



AGENDA

CITY PLANNING COMMISSION

City Hall - Council Chambers
6131 Taylorsville Road
October 26, 2021
6:00 P.M.

1. Call Meeting To Order
2. Roll Call
3. Opening Remarks By The Chair and Commissioners
4. Citizens Comments
5. Swearing of Witnesses
6. Pending Business
 - A. None
7. New Business
 - A. COMBINED BASIC AND DETAILED DEVELOPMENT PLAN - The applicant, MEGAN PRATHER, is requesting approval of a Combined Basic and Detailed Development Plan for 1.0 acres for property located at 6119 Brandt Pike, for Dogtown (ZC 21-37).
 - B. REZONING - The applicant, DANIEL GREENE, is requesting approval of a Rezoning to Planned Residential for .3445 acres of property located at 4270 Murdock Avenue (ZC 21-40).
 - C. LOT SPLIT - The applicant, DANIEL GREENE, is requesting approval of a Lot Split of .3445 acres (ZC 21-39).

- D. BASIC DEVELOPMENT PLAN - The applicant, DARIN SCHMIDT, is requesting approval of a Basic Development Plan for 19.1 acres for an Airsoft and Paintball facility for property located at 7860 Bellefontaine Road (ZC 21-36).
 - E. BASIC DEVELOPMENT PLAN - The applicant, DDC MANAGEMENT, is requesting approval of a Basic Development Plan for 172.5 acres for property located at Chambersburg Road, Villages of Westport, a Planned Residential Development (ZC 21-35).
 - F. BASIC DEVELOPMENT PLAN - The applicant, THE ANNEX GROUP, is requesting approval of a Basic Development Plan for 20 acres for property located at 6502 Old Troy Pike for 216 multi-family units in a Planned Residential Development (ZC 21-34).
 - G. DETAILED DEVELOPMENT PLAN - The applicant, JPMORGAN CHASE BANK, is requesting approval of a Detailed Development Plan for .96 acres for property located at the northeast corner of Taylorsville Road and Old Troy Pike (ZC 21-33).
 - H. DETAILED DEVELOPMENT PLAN - The applicant, BROAD REACH RETAIL PARTNERS, LLC, is requesting approval of a Detailed Development Plan for 1.10 acres for property at the northeast corner of Taylorsville Road and Old Troy Pike (ZC 21-32).
 - I. FINAL PLAT - The applicant, CAMPBELL BERLING HUBER HEIGHTS, LLC, is requesting approval of a Final Plat for a residential subdivision containing 43 residential lots, 3 open space lots and on a public street for property located south of Chambersburg Road, east of Belmont Place, west of Stoney Creek Drive, north of Aaron Lane (ZC 21-38).
 - J. MINOR CHANGE - The applicant, SIGNS UNLIMITED, is requesting approval of a Minor Change for signage at property located at 7536 Brandt Pike, Take 5 Oil Change (ZC 21-41).
8. Additional Business
- A. None
9. Approval of Minutes
10. Reports and Calendar Review
Minor Change - Texas Roadhouse
Major Change - Larkspur
Rezoning and Basic Development Plan - 6025 Taylorsville Road
11. Upcoming Meetings
November 9, 2021
December 14, 2021
12. Adjournment

AI-7890

7. A.

Planning Commission

Meeting Date: 10/26/2021

COMBINED BASIC AND DETAILED DEVELOPMENT PLAN

Information

Agenda Title

COMBINED BASIC AND DETAILED DEVELOPMENT PLAN - The applicant, MEGAN PRATHER, is requesting approval of a Combined Basic and Detailed Development Plan for 1.0 acres for property located at 6119 Brandt Pike, for Dogtown (ZC 21-37).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Fire Assessment

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission
From: Scott P. Falkowski, Assistant City Manager
Date: October 15, 2021
Subject: ZC 21-37 Basic and Detailed Development Plan Dogtown 6119 Brandt Pike

⌘ Application dated September 17, 2021

Department of Planning and Development

City of Huber Heights

APPLICANT/OWNER: Megan Prather – Applicant/Owner

DEVELOPMENT NAME: Dogtown

ADDRESS/LOCATION: 6119 Brandt Pike

ZONING/ACREAGE: B-3 / 1.0 Acre

EXISTING LAND USE:

**ZONING
ADJACENT LAND:**

REQUEST: The applicant requests approval for a Basic and Detailed Development Plan for 1.0 acres for Dogtown.

ORIGINAL APPROVAL:

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

ATTACHMENTS:

OVERVIEW:

The applicant requests approval of a rezoning to Planned Mixed Use and a combined Basic and Detailed Development Plan for 1.0 acres at 6119 Brandt Pike for Dogtown.

STAFF ANALYSIS AND RECOMMENDATION:

The request is for the following:

The applicant requests approval of a rezoning to Planned Mixed Use and a combined Basic and Detailed Development Plan for 1.0 acres at 6119 Brandt Pike for Dogtown.

The City's Comprehensive Plan calls for this area to be Mixed Use B Town Center which includes commercial uses.

Sanitary and water will connect into the City's public main system at the edges of the development parcel. Drainage will be handled through a public storm sewer system which flows to an existing detention basin to the southwest. Twenty one parking spaces are proposed with two of those being ADA accessible. The proposal calls for ten foot wide spaces which matches the City's Zoning Code. A drop off area is located at the front of the building. The entrance comes off an existing access easement that leads to Brandt Pike and Fishburg Road. Lighting shall follow standard City Code. Landscaping is provided in all drive and parking islands and around the monument sign.

The building is made of brick, EIFS and integral color masonry units. The plan is for two stories. The total height of the building is 27 feet at the lobby and 24 feet throughout the rest of the building. Two outdoor areas are proposed for dog use. They are further away from any residential use than the current outside dog runs for the existing dog day care business in the shopping center. These areas are surrounded by six foot tall powder coated picket fences. The dumpster enclosure is proposed to at the rear and have masonry walls with a gate. The request is for a 10 foot high monument sign. Staff recommends the sign be limited to six feet tall and seventy five square feet total as per standard City code. One wall sign is proposed, which staff recommends to be a maximum of seventy five square feet in area.

The Zoning Code is as follows:

CHAPTER 1179 (PM) PLANNED MIXED USE DISTRICT¹

¹Cross reference(s)—PUD General Provisions—See Ch. 1171; Planned Residential District—See Ch. 1172; Planned Office District—See Ch. 1173; Planned Public and Private Buildings and Grounds District—See Ch. 1174; Planned Commercial District—See Ch. 1176.

1179.01 Purpose.

The Planned Mixed-Use District (PM) is established to promote multi-use development where a citizen can work, shop, play, and live within a planned neighborhood. This planning concept allows uses that typically are separated by traditional zoning to be part of an overall multiple use design concept allowing each use to complement another. By permitting residential, commercial, office, and institutional uses in the same district with the proper use of landscaping, buffering, access points, and parking, a PM development can provide a well balanced community for residents, visitors, and employees and provide unique characteristics that traditional land use planning often neglects. The PM also promotes different land uses that may act as transitional zoning between conflicting land use zones.

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1179.02 Permitted uses.

The uses outlined as permitted uses in the (PR) Planned Residential District, (PO) Planned Office District, (PP) Planned Public and Private Buildings and Grounds District, and (PC) Planned Commercial District are principal uses permitted in the (PM) Planned Mixed Use District except as prohibited in this chapter.

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1179.03 Accessory uses.

The uses outlined as accessory uses in the (PR) Planned Residential District, (PO) Planned Office District, (PP) Planned Public and Private Buildings and Grounds District, and (PC) Planned Commercial District are accessory uses permitted in the (PM) Planned Mixed Use District except as prohibited in this chapter.

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1179.04 Special uses.

The following shall be permitted as special uses:

- (a) Places of worship.*
- (b) Fraternal organizations, service clubs and other nonprofit organizations in accordance with the provisions of Chapter 1135. In addition to the criteria set forth in Chapter 1135, the parking requirements may have to be reviewed yearly as determined by the Planning Commission.*
- (c) Service stations and filling stations.*
- (d) Light manufacturing, compounding, processing, assembling, packaging or treatment of goods, materials, and products.*
- (e) Commercial printing and publishing.*

- (f) *Technical services and professional offices, including, but not limited to architects, engineers, surveyors, data processing facilities, testing laboratories and technical schools.*
- (g) *Any use the principal function of which is basic research, design and/or pilot or experimental product development or technical training.*
- (h) *Business and industrial service facilities.*
- (i) *Laboratories: experimental, film, testing, research, or engineering.*
- (j) *Computer-communications hardware assembly, testing and operation; development, testing, operation, and maintenance of software; and communications services and facilities that are incidental to the principal use.*
- (k) *Medical, dental, and optical manufacturing.*

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1179.05 Prohibited uses.

The following uses are specifically prohibited:

- (a) *Bingo Establishments and Instant Bingo Facilities;*
- (b) *Kennels, unless as an accessory use to a veterinarian;*
- (c) *Cemeteries;*
- (d) *Airports;*
- (e) *Blacksmith shops;*
- (f) *Machine shops, sheet metal and commercial painting shops;*
- (g) *Lumber yards;*
- (h) *Establishments for display, hire, sale and repair of farm implements, semi-tractors, and semi-trailers;*
- (i) *Truck stops or service stations servicing and/or repairing semis, semi-tractors and semi-trailers;*
- (j) *Parking of semis, semi-tractors and semi-trailers except for the purposes of loading or unloading and located in a designated loading space for a reasonable length of time necessary to load or unload;*
- (k) *Sexually oriented businesses;*
- (l) *Outside storage except for trash containers or recycling containers that are screened as required by this chapter;*
- (m) *Above ground parking garages.*

(Case 346; Ord. 2000-O-1159, Passed 1-10-00)

1179.06 Development standards.

Except when specifically modified herein, the provisions of the Planning and Zoning Code shall govern. The following development standards apply to a PM development:

- (a) Minimum Land Area Requirement. A minimum of 20 acres shall be required.*
- (b) Covenants. The developer of a PM development shall be required to submit a set of covenants or deed restrictions with the Basic Development Plan application that will outline, at a minimum, development standards and guidelines established in this chapter and any other requirements the developer and/or Planning Commission deems necessary. The Planning Commission may require additional or amended covenants as it deems necessary to ensure compliance with the Planning and Zoning Code and the Planned Mixed-Use District.*
- (c) Required Mix of Land Uses. A developer shall be required to provide a mix of land uses in a PM Development. At a minimum, at least two of the following uses are required in a PM Development: residential, commercial, office, institutional, and/or industrial.*
- (d) Site Planning.*
 - (1) The combination of different uses whether as part of one building or as part of the overall development shall be designed and developed so as not to create a nuisance by excessive noise, light, vibration, odor, or any other annoyances for any uses within the development or neighboring properties.*
 - (2) A PM development is to be designed so that buildings and structures are clustered and open space areas are preserved and maintained. Special care shall be given to protect preexisting natural features including, but not limited to, woodlands, ravines, streams, lakes, ponds, and/or flood plains. Impervious surface coverage, including, but not limited to, buildings, parking area, and accessways, shall not exceed 75 percent of the total development area. Therefore, 25 percent of the development area shall be reserved for green space.*
 - (3) The number of ingress and egress points onto the public streets shall be limited in order to reduce the number of traffic conflict points. Adequate and properly arranged facilities for internal pedestrian and traffic circulations shall be provided. The street and thoroughfare network shall be designed to minimize truck traffic through residential areas of the development.*
 - (4) Parking systems shall be designed so as to discourage single large unbroken paved lots for off-street parking and shall encourage smaller defined parking areas within the total parking system. Underground parking facilities are encouraged.*

- (5) *The development shall be designed to tie all the uses into one overall community and encourage walking, biking, running, and alternative modes of transportation. Developers are encouraged to incorporate bus stops, bikeways, walkways, and crosswalks into an overall thematic scheme for pedestrian traffic. Sidewalks shall be required except, in the case of a golf course or specific open space development, the Planning Commission may determine them to be unnecessary.*
- (6) *Any signs as proposed within this district, shall comply with Chapter 1189 "Signs". Additionally, a developer of a PM development shall develop and submit with the Detailed Development Plan application, a comprehensive set of graphic design criteria for signage in the development. This set of graphic design criteria for signage shall be approved by the Planning Commission and shall apply to all signage requests within the development. The criteria shall include, at a minimum, the sizes permitted (if different from Chapter 1189), colors permitted, materials permitted, typefaces permitted, type size permitted, and permitted illumination. Compliance with the on-site comprehensive graphics shall be verified by the Zoning Administrator during the sign permit review process.*
- (7) *Minimum lot area, frontage and setback requirements may be varied to allow greater flexibility in design. However, the following shall be used as a guideline for development:*
 - A. *With multiple buildings on a single property, entirely residential buildings shall be at least 15 feet from another entirely residential building and at least 50 feet from nonresidential or mixed-use buildings.*
 - B. *With multiple buildings on a single property, nonresidential buildings or mixed-use buildings shall be at least 20 feet or one-half the height of the taller building apart, whichever is greater from another nonresidential or mixed-use building.*
 - C. *All nonresidential buildings or mixed-use buildings shall be set back at least 50 feet or the height of the structure, whichever is greater, from any residential property or residential building, whichever is closer, and from the public right-of-way. This setback applies to multiple buildings on a single property, to development within a PM development, and where it abuts to adjacent property.*
- (8) *No maximum height restriction shall apply, except that the proposed development meets all Federal Aviation Administration (FAA), Dayton International Airport or Wright Patterson Air Force Base height or abatement requirements.*
- (9) *Common parking areas and accessways shall be lighted adequately with light fixtures that shall be designed to reflect light away from adjoining properties. Special attention will be given to protect entirely residential structures from light emitted from nonresidential land uses.*

- (10) Nonresidential uses shall have trash containers and/or receptacles (including recycling containers) placed to the rear of all structures and shall be screened or enclosed on four sides with opening doors for the purpose of trash removal. The placement of trash containers and/or receptacles in multi-family residential developments shall be as inconspicuous as possible. The use of a wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent and a height of 12 inches above the top of the largest container is required.*
- (11) The architecture of nonresidential structures is encouraged to be unique yet similar in certain sections of the PM.*
- (12) The distribution systems for utilities are required to be underground.*
- (13) The use of privately owned open space and public dedicated park land is encouraged as part of a PM development. Privately owned open space shall be maintained by the developer or by a duly authorized owner's association.*
- (14) The use of chain link fencing is prohibited. Additionally, on an entirely residential property, no fencing shall be permitted in the front yard and, in the case of a corner lot, no fencing shall be permitted in the side yard with frontage to a public right-of-way. The covenants submitted by the developer shall establish the height requirements for fencing in the development. Fencing in a development shall be uniform in height in related use areas. On an entirely residential property, fence height shall not exceed six feet.*
- (15) With the submission of a Basic Development Plan application, the applicant is required to submit a phasing plan that details when certain sections of the development will commence construction and when the sections will be complete.*

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1179.07 Landscaping.

To protect and promote a harmonious development that ensures a functional and logical arrangement of mixed uses, the effective and efficient use of landscaping and buffering is required. Therefore, a PM development shall include the following landscaping and buffering:

- (a) Development Landscaping. Within the PM development that is proposed, entirely residential buildings shall be screened from nonresidential and mixed-use buildings with a 20 foot wide buffer strip that includes a six foot high earth mound, wooden or vinyl fence, wall, landscaping and/or mixture thereof that shall maintain an opaqueness of at least 80 percent year around. Parking areas, accessways, or any impervious surfaces are prohibited within this buffer strip. If planted materials are used, the screen must achieve the required height, width, and opaqueness within two years of planting. The use of pre-*

existing trees, natural features or amenities as part of this buffer is encouraged. The Planning Commission may approve some other arrangement of buffering if it determines that such an arrangement meets the intent of this requirement.

- (b) Perimeter Landscaping. In a section of a PM development that contains nonresidential, mixed use, or multi-family buildings that abut a neighboring property with a single-family residential zoning designation or in a PM development section that contains an entirely residential section that abuts a neighboring property with a commercial, office, or multi-family zoning designation, the perimeter of the section of the PM development shall be screened with a 25 foot wide buffer strip that includes a six foot high earth mound, wooden or vinyl fence, wall, landscaping and/or mixture thereof that shall maintain an opaqueness of at least 80 percent year-round. Parking areas, accessways or an impervious surfaces are prohibited within this buffer strip. If planted materials are used, the screen must achieve the required height, width, and opaqueness within two years of planting. The use of pre-existing trees, natural features or amenities as part of this buffer is encouraged. The Planning Commission may approve some other arrangement of buffering if it determines that such an arrangement meets the intent of this requirement.*
- (c) Parking Lot Landscaping. All parking lots are required to have interior landscaped areas as outlined in Chapter 1185, "Parking and Loading".*
- (d) Street Tree Requirement. All frontage property within a PM development that abuts public rights-of-way and is developed with nonresidential, mixed use, and/or multi-family buildings is required to have one street tree per 40 feet of frontage planted just outside of the street right-of-way. Unless determined to be inappropriate by the City Engineer, street trees shall be planted at least four feet from the edge of the sidewalk on private property. All frontage property within a PM development along a major collector or better as defined by the Huber Heights Thoroughfare Plan, no matter what use, shall meet this requirement. The type of tree and size shall be proposed by the developer at the Detailed Development Plan application stage and approved by the Planning Commission. A list of appropriate trees with required caliper is available in the City Engineer's Office.*

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1179.08 Parking and loading.

The provisions of Chapter 1185, "Parking and Loading" shall apply, except that the off-street loading spaces and docks shall be provided with area, location and design appropriate to the needs of the development and specific uses within it, and the space designated for off-street loading shall not be used for off-street parking. Within the PM development, off-street loading areas shall be physically isolated and/or enclosed from residences in or adjacent to the PM Development. In all cases, off-street loading spaces and docks are prohibited in the front and side yards of any property.

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1179.09 Planning commission/city council review.

All requirements within this chapter are to be used as guidelines and may be varied as part of the Basic or Detailed Development Plan approval if it is determined that such deviation will not adversely affect neighboring properties or the community as a whole. Additionally, any variation of these requirements shall, in no case, change the overall plan and character of the proposed development.

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

1171.05 - Contents of basic development plan.

- (a) *The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:*
- (1) *Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;*
 - (2) *Typical elevation views of the front and side of each type of building;*
 - (3) *Planning location and dimensions of all proposed drives, service access road, sidewalks, and curb openings;*
 - (4) *Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;*
 - (5) *Landscaping plan, walls and fences;*
 - (6) *Storm water detention and surface drainage;*
 - (7) *Exterior lighting plan;*
 - (8) *Vehicular circulation pattern;*
 - (9) *Location and square footage of signs;*
 - (10) *Topographic survey; and*
 - (11) *Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.*
- (b) *The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.*

(Ord. 2006-O-1655, Passed 9-25-05)

1171.06 - General standards for approval.

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*
- (b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*
- (c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*
- (d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*
- (e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*
- (f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*
- (g) Shall preserve natural features such as water courses, trees, and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*
- (h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*
- (i) Shall place underground all electric and telephone facilities, streetlight wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*
- (j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*
- (k) Shall not involve uses, activities, processes, materials, equipment, and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and*
- (l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

(Ord. 93-O-602, Passed 3-22-93)

1171.07 - Review and recommendations by planning commission.

The Planning Commission shall review the proposed PUD as presented in the application and basic development plan in terms of the standards in Section 1171.06 and the specific requirements as outlined in all Planned Unit Developments. The Commission shall hold a public hearing on the proposed PUD. At least ten days in advance of such hearing, notice of time and place of such hearing shall be published in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. The Planning Commission shall make its recommendation, indicating approval, approval with modifications, or disapproval. If the Commission recommends approving rezoning of land to a PUD District and also approves a basic development plan for the area to be rezoned, it may impose upon that plan any additional requirements or conditions deemed appropriate by the Commission to ensure that the development shall meet the standards described in Section 1171.06 and shall comply with the intention and objectives of this Zoning Ordinance.

If the owner chooses to submit a combined development plan, the Planning Commission shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. The detailed development plan aspects shall be reviewed in the same manner as provided herein for review of detailed development plans.

(Ord. 93-O-602, Passed 3-22-93)

1171.08 - Action by council.

Council shall hold a public hearing for application for rezoning and approval of the basic development plan (or combined development plan) after receiving the proposal from the Planning Commission. At least 15 days' notice of the time and place of such public hearing shall be placed in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. Council shall approve, reject or approve with modifications the rezoning and basic development plan in the same manner as other rezoning requests. If the applicant has chosen to submit a combined development plan, Council shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. If Council approves the basic development plan aspects of a combined development plan, the detailed development plan shall be deemed to be approved and no further action shall be required for the area covered by the combined development plan. If the basic development plan aspects of a combined development plan are modified, the combined development plan shall be changed in all aspects to meet that modification. The City staff in charge of plan review shall determine when the basic development plan or combined plan meets the modification required by Council.

(Ord. 93-O-602, Passed 3-22-93)

1171.11 - Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) Major Changes. Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.*
- (b) Minor Changes. The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.*

(Ord. 89-O-339, Passed 2-6-89)



Planning Commission Decision Record

WHEREAS, on September 17, 2021, the applicant, Megan Prather, requested approval of a Basic and Detailed Development Plan for property located at 6119 Brandt Pike, (ZC 21-37); and

WHEREAS, on October 26, 2021, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

_____ moved to recommend approval of the request by the applicant, Megan Prather for a Basic and Detailed Development Plan for property located at 6119 Brandt Pike, (ZC 21-37) in accordance with the recommendation of Staff's Memorandum

Dated October 15, 2021 with the following conditions:

1. The Basic and Detailed Development Plan for Dogtown shall be the plans stamped received by the City of Huber Heights Planning Department on September 17, 2021.
2. Development ground signage shall have a maximum height of six (6) feet and shall be no larger than 75 square feet in total sign area.
3. The applicant shall receive final Engineering approval prior to a Zoning Certificate being issued.
4. The applicant shall address all Fire Division comments prior to a Zoning Certificate being issued.
5. Prior to the issuance of a zoning permit, the applicant shall enter into a PUD Agreement with the City for the purpose, but not the sole purpose,

ZC 21-37 – Decision Record

of establishing the development obligations of the applicant and requiring the submittal of a performance bond, cash bond, or letter of credit to insure the installation of landscaping as approved. The bond or letter of credit shall be in an amount equal to the applicant's estimate of the cost of installation as approved by the Planning Department and shall remain in effect until such time as the landscaping has been completed as determined by the Planning Department. Upon completion of the installation of landscaping as required by the approved landscape plan, the applicant may request release of the performance bond or letter of credit. Following an inspection by the Planning Department and upon determination by the department that the landscaping has been completed in accordance with the approved landscaping plan, 80% of the performance bond or letter of credit may be released. However, the performance bond or letter of credit will not be released until a maintenance bond lasting three growing seasons, or letter of credit equal to 20% of the initial performance bond or letter of credit to ensure maintenance of the landscaping, is submitted to and accepted by the Planning Department. The term of the maintenance bond shall be three growing seasons.

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____. Motion to recommend approval carried _____.

Terry Walton, Chair
Planning Commission

Date

LEGAL DESCRIPTION

SITUATE IN THE CITY OF HUBER HEIGHTS, COUNTY OF MONTGOMERY, STATE OF OHIO, AND BEING LOCATED IN SECTION 22, TOWN 2, RANGE 8 M.R.S., AND BEING A TRACT OF LAND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF DAYTON BRANDT PIKE (SR 201) WITH THE CENTERLINE OF FISHBURG ROAD;

THENCE WITH THE CENTERLINE OF SAID DAYTON BRANDT PIKE, NORTH 17° 38' 40" EAST FOR 320.00 FEET;

THENCE NORTH 72° 21' 20" WEST FOR 45.00 FEET;

THENCE NORTH 72° 21' 20" WEST FOR 155.00 FEET;

THENCE SOUTH 17° 38' 40" WEST FOR 33.76 FEET;

THENCE NORTH 74° 31' 30" WEST FOR 18.92 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL OF LAND TO BE DESCRIBED:

THENCE NORTH 74° 31' 30" WEST AT 13.81 FEET PASSING THE NORTHEAST CORNER OF LAND CONVEYED TO UNITED STATES POSTAL SERVICE BY DEED RECORDED IN MICROFICHE NO. 83-555 DO1 IN THE DEED RECORDS OF MONTGOMERY COUNTY, OHIO, IN ALL 213.81 FEET TO THE NORTHWEST CORNER OF SAID UNITED STATES POSTAL SERVICE LAND;

THENCE ON A TANGENT BEARING NORTH 32° 22' 55" EAST FOR 45.25 FEET;

THENCE ON A CURVE TO THE LEFT WITH A RADIUS OF 640.00 FEET FOR AN ARC DISTANCE OF 164.62 FEET (LONG CHORD BEARING NORTH 25° 00' 47.5" EAST FOR 164.17 FEET, CENTRAL ANGLE OF SAID CURVE BEING 14° 44' 15");

THENCE ON A TANGENT BEARING NORTH 17° 38' 40" EAST FOR 26.00 FEET;

THENCE SOUTH 72° 21' 20" EAST FOR 181.09 FEET;

THENCE ON A NEW DIVIDING LINE, SOUTH 17° 38' 40" WEST FOR 224.48 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 1.000 ACRES, MORE OR LESS.

PARKING CALCULATIONS

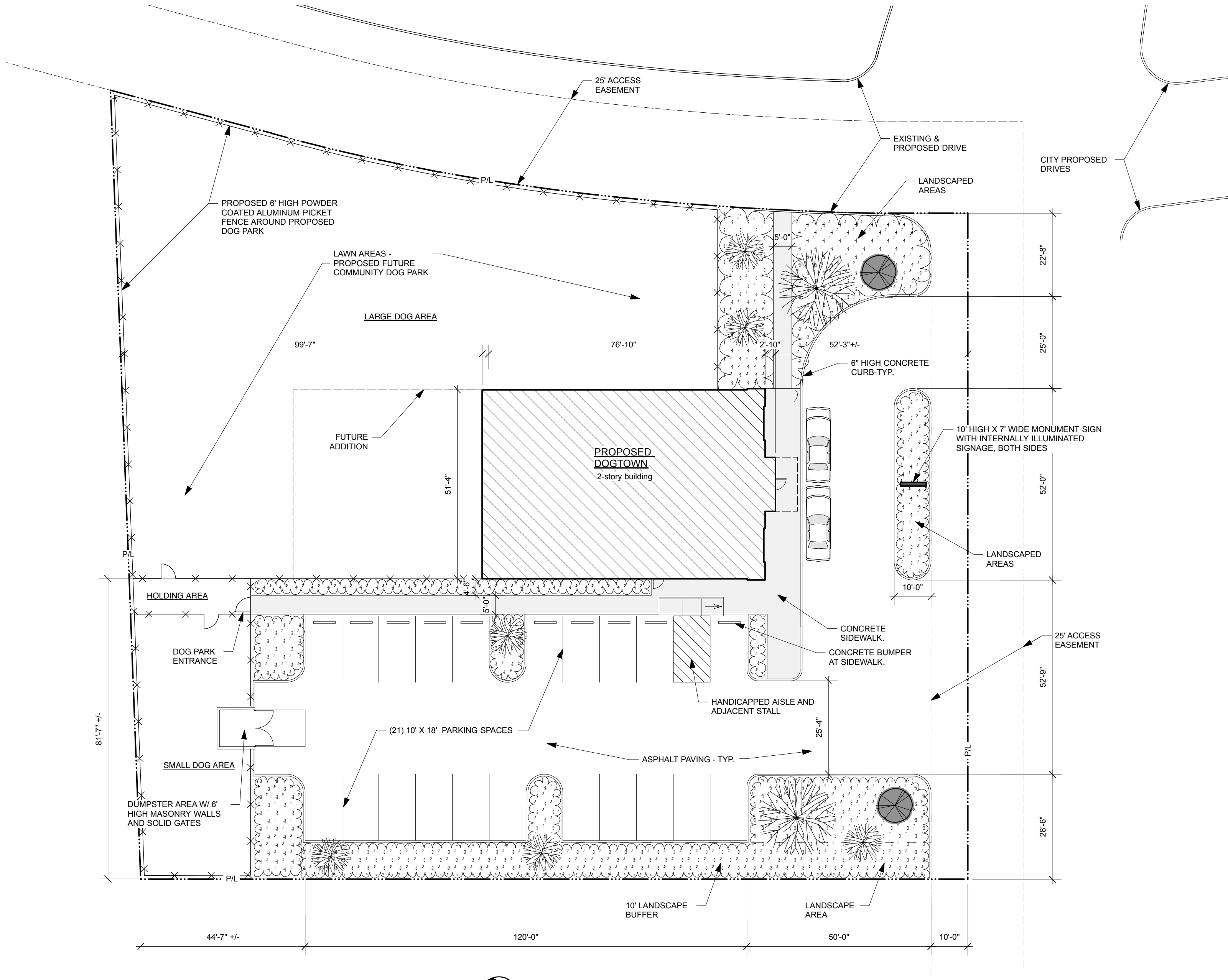
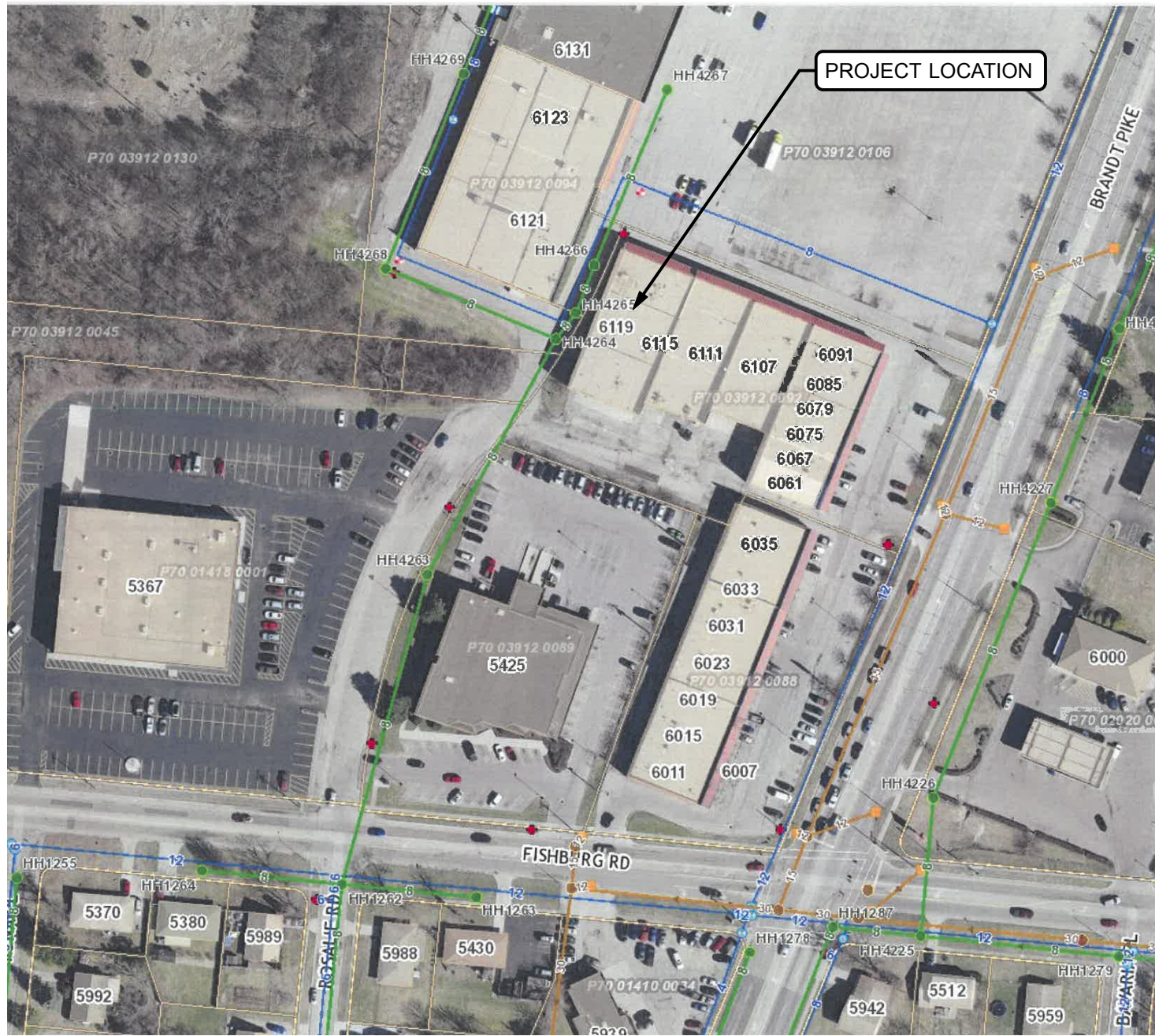
BASED ON BUSINESS USE - 1 SPACE PER 300 SF OF FLOOR AREA.

