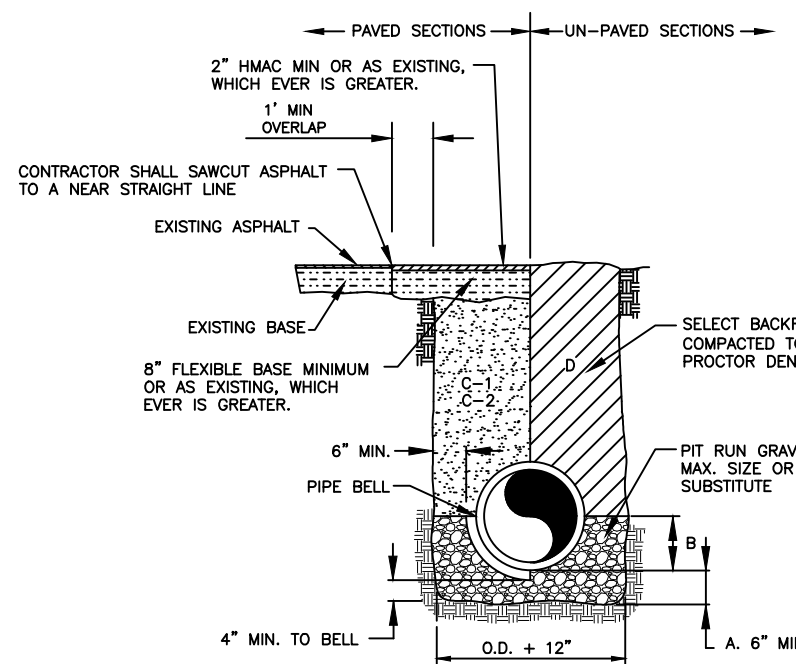
SEGMENTAL BLOCK

5'-0" DIA. - 15 BLOCKS FULL CIRCLE
4'-0" DIA. - 12 BLOCKS FULL CIRCLE



PRECAST CONCRETE MANHOLES - DETAILS

NOT TO SCALE

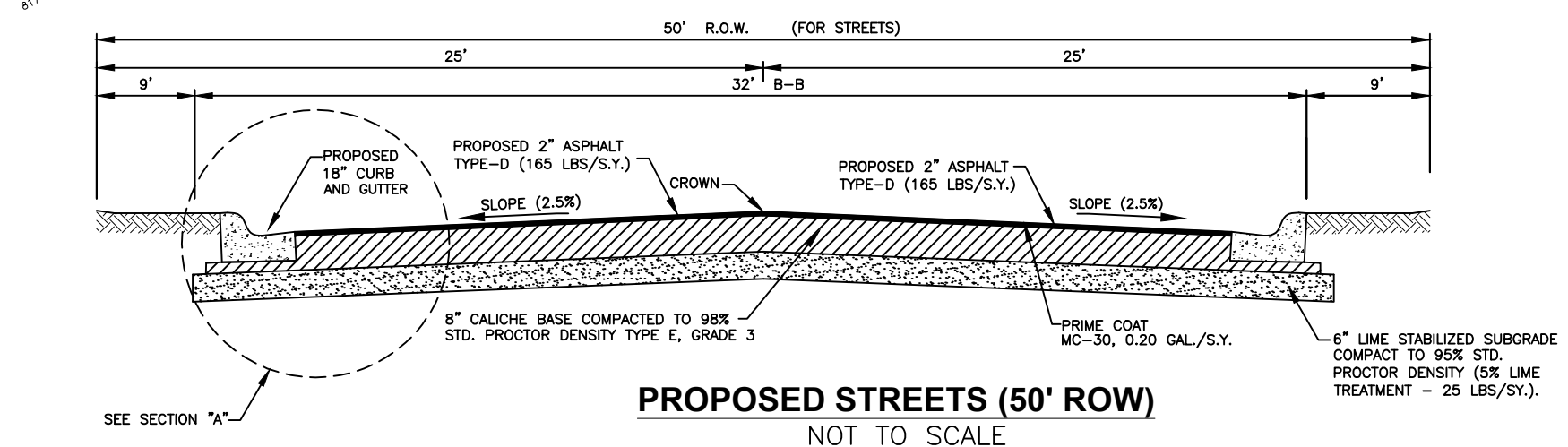


GENERAL NOTES:

