



Anthony Uresti,
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 9-29-2026

PROPOSED SONORA ESTATES, PRECINCT No. 3.

ENGINEER MELDEN & HUNT, INC. DEVELOPER: SONORA ESTATES, L.P.

☐ PRELIMINARY APPROVAL ☐ FINAL APPROVAL ☒ FINAL APPROVAL WITH FINANCIAL GUARANTEE ☐ WITH VARIANCE

NUMBER OF LOTS: 208 ☒ *SINGLE FAMILY ☐ *MULTI-FAMILY 4 ☒ COMMERCIAL ☐ INSTITUTIONAL

NUMBER OF STREETLIGHTS: 25

FILLING STATIONS: 12

LOCATION DESCRIPTION: SOUTHWEST CORNER OF MILE 7 NORTH ROAD AND INSPIRATION ROAD.

SUBDIVISION LIES WITHIN THE: ☒ RURAL AREA OF THE COUNTY.

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 12-9-2024 PROPERTY LIES WITHIN FLOOD ZONE: "X" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY WIDENING THE EXISTING DRAIN DITCH.

SEWER SYSTEM: ☒ SANITARY SEWER BY CITY OF ALTON

WATER SERVICE PROVIDER: S.W.S.C.

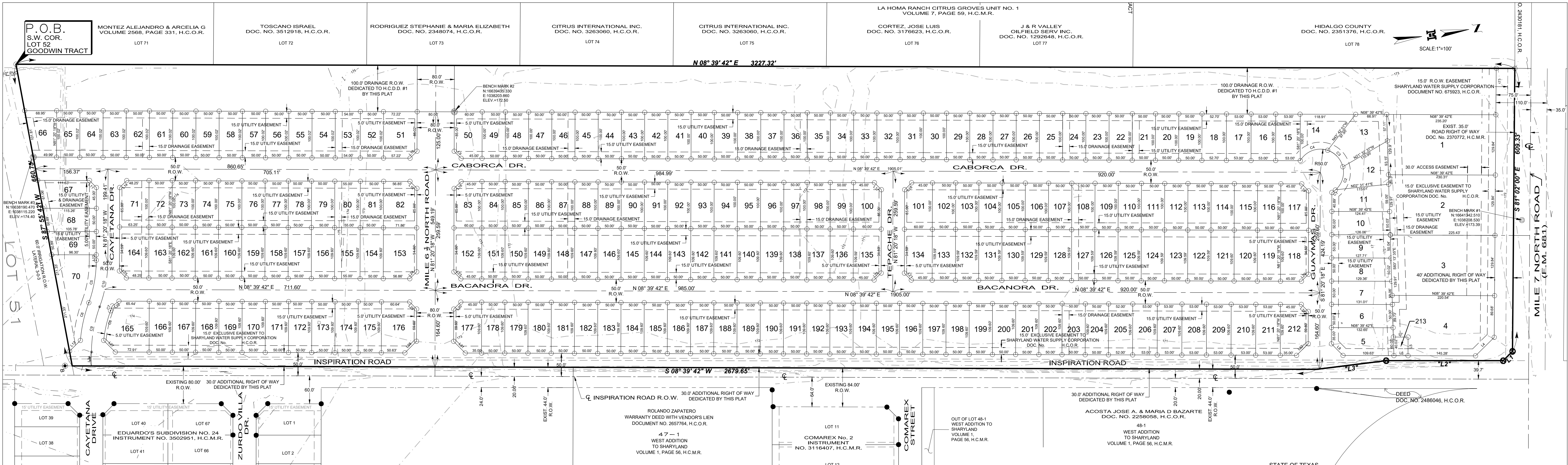
REQUEST FOR FINAL APPROVAL WITH: ☒ **CASH DEPOSIT:** Amount: **\$25,000.00** For: (LOT GRADING)

STAFF RECOMMENDS: ☐ **Preliminary Approval** subject to comments and future recommendations by planning, Other departments, and the approval of the City of ALTON.

☒ **Final Approval** with financial guarantee

This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.

*



LEGEND

- FOUND No.4 REBAR
- FOUND No.5 REBAR
- ⊙ FOUND "X" MARK ON CONCRETE
- SET No.4 REBAR
- ⊙ SET DISK SET IN CONCRETE

R.O.W. - RIGHT OF WAY
H.C.M.R. - HIDALGO COUNTY MAP RECORDS
H.C.D.R. - HIDALGO COUNTY DEED RECORDS
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
G.W.D. - GIFT WARRANTY DEED
W.D.W.V.L. - WARRANTY DEED WITH VENDOR'S LIEN
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCING
N.W. COR. - NORTHWEST CORNER
S.W. COR. - SOUTHWEST CORNER
N.T.S. - NOT TO SCALE
V.L. - VOLUME

SUBDIVISION MAP OF
SONORA ESTATES SUBDIVISION
BEING 46.996 ACRES SITUATED IN HIDALGO COUNTY,
TEXAS, BEING ALL OF LOTS 52, 53, AND 54 AND OUT OF
LOT 55, OUT OF GOODWIN TRACT SUBDIVISION NO. 3-A,
ACCORDING TO THE PLAT THEREOF RECORDED IN
VOLUME 6, PAGES 52, HIDALGO COUNTY MAP RECORDS

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. REYNA, P.E. # 117388 DATE: _____
DATE PREPARED: 9-02-2025
ENGINEERING JOB NO. 24072.00



STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF SONORA ESTATES SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 03-12-24, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238 DATE: _____
DATE SURVEYED: 3-12-24
SURVEY JOB NO. 23889.08



HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN P.E., C.F.M.
GENERAL MANAGER

DATE: _____

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY.

SONORA ESTATES SUBDIVISION IS LOCATED IN THE CENTRAL PART OF HIDALGO COUNTY ON THE SOUTHWEST SIDE OF MILE 7 NORTH ROAD & INSPIRATION ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF ALTON. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF ALTON (POPULATION 18,198), SONORA ESTATES SUBDIVISION LIES APPROXIMATELY 0.5 MILE FROM THE CITY LIMITS (AND IS WITHIN THE 3 MILE EXTRATERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. THIS SUBDIVISION FALLS WITHIN PRECINCT 3.



INDEX TO SHEET OF SONORA ESTATES SUBDIVISION

- SHEET 1: HEADING; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; MAP LOT, STREETS, AND EASEMENT LAYOUT; ENGINEERING CERTIFICATION; SURVEYORS' CERTIFICATION; OWNERS' DEDICATION, CERTIFICATION, ATTESTATION; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES, AGUA SPECIAL UTILITY DISTRICT CERTIFICATION.
- SHEET 2: HEADING; INDEX; DESCRIPTION (METES AND BOUNDS); ENGINEERING CERTIFICATION SURVEYORS' CERTIFICATION; PLAT NOTES AND RESTRICTIONS; ATTESTATION; IRRIGATION DISTRICT, H.C.D.D. NO. 1, HIDALGO COUNTY HEALTH DEPARTMENT CERTIFICATE; COUNTY JUDGE CERTIFICATION; PLANNING & ZONING CERTIFICATION.
- SHEET 3: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION).
- SHEET 4: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WASTE WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION).
- SHEET 5: MAP OF TOPOGRAPHY AND DRAINAGE, REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE, ENGINEERING CERTIFICATION, CONSTRUCTION DETAILS.
- SHEET 6: MAP OF TOPOGRAPHY AND STREETS; REVISION NOTES; CONSTRUCTION DETAILS.
- SHEET 7 & 8: WATER CONSTRUCTION DETAILS.

MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 • FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: CIROU.V. DATE: 07-07-2026
SURVEYED, CHECKED: DATE: _____
FINAL CHECK: DATE: _____

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	SONORA ESTATES, L.P., A TEXAS LIMITED PARTNERSHIP				
ENGINEER:	JOHN R. MAYS	11410 N. F.M. 493	DONNA, TX 78537	(956) 464-4431	C/O (956) 381-1839
SURVEYOR:	MARIO A. REYNA P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
	RUBEN JAMES DE JESUS L.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, SONORA ESTATES, L.P. A TEXAS LIMITED PARTNERSHIP AS OWNER OF THE 46.996 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED SONORA ESTATES SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET(S), PARK, AND EASEMENTS SHOWN HEREIN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
- (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND
- (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

SONORA ESTATES, L.P.
JOHN R. MAYS
11410 N. F.M. 493
DONNA, TEXAS 78537

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, PROVIDED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2026.

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES: _____

THIS PLAT IS HEREBY APPROVED BY THE IRRIGATION DISTRICT No. 6, SUBJECT TO THE CONDITION THAT THE SUBDIVIDER WILL PROVIDE DOMESTIC WATER SYSTEM TO DISTRIBUTING POTABLE WATER THIS DISTRICT WILL PROVIDE ONLY IRRIGATION WATER WHERE DISTRIBUTING FACILITIES MUST BE CONSTRUCTED AND MAINTAINED AT THE EXPENSE OF THE OWNER AND CONSISTING OF PIPE LINES, VALVES, CHECK GATES TO BE CONNECTED TO THE NEAREST DISTRICT FACILITY.

DATED THIS THE _____ DAY OF _____, 2025.

ATTEST: _____ BY: _____
SECRETARY PRESIDENT



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

Lot Area Table		
Lot #	SQ. FT.	Acres
1	30,220.15	0.694
2	29,586.28	0.679
3	28,952.15	0.665
4	26,241.80	0.602
5	7,705.99	0.177
6	6,589.53	0.151
7	6,510.91	0.149
8	6,425.93	0.148
9	6,344.90	0.146
10	6,261.81	0.144
11	6,457.80	0.148
12	7,033.22	0.161
13	8,889.86	0.199
14	7,080.18	0.163
15	5,300.08	0.122
16	5,299.79	0.122
17	5,300.00	0.122
18	5,270.21	0.121
19	5,000.00	0.115
20	5,000.00	0.115
21	5,000.06	0.115
22	5,000.01	0.115
23	5,000.00	0.115
24	5,000.00	0.115
25	5,000.00	0.115
26	5,000.00	0.115
27	5,000.00	0.115
28	5,000.00	0.115
29	5,000.00	0.115
30	5,000.00	0.115
31	5,000.00	0.115
32	5,000.00	0.115
33	5,000.00	0.115
34	5,000.00	0.115
35	5,000.00	0.115
36	5,000.00	0.115
37	5,000.00	0.115
38	5,000.00	0.115
39	5,000.00	0.115
40	5,000.00	0.115

Lot Area Table		
Lot #	SQ. FT.	Acres
41	5,000.00	0.115
42	4,999.99	0.115
43	5,000.00	0.115
44	5,000.00	0.115
45	5,000.00	0.115
46	5,000.00	0.115
47	5,000.00	0.115
48	5,000.00	0.115
49	5,000.00	0.115
50	5,887.75	0.135
51	7,110.99	0.163
52	5,001.21	0.115
53	5,401.31	0.124
54	5,001.21	0.115
55	5,001.21	0.115
56	5,001.21	0.115
57	5,001.21	0.115
58	5,001.21	0.115
59	5,001.37	0.115
60	5,001.21	0.115
61	5,001.21	0.115
62	5,001.21	0.115
63	5,001.21	0.115
64	5,001.21	0.115
65	5,001.21	0.115
66	5,948.72	0.137
67	7,143.70	0.164
68	5,525.93	0.127
69	5,052.04	0.116
70	12,229.91	0.281
71	6,212.62	0.143
72	5,000.00	0.115
73	5,000.00	0.115
74	5,000.00	0.115
75	5,000.00	0.115
76	5,000.00	0.115
77	5,000.00	0.115
78	5,000.00	0.115
79	5,000.00	0.115
80	5,500.00	0.126

Lot Area Table		
Lot #	SQ. FT.	Acres
81	5,000.00	0.115
82	7,073.11	0.162
83	5,887.77	0.135
84	4,999.99	0.115
85	5,000.00	0.115
86	5,000.00	0.115
87	5,000.00	0.115
88	5,000.00	0.115
89	5,000.00	0.115
90	5,000.00	0.115
91	5,000.00	0.115
92	4,998.98	0.115
93	5,000.00	0.115
94	5,000.00	0.115
95	5,000.00	0.115
96	5,000.00	0.115
97	5,000.00	0.115
98	5,000.00	0.115
99	5,000.00	0.115
100	5,887.50	0.135
101	5,887.50	0.135
102	5,000.00	0.115
103	5,000.00	0.115
104	5,000.00	0.115
105	5,000.00	0.115
106	5,000.00	0.115
107	5,000.00	0.115
108	5,000.00	0.115
109	5,000.00	0.115
110	5,000.00	0.115
111	5,000.06	0.115
112	5,000.00	0.115
113	5,000.00	0.115
114	5,000.21	0.115
115	5,000.00	0.115
116	5,000.00	0.115
117	5,887.49	0.135
118	6,463.17	0.148
119	5,479.75	0.126
120	5,479.75	0.126

Lot Area Table		
Lot #	SQ. FT.	Acres
121	5,479.98	0.126
122	5,479.75	0.126
123	5,479.75	0.126
124	5,479.81	0.126
125	5,479.75	0.126
126	5,479.75	0.126
127	5,479.75	0.126
128	5,479.75	0.126
129	5,479.75	0.126
130	5,479.75	0.126
131	5,479.75	0.126
132	5,479.75	0.126
133	5,479.75	0.126
134	6,463.20	0.148
135	6,463.20	0.148
136	5,479.75	0.126
137	5,479.75	0.126
138	5,479.75	0.126
139	5,479.75	0.126
140	5,479.75	0.126
141	5,479.75	0.126
142	5,479.75	0.126
143	5,479.73	0.126
144	5,479.75	0.126
145	5,479.75	0.126
146	5,479.75	0.126
147	5,479.75	0.126
148	5,479.75	0.126
149	5,479.75	0.126
150	5,479.77	0.126
151	5,479.74	0.126
152	6,463.50	0.148
153	7,762.67	0.178
154	5,479.75	0.126
155	6,027.73	0.138
156	5,479.75	0.126
157	5,479.75	0.126
158	5,479.75	0.126
159	5,479.75	0.126
160	5,479.75	0.126