BUILDING AREA:	
FIRST FLOOR	3,810 SF
SECOND FLOOR	2,880 SF
TOTAL AREA	6,690 SF

PARKING SPACES REQUIRED: 23 SPACES

PER BRANDT PIKE REVITALIZATION OVERLAY DISTRICT REGULATIONS, SECTION 1180.09 E. UP TO 25% OF REQUIRED PARKING CAN BE REPLACED WITH LANDSCAPED AREA. TWO REQUIRED SPACES REPLACED WITH LANDSCAPED ISLANDS.

VINCINITY MAP
NOT TO SCALE



SITE PLAN
1" = 20'-0"

NOTE: DRIVES SHOWN BEYOND SITE BOUNDARIES PER CITY PREPARED SITE DEVELOPMENT PLANS

DRAWING LIST

C1.0	PROPOSED SITE PLAN
C101	EXISTING SITE CONDITIONS PLAN
C102	SITE GRADING & UTILITY PLAN
A4.0	3D MODEL
A4.1	EXTERIOR ELEVATIONS

CITY OF HUBER HEIGHTS
PLANNING COMMISSION
SUBMITTAL
(SEPTEMBER 17, 2021)

PROPOSED
HUBER HEIGHTS
DOGTOWN

6119 BRANDT PIKE, HUBER HEIGHTS, OH

ISSUE

REVISION

PLAN COMM. SUBMITTAL - 9/17/21

PROPOSED
SITE PLAN

DRAWN BY: L. Johanson

CHECKED BY: TLJ

DATE:
SEPTEMBER 17, 2021

C1.0

CONSULTANTS

CIVIL
INC

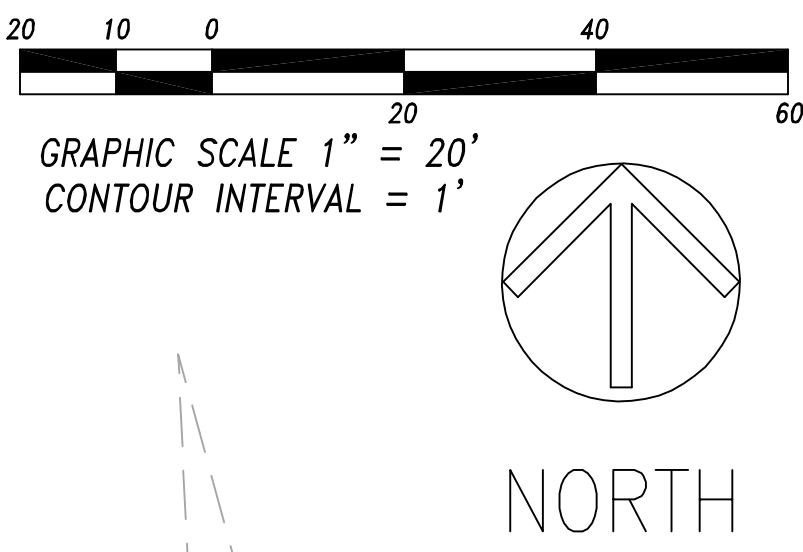
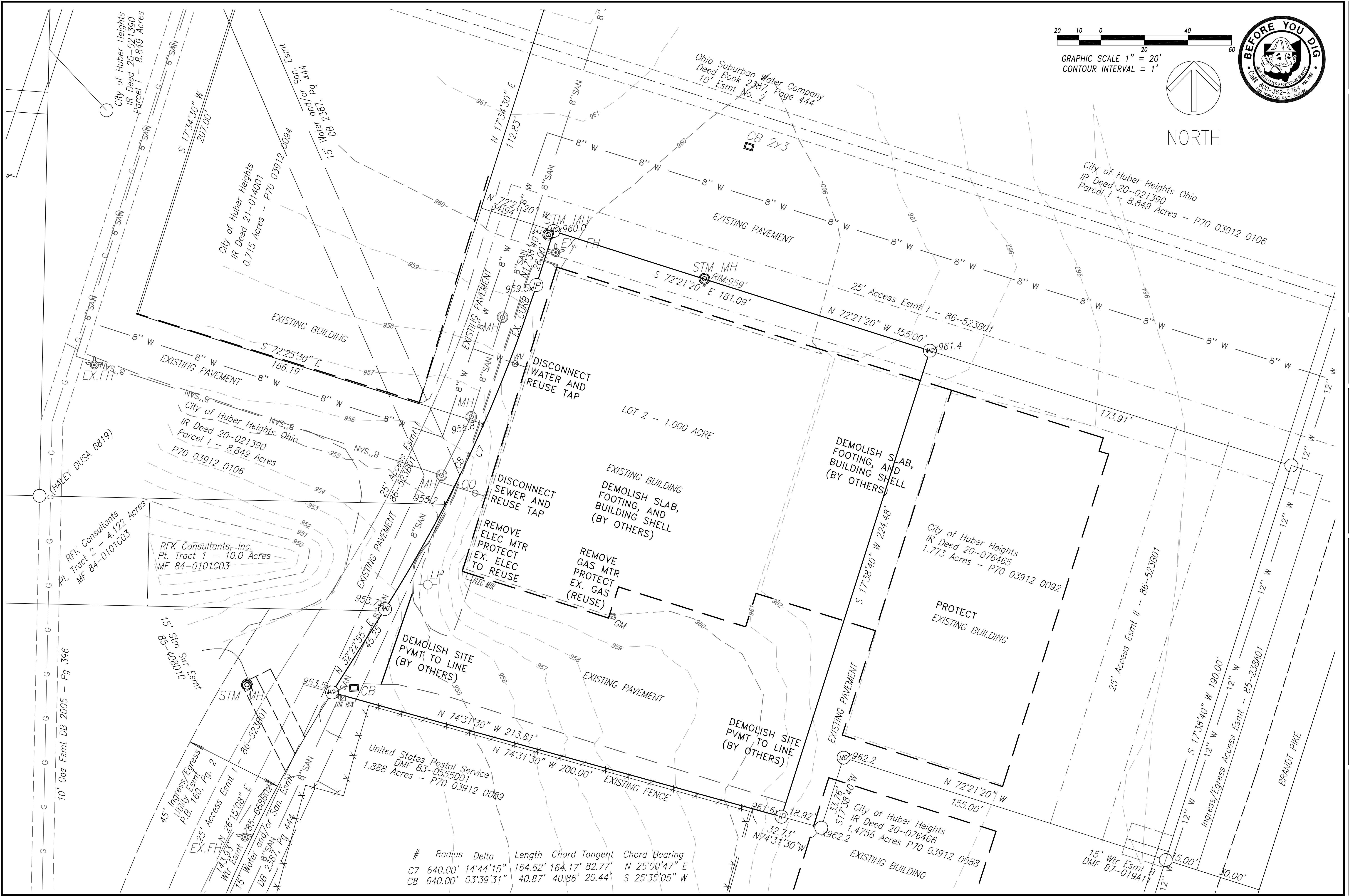
9338 Cincinnati Columbus Rd.
West Chester, Ohio 45241

THEODORE
ARCHITECT

JOHANSON

529 Mackin Avenue Cincinnati, Ohio 45229
513-221-3007 www.tedjohansondesigns.com

THEODORE L. JOHANSON, LICENSE # 6886115
EXPIRES 12/31/2021



9306 CINCINNATI
WEST CHESTER,
OHIO 45241
Tel: (613) 671-6144
Fax: (613) 671-6150

INFRASTRUCTURE
DEVELOPMENT
ENGINEERING

Designed By:
T. FOSTER

Drawn By:
T. FOSTER

Checked By:

Approved By:

REVISIONS:

PROPOSED DOGTOWN
HUBER HEIGHTS
6119 BRANDT PIKE
HUBER HEIGHTS, OHIO

EXISTING SITE

Scale: 1" = 20'

Date: 9/17/21

Sheet 1 of 2

C-101

Project No.
21030A-60



DRAWING KEYNOTES

- 1. STUCCO (EXTERIOR INSULATED FINISH SYSTEM)
- 2. METAL CORNICE
- 3. FAUX BRICK EIFS OR CULTURED STONE ALTERNATE
- 4. INTEGRAL COLOR MASONRY UNITS
- 5. METAL GUTTER AND DOWNSPOUTS
- 6. 10' +/- HIGH MONUMENT SIGN WITH FAUX BRICK OR CULTURED STONE FINISH AND STONE CAP.
- 7. PRE-FABRICATED METAL CANOPY
- 8. INTERNALLY ILLUMINATED SIGN

THEODORE L. JOHANSON LICENSE # 886815
EXPIRES 12/31/2021

CONSULTANTS

THEODORE L. JOHANSON ARCHITECT
539 McKelvie Avenue Cincinnati, OH 45226
513-221-3807 www.tedjohansondesigns.com

JOHANSON

PROPOSED
HUBER HEIGHTS
DOG TOWN

6119 BRANDT PIKE, HUBER HEIGHTS, OH

ISSUE

△ REVISION

PLAN, COMM. SUBMITTAL - 9/17/21

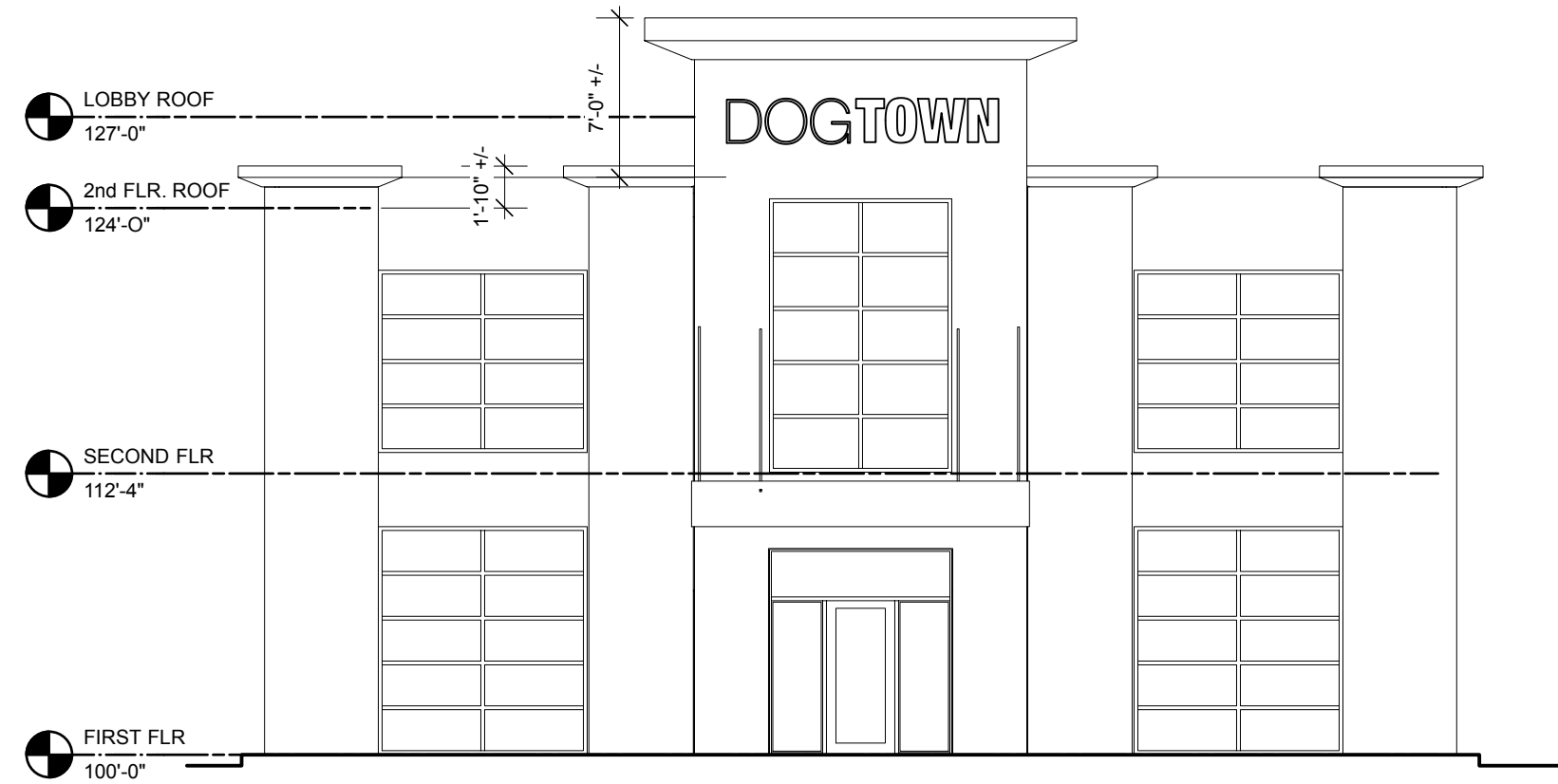
3D MODEL

DRAWN BY: t.johanson

CHECKED BY: TLJ

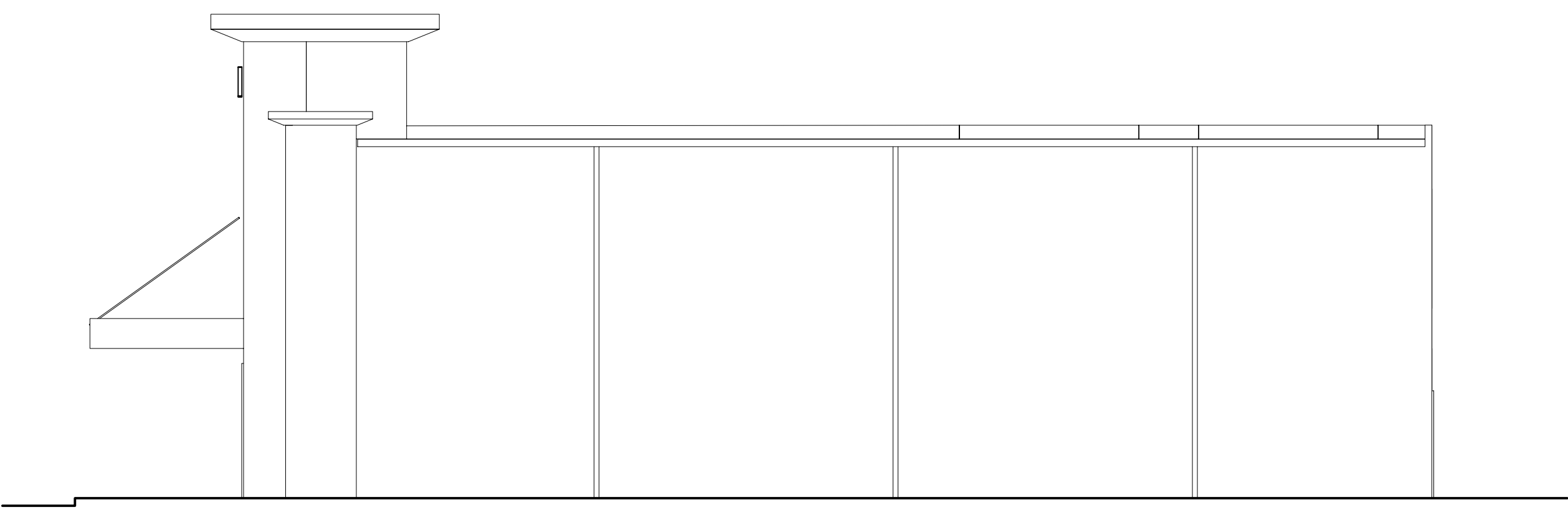
DATE:
SEPTEMBER 17, 2021

A4.0



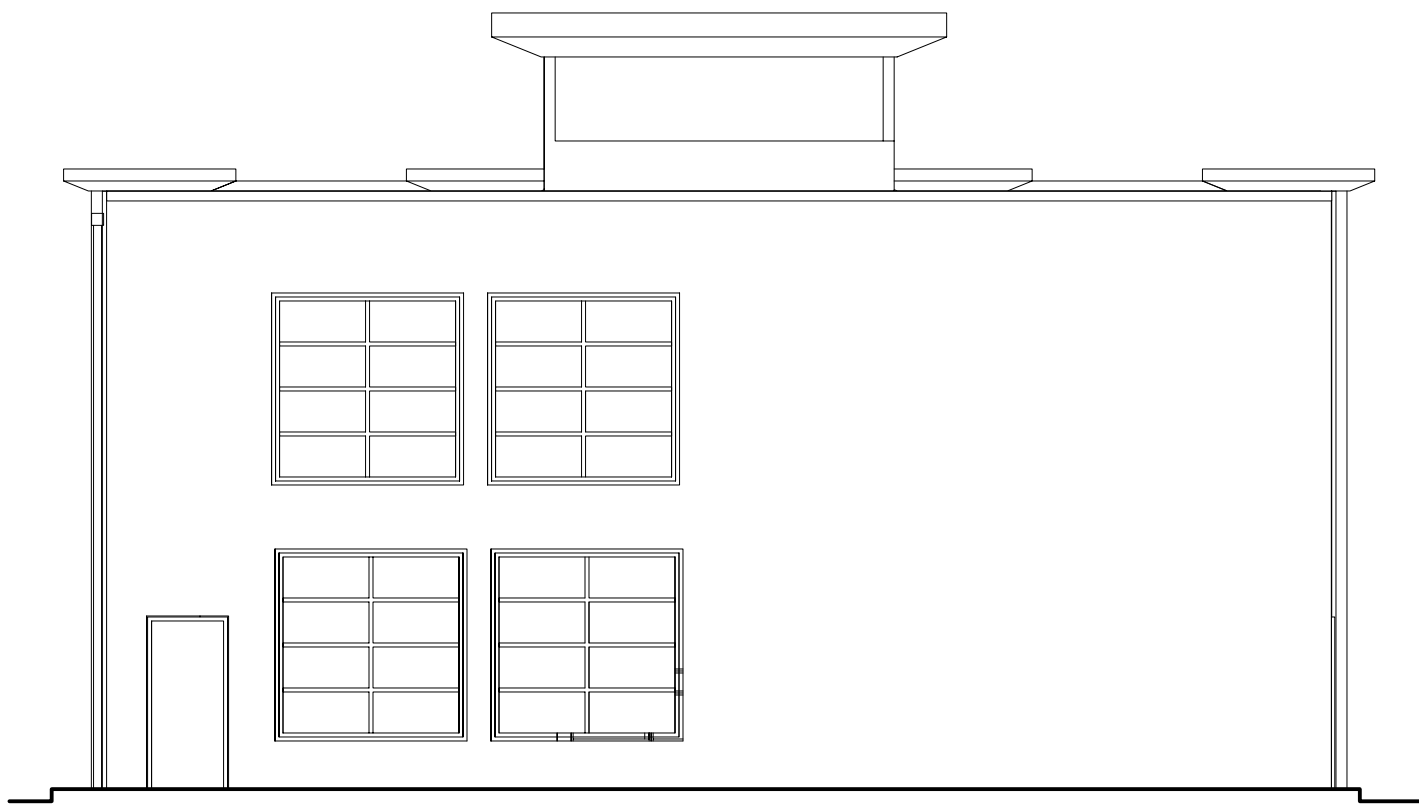
NORTH ELEVATION

1/8" = 1'-0"
(SEE 3D VIEW FOR MATERIALS - TYP.)



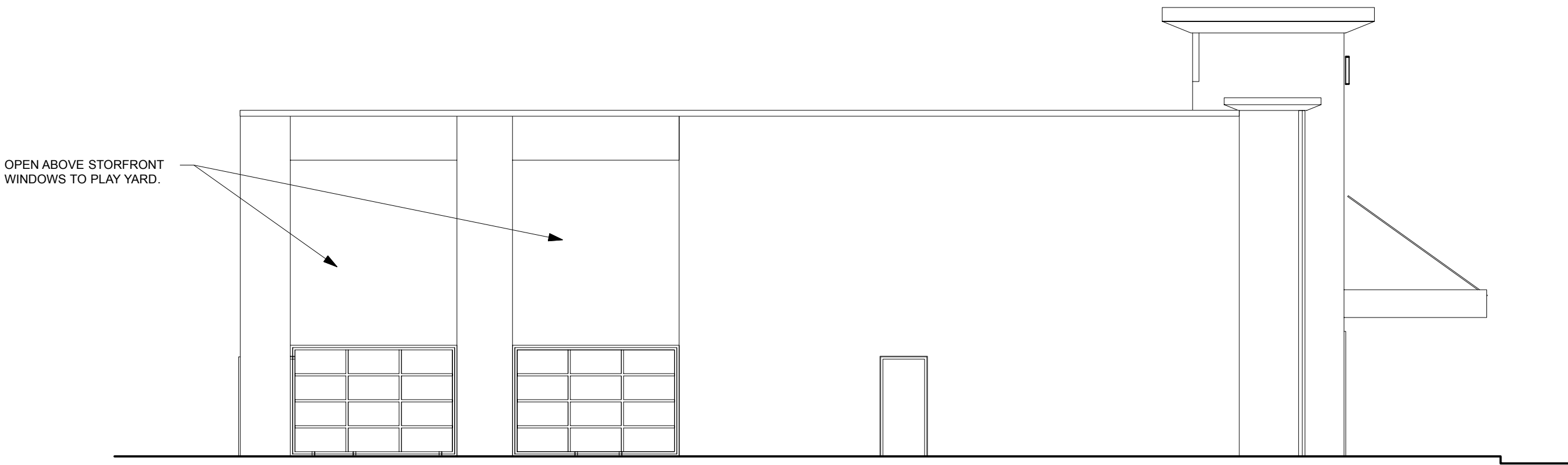
WEST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

		CONSULTANTS																					
<p>THEODORE JOHANSON ARCHITECT</p> <p>539 McKelvie Avenue Cincinnati, OH 45209 513-221-3007 www.tedjohansondesigns.com</p>		<p>PROPOSED HUBER HEIGHTS DOGTOWN</p> <p>6119 BRANDT PIKE, HUBER HEIGHTS, OH</p>																					
EXTERIOR ELEVATIONS	ISSUE △ REVISION	<table><tr><td>○ PLAN, COMM. SUBMITTAL - 9/17/21</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr></table>		○ PLAN, COMM. SUBMITTAL - 9/17/21																			
	○ PLAN, COMM. SUBMITTAL - 9/17/21																						
DATE: SEPTEMBER 17, 2021		DRAWN BY: t.johanson CHECKED BY: TLJ																					
A4.1																							

THEODORE L. JOHANSON LICENSE # 686515
EXPIRES 12/31/2021



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Dogtown		
Occupancy Address:	6119 Brandt Pike		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-218
MCBR ELE:		HHFD Box:	46
REVIEWER:	Susong	DATE:	10/20/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

- **Approval of site is subject to compliance with the following. Additional requirements for structure may arise during permitting process:**

Requirements: (Site Plan)

- Proposed driveways are acceptable and appear to meet Ohio Fire Code requirements for turn radius.
- Proposed fencing shall not obstruct fire department access to building. Approved gates shall be provided, or fencing moved away from building. Locking devices for gates shall be approved by Huber Heights Fire Division.
- If building will be equipped with a fire sprinkler system at least one fire hydrant will be required within 75 feet of the Fire Department Connection for the sprinkler system. (Huber Heights Codified Ordinance 1521.01)
- A permit shall be obtained for construction from Montgomery County Building Regulations.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

*Administrative Office: 7008 Brandt Pike Huber Heights, Ohio 45424
Telephone: (937) 233 - 1564 Fax Number: (937) 233 - 4520*

AI-7891

7. B.

Planning Commission

Meeting Date: 10/26/2021

REZONING

Information

Agenda Title

REZONING - The applicant, DANIEL GREENE, is requesting approval of a Rezoning to Planned Residential for .3445 acres of property located at 4270 Murdock Avenue (ZC 21-40).

Purpose and Background

Attachments

Staff Report

Decision Record

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission

From: Scott P. Falkowski, Assistant City Manager

Date: October 15, 2021

Subject: ZC 21-40 (Rezoning from B-1 Commercial to PR Planned Residential)
.3445 Acres 4270 Murdock Avenue

Application dated September 9, 2021

Department of Planning and Development

City of Huber Heights

APPLICANT/OWNER: Daniel Greene – Applicant/Owner

DEVELOPMENT NAME: 4270 Murdock Avenue

ADDRESS/LOCATION: 4270 Murdock Avenue

ZONING/ACREAGE: B-1/0.344 acres

EXISTING LAND USE: Residential

**ZONING
ADJACENT LAND:** R-4, B-1, PC

REQUEST: The applicant requests approval of a Rezoning to PR Planned Residential at 4270 Murdock Avenue.

ORIGINAL APPROVAL:

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

OVERVIEW:

The applicant requests rezoning from B-1 Commercial to PR Planned Residential District.

STAFF ANALYSIS AND RECOMMENDATION:

The applicant requests a lot combination of five parcels including 0.344-acres in order to utilize the property for its current use. This new parcel combines five 25-foot frontage lots which has existing buildings that cross said property lines. This cleans up the parcel into one ownership parcel. The property is zoned B-1 Commercial but has a residential house on the property and the owner would like to continue to have that use. A rezoning will be required of the newly combined parcel for the residential use. The rezoning will be to Planned Residential to allow for the current locations of all buildings on the site. No additional right-of-way was required with this split and rezoning. The surrounding uses at the area of the split are a combination of residential and commercial, so this use fits. No additional improvements are being requested with this application.

CHAPTER 1172 (PR) PLANNED RESIDENTIAL DISTRICT¹

1172.01 Principal permitted uses.

The following principal uses are permitted, provided that they are approved as provided for in this chapter:

- (a) All residential uses permitted in all other chapters of the Zoning Ordinance such as: one family dwellings, two family dwellings, multiple family dwellings, including garden apartments, row houses, quadraminiums and condominiums;*
- (b) Churches and other places of worship;*
- (c) Colleges, primary and secondary schools under School Board or Parochial supervision, and public libraries;*
- (d) Public recreation buildings, parks, playgrounds and athletic fields under School Board, Parochial, other governmental supervision or "homeowners association" supervision; and*
- (e) Uses designed solely to serve in a complimentary way the needs of this District above.*

(Ord. 89-O-339, Passed 2-6-89)

¹Cross reference(s)—General provisions—See Ch. 1171.

1172.02 Accessory uses.

The following accessory uses are permitted:

- (a) Uses customarily incidental to all permitted uses; and*
- (b) Temporary structures and uses required during construction in this District.*

(Ord. 89-O-339, Passed 2-6-89; Ord. No. 2019-O-2398, § 1, 10-14-19)

1172.03 Development standards.

Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions", shall govern. In addition, the following development standards apply:

- (a) Minimum "PR" Land Area Requirement.*

- (1) A minimum of one acre shall be required.*

- (b) Dwelling Unit Density—Five Dwelling Units.*

- (1) The average dwelling unit density for the entire district shall not exceed five dwelling units (DU) per acre.*
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:*
 - A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.*

- (c) Dwelling Unit Density—Eight Dwelling Units.*

- (1) Dwelling unit density for the entire district shall not exceed eight dwelling units per acre of land on which dwellings are constructed. For example, if the entire district is three acres but dwellings are constructed on two acres only, dwelling unit density for the entire district shall not exceed 16 dwellings.*
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:*
 - A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.*

- (d) Dwelling Unit Density—Twelve Dwelling Units.*

- (1) Dwelling unit density for the entire district shall not exceed 12 dwelling units per acre of land on which dwellings are constructed. For example, if the entire district is three acres but dwellings are constructed on two acres only, dwelling unit density for the entire district shall not exceed 24 dwellings.*
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:*
 - A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.*

- (e) Character of Neighborhood. Use of the Planned Residential Zoning District for developments with a proposed dwelling unit density greater than five*

dwelling units per acre shall be considered only when the district is bounded at least on one side by R-5, R-6, R-7, O-1, B, I, or Planned Development Districts.

(Case 378, 6-17-76; Case 235, 7-11-94; Ord. 94-O-711, Passed 7-11-94; Ord. 2006-O-1664, Passed 10-23-06)

1172.04 Parking and loading.

- (a) The provisions of Chapter 1185, "Parking and Loading", shall apply, except that at least two permanently maintained parking spaces shall be provided for each family unit, except for detached single family dwellings.*
- (b) Required parking spaces shall not be part of public thoroughfares, private roads leading to and serving the sites of the various uses in this district.*

(Ord. 89-O-339, Passed 2-6-89)

1172.05 Utilities.

The distribution systems for utilities are required to be underground.

(Ord. 89-O-339, Passed 2-6-89)



Planning Commission Decision Record

WHEREAS, on September 9, 2021, the applicant, Daniel Greene, requested approval of a Rezoning from B-1 (Commercial) to PR (Planned Residential) for 0.3445 acres located at 4270 Murdock Avenue (ZC 21-40); and

WHEREAS, on October 26, 2021, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

_____ moved to recommend approval of the request by the applicant, Daniel Greene, for a Rezoning from B-1 (Commercial) to PR (Planned Residential) for 0.3445 acres located at 4270 Murdock Avenue (ZC 21-40) in accordance with the recommendation of Staff's Memorandum dated October 15, 2021 with the following conditions:

1. No additional improvements to the site are approved with this application.

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____. Motion to recommend approval carried _____.

Terry Walton, Chair
Planning Commission

Date

AI-7892

7. C.

Planning Commission

Meeting Date: 10/26/2021

LOT SPLIT

Information

Agenda Title

LOT SPLIT - The applicant, DANIEL GREENE, is requesting approval of a Lot Split of .3445 acres (ZC 21-39).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawing

Memorandum

Staff Report for Meeting of October 26, 2019

To: Huber Heights City Planning Commission
From: Scott P. Falkowski, Assistant City Manager
Date: October 15, 2021
Subject: ZC 21-39 (Lot Split for 4270 Murdock Avenue)

Application dated September 09, 2021

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Daniel Green – Applicant/Owner
DEVELOPMENT NAME: 4270 Murdock Avenue
ADDRESS/LOCATION: 4270 Murdock Avenue
ZONING/ACREAGE: B-1/0.344 acres
EXISTING LAND USE: Residential
ZONING
ADJACENT LAND: R-4, B-1, PC
REQUEST: The applicant requests approval of a lot split at 4270 Murdock Avenue.
ORIGINAL APPROVAL:
APPLICABLE HHCC: Chapter
CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant requests a lot combination of five parcels including 0.344-acres in order to utilize the property for its current use. This new parcel combines five 25-foot frontage lots which has existing buildings that cross said property lines. This cleans up the parcel into one ownership parcel. The property is zoned B-1 Commercial but has a residential house on the property and the owner would like to continue to have that use. A rezoning will be required of the newly combined parcel for the residential use. The rezoning will be to Planned Residential to allow for the current locations of all buildings on the site. No additional right-of-way is required with this combination. No new improvements are being requested with this application.



Planning Commission Decision Record

WHEREAS, on September 09, 2021, the applicant, Daniel Greene, requested approval of a lot split of .3445 acres at 4270 Murdock Avenue (Zoning Case 21-39), and;

WHEREAS, on October 26, 2021, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approved the request.

_____ moved to approve the request by Daniel Greene for approval of Lot Split of .3445 acres at 4270 Murdock Avenue (Zoning Case 21-39) in accordance with the recommendation of Staff's Memorandum dated October 15, 2021 with the following conditions:

1. The Lot Split for 4270 Murdock Avenue shall be the plans stamped received by the City of Huber Heights Planning Department on September 09, 2021.
2. The lot combination shall be recorded with Montgomery County with documents prepared by a licensed surveyor.

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____. Motion to approve carried _____.

Terry Walton, Chair
Planning Commission

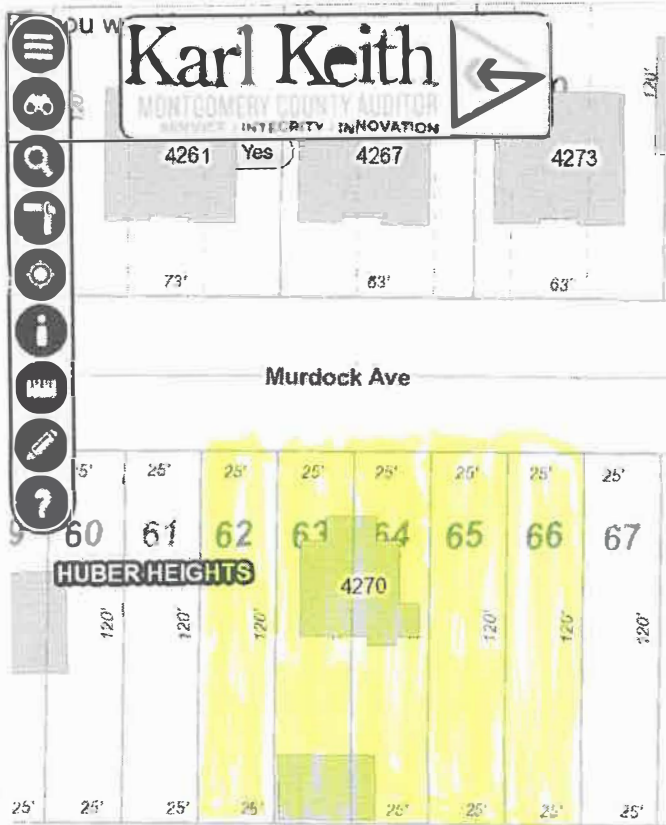
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AA

gis.mcohoio.org



3.41'



AI-7893

7. D.

Planning Commission

Meeting Date: 10/26/2021

BASIC DEVELOPMENT PLAN

Information

Agenda Title

BASIC DEVELOPMENT PLAN - The applicant, DARIN SCHMIDT, is requesting approval of a Basic Development Plan for 19.1 acres for an Airsoft and Paintball facility for property located at 7860 Bellefontaine Road (ZC 21-36).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawing

Resident letter

Fire Assessment

Resident letter

Resident letter

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission
From: Scott P. Falkowski, Assistant City Manager
Date: October 15, 2021
Subject: ZC 21-36 Basic Development Plan G2 Tactical 7860 Bellefontaine Road

Application dated September 24, 2021

Department of Planning and Development

City of Huber Heights

APPLICANT/OWNER: Darin Schmidt – Applicant/Owner

DEVELOPMENT NAME: G2 Tactical

ADDRESS/LOCATION: 7860 Bellefontaine Road

ZONING/ACREAGE: Ag / 19.1

EXISTING LAND USE: Vacant

**ZONING
ADJACENT LAND:** A

REQUEST: The applicant requests approval for a Basic Development Plan for 19.1 acres for G2 Tactical.