- GRAVEL BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS=4")- PIT RUN GRAVEL 3/4" MAX. SIZE
 - GRAVEL BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. PIT RUN GRAVEL 3/4" MAX. SIZE OR APPROVED SUBSTITUTE
 - CITY STREETS: BACKFILL SHALL BE SAND ALL THE WAY UP TO FLEXIBLE BASE. FOR PIPES 24" DIAMETER PLACE 1" OF SAND FILL ON EACH SIDE OF PIPE.
 - STATE MAINTAINED ROADWAY: COMPACTED SAND/CEMENT STABILIZED BACK FILL WITH 7% PORTLAND CEMENT COMPACTED TO 98% STANDARD PROCTOR. AS PER ASTM D-4253 AND ASTM-1586.
 - SELECT EARTH BACKFILL (12" MAX. LIFT, MECHANICALLY COMPACTED). MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY 95% INSIDE RIGHT OF WAY
- EMBEDMENT FOR PVC PIPE SHALL BE IN ACCORDANCE WITH ASTM D-2321. STANDARD PROCTOR DENSITIES SHALL BE IN ACCORDANCE WITH ASTM D-698.
- OBTAIN WRITTEN APPROVAL BY ENGINEER FOR ANY EXCEPTIONS OR ALTERNATE METHODS PRIOR TO CONSTRUCTION.
- FOUNDATION PREPARATION (WELLPONTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILL AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MONSTAINED AS REQUIRED TO WITHIN 2% OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 98% STANDARD PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 6". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED SITE SOIL OR OTHER APPROVED SUBSTITUTE.