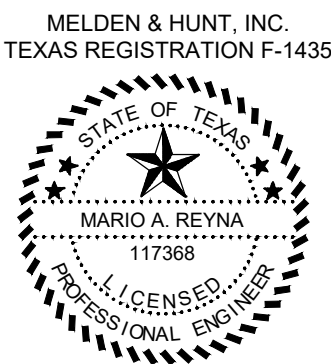
Lot Area Table		
Lot #	SQ. FT.	Acres
161	5,479.75	0.126
162	5,479.75	0.126
163	5,479.75	0.126
164	6,819.49	0.157
165	9,610.16	0.221
166	5,479.90	0.126
167	5,479.90	0.126
168	5,479.90	0.126
169	5,479.90	0.126
170	5,479.90	0.126
171	5,479.90	0.126
172	5,479.90	0.126
173	5,479.90	0.126
174	5,479.90	0.126
175	5,479.90	0.126
176	7,864.44	0.181
177	6,151.16	0.141
178	5,479.90	0.126
179	5,479.90	0.126
180	5,479.90	0.126
181	5,479.90	0.126
182	5,479.90	0.126
183	5,479.90	0.126
184	5,479.90	0.126
185	5,479.90	0.126
186	5,479.90	0.126
187	5,479.90	0.126
188	5,479.90	0.126
189	5,479.90	0.126
190	5,479.90	0.126
191	5,479.89	0.126
192	5,479.90	0.126
193	5,479.90	0.126
194	5,479.90	0.126
195	5,479.90	0.126
196	5,479.90	0.126
197	5,479.90	0.126
198	5,479.90	0.126
199	5,479.89	0.126
200	5,479.89	0.126

Lot Area Table		
Lot #	SQ. FT.	Acres
201	5,479.89	0.126
202	5,479.89	0.126
203	5,479.90	0.126
204	5,479.89	0.126
205	5,699.09	0.131
206	5,808.74	0.133
207	5,808.68	0.133
208	5,808.68	0.133
209	5,808.90	0.133
210	5,808.67	0.133
211	5,808.67	0.133
212	6,150.86	0.141
213	1,241.67	0.029

SUBDIVISION MAP OF
SONORA ESTATES SUBDIVISION
BEING 46.996 ACRES SITUATED IN HIDALGO COUNTY,
TEXAS, BEING ALL OF LOTS 52, 53, AND 54 AND OUT OF
LOT 55, OUT OF GOODWIN TRACT SUBDIVISION NO. 3-A,
ACCORDING TO THE PLAT THEREOF RECORDED IN
VOLUME 6, PAGES 52, HIDALGO COUNTY MAP RECORDS

GENERAL PLAT NOTES & RESTRICTIONS:
HIDALGO COUNTY GENERAL SUBDIVISION PLAT NOTES

- FLOOD ZONE STATEMENT:
ZONE "X" UNSHADED AREAS OF MINIMAL FLOODING.
COMMUNITY-PANEL NUMBER 480334 0295 D MAP REVISED: JUNE 6, 2000.
ZONE "C" COMMUNITY-PANEL NO. 480334 0295 D MAP REVISED: JUNE 6, 2000.
THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT-OF-WAY ARE WITHIN THE 100-YEAR FLOOD PLAIN.
COMMUNITY-PANEL NO. 480334 0295 D MAP REVISED: JUNE 6, 2000 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAN ADMINISTRATOR HAVE IDENTIFIED NO OTHER AREAS AS SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.
CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- SETBACKS:
FRONT: 25.00 FEET; 15.00 FEET CUL-DE-SAC; 50.00 FEET ALONG MILE 7 NORTH ROAD;
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE CORNER: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH FOR LOTS 5 THROUGH 215. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. (ANY OTHER USE SHALL REQUIRE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL APPROVAL). APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOTS 5 THROUGH 215.
- GENERAL NOTE FOR COMMERCIAL LOTS:
LOTS 1 THROUGH 4 SHALL BE FOR COMMERCIAL USE ONLY. THERE SHALL BE NO OTHER USE OTHER THAN COMMERCIAL. LOTS 1 THROUGH 4 IS FOR NONRESIDENTIAL USE. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACT FOR DEEDS. A BUFFER FENCE IS REQUIRED TO BE INSTALLED BY DEVELOPER ALONG ALL ABUTTING RESIDENTIAL LOTS. APPLICATIONS FOR CONSTRUCTION APPROVED BY THE PLANNING DEPARTMENT, HEALTH DEPARTMENT OFFICE OF ENVIRONMENTAL AND COMPLIANCE AND FIRE MARSHALL ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- THE FOLLOWING BENCHMARKS:
BENCHMARK NO.1 FOUND SQUARE CUT ON INLET LOCATION ALONG THE NORTH LINE OF LOT 2.
N:16641342.510, E:1038708.530 B.M. ELEVATION= 173.39.
BENCHMARK NO.2 SET MHI DISC IN CONCRETE LOCATED AT THE SOUTHWEST CORNER OF LOT 50.
N:16639101.410, E:1038152.830 B.M. ELEVATION= 174.00.
BENCHMARK NO.3 SET MHI DISC IN CONCRETE LOCATED AT THE SOUTHEAST CORNER OF LOT 66.
N:16638190.470, E:1038115.220 B.M. ELEVATION= 174.40.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 87,681 CUBIC-FEET 2.013 ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS:
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.5% MIN. SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 16 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO VISIBLE WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
- CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS. SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METERS(S).
- EACH LOT SHALL HAVE IT'S OWN WATER METER.
- A 5' SIDEWALK WITH A.D.A. RAMPS FOR ALL INTERIOR STREET AT BUILDING PERMIT STAGE AS PER CITY OF ALTON.
- ALL BEARING AND DISTANCES ARE BASED ON GRID COORDINATES
- AS PER PUBLIC WORKS, ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
- BUFFER FENCE SHALL BE INSTALL BY DEVELOPER FOR ALL LOTS ABUTTING INSPIRATION ROAD.
- TxDOT DRIVEWAY/ENTRANCE PERMIT IS REQUIRED FOR LOTS 1 THROUGH 4 PRIOR TO THE CONSTRUCTION OF A DRIVEWAY/ENTRANCE ON TO MILE 7 NORTH ROAD (F.M. 681). TxDOT ACCESS PERMIT IS REQUIRED PRIOR TO THE COUNTY ISSUING A DEVELOPMENT APPLICATION PERMIT.
- LOTS 5, 70, 165-212 SHALL NOT HAVE ACCESS/DRIVEWAY ONTO INSPIRATION ROAD.
- LOT 4 SHALL HAVE ACCESS ONTO MILE 7 NORTH ROAD (F.M. 681) AND INSPIRATION ROAD.
- THE DEVELOPER SHALL INSTALL A 6-FOOT CHAIN-LINK FENCE ALONG INSPIRATION ROAD, ALONG THE SOUTH SIDE OF LOT LOTS 5 AND ALONG THE REAR OF LOTS 165-212.
- LOTS 50, 51, 82, 83, 152, 153, 176 AND 177 SHALL NOT HAVE ACCESS/DRIVEWAY ONTO MILE 6 ½ NORTH ROAD.
- THE DEVELOPER SHALL INSTALL A BUFFER FENCE ALONG THE REAR OF LOTS ABUTTING THE DITCH.
- LOT 213 SHALL BE DEEDED TO THE CITY OF ALTON AFTER RECORDATION FOR LIFT STATION.
- ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.



METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 46.996 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, BEING ALL OF LOTS 52, 53, AND 54 AND OUT OF LOT 55, OUT OF GOODWIN TRACT SUBDIVISION NO. 3-A, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 6, PAGES 52, HIDALGO COUNTY MAP RECORDS, WHICH SAID 46.996 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO SONORA ESTATES L.P., BY VIRTUE OF A WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3653268, HIDALGO COUNTY OFFICIAL RECORDS, SAID 46.996 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NO. 4 REBAR SET AT THE SOUTHWEST CORNER OF SAID LOT 52, FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

- THENCE, N 08° 39' 42" E ALONG THE WEST LINES OF SAID LOTS 52, 53, 54, AND 55, AT A DISTANCE OF 797.31 FEET (801.50 FEET MAP CALL), PASS THE NORTHWEST CORNER OF SAID LOT 52 AND THE SOUTHWEST CORNER OF SAID LOT 53, AT A DISTANCE OF 1,547.31 FEET PASS THE NORTHWEST CORNER OF SAID LOT 53 AND THE SOUTHWEST CORNER OF 54, AT A DISTANCE OF 2,377.31 FEET PASS THE NORTHWEST CORNER OF SAID LOT 54 AND THE SOUTHWEST CORNER OF SAID LOT 55, CONTINUING A TOTAL DISTANCE OF 3,227.32 FEET TO A NO.4 REBAR SET ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF MILE 7 ROAD-F.M. 681, CONVEYED TO THE STATE OF TEXAS BY VIRTUE OF DEED RECORDED UNDER DOCUMENT NUMBER 2370772, HIDALGO COUNTY OFFICIAL RECORDS, FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 02' 00" E ALONG THE EXISTING SOUTH RIGHT-OF-WAY LINE OF MILE 7 ROAD-F.M. 681, A DISTANCE OF 609.33 FEET TO A NO. 5 REBAR FOUND AT AN INSIDE CORNER OF SAID CERTAIN TRACT CONVEYED TO THE STATE OF TEXAS FOR THE NORTHERNMOST NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 36° 15' 28" E ALONG A BOUNDARY LINE OF SAID CERTAIN TRACT CONVEYED TO THE STATE OF TEXAS, A DISTANCE OF 28.40 FEET TO A NO. 5 REBAR FOUND AT AN INSIDE CORNER OF SAID CERTAIN TRACT CONVEYED TO THE STATE OF TEXAS, FOR THE SOUTHERNMOST NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 31' 03" W ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF INSPIRATION ROAD, A DISTANCE OF 251.89 FEET TO A NO. 5 REBAR FOUND, FOR AN ANGLE POINT OF THIS TRACT;
- THENCE, S 01° 20' 36" W ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF INSPIRATION ROAD, A DISTANCE OF 150.59 FEET TO A NO. 4 REBAR SET ON THE EAST LINE OF SAID LOT 55, FOR AN ANGLE POINT OF THIS TRACT;
- THENCE, S 08° 39' 42" W (N 8° 34' E MAP CALL) ALONG THE EAST LINES OF SAID LOTS 55, 54, 53, AND 52, AT A DISTANCE OF 578.42 FEET PASS THE SOUTHEAST CORNER OF SAID LOT 55 AND THE NORTHEAST CORNER OF SAID LOT 54, AT A DISTANCE OF 1,258.42 FEET PASS THE SOUTHEAST CORNER OF SAID LOT 54 AND THE NORTHEAST CORNER OF SAID LOT 53, AT A DISTANCE OF 2,008.42 FEET PASS THE SOUTEAST CORNER OF SAID LOT 53 AND THE NORTHEAST CORNER OF SAID LOT 52, CONTINUING A TOTAL DISTANCE OF 2,679.65 FEET TO A NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID LOT 52 AND ON THE EXISTING NORTH CANAL RIGHT-OF-WAY LINE OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 6, FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, S 87° 55' 42" W ALONG THE EXISTING NORTH CANAL RIGHT-OF-WAY LINE OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 6, A DISTANCE OF 660.75 FEET TO THE POINT OF BEGINNING AND CONTAINING 46.996 ACRES OF LAND, MORE OR LESS.

CERTIFICATION OF PROVISION OF SANITARY SEWER SERVICE :

THE AREA WITHIN THIS PLAT IS NOT WITHIN ANY DESIGNATED CERTIFICATE OF CONVENIENCE AND NECESSITY (CAN) TO PROVIDE SEWER SERVICE. I HEREBY CERTIFY THAT THE CITY OF ALTON, HAS FACILITIES ACCESSIBLE TO THE SONORA ESTATES SUBDIVISION. PROVISION OF DEVELOPMENT, CONSTRUCTION AND SERVICE IS CONTINGENT UPON THE REVIEW AND APPROVAL OF ALL PLANS AND SPECIFICATIONS FOR REQUIRED ON-SITE AND OFFSITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO GRAVITY AND FORCE MAIN SANITARY SEWER LINES, PUMP STATIONS, AND RELATED APPURTENANCES FOR THE PROPOSED SYSTEM. CONSTRUCTION OF THE PROPOSED SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE AT THE COST OF THE DEVELOPER WITHOUT REIMBURSEMENT BY THE CITY OF ALTON AND CONSTRUCTED ACCORDING TO THE DEVELOPERS DESIGN ENGINEER, CITY OF ALTON DESIGN MANUAL, LOCAL STATE AND FEDERAL AGENCIES APPROVED PLANS AND SPECIFICATIONS. ALL EASEMENTS REQUIRED FOR THE PROPOSED SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE ACQUIRED BY THE DEVELOPER AND DEDICATED TO THE CITY OF ALTON, TEXAS.

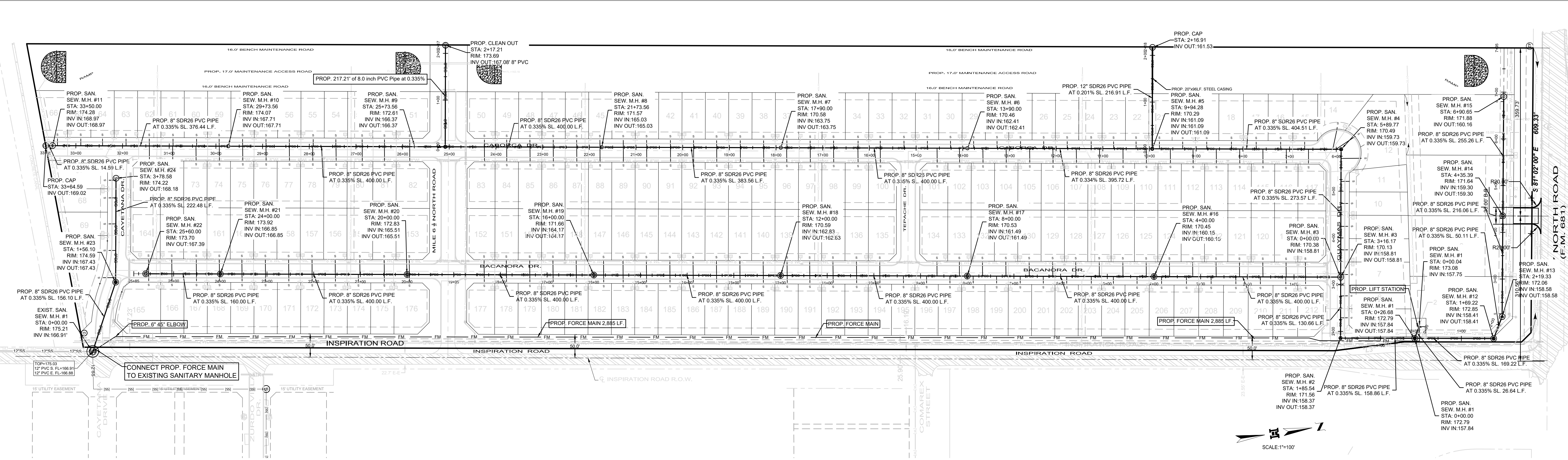
JEFF UNDERWOOD, CITY MANAGER
CITY OF ALTON

DATE

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SONORA ESTATES SUBDIVISION
WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY

COMMISSIONERS COURT ON _____ DAY OF _____, 20____.