ORIGINAL APPROVAL:

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – One Received

ATTACHMENTS:

OVERVIEW:

The applicant requests approval of a Basic Development Plan for 19.1 acres at 7860 Bellefontaine Road for a paintball and airsoft facility.

STAFF ANALYSIS AND RECOMMENDATION:

The applicant requests approval of a Basic Development Plan for 19.1 acres at 7860 Bellefontaine Road for a paintball and airsoft facility.

The City's Comprehensive Plan calls for this area to be Agricultural/Low Density Residential.

There are no public sanitary and water connections available at the site. Drainage calculations shall be submitted by a licensed professional engineer and follow the standards for water quality and quantity. The proposal calls for areas to be set up for paint ball and airsoft facilities. Staff's recommendation is that any building follow the standard Commercial Design as per City Code. Also, the entrance shall be upgraded to the City Standard of a concrete drive apron for commercial standards. Parking and loading shall follow the City Standards as well, including materials, number of spaces and dimensions. The minimum standard for a landscaped buffer is 15 feet along the southern and eastern property lines. The parking and loading facilities shall be a distance of at least 25 feet from the established right-of-way line, and the building(s) or the structure(s) at least 75 feet from the established right-of-way line per the Official Thoroughfare Plan or the recorded plat. The nearest residential structure to this property is approximately 780 feet away.

The Zoning Code for the proposal is as follows:

CHAPTER 1176 (PC) PLANNED COMMERCIAL DISTRICT¹

1176.01 Principal permitted uses.

The following principal uses are permitted provided that they are approved as provided for in this chapter:

- (a) Retail, office and commercial establishments;*
- (b) Personal service commercial establishments;*
- (c) Motels and hotels;*
- (d) Filling stations;*

¹Cross reference(s)—General provisions—See Ch. 1171.

- (e) *Service stations; and*
- (f) *Public garages.*
- (g) *Sweepstakes cafe.*

(Ord. 2012-O-1948, Passed 3-12-12)

1176.02 Accessory uses.

Only the following accessory uses shall be permitted in this District:

- (a) *Uses customarily incident to all principal permitted uses; and*
- (b) *Temporary buildings and uses for construction purposes, not to exceed 12 months.*

(Ord. 89-O-339, Passed 2-6-89)

1176.03 Development standards.

Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions" shall govern. In addition, the following development standards shall apply:

- (a) *Minimum Land Area Requirement.*
 - (1) *No minimum land area shall be required.*
- (b) *Site Planning.*
 - (1) *All yards within the development plan except those abutting a Business or Industrial District shall be maintained in landscaping and not used for parking, to the extent of a minimum of 15 feet along property lines.*
 - (2) *The parking and loading facilities shall be a distance of at least 25 feet from the established right-of-way line, and the building(s) or the structure(s) at least 75 feet from the established right-of-way line per the Official Thoroughfare Plan or the recorded plat.*

(Ord. 2006-O-1656, Passed 10-5-05)

1176.04 Parking and loading.

The provisions of Chapter 1185, "Parking and Loading" shall apply, except that off-street loading space shall be provided with area, location and design appropriate to the needs of the development and specific uses within it, and the space designated for off-street loading shall not be used for off-street parking.

(Ord. 89-O-339, Passed 2-6-89)

1176.05 Special uses.

The following shall be permitted as a special use:

- (a) Reserved.*
- (b) Fraternal organizations, service clubs and other nonprofit organizations in accordance with the provisions of Chapter 1135. In addition to the criteria set forth in Chapter 1135, the parking requirements have to be reviewed yearly.*
- (c) Places of worship.*

(Ord. 2000-O-1159, Passed 1-10-00; Ord. 2002-O-1354, Passed 6-24-02)

1171.05 - Contents of basic development plan.

- (a) The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:*
 - (1) Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;*
 - (2) Typical elevation views of the front and side of each type of building;*
 - (3) Planning location and dimensions of all proposed drives, service access road, sidewalks, and curb openings;*
 - (4) Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;*
 - (5) Landscaping plan, walls and fences;*
 - (6) Storm water detention and surface drainage;*
 - (7) Exterior lighting plan;*
 - (8) Vehicular circulation pattern;*
 - (9) Location and square footage of signs;*
 - (10) Topographic survey; and*
 - (11) Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.*
- (b) The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.*

(Ord. 2006-O-1655, Passed 9-25-05)

1171.06 - General standards for approval.

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*
- (b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*
- (c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*
- (d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*
- (e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*
- (f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*
- (g) Shall preserve natural features such as water courses, trees, and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*
- (h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*
- (i) Shall place underground all electric and telephone facilities, street light wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*
- (j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*
- (k) Shall not involve uses, activities, processes, materials, equipment, and conditions of operation that shall be detrimental to any persons, property or the*

general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and

- (l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

(Ord. 93-O-602, Passed 3-22-93)

1171.07 - Review and recommendations by planning commission.

The Planning Commission shall review the proposed PUD as presented in the application and basic development plan in terms of the standards in Section 1171.06 and the specific requirements as outlined in all Planned Unit Developments. The Commission shall hold a public hearing on the proposed PUD. At least ten days in advance of such hearing, notice of time and place of such hearing shall be published in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. The Planning Commission shall make its recommendation, indicating approval, approval with modifications, or disapproval. If the Commission recommends approving rezoning of land to a PUD District and also approves a basic development plan for the area to be rezoned, it may impose upon that plan any additional requirements or conditions deemed appropriate by the Commission to ensure that the development shall meet the standards described in Section 1171.06 and shall comply with the intention and objectives of this Zoning Ordinance.

If the owner chooses to submit a combined development plan, the Planning Commission shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. The detailed development plan aspects shall be reviewed in the same manner as provided herein for review of detailed development plans.

(Ord. 93-O-602, Passed 3-22-93)

1171.08 - Action by council.

Council shall hold a public hearing for application for rezoning and approval of the basic development plan (or combined development plan) after receiving the proposal from the Planning Commission. At least 15 days' notice of the time and place of such public hearing shall be placed in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. Council shall approve, reject or approve with modifications the rezoning and basic development plan in the same manner as other rezoning requests. If the applicant has

chosen to submit a combined development plan, Council shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. If Council approves the basic development plan aspects of a combined development plan, the detailed development plan shall be deemed to be approved and no further action shall be required for the area covered by the combined development plan. If the basic development plan aspects of a combined development plan are modified, the combined development plan shall be changed in all aspects to meet that modification. The City staff in charge of plan review shall determine when the basic development plan or combined plan meets the modification required by Council.

(Ord. 93-O-602, Passed 3-22-93)

1171.11 - Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) Major Changes. Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.*
- (b) Minor Changes. The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.*

(Ord. 89-O-339, Passed 2-6-89)



Planning Commission Decision Record

WHEREAS, on September 24, 2021, the applicant, Darin Schmidt, requested approval of a rezoning from A (Agriculture) to PC (Planned Commercial) and a Basic Development Plan for property located at 7860 Bellefontaine Road, Parcel Number P70-03905-0060 of the Montgomery County, Ohio Records (ZC 21-36); and

WHEREAS, on October 26, 2021, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to recommend approval of the request by the applicant, Darin Schmidt for a rezoning from A (Agriculture) to PC (Planned Commercial) and a Basic Development Plan for property located at 7860 Bellefontaine Road, Parcel Number P70-03905-0060 of the Montgomery County, Ohio Records (ZC 21-36) in accordance with the recommendation of Staff's Memorandum dated October 15, 2021 with the following conditions:

1. The Basic Development Plan shall be the plans stamped received by the City of Huber Heights Planning Department on September 24, 2021.
2. Prior to the issuance of a zoning permit, the applicant shall submit and receive approval of a Detailed Development Plan through the Planning Commission.
3. The drive approach shall be a City standard concrete commercial drive entrance.
4. Parking and Loading shall meet the requirements of Chapter 1185 of the City Code.
5. A drainage report shall be submitted following the Montgomery County Standards for water quality and quantity.

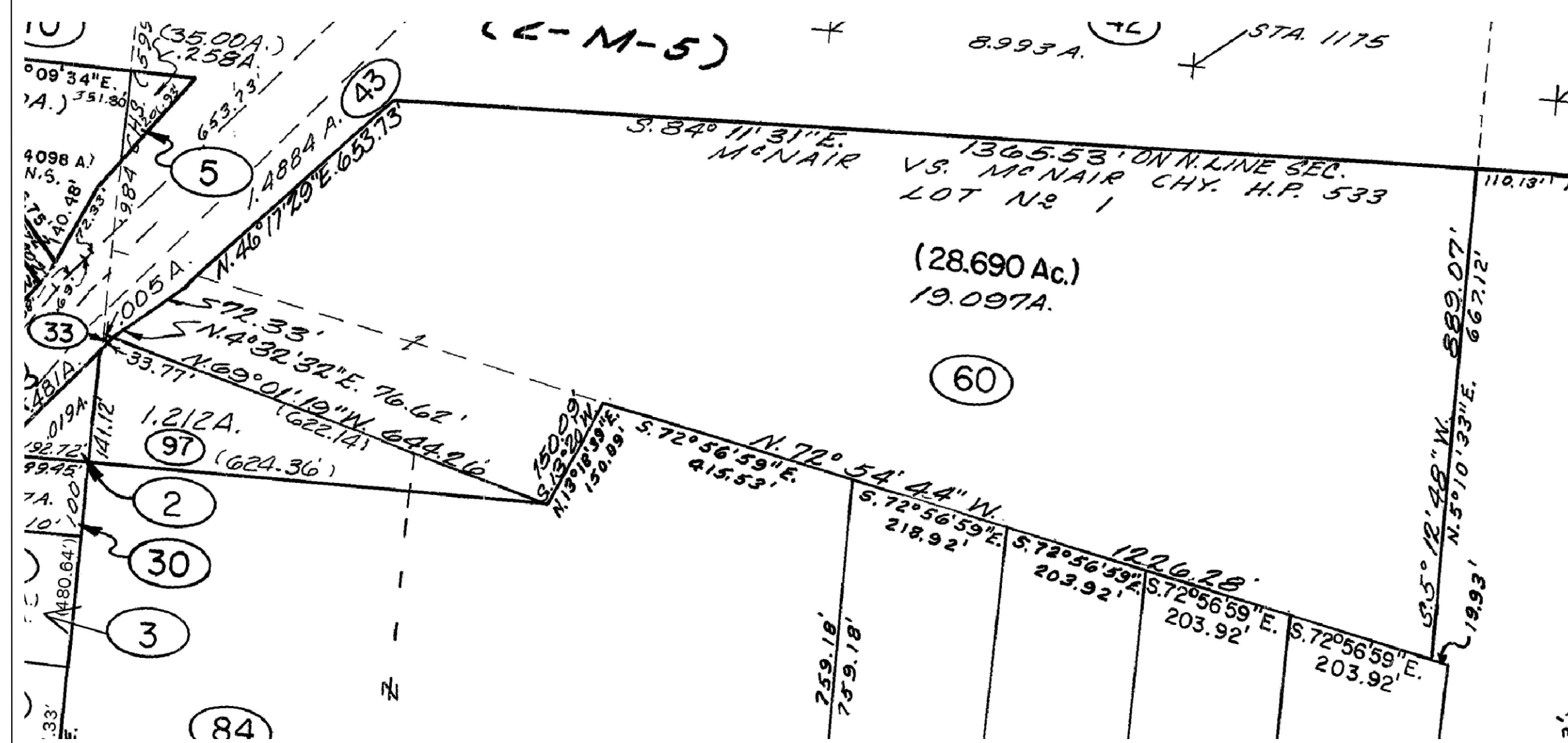
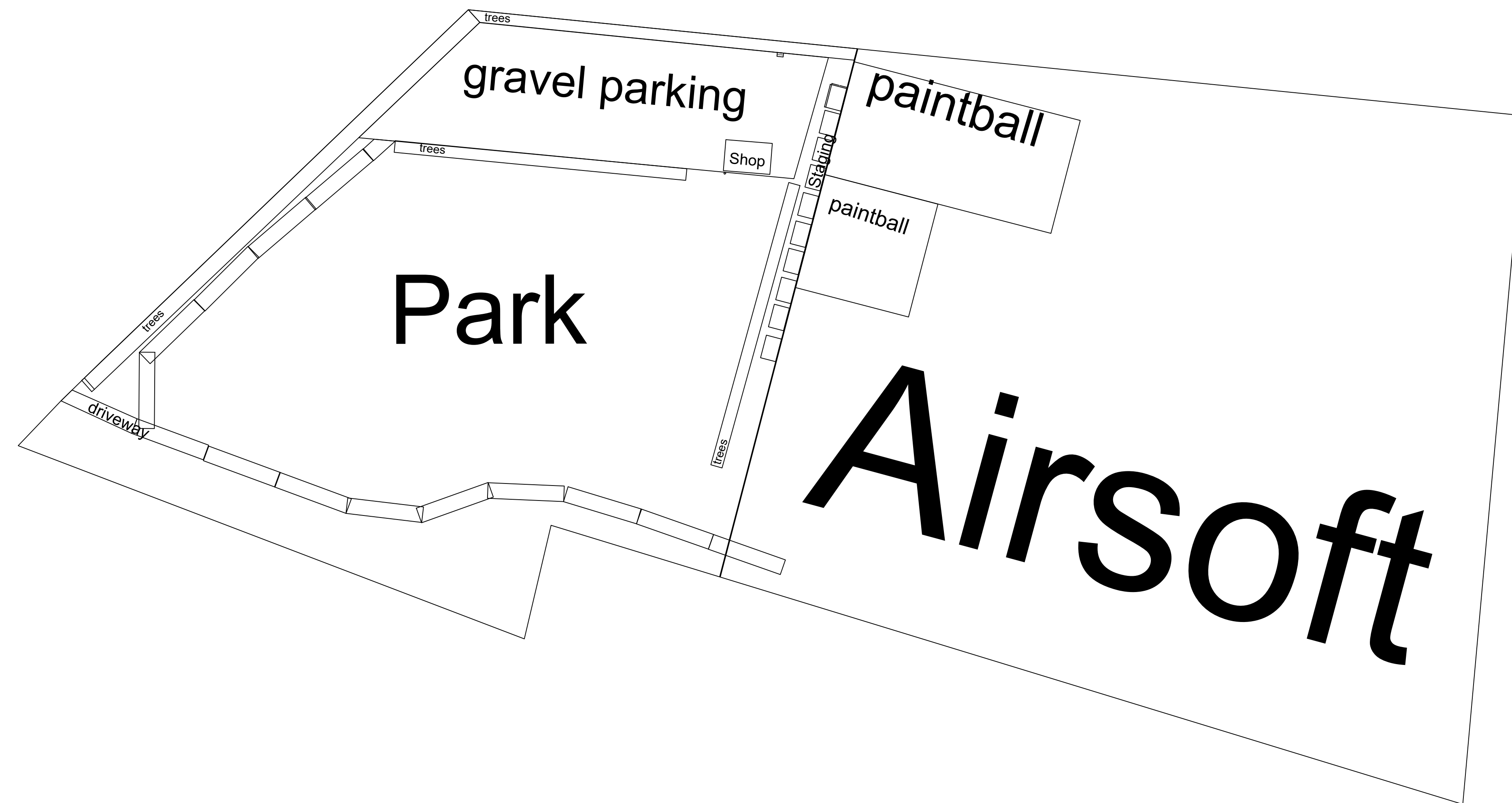
ZC 21-36 – Decision Record

6. Buildings shall meet the City's commercial design standards.
7. Applicant shall meet all Fire Code requirements.
8. A 15' preservation zone shall be placed along the Southern and Eastern boundary lines.

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____. Motion to recommend approval carried _____.

Terry Walton, Chair
Planning Commission

Date



Project: G2 Tactical
Location: 7860 Bellefontaine RD
Drawing Title: G2 Rec Center Author: Darin Schmidt Scale: 1:100

10/15/2021

Huber Heights Planning Commission
Terry Walton Chairman

Re: Case No. 21-36
Address: 7860 Bellefontaine Rd, Huber Heights, OH 45424

Terry & Commission Members,

My name is Michael Bickley and I own 11.4 acres at 8827 Taylorsville Rd. My property and farm field are situated 200 feet to the east of the proposed development. My property is bordered to the south by Taylorsville Rd. and to the north by Interstate 70.

I am unable to attend the October, 26 meeting as I will be out of town.

I have many concerns about such a development and would very much appreciate your review and consideration when looking to approve such a development in our rural area of Huber Heights. I would hope that once you have reviewed my concerns that you would not grant the approval for this development.

Environmental Concerns:

The subject property is situated along the Dry Lick Run Creek which runs west to east and is positioned on the south border. This is the creek that runs thru Carriage Hill Farms, under I-70, and continues east thru all of the properties to the south and feeding into the Mad River in Greene County. As many of you may recall this is the creek which flooded and shut down I-70 at one time. This creek is very active with fish including trout spawning up from the Mad River. As we continue to have development in the northwest corner of Huber Heights the level of the creek rises very quickly from rain and storm runoff.

The elevation of the Bellefontaine Rd property slopes to the south which would definitely allow for increased water runoff as well as possible waste (paint ball) contamination of the creek. The possible pollution and paint ball dye reaching the creek could be severe to the environment and wildlife.

Noise Concerns:

We live in the rural part of Huber Heights, as we say out in the country. We do have some interstate noise but other than that it is pretty quiet out here. We spend a lot of time in the woods, out by the pool, as well as on the back patio enjoying the quiet. I would be very concerned over the continual yelling and popping of air soft guns from the team battles going on in such a development. The sound from such a development would definitely reach our property.

Safety Concerns:

The property is bordered to the north by interstate 70 traffic. I would have concerns about stray paint balls reaching the interstate and resulting in distracting a driver and a possible collision. The liability concern for the developer as well as the City of Huber Heights for approving such a project could be huge.

Hunting and Shooting:

Myself as well as many of the neighbors are actively involved in hunting and shooting. I am a licensed hunter in the State of Ohio and I am also a licensed fur trapper. Many of the neighbors actively target shoot and participate in the Ohio hunting seasons as well as the Ohio Deer Gun Hunting season. One of the reasons that I purchased this property is for the ability to hunt right out my back door. Allowing such a development could possibly infringe on our right and ability to hunt and shoot as we have always done.

Trespassing:

There have been cases of random people wandering where they shouldn't be. I have several of cases where people have been captured on my trail cameras in the woods, as well as some that I have seen on the neighbor's trail cameras as well. The increase in activity on such a development would possibly increase the trespassing traffic and being in a rural, private area, I would have a concern for burglary and theft, that we have never had to worry about prior to such a development.

Summary:

For the reasons stated above, I would request that the City Planning Commission to **Not grant the approval for such a development.** I feel that such a development would definitely result in environmental contamination and runoff into the Dry Lick Run Creek causing damage to the creek and wildlife. I feel that such a development would be a public nuisance and would disturb the piece in our rural part of this community. I feel that the liability exposure for the City of Huber Heights allowing such a facility bordering I-70 could be huge. I feel that such a development would infringe on our ability to shoot and hunt on our properties, and I feel that here would be a huge concern for increased trespassing traffic as well as burglary and theft on the bordering properties.

I appreciate your review of my thoughts.

Thank you,

Michael Bickley
8827 Taylorsville Rd
Huber Heights, OH 45424
937-475-5170



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	G2 Tactical		
Occupancy Address:	7860 Bellefontaine Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-220
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	10/25/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

THIS DRAWING HAS NOT BEEN APPROVED AT THIS TIME DUE TO THE FOLLOWING:

Site Plan :

- Fire Department access roads shall be 20 feet in width and a vertical clearance of 13 feet 6 inches. Ohio Fire Code 503.2.1. Access needs to be shown on drawing.
- Access roads shall be capable of handling the imposed load of fire apparatus and have an all-weather driving surface. Ohio Fire Code 503.2.4.
- Fire hydrants shall be provided where any portion of the building is greater than 400 feet from existing hydrants. Ohio Fire Code 507.5.1 and HHCO 1521.06(c).
- Please clarify parking and staging areas
- All new places of assembly, educational, health care, detention and correctional occupancies, and business, industrial, storage or unusual structures, which are located more than 150 feet from a public street, or which require quantities of water beyond the capabilities of the public water distribution system shall be provided with properly placed fire hydrants. HHCO 1521.01(a).

Building:

- Clarify proposed occupancy of building.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

Administrative Office: 7008 Brandt Pike Huber Heights, Ohio 45424
Telephone: (937) 233 - 1564 Fax Number: (937) 233 - 4520

Edwin I. Howell
8653 Taylorsville Road
Huber Heights, OH 45424-6335
(937) 236-2144

Terry Walton, Chairman
City Planning Commission
City of Huber Heights
6131 Taylorsville Road
Huber Heights, OH 45424

Subject: Case No. 21-36

Dear Mr. Walton,

In regards to an application filed by Darin Schmidt for approval, I oppose the Basic Development Plan for 19.1 acres for an AirSoft and Paintball facility at 7860 Bellefontaine Road. It adjoins 565.62 feet of my property and I have several concerns as follows:

- Litter on my property
- Noise from air guns on residents and animals
- Toxicity to animals (including my 3 dogs) from eating discharged air gun expended ammunitions
- Trespassers on my property
- Safety of drivers on adjacent roadways as well as safety of people on my property
- Paintball and AirSoft facility usage promotes criminal activities
- Property values in area likely to decrease
- Non-profitable business leading to eyesore when it closes

Mr. Schmidt started a business (G2 Tactical) in the city of Troy in the State of Ohio under fictitious name registration document number "201921800818" effective 08/06/2019. Slightly over 8 months later the fictitious name "G2 Tactical" was cancelled per document number "202010603756" effective 04/15/2020. What was the reason for this cancellation?

Is there sufficient demand for Huber Heights to have a second AirSoft and Paintball facility? What does the business plan predict the demand will be to make the business profitable? The website for I70 Paintball and Airsoft business on Wildcat Road in Huber Heights shows that they're open on Monday through Thursday only by appointment and only for groups of 15 or more so it appears there is not much demand during weekdays.

Should you have any questions regarding this correspondence, please contact me at (937) 236-2144.

Best Regards,



Edwin I. Howell

25 Oct 2021

Huber Heights Planning Commission

Re: Case No. 21-36

Address: 7860 Bellefontaine Road

My name is Rich Moore, and the back portion of my property is adjacent to the proposed airsoft and paintball facility. My family lives at 8787 Taylorsville Road. It is a beautiful 8 acre lot. We've lived at this property for almost 20 years, raising our four children, with two of them still in school. We moved to this property from inner Huber Heights for the peace, privacy, and natural surroundings. Quite frankly, if the proposed facility had been in place when we were househunting, we never would have bought the property. I have several concerns with this proposed action:

- (1) Safety of Children: I have a son who frequently has friends over, and they like to hike in our back woods. I would not feel comfortable having them hike back there anymore, as they would be directly next to individuals running around with paintball and airsoft guns. I also worry that these individuals will not be screened for being child predators. There are numerous documented instances of paintball facilities being nuisances when they are located in neighborhoods.
- (2) Safety of Others: My neighbors and I frequently walk through the portion of our property adjacent to this proposed facility. None of us want to be dodging errant paintball or airsoft bb's, or being forced to wear protective gear as we walk around our property. And, what about the I-70 drivers? While it is unlikely, though not impossible, for a paintball shot to reach I-70 drivers, it is very likely that Airsoft BB's could, as they can shoot up to 300 feet or more.
- (3) Trespassing: There are no natural boundaries in that area, so individuals will be free to roam onto other's properties. What's to stop them from extending their games onto our property, and even towards our houses?
- (4) Litter: These types of facilities produce a lot of trash, including the paintball capsules, airsoft BB's, batteries, and other material associated with the game. The participants can also leave behind other trash. I don't want that on my property.
- (5) Environmental Impact: According to paintballusa.org:

"The paintball is made of a biodegradable gelatin that will dissolve with time. However, the paint inside of the paintball can at times be questionable. Cheaper paintballs or seconds sometimes use an oil-based fill. This oil can damage the environment, not to mention any animal that might find a few dropped paintballs on the ground and eat them.

In addition, the paintball is made of food-grade materials, which is excellent for those who might accidentally get some paint in their mouth. However, it is extremely toxic to both cats and dogs. If it is lethal to those animals, it is highly likely to be lethal to other animals as well."

According to bachbio.com, an airsoft promotional site:

"A traditional plastic BB can take years to fully decompose, with some studies showing that trace materials were still found after seven years. These pellets can leak toxic chemicals into the environment as they degrade and will cause landfill pollution during this process."

According to Wikipedia and ubuntumannual.org:

"These non-biodegradable plastics more often than not have a mineral or petroleum-based-center. When used on the environment, they could last for several centuries on end. These plastics end up making the soil infertile and as a result affect plant growth. Due to their smaller sizes and durability, they are bound to be picked up by kids or animals and consumed leading to complications. They may also be carried away by rain and be accumulated in drainage choke-points.

In large water bodies, they can be eaten by marine life and lead to complications and in severe cases lead to death.

Several countries and states have banned airsoft guns due to environmental impacts."

Everyone in this area has wells. And, Dry Lick Run Creek flows through the area, and I'm told it is controlled as a navigable waterway by the U.S. Army Corps of Engineers. There are several drainage lines from that field down towards our houses and Dry Lick Run Creek. And, that area is prone to flooding, increasing the chances the toxic material will flow to our properties and downstream in Dry Lick Run Creek. There is clear danger

for the fish, turtles, and amphibians in that area. There is also danger to the other wildlife in the area, including deer, fox, beaver, and others. And, most importantly, there is danger to our pets. I don't want that toxic waste anywhere near my two dogs.

(6)Quality of Life: We are blessed to live in one of the few remaining quiet, rural areas of HH. We are able to hike, fish, hunt, and do many other outdoor activities right in our backyards. This facility would drastically reduce and, in many cases, eliminate those opportunities. In my case, I've been working with the US Dept of Agriculture to reforest the land to make it more appealing for outdoor enjoyment and wildlife. I've removed over 4 acres of honeysuckle and planted over 700 trees, significantly improving the quality and value of my property. Much of the value of that work would be compromised by this facility.

(7)Noise: We live in a very peaceful area. The only noise we can hear on our property is the low hum of traffic on I-70. This facility would violate that peace with a constant pop-pop-pop sound of guns as well loud music being played during tournaments.

(8)Economics: According to IBISWorld, an industry research company for over 50 years:

"The market size of the Paintball Fields industry in the US has declined 0.3% per year on average between 2016 and 2021."

We already have I-70 Paintball & Airsoft in Huber Heights only 5 miles away. This new facility would only steal business from that company, not increase overall tax revenue for the city. And how much money are we talking about? According to howtostartanllc.com:

"With a good business plan, paintball business owners earn an average of between \$20,000 and \$30,000 per year."

And, those estimates are probably not considering having two facilities within 5 miles of each other ... so the true earnings might only be half of that. Clearly, the economic value of this proposed facility will be very low.

Contrast that with the property values in that area. This is some of the highest value property in HH, with the 6 adjacent properties on Taylorsville Rd alone appraising for about \$2M. That's ~100x more

than the annual earnings this proposed business might make. And the annual property taxes paid on these adjacent properties is likely double the earnings of the proposed business. A rough analysis of the net tax revenue implications for the city shows the proposed business would need to have earnings roughly 10x the \$20-30K mentioned above to offset the loss of real estate taxes from even a modest 10% reduction in the property values of the adjacent properties. And that doesn't even consider the effect of reduced property values from the nearby, but not adjacent, properties. Again, who's going to want to buy a house with a paintball and airsoft facility as it's neighbor? This proposal doesn't make good economic sense for Huber Heights.

- (9)Future: When this facility goes under, which the data suggests is certainly likely, what will be left? It will either be left as an eyesore for the neighborhood, or it will be turned into some other commercial facility that would again have detrimental effects on the area and it's residents.

In closing, due to concerns about safety, trespassing, litter, environmental impacts, quality of life, noise, and economics, I strongly urge the Planning Commission to protect our neighborhood and recommend disapproval of this application. Thank you.

Richard Moore
8787 Taylorsville Road
Huber Heights, OH 45424
937-993-6104

AI-7894

7. E.

Planning Commission

Meeting Date: 10/26/2021

BASIC DEVELOPMENT PLAN

Information

Agenda Title

BASIC DEVELOPMENT PLAN - The applicant, DDC MANAGEMENT, is requesting approval of a Basic Development Plan for 172.5 acres for property located at Chambersburg Road, Villages of Westport, a Planned Residential Development (ZC 21-35).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Fire Assessment

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission
From: Scott P. Falkowski, Assistant City Manager
Date: October 15, 2021
Subject: ZC 21-35 Basic Development Plan Villages of Westport

Application dated October 1, 2021

Department of Planning and Development

City of Huber Heights

APPLICANT/OWNER: DDC Management – Applicant
Meridian Land Group LTD & Wild Creek Properties
LTD/Owner

DEVELOPMENT NAME: Villages of Westport

ADDRESS/LOCATION: Chambersburg Road

ZONING/ACREAGE: / 172.5

EXISTING LAND USE: Vacant

**ZONING
ADJACENT LAND:** PC, PP, R-1, R-4

REQUEST: The applicant requests approval for a Basic Development Plan for 172.5 acres for Villages of Westport, a Planned Residential Development.

ORIGINAL APPROVAL:

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

ATTACHMENTS:

OVERVIEW:

The applicant requests approval of a Rezoning to Planned Residential and a Basic Development Plan for 172.5 acres on Chambersburg Road for a residential subdivision.

STAFF ANALYSIS AND RECOMMENDATION:

The applicant is looking to develop 172.5 acres on the north side of Chambersburg Road. The intent is to build two hundred and eighty-three (283) residential lots. The request is to rezone to Planned Residential for this development.

The Zoning Code is as follows:

CHAPTER 1172 - (PR) PLANNED RESIDENTIAL DISTRICT^[42]

1172.01 - Principal permitted uses.

The following principal uses are permitted, provided that they are approved as provided for in this chapter:

- (a) All residential uses permitted in all other chapters of the Zoning Ordinance such as: one family dwellings, two family dwellings, multiple family dwellings, including garden apartments, row houses, quadraminiums and condominiums;
- (b) Churches and other places of worship;
- (c) Colleges, primary and secondary schools under School Board or Parochial supervision, and public libraries;
- (d) Public recreation buildings, parks, playgrounds and athletic fields under School Board, Parochial, other governmental supervision or "homeowners association" supervision; and
- (e) Uses designed solely to serve in a complimentary way the needs of this District above.

1172.02 - Accessory uses.

The following accessory uses are permitted:

- (a) Uses customarily incidental to all permitted uses; and
- (b) Temporary structures and uses required during construction in this District.

1172.03 - Development standards.

Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions", shall govern. In addition, the following development standards apply:

(a) *Minimum "PR" Land Area Requirement.*

- (1) A minimum of one acre shall be required.

(b) *Dwelling Unit Density—Five Dwelling Units.*

- (1) The average dwelling unit density for the entire district shall not exceed five dwelling units (DU) per acre.
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:
- A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.

(c) *Dwelling Unit Density—Eight Dwelling Units.*

- (1) Dwelling unit density for the entire district shall not exceed eight dwelling units per acre of land on which dwellings are constructed. For example, if the entire district is three acres but dwellings are constructed on two acres only, dwelling unit density for the entire district shall not exceed 16 dwellings.
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side, and rear yards shall be those prescribed in the City approved detailed final development plans, except that:
- A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.

(d) *Dwelling Unit Density—Twelve Dwelling Units.*

- (1) Dwelling unit density for the entire district shall not exceed 12 dwelling units per acre of land on which dwellings are constructed. For example, if the entire district is three acres but dwellings are constructed on two acres only, dwelling unit density for the entire district shall not exceed 24 dwellings.
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:
- A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.