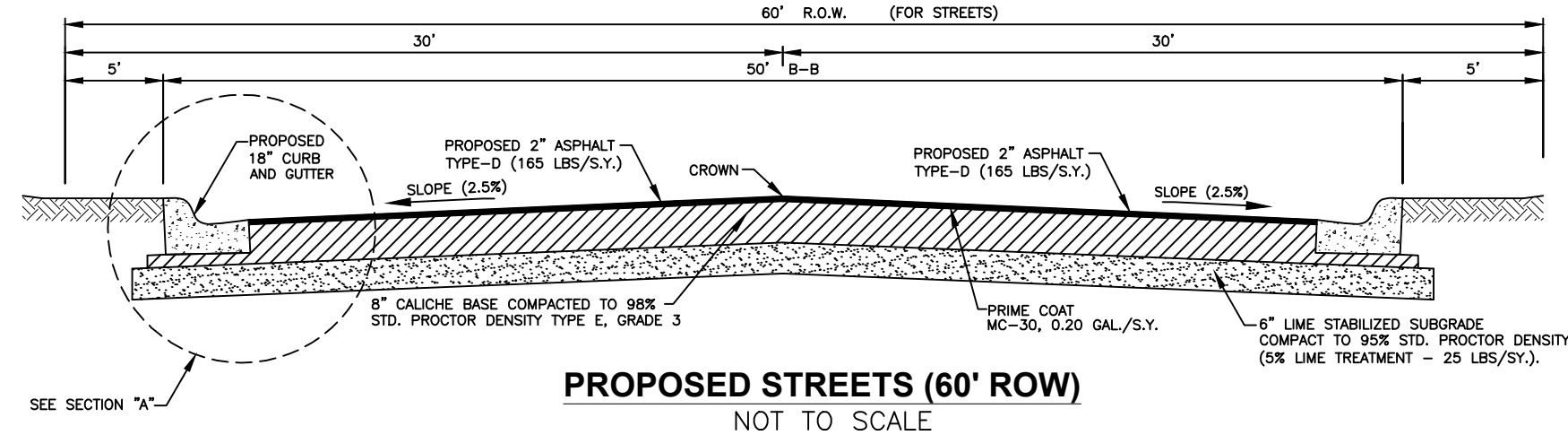
TYPICAL STORM SEWER PIPE BEDDING DETAIL

NOT TO SCALE



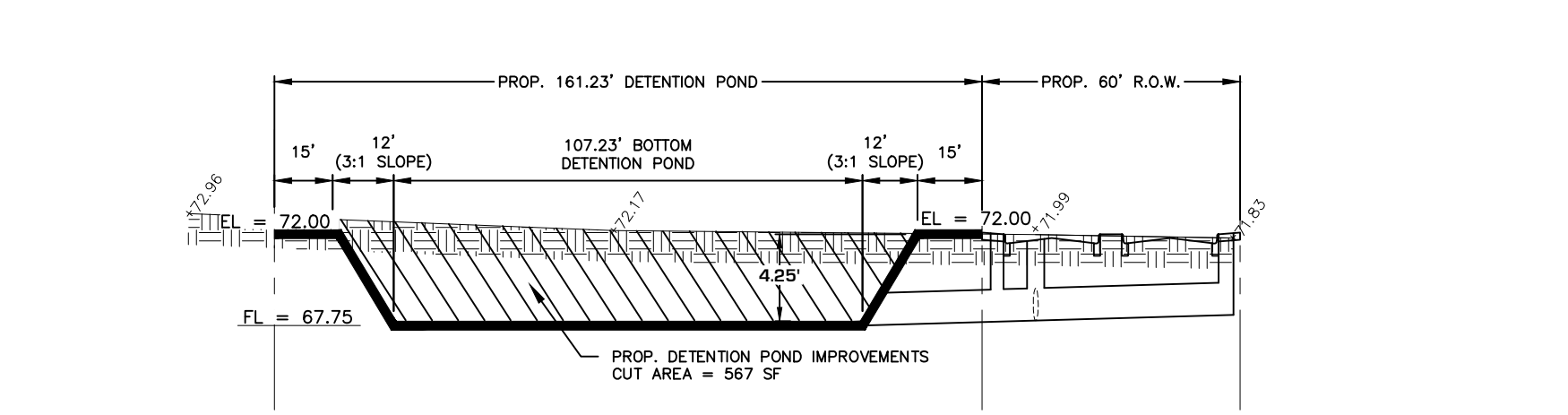
PROPOSED STREETS (50' ROW)

NOT TO SCALE



PROPOSED STREETS (60' ROW)

NOT TO SCALE



PROPOSED SECTION A-A

NOT TO SCALE

PROPOSED DETENTION POND SECTION A-A CALCULATIONS

POND DETENTION AREA = 567 FT²
POND LENGTH = 60 FT
POND = 567 FT² * 60 FT = 34,020 FT³
REQUIRED DETENTION = 31,972 FT³ OR 0.73 AC-FT.
TOTAL DETENTION = 34,020 FT³ > REQUIRED DETENTION = 31,993 FT³

CONSTRUCTION COST ESTIMATE	
PAVING	= \$88,994.00
DRAINAGE	= \$58,500.00
WATER	= \$36,895.00
OSFS	= \$31,500.00
TOTAL	= \$215,889.00

INDEX TO SHEET OF PENCO ESTATES SUBDIVISION

SHEET 1: HEADING; LOCATION MAP AND ET; PRINCIPLES CONTACTS; MAP; LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS DEDICATION; CERTIFICATION; ATTESTATION; ENGINEERING CERTIFICATION CITY; APPROVAL CERTIFICATE; CITY OF WESLACO CERTIFICATE; HIDALGO COUNTY JUDGE; COUNTY CLERK'S RECORDING CERTIFICATE; IRRIGATION DISTRICT No.1, H.C.D.D. No.1; INDEX.

SHEET 2: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND SANITARY SEWER SYSTEM, ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSIONS);

SHEET 3: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE;

