



Anthony Uresti,
Director of Planning

HIDALGO COUNTY PLANNING DEPARTMENT

2818 S. BUSINESS HWY 281
EDINBURG TEXAS 78539
Tel. 956-318-2840 Fax. 956-318-2844

HIDALGO COUNTY COMMISSIONERS COURT MEETING

DATE: 9-29-2026

PROPOSED TRENTON TOWER ESTATES SUBDIVISION, PRECINCT No. 4

ENGINEER MELDEN & HUNT INC. DEVELOPER: KVL REAL ESTATE HOLDINGS, LLC

☒ PRELIMINARY APPROVAL ☐ FINAL APPROVAL ☐ FINAL APPROVAL WITH FINANCIAL GUARANTEE ☒ WITH VARIANCE

NUMBER OF LOTS: 133 ☒ *SINGLE FAMILY ☐ *MULTI-FAMILY ☐ COMMERCIAL ☐ INSTITUTIONAL

ESTIMATED NUMBER OF STREETLIGHTS: 20

FILLING STATIONS: 8

LOCATION DESCRIPTION: NORTH OF TRENTON ROAD APPROXIMATELY 1/2 OF MILE EAST OF TOWER ROAD.

SUBDIVISION LIES WITHIN THE: ☒ RURAL AREA

DRAINAGE REPORT WAS APPROVED BY HCDD#1: ON 8-15-2026 PROPERTY LIES WITHIN FLOOD ZONE: "B" AS PER FEMA.

DRAINAGE DESIGN: DRAINAGE WILL BE PROVIDED BY STORM SEWER SYSTEM AND DETENTION WILL BE PROVIDED BY NEW PROPOSED DITCH.

SEWER SYSTEM: ☒ SANITARY SEWER N.A.W.S.C. LOCATION: TRENTON

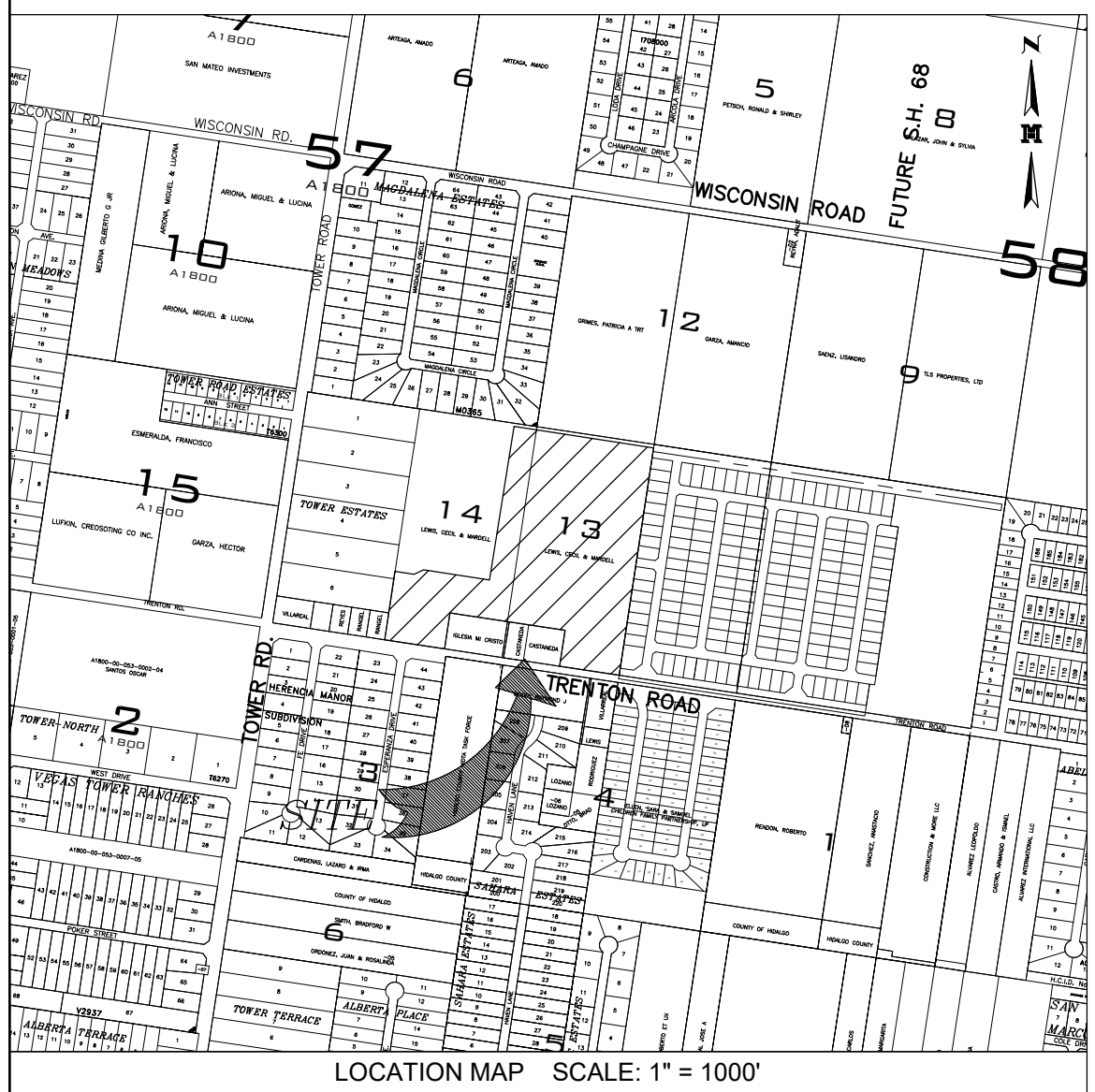
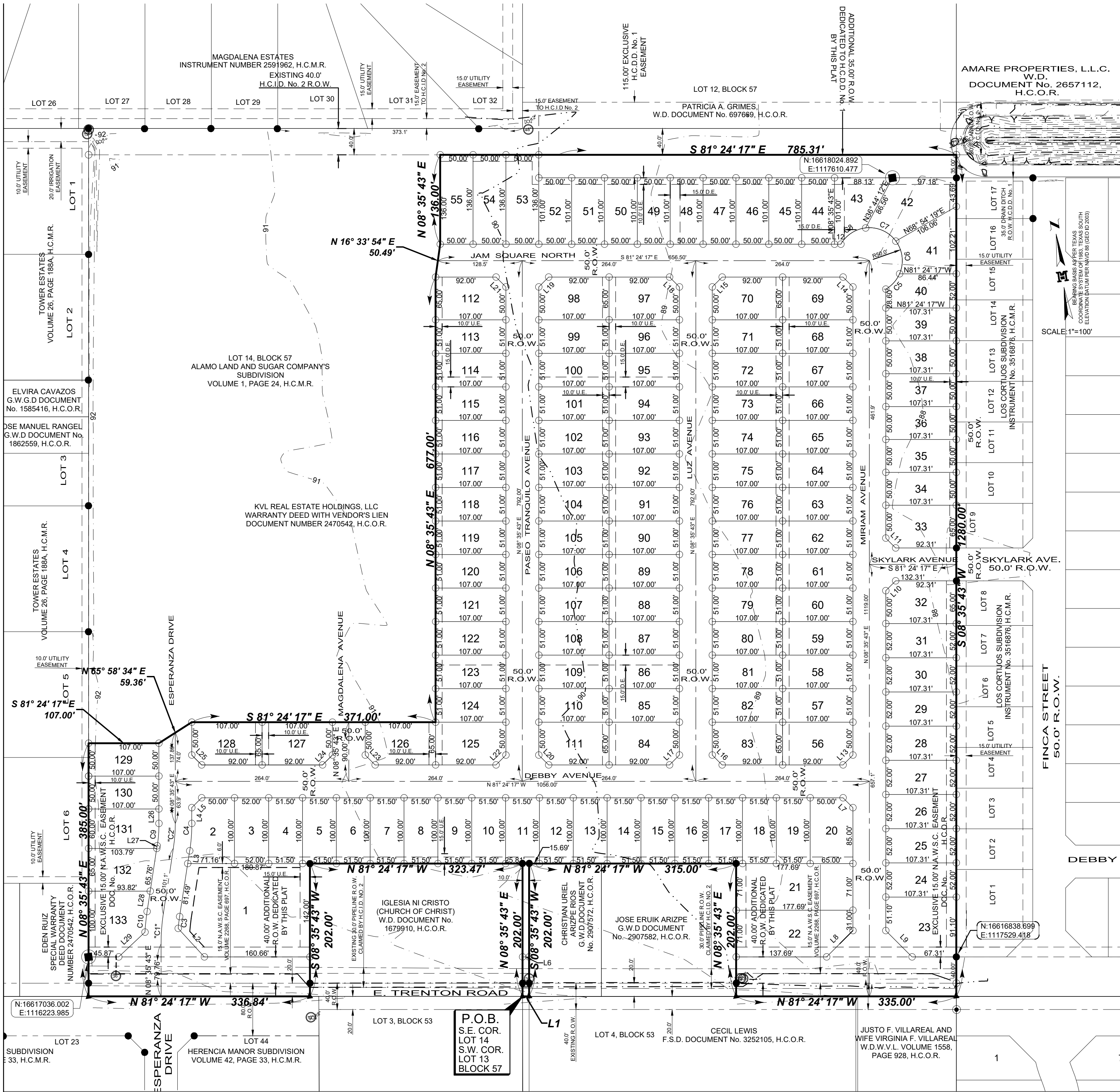
WATER SERVICE PROVIDER: N.A.W.S.C. LINE SIZE: 8" LOCATION: TRENTON

VARIANCE REQUEST TITLE B. CHAPTER 3. SECTION 3.5 ITEM E13 SETBACKS
TITLE B. CHAPTER 2. SECTION 2.7 ITEM EASEMENTS

STAFF RECOMMENDS: ☒ **Preliminary Approval** *subject to comments and future recommendations by planning, other departments. Other departments.*

☐ **Final Approval** *with financial guarantee.*

* This subdivision plat has been reviewed and complies with the Hidalgo County Subdivision Rules, Texas Water Development Board Model Subdivision Rules and The Texas Local Government Code.



**SUBDIVISION MAP OF
TRENTON TOWER ESTATES SUBDIVISION
PHASE 1
BEING 25.253 ACRES OUT OF
LOTS 13 & 14, BLOCK 57
ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION
VOLUME 1, PAGE 24 H.C.M.R.
HIDALGO COUNTY, TEXAS**

LEGEND

- ▲ FOUND COTTON PICKER SPINDLE
- FOUND NO. 4 REBAR
- FOUND PIPE
- SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- ▲ SET NAIL
- DISK SET IN CONCRETE

H.C.M.R. - HIDALGO COUNTY MAP RECORDS
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
H.C.D. - HIDALGO COUNTY DEED RECORDS
N.A.W.S.C. - NORTH ALAMO WATER SUPPLY CORPORATION
N.E. COR. - NORTHEAST CORNER
S.D.E. - STORM DRAIN EASEMENT
U.E. - UTILITY EASEMENT
R.O.W. - RIGHT-OF-WAY
DOC. NO. - DOCUMENT NUMBER
S.W.D.W.V.L. - SPECIAL WARRANTY DEED WITH VENDERS LIEN
W.D.W.V.L. - WARRANTY DEED WITH VENDERS LIEN
G.W.D. - GENERAL WARRANTY DEED
S.W.D. - SPECIAL WARRANTY DEED
----- IRRIGATION LINE

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	KVL REAL ESTATE HOLDINGS, LLC, 5121 W. STATE HIGHWAY 107	EDINBURG, TX 78539	(956) 386-1507	C/(956) 381-1839
ENGINEER:	MARIO A. REYNA P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981
SURVEYOR:	RUBEN JAMES DE JESUS R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRAJURISDICTIONAL JURISDICTION OF A MUNICIPALITY:

TRENTON TOWER ESTATES SUBDIVISION PHASE 1 IS LOCATED IN THE EAST PART OF HIDALGO COUNTY ON THE NORTH SIDE OF E. TRENTON ROAD, APPROXIMATELY 0.38 OF ONE MILE EAST OF ITS INTERSECTION WITH TOWER ROAD, THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,970), TRENTON TOWER ESTATES SUBDIVISION PHASE 1 LIES APPROXIMATELY 2.3 MILES FROM THE CITY LIMITS (AND IS WITHIN THE 3 MILE EXTRAJURISDICTIONAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. THIS SUBDIVISION FALLS WITHIN PRECINCT 4.