FINAL SEWER ENGINEERING REPORT FORMAT
WASTEWATER SUPPLY, DESCRIPTION, COST, AND OPERABILITY DATE:

SONORA ESTATES SUBDIVISION WILL BE TREATED BY WASTEWATER SERVICE FROM CITY OF ALTON. THE SUBDIVIDER AND CITY OF ALTON HAVE ENTERED INTO A CONTRACT IN WHICH CITY OF ALTON HAS PROMISED TO TREAT THE SUFFICIENT WASTEWATER FOR AT LEAST 30 YEARS AND CITY OF ALTON HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

THE CITY OF ALTON HAS AN EXISTING MANHOLE SANITARY SEWER ALONG THE WEST RIGHT-OF-WAY OF INSPIRATION ROAD APPROXIMATELY 3117.0 FEET SOUTH OF MILE 7 NORTH ROAD WITH AN EXISTING 12" SANITARY SEWER LINE RUNNING SOUTH. THE WASTEWATER SYSTEM FOR SONORA ESTATES CONSISTS OF 8" SANITARY SEWER LINES AND A LIFT STATION AND A 6" FORCE MAIN. AN 8" SANITARY SEWER LINE CONNECTS TO THE EXISTING SANITARY SEWER MANHOLE AND RUNS WEST WITHIN THE RIGHT-OF-WAY OF CAYETANA DRIVE THEN END WITH A MANHOLE ALONG THE NORTH SIDE OF LOT 67. A LIFT STATION SHALL BE INSTALL WITHIN LOT 213 LOCATED AT THE SOUTHEAST CORNER OF LOT 4 AND A FORCE MAIN THAT RUNS FROM THE LIFT STATION SOUTH ALONG THE WEST RIGHT-OF-WAY OF INSPIRATION ROAD CONNECTING TO AN EXISTING SANITARY MANHOLE AT THE SOUTHEAST CORNER OF THIS SUBDIVISION. ANOTHER 8" SEWER LINE CONNECTS TO A LIFT STATION THE THEN RUNS NORTH ALONG THE WEST RIGHT-OF-WAY OF INSPIRATION ROAD THEN RUNS WEST WITHIN A UTILITY EASEMENT ENDING WITH A MANHOLE AT THE NORTHWEST CORNER OF LOT 1. ANOTHER 8" SEWER LINE CONNECTS TO THE LIFT STATION THEN RUN SOUTH ALONG THE WEST RIGHT-OF-WAY OF INSPIRATION ROAD THEN RUNS WEST WITHIN THE RIGHT-OF-WAY OF GUAYMAS DRIVE THEN RUNS SOUTH WITHIN THE RIGHT-OF-WAY OF CABORCA DRIVE ENDING WITH A MANHOLE AT THE SOUTH BOUNDARY LINE OF THIS SUBDIVISION. ANOTHER 8" SEWER LINE CONNECTS TO A MANHOLE WITHIN GUAYMAS DRIVE LOCATED SOUTH OF LOT 7 THEN RUNS SOUTH WITHIN THE RIGHT-OF-WAY OF CABORCA DRIVE ENDING WITH A MANHOLE ALONG THE WEST SIDE OF LOT 165. ANOTHER 8" SEWER LINE CONNECTS TO A MANHOLE WITHIN CABORCA DRIVE THEN RUNS WEST WITHIN A 15-FOOT UTILITY EASEMENT ENDING WITH A MANHOLE ALONG THE WEST BOUNDARY LINE OF THIS SUBDIVISION. ANOTHER 8" SEWER LINE CONNECTS TO A MANHOLE WITHIN CABORCA DRIVE & MILE 6 1/2 NORTH ROAD THEN RUNS WEST WITHIN THE RIGHT-OF-WAY OF MILE 6 1/2 NORTH ROAD ENDING WITH A CLEANOUT ALONG THE WEST BOUNDARY LINE OF THIS SUBDIVISION TO SERVE THIS SUBDIVISION.

FROM THE 8" LINE, TWO HUNDRED & SEVENTEEN (217) 4" SEWER SERVICE LINES RUN FOR EACH LOT. THE LIFT STATION, 8" SANITARY SEWER LINES, 4" SERVICE LINE AND TWENTY-FIVE (25) 48" SANITARY SEWER MANHOLES HAVE BEEN INSTALLED, AT A TOTAL COST OF \$ 1,249,260.00 OR \$ 5,892.73 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID S.W.S.C. THE SUM OF \$ 295,920.00 WHICH COVERS THE \$ 1,395.85 PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF THE SERVICES AND ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO S.W.S.C. THE ENTIRE WASTE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY S.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:
BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

SEWAGE FACILITIES - THESE FACILITIES FULLY CONSTRUCTED WILL COST A GRAND TOTAL OF \$ 1,545,180.00 WHICH EQUALS TO \$7,288.58 PER LOT.

MELDEN & HUNT, INC.

TEXAS REGISTRATION F-1435

MARIO A. REYNA

117368

LICENSED PROFESSIONAL ENGINEER

115 W. MCINTYRE - EDINBURG, TX 78541

PH: (956) 381-0981 - FAX: (956) 381-1839

ESTABLISHED 1947 - WWW.MELDENANDHUNT.COM

DRENAJE: DESCRIPCION, GASTOS Y FECHA DE INICIO PARA FACILITAR EL DRENAJE PARA LA SUBDIVISION

SONORA ESTATES SUBDIVISION RECIBIRA SU PROVISION DE DRENAJE SANITARIO DE LA CIUDAD DE ALTON. EL DUEÑO DE LA SUBDIVISION Y LA CIUDAD DE ALTON FIRMARON UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE DRENAJE SANITARIO POR LOS PROXIMOS 30 AÑOS. LA CIUDAD DE ALTON HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE DRENAJE SANITARIO ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

LA CIUDAD DE ALTON TIENE UN ALCANTARILLA SANITARIO EXISTENTE QUE ESTA EN EL LADO OESTE DEL DERECHO DE VIA (RIGHT OF WAY) DE LA CARRETERA INSPIRATION ROAD APROXIMAMENTE 3,117.0 PIES AL SUR DE MILE 7 NORTH ROAD Y UN CONDUCTO DE 12" QUE SIGUE AL SUR. EL SISTEMA DE PROVISION DE DRENAJE SANITARIO DE SONORA ESTATES SUBDIVISION CONSISTE DE CONDUCTOS DE DRENAJE DE 8", UNA POMPA DE PRESION Y UN CONDUCTO DE 6" DE PRESION. UN CONDUCTO DE 8" SE CONECTA A LA ALCANTARILLA EXISTENTE Y SIGUE AL OESTE DENTRO DEL DERECHO DE VILL DE CAYETANA DRIVE TERMINANDO CON UN ALCANTARILLA EN EL LADO NORTE DE LOT 67. LA POMPA DE PRESION SE ENCUENTRA EN LOT 213 QUE ESTA LOCALIZADO EN EL LADO SURESTE DE LOTE 4 Y UN CONDUCTO DE 6" DE PRESION SALE DE LA POMPA DE PRESION Y SIGUE AL SUR POR EL LADO OESTE DE DERECHO DE VILLA DE INSPIRATION ROAD CONECTADO AL ALCANTARILLA EXISTENTE EN EL LADO SURESTE DE ESTA SUBDIVISION. OTRO CONDUCTO DE 8" SE CONECTA A LA POMPA DE PRESION Y SIGUE AL NORTE EN EL LADO OESTE DEL DERECHO DE VILLA DE INSPIRATION ROAD LUEGO SIGUE AL OESTE DENTRO DE UN CONCION DE 15 PIES TERMINANDO CON UN ALCANTARILLA EN EL LADO NOROESTE DE LOTE 1. OTRO CONDUCTO DE 8" SERA CONECTADO ALCANTARILLA DE LA POMPA DE PRESION Y SIGUE AL SUR POR EL LADO OESTE DE DERECHO DE VILLA DE INSPIRATION ROAD LUEGO SIGUE AL OESTE DENTRO DEL DERECHO DE VILLA DE INSPIRATION ROAD LUEGO SIGUE AL OESTE DENTRO DEL DERECHO DE VILLA DE CABORCA DRIVE TERMINANDO CON UN ALCANTARILLA EL LA FRONTERA DE ESTA SUBDIVISION. OTRO CONDUCTO SANITARIO DE 8" SE CONECTA AL ALCANTARILLA DENTRO DEL DERECHO DE VILLA DE GUAYMAS DRIVE EN EL LADO SUR DE LOTE 7 Y SIGUE AL SUR DENTRO DEL DERECHO DE VILLA DE CABORCA DRIVE TERMINANDO CON UN ALCANTARILLA EN EL LADO OESTE DE LOTE 165. OTRO CONDUCTO SANITARIO DE 8" SE CONECTA AL ALCANTARILLA DENTRO DEL DERECHO DE VILLA DE CABORCA DRIVE Y SIGUE AL OESTE DENTRO DE UN CONCONCION DE 10 PIES TERMINANDO CON UN CLEANOUT EN LA FRONTERA OESTE SUBDIVISION. OTRO CONDUCTO SANITARIO DE 8" SE CONECTA AL ALCANTARILLA DENTRO DEL DERECHO DE VILLA DE MILE 6 1/2 NORTH ROAD & CABORCA DRIVE Y SIGUE AL OESTE DENTRO DEL DERECHO DE VILLA DE MILE 6 1/2 NORTH ROAD TERMINANDO CON UN CLEANOUT EN LA FRONTERA OESTE SUBDIVISION PARA SERVIR ESTA SUBDIVISION.

DE LOS CONDUCTOS SANITARIO DE 8", DOS CIENTO - DIES Y SIETE (217) LINEAS DE SERVICIO DE 4" SERAN EXTENDIDAS HA CADA LOTE. LAS LINEAS DE 8", LA POMPA DE PRESION, LA LINEA DE PRESION, SERVICIOS DE 4" Y VENITE-CUATRO (25) ALCANTARILLAS HAN SIDO INSTALADAS, HA UN COSTO TOTAL DE \$ 1,249,260.00 O \$ 5,892.76 POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A LA COMPAÑIA S.W.S.C. UN COSTO TOTAL DE \$ 295,920.00, O \$ 1,395.85 POR LOTE. EL SISTEMA DE DRENAJE SANITARIO ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO

CERTIFICACION:
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

DRENAJE: SE ESTIMA QUE EL DRENAJE COSTARA UN COSTO TOTAL DE \$1,545,180.00 O \$7,288.58 POR LOTE.

ENGINEER'S SIGNATURE _____ DATE _____

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

SANITARY SEWER SERVICE CONNECTION
N.T.S.

MAP OF SEWER DISTRIBUTION SYSTEM
MAPA DE SISTEMA DE DISTRIBUCION DE DRENAJE SANITARIO
SUBDIVISION MAP OF
SONORA ESTATES SUBDIVISION
BEING 46.996 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, BEING ALL OF LOTS 52, 53, AND 54 AND OUT OF LOT 55, OUT OF GOODWIN TRACT SUBDIVISION NO. 3-A, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 6, PAGES 52, HIDALGO COUNTY MAP RECORDS

SUBDIVIDER CERTIFICATION

1. BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS AND OR WATER WELLS FOR EACH LOT(S) MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

1. I, CAYETANO DEVELOPMENT, LLC, SUBDIVIDER OF SONORA ESTATES SUBDIVISION, HEREBY CERTIFY SEWER PERMITS HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT THAT ANY ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

CAYETANO DEVELOPMENT, LLC
JOHN R. MAYS
11410 N. F.M. 493
DONNA, TEXAS 78537

STATE OF TEXAS
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, KNOWN TO ME THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO BE THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE _____ DAY OF _____ 20____

LEGEND

ENGINEER'S SIGNATURE

DATE

PROPOSED WATER SERVICE

PROPOSED 8 INCH WATERLINE

PROPOSED 16 INCH WATERLINE

PROPOSED FIRE HYDRANT

PROPOSED TEE

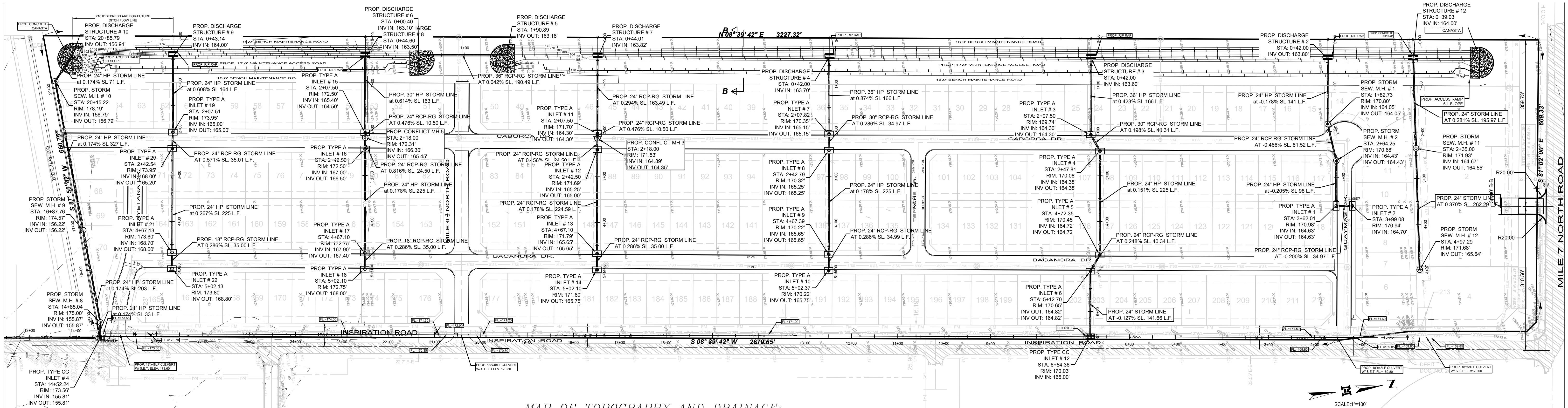
TYPICAL FIBERGLASS MANHOLE
N.T.S.