- (e) *Character of Neighborhood.* Use of the Planned Residential Zoning District for developments with a proposed dwelling unit density greater than five dwelling units per acre shall be considered only when the district is bounded at least on one side by R-5, R-6, R-7, O-1, B, I, or Planned Development Districts.

1172.04 - Parking and loading.

- (a) The provisions of Chapter 1185, "Parking and Loading", shall apply, except that at least two permanently maintained parking spaces shall be provided for each family unit, except for detached single family dwellings.
- (b) Required parking spaces shall not be part of public thoroughfares, private roads leading to and serving the sites of the various uses in this district.

1172.05 - Utilities.

The distribution systems for utilities are required to be underground.

The request is for the following:

The City's Comprehensive Plan calls for this area to be Single Family Residential with a maximum of 6 units per acre. The proposed density is 1.65 dwelling units per acre.

Sanitary and water will connect into the City's public main system. Water and sanitary are located along the perimeter of the property. Drainage will be handled through a public storm sewer system including detention basins, following the City's Code for storm water drainage. Chambersburg Road will be improved to a forty-five (45) foot half right-of-way section per our City's Thoroughfare Plan. All streets will be public with curb and sidewalk on both sides.

Two styles of lot are being proposed. All lots are proposed to have a minimum of 120 feet in depth, twenty five foot front yards, five foot side yards and twenty five foot rear yards. The two styles are fifty one foot minimum width lots and seventy foot minimum width lots. The total lots count is 283 lots, with 98 of them being the 70 foot lots and 185 being the 51 foot lots. The seventy foot lots are all located at the exterior of the development. The proposal calls for 101.58 acres of open space, or 59.4% of the development. Staff recommends that a minimum of 25% of the surface area of the front façade shall be finished with brick or stone masonry products.

1171.05 - Contents of basic development plan.

- (a) *The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:*
- (1) *Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;*
 - (2) *Typical elevation views of the front and side of each type of building;*
 - (3) *Planning location and dimensions of all proposed drives, service access road, sidewalks, and curb openings;*
 - (4) *Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;*
 - (5) *Landscaping plan, walls and fences;*
 - (6) *Storm water detention and surface drainage;*
 - (7) *Exterior lighting plan;*

- (8) *Vehicular circulation pattern;*
 - (9) *Location and square footage of signs;*
 - (10) *Topographic survey; and*
 - (11) *Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.*
- (b) *The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.*

(Ord. 2006-O-1655, Passed 9-25-05)

1171.06 - General standards for approval.

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) *Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*
- (b) *Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*
- (c) *Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*
- (d) *Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*
- (e) *Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*
- (f) *Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*
- (g) *Shall preserve natural features such as water courses, trees, and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*
- (h) *Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*

- (i) *Shall place underground all electric and telephone facilities, street light wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*
- (j) *Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*
- (k) *Shall not involve uses, activities, processes, materials, equipment, and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and*
- (l) *Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

(Ord. 93-O-602, Passed 3-22-93)

1171.07 - Review and recommendations by planning commission.

The Planning Commission shall review the proposed PUD as presented in the application and basic development plan in terms of the standards in Section 1171.06 and the specific requirements as outlined in all Planned Unit Developments. The Commission shall hold a public hearing on the proposed PUD. At least ten days in advance of such hearing, notice of time and place of such hearing shall be published in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. The Planning Commission shall make its recommendation, indicating approval, approval with modifications, or disapproval. If the Commission recommends approving rezoning of land to a PUD District and also approves a basic development plan for the area to be rezoned, it may impose upon that plan any additional requirements or conditions deemed appropriate by the Commission to ensure that the development shall meet the standards described in Section 1171.06 and shall comply with the intention and objectives of this Zoning Ordinance.

If the owner chooses to submit a combined development plan, the Planning Commission shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. The detailed development plan aspects shall be reviewed in the same manner as provided herein for review of detailed development plans.

(Ord. 93-O-602, Passed 3-22-93)

1171.08 - Action by council.

Council shall hold a public hearing for application for rezoning and approval of the basic development plan (or combined development plan) after receiving the proposal from the Planning Commission. At least 15 days' notice of the time and place of such public hearing shall be placed in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. Council shall approve, reject or approve with modifications the rezoning and basic development plan in the same manner as other rezoning requests. If the applicant has chosen to submit a combined development plan, Council shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. If Council approves the basic development plan aspects of a combined development plan, the detailed development plan shall be deemed to be approved and no further action shall be required for the area covered by the combined development plan. If the basic development plan aspects of a combined development plan are modified, the combined development plan shall be changed in all aspects to meet that modification. The City staff in charge of plan review shall determine when the basic development plan or combined plan meets the modification required by Council.

(Ord. 93-O-602, Passed 3-22-93)

1171.11 - Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) Major Changes. Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.*
- (b) Minor Changes. The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.*

(Ord. 89-O-339, Passed 2-6-89)



Planning Commission Decision Record

WHEREAS, on October 1, 2021, the applicant, DDC Management, requested approval of a Basic Development Plan for property located at Chambersburg Road, Parcel Numbers P70-04008-0006 and P70-04008 0004 of the Montgomery County, Ohio Records (ZC 21-35); and

WHEREAS, on October 26, 2021, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to recommend approval of the request by the applicant, DDC Management for a Basic Development Plan for property located at Chambersburg Road, Parcel Numbers P70-04008-0006 and P70-04008 0004 of the Montgomery County, Ohio Records (ZC 21-35) in accordance with the recommendation of Staff's Memorandum dated October 15, 2021 with the following conditions:

1. The Basic Development Plan for Village of Westport shall be the plans stamped received by the City of Huber Heights Planning Department on October 1, 2021.
2. The minimum setbacks shall be as follows: 25-foot front yard, 25-foot rear yard, 5-foot side yard.
3. A minimum of 25% of the surface area of the front façade shall be finished with brick or stone masonry products.
4. Minimum floor area shall be as follows: one story dwellings shall have a minimum floor area of 1,200 square feet and two-story dwellings shall have a minimum floor area of 1,600 square feet.

ZC 21-35 – Decision Record

5. Chambersburg Road will be improved to a forty-five (45) foot half right-of-way section per our City's Thoroughfare Plan.
6. Prior to the issuance of a zoning permit, the applicant shall submit and receive approval of a Detailed Development Plan through the Planning Commission.
7. A 20' preservation zone shall be placed along the East boundary line.

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____. Motion to recommend approval carried _____.

Terry Walton, Chair
Planning Commission

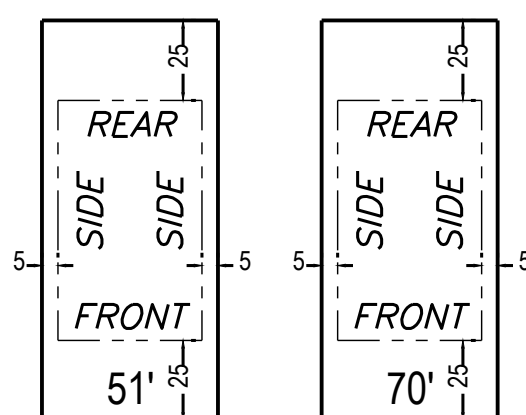
Date

NOTES

1. SANITARY TO BE TIED INTO CITY OF HUBER HEIGHTS SYSTEM
2. WATER TO BE INSTALLED AND CONNECTED TO CITY OF HUBER HEIGHTS SYSTEM
3. ELECTRIC TO BE SUPPLIED BY DAYTON POWER AND LIGHT CO.
4. ALL PUBLIC STREETS TO BE CONSTRUCTED ACCORDING TO STATE OF OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS" AT THE TIME OF ORIGINAL PRELIMINARY PLAT APPROVAL
5. PROPOSED USE: SINGLE FAMILY RESIDENTIAL DEVELOPMENT
6. CONCRETE WALK TO BE INSTALLED
7. STORM WATER MANAGEMENT TO COMPLY WITH CITY OF HUBER HEIGHTS STANDARDS AND THE OEPA
8. EXISTING ZONING: R-4B - RESIDENTIAL
9. PROPOSED ZONING: PR - PLANNED RESIDENTIAL
10. PROPOSED RIGHT OF WAY = 16.67 ACRES

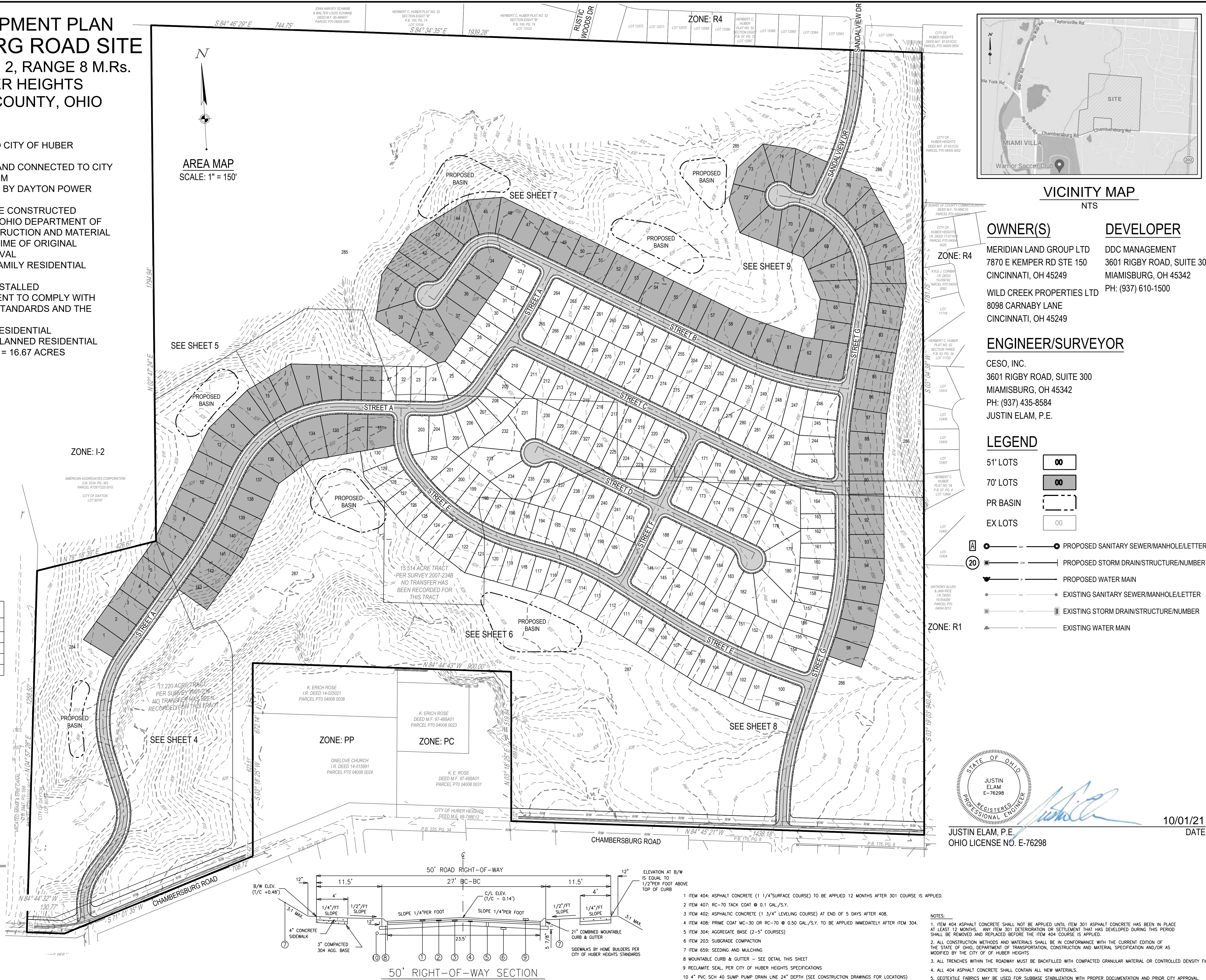
SHEET INDEX	
CIVIL	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS PLAN
3	EXISTING CONDITIONS PLAN
4	LAYOUT PLAN
5	LAYOUT PLAN
6	LAYOUT PLAN
7	LAYOUT PLAN
8	LAYOUT PLAN
9	LAYOUT PLAN
10	UTILITY PLAN
11	UTILITY PLAN
12	PRE DEV DRAINAGE PLAN
13	POST DEV DRAINAGE PLAN

SITE DATA TABLE	
OVERALL ACREAGE	171.00 ACRES
LOT COUNT	283
DENSITY	1.65 UNITS/ACRE
OPEN SPACE	101.58 AC (59.4%)
STREET LENGTH	12,415'



51' x 120' LOT 70' x 120' LOT

TYPICAL SINGLE FAMILY LOT

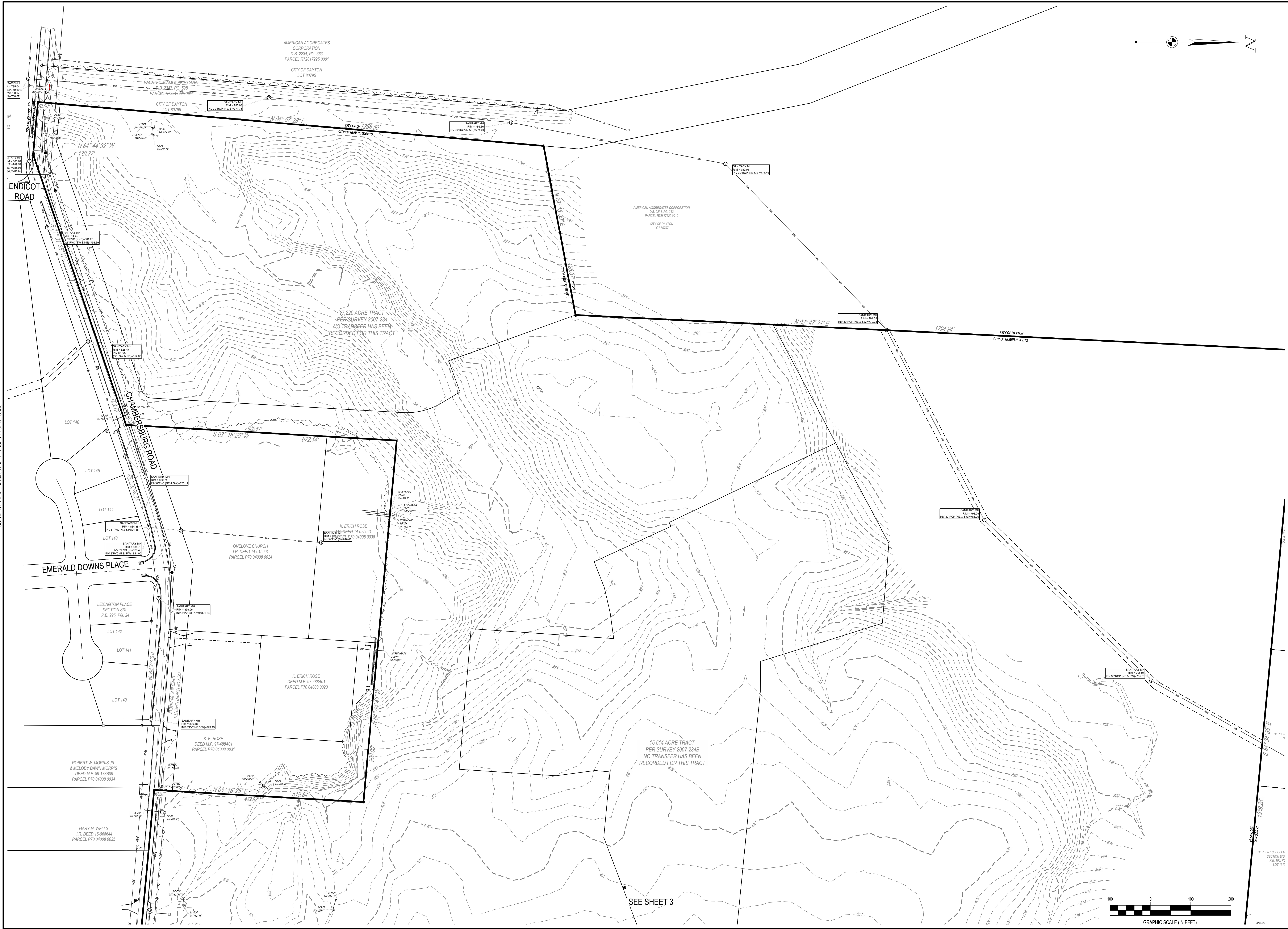
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DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

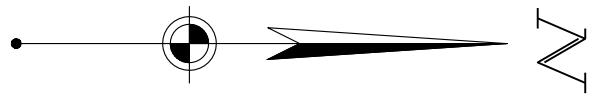
SPRINGFIELD, OHIO

TITLE SHEET

ISSUE:	
PRELIMINARY PLAN	
DATE:	
10/01/2021	
JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO.	
1	



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NO. DATE REVISION DESCRIPTION

DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

EXISTING
CONDITIONS
PLAN

ISSUE: PRELIMINARY PLAN	
DATE: 10/01/2021	
JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO. 2	

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DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

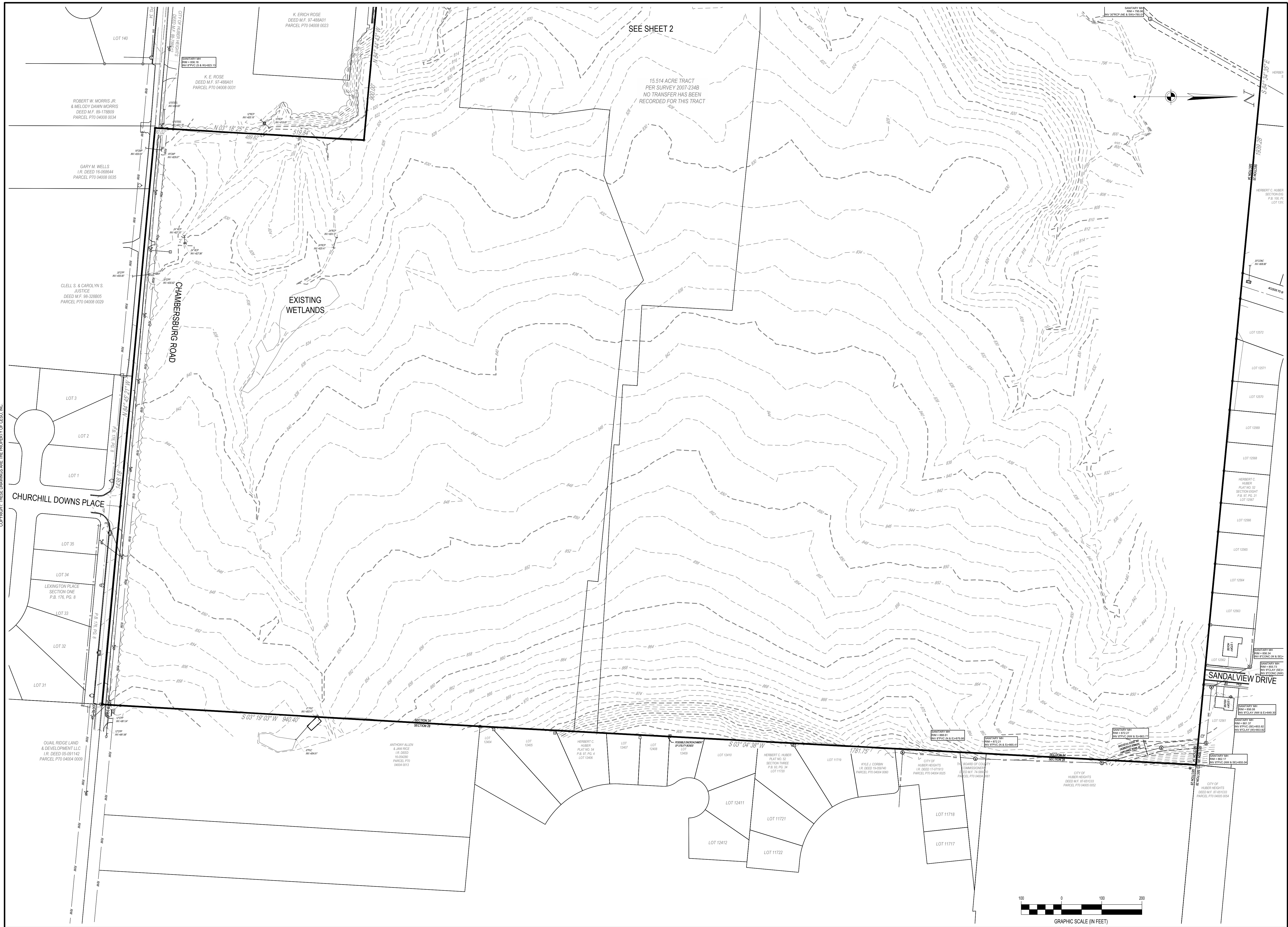
EXISTING CONDITIONS PLAN

ISSUE:
PRELIMINARY PLAN

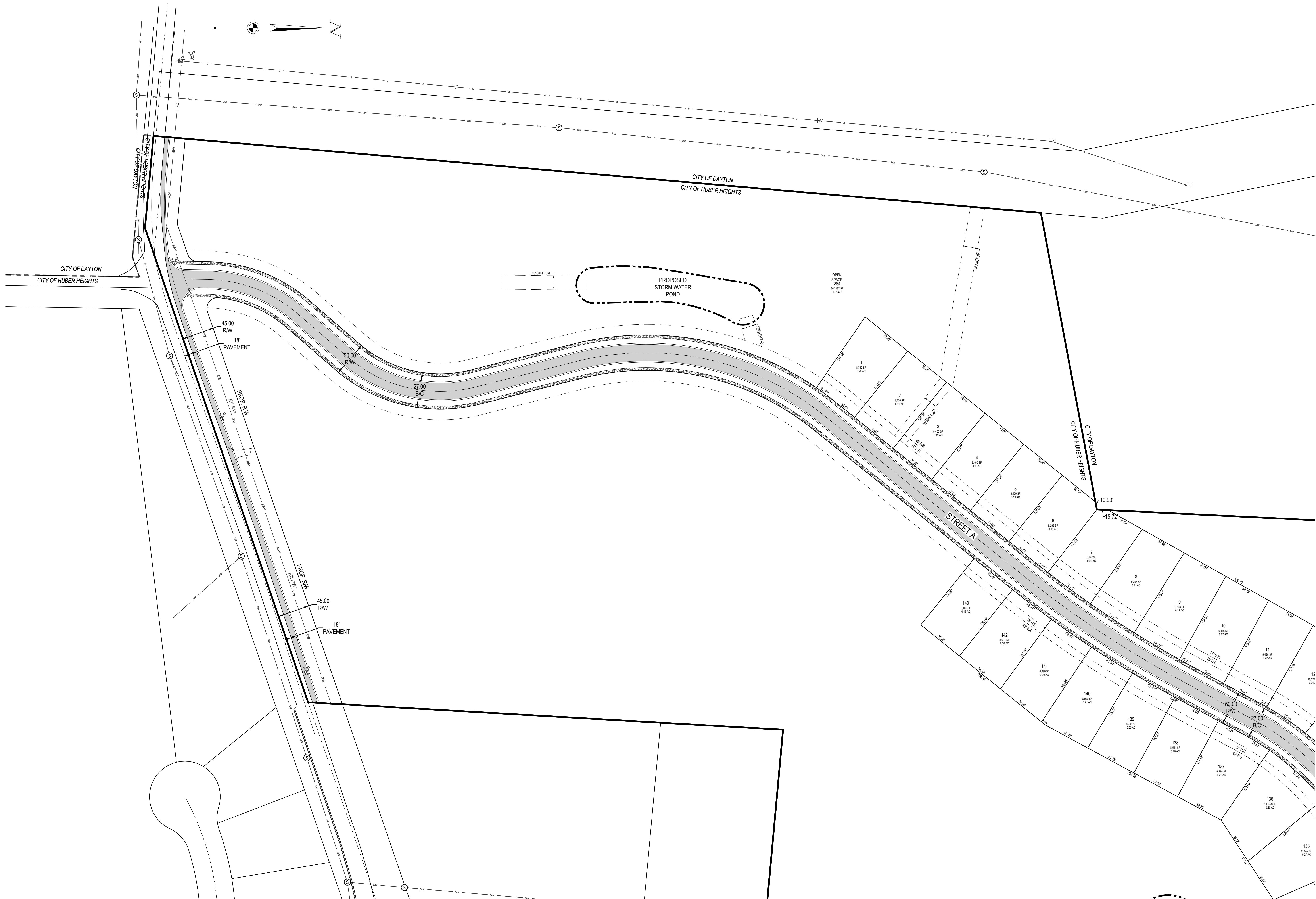
DATE:
10/01/2021

JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE

SHEET NO.
3



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REVISION DESCRIPTION

NO. DATE

DDC MANAGEMENT

CHAMBERSBURG ROAD SITE PRELIMINARY

SPRINGFIELD, OHIO

LAYOUT PLAN

ISSUE:
PRELIMINARY PLAN
DATE:
10/01/2021

JOB NO.: 758257
DESIGN: JEE
DRAWN: SJS
CHECKED: JEE

SHEET NO.
4

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DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

LAYOUT PLAN

ISSUE:
PRELIMINARY PLAN

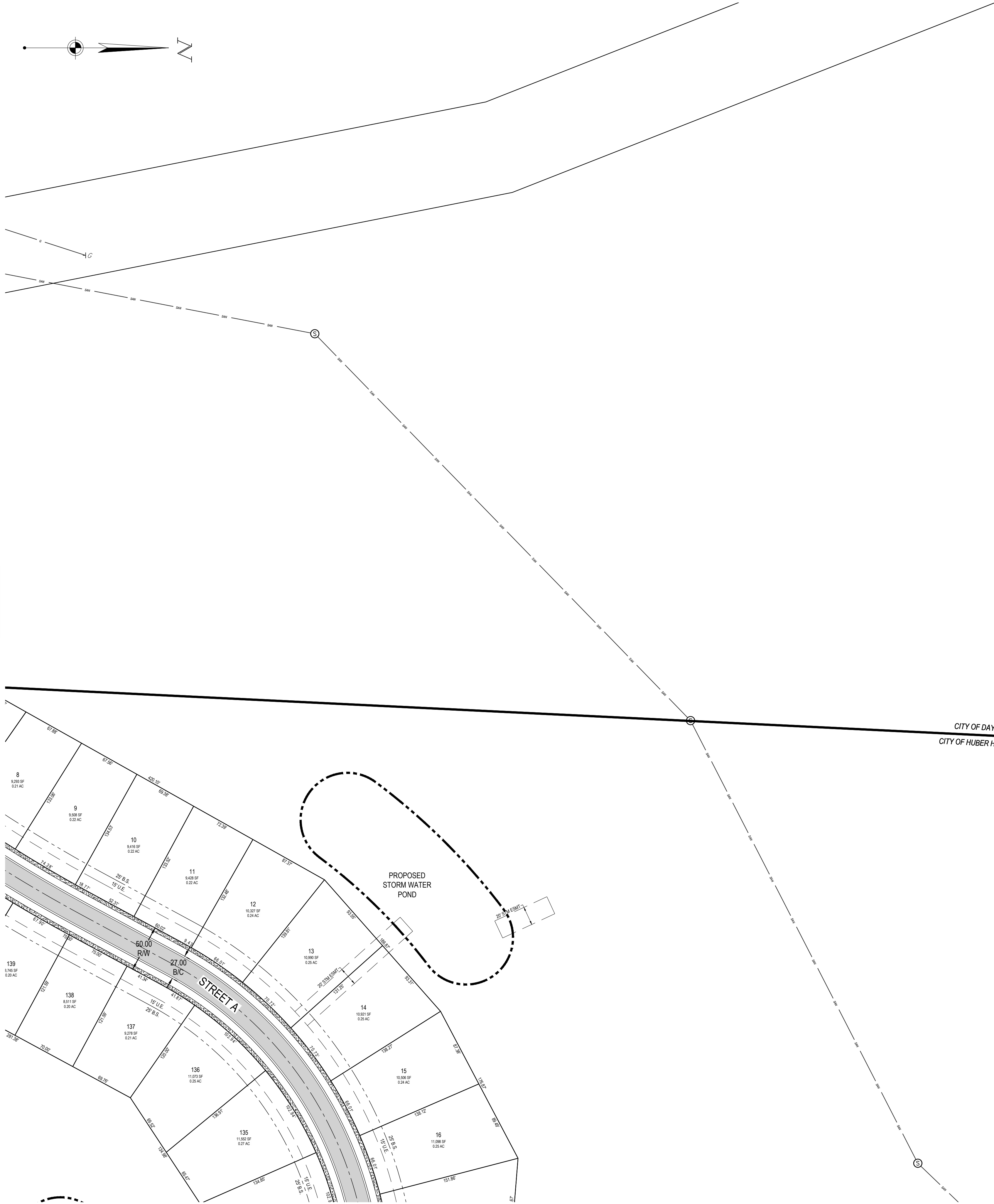
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10/01/2021

JOB NO.:	758257
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CHECKED:	JEE

SHEET NO.
5



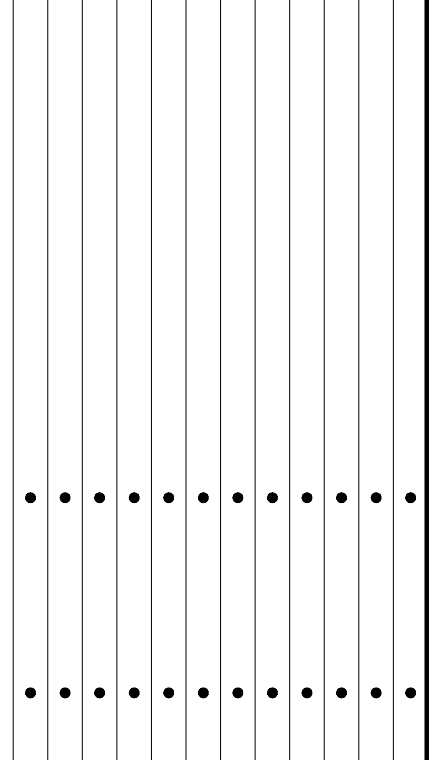
GRAPHIC SCALE (IN FEET)



SEE SHEET 7

SEE SHEET 4

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DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

LAYOUT PLAN

ISSUE: PRELIMINARY PLAN	
DATE: 10/01/2021	
JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
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SHEET NO. 6	



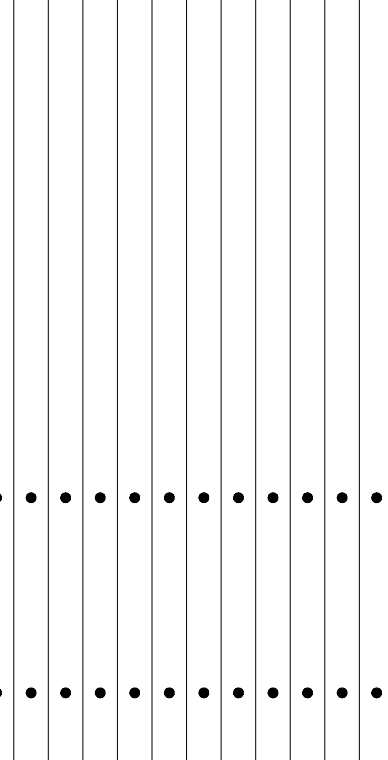
NO. DATE REVISION DESCRIPTION

DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

LAYOUT PLAN

ISSUE: PRELIMINARY PLAN	
DATE: 10/01/2021	
JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO. 7	



LAYOUT PLAN

SHEET NO.
8

EXISTING
WETLANDS

SEE SHEET 9



[illegible]

DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

LAYOUT PLAN

ISSUE:
PRELIMINARY PLAN

DATE:
10/01/2021

DB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
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SHEET NO.
9