Melden & Hunt, Inc.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

RIGHT OF WAY EASEMENT
KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS AND ASSIGNS, AN EXCLUSIVE PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE AND REMOVE WATER DISTRIBUTION LINES AND APPURTANANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE GRANTED. THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

IN THE EVENT THE EASEMENT HEREBY GRANTED ABUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREAFTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANTOR FURTHER GRANTS TO GRANTEE AN ADDITIONAL EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATING SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTOR BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN. THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS. THE GRANTOR COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS, EXCEPT THE FOLLOWING:

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF THE TITLE V OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANTOR HAS EXECUTED THIS INSTRUMENT THE _____ DAY OF _____, 20____.

KVL REAL ESTATE HOLDINGS, LLC
VICTOR J. DANIEC, MANAGING MEMBER
5121 W. STATE HIGHWAY 107
EDINBURG, TEXAS 78539

ACKNOWLEDGMENT

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED _____, VICTOR J. DANIEC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES: _____

**HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
IRRIGATION DISTRICT NO. 2**

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT
NO. 2 ON THIS THE _____ DAY OF _____, 2026.

- GENERAL PLAT NOTES & RESTRICTIONS:
HIDALGO COUNTY GENERAL SUBDIVISION PLAT NOTES
- FLOOD ZONE STATEMENT:
ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE RIGHT-OF-WAY OR EASEMENTS.
(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.
COMMUNITY-PANEL NUMBER: 480334 0425 C MAP REVISED- NOVEMBER 16, 1982.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UNDER HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS-OF-WAY OR EASEMENTS.

PRESIDENT

ATTEST: SECRETARY

**HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)**

WE THE UNDER SIGNED CERTIFY THAT THIS
PLAT OF _____ TRENTON TOWER ESTATES SUBDIVISION PHASE 1
WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY
COMMISSIONERS COURT ON _____ DAY OF _____, 20____.

HIDALGO COUNTY JUDGE

HIDALGO COUNTY CLERK

**HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE § 49.211 (G). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN P.E., C.F.M.
GENERAL MANAGER

- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 10.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO VISIBLE WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S).
- EACH LOT SHALL HAVE ITS OWN WATER METER.
- A 5' SIDEWALK WITH A.D.A. RAMPS FOR ALL INTERIOR STREET AT BUILDING PERMIT STAGE.
- NO INDIVIDUAL LOT DRIVEWAY ACCESS WILL BE ALLOWED FROM (TRENTON ROAD) ON TO LOTS 1, 22, 23 & 133.
- LOTS 1, 22, 23 & 133 SHALL NOT HAVE ACCESS/DRIVEWAY ONTO TRENTON ROAD, UNLESS SAID LOT IS DESIGNATED FOR COMMERCIAL USE. LOCATION OF ACCESS/DRIVEWAY SHALL BE SHOWN ON THE SITE PLAN AND BE SUBJECT TO APPROVAL FROM THE HIDALGO COUNTY PLANNING DEPARTMENT. LOTS 1, 22, 23 & 133, SHALL NOT HAVE ACCESS TO INTERNAL STREETS AS COMMERCIAL LOTS.
- ALL BEARING AND DISTANCES ARE BASED ON GRID COORDINATES
- AS PER PUBLIC WORKS, ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
- BUFFER FENCE SHALL BE INSTALL BY DEVELOPER FOR ALL LOTS ABUTTING TRENTON ROAD.
- 6' CEDAR FENCE REQUIRED ALONG THE NORTH SIDE OF LOTS 42 THROUGH 55 BY THE DEVELOPER DURING CONSTRUCTION.

STATE OF TEXAS
COUNTY OF HIDALGO

WEKVL REAL ESTATE HOLDING, LLC
AS OWNER OF THE _____ 25.253 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED TRENTON TOWER ESTATES SUBDIVISION PHASE 1, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET(S), PARK, AND EASEMENTS SHOWN HEREIN.
I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

KVL REAL ESTAE HOLDINGS, LLC, ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

VICTOR J. DANIEC, MANAGING MEMBER
KVL REAL ESTATE HOLDINGS, LLC
5121 W. STATE HIGHWAY 107
EDINBURG, TEXAS 78539

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED VICTOR J. DANIEC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

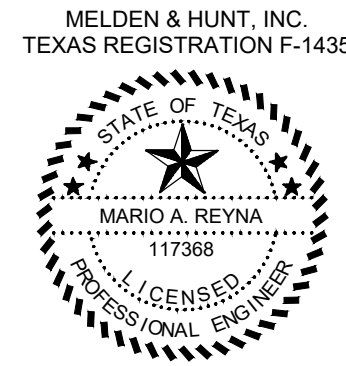
NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. REYNA, P.E. # 117368
DATE PREPARED: 1-23-2026
ENGINEERING JOB NO. 26025.00

DATE: _____



STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, RUBEN JAMES DE JESUS, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF TRENTON TOWER ESTATES SUBDIVISION PHASE 1, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 11-01-21, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

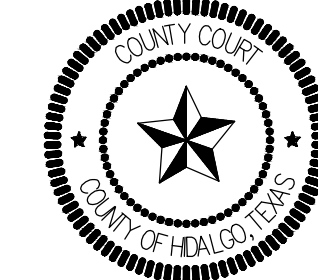
RUBEN JAMES DE JESUS, R.P.L.S. # 6813
DATE SURVEYED: 02-03-25
SURVEY JOB NO. 25309.08

DATE: _____



INDEX TO SHEET OF TRENTON TOWER ESTATES SUBDIVISION PHASE 1

- SHEET 1: HEADING, LOCATION MAP AND E.T.J. PRINCIPAL CONTACTS, MAP, LOT, STREETS, AND EASEMENT LAYOUT; ENGINEERING CERTIFICATION, SURVEYOR'S CERTIFICATION, OWNERS DEDICATION, CERTIFICATION, ATTESTATION, COUNTY CLERK'S RECORDING CERTIFICATE; IRRIGATION DISTRICT #2, H.C.D.D. NO. 1; COUNTY JUDGE CERTIFICATION, N.A.W.S.C. DISTRICT CERTIFICATION, HEADING, INDEX, PLAT NOTES AND RESTRICTIONS; REVISION NOTES.
- SHEET 2: DESCRIPTION (METES AND BOUNDS); ATTESTATION; CURVE TABLE, LINE TABLE, LOT TABLE.
- SHEET 3: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION), CONSTRUCTION DETAILS.
- SHEET 4: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WASTE WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION), CONSTRUCTION DETAILS.
- SHEET 5: MAP OF TOPOGRAPHY AND DRAINAGE; REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE, ENGINEERING CERTIFICATION; CONSTRUCTION DETAILS.
- SHEET 6: MAP OF TOPOGRAPHY AND STREETS; REVISION NOTES, CONSTRUCTION DETAILS.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 25.253 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOTS 13 AND 14, BLOCK 57, ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 24, HIDALGO COUNTY MAP RECORDS, WHICH SAID 25.253 ACRES TRACT WERE CONVEYED TO KVL REAL ESTATE HOLDINGS, LLC BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER DOCUMENT NUMBER 3714398, HIDALGO COUNTY OFFICIAL RECORDS, SAID 25.253 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A COTTON PICKER SPINDLE FOUND AT THE SOUTHEAST CORNER OF SAID LOT 14 ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 13, BLOCK 57, FOR AN OUTSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, N 08° 35' 43" E ALONG THE EAST LINE OF A TRACT CONVEYED TO IGLESIA NI CRISTO (CHURCH OF CHRIST) BY VIRTUE OF A WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1679910, HIDALGO COUNTY OFFICIAL RECORDS, AT A DISTANCE OF 20.00 FEET PASS A NO. 4 REBAR FOUND AT THE NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, CONTINUING A TOTAL DISTANCE OF 202.00 FEET TO A POINT, FROM WHICH A NO. 4 REBAR FOUND BEARS N 42° 40' 33" W A DISTANCE OF 0.32 FEET, FOR AN INSIDE CORNER OF THIS TRACT;
2. THENCE, N 81° 24' 17" W ALONG THE NORTH LINE OF SAID TRACT CONVEYED TO IGLESIA NI CRISTO (CHURCH OF CHRIST), A DISTANCE OF 323.47 FEET TO A NO. 4 REBAR FOUND, FOR AN INSIDE CORNER OF THIS TRACT;
3. THENCE, S 08° 35' 43" W ALONG THE WEST LINE OF SAID TRACT CONVEYED TO IGLESIA NI CRISTO (CHURCH OF CHRIST), AT A DISTANCE OF 182.00 FEET PASS A NO. 4 REBAR FOUND ON THE NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, CONTINUING A TOTAL DISTANCE OF 202.00 FEET TO A COTTON PICKER SPINDLE FOUND, FOR AN OUTSIDE CORNER OF THIS TRACT;
4. THENCE, N 81° 24' 17" W WITHIN THE RIGHT-OF-WAY OF TRENTON ROAD, A DISTANCE OF 336.84 FEET TO A COTTON PICKER SPINDLE FOUND, FOR THE SOUTHWEST CORNER OF THIS TRACT;
5. THENCE, N 08° 35' 43" E AT A DISTANCE OF 20.00 FEET PASS A NO. 4 REBAR FOUND AT THE NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, CONTINUING A TOTAL DISTANCE OF 358.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
6. THENCE, S 81° 24' 17" E A DISTANCE OF 107.00 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
7. THENCE, N 65° 58' 34" E A DISTANCE OF 59.36 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
8. THENCE, S 81° 24' 17" E A DISTANCE OF 371.00 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
9. THENCE, N 08° 35' 43" E A DISTANCE OF 677.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
10. THENCE, N 16° 33' 54" E A DISTANCE OF 50.49 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
11. THENCE, N 08° 35' 43" E A DISTANCE OF 136.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
12. THENCE, S 81° 24' 17" E A DISTANCE OF 785.31 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
13. THENCE, S 08° 35' 43" W ALONG THE WEST LINE OF LOS CORTIJOS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED UNDER INSTRUMENT NUMBER 3516876, HIDALGO CONTY MAP RECORDS, AT A DISTANCE OF 35.00 FEET PASS A NO. 4 REBAR FOUND AT THE NORTHWEST CORNER OF LOT 17, OF SAID LOS CORTIJOS SUBDIVISION, AT A DISTANCE OF 597.90 FEET PASS A NO. 4 REBAR FOUND AT THE SOUTHWEST CORNER OF LOT 9, OF SAID LOS CORTIJOS SUBDIVISION, AT A DISTANCE OF 647.90 FEET PASS A NO. 4 REBAR FOUND AT THE NORTHWEST CORNER OF LOT 8, OF SAID LOS CORTIJOS SUBDIVISION, AT A DISTANCE OF 1,220.00 FEET PASS A NO. 4 REBAR FOUND AT THE SOUTHWEST CORNER OF LOT 1 OF SAID LOS CORTIJOS SUBDIVISION, AT A DISTANCE OF 1,260.00 FEET PASS A NO. 4 REBAR SET AT THE NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, CONTINUING A TOTAL DISTANCE OF 1,280.00 FEET TO A POINT, FROM WHICH A COTTON PICKER SPINDLE FOUND BEARS N 16° 27' 44" E A DISTANCE OF 0.32 FEET, FOR THE SOUTHEAST CORNER OF THIS TRACT;
14. THENCE, N 81° 24' 17" W ALONG THE SOUTH LINE OF SAID LOT 13 AND WITHIN THE RIGHT-OF-WAY OF TRENTON ROAD, A DISTANCE OF 335.00 FEET TO A COTTON PICKER SPINDLE FOUND, FOR AN OUTSIDE CORNER OF THIS TRACT;
15. THENCE, N 08° 35' 43" E AT A DISTANCE OF 20.00 FEET PASS THE NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, FROM WHICH A NO. 4 REBAR FOUND BEARS N 54° 38' 32" E A DISTANCE OF 0.25 FEET, CONTINUING A TOTAL DISTANCE OF 202.00 FEET TO A NO. 4 REBAR FOUND, FOR AN INSIDE CORNER OF THIS TRACT;
16. THENCE, N 81° 24' 17" W A DISTANCE OF 315.00 FEET TO A POINT, FROM WHICH A NO. 4 REBAR FOUND BEARS N 33° 16' 02" E A DISTANCE OF 0.29 FEET, FOR AN INSIDE CORNER OF THIS TRACT;
17. THENCE, S 08° 35' 43" W AT A DISTANCE OF 182.00 FEET PASS THE NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, FROM WHICH A NO. 4 REBAR FOUND BEARS N 64° 59' 51" E A DISTANCE OF 0.31 FEET, CONTINUING A TOTAL DISTANCE OF 202.00 FEET TO A COTTON PICKER SPINDLE FOUND, FOR AN OUTSIDE CORNER OF THIS TRACT;
18. THENCE, N 81° 24' 17" W ALONG THE SOUTH LINE OF SAID LOT 13 AND WITHIN THE RIGHT-OF-WAY OF TRENTON ROAD, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 25.253 ACRES GROSS, OF WHICH 0.314 OF ONE ACRE LIES WITHIN THE RIGHT-OF-WAY OF TRENTON ROAD, LEAVING A NET OF 24.939 ACRES OF LAND, MORE OR LESS.