REVISION NOTES			
NO.	SHEET	REVISION	DATE

SHEET 4 OF 8 SHEETS

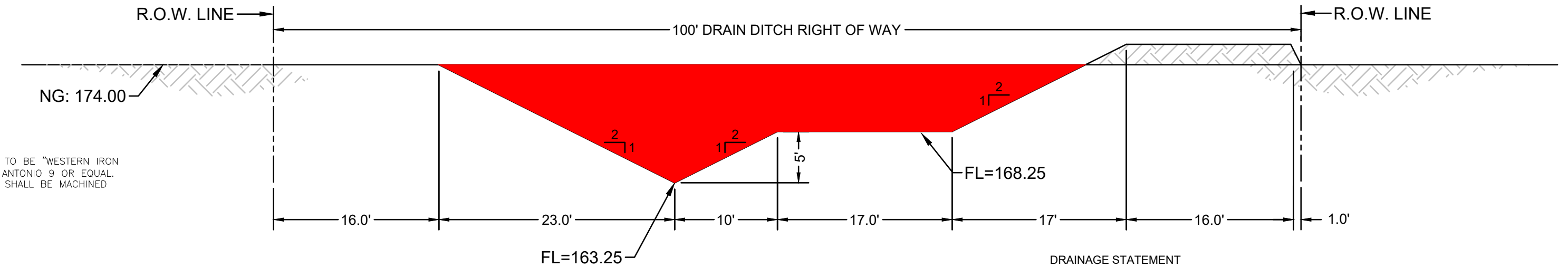
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Date: Aug 26, 2026, 9:45am User ID: ciro File: Y:\Land Development\Residential\Hidalgo County\24072 - Sonora Estates Mile 7 & Inspiration - Cayetano Development\Autocad files\24072-SONORA.dwg

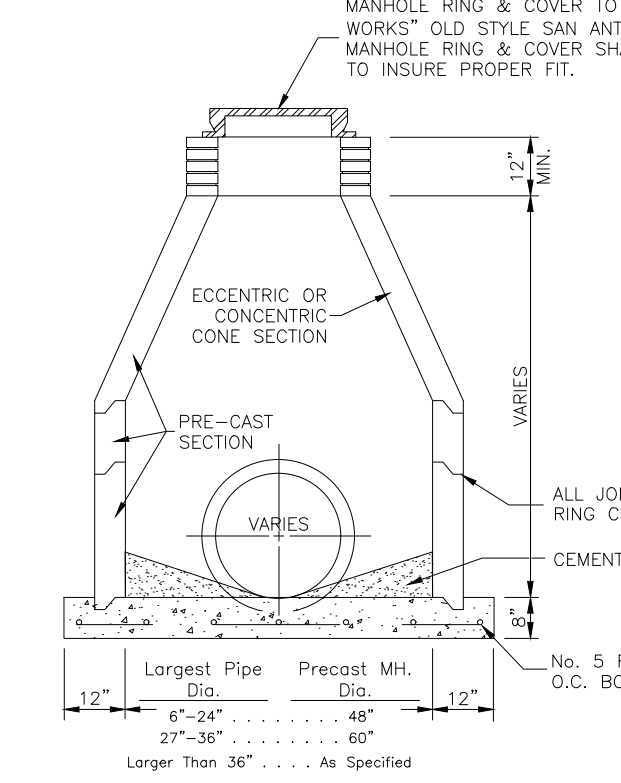


MAP OF TOPOGRAPHY AND DRAINAGE:
MAPA DE TOPOGRAFIA Y DESAGUE:

SUBDIVISION MAP OF
SONORA ESTATES SUBDIVISION
BEING 46.996 ACRES SITUATED IN HIDALGO
COUNTY, TEXAS, BEING ALL OF LOTS 52, 53,
AND 54 AND OUT OF LOT 55, OUT OF
GOODWIN TRACT SUBDIVISION NO. 3-A,
ACCORDING TO THE PLAT THEREOF
RECORDED IN VOLUME 6, PAGES 52, HIDALGO
COUNTY MAP RECORDS



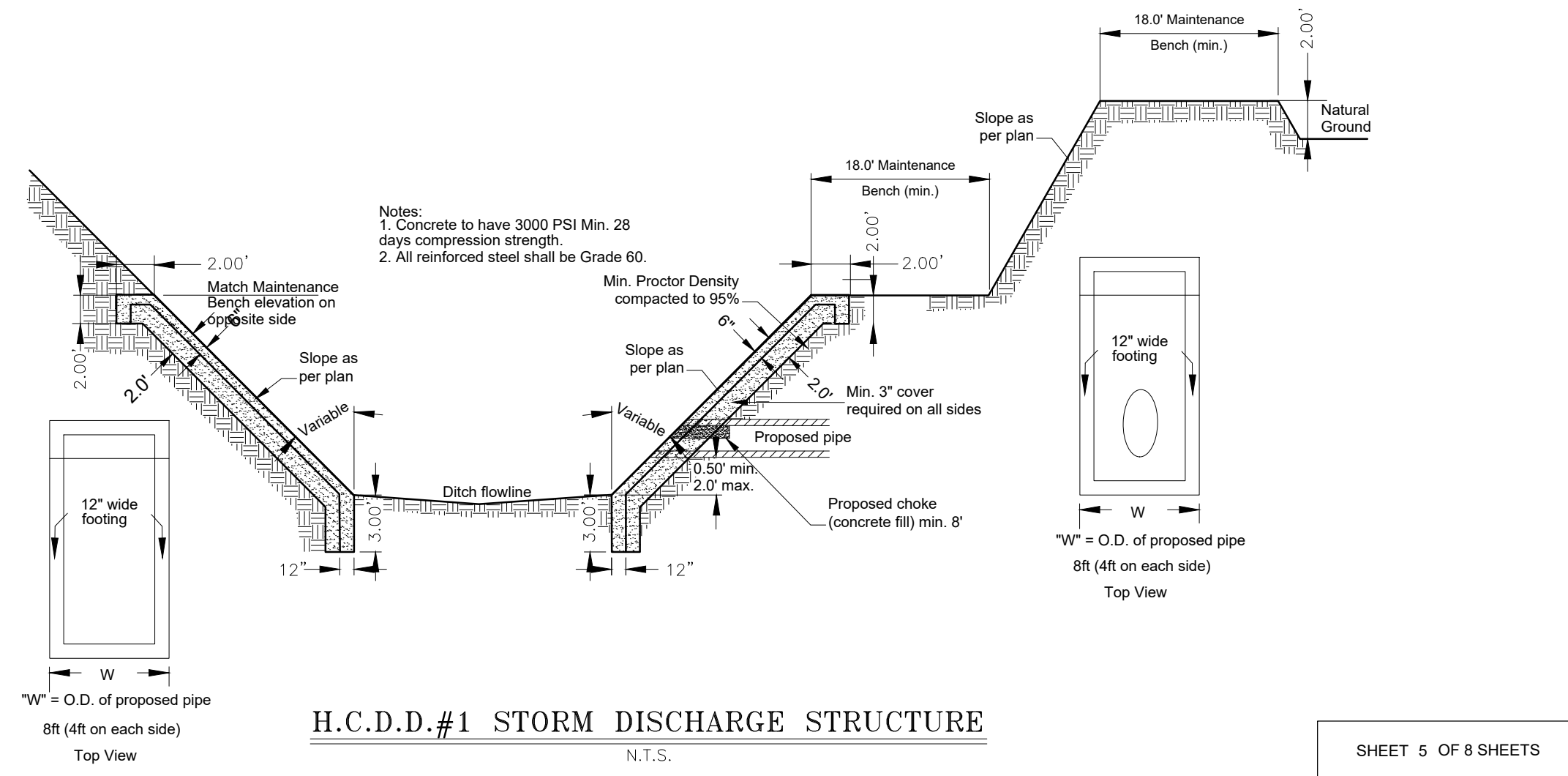
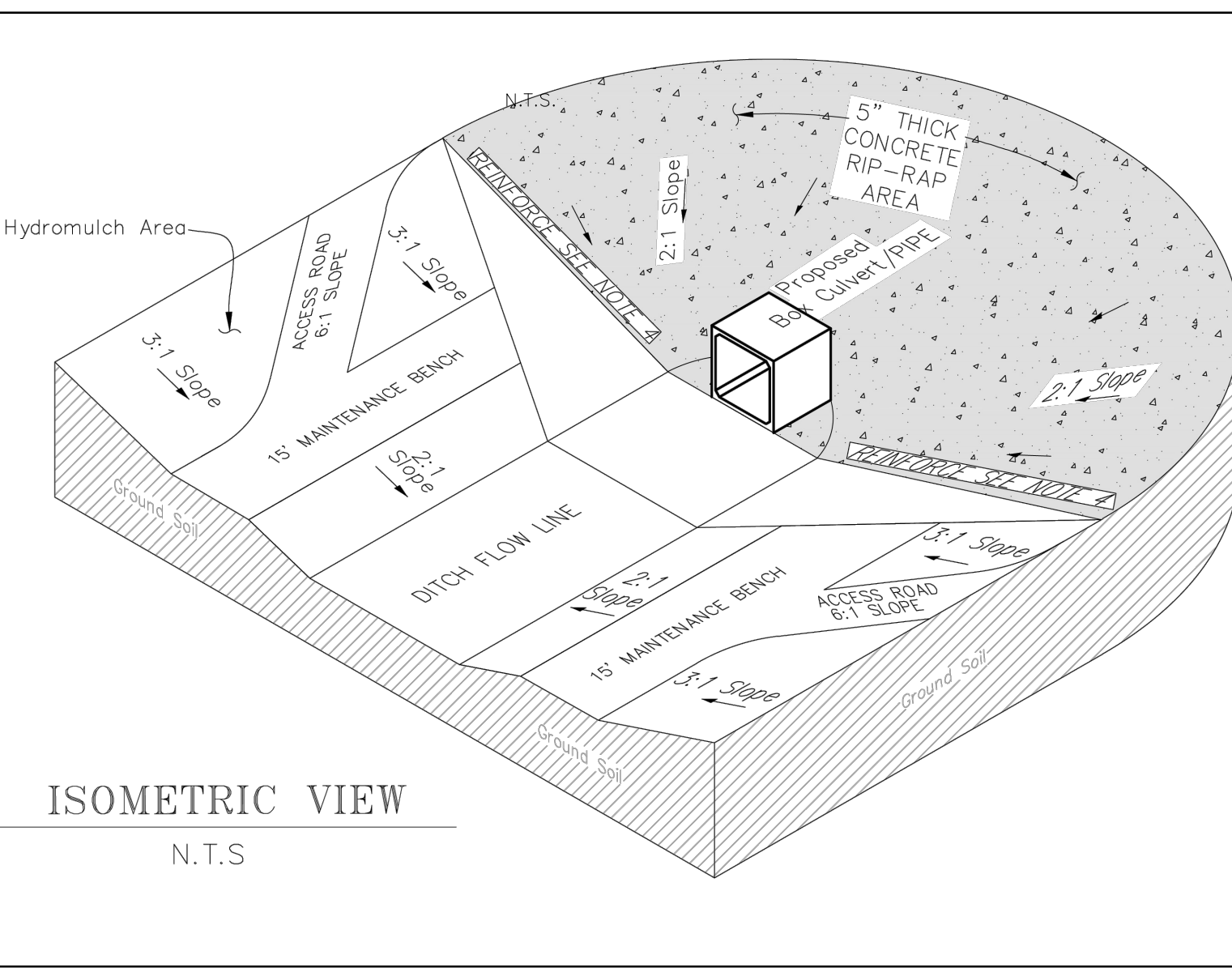
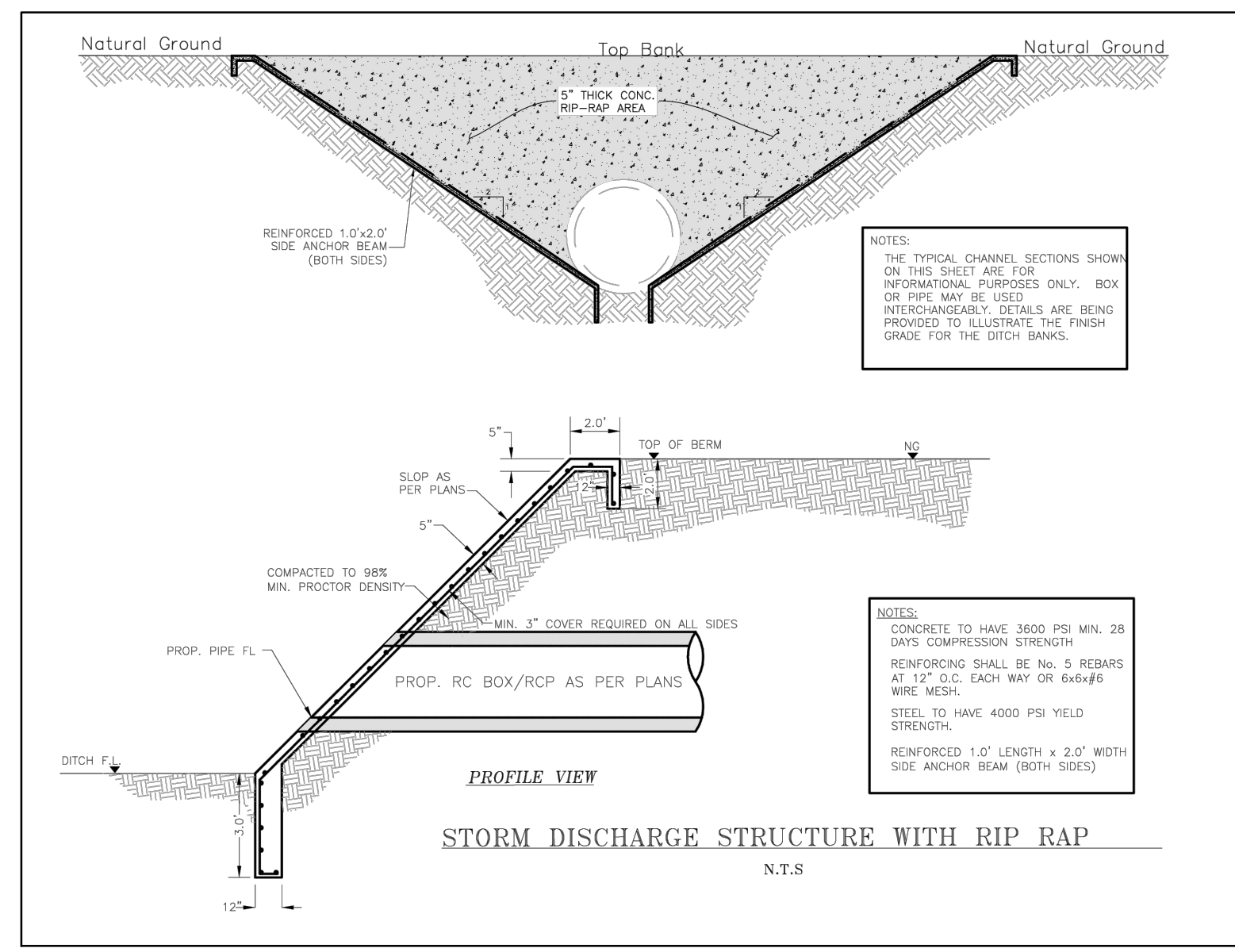
CROSS SECTION "A-A"
N.T.S.
375.00 S.F. (A.C.S.) x 3,090 L.F. = 1,158,750 C.F. (EXCAVATION)