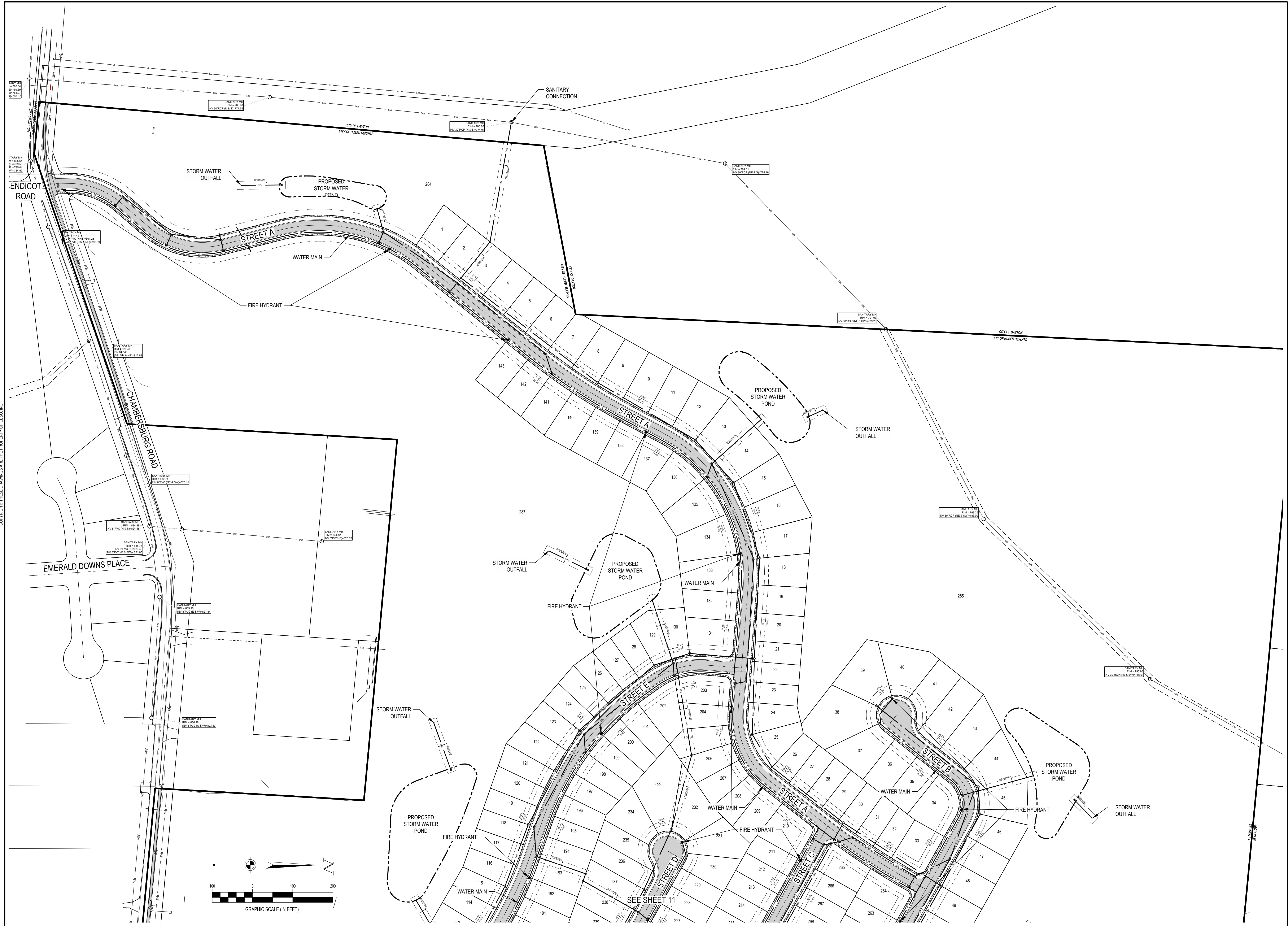




UTILITY PLAN

ISSUE: PRELIMINARY PLAN	
DATE: 10/01/2021	
JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO. 10	

SPRINGFIELD, OHIO



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DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

UTILITY PLAN

ISSUE:
PRELIMINARY PLAN

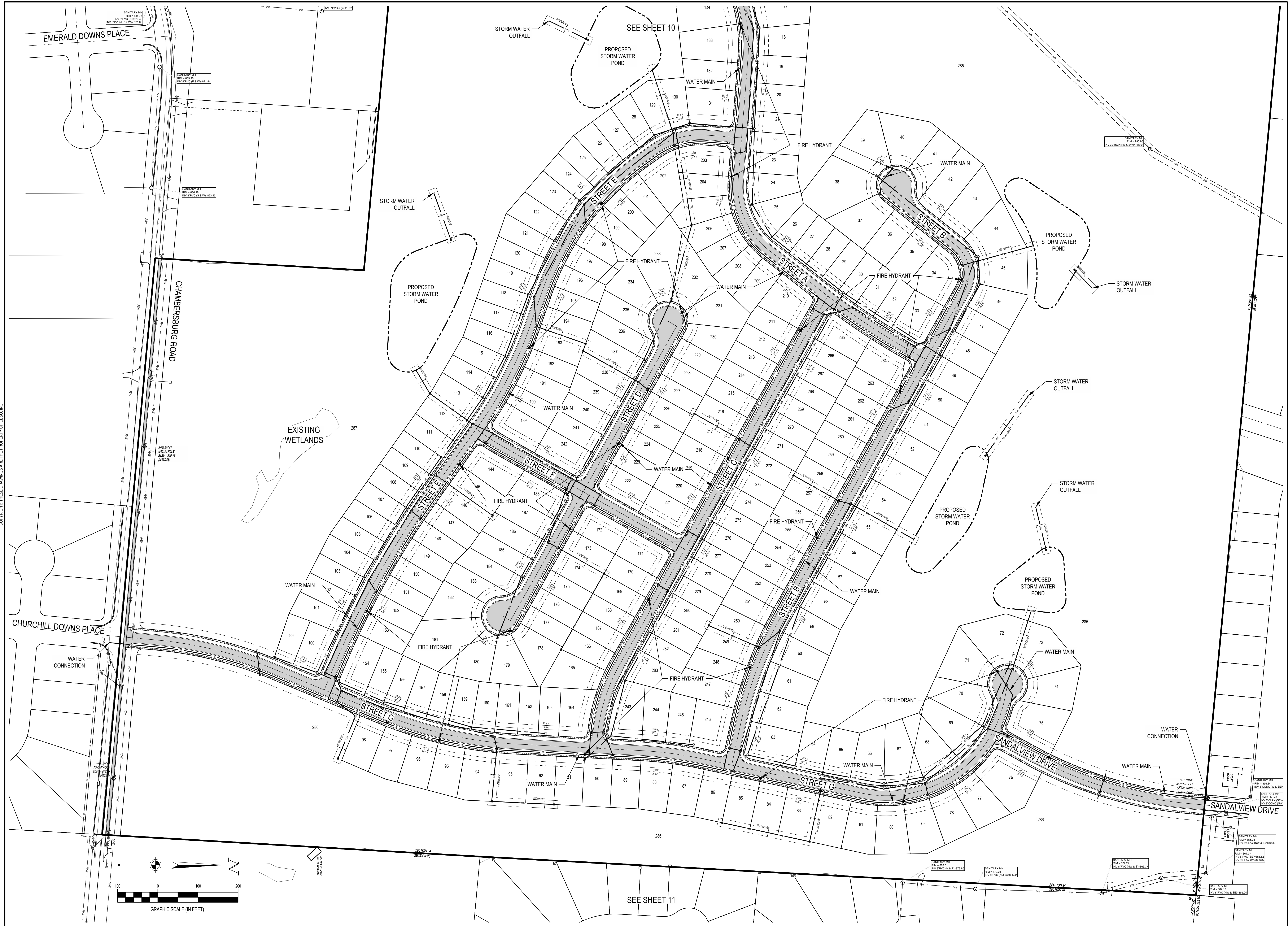
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10/01/2021

JOB NO.: 758257

DESIGN:	JEE
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SHEET NO.
11



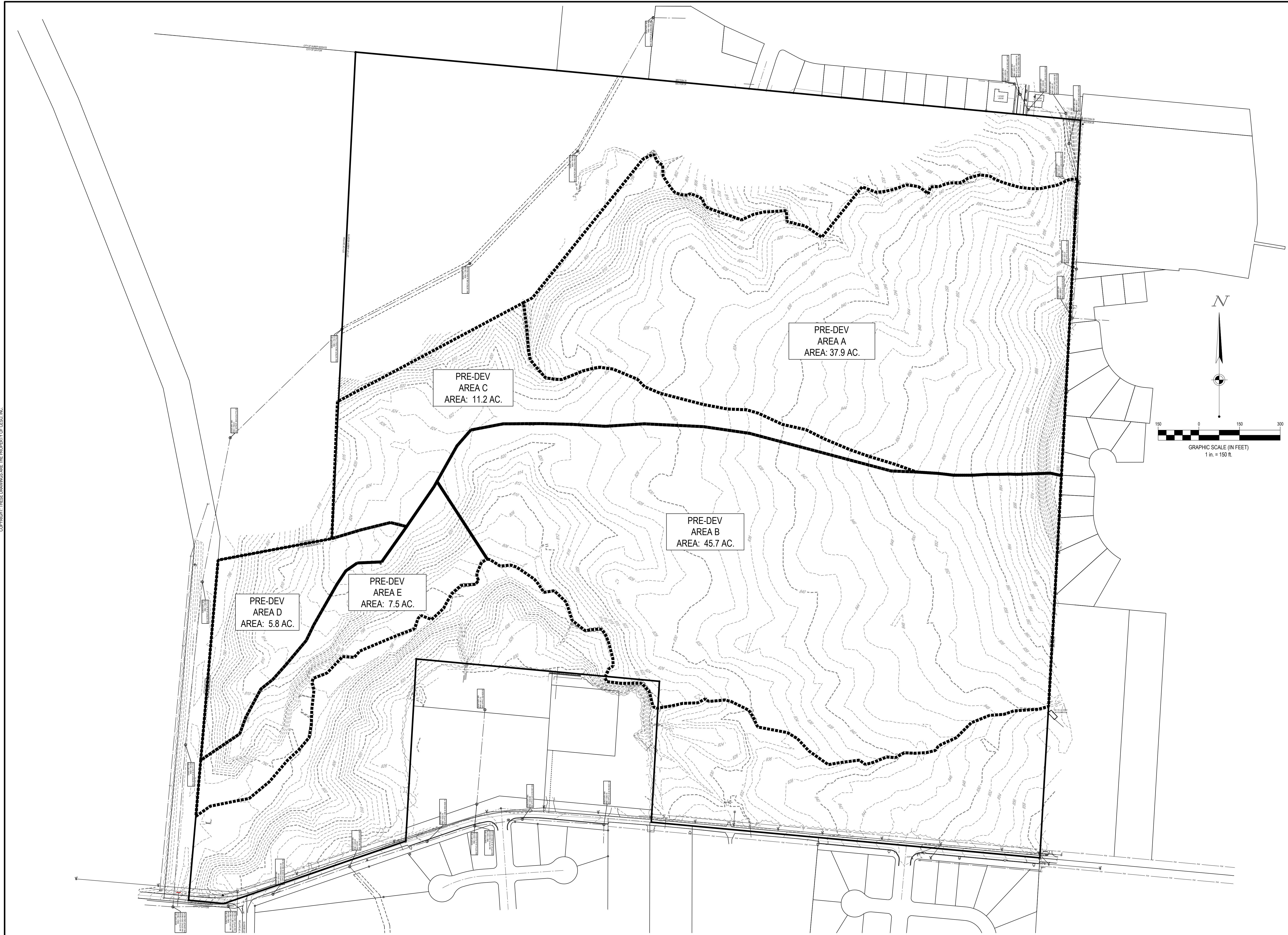


DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

PRE DEV
DRAINAGE PLAN

ISSUE: PRELIMINARY PLAN	
DATE: 10/01/2021	
JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO. 12	



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REVISION DESCRIPTION

NO. DATE

DDC MANAGEMENT
CHAMBERSBURG ROAD
SITE PRELIMINARY

SPRINGFIELD, OHIO

POST DEV
DRAINAGE PLAN

ISSUE: PRELIMINARY PLAN	
DATE: 10/01/2021	
JOB NO.:	758257
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO. 13	



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Villages of Westport
Occupancy Address:	Chambersburg Road

Type of Permit:	HHP&D Site Plan
Additional Permits:	Choose an item.

MCBR BLD:	N/A	HH P&D:	N/A
MCBR MEC:	N/A	HHFD Plan:	21-214
MCBR ELE:	N/A	HHFD Box:	
REVIEWER:	Susong	DATE:	10/25/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. The proposed development will need to meet the requirements of the Ohio Fire Code 2017 and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.

Requirements:

- Fire apparatus access roads will need to comply with OFC 503 as well as the adopted appendices from the OFC (2017) and the Huber Heights Codified Ordinance (HHCO) Section 15.
- Cul-de-sac measurements should be increased to comply with Ohio Fire Code, Appendix D. D103.1.
- **Fire Hydrants:** Hydrants shall be spaced no greater than 500 feet apart and within 400 feet from any opening in any building. Structure locations are not provided on current drawings so the 400 feet from any opening shall be confirmed during next phase. **Hydrant spacing exceeds 500 feet between the hydrant at Endicott and the next hydrant on Street A and hydrants on Street C. Please confirm locations.**
- In accordance with Huber Heights Codified Ordinance 1521.06 (b)(1), "The Fire Code Official shall make a determination if a double Storz hydrant is needed in residential areas with single family homes greater than 3600 square feet." If homes in this area exceed 3600 sq. ft. please advise.
- All new water mains and any existing water mains that are replaced shall be eight inches in diameter or greater in all one-, two- and three-family dwelling

areas and in multi-family areas or commercial areas. All water mains shall be sectionalized and looped when reasonably feasible and achievable. Dead end water mains shall only be permitted upon written approval from the Fire Official and City Engineer. Huber Heights Codified Ordinance 1519.01 - Water mains. ***Dead ends mains are shown at Endicott.***

- The minimum fire-flow and flow duration requirements for one- and two-family dwellings shall comply with Ohio Fire Code B105.1.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2011 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-7895

7. F.

Planning Commission

Meeting Date: 10/26/2021

BASIC DEVELOPMENT PLAN

Information

Agenda Title

BASIC DEVELOPMENT PLAN - The applicant, THE ANNEX GROUP, is requesting approval of a Basic Development Plan for 20 acres for property located at 6502 Old Troy Pike for 216 multi-family units in a Planned Residential Development (ZC 21-34).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Elevations

Fire Assessment

Traffic Impact Study

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission
From: Scott P. Falkowski, Assistant City Manager
Date: October 15, 2021
Subject: ZC 21-34 Basic Development Plan 6502 Old Troy Pike

Application dated October 4, 2021

Department of Planning and Development

City of Huber Heights

APPLICANT/OWNER: The Annex Group – Applicant
Charles Annarino/Owner

DEVELOPMENT NAME: Union at Chambersburg

ADDRESS/LOCATION: 6502 Old Troy Pike

ZONING/ACREAGE: R-4 / 20

EXISTING LAND USE: Office and vacant

**ZONING
ADJACENT LAND:** A, O-1, R-6, PP

REQUEST: The applicant requests approval for a Basic Development Plan for 20 acres for 216 multi-family units in a Planned Residential Development.

ORIGINAL APPROVAL:

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

ATTACHMENTS:

OVERVIEW:

The applicant requests approval of a rezoning to Planned Residential and a Basic Development Plan for 20.0 acres at the northeast corner of Old Troy Pike and Chambersburg Road.

STAFF ANALYSIS AND RECOMMENDATION:

The applicant is looking to develop 20 acres at the northeast corner of Old Troy Pike and Chambersburg Road. The current request is to rezone to PR Planned Residential for construction of 216 multi family units.

The request is for the following:

The City's Comprehensive Plan calls for this area to be Commercial Business.

Sanitary and water will connect into the City's public main system and is located on Old Troy Pike and Chambersburg Road. Drainage will be handled through a public storm sewer system including detention basins, following the City's Code for storm water drainage. Chambersburg Road shall be improved to a forty-five (45) foot half right-of-way section per our City's Thoroughfare Plan, including curbs and sidewalks. Two access points are proposed, one on Old Troy Pike and one on Chambersburg Road. The parking code for Multi-family residential is two spaces per dwelling unit. 322 parking spaces are proposed with 14 of those being ADA accessible.

Six buildings are proposed with 36 units in each building. The buildings are all three stories in height. The buildings are proposed to be all siding. Staff recommends that there be a minimum of 25% brick or stone.

The Zoning Code is as follows:

CHAPTER 1172 - (PR) PLANNED RESIDENTIAL DISTRICT^[42]

1172.01 - Principal permitted uses.

The following principal uses are permitted, provided that they are approved as provided for in this chapter:

- (a) All residential uses permitted in all other chapters of the Zoning Ordinance such as: one family dwellings, two family dwellings, multiple family dwellings, including garden apartments, row houses, quadraminiums and condominiums;
- (b) Churches and other places of worship;
- (c) Colleges, primary and secondary schools under School Board or Parochial supervision, and public libraries;
- (d) Public recreation buildings, parks, playgrounds and athletic fields under School Board, Parochial, other governmental supervision or "homeowners association" supervision; and
- (e) Uses designed solely to serve in a complimentary way the needs of this District above.

1172.02 - Accessory uses.

The following accessory uses are permitted:

- (a) Uses customarily incidental to all permitted uses; and
- (b) Temporary structures and uses required during construction in this District.

1172.03 - Development standards.

Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions", shall govern. In addition, the following development standards apply:

(a) *Minimum "PR" Land Area Requirement.*

- (1) A minimum of one acre shall be required.

(b) *Dwelling Unit Density—Five Dwelling Units.*

- (1) The average dwelling unit density for the entire district shall not exceed five dwelling units (DU) per acre.
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:
 - A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.

(c) *Dwelling Unit Density—Eight Dwelling Units.*

- (1) Dwelling unit density for the entire district shall not exceed eight dwelling units per acre of land on which dwellings are constructed. For example, if the entire district is three acres but dwellings are constructed on two acres only, dwelling unit density for the entire district shall not exceed 16 dwellings.
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side, and rear yards shall be those prescribed in the City approved detailed final development plans, except that:
 - A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.

(d) *Dwelling Unit Density—Twelve Dwelling Units.*

- (1) Dwelling unit density for the entire district shall not exceed 12 dwelling units per acre of land on which dwellings are constructed. For example, if the entire district is three acres but dwellings are constructed on two acres only, dwelling unit density for the entire district shall not exceed 24 dwellings.
- (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:
 - A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.
- (e) *Character of Neighborhood.* Use of the Planned Residential Zoning District for developments with a proposed dwelling unit density greater than five dwelling units per acre shall be considered only when the district is bounded at least on one side by R-5, R-6, R-7, O-1, B, I, or Planned Development Districts.

1172.04 - Parking and loading.

- (a) The provisions of Chapter 1185, "Parking and Loading", shall apply, except that at least two permanently maintained parking spaces shall be provided for each family unit, except for detached single family dwellings.
- (b) Required parking spaces shall not be part of public thoroughfares, private roads leading to and serving the sites of the various uses in this district.

1172.05 - Utilities.

The distribution systems for utilities are required to be underground.

1171.05 - *Contents of basic development plan.*

- (a) *The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:*
 - (1) *Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;*
 - (2) *Typical elevation views of the front and side of each type of building;*
 - (3) *Planning location and dimensions of all proposed drives, service access road, sidewalks, and curb openings;*
 - (4) *Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;*
 - (5) *Landscaping plan, walls and fences;*
 - (6) *Storm water detention and surface drainage;*
 - (7) *Exterior lighting plan;*
 - (8) *Vehicular circulation pattern;*

- (9) *Location and square footage of signs;*
 - (10) *Topographic survey; and*
 - (11) *Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.*
- (b) *The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.*

(Ord. 2006-O-1655, Passed 9-25-05)

1171.06 - General standards for approval.

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) *Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*
- (b) *Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*
- (c) *Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*
- (d) *Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*
- (e) *Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*
- (f) *Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*
- (g) *Shall preserve natural features such as water courses, trees, and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*
- (h) *Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*

- (i) *Shall place underground all electric and telephone facilities, street light wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*
- (j) *Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*
- (k) *Shall not involve uses, activities, processes, materials, equipment, and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and*
- (l) *Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

(Ord. 93-O-602, Passed 3-22-93)

1171.07 - Review and recommendations by planning commission.

The Planning Commission shall review the proposed PUD as presented in the application and basic development plan in terms of the standards in Section 1171.06 and the specific requirements as outlined in all Planned Unit Developments. The Commission shall hold a public hearing on the proposed PUD. At least ten days in advance of such hearing, notice of time and place of such hearing shall be published in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. The Planning Commission shall make its recommendation, indicating approval, approval with modifications, or disapproval. If the Commission recommends approving rezoning of land to a PUD District and also approves a basic development plan for the area to be rezoned, it may impose upon that plan any additional requirements or conditions deemed appropriate by the Commission to ensure that the development shall meet the standards described in Section 1171.06 and shall comply with the intention and objectives of this Zoning Ordinance.

If the owner chooses to submit a combined development plan, the Planning Commission shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. The detailed development plan aspects shall be reviewed in the same manner as provided herein for review of detailed development plans.

(Ord. 93-O-602, Passed 3-22-93)

1171.08 - Action by council.

Council shall hold a public hearing for application for rezoning and approval of the basic development plan (or combined development plan) after receiving the proposal from the Planning Commission. At least 15 days' notice of the time and place of such public hearing shall be placed in a newspaper of general circulation in the City. Written notice of such hearing shall be mailed at least ten days before the public hearing to the owners of property located within 200 feet of the property proposed for the PUD. Council shall approve, reject or approve with modifications the rezoning and basic development plan in the same manner as other rezoning requests. If the applicant has chosen to submit a combined development plan, Council shall review the aspects of it constituting the basic development plan pursuant to the standards set out in Section 1171.06. If Council approves the basic development plan aspects of a combined development plan, the detailed development plan shall be deemed to be approved and no further action shall be required for the area covered by the combined development plan. If the basic development plan aspects of a combined development plan are modified, the combined development plan shall be changed in all aspects to meet that modification. The City staff in charge of plan review shall determine when the basic development plan or combined plan meets the modification required by Council.

(Ord. 93-O-602, Passed 3-22-93)

1171.11 - Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) Major Changes. Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.*
- (b) Minor Changes. The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.*

(Ord. 89-O-339, Passed 2-6-89)



Planning Commission Decision Record

WHEREAS, on September 24, 2021, the applicant, The Annex Group, requested approval of a Basic Development Plan for property located at 6502 Old Troy Pike, Parcel Number P70-04004-0003 of the Montgomery County, Ohio Records (ZC 21-34); and

WHEREAS, on October 26, 2021, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to recommend approval of the request by the applicant, The Annex Group for a Basic Development Plan for property located at 6502 Old Troy Pike, Parcel Number P70-04004-0003 of the Montgomery County, Ohio Records (ZC 21-34) in accordance with the recommendation of Staff's Memorandum dated October 15, 2021 with the following conditions:

1. The Basic Development Plan shall be the plans stamped received by the City of Huber Heights Planning Department on September 24, 2021.
2. A minimum of 25% of the surface area of the buildings shall be finished with brick or stone masonry products.
3. Chambersburg Road will be improved to a forty-five (45) foot half right-of-way section per our City's Thoroughfare Plan.
4. Prior to the issuance of a zoning permit, the applicant shall submit and receive approval of a Detailed Development Plan through the Planning Commission.

ZC 21-34 – Decision Record

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____. Motion to recommend approval carried _____.

Terry Walton, Chair
Planning Commission

Date

Drawing name: K:\ND_LDEV\170096004_The Annex Group_Huber Heights_OH\2 Design\planSheets\Basic Development Plans\00.0 - TITLE SHEET.dwg 00.0 Oct 01, 2021 2:57pm by: Nathan Barr
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Indiana Utilities Protection Service



BASIC DEVELOPMENT PLANS

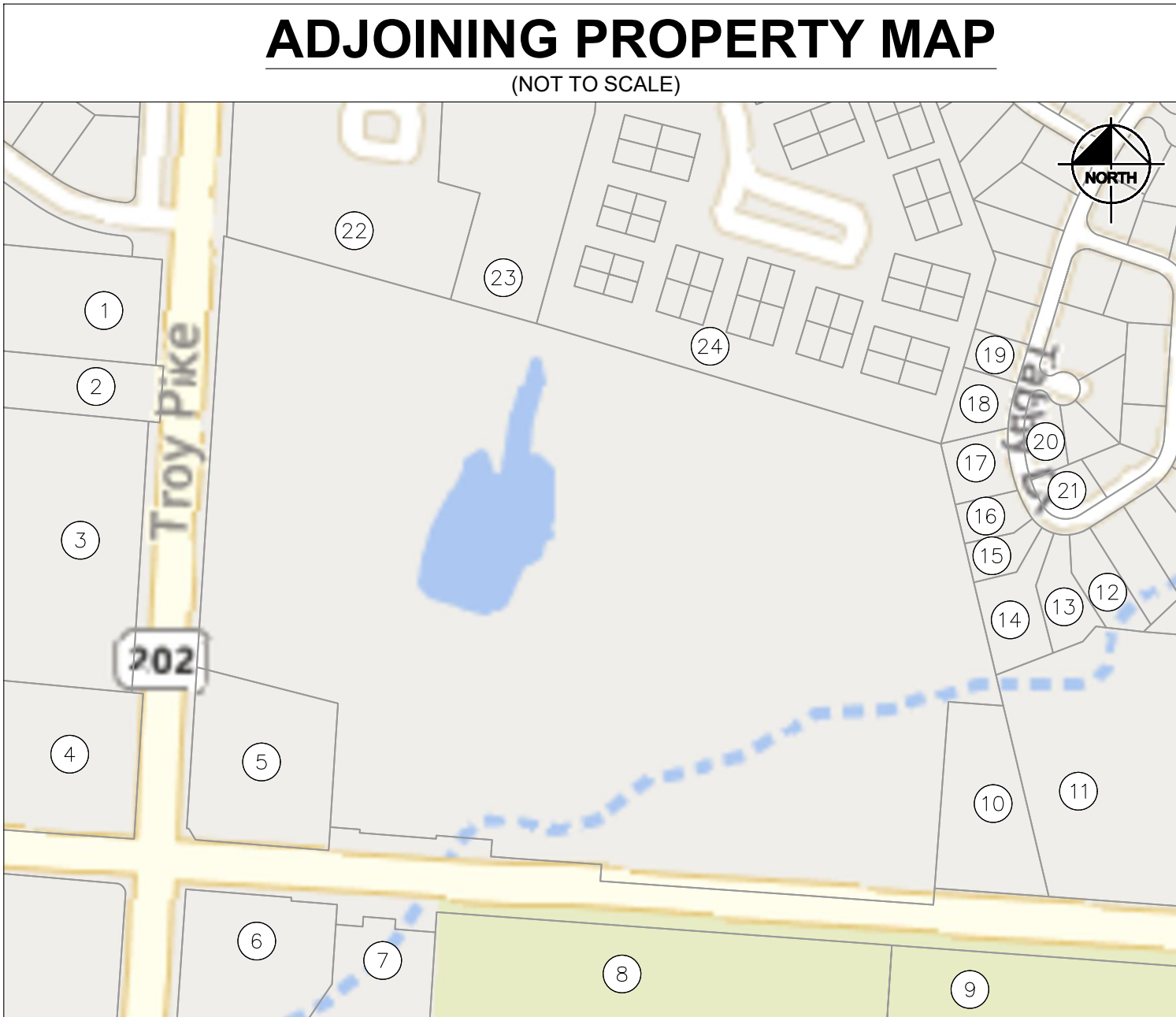
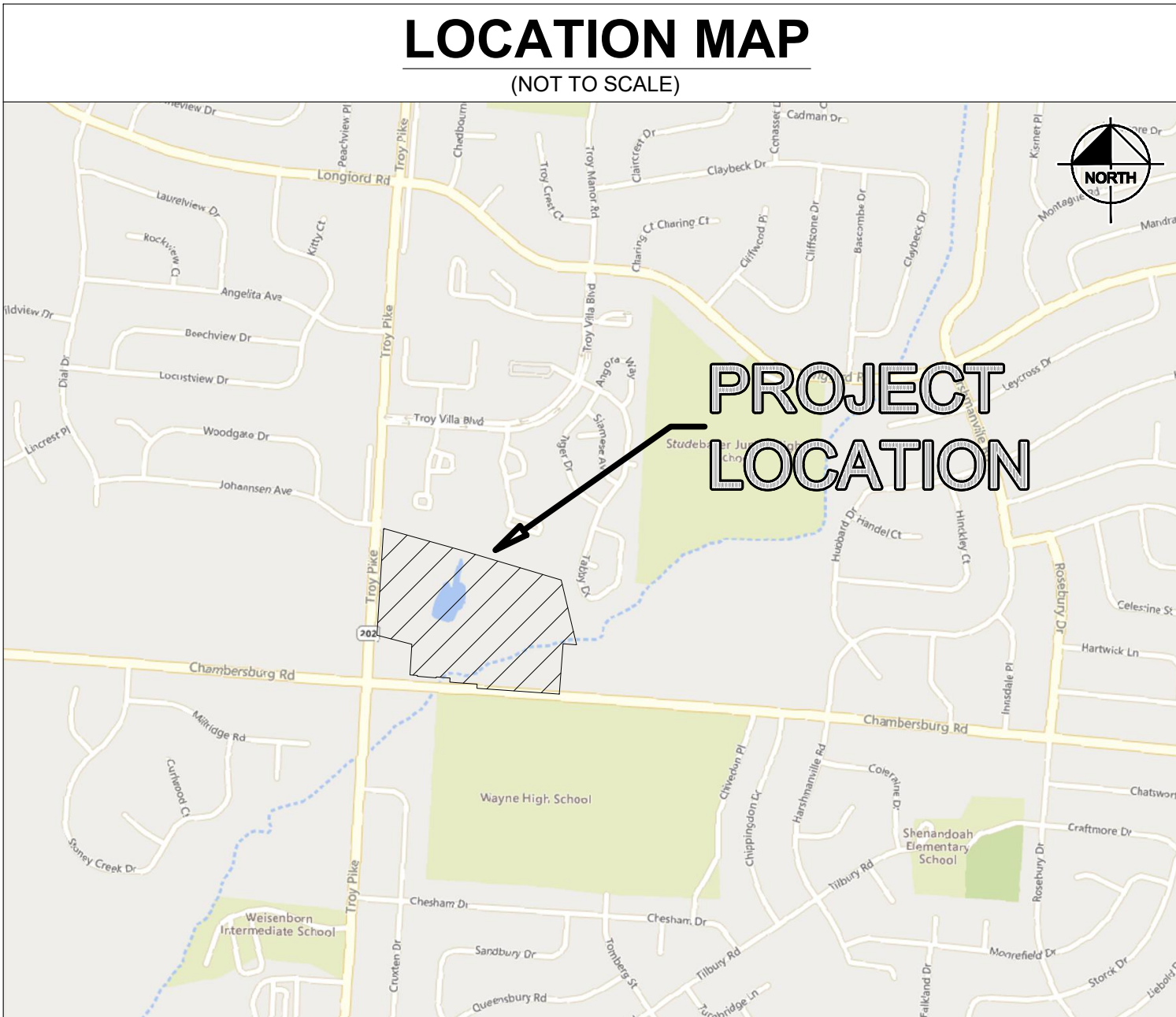
UNION AT CHAMBERSBURG

NEC OF CHAMBERSBURG RD. & OLD TROY PIKE

HUBER HEIGHTS, OH 45424

Sheet List Table	
Sheet Number	Sheet Title
C0.0	TITLE SHEET
C2.0	EXISTING CONDITIONS PLAN
C3.0	SITE PLAN
C5.0	STORMWATER MANAGEMENT PLAN
C6.0	UTILITY PLAN

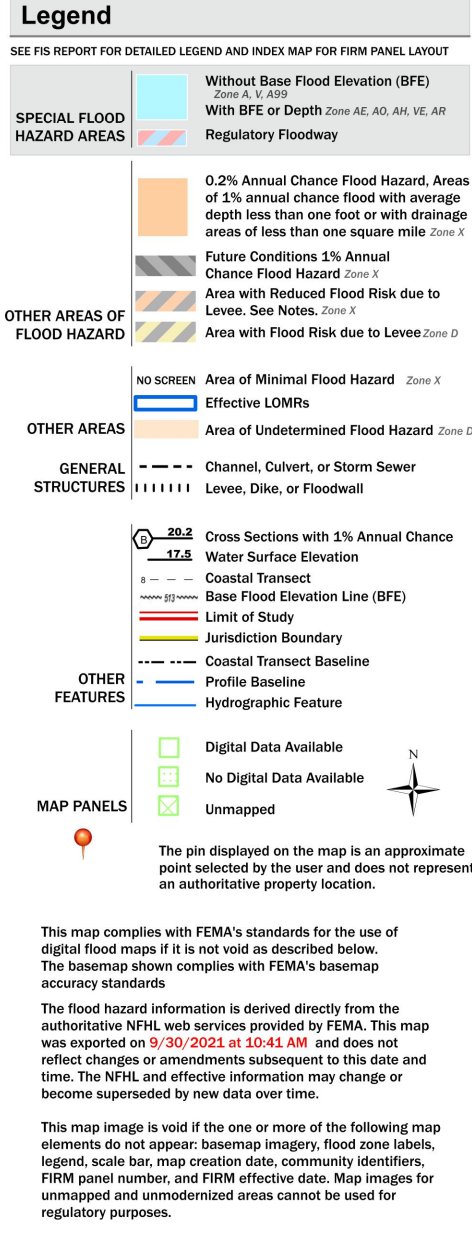
PROJECT TEAM				
ROLE	COMPANY	ADDRESS	PHONE NUMBER	CONTACT
DEVELOPER/OWNER	THE ANNEX GROUP	409 MASSACHUSETTS AVE., STE. 300 INDIANAPOLIS, IN 46204	(317) 607-4835	TYLER KNOX
CIVIL ENGINEER	KIMLEY-HORN & ASSOCIATES, INC.	250 E. 96TH ST., STE 580, INDIANAPOLIS, IN 46240	(317) 218-9560	MIKE TIMKO, P.E.
ENVIRONMENTAL ENGINEER	CARDNO	3901 INDUSTRIAL BLVD., INDIANAPOLIS, IN 46254	(317) 388-1982	BEN HARVEY PWS, CPESC
LANDSCAPE ARCHITECT	KIMLEY-HORN & ASSOCIATES, INC.	250 E. 96TH ST., STE 580, INDIANAPOLIS, IN 46240	(317) 218-9560	MICHELLE DYER, PLA, CLARB
LAND SURVEYOR	BERDING SURVEYING	741 MAIN ST., MILFORD, OH 45150	(513) 831-5505	TIM SCHWOEPPE, PS