SUBDIVISION MAP OF
TRENTON TOWER ESTATES SUBDIVISION
PHASE 1
BEING 25.253 ACRES
LOTS 13 & 14, BLOCK 57
ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION
VOLUME 1, PAGE 24 H.C.M.R.
HIDALGO COUNTY, TEXAS

MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435



Lot Area Table		
Lot #	SQ. FT.	Area
1	26,917.53	0.618
2	6,522.19	0.150
3	5,200.00	0.119
4	5,150.00	0.118
5	5,150.00	0.118
6	5,150.00	0.118
7	5,150.00	0.118
8	5,150.00	0.118
9	5,150.00	0.118
10	5,150.00	0.118
11	6,570.00	0.151
12	5,150.00	0.118
13	5,150.00	0.118
14	5,150.00	0.118
15	5,150.00	0.118
16	5,150.00	0.118
17	5,150.00	0.118
18	5,150.00	0.118
19	5,150.00	0.118
20	6,387.50	0.147
21	12,615.99	0.290
22	11,815.99	0.271
23	8,975.67	0.206
24	5,580.12	0.128
25	5,580.12	0.128

Lot Area Table		
Lot #	SQ. FT.	Area
76	5,457.00	0.125
77	5,457.00	0.125
78	5,457.00	0.125
79	5,457.00	0.125
80	5,457.00	0.125
81	5,457.00	0.125
82	5,457.00	0.125
83	6,842.50	0.157
84	6,842.50	0.157
85	5,457.00	0.125
86	5,457.00	0.125
87	5,457.00	0.125
88	5,457.00	0.125
89	5,457.00	0.125
90	5,457.00	0.125
91	5,457.00	0.125
92	5,457.00	0.125
93	5,457.00	0.125
94	5,457.00	0.125
95	5,457.00	0.125
96	5,457.00	0.125
97	6,842.50	0.157
98	6,842.50	0.157
99	5,457.00	0.125
100	5,457.00	0.125

Lot Area Table		
Lot #	SQ. FT.	Area
26	5,580.12	0.128
27	5,580.12	0.128
28	5,580.12	0.128
29	5,580.12	0.128
30	5,580.12	0.128
31	5,580.12	0.128
32	6,862.65	0.158
33	6,862.65	0.158
34	5,365.50	0.123
35	5,365.50	0.123
36	5,365.50	0.123
37	5,365.50	0.123
38	5,365.50	0.123
39	5,365.50	0.123
40	5,283.01	0.121
41	6,629.25	0.152
42	8,619.09	0.198
43	5,709.61	0.131
44	5,050.00	0.116
45	5,050.00	0.116
46	5,050.00	0.116
47	5,050.00	0.116
48	5,050.00	0.116
49	5,050.00	0.116
50	5,050.00	0.116

Lot Area Table		
Lot #	SQ. FT.	Area
101	5,457.00	0.125
102	5,457.00	0.125
103	5,457.00	0.125
104	5,457.00	0.125
105	5,457.00	0.125
106	5,457.00	0.125
107	5,457.00	0.125
108	5,457.00	0.125
109	5,457.00	0.125
110	5,457.00	0.125
111	6,842.50	0.157
112	6,842.50	0.157
113	5,457.00	0.125
114	5,457.00	0.125
115	5,457.00	0.125
116	5,457.00	0.125
117	5,457.00	0.125
118	5,457.00	0.125
119	5,457.00	0.125
120	5,457.00	0.125
121	5,457.00	0.125
122	5,457.00	0.125
123	5,457.00	0.125
124	5,457.00	0.125
125	6,842.50	0.157

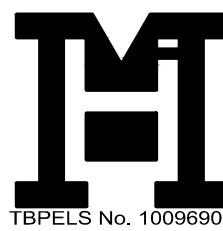
Lot Area Table		
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51	5,050.00	0.116
52	5,050.00	0.116
53	6,800.00	0.156
54	6,800.00	0.156
55	6,800.00	0.156
56	6,842.50	0.157
57	5,457.00	0.125
58	5,457.00	0.125
59	5,457.00	0.125
60	5,457.00	0.125
61	5,457.00	0.125
62	5,457.00	0.125
63	5,457.00	0.125
64	5,457.00	0.125
65	5,457.00	0.125
66	5,457.00	0.125
67	5,457.00	0.125
68	5,457.00	0.125
69	6,842.50	0.157
70	6,842.50	0.157
71	5,457.00	0.125
72	5,457.00	0.125
73	5,457.00	0.125
74	5,457.00	0.125
75	5,457.00	0.125

Lot Area Table		
Lot #	SQ. FT.	Area
126	6,842.50	0.157
127	6,842.50	0.157
128	6,842.50	0.157
129	5,350.00	0.123
130	5,350.00	0.123
131	6,378.88	0.146
132	6,422.11	0.147
133	8,043.88	0.185

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
"C1"	45.66'	300.00'	8° 43' 12"	N12° 57' 19"E	45.61'	22.87
"C2"	38.05'	250.00'	8° 43' 12"	N12° 57' 19"E	38.01'	19.06
C3	18.14'	275.00'	3° 46' 44"	S15° 25' 33"W	18.13'	9.07
C4	41.85'	275.00'	8° 43' 12"	N12° 57' 19"E	41.81'	20.97
C5	31.89'	50.00'	36° 32' 37"	N50° 19' 24"E	31.35'	16.51
C6	52.36'	50.00'	60° 00' 00"	N2° 03' 06"E	50.00'	28.87
C7	52.36'	50.00'	60° 00' 00"	N57° 56' 54"W	50.00'	28.87
C8	46.65'	50.00'	53° 27' 23"	S65° 19' 24"W	44.98'	25.18
C9	34.24'	225.00'	8° 43' 12"	N12° 57' 19"E	34.21'	17.15
C10	31.43'	325.00'	5° 32' 28"	S14° 32' 41"W	31.42'	15.73

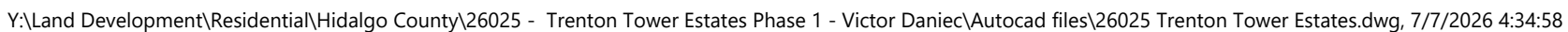
Line Table		
Line #	Direction	Length
L1	N 81° 24' 17" W	10.00'
L2	N 33° 56' 03" W	58.95'
L3	N 17° 18' 55" E	19.64'
L4	N 08° 35' 43" E	23.89'
L5	N 53° 35' 43" E	21.21'
L6	N 81° 24' 17" W	10.00'
L7	S 36° 24' 17" E	21.21'
L8	N 53° 35' 43" E	56.57'
L9	N 36° 24' 17" W	56.57'
L10	S 53° 35' 43" W	21.21'
L11	S 36° 24' 17" E	21.21'
L12	S 81° 24' 17" E	9.70'
L13	N 53° 35' 43" E	21.21'
L14	N 36° 24' 17" W	21.21'
L15	S 53° 35' 43" W	21.21'
L16	S 36° 24' 17" E	21.21'
L17	N 53° 35' 43" E	21.21'
L18	N 36° 24' 17" W	21.21'
L19	S 53° 35' 43" W	21.21'
L20	S 36° 24' 17" E	21.21'