SHEET 3 OF 3 SHEETS

LEGEND

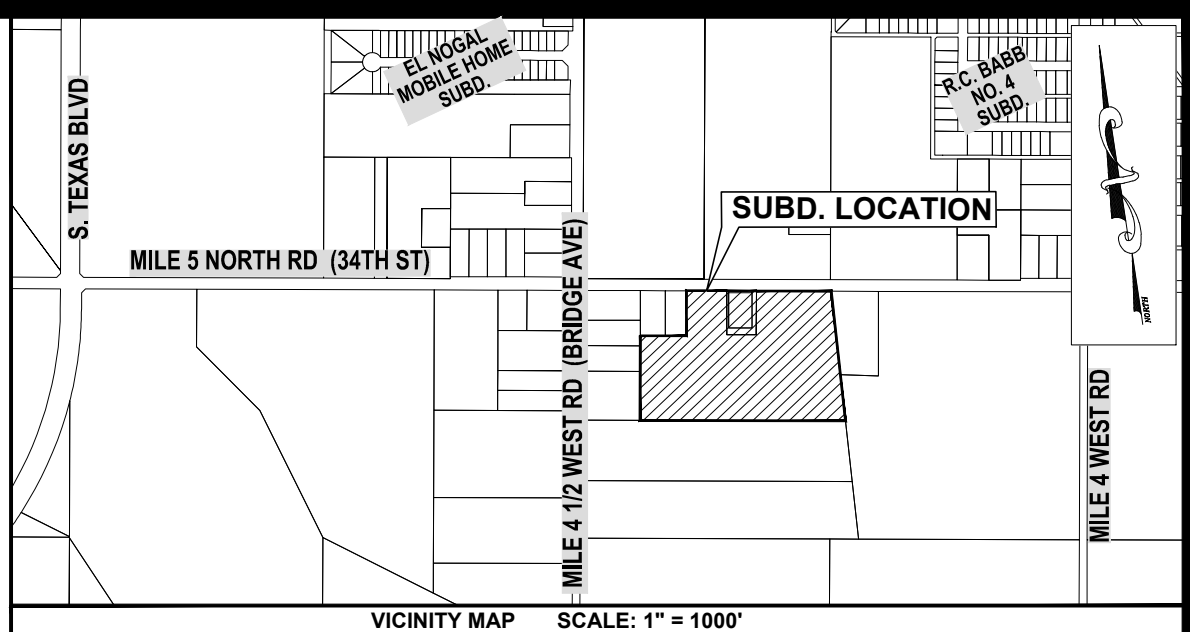
- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH PLASTIC CAP MARKED "JAG"
- FOUND COTTON PICKER SPINDLE
- SIGN
- IRRIGATION STAND PIPE
- POWER POLE
- LIGHT POLE
- MANHOLE
- FIRE HYDRANT
- CURB INLET
- ON-SITE SEWAGE FACILITIES
- WATER METER
- TOP OF CURB
- GUTTER
- EXISTING ELEVATION
- EXISTING ASPHALT
- PROPOSED ASPHALT
- STORM SEWER LINE
- WATER LINE
- CHAIN LINK FENCE
- EDGE OF PAVEMENT FENCE
- DITCH HIGH BANK

SECTION "A"