MONTGOMERY COUNTY

CONSTRUCTION OF 6 MULTI-FAMILY BUILDINGS EACH ±13,800 SF FOR THE ANNEX GROUP ON ±19.48 AC. PROJECT IS IN THE CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

National Flood Hazard Layer FIRMette



ADJOINING PROPERTY OWNERS

KEYNOTE	OWNER	ADDRESS
1	MORTON TED R	4867 CHAMBERSBURG RD, DAYTON, OH 45424
2	KENNEDY KELLY S	4 ADAIR AVE, DAYTON, OH 45405
3	LILY PHILLIPS FOR HARRY + SILVIA FROMSTA	860 SOUTHWICK CIR, DAYTON, OH 45459
4	MALONJAO ADAM	1480 N. 2200 W., SALT LAKE CITY, UT 84116
5	ANNARINO CHARLES M	5117 CHAMBERSBURG RD., DAYTON, OH 45424
6	EMRO MARKETING CO C/O PROPERTY TAX RECORDS	539 S. MAIN ST., FINDLAY, OH 45840
7	HUBER HEIGHTS CITY SCHOOLS	5954 LONGFORD RD., HUBER HEIGHTS, OH 45424
8	HUBER HEIGHTS CITY SCHOOLS	5954 LONGFORD RD., HUBER HEIGHTS, OH 45424
9	HUBER HEIGHTS CITY SCHOOLS	5954 LONGFORD RD., HUBER HEIGHTS, OH 45424
10	WILDA E ISHMAEL	5123 CHAMBERSBURG RD., DAYTON, OH 45424
11	DEXTER MICHAEL L AND TAMRA G	5173 CHAMBERSBURG RD., DAYTON, OH 45424
12	ANDERSON CALVIN L AND DESIREE JENI	6683 TABBY DR., DAYTON, OH 45424
13	NOBLE JOY K	6691 TABBY DR., DAYTON, OH 45424
14	BAILEY CHRISTOPHER S	6699 TABBY DR., DAYTON, OH 45424
15	MORRIS DWIGHT E	6707 TABBY DR., DAYTON, OH 45424
16	JOAN C NOBLE	6715 TABBY DR., DAYTON, OH 45424
17	CROWN PROPERTIES GROUP LLC	7940 N. MAIN ST., DAYTON, OH 45415
18	LOPEZ RAMON A	6731 TABBY DR., DAYTON, OH 45424
19	VINEBROOK HOMES LLC	3500 PARK CENTER DR. STE. 100, DAYTON, OH 45414
20	SMITH KEVIN D	6726 TABBY DR., DAYTON, OH 45424
21	WACHTER MITCHELL J	6690 TABBY DR., DAYTON, OH 45424
22	VINEBROOK HOMES, LLC	3500 PARK CENTER DR. STE 100, DAYTON, OH 45414
23	VINEBROOK HOMES, LLC	3500 PARK CENTER DR. STE 100, DAYTON, OH 45414
24	MONDAY VILLAS PROPERTY OWNERS ASSOCIATION	5800 TROY VILLA BLVD, DAYTON, OH 45424

Kimley»Horn
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250 EAST 96TH STREET, SUITE 580,
INDIANAPOLIS, IN 46240
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: MJT
DRAWN BY: NJB
CHECKED BY: MJT

NOT APPROVED FOR CONSTRUCTION

ANNEX

TITLE SHEET

UNION AT
CHAMBERSBURG
BASIC DEVELOPMENT
PLANS

ORIGINAL ISSUE:
10/1/2021
KHA PROJECT NO.
170096004

SHEET NUMBER

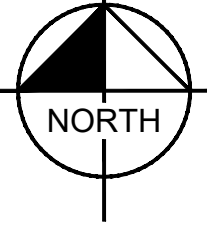
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Drawing name: K:\IND_LEVE\170096004_The Annex Group-Fuser Heights\CH2 Design\CADD\plan\Sheets\Basic Development Plans\C2.0 - EXISTING CONDITIONS & DEMO PLAN.dwg C2.0 Oct 01, 2021 2:57pm by: Nathan Barr
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Call 811
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NORTH

GRAPHIC SCALE IN FEET
0 25' 50' 100'

SHEET NUMBER		C2.0	
KHA PROJECT NO.		170096004	
ORIGINAL ISSUE:		10/1/2021	
UNION AT CHAMBERSBURG BASIC DEVELOPMENT PLANS		EXISTING CONDITIONS PLAN	
			
NOT APPROVED FOR CONSTRUCTION		SCALE: AS NOTED DESIGNED BY: MJT DRAWN BY: NJB CHECKED BY: MJT	REVISIONS No. DATE BY

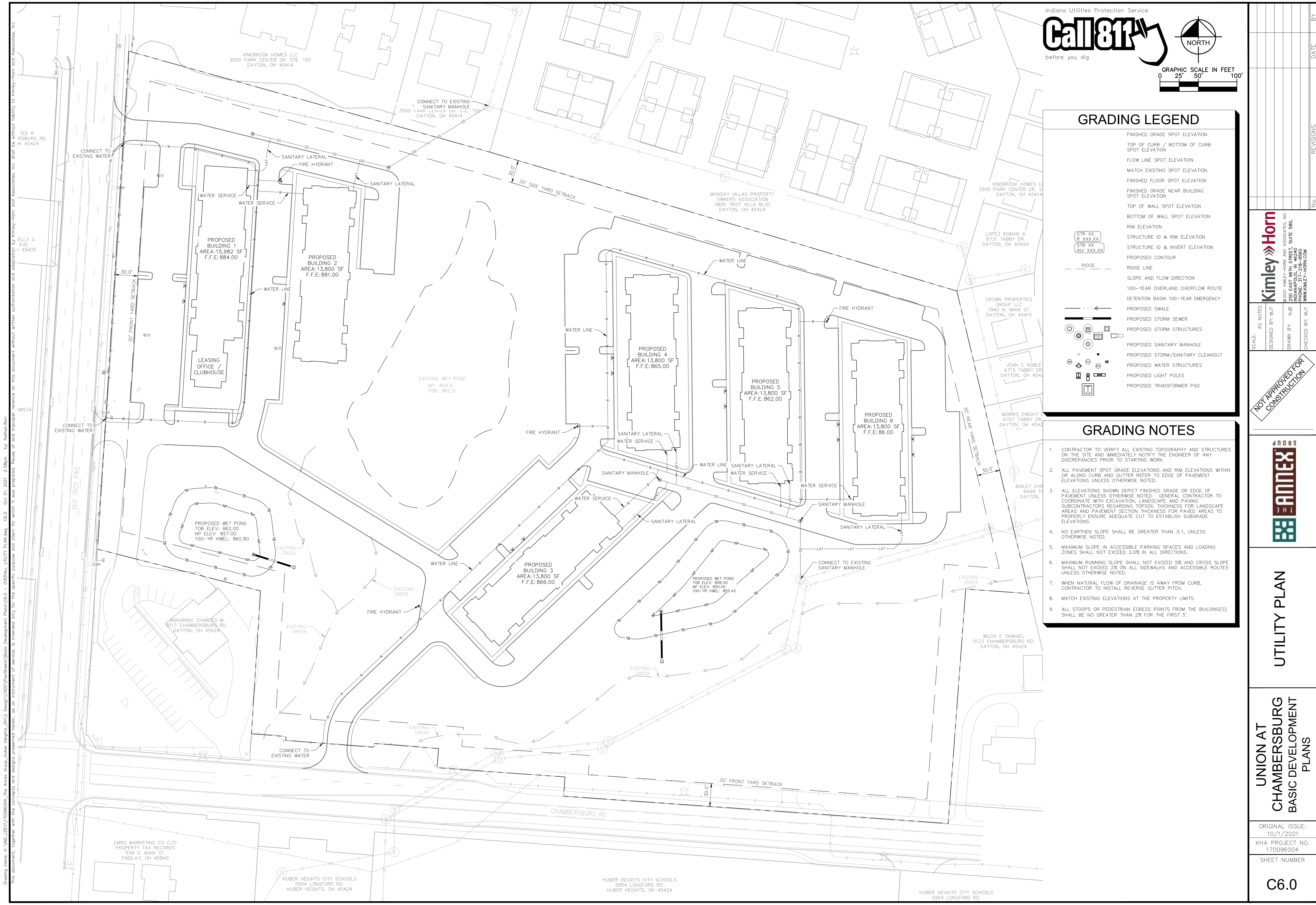
	FINISHED GRADE SPOT ELEVATION
	TOP OF CURB / BOTTOM OF STORM SPOT ELEVATION
	FLOW LINE SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	FINISHED FLOOR SPOT ELEVATION
	FINISHED GRADE NEAR BUILDING SPOT ELEVATION
	TOP OF WALL SPOT ELEVATION
	BOTTOM OF WALL SPOT ELEVATION
	RRM ELEVATION
	STRUCTURE ID & RIM ELEVATION
	STRUCTURE ID & INVERT ELEVATION
	PROPOSED CONTOUR
	RIDGE LINE
	SLOPE AND FLOW DIRECTION
	100-YEAR OVERLAND OVERFLOW ROUTE
	DETECTION BASIN 100-YEAR EMERGENCY
	PROPOSED SWALE
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER STRUCTURES
	PROPOSED LIGHT POLES
	PROPOSED TRANSFORMER PAD

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
9. ALL STOOPS OR PEDESTRIAN EGRESS POINTS FROM THE BUILDING(S) SHALL BE NO GREATER THAN 2% FOR THE FIRST 5'.

EXISTING WEST BASIN AREA	3.87 ACRES
PROPOSED WEST BASIN AREA	4.54 ACRES
EXISTING PERVIOUS AREA	3.46 ACRES
EXISTING IMPERVIOUS AREA	0.41 ACRES
PROPOSED PERVIOUS AREA	1.92 ACRES
PROPOSED IMPERVIOUS AREA	2.62 ACRES

EXISTING EAST BASIN AREA	6.78 ACRES
PROPOSED EAST BASIN AREA	7.63 ACRES
EXISTING PERVIOUS AREA	6.71 ACRES
EXISTING IMPERVIOUS AREA	0.07 ACRES
PROPOSED PERVIOUS AREA	2.52 ACRES
PROPOSED IMPERVIOUS AREA	5.11 ACRES

NOTE: WATER QUALITY TO BE TREATED BY PROPOSED PONDS. PART OF THE EXISTING RUNOFF TO THE EXISTING POND WILL BE DIRECTED TO THE PROPOSED PONDS. NO IMPERVIOUS AREAS WERE ADDED TO THE EXISTING WET POND DRAINAGE BASIN.



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NORTH

GRAPHIC SCALE IN FEET
0 25' 50' 100'

GRADING LEGEND

- FINISHED GRADE SPOT ELEVATION
- TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
- FLOW LINE SPOT ELEVATION
- MATCH EXISTING SPOT ELEVATION
- FINISHED FLOOR SPOT ELEVATION
- FINISHED GRADE NEAR BUILDING SPOT ELEVATION
- TOP OF WALL SPOT ELEVATION
- BOTTOM OF WALL SPOT ELEVATION
- RIM ELEVATION
- STRUCTURE ID & RIM ELEVATION
- STRUCTURE ID & INVERT ELEVATION
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- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM/SANITARY CLEANOUT
- PROPOSED WATER STRUCTURES
- PROPOSED LIGHT POLES
- PROPOSED TRANSFORMER PAD

GRADING NOTES

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Drawing name: K:\IND_LEV\170096004_The Annex Group_Huber Heights_OH\2 Design\CAD\PlanSheets\Basic Development Plans\C6.0 - OVERALL UTILITY PLAN.dwg C6.0 Oct 01, 2021 2:58pm by: Nathan Barr
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AS NOTED

DESIGNED BY: MJT

DRAWN BY: NJB

CHECKED BY: MJT

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TH ANNEX GROUP

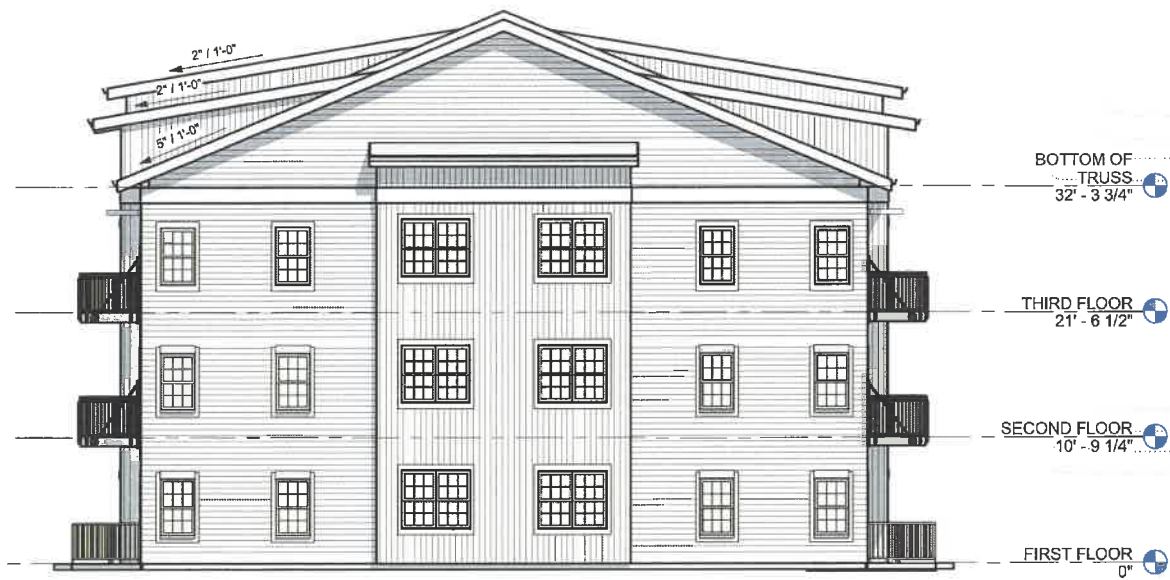
UTILITY PLAN

UNION AT CHAMBERSBURG BASIC DEVELOPMENT PLANS

ORIGINAL ISSUE: 10/1/2021
KHA PROJECT NO. 170096004
SHEET NUMBER

C6.0

REVISIONS
NO. DATE BY



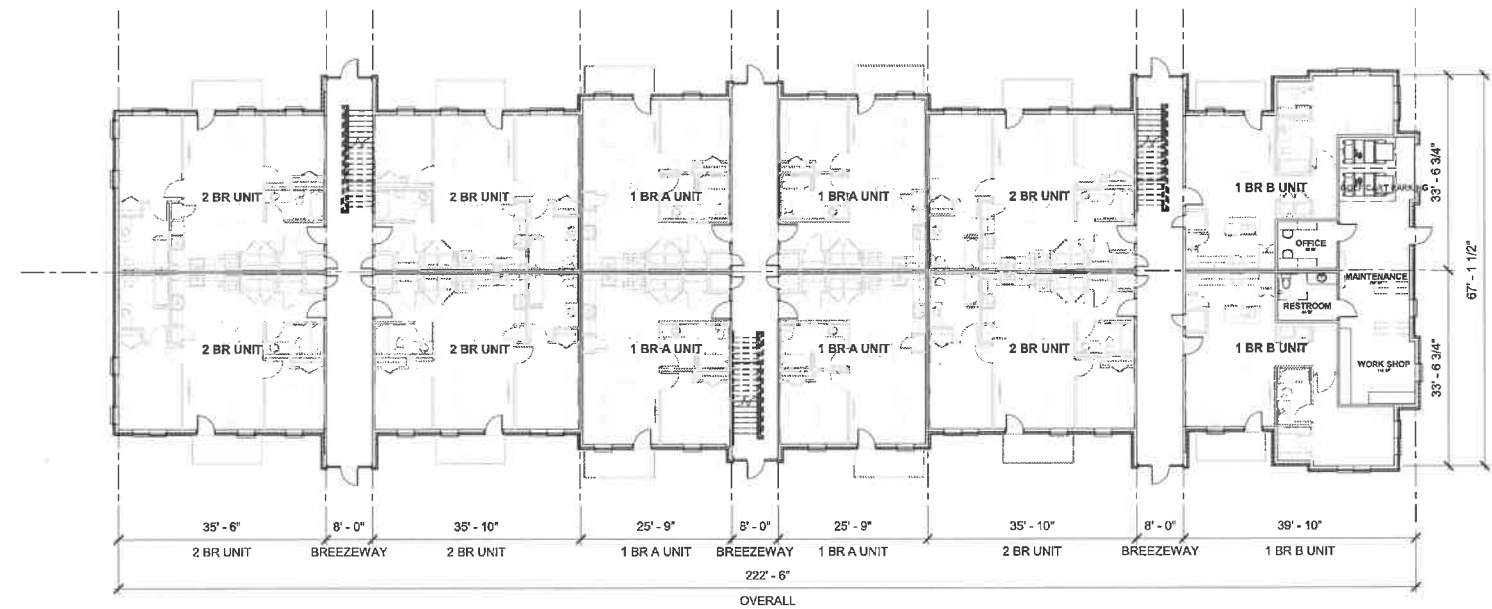
3 SIDE ELEVATION 2
1/8" = 1'-0"



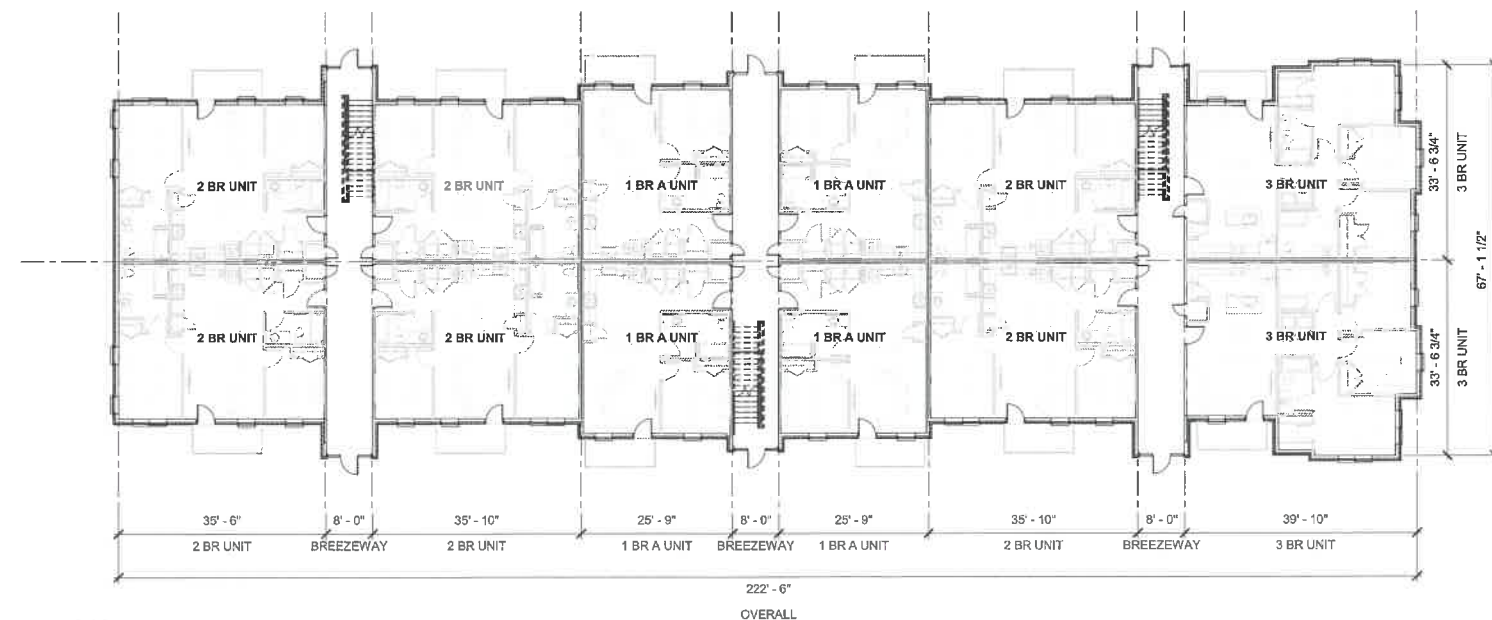
2 SIDE ELEVATION 1
1/8" = 1'-0"



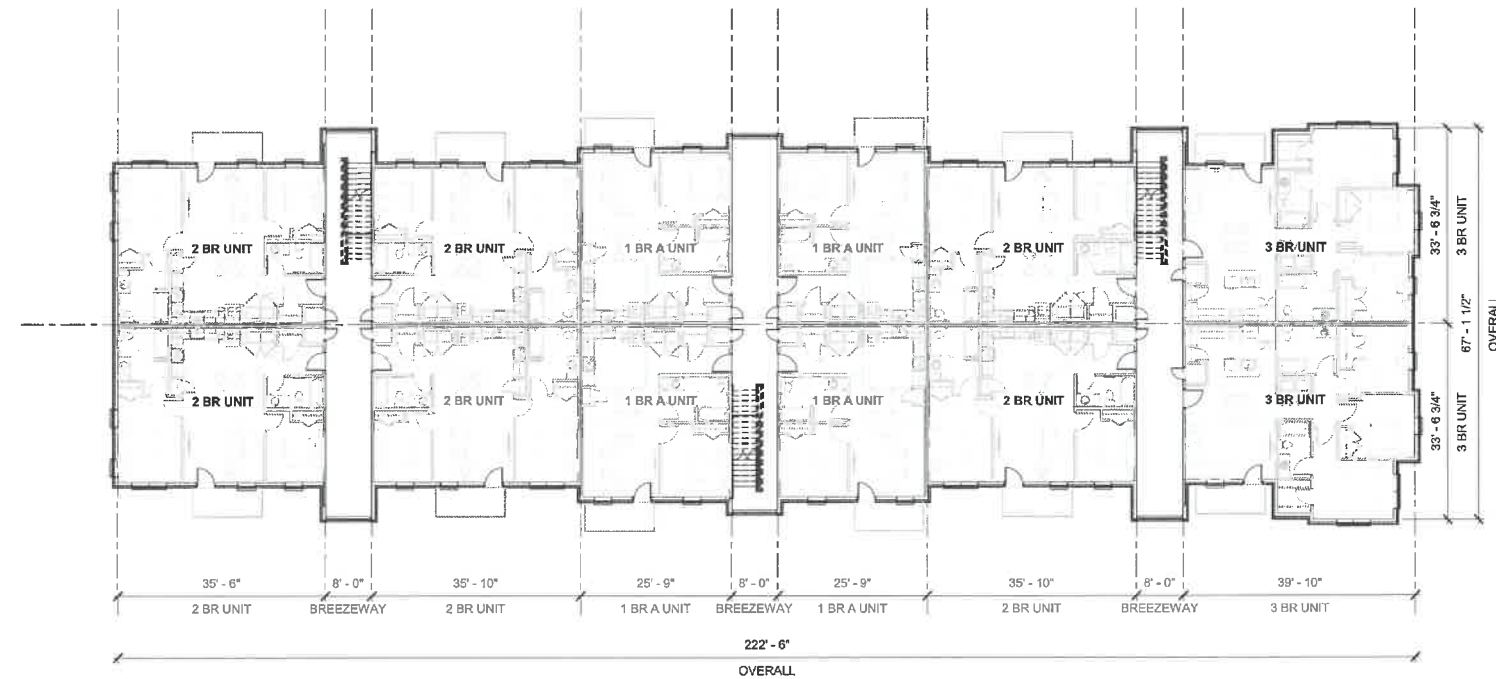
1 FRONT/REAR ELEVATION
1/8" = 1'-0"



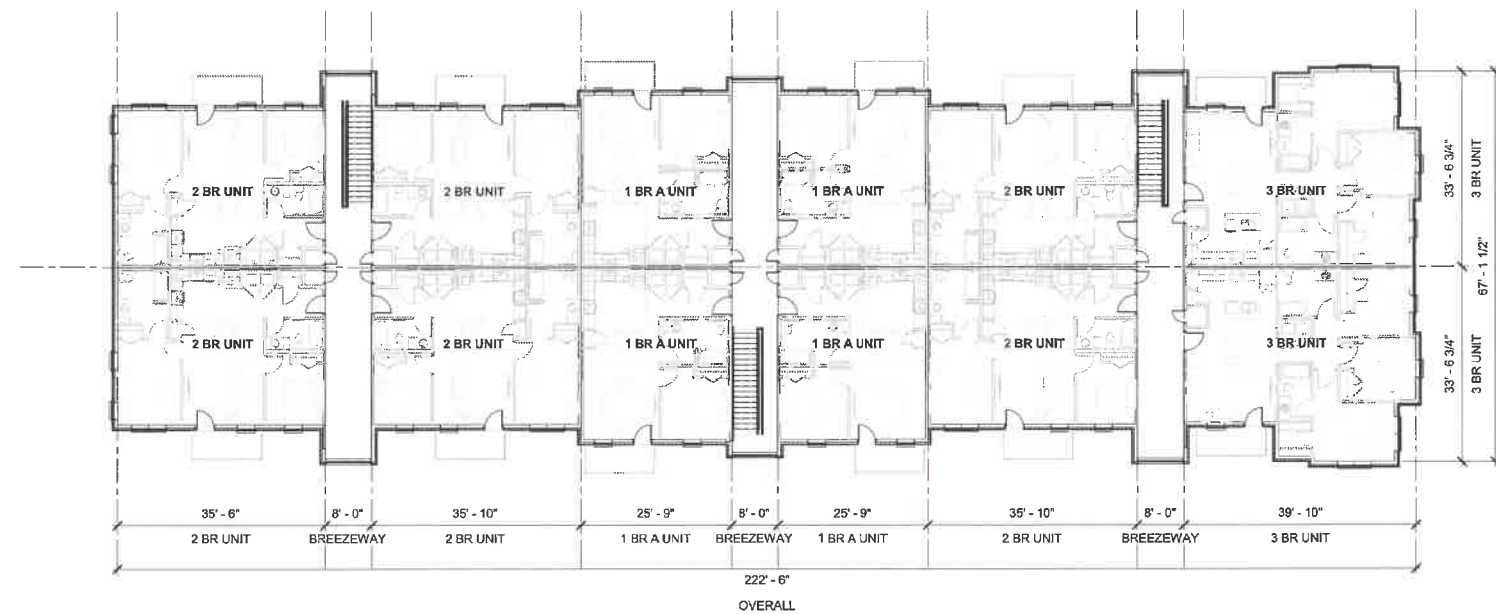
3 FIRST FLOOR BUILDING PLAN WITH MAINTENANCE
1/16" = 1'-0"



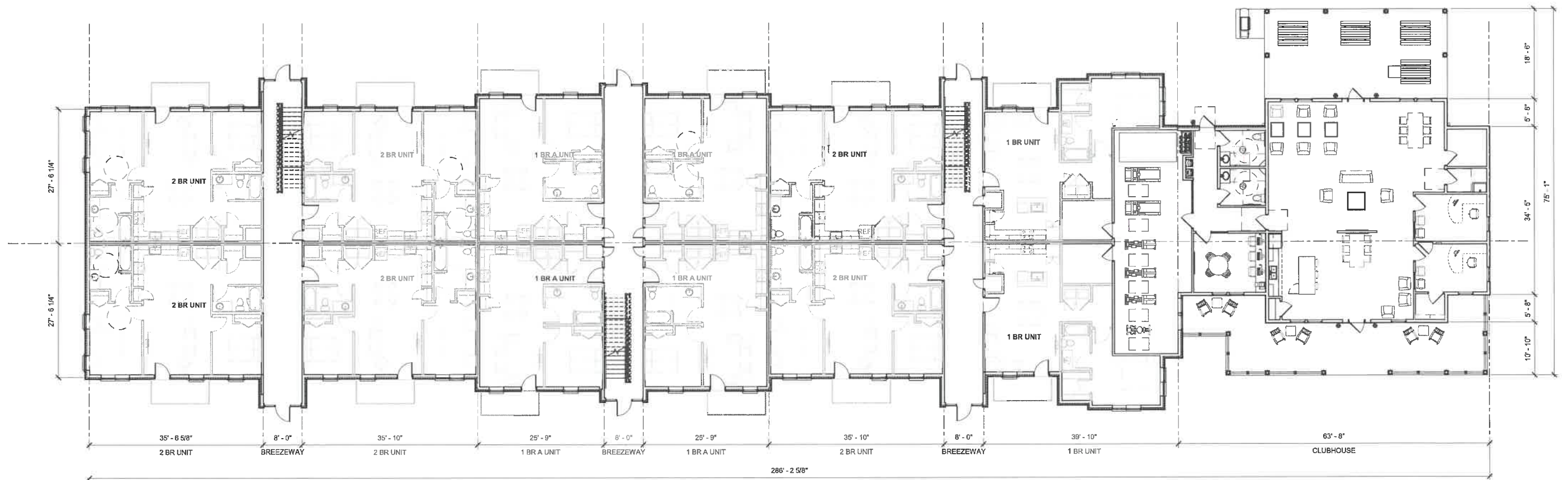
1 TYPICAL FIRST FLOOR BUILDING PLAN
1/16" = 1'-0"



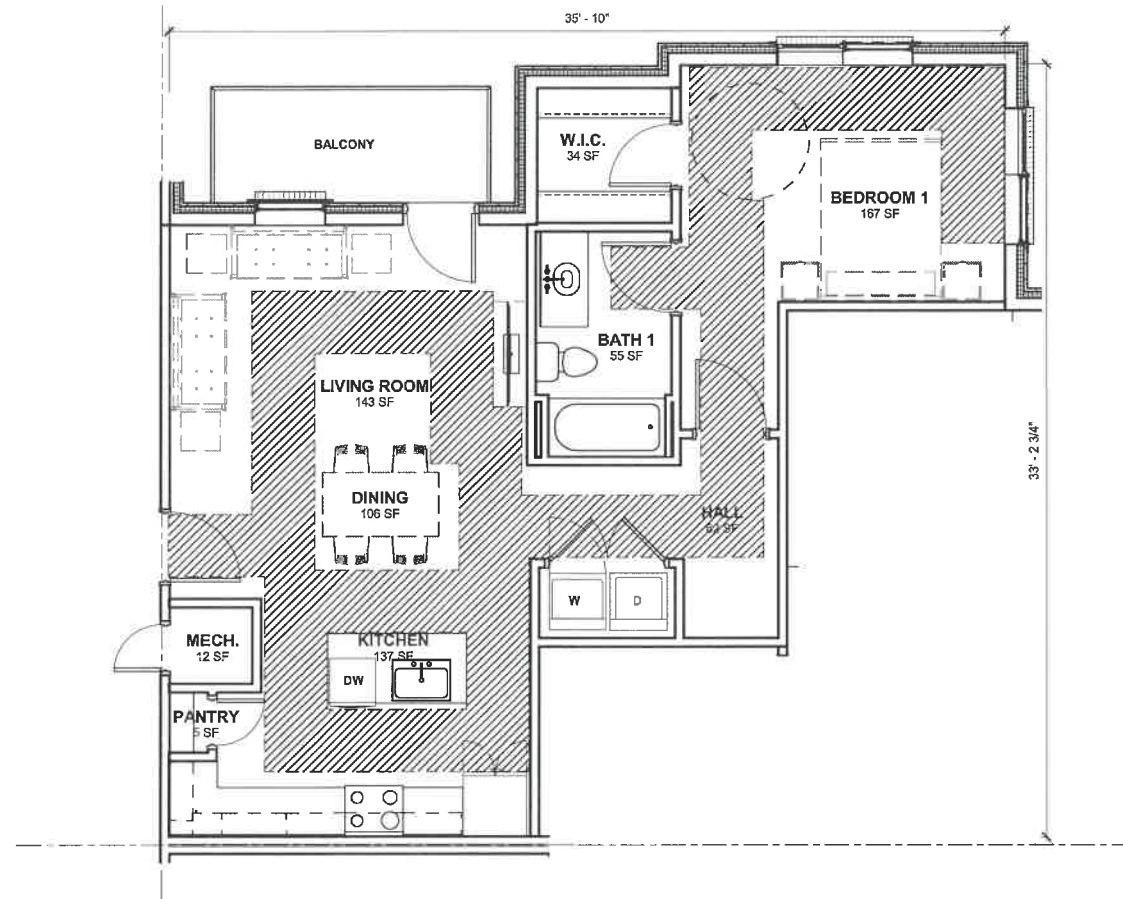
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1/16" = 1'-0"