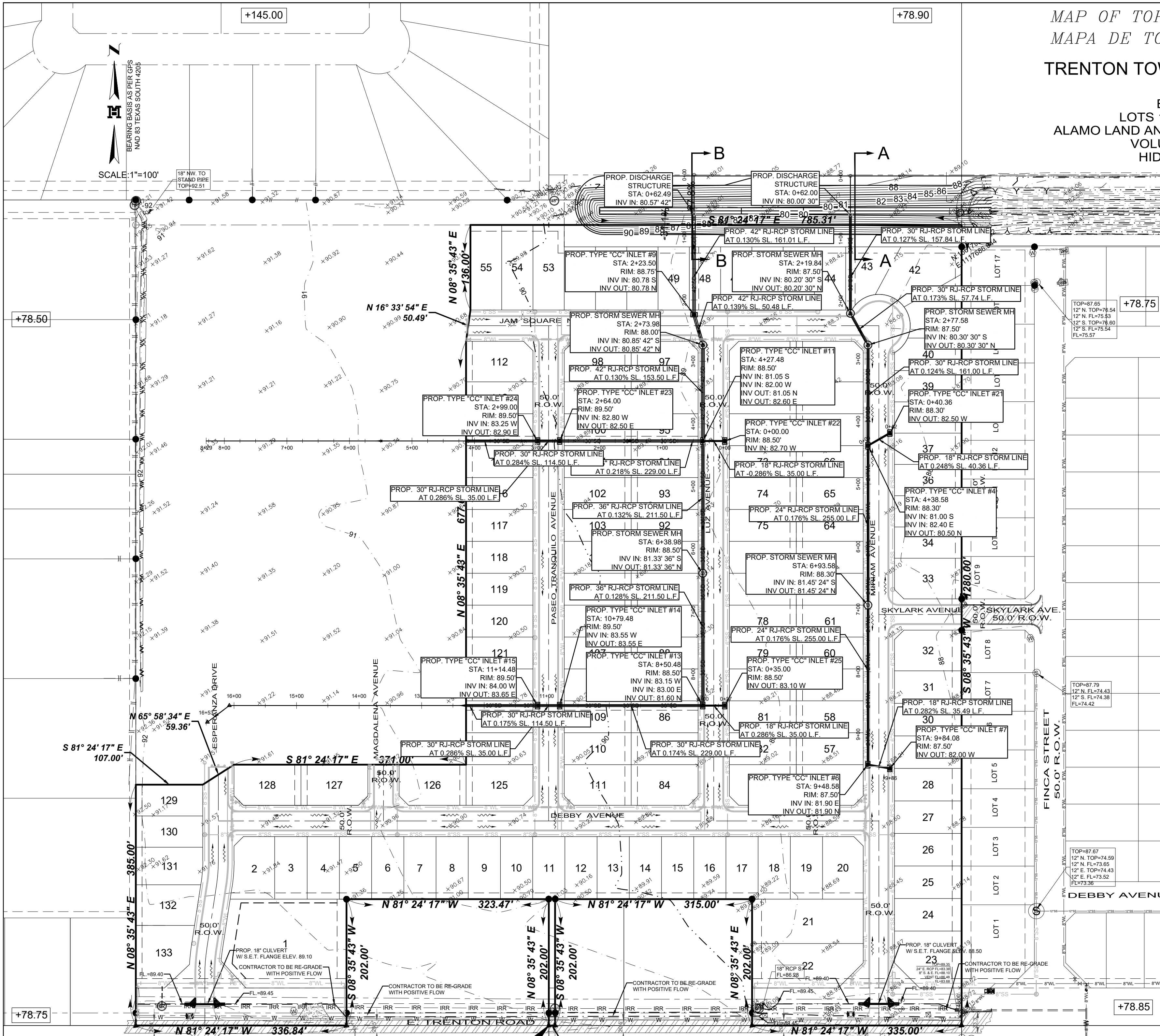
Line Table		
Line #	Direction	Length
L21	N 36° 24' 17" W	21.21'
L22	N 53° 35' 43" E	21.21'
L23	S 36° 24' 17" E	21.21'
L24	N 53° 35' 43" E	21.21'
L25	N 36° 24' 17" W	21.21'
L26	N 08° 35' 43" E	21.89'
L27	N 17° 18' 55" E	4.04'
L28	N 17° 18' 55" E	31.33'
L29	N 55° 11' 05" E	54.98'
L30	S 81° 24' 17" E	9.70'
L31	S 53° 35' 43" W	21.21'
L32	N 36° 24' 17" W	21.21'
L33	S 53° 35' 43" W	21.21'