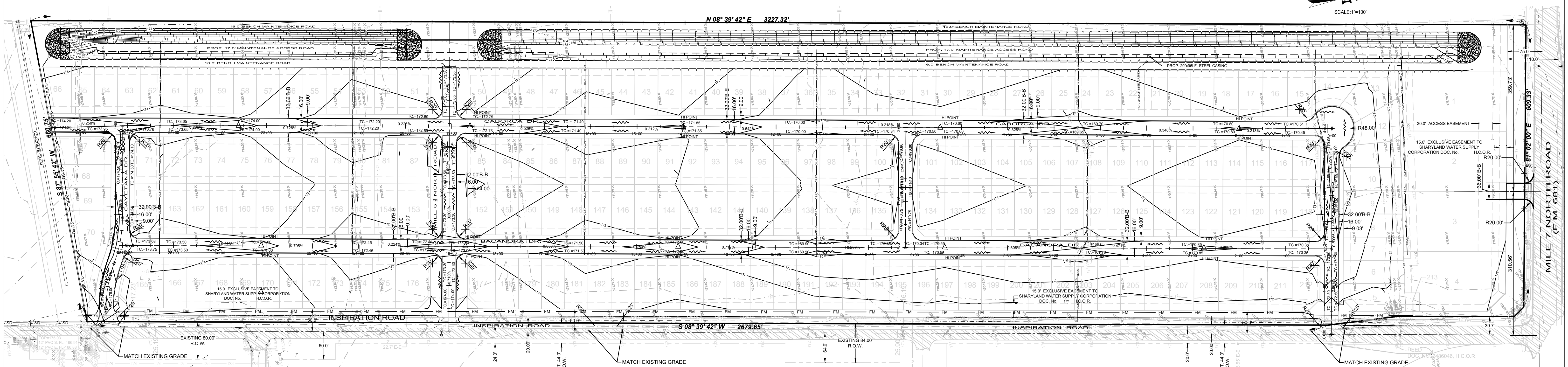


STANDARD STORM SEWER
PRE-CAST CONCRETE MANHOLE

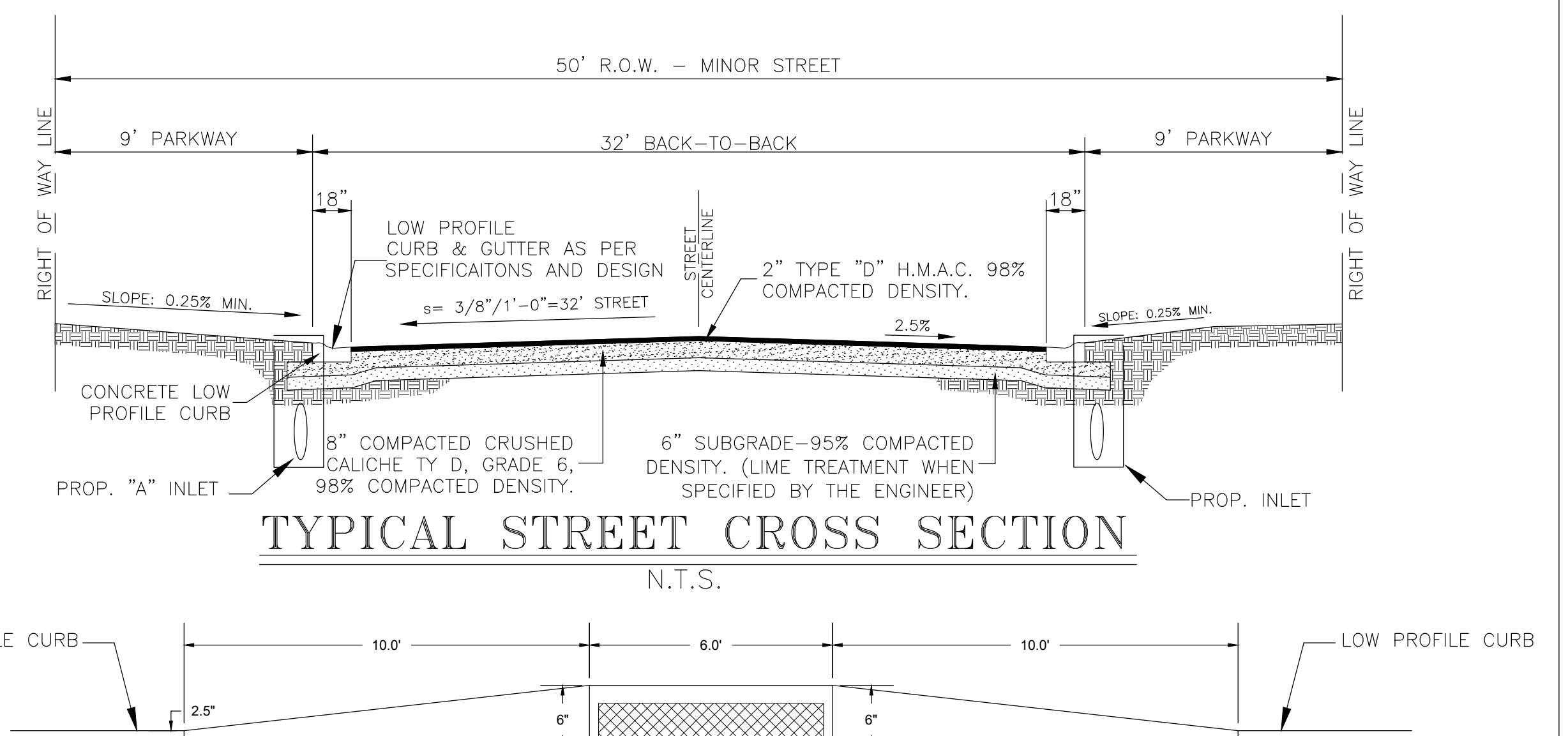
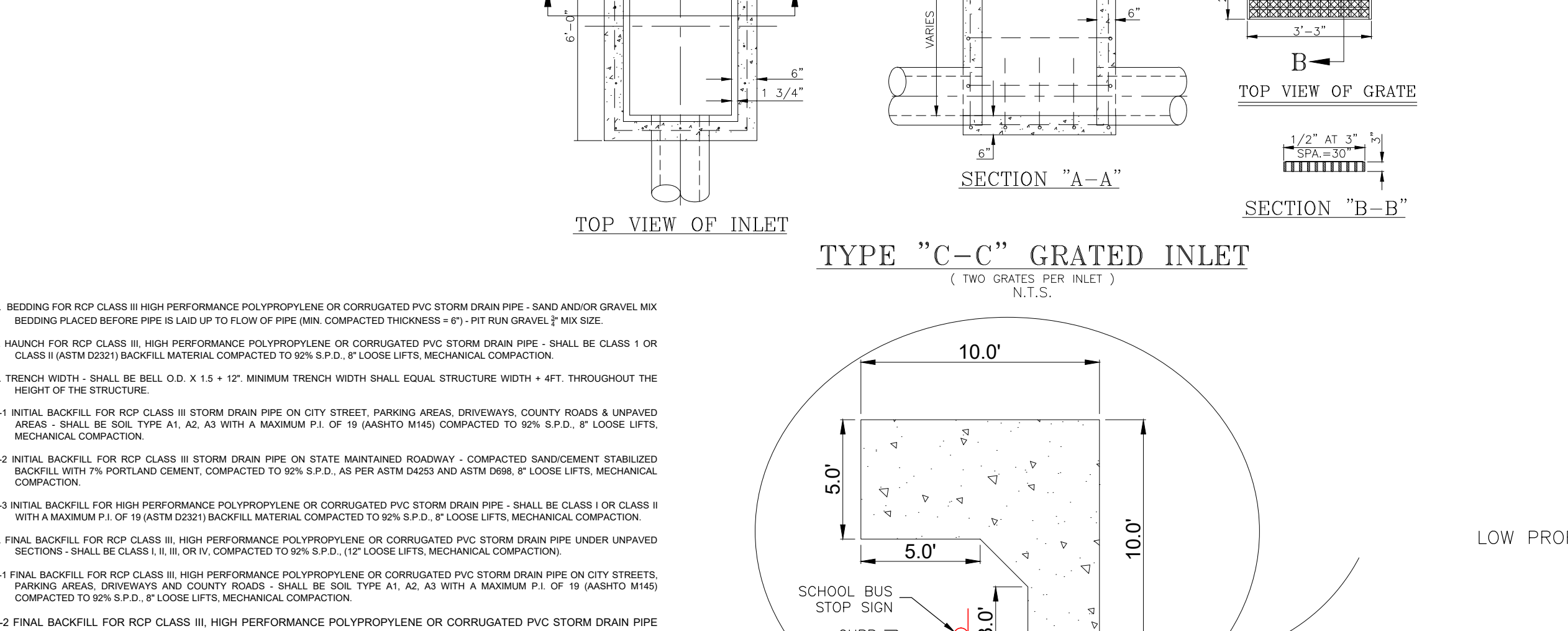
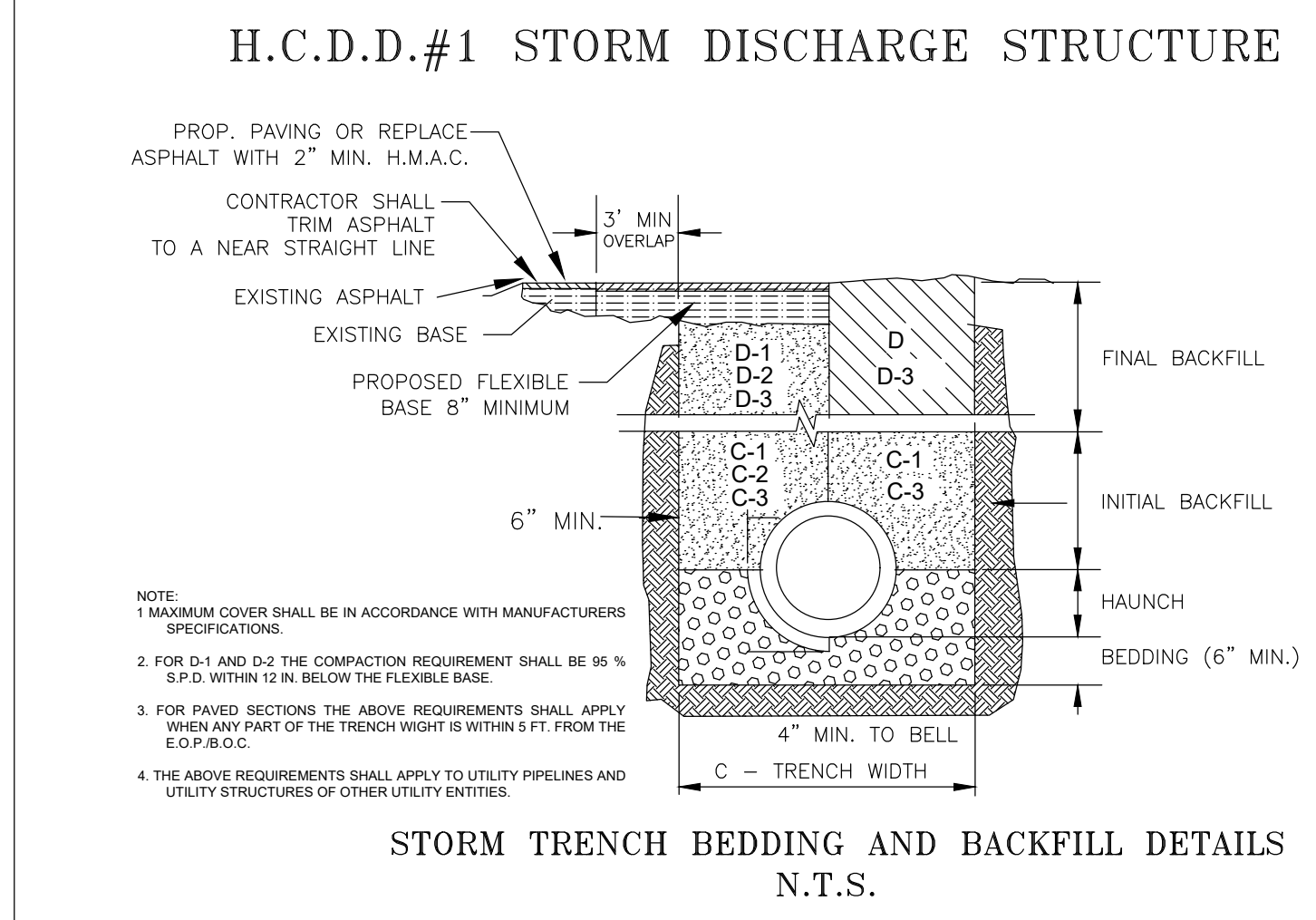
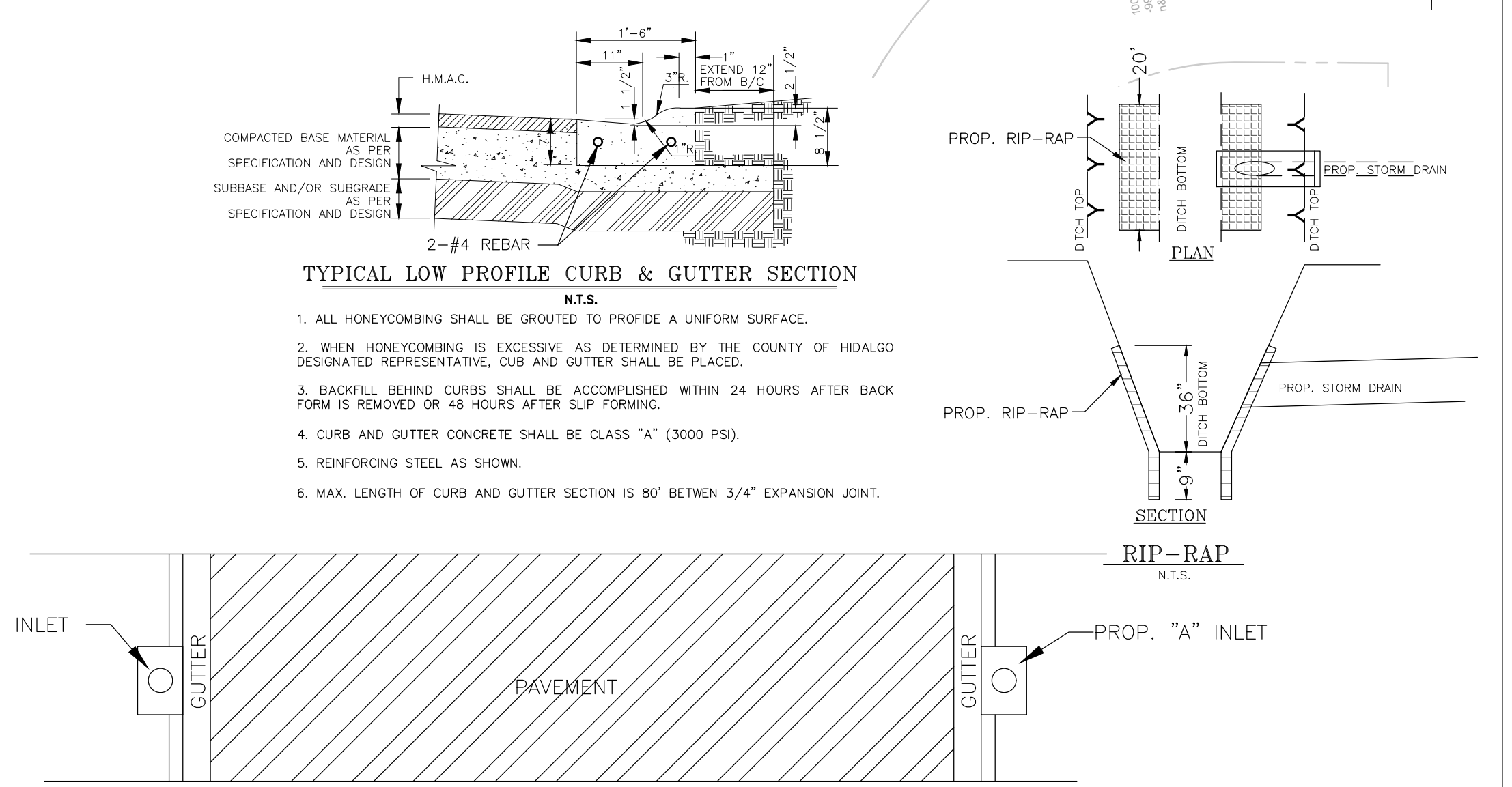
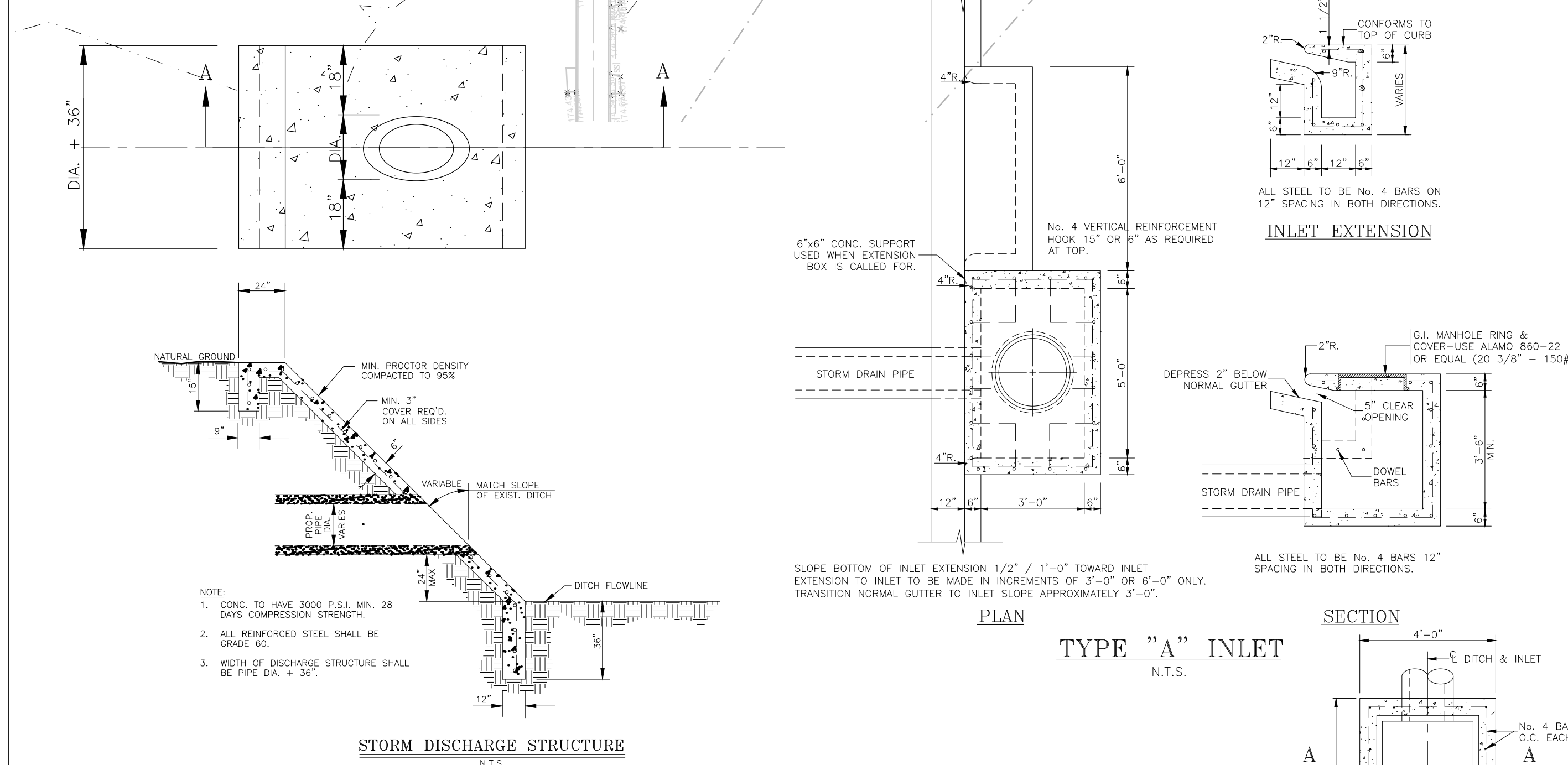
DRAINAGE STATEMENT
SONORA ESTATES SUBDIVISION A TRACT OF LAND CONTAINING 46.996 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, BEING ALL OF LOTS 52, 53, AND 54 AND OUT OF LOT 55, OUT OF GOODWIN TRACT SUBDIVISION NO. 3-A, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 6, PAGES 52, HIDALGO COUNTY MAP RECORDS. THIS SUBDIVISION LIES IN ZONE "X" (UNSHADE), WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE 50-YEAR FLOODPLAIN, COMMUNITY PANEL NO. 480334 0295 D, MAP REVISED: JUNE 6, 2000. THE PROPERTY IS LOCATED ON THE SOUTHWEST CORNER MILE 7 & INSPIRATION ROAD. THE PROPERTY IS CURRENTLY OPEN WITH A PROPOSED USE OF 204 RESIDENTIAL LOTS, CURRENTLY INSIDE HIDALGO COUNTY, TEXAS.
THE SOILS IN THIS AREA (25) HIDALGO FINE SANDY LOAM AND (28) HIDALGO SANDY CLAY, WHICH ARE IN HYDROLOGIC GROUP "B". THESE SOILS ARE MODERATELY PEROUS AND HAVE A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM "SOIL SURVEY OF HIDALGO COUNTY, TEXAS").
EXISTING RUNOFF IS IN A NORTHEASTERLY DIRECTION, WITH A RUNOFF OF 28.79 C.F.S. DURING THE 10-YEAR STORM FREQUENCY AS PER THE ATTACHED CALCULATIONS. PROPOSED RUNOFF AFTER DEVELOPMENT IS 163.61 C.F.S., DURING THE 50-YEAR STORM FREQUENCY, PER THE ATTACHED CALCULATION, WHICH IS AN INCREASE OF 134.82 C.F.S.