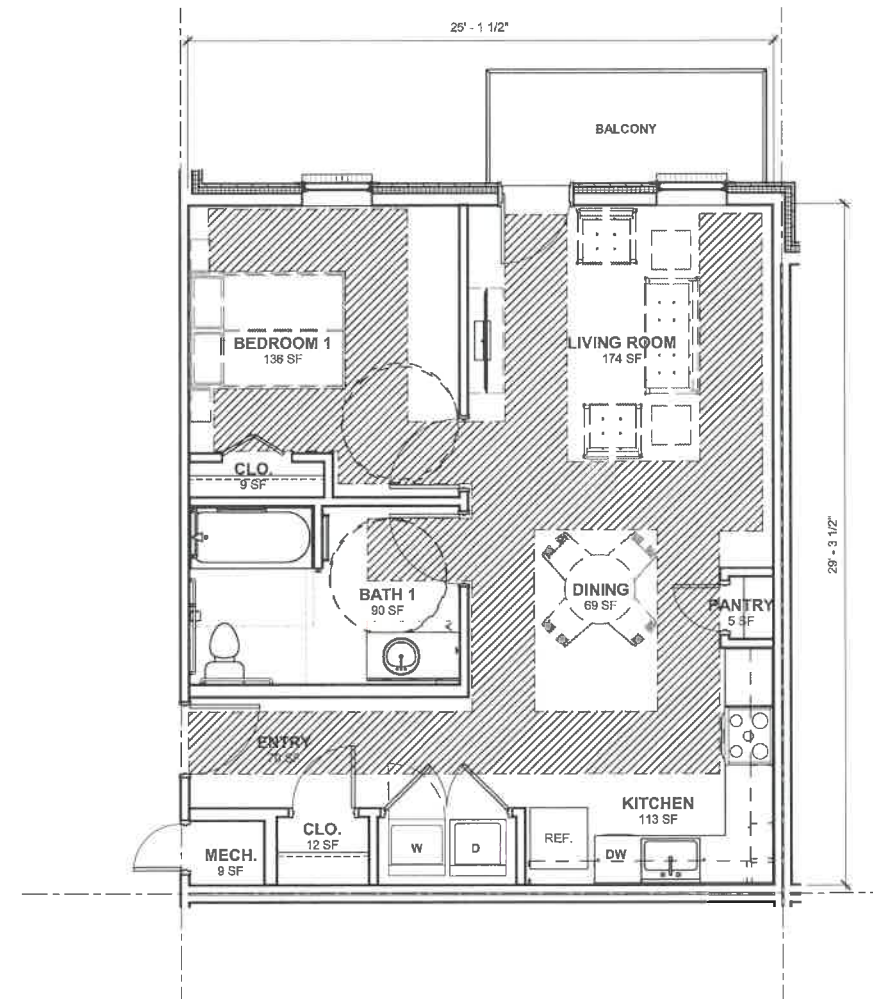
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1/16" = 1'-0"



1 FIRST FLOOR BUILDING PLAN WITH CLUBHOUSE
3/32" = 1'-0"



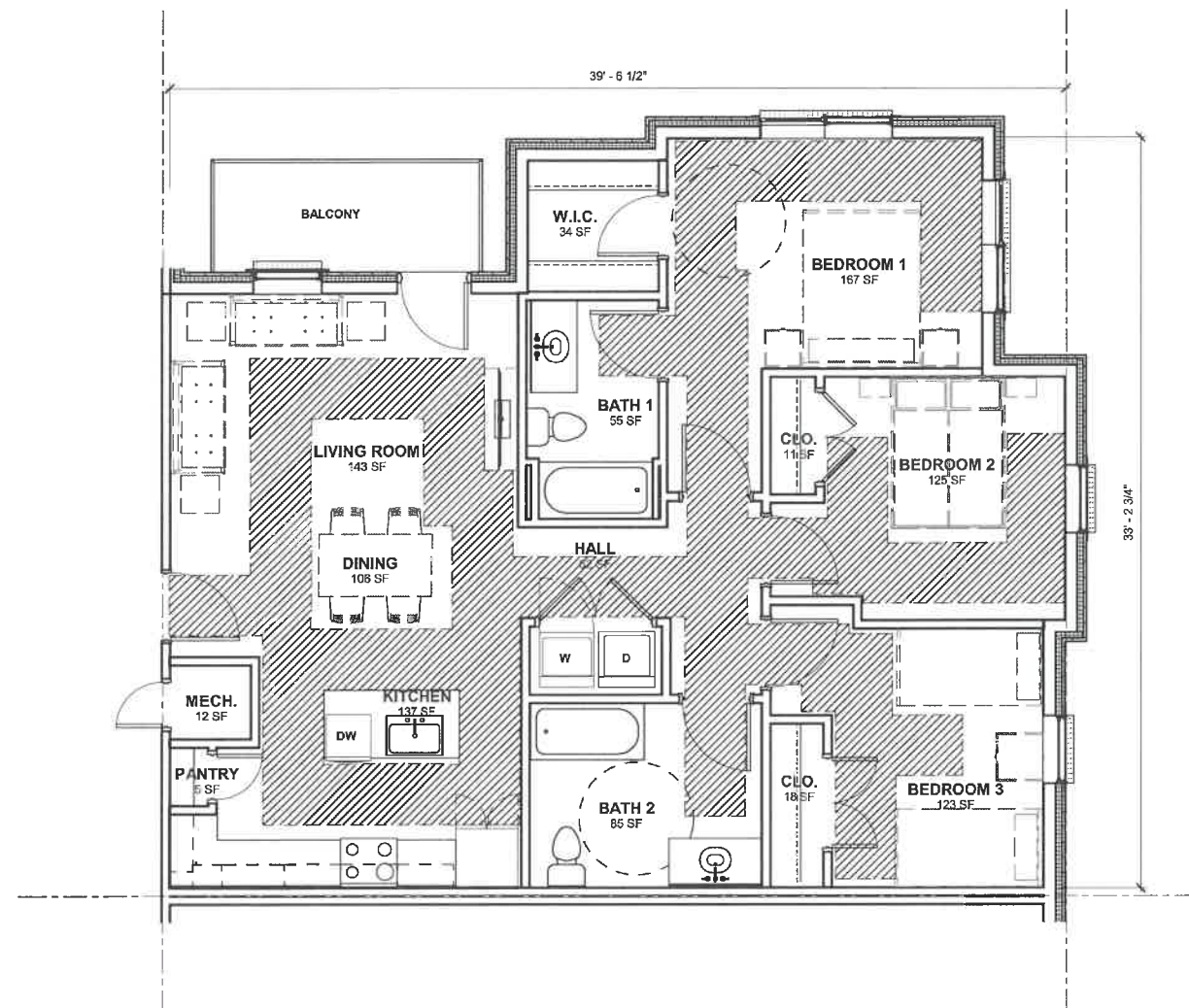
2 1 BR 1 BA B ENLARGED UNIT PLAN
1/4" = 1'-0"



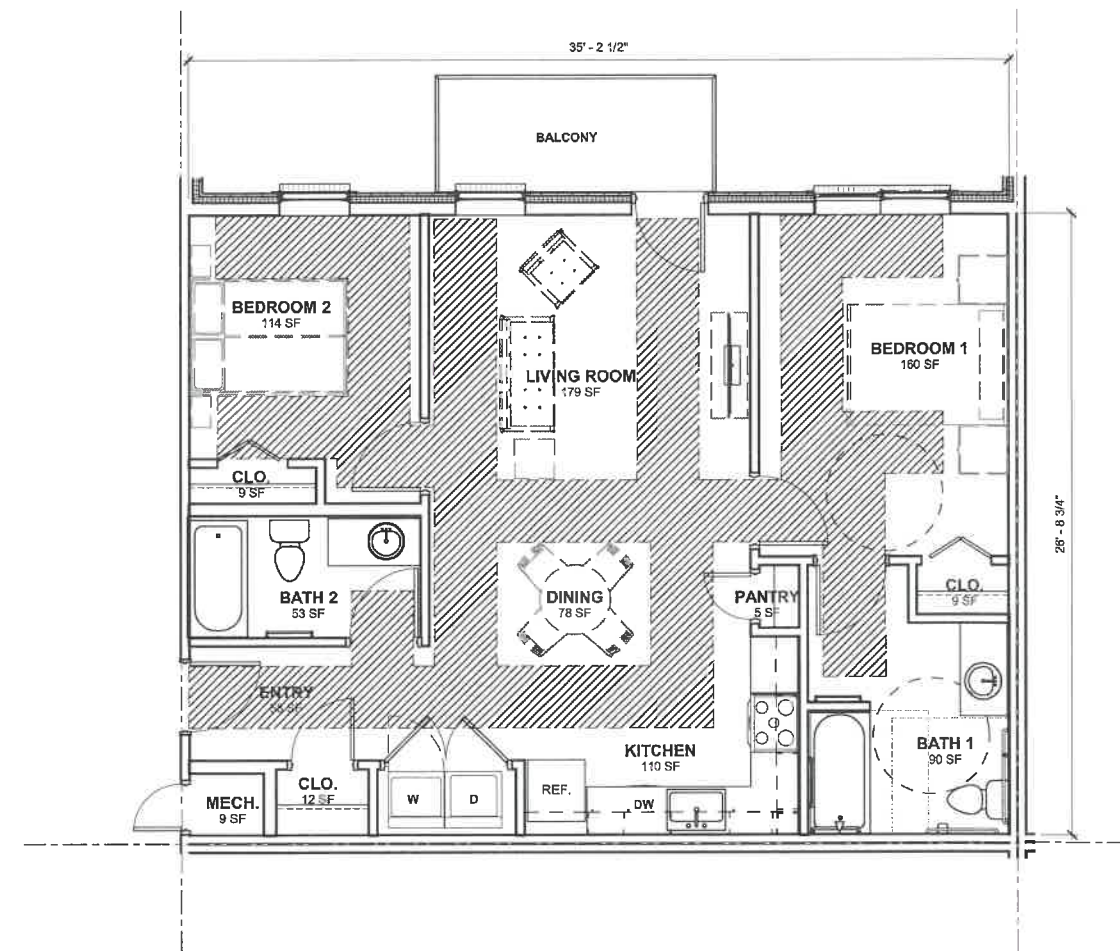
1 1 BR 1 BA A ENLARGED UNIT PLAN
1/4" = 1'-0"

32" CLEAR FLOOR SPACE

LEGEND
1/8" = 1'-0"



2 3BR 2BA ENLARGED UNIT PLAN
1/4" = 1'-0"



1 2BR 2BA ENLARGED UNIT PLAN
1/4" = 1'-0"

32" CLEAR FLOOR SPACE

LEGEND
1/8" = 1'-0"

Unit Tabulation

Unit Type - Typical	1-BR	2-BR	3BR	Total
Building type 1				
Level 1	4	6	2	12
Level 2	4	6	2	12
Level 3	4	6	2	12
Units per building	12	18	6	36
QTY of Bldgs	4			
	48	72	24	144
RQAW Recommended Unit Count	48	72	24	144

Unit Type - Clubhouse & Maintenance	1-BR	2-BR	3BR	Total
Building type 1				
Level 1	6	6	0	12
Level 2	4	6	2	12
Level 3	4	6	2	12
Units per building	14	18	4	36
QTY of Bldgs	2			
	28	36	8	72
RQAW Recommended Unit Count	28	36	8	72

Grand Totals	76	108	32	216
--------------	----	-----	----	-----

1st floor									
2		2	1		1	2			3
2		2	1		1	2			3

2nd floor									
2		2	1		1	2			3
2		2	1		1	2			3

3rd floor									
2		2	1		1	2			3
2		2	1		1	2			3

2		2	1		1	2			1
2		2	1		1	2			1

2nd floor									
2		2	1		1	2			3
2		2	1		1	2			3

3rd floor									
2		2	1		1	2			3
2		2	1		1	2			3



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Union at Chambersburg – Planning Commission		
Occupancy Address:	Old Troy Pike and Chambersburg Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-215
MCBR ELE:		HHFD Box:	2
REVIEWER:	Susong	DATE:	10/22/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017, and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.

- Please review requirements for fire service features in Ohio Fire Code (OFC), Rule 5.
- Fire apparatus access roads will need to comply with OFC 503 as well as the adopted appendices from the OFC (2017) and the Huber Heights Codified Ordinance (HHCO) Section 15.
- Additional access is required to the residential portion of project. Refer to OFC 503.1.2 and Appendix D106.1. **Corrected. Proposed drawing C3.0, dated 10/1/2021, shows access entries on Chambersburg Road and Old Troy Pike.**
- Buildings where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, shall be provided with approved aerial fire apparatus access roads. OFC Appendix D105.1. Refer to D105.2, D105.3 and D105.4 for additional requirements. **Aerial access for buildings 1,4 and 5 meets the requirements of D105 due to no parking along back sides. Aerial access for buildings 2,3 and 6 slightly exceeds the maximum**

30 feet but will be accepted based on buildings being equipped with fire sprinklers systems. If buildings will not be sprinklered access will need to be adjusted.

- Multi family residential developments with more than 200 dwelling units shall have two separate and approved fire access roads regardless of whether they are equipped with an approved automatic sprinkler system. OFC Appendix D106.2. **Proposed drawing C3.0, dated 10/1/2021, shows access entries on Chambersburg Road and Old Troy Pike.**
- The minimum drive width shall be 26 feet with fire hydrants. OFC Appendix D103.1. **Proposed drawing C3.0, dated 10/1/2021, shows roads to be 26 feet in width.**
- The turning radius for fire department access roads shall meet requirements for Huber Heights Fire Division (HHFD) vehicles. Contact HHFD to obtain information. OFC 503.2.4 and Appendix D103.3. **Turn radius shown on proposed drawing C3.0, dated 10/1/2021 appears to comply.**
- Fire department access roads shall not have dead ends over 150 feet without an approved turnaround. OFC 503.2.5 and Appendix D103.4. **Dead ends over 150 feet have been removed as shown on proposed drawing C3.0, dated 10/1/2021.**
- The water supply for fire protection shall meet the requirements of OFC 507 and Appendix B. Calculations and findings will need to be determined and provided. Water Main and hydrant extension sizes and spacing will also need to be shown in detail. Fire flow requirements shall be determined in accordance with Ohio Fire Code, Appendix B, Fire Flow Requirements for Buildings. Once the fire flow has been determined the minimum number of required fire hydrants can be confirmed. (Building Construction Classification and Square Footage will need to be determined first). **Fire flows have not been provided with this submittal and shall be determined before installation of underground mains.**
- Fire hydrant spacing shall also meet the requirements of HHCO 1521. **Hydrant spacing exceeds 300 feet, as required in accordance with HHCO 1521.06(c), in areas as shown on proposed drawing C6.0, dated 10/1/2021.**
- Buildings provided with fire sprinkler systems will need to have a fire department connection located within 75 feet of a fire hydrant in accordance with Huber Heights Codified Ordinance 1521.01(e). The connection shall be a 4" Storz fitting with a 30-degree turn-down. **Engineer/Architect shall determine if buildings will be required to be sprinklered.**

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

UNION AT CHAMBERSBURG

Traffic Impact Study

Huber Heights, Ohio

October 2021

Prepared for:
The Annex Group

Prepared by:

Kimley»Horn



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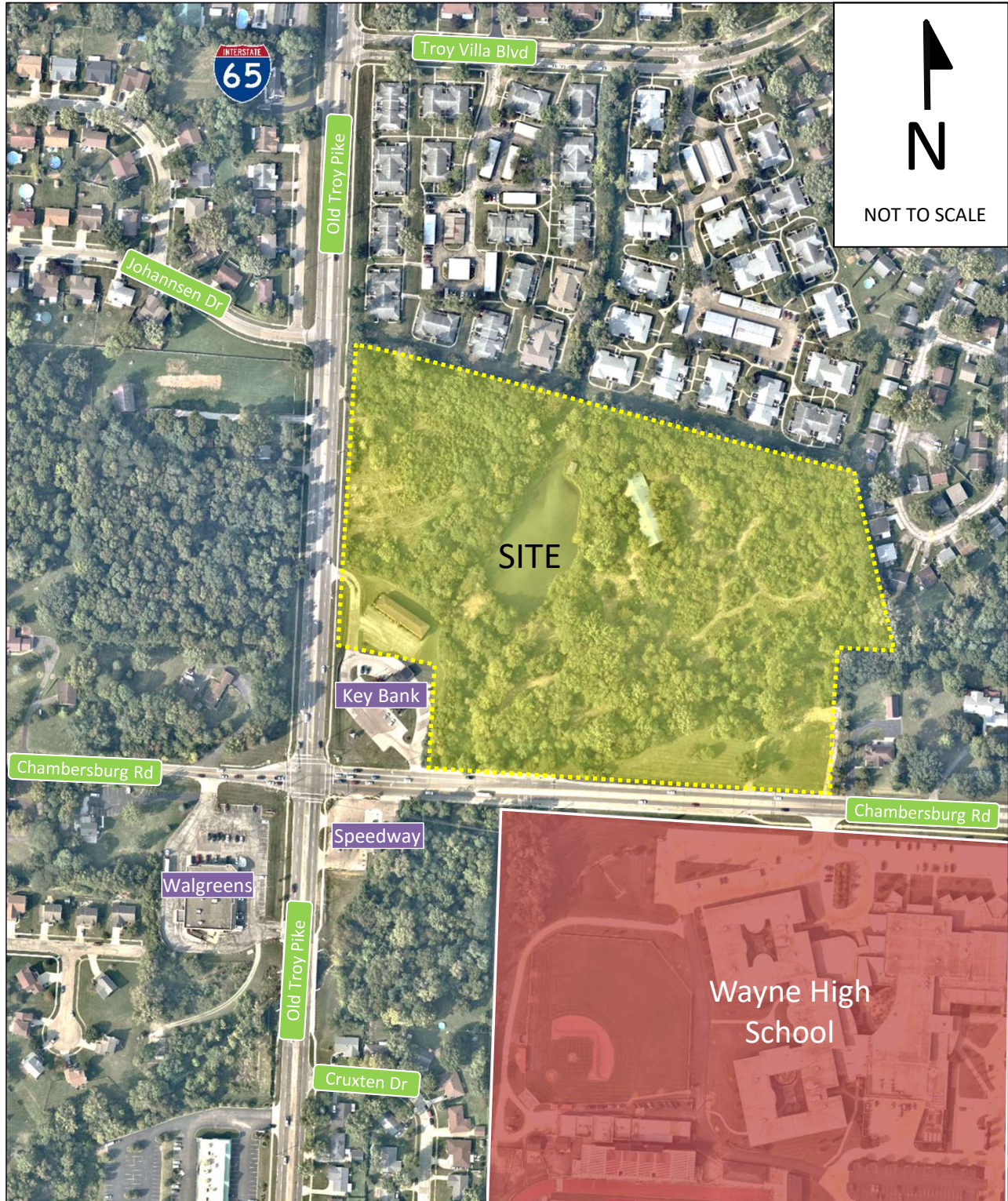
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INTRODUCTION

Kimley-Horn and Associates, Inc. (Kimley-Horn) was retained by the Annex Group to perform a traffic impact study for a proposed multifamily development called “Union at Chambersburg”. The proposed 19.5-acre site, illustrated in **Figure 1**, is generally located north of Chambersburg Road and east of Old Troy Pike in Huber Heights, Ohio. The existing site has a vacant office building just north of the bank on the northeast corner of Old Troy Pike and Chambersburg Road intersection. The rest of the property is a wooded lot with another existing structure on the rear of the property just east of the existing wet pond. Neither this structure nor the office building will remain with this project.

The proposed multifamily residential development includes a total of 216 dwelling units, distributed equally across six residential buildings, each with 36 dwelling units. There are 3 access driveways proposed to serve the site – two along Old Troy Pike and one additional access provided along Chambersburg Road.

This report presents and documents the study methodology, summarizes data collection and development traffic characteristics, highlights the evaluation of traffic conditions on the study intersections and roadways, and identifies recommendations to address operational impacts and integrate the proposed multifamily development into the surrounding transportation system.



Existing Conditions

Kimley-Horn conducted a review of the subject site and surrounding area to inventory relevant information pertaining to nearby land uses, inventory key transportation system characteristics, and document existing traffic control. This section of the report details information on these existing conditions.

Area Land Uses

The Union at Chambersburg development site is mostly wooded with an existing wet pond in the center and has a couple buildings to be removed. The surrounding areas to the north, east, and west are all residential. Directly adjacent to the southwest corner of the site is a bank which will share an access drive along Old Troy Pike. Directly across Chambersburg Road to the south of the site is Wayne High School which has 3 access drives along the south side of Chambersburg Road.

Roadway Characteristics

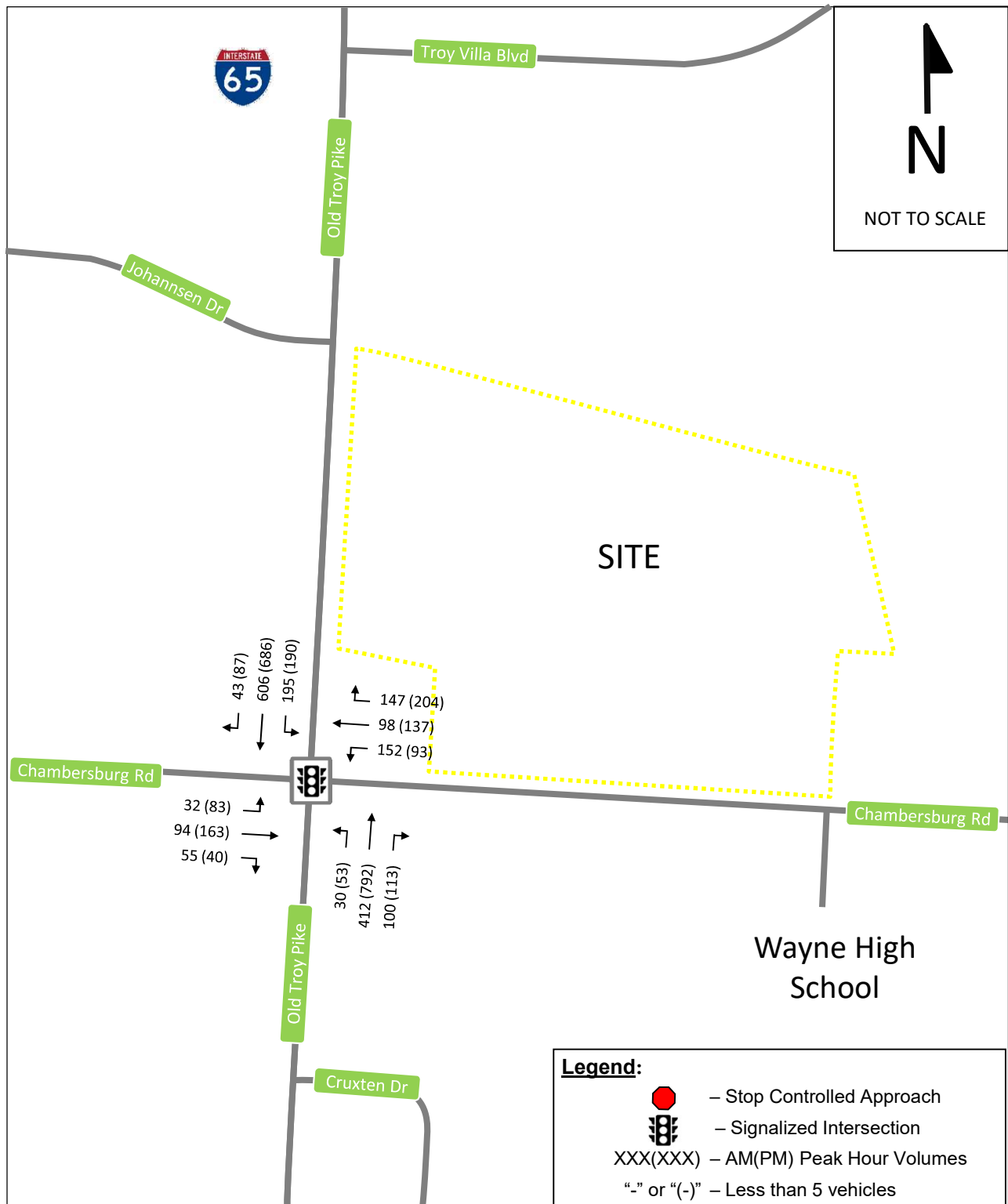
Interstate 70 and the Old Troy Pike interchange is over a mile north of the site, providing regional connectivity to Columbus (east) and Indianapolis (west). The subject site will be primarily served by Old Troy Pike and Chambersburg Road. General descriptions of these roadways are summarized below.

Old Troy Pike is a north-south arterial road located immediately west of the proposed site. Old Troy Pike provides two lanes of travel in each direction with a continuous center left turn lane. Old Troy Pike has a dedicated left-turn lane, thru lane, and shared thru and right-turn lane on both the northbound and southbound approaches to the Chambersburg Road intersection. The posted speed limit is 35 mph on Old Troy Pike, which is defined as a principal arterial road per the Ohio Department of Transportation (ODOT) functional classification map for Montgomery County.

Chambersburg Road is an east-west street located along the southern boundary of the proposed site. Chambersburg Road provides a single lane of travel in each direction with a continuous center left turn lane east of Old Troy Pike. The eastbound approach at the Old Troy Pike intersection has a short protected left turn lane and a shared thru/right turn lane. The westbound approach has a dedicated left turn, thru, and right turn lanes on Chambersburg Road. The posted speed limit is 35 mph on Chambersburg Road, which is defined as a minor arterial road per the ODOT's functional classification map for Montgomery County.

Existing Traffic Volumes

The City of Huber Heights provided traffic count data for use in this traffic study. This data was collected on Thursday, March 22, 2018 and contained turning movement counts for the morning (7:15-8:15 AM) and evening (4:30-5:30 PM) peak hours, coinciding with the anticipated peak hours of traffic activity on the adjacent roadways and the proposed residential development. Existing peak hour vehicle traffic volumes are presented in **Figure 2**.



Background Traffic Growth

Area background traffic was developed with consideration for regional traffic growth over time. In order to estimate the growth in the ambient levels of traffic in the study area, an annual growth rate was applied to existing traffic volumes in the study area.

It is anticipated that the development will be fully occupied by 2023; therefore Year 2023 was used as the analysis horizon for the future condition analysis. Based on a review of historic average annual daily traffic (AADT) volumes on Old Troy Pike (increasing over time) and Chambersburg Road (decreasing over time), a conservative overall annual growth rate of 1.5 percent was assumed and applied for a period of five years (Year 2018 to Year 2023) to the existing volumes in the study area in order to estimate an increase in future background traffic unrelated to the development or changes in traffic patterns. Projected Year 2023 background peak hour vehicle traffic volumes are presented in **Figure 3**.

Background Traffic Adjustment

The Union at Chambersburg development plans to use the bank's existing access drive along Old Troy Pike. Additionally, the bank has another access drive approximately 200 feet east of Old Troy Pike along the north side of Chambersburg Road. The bank's traffic volumes are reflected in the traffic counts at the Old Troy Pike/Chambersburg Road intersection, but volumes at the site access driveways are not available. In order to estimate the number of trips generated by the bank at the existing access driveways, data published in the Institution of Transportation Engineers' (ITE) Trip Generation, Tenth Edition was referenced. Trip generation rates for a Drive-In Bank, similar to the existing Key Bank, are shown in **Table 1**. **Table 2** shows the calculated daily trips and peak hour volumes estimated for this bank.

Table 1: ITE Trip Generation Data for the Existing Bank

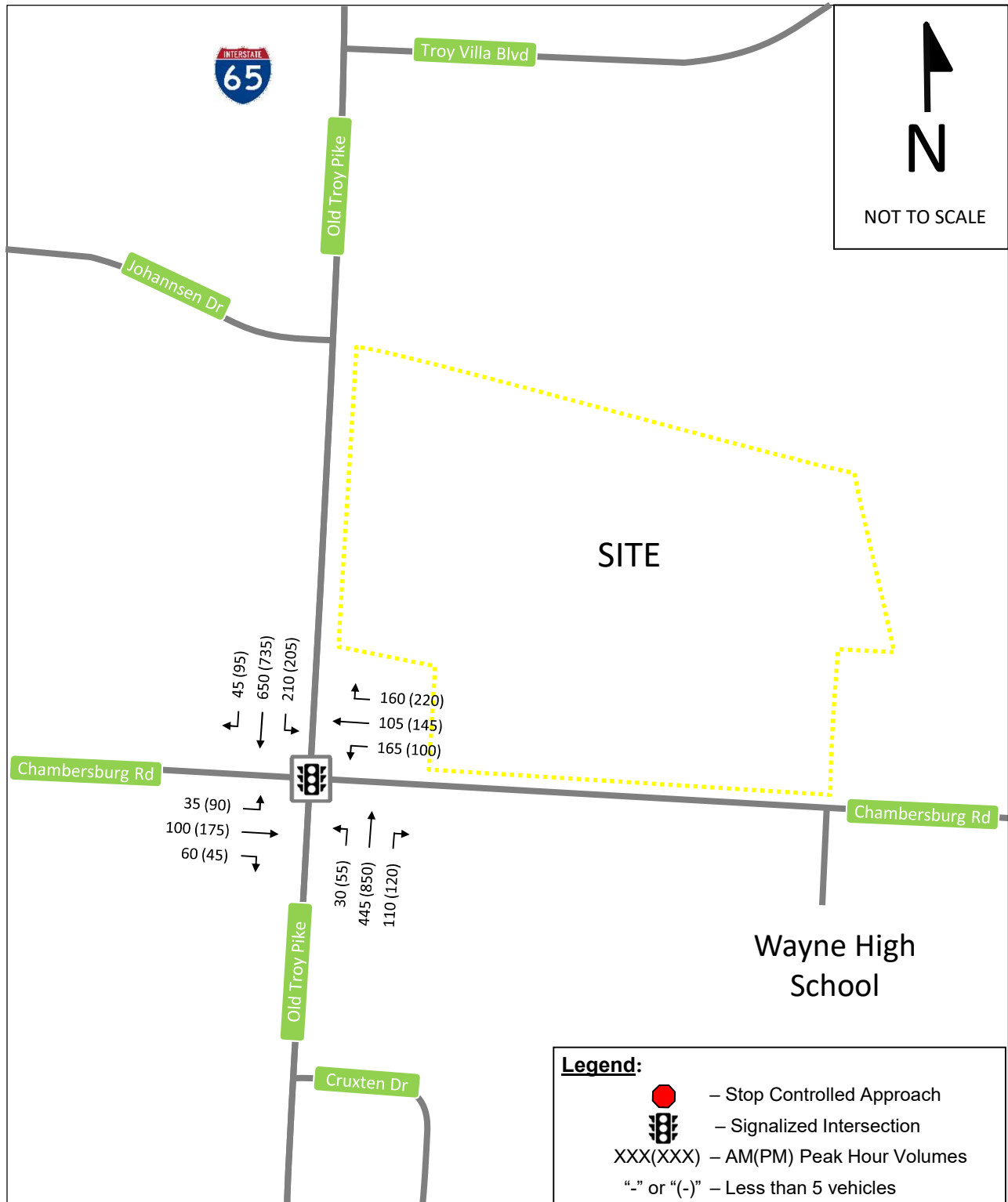
ITE Land Use	Unit	Weekday		
		Daily	AM Peak Hour	PM Peak Hour
Drive-in Bank (LUC 912))	Per 1,000 SF of GFA	100.03 Avg. Trips/Unit 50% in / 50% out	9.50 Avg. Trips/Unit 58% in / 42% out	20.45 Avg. Trips/Unit 50% in / 50% out

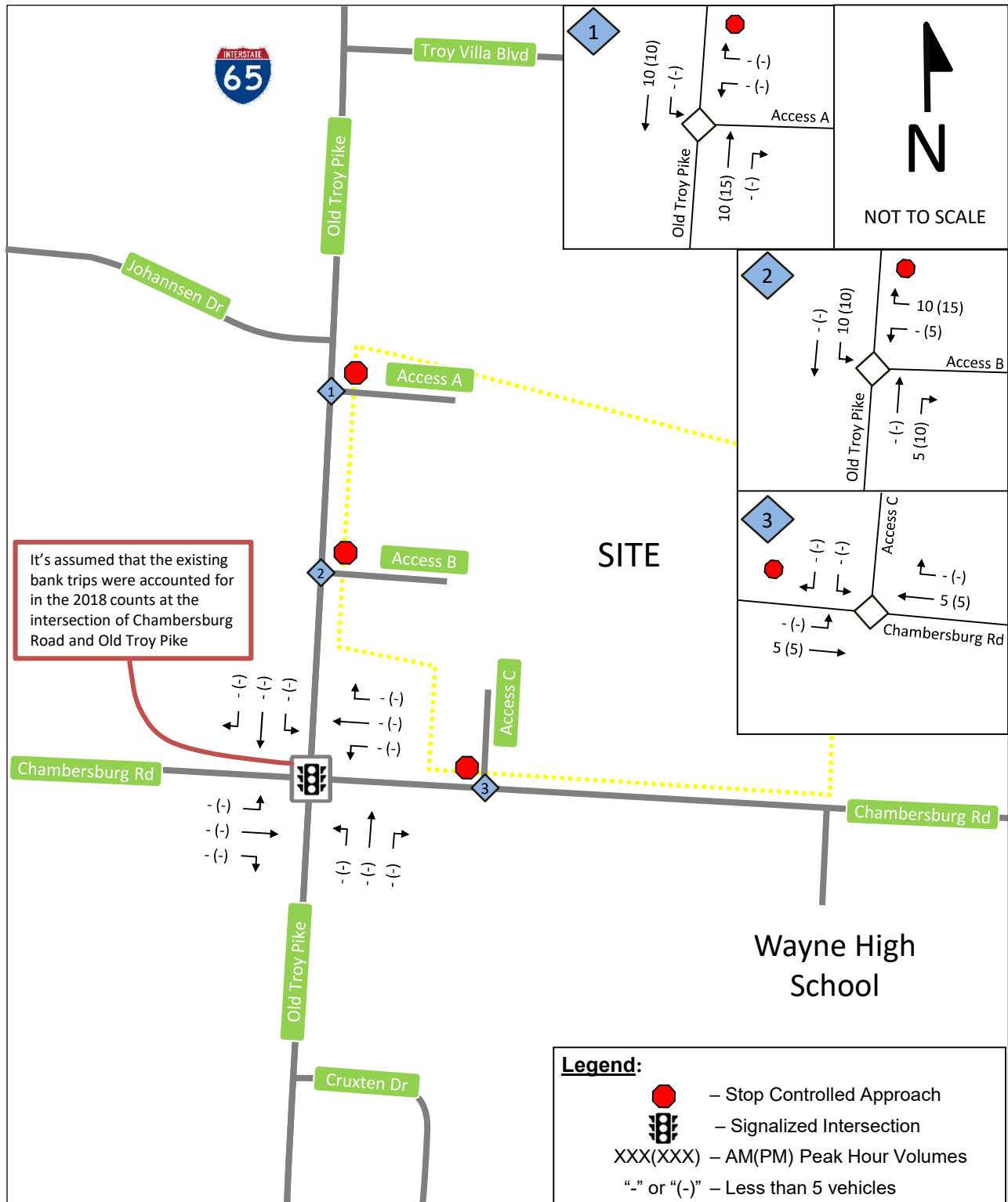
Table 2: Existing Bank Trip Generation

Land Use	Size	Weekday						
		Daily	AM Peak			PM Peak		
			In	Out	Total	In	Out	Total
Drive-in Bank (LUC 912)	~4,000 SF	400	25	15	20	40	40	80

Assuming half of the bank trips will use Access B on Old Troy Pike and the other half will use the existing access on Chambersburg Road, the estimated peak hour generated trips shown in Table 2 were assigned to the network. The bank trip adjustments to the peak hour turning movement

projections in Year 2023 are shown in **Figure 4**. It should be noted that no adjustments were applied at the signalized intersection of Old Troy Pike and Chambersburg Road as these trips are already accounted for in the existing volumes collected in 2018.