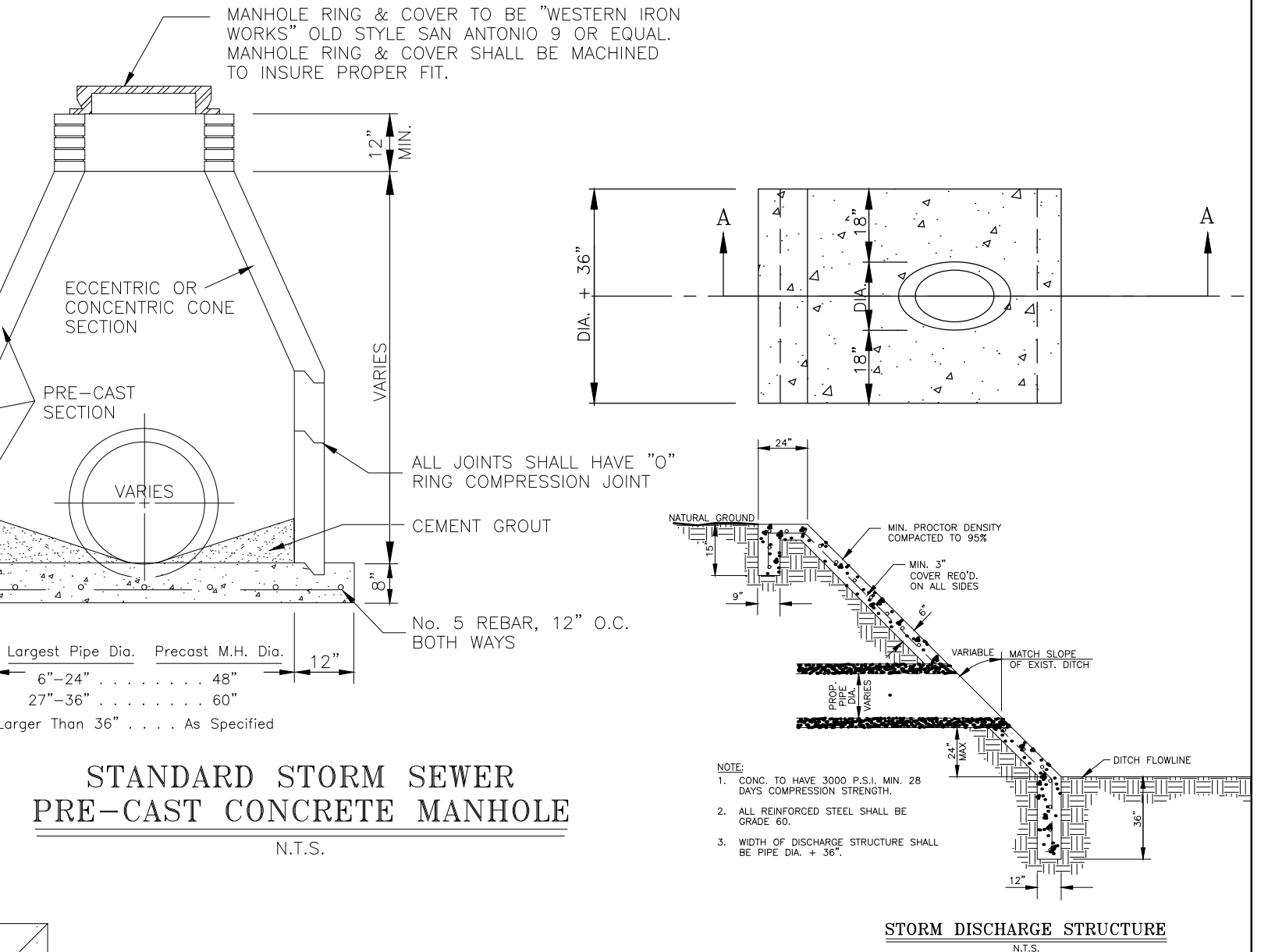
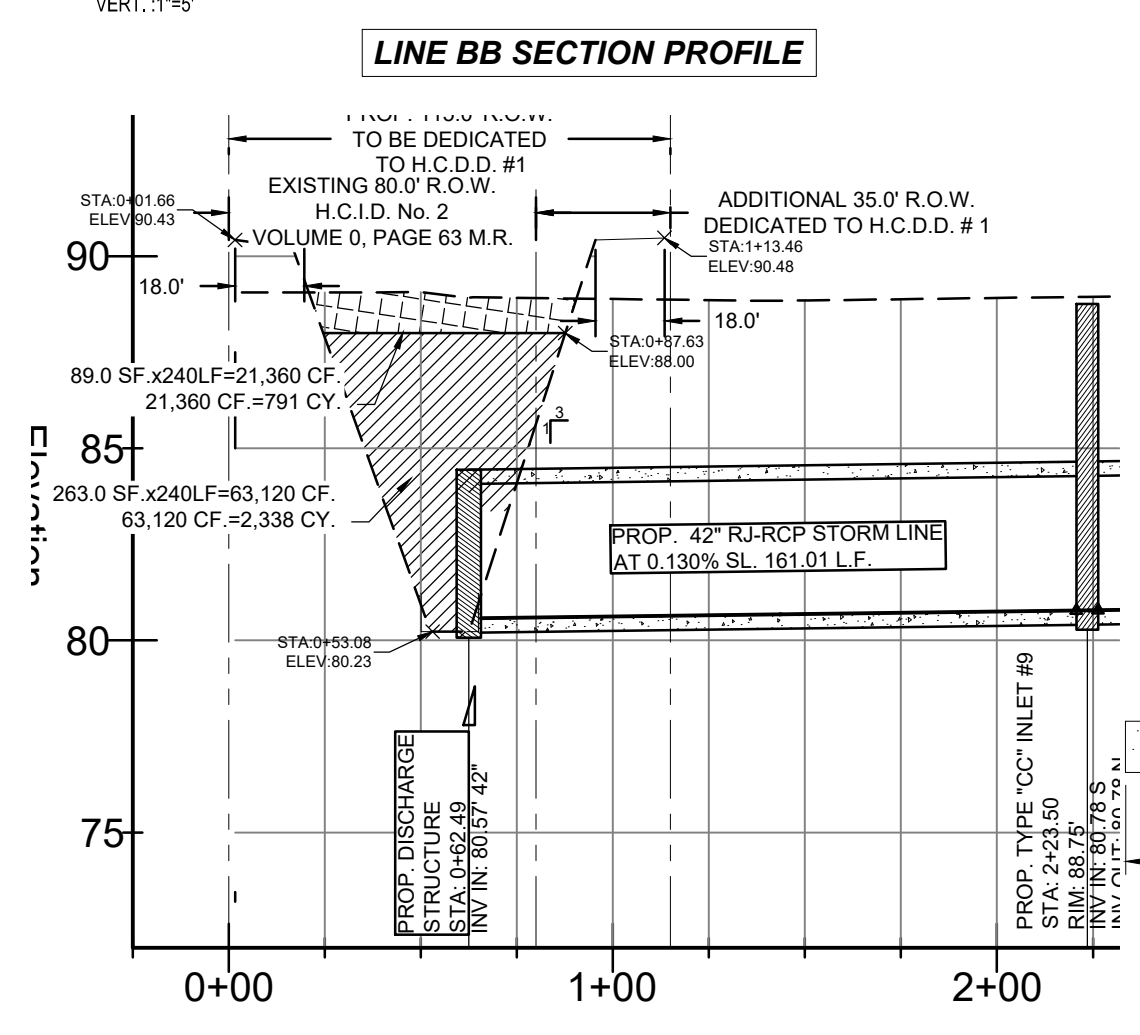
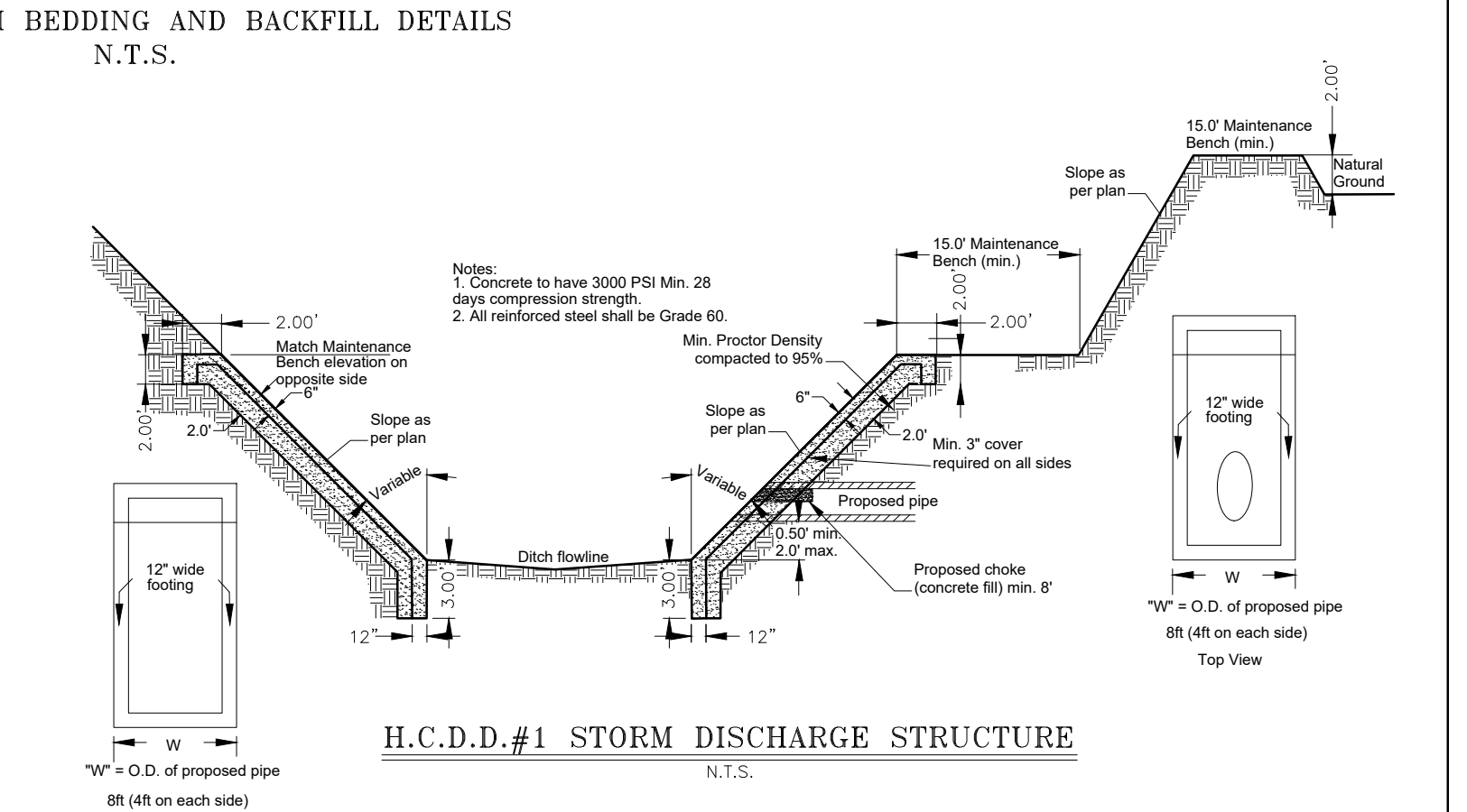
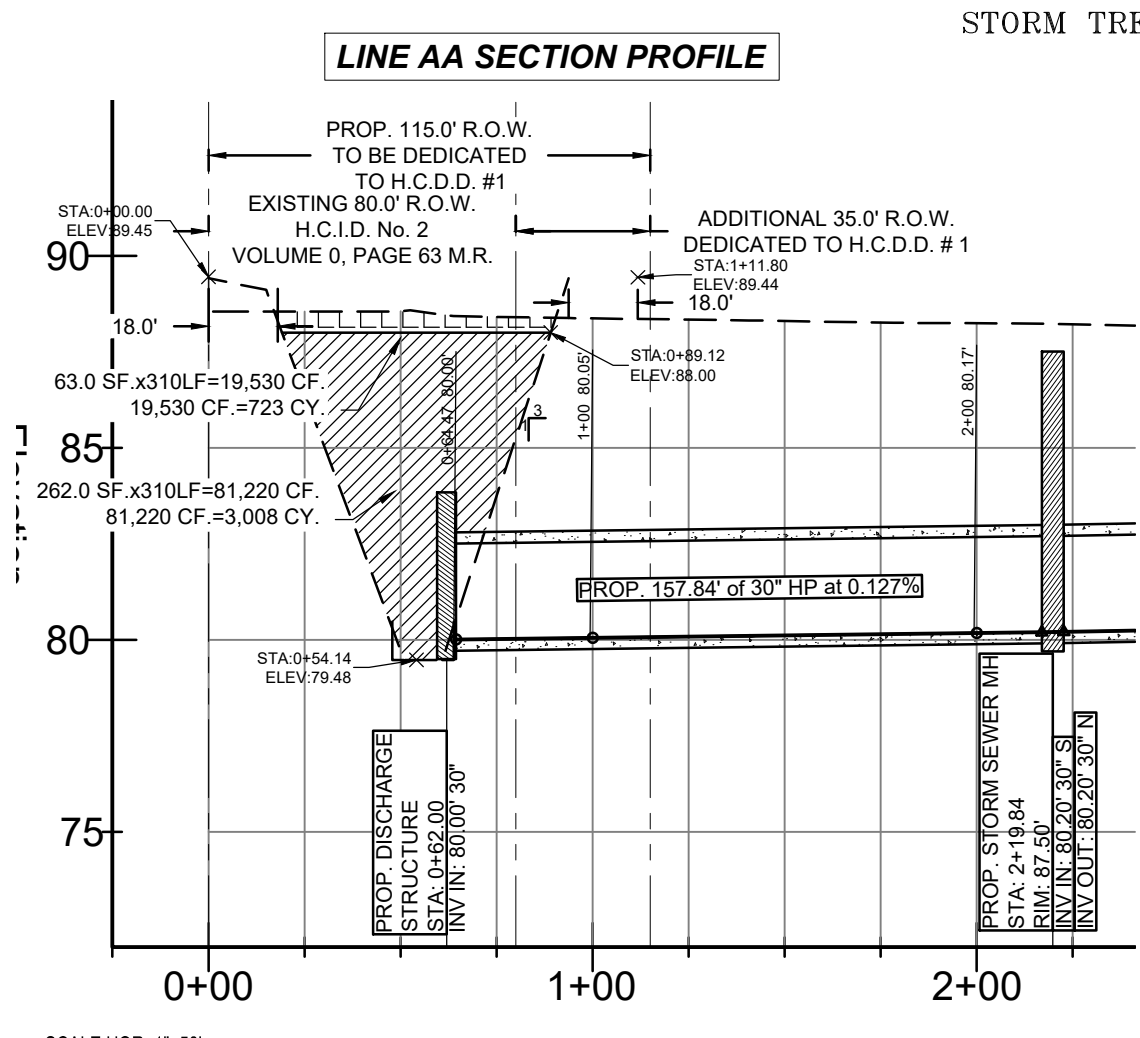
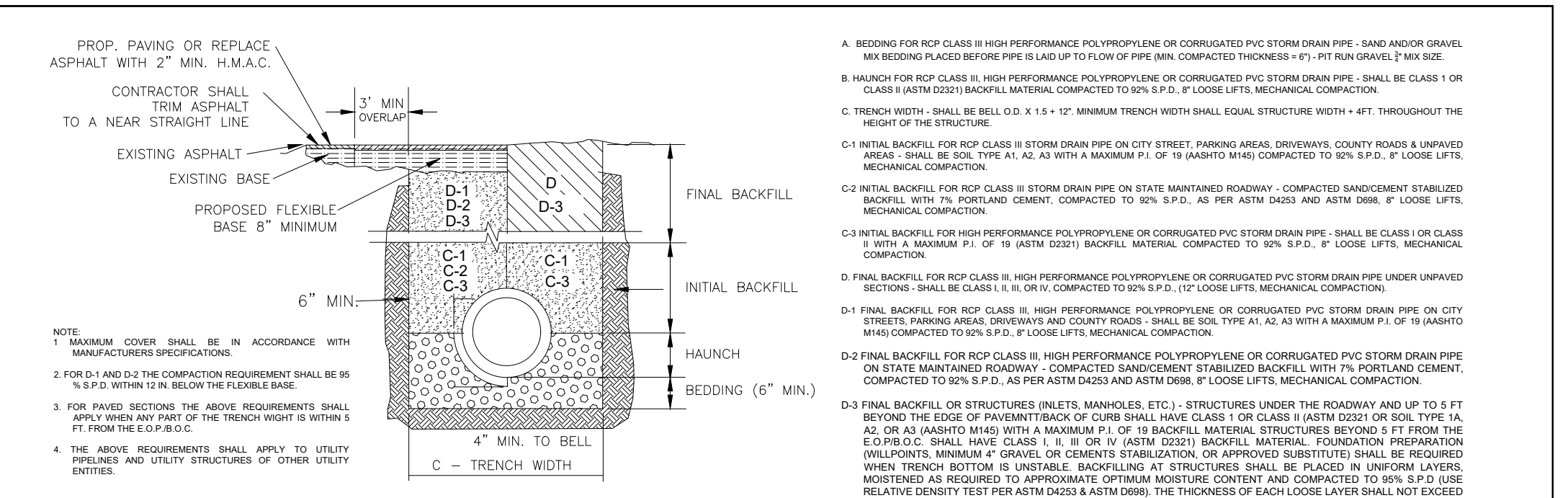
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MAP OF TOPOGRAPHY AND DRAINAGE:
MAPA DE TOPOGRAFIA Y DESAGUE:
SUBDIVISION MAP OF
TRENTON TOWER ESTATES SUBDIVISION
PHASE 1
BEING 35.836 ACRES
LOTS 13 & 14, BLOCK 57 OUT OF
ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION
VOLUME 1, PAGE 24 H.C.M.R.
HIDALGO COUNTY, TEXAS