THE PROPOSED DRAINAGE FOR THIS SUBDIVISION SHALL CONSIST OF SURFACE RUNOFF FROM THE LOTS INTO THE PROPOSED STREETS AND COLLECTED BY TYPE "A" INLETS LOCATED AT KEY POINTS WITHIN THE SUBDIVISION. THE PIPE SIZE DIAMETERS SHALL RANGE FROM 24" TO 42". THE PROPOSED STORM SYSTEM SHALL DISCHARGE INTO A PROPOSED DRAINAGE DITCH SYSTEM ON THE WEST & MIDDLE OF THE SITE, WHICH WILL BE DEDICATED TO HCDD #1 BY PLAT. THE PROPOSED DRAINAGE SYSTEM WILL DISCHARGE INTO AND EXISTING H.C.D.D. #1 DRAIN DITCH (FM 681 OUTFALL) VIA STORM PIPE.
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE POLICY, THE PEAK RATE OF RUNOFF IN THIS SUBDIVISION WILL NOT BE INCREASED DURING THE 50-YEAR RAINFALL EVENT DUE TO THE BUILDING OF THIS SUBDIVISION. THEREFORE, AS PER ATTACHED CALCULATIONS THE REQUIRED 242,462 CUBIC FEET OF DETENTION WILL BE PROVIDED WITHIN THE PROPOSED DRAINAGE DITCHES.





MAP OF TOPOGRAPHY AND DRAINAGE:
MAPA DE TOPOGRAFIA Y DESAGUE:
SUBDIVISION MAP OF
SONORA ESTATES SUBDIVISION
BEING 46.996 ACRES SITUATED IN HIDALGO
COUNTY, TEXAS, BEING ALL OF LOTS 52, 53,
AND 54 AND OUT OF LOT 55, OUT OF
GOODWIN TRACT SUBDIVISION NO. 3-A,
ACCORDING TO THE PLAT THEREOF
RECORDED IN VOLUME 6, PAGES 52, HIDALGO
COUNTY MAP RECORDS





STANDARD WATER PIPE BEDDING DETAILS

THRUST BLOCKS DETAILS

NOTE: SEE THRUST BLOCK SIZE CHART FOR PROPER THICKNESS AND SURFACE AREAS



STANDARD FIRE HYDRANT INSTALLATION

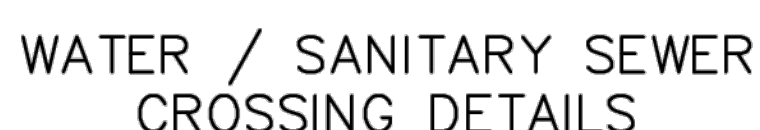
MULLER(SUPER CENTURION 250 A-423) OR
AMERICAN DARLING B-84-B (SEE NOTE 4) ONLY
NOTE: FIRE HYDRANT TO BE PAINTED RED.