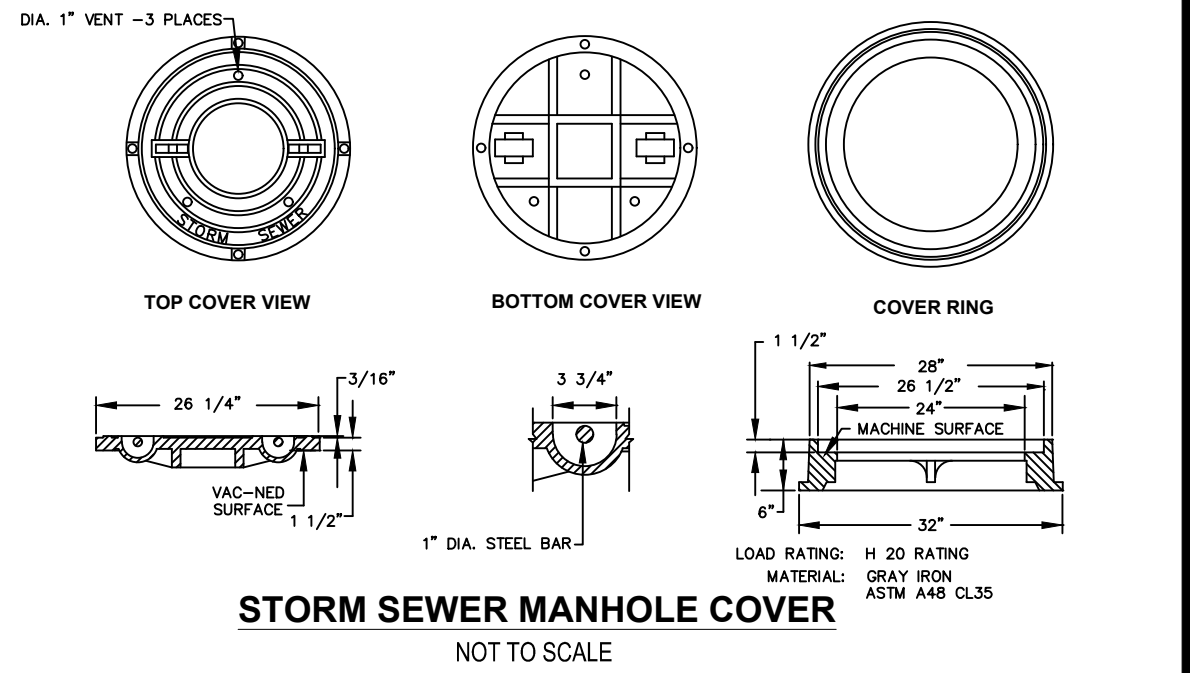
- CURBS AND GUTTERS TO BE CONSTRUCTED OF 3,000 PSI CONCRETE.
- FOR NON-REINFORCED STANDARD CURB OR CURB & GUTTER PROVIDE SAWED CONTRACTION JOINTS 10' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JOINTS AT 30' O.C. MAX AT POINTS OF CURVATURE, CURB INLETS, BOX CULVERTS, CURB INLETS, BOX CULVERTS, AT EACH SIDE OF DRIVEWAYS AND ADJACENT TO SIDEWALK.
- FOR REINFORCED STANDARD CURB OR CURB & GUTTER PROVIDE SAWED CONTRACTION JOINTS 10' O.C. MAX AND EXPANSION JOINTS BE SPACED AT 120' O.C. MAX AT POINTS OF CURVATURE, CURB INLETS, BOX CULVERTS, AT EACH SIDE OF DRIVEWAYS, AND ADJACENT TO SIDEWALK.
- EDGES NOT SPECIFIED WITH DIMENSIONS SHALL BE EDGED WITH 3/8" EDGING TOOL.
- A MEMBRANE CURING COMPOUND SHALL BE APPLIED TO EXPOSED CURB OR CURB & GUTTER AFTER THE SURFACE FINISH HAS BEEN COMPLETED AT A MIN. RATE OF 1 GAL/180 S.F. OF SURFACE AREA.
- DESIGN ELEVATION TO BE GIVEN AT PC, PT AND MID POINT OF THE CURB RAZI (FLOW OF CURB ELEVATION AND AT INTERSECTIONS OF PROTECTED FLOWLINE/FLOWLINE ELEVATION).
- ON UPSTREAM AND DOWNSTREAM ENDS OF THE INTERSECTION, VALLEY GUTTER CONSTRUCTION SHALL EXTEND TO THE END OF RETURNS
- THE VALLEY GUTTER TO BE REINFORCED WITH #6X7 NO. 6 GA. WIRE MESH OR NO. 5 @ 12" O.C.E.W. 4. INVERT OF VALLEY GUTTER TO EXTEND FROM FLOWLINE OF UPSTREAM CURB RETURN TO FLOWLINE OF DOWNSTREAM CURB RETURN.
- FOR NEW CONSTRUCTION, VALLEY GUTTER SHALL BE CONSTRUCTED PRIOR TO ADJACENT PAVEMENT.
- FOR RECONSTRUCTION OF NEW VALLEY GUTTER ON EXISTING ACCEPTED STREETS, PAVEMENT SHALL BE REMOVED AS SHOWN ON PLANS.
- FOR HANDICAP RAMP, SEE DETAIL
- EXISTING CURB OR PAVEMENT SHALL BE SAWCUT WHERE NECESSARY TO CONNECT TO PROPOSED VALLEY GUTTER.