DRAINAGE STATEMENT
TRENTON TOWER ESTATES PHASE 1

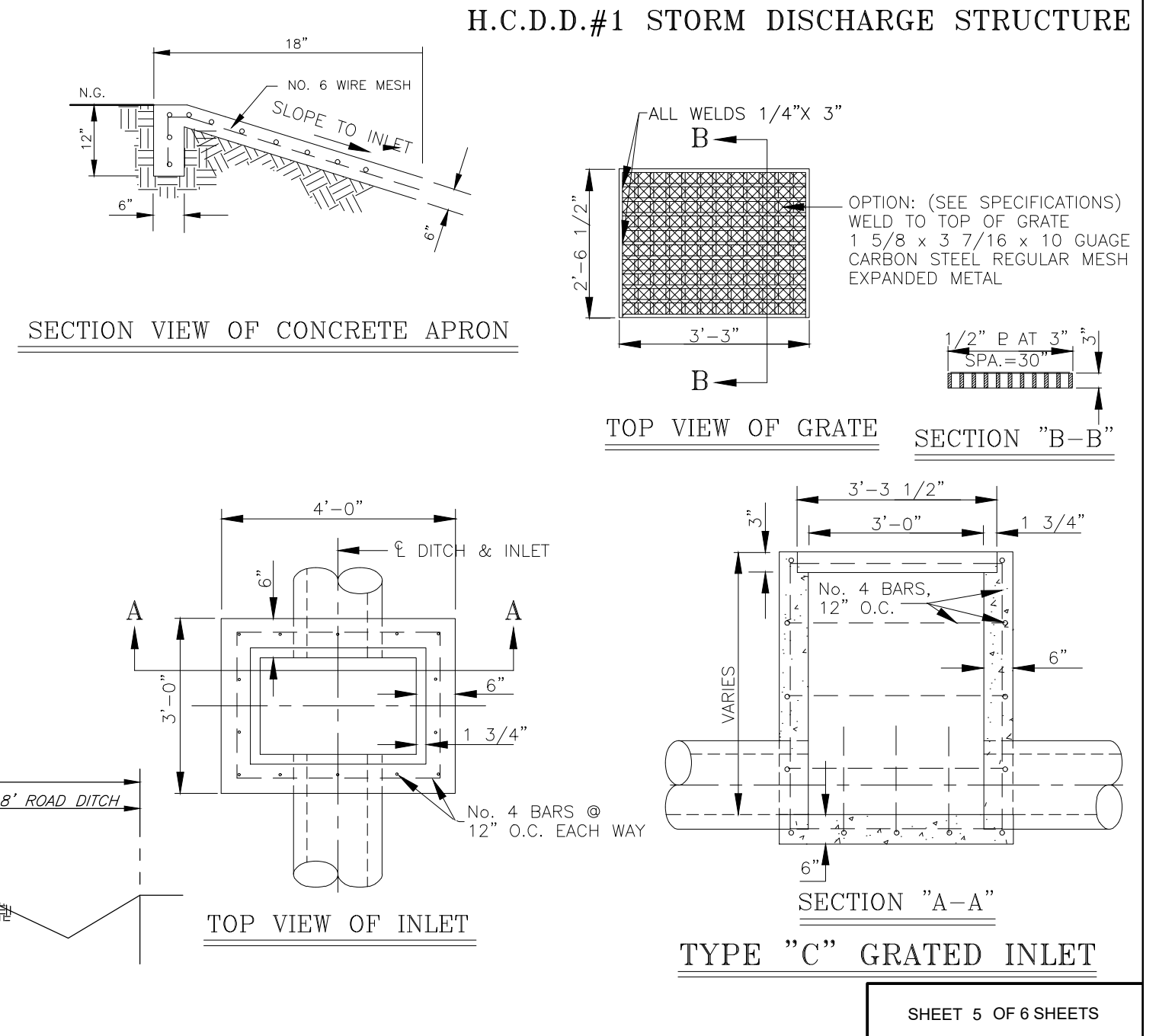
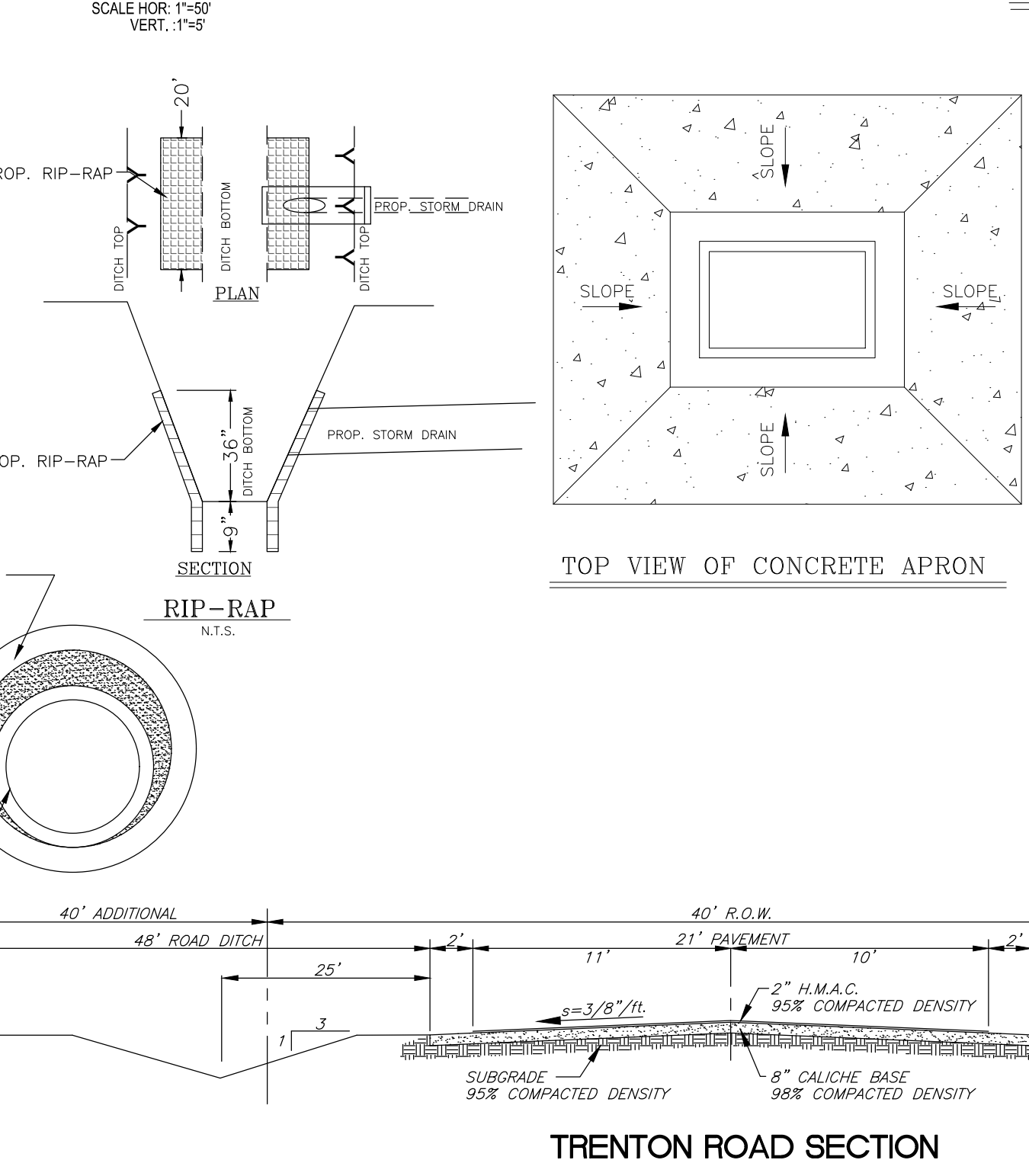
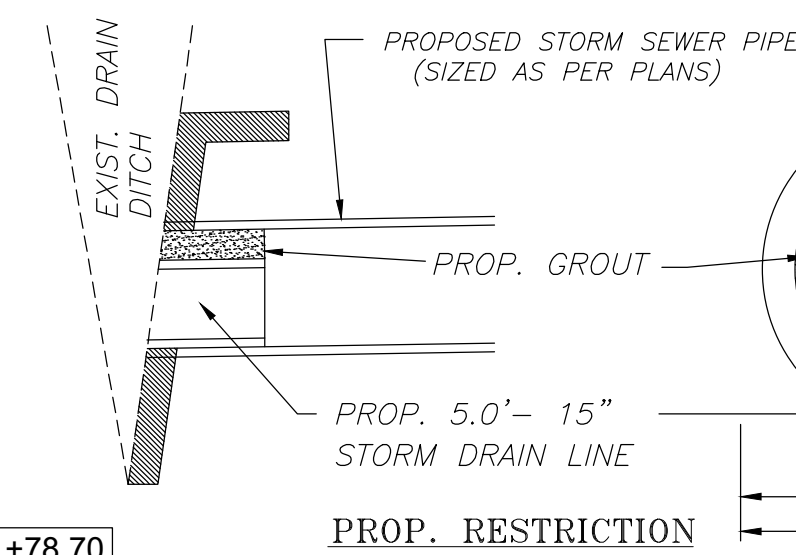
TRENTON TOWER ESTATES PHASE 1, A TRACT OF LAND CONTAINING 25.253 ACRES BEING OUT OF LOTS 13 & 14, BLOCK 57, ALAMO LAND AND SUGAR COMPANY, VOLUME 1, PAGES 24, H.C.M.R. HIDALGO COUNTY, TEXAS. THIS SUBDIVISION LIES IN ZONE T8, WHICH ARE AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD OR CERTAIN AREAS SUBJECT TO 50-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY PANEL NO. 480334 0425 C, MAP REVISED: NOVEMBER 16, 1982. THE PROPERTY IS LOCATED 660 FEET EAST OF THE INTERSECTION OF TOWER ROAD & E. TRENTON ROAD. THE PROPERTY IS CURRENTLY OPEN WITH A PROPOSED USE OF 129 RESIDENTIAL LOTS & 4 COMMERCIAL LOTS.

THE SOIL IN THIS AREA IS (28) HIDALGO SANDY CLAY LOAM, WHICH IS IN HYDROLOGIC GROUP "B". THIS SOIL IS MODERATELY PERVIOUS AND HAS A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM "SOIL SURVEY OF HIDALGO COUNTY, TEXAS").

EXISTING RUNOFF IS IN AN EASTERLY DIRECTION, WITH A RUNOFF OF 10.09 C.F.S. DURING THE 10-YEAR STORM FREQUENCY AS PER THE ATTACHED CALCULATIONS. PROPOSED RUNOFF AFTER DEVELOPMENT IS 60.34 C.F.S., DURING THE 50-YEAR STORM FREQUENCY, PER THE ATTACHED CALCULATION, WHICH IS AN INCREASE OF 50.25 C.F.S.

THE PROPOSED DRAINAGE FOR THIS SUBDIVISION SHALL CONSIST OF SURFACE RUNOFF FROM THE LOTS INTO THE PROPOSED STREETS AND COLLECTED BY TYPE "CC" INLETS LOCATED AT KEY POINTS WITHIN THE SUBDIVISION. THE PIPE SIZE DIAMETERS SHALL RANGE FROM 18" TO 42". THE PROPOSED STORM SYSTEM SHALL DISCHARGE INTO A PROPOSED DRAIN DITCH ON THE NORTH SIDE OF THE SITE, AN INTERLOCAL BETWEEN HCD#2 AND HCD#1 IS CURRENTLY IN THE WORKS. ONCE FINALIZED, THE DEVELOPER WILL BE RESPONSIBLE FOR EXCAVATING THE DITCH EAST TO WEST IN ITS ENTIRETY ALONG THE NORTH PROPERTY LINE. THE DEVELOPER WILL BE RESPONSIBLE FOR EXTENDING A 36-INCH STORM LINE EAST OF THE PROPOSED DITCH THAT WILL DISCHARGE INTO AN EXISTING ALAMO LATERAL (HIDALGO COUNTY DRAIN DITCH) EAST OF THE SITE.

IN ACCORDANCE WITH THE HIDALGO COUNTY'S DRAINAGE POLICY, THE PEAK RATE OF RUNOFF IN THIS SUBDIVISION WILL NOT BE INCREASED DURING THE 50-YEAR RAINFALL EVENT DUE TO THE BUILDING OF THIS SUBDIVISION. THEREFORE, AS PER ATTACHED CALCULATIONS, THE REQUIRED 129,819 CUBIC FEET OF DETENTION WILL BE PROVIDED WITHIN THE PROPOSED DRAIN DITCH THAT HAS A CAPACITY OF 568,550 CUBIC FEET. LOS CORTUOS SUBDIVISION OCCUPIES 248,157 CUBIC FEET & TRENTON RANCH OCCUPIES 1,346 C.F. & TRENTON TOWER ESTATES OCCUPIES 0.0 C.F. LEAVING AN EXCESS AMOUNT 309,045 CUBIC FEET WILL CREDIT FOR FUTURE DEVELOPMENT.



CERTIFICATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100 YEAR FLOODPLAIN AS DESCRIBED IN COMMUNITY PANEL NUMBER 480334 0450 C, REVISED JUNE 6, 2000 IS CONTAINED WITHIN THE EXTENDING DITCH ALONG THE NORTH SIDE OF THIS SUBDIVISION.