REV. DATE: 4/8/20

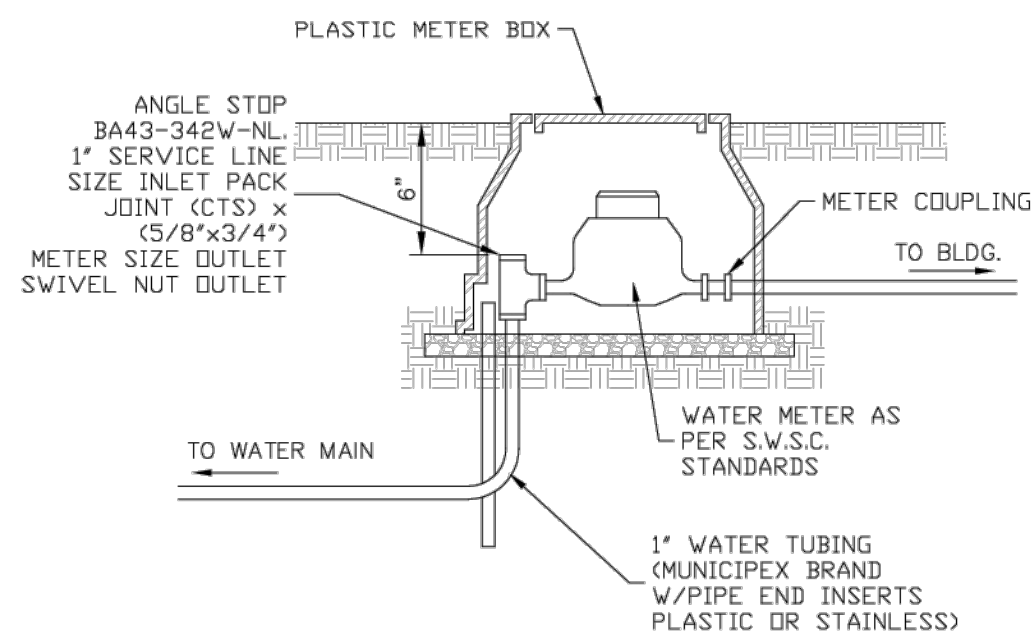
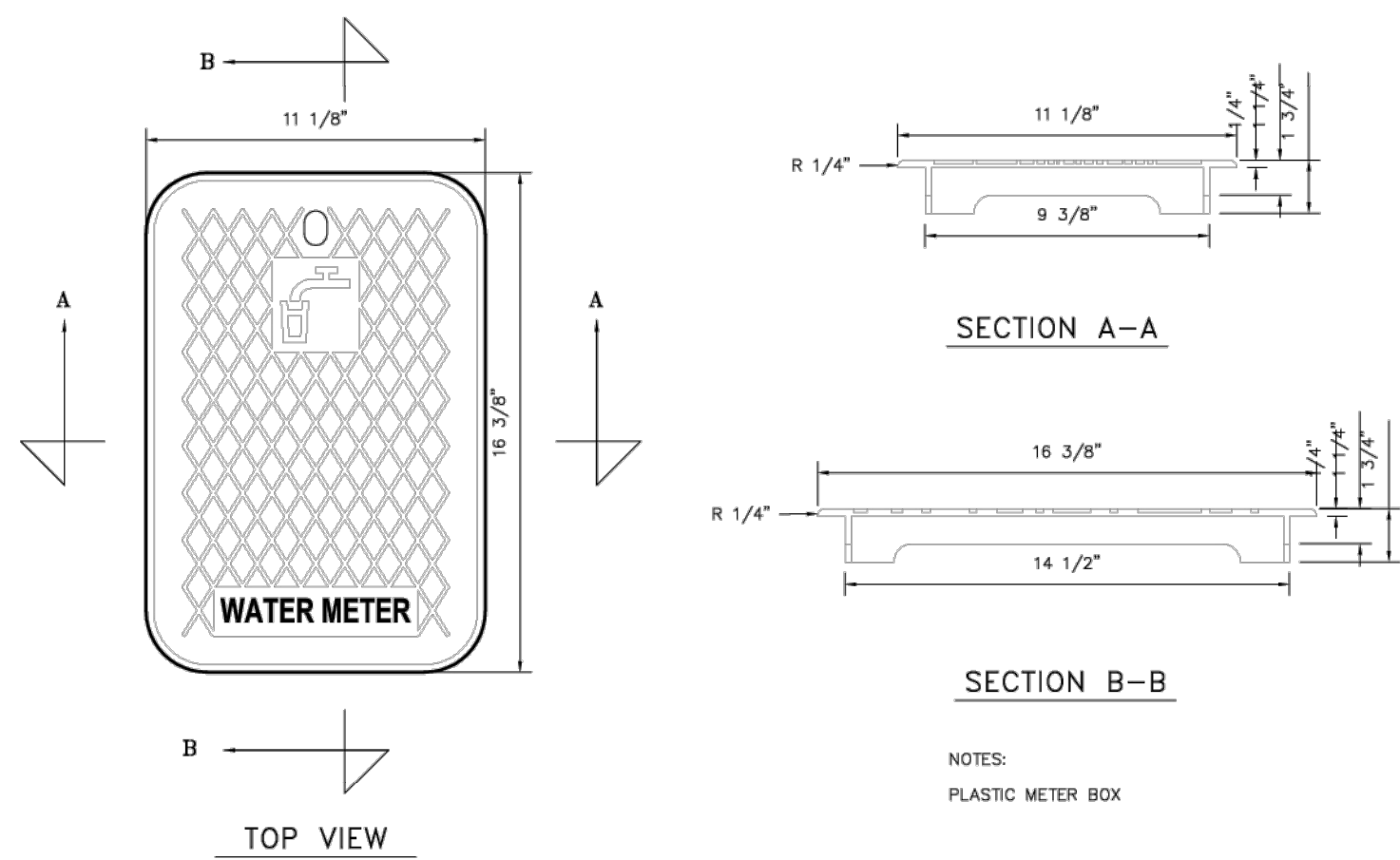


Sharyland
WATER SUPPLY CORPORATION



This diagram illustrates a method for tapping a water main using a gate valve and a vertical riser pipe. The components and their labels are as follows:

- 2"X4" THREADED GALVANIZED NIPPLE**: Connects the water main to the gate valve.
- WATER MAIN**: The main water supply line being tapped.
- COMPACT GLAND KIT**: Used to secure the connection to the water main.
- 2"X12" THREADED GALVANIZED NIPPLE**: Connects the gate valve to the horizontal section of the riser pipe.
- 2" RW GATE VALVE**: The valve used to isolate the tapping point from the water main.
- 2" THREADED GALVANIZED ELBOW**: Connects the horizontal riser pipe to the vertical section.
- 2"X60" THREADED GALVANIZED NIPPLE**: The vertical riser pipe extending above ground.
- 2" THREADED GALVANIZED CAP**: The top cap of the riser pipe.
- UNDISTURBED EARTH OR THRUST BLOCK**: The base of the riser pipe, which is embedded in the ground.
- N.G.**: Not Ground, indicating the ground level.

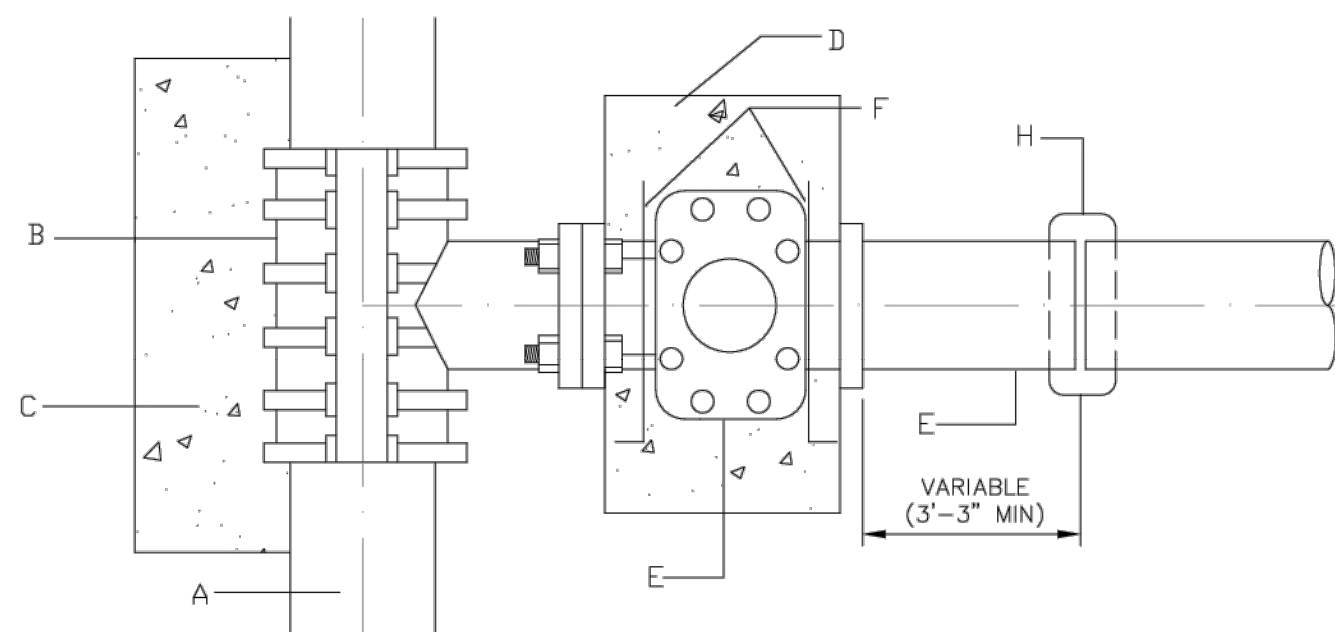
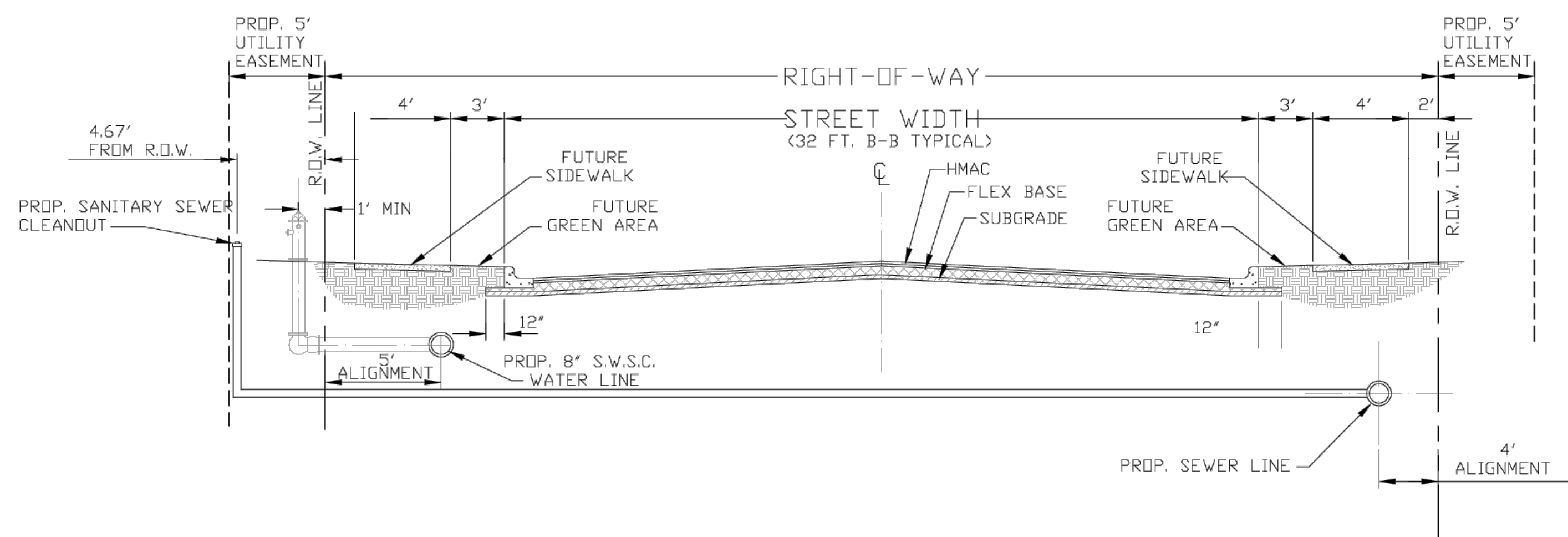


OMIT
(FUTURE DETAIL USE)

FLUSH VALVE DETAIL

METER COVER DETAIL

TYPICAL WATER METER INSTALLATION

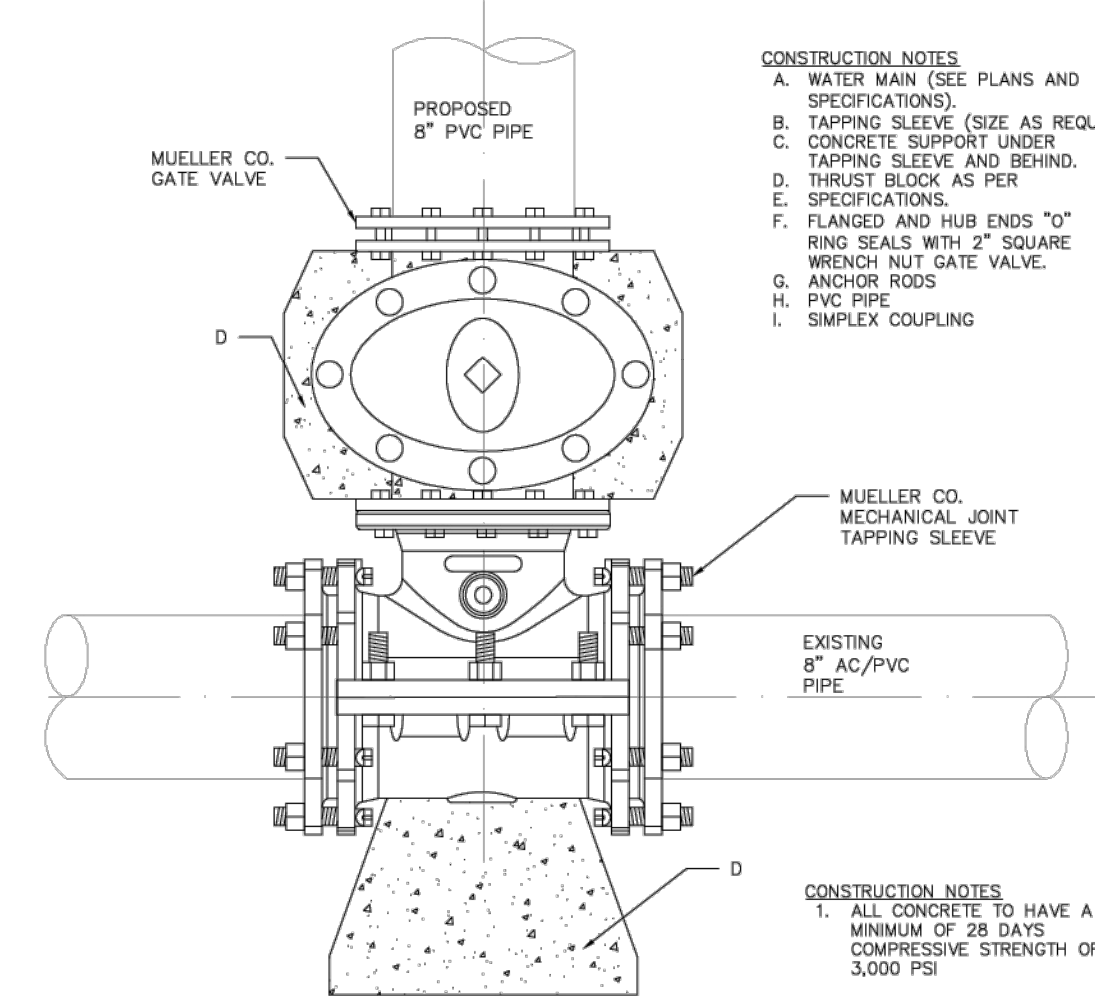


GENERAL NOTES:

1. ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.