TYPICAL 18" CURB & GUTTER

NOT TO SCALE

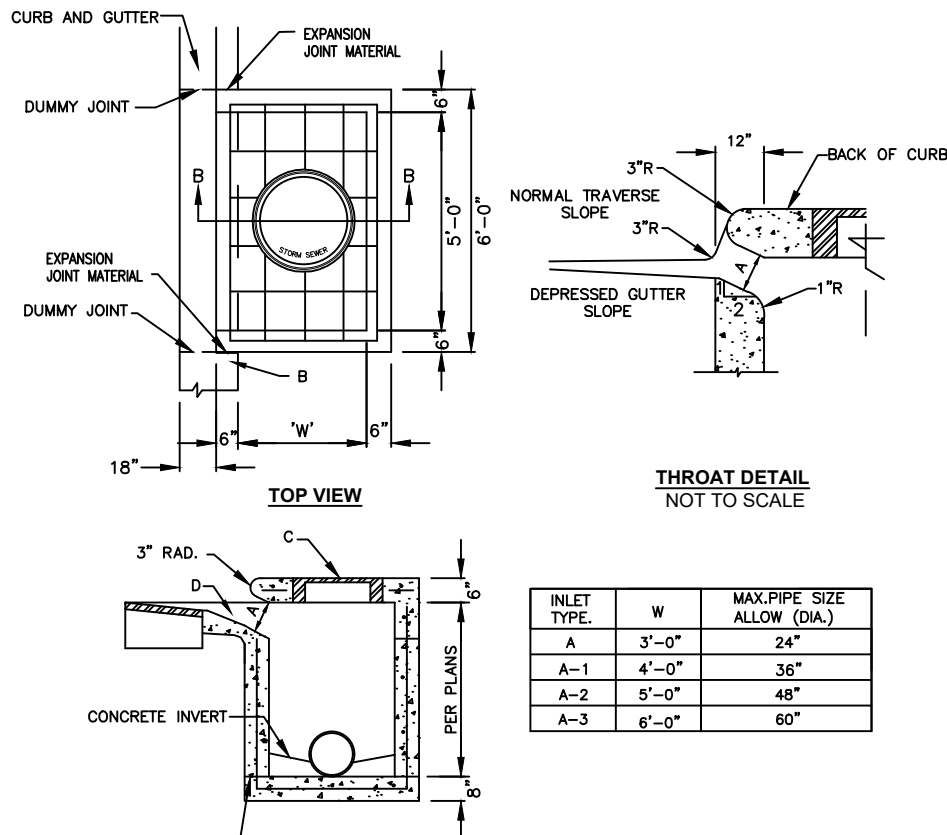


PENCO ESTATES SUBDIVISION IS LOCATED WITHIN HIDALGO COUNTY PRECINCT NO. 1 ON THE SOUTHEAST SIDE OF HIDALGO COUNTY. THE SUBDIVISION IS LOCATED ON THE INTERSECTION OF MILE 5 NORTH ROAD (34TH ST.) AND EAST OF MILE 4 1/2 WEST ROAD APPROXIMATELY 460 FEET. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF WESLACO ACCORDING TO THE MAP IN THE OFFICE OF THE SECRETARY OF THE CITY WESLACO (POPULATION 42,233). PENCO ESTATES SUBDIVISION LIES APPROXIMATELY 1,880 FEET SOUTH OF THE CITY LIMITS OF WESLACO AND LIES WITHIN THE CITY 3.5 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE 42.028



STORM SEWER MANHOLE COVER

NOT TO SCALE



GENERAL NOTES:

- TRANSITION NORMAL GUTTER TO INLET FLOW SLOPE APPROX. 3"
- INLETS SHALL BE COMPOSED OF PRE-CAST SECTIONS, CAST IN PLACE OR A COMBINATION OF BOTH
- GRAVEL BEDDING IS REQUIRED IF UNSTABLE SOIL OR GROUND WATER IS FOUND.

CONSTRUCTION NOTES:

- 5" CLEAR OPENINGS.
- CURB & GUTTER SECTION.
- CL MANHOLE RING & COVER SHALL BE ALAMO 880-22 OR EQUAL 20, 3/8"
- DEPRESS 2" BELOW NORMAL GUTTER.
- ALL REINFORCING NO. 4 BARS 12" O.C.E.W.

TYPE "A" INLET

NOT TO SCALE

INLET TYPE	W	MAX PIPE SIZE ALLOW (DIA.)
A	3'-0"	24"
A-1	4'-0"	36"
A-2	5'-0"	48"
A-3	6'-0"	60"

PENCO ESTATES SUBDIVISION
DATE OF PREPARATION: MARCH 26, 2025

CRUZ - HOGAN
ENGINEERS | PLANNERS

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