MARIO A REYNA, PE # 117368

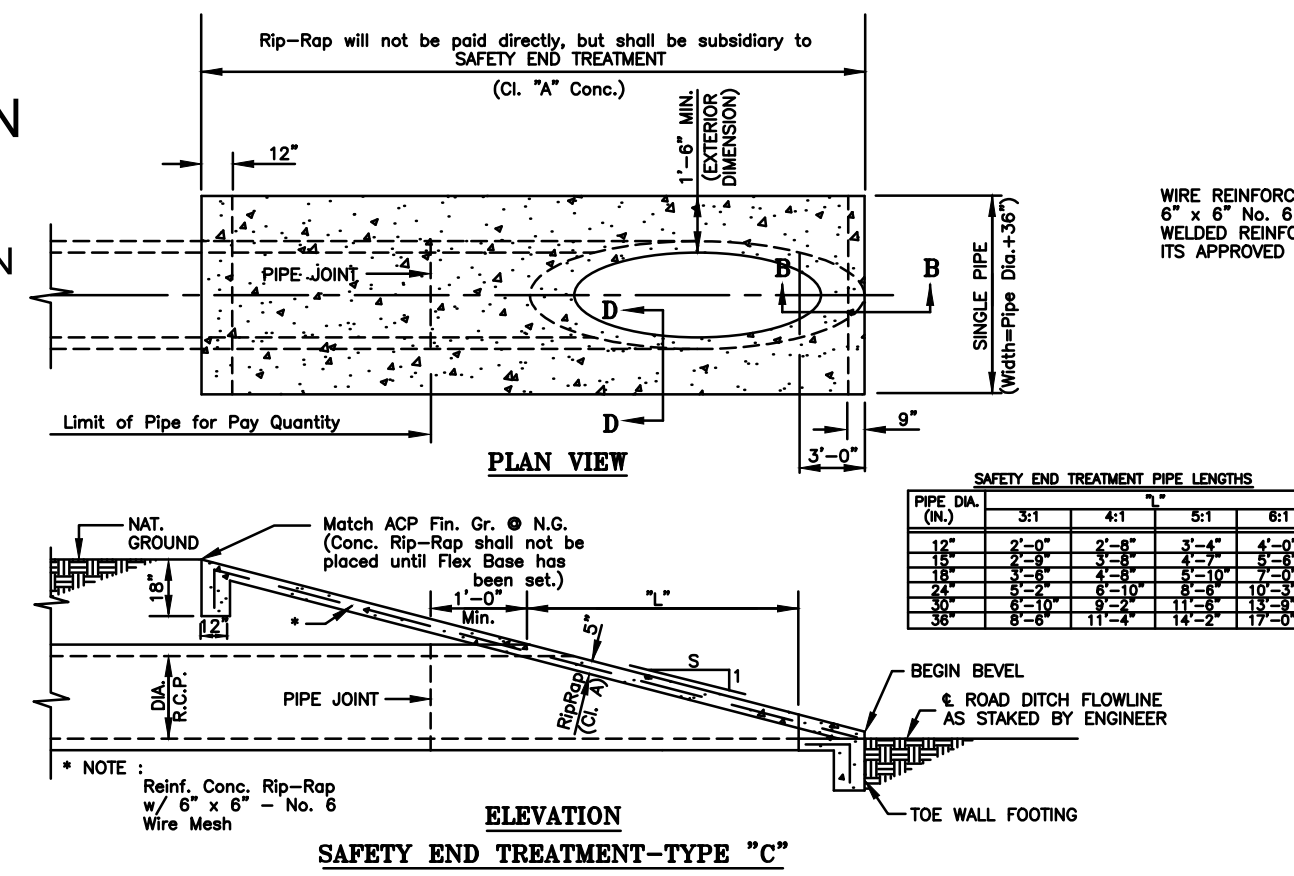
DATE: _____

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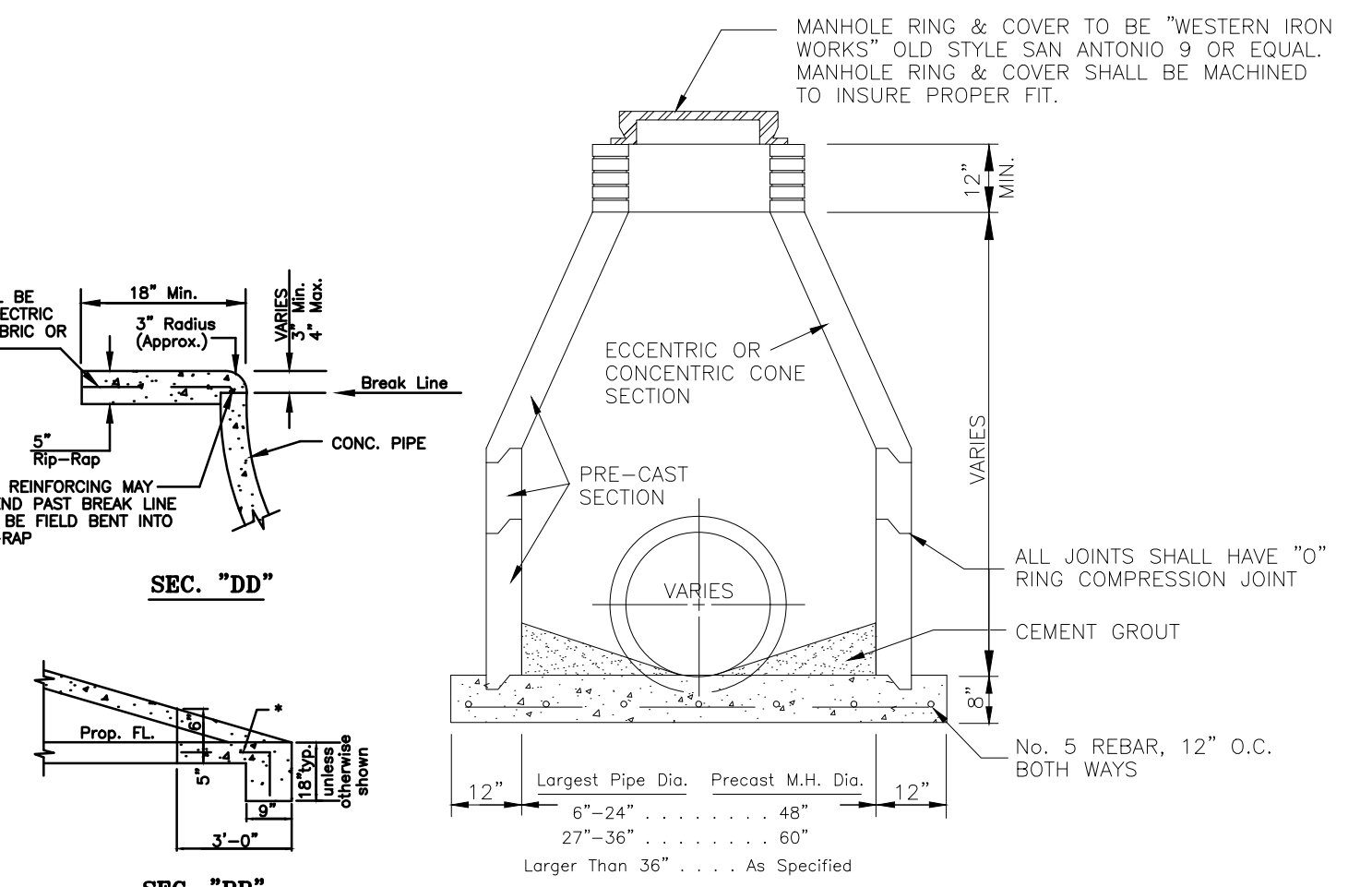
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SUBDIVISION MAP OF
TRENTON TOWER ESTATES SUBDIVISION
BEING 35.836 ACRES
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VOLUME 1, PAGE 24 H.C.M.R.
HIDALGO COUNTY, TEXAS

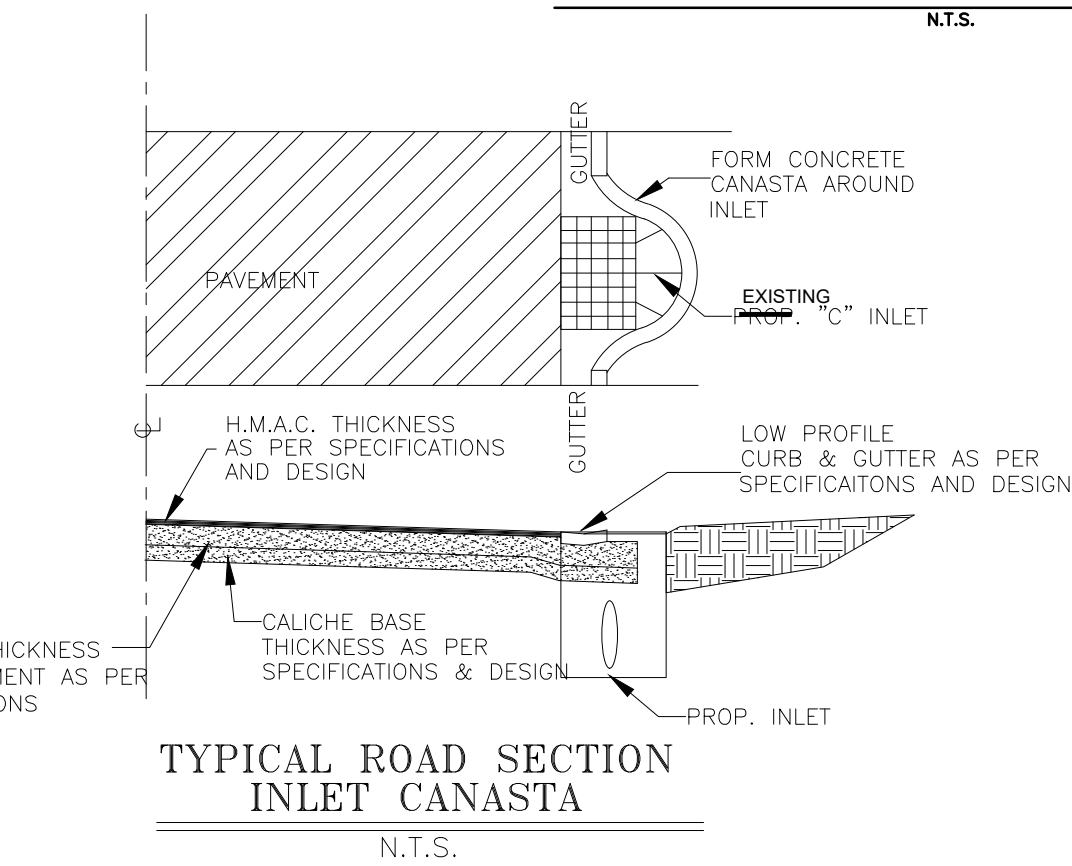


SAFETY END TREATMENT - (Type "C") DETAILS
N.T.S.