CONSTRUCTION NOTES:

A. WATER MAIN. (SEE PLANS AND SPECIFICATIONS)
B. TAPPING SLEEVE (SIZE AS REQUIRED).
C. CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND
D. THRUST BLOCK AS PER SPECIFICATIONS.
E. FLANGED AND HUB ENDS "0" RING SEALS WITH 2" SQUARE
WRENCH NUT GATE VALVE.
F. ANCHOR RODS.
G. PVC PIPE.
H. SIMPLEX COUPLING.

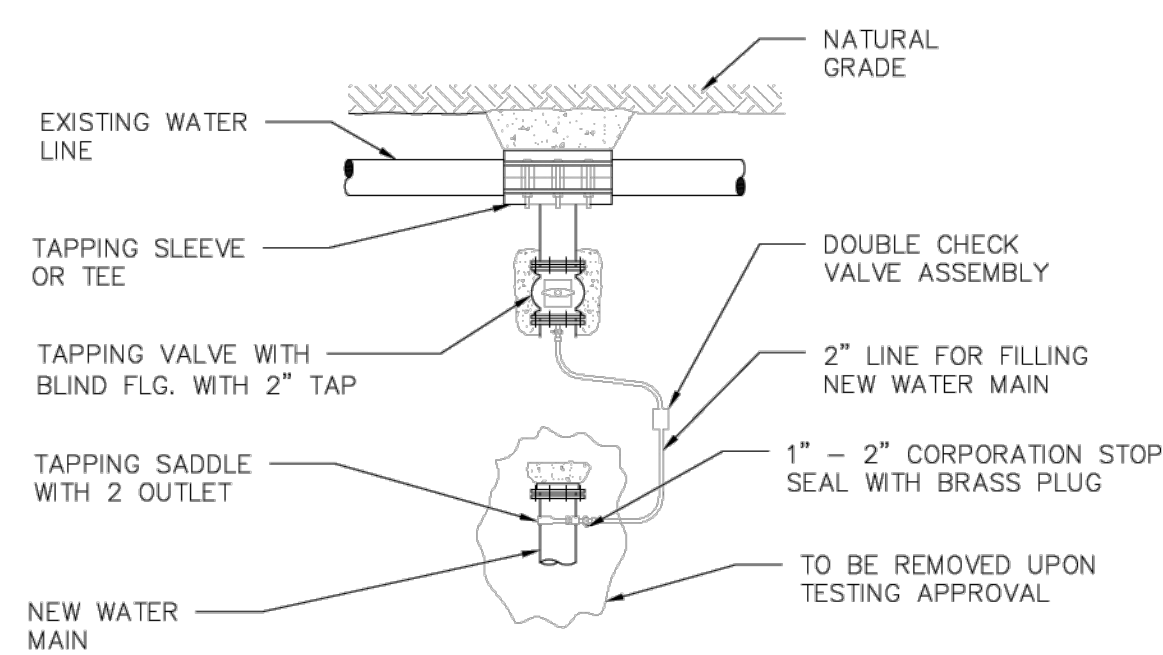


CONSTRUCTION NOTES

- A. WATER MAIN (SEE PLANS AND SPECIFICATIONS).
- B. TAPPING SLEEVE (SIZE AS REQUIRED)
- C. CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
- D. THRUST BLOCK AS PER SPECIFICATIONS.
- F. FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
- G. ANCHOR RODS
- H. PVC PIPE
- I. SIMPLEX COUPLING

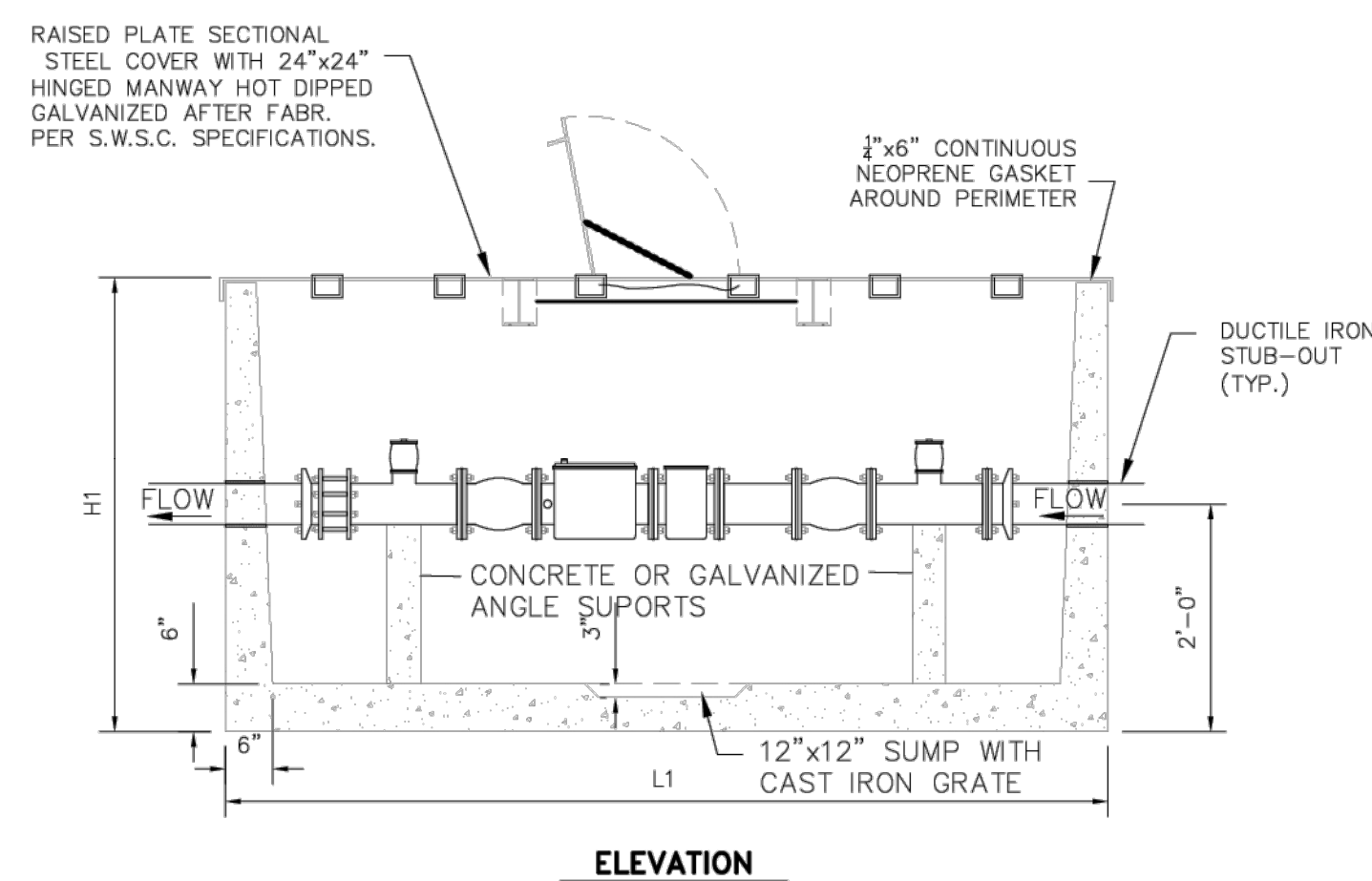
CONSTRUCTION NOTES
1. ALL CONCRETE TO HAVE A
MINIMUM OF 28 DAYS
COMPRESSIVE STRENGTH OF
3,000 PSI

TYPICAL LOCAL STREET SECTION

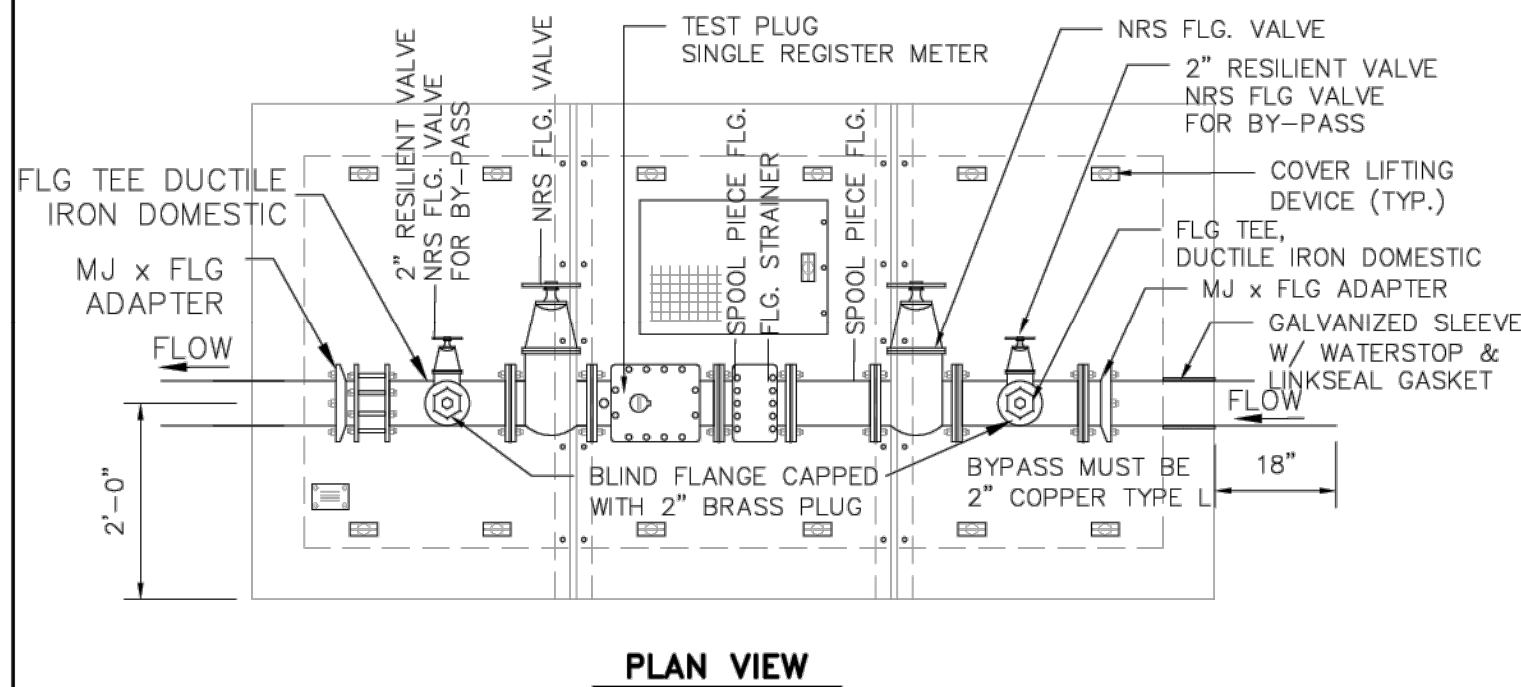


NOTES:

1. THIS METHOD SHALL ALSO BE USED AT A NEW CONNECTION TO AN EXISTING DEAD END LINE.
2. AFTER THE NEW LINE HAS BEEN DISINFECTED AND PRESSURIZED, THE VALVE AT THE CONNECTION TO THE EXISTING LINE SHALL BE OPENED (BY S.W.S.C.) TO FLUSH OUT THE SUPER CHLORINE.
3. 2" TAP DEE NEED TO BE PAID BY DEVELOPER, CONTRACTOR OR CUSTOMER.



ELEVATION



PLAN VIEW

SPECIFICATIONS:

CONCRETE: CLASS 1 CONCRETE WITH DESIGN STRENGTH OF 4500 PSI AT 28 DAYS.
UNIT OF MONOLITHIC CONSTRUCTION AT FLOOR AND FIRST STAGE OF WALL WITH
SECTIONAL RISER TO REQUIRED DEPTH.

REINFORCEMENT: GRADE 60 REINFORCED. STEEL REBAR CONFORMING TO ASTM A615 ON REQUIRED CENTERS OR EQUAL.

STEEL COVER: ALL STEEL FABRICATION SHALL BE IN ACCORDANCE TO AWA D1.1. STEEL SHALL BE ASTM A36 CARBON STEEL, AND HOT DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE TO ASTM A 123. STANDARD COVER IS RATED FOR 50 PSF.

ENGINEERING DATA: THE METER ASSEMBLY SHALL BE FACTORY ASSEMBLED IN VAULT & HYDROSTATICALLY TESTED PRIOR TO DELIVERY. FIELD EXCAVATION & PREPARATION SHALL BE COMPLETE PRIOR TO DELIVERY. PIPE, VALVES AND FITTINGS OF THE ASSEMBLY SHALL BE APPROVED BY ONE OR MORE OF THE FOLLOWING ASSOCIATIONS: AMERICAN WATER WORKS ASSOCIATION, UNDERWRITERS LABORATORIES, UNIFORM PLUMBING CODE, AMERICAN SOCIETY OF SANITARY ENGINEERING.

MODEL	SIZE	BY PASS	L1	W1	H1	WEIGHT LBS
DMCCOH3	3"	2"	11'-6"	6'-0"	4'-3"	14,500
DMCCOH4	4"	2"	11'-6"	6'-0"	4'-3"	15,000
DMCCOH6	6"	4"	13'-6"	6'-0"	4'-3"	15,500

METHOD FOR FILLING NEW WATER LINES PRIOR TO CHLORINATION AND TESTING

METER VAULT DETAILS

METER VAULT DETAILS

METER VAULT
GENERAL NOTES

[illegible]