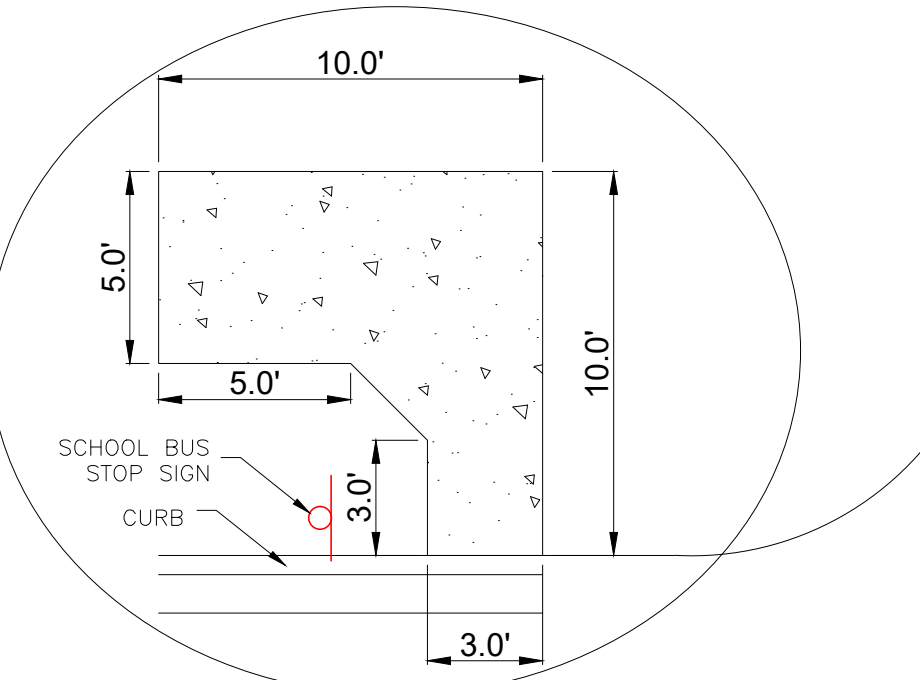


STANDARD STORM SEWER
PRE-CAST CONCRETE MANHOLE

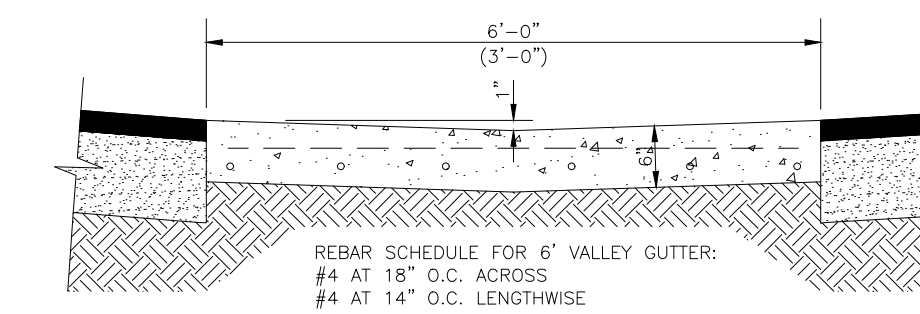
N.T.S.



TYPICAL ROAD SECTION
INLET CANASTA
N.T.S.

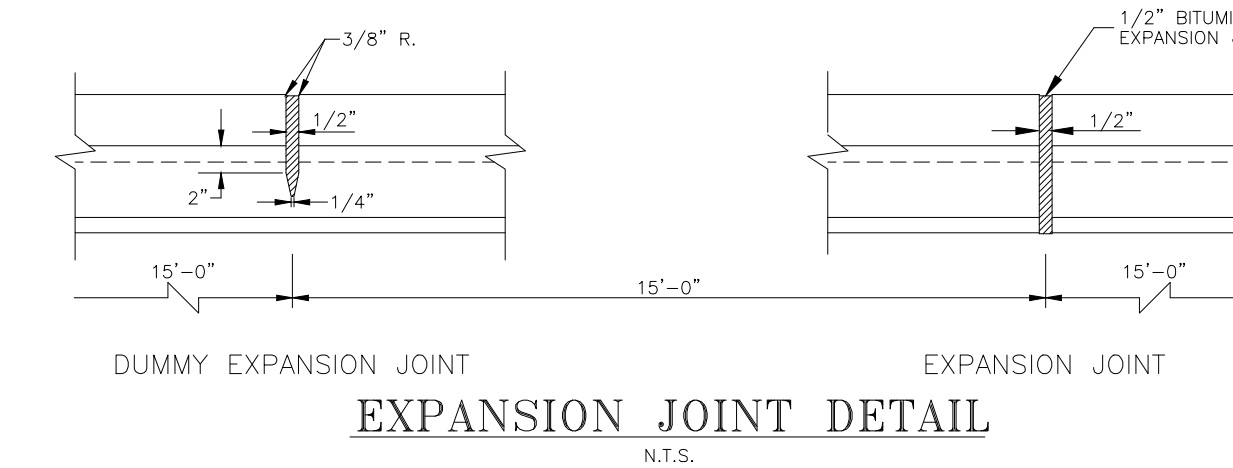


SCHOOL BUS STOP PICKUP AREA

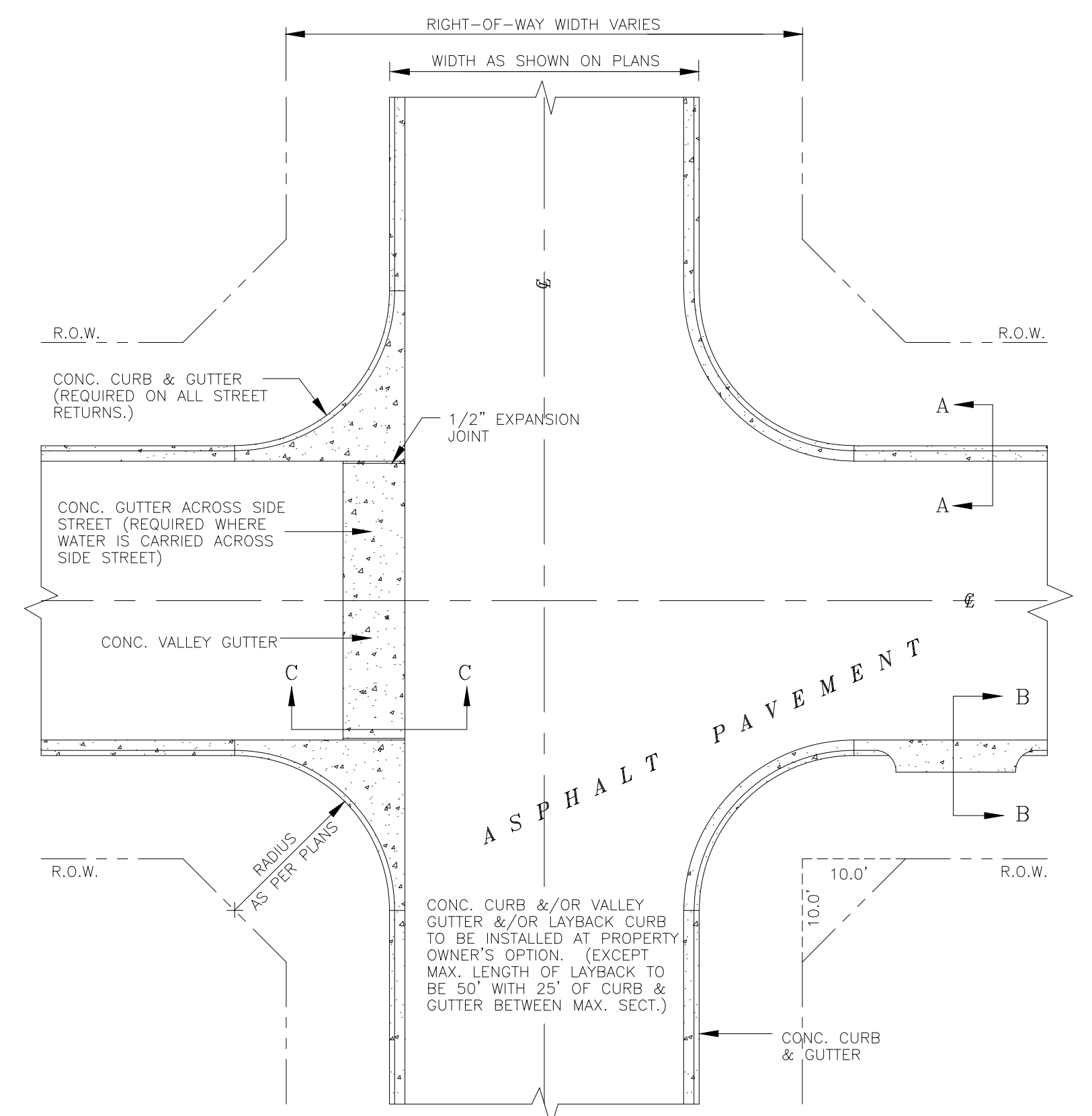


SECTION "CC"
CONCRETE VALLEY GUTTER (3' OR 6')
N.T.S.

1. ALL CONCRETE WORK SHALL BE TREATED WITH MEMBRANE CURING COMPOUND TYPE 2 WHITE PIGMENTED IN ACCORDANCE WITH T.H.D. 1972 SPECIFICATIONS ITEM 531. CONSIDERED INCIDENTAL TO CONCRETE WORK.
2. 1/2" EXPANSION JOINTS REQUIRED AT 70' c.c. AND AT THE BEGINNING AND END OF ALL RADII. CONTRACTION JOINTS SHALL NOT EXCEED 10' c.c.

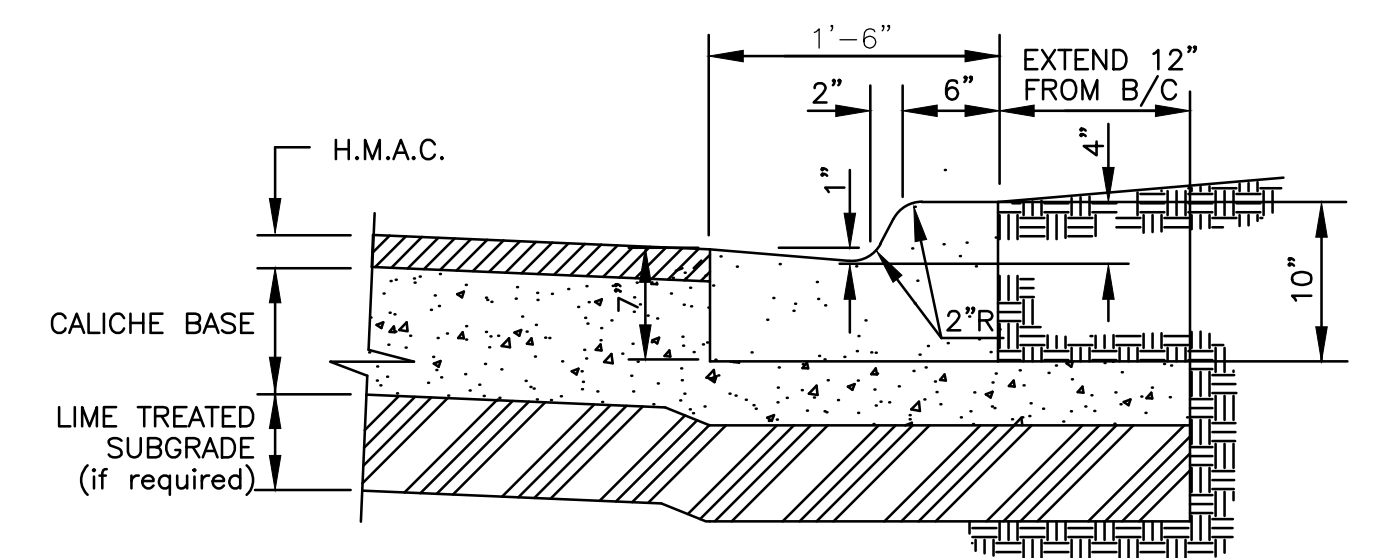


EXPANSION JOINT DETAIL
N.T.S.



TYPICAL RESIDENTIAL STREET INTERSECTION

NOTE : ANY STRUCTURE IN PAVEMENT ADJUSTED AFTER HMAC IS APPLIED SHALL BE ADJUSTED TO GRADE WITH A MINIMUM 6" CONCRETE COLLAR A.O.B.E.



SECTION "AA" - CONCRETE CURB & GUTTER
N.T.S.