DEVELOPMENT CHARACTERISTICS

This section of the report outlines key characteristics for the proposed multifamily development and estimates the site's trip generation and distribution on the study area street system during peak hours.

Development Plan

The proposed development is a multifamily residential community on a 19.5-acre property. Access to the site is planned via two access drives on Old Troy Pike and an additional access drive on Chambersburg Road. The proposed site plan showing the access location and site layout is provided in the Appendix. The site is assumed to be built and occupied by 2023, which is the analysis horizon for this traffic study.

The proposed multifamily residential community will be comprised of the following characteristics:

Residential Units

Total Dwelling Units: 216 Dwelling Units (6 Buildings & 36 Units/Building)

Parking

Total Vehicle Parking: 322 Spaces (*incl. 14 ADA spaces*)

Trip Generation

In order to calculate trips generated by the proposed development plan, data was referenced from ITE's Trip Generation, Tenth Edition. Trip generation rates for the ITE Land Use Code (LUC) corresponding to the proposed use are shown in **Table 3**. Per these assumptions, site-generated traffic projections are presented in **Table 4**.

Table 3: ITE Trip Generation Data

ITE Land Use	Unit	Weekday		
		Daily	AM Peak Hour	PM Peak Hour
Multifamily Housing (Mid-Rise) (LUC 221)	Per Dwelling Unit	5.44 Avg. Trips/Unit 50% in / 50% out	0.36 Avg. Trips/Unit 26% in / 74% out	0.44 Avg. Trips/Unit 61% in / 39% out

Table 4: Site-Generated Traffic Projections

Land Use	Size	Weekday						
		Daily	AM Peak			PM Peak		
			In	Out	Total	In	Out	Total
Multifamily Housing (Mid-Rise)	216 Units	1,175	20	60	80	50	45	95

The Union at Chambersburg multifamily development is estimated to generate 1,175 daily weekday trips. In the morning peak hour, an estimated 80 trips will arrive at or depart the site, while the afternoon is expected to generate 95 trips total.

Directional Distribution

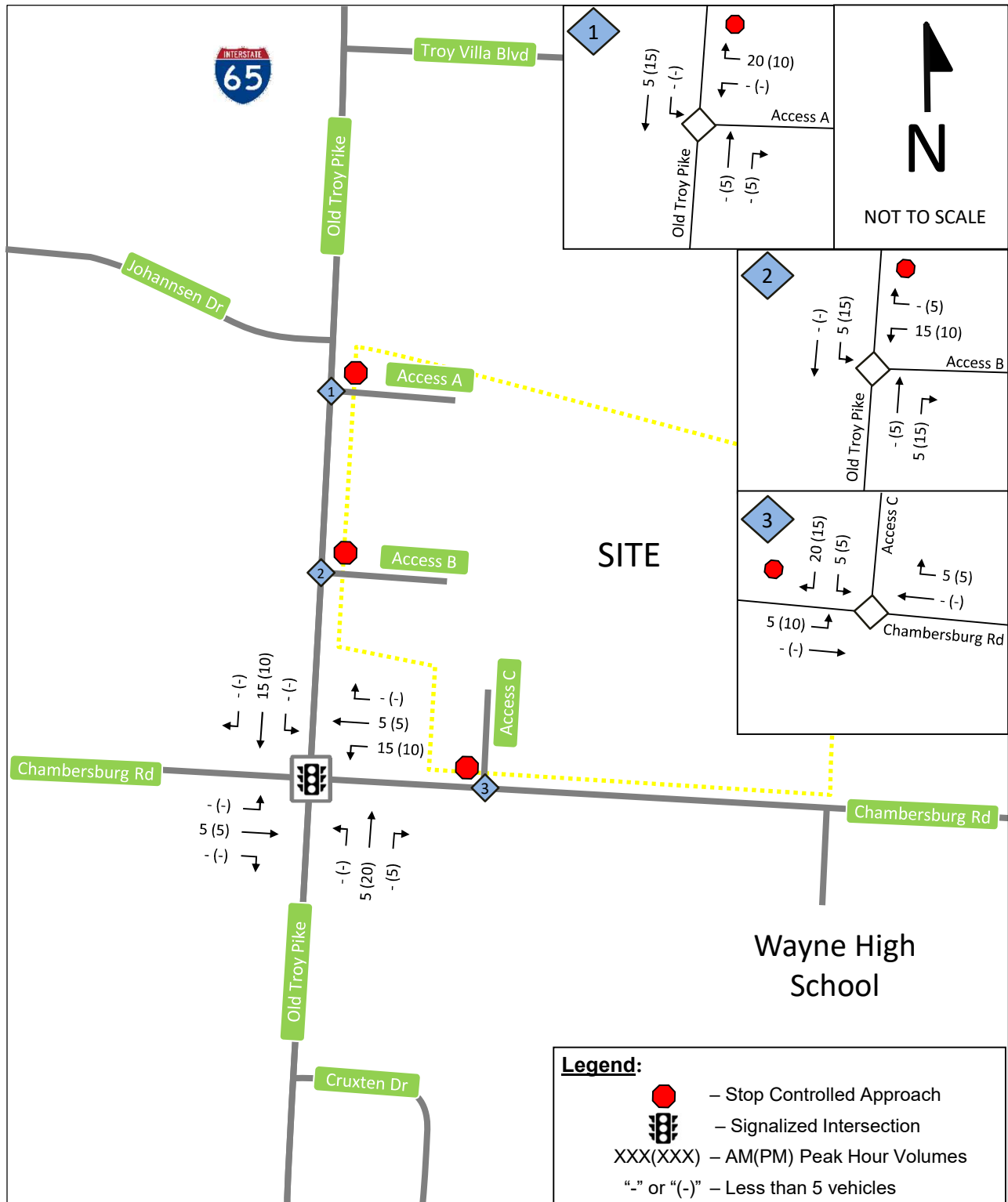
The estimated distribution of site-generated traffic on the surrounding roadway network as it approaches and departs the site is a function of several variables, such as site access locations, characteristics of the street system, the ease with which motorists can travel over various sections of the street system, key origins and destinations, and prevailing traffic volumes/patterns. As such, the directional distribution shown in **Table 5** presents the anticipated directional distribution from which vehicles will travel to and from the site.

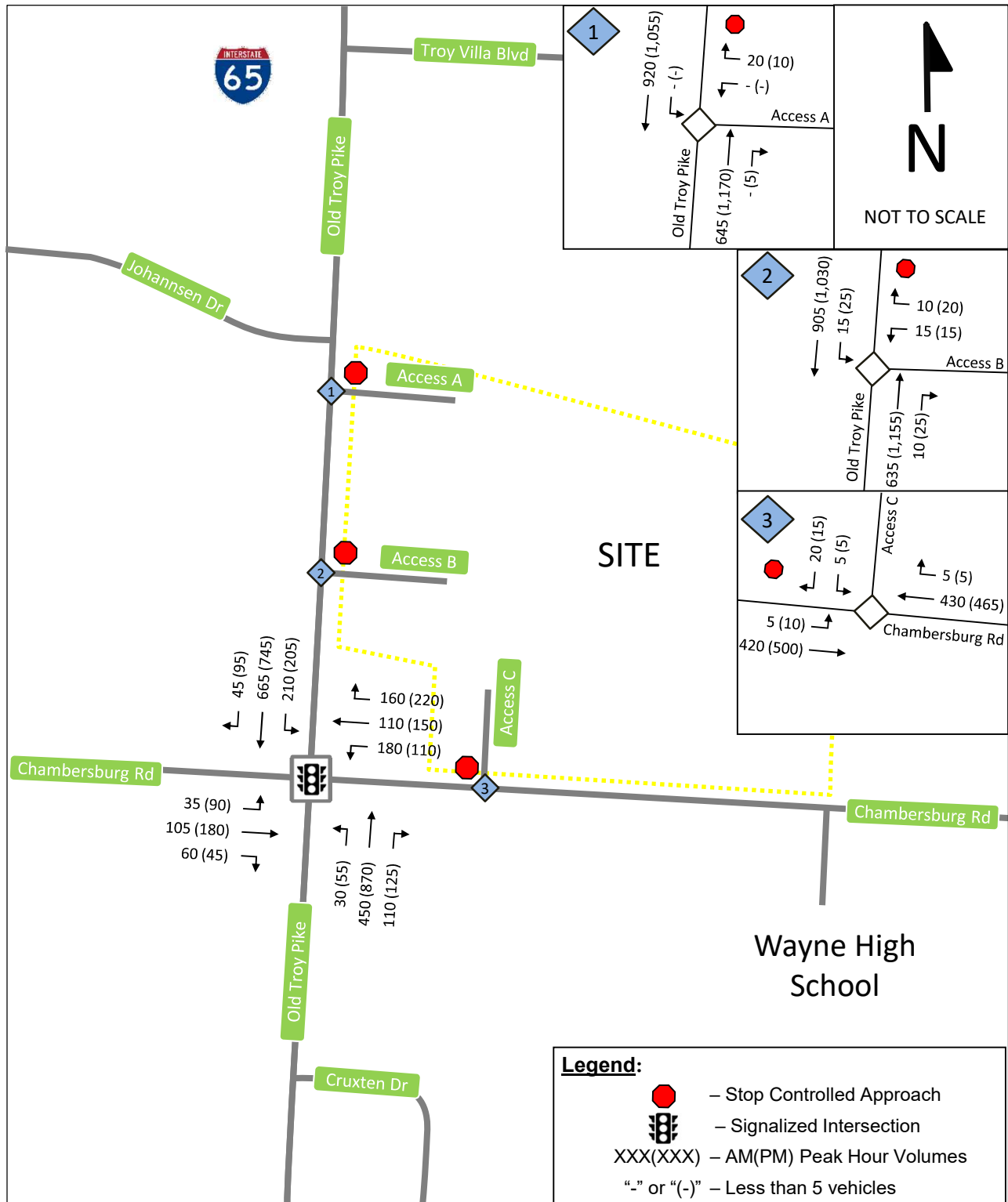
Table 5: Estimated Trip Distribution

Traveling to/from	Estimated Trip Distribution
North via Old Troy Pike	35%
South via Old Troy Pike	45%
East via Chambersburg Road	10%
West via Chambersburg Road	10%
Total	100%

Site Traffic Assignment

The Union at Chambersburg development proposes three full access driveways to serve the site. These are identified as Access A and Access B (the existing northern and southern, respectively, bank access drives) on Old Troy Pike and Access C on Chambersburg Road. Based on the preceding directional distribution assumptions in conjunction with the estimated trip generation, the site trip assignments across the study area network are illustrated on **Figure 5**. The future traffic projections for Year 2023, including this development plan, is shown on **Figure 6**.





ANALYSES

This section of the report provides an overview of the capacity analysis conducted for key intersections in the site vicinity under existing and future traffic conditions, evaluates site access conditions, and highlights recommended improvements to address identified issues.

Capacity Analysis

Per INDOT standards, Synchro capacity software was used to evaluate existing and future operational conditions at the study intersections during the weekday peak hours. The capacity of an intersection quantifies its ability to accommodate traffic volumes and is expressed in terms of level of service (LOS), measured in average delay per vehicle. LOS grades range from A to F, with LOS A as the highest (best traffic flow and least delay), LOS E as saturated or at-capacity conditions, and LOS F as the lowest (oversaturated conditions). For the capacity analysis criteria, most review agencies consider acceptable conditions at LOS D or better.

The LOS grades shown below, which are provided in the Transportation Research Board's Highway Capacity Manual (HCM), quantify, and categorize the driver's discomfort, frustration, fuel consumption, and travel times experienced as a result of intersection control and the resulting traffic queuing. A detailed description of each LOS rating can be found in **Table 6**.

Table 6: Level of Service Grading Descriptions¹

Level of Service	Description ¹
A	Minimal control delay: traffic operates at primarily free-flow conditions; unimpeded movement within traffic stream.
B	Minor control delay at signalized intersections; traffic operates at a fairly unimpeded level with slightly restricted movement within traffic stream.
C	Moderate control delay; movement within traffic stream more restricted than at LOS B; formation of queues contributes to lower average travel speeds.
D	Considerable control delay that may be substantially increased by small increases in flow; average travel speeds continue to decrease.
E	High control delay; average travel speed no more than 33 percent of free flow speed.
F	Extremely high control delay: extensive queuing and high volumes create exceedingly restricted traffic flow.

¹Highway Capacity Manual, 6th Edition.

The range of control delay for each rating (as detailed in the HCM) is shown in **Table 7**. Because signalized intersections are expected to carry a larger volume of vehicles and stopping is required during red time, note that higher delays are tolerated for the corresponding LOS ratings.

Table 7: Level of Service Grading Criteria¹

Level of Service	Average Control Delay (s/veh) at:	
	Unsignalized Intersections	Signalized Intersections
A	0 – 10	0 – 10
B	> 10 – 15	> 10 – 20
C	> 15 – 25	> 20 – 35
D	> 25 – 35	> 35 – 55
E	> 35 – 50	> 55 – 80
F ²	> 50	> 80

¹Highway Capacity Manual, 6th Edition

²All movements with a Volume to Capacity (v/c) ratio greater than 1 receive a rating of LOS F.

Synchro software was utilized to evaluate capacity of the study intersections (reported by approach and critical movements) for the weekday morning and evening peak hours. **Table 8** summarizes the capacity analysis results for existing traffic conditions and the future Year 2023 scenario without the proposed development (no-build). **Tables 9** summarizes the capacity analysis for the future Year 2023 scenario with the proposed development (build). Additional capacity analysis details for the study intersections are provided using HCM 6th Edition reports included in the Appendix.

Table 8: Intersection Capacity Analysis for Existing Conditions and Future Year 2023 No-Build Conditions

Intersection	Existing Conditions				Future 2023 No-Build Conditions			
	AM Peak		PM Peak		AM Peak		PM Peak	
	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS
<i>Old Troy Pike / Chambersburg Rd</i> ★								
Eastbound	63	E	63	E	63	E	64	E
Westbound	59	E ¹	51	D	61	E ¹	52	D ¹
Northbound	44	D	46	D	46	D	49	D
Southbound	34	C	32	C	36	D	33	C
<i>Overall</i>	<i>45</i>	<i>D</i>	<i>44</i>	<i>D</i>	<i>46</i>	<i>D</i>	<i>46</i>	<i>D</i>

★ – Signalized Intersection

¹Left-turn movement operates at LOS F.

Table 9: Intersection Capacity Analysis for Future Year 2023 Build Conditions

Intersection	Future (2023) Build Conditions			
	AM Peak		PM Peak	
	Delay (s/veh)	LOS	Delay (s/veh)	LOS
<i>Old Troy Pike / Chambersburg Rd</i> ★				
Eastbound	63	E	64	E
Westbound	64	E ¹	54	D ¹
Northbound	46	D	51	D
Southbound	36	D	34	C
Overall	47	D	47	D
<i>Old Troy Pike / Access A</i> △				
Westbound	11	B	15	C
Southbound (Left)	9	A	12	B
<i>Old Troy Pike / Access B</i> △				
Westbound	15	B	22	C
Southbound (Left)	9	A	12	B
<i>Chambersburg Road / Access C</i> △				
Eastbound (Left)	8	A	9	A
Southbound	11	B	11	B

★ – Signalized Intersection

△ – Minor-Leg Stop-Controlled Intersection

¹ Left-turn movement operates at LOS F.

Capacity Analysis Results

Existing Conditions

Under existing conditions, all approaches at the study intersections operate at LOS E or better in both peak periods. The Old Troy Pike approaches are expected to perform at an LOS D or better while the Chambersburg Road approaches are expected to perform at LOS E. The westbound left turn lane operates at an LOS F during the weekday morning peak hour. The 95th percentile queues for the westbound left turn lane and southbound left turn lanes exceed the available turn lane storages in the AM peak hour. The 95th percentile queues for the eastbound, northbound, and southbound left-turn lanes exceed the available turn lane storages in the PM peak hour.

Future Conditions

Under projected future conditions without the Union at Chambersburg multifamily development, traffic conditions for the study intersection of Old Troy Pike and Chambersburg Road are expected to operate at a similar level of service as the existing conditions. The overall intersection delay is expected to increase by 1 second in the AM peak hour and 2 second in the PM peak hour, but still operate at an overall LOS D in both peak hours.

Under projected future conditions with the Union at Chambersburg multifamily development, traffic conditions for the study intersection of Old Troy Pike and Chambersburg Road are expected to operate at a similar level of service as the future Year 2023 No-Build condition. The overall

intersection is still expected to operate at an LOS D in both peak hours with additional incremental delay to each approach. The 95th percentile queues for the westbound left-turn lane also exceed the available turn lane storage in both peak hours. With the additional trips leaving Access C, the westbound left-turn lane queue increases by 1.3 vehicles in the AM and 0.9 vehicles in the PM. All other queues increase by less than one vehicle. It should be noted that the 95th percentile queue for the westbound left-turn lane is exceeded in the AM peak hour in the existing and future No-Build conditions.

In the future Year 2023 build conditions, all stop-controlled approaches at every site access drive are expected to operate at an LOS C or better.

Queuing Analysis

SimTraffic software was used to analyze the queuing distances in the future Year 2023 Build Conditions to see if the westbound queues on Chambersburg Road and the southbound queues on Old Troy Pike will block the nearest site access locations.

In the AM peak hour, the analysis estimated that the 95th percentile queue on Chambersburg Road westbound approach at Old Troy Pike is 244 feet for the westbound left-turn lane and 204 feet for the westbound through lane. Although the westbound left-turn lane queue exceeds the available storage length, this queue does not block Access C and has a negligible impact on the westbound through lane. The estimated 95th percentile queue on Old Troy Pike for the southbound left turn lane is 202 feet in AM peak hour. The protected southbound left turn lane has a storage length of 130 feet and is blocked 9% of the time during the peak hour since the southbound thru lanes queue is 228 feet. While this southbound queue does not block Access B as there's approximately 380 feet available, an extension of the marked protected left turn lane should be considered to permit more vehicles to stack in the center left turn lane.

During the PM peak hour, the queuing analysis reflected similar results as the AM peak hour on Old Troy Pike. The southbound through lanes have a 95th percentile queue of 283 feet while the southbound left turn lane is 250 feet. The southbound left turn lane is blocked 20% of the time during the PM peak hour. The westbound queues on Chambersburg Road in the PM peak hour are similar to the AM peak hour. The left turn lane's 95th percentile queue is just 180 feet while the through lane is estimated at 218 feet. In the PM peak hour, the westbound left turn lane storage is block just 2% of the time from thru lane queues. There is approximately 100 feet between the end of the westbound queues and the intersection with Access C.

SUMMARY

The proposed multifamily development plan for the Union at Chambersburg includes 216 dwelling units on a 19.5-acre site generally located north of Chambersburg Road and east of Old Troy Pike in Huber Heights, Ohio. Access to the proposed development would be provided via three access drives. Two access drives (Access A & B) are proposed along the east side of Old Troy Pike and an additional access drive (Access C) is planned along the north side of Chambersburg Road.

Based on a comparative analysis of the projected Year 2023 conditions with and without the proposed development, the changes in the average vehicle delay and levels of service are minimal, thus the proposed development is not expected to cause significant impact on area traffic operation. However, the design elements outlined below are recommended to address queuing issues:

- Old Troy Pike / Access A
 - No turn lane improvements are warranted on Old Troy Pike at this intersection.
 - Due to close proximity to the offset intersection with Johannsen Drive, this access is recommended to be limited to right-in/right-out movements only. All left-in and left-out movements from Old Troy Pike can be accommodated at Access B
- Old Troy Pike / Access B
 - No turn lane improvements are warranted on Old Troy Pike at this intersection.
 - The outbound lane on Access B is recommended to provide a single lane with shared left- and right-turn movements.
- Old Troy Pike / Chambersburg Road
 - The southbound left-turn lane is recommended, through re-striping, to be lengthened by 120 feet for a total storage length of 250 feet. This extended turn lane length would address existing queuing issues regardless of the proposed development.
- Chambersburg Road / Access C
 - No turn lane improvements are warranted on Chambersburg Road at this intersection.
 - The outbound lane on Access C is recommended to provide a single lane with shared left- and right-turn movements.

Regardless of the final configuration of the intersection geometrics, several additional items should be taken into consideration when preparing site and roadway improvement plans for the subject development. While vertical sight distance appears to be adequate and unobstructed within the study area, care should be taken with landscaping, signage, and monumentation at the site access locations to ensure that adequate horizontal sight distance is provided from the new stop bars. If alterations to the site plan or land use should occur, changes to the analysis provided within this traffic impact study may be needed.

TECHNICAL APPENDIX

Proposed Site Plan

Existing (2018) Count Data

Existing (2018) Capacity Reports

Future (2023) No-Build Capacity Reports

Future (2023) Build Capacity Reports

Future (2023) Build Queuing Report from SimTraffic

PROPOSED SITE PLAN

EXISTING (2018) COUNT DATA

Provided by the City of Huber Heights from March 22, 2018

Old Troy Pike & Chamberburg Rd.
Specific Hour Data

TEC Engineering, Inc.
Turning Movement Counts
PH: 937-435-8828

Thursday
3/22/2018

	Chambersburg Rd. Eastbound					Chambersburg Rd. Westbound					Old Troy Pike Northbound					Old Troy Pike Southbound					
Start Time	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Int. Total
7:15 AM	8	26	14	1	48	56	23	29	2	108	5	100	29	2	134	56	175	10	0	241	531
7:30 AM	5	30	9	0	44	46	18	43	1	107	10	132	44	0	186	80	174	12	0	266	603
7:45 AM	14	22	20	1	56	34	37	53	0	124	6	104	18	0	128	39	120	12	0	171	479
8:00 AM	5	16	12	0	33	16	20	22	0	58	9	76	9	0	94	20	137	9	0	166	351
Total	32	94	55	2	181	152	98	147	3	397	30	412	100	2	542	195	606	43	0	844	1964
PHF	0.57143	0.78333	0.6875		0.80804	0.67857	0.66216	0.6934		0.8004	0.75	0.7803	0.56818		0.72849	0.60938	0.86571	0.89583		0.79323	0.81426
HV%	6.3%	0.0%	7.3%		3.3%	5.3%	0.0%	4.8%		3.8%	3.3%	3.6%	10.0%		4.8%	0.5%	3.3%	0.0%		2.5%	3.5%
12:00 PM	8	31	8	0	47	22	28	25	0	75	4	102	21	0	127	27	123	10	0	160	409
12:15 PM	4	20	6	0	30	13	24	31	0	68	8	107	20	0	135	28	97	9	0	134	367
12:30 PM	9	25	4	1	38	26	29	53	0	108	8	104	16	1	128	33	125	10	0	168	442
12:45 PM	9	12	7	0	28	15	19	31	0	65	5	107	22	0	134	39	101	10	0	150	377
Total	30	88	25	1	143	76	100	140	0	316	25	420	79	1	524	127	446	39	0	612	1595
PHF	0.83333	0.70968	0.78125		0.76064	0.73077	0.86207	0.66038		0.73148	0.78125	0.98131	0.89773		0.97037	0.8141	0.892	0.975		0.91071	0.90215
HV%	0.0%	1.1%	0.0%		0.7%	5.3%	2.0%	0.7%		2.2%	8.0%	2.9%	3.8%		3.2%	0.0%	2.2%	10.3%		2.3%	2.4%
4:30 PM	19	41	9	0	69	31	34	50	2	115	12	183	25	2	220	48	182	25	1	255	659
4:45 PM	20	36	9	0	65	17	33	39	0	89	9	203	27	0	239	47	194	17	0	258	651
5:00 PM	18	44	10	0	72	24	38	59	1	121	15	193	31	0	239	40	151	18	0	209	641
5:15 PM	26	42	12	0	80	21	32	56	0	109	17	213	30	2	260	55	159	27	0	241	690
Total	83	163	40	0	286	93	137	204	3	434	53	792	113	4	958	190	686	87	1	963	2641
PHF	0.79808	0.92614	0.83333		0.89375	0.75	0.90132	0.86441		0.89669	0.77941	0.92958	0.91129		0.92115	0.86364	0.88402	0.80556		0.93314	0.95688
HV%	0.0%	0.0%	2.5%		0.3%	4.3%	0.0%	0.5%		1.2%	0.0%	1.3%	1.8%		1.3%	0.0%	1.0%	0.0%		0.7%	0.9%
5:30 PM	23	34	9	0	66	25	40	61	1	126	17	197	26	0	240	42	181	10	0	233	665
5:45 PM	22	34	7	0	63	29	30	52	0	111	13	165	37	0	215	68	170	12	0	250	639
6:00 PM	21	27	9	1	57	33	27	43	0	103	15	145	28	0	188	33	153	22	0	208	556
6:15 PM	16	22	12	0	50	17	13	54	0	84	9	145	22	0	176	53	128	21	0	202	512
Total	82	117	37	1	236	104	110	210	1	424	54	652	113	0	819	196	632	65	0	893	2372
PHF	0.8913	0.86029	0.77083		0.89394	0.78788	0.6875	0.86066		0.84127	0.79412	0.82741	0.76351		0.85313	0.72059	0.87293	0.73864		0.893	0.89173
HV%	0.0%	0.0%	0.0%		0.0%	3.8%	0.0%	0.0%		0.9%	0.0%	0.9%	3.5%		1.2%	0.5%	0.8%	0.0%		0.7%	0.8%
Total																					
PHF																					
HV%																					
Grand Total	227	462	157	4	846	425	445	701	7	1571	162	2276	405	7	2843	708	2370	234	1	3312	8572
Approach %	26.8%	54.6%	18.6%	-	-	27.1%	28.3%	44.6%	-	-	5.7%	80.1%	14.2%	-	-	21.4%	71.6%	7.1%	-	-	-
Total %	2.6%	5.4%	1.8%	-	9.9%	5.0%	5.2%	8.2%	-	18.3%	1.9%	26.6%	4.7%	-	33.2%	8.3%	27.6%	2.7%	-	38.6%	-
Lights	225	461	152	-	838	405	443	692	-	1540	159	2233	386	-	2778	706	2328	230	-	3264	8420
Lights %	26.6%	54.5%	18.0%	-	99.1%	25.8%	28.2%	44.0%	-	98.0%	5.6%	78.5%	13.6%	-	97.7%	21.3%	70.3%	6.9%	-	98.6%	98.2%
Other Vehicles	2	1	5	-	8	20	2	9	-	31	3	43	19	-	65	2	42	4	-	48	152
Other Vehicles %	0.2%	0.1%	0.6%	-	0.9%	1.3%	0.1%	0.6%	-	2.0%	0.1%	1.5%	0.7%	-	2.3%	0.1%	1.3%	0.1%	-	1.4%	1.8%
Pedestrians	-	-	-	4	-	-	-	-	7	-	-	-	-	7	-	-	-	-	1	-	-
Pedestrians %	-	-	-	21.1%	-	-	-	-	36.8%	-	-	-	-	36.8%	-	-	-	-	5.3%	-	-

EXISTING (2018) CAPACITY REPORTS
























Weekday Morning Peak Hour

Weekday Evening Peak Hour

HCM 6th Signalized Intersection Summary

100: Old Troy Pike & Chambersburg Road
























10/20/2021

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	32	94	55	152	98	147	30	412	100	195	606	43
Future Volume (veh/h)	32	94	55	152	98	147	30	412	100	195	606	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.99	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1811	1900	1796	1826	1900	1826	1856	1841	1752	1885	1856	1900
Adj Flow Rate, veh/h	40	116	68	188	121	181	37	509	123	241	748	53
Peak Hour Factor	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81
Percent Heavy Veh, %	6	0	7	5	0	5	3	4	10	1	3	0
Cap, veh/h	294	147	86	212	187	635	548	876	211	730	1333	94
Arrive On Green	0.13	0.13	0.13	0.09	0.10	0.10	0.23	0.31	0.31	0.31	0.40	0.40
Sat Flow, veh/h	1725	1121	657	1739	1900	1533	1767	2794	672	1795	3339	237
Grp Volume(v), veh/h	40	0	184	188	121	181	37	318	314	241	395	406
Grp Sat Flow(s),veh/h/ln	1725	0	1778	1739	1900	1533	1767	1749	1717	1795	1763	1813
Q Serve(g_s), s	0.0	0.0	14.0	10.8	8.6	0.0	0.0	21.3	21.5	0.0	24.3	24.3
Cycle Q Clear(g_c), s	0.0	0.0	14.0	10.8	8.6	0.0	0.0	21.3	21.5	0.0	24.3	24.3
Prop In Lane	1.00		0.37	1.00		1.00	1.00		0.39	1.00		0.13
Lane Grp Cap(c), veh/h	294	0	233	212	187	635	548	548	538	730	704	724
V/C Ratio(X)	0.14	0.00	0.79	0.89	0.65	0.29	0.07	0.58	0.58	0.33	0.56	0.56
Avail Cap(c_a), veh/h	294	0	431	258	542	921	548	548	538	730	704	724
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	52.3	0.0	59.0	61.1	60.8	27.5	29.6	40.3	40.4	28.1	32.5	32.6
Incr Delay (d2), s/veh	0.2	0.0	5.9	25.5	3.8	0.2	0.1	4.4	4.6	0.3	3.2	3.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	2.3	0.0	10.9	12.7	7.7	7.4	1.5	15.0	14.9	9.7	16.3	16.7
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	52.5	0.0	64.9	86.6	64.5	27.7	29.7	44.7	45.0	28.4	35.8	35.7
LnGrp LOS	D	A	E	F	E	C	C	D	D	C	D	D
Approach Vol, veh/h	224		490				669		1042			
Approach Delay, s/veh	62.7		59.4				44.0		34.0			
Approach LOS	E		E				D		C			
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	37.2	61.0	18.3	23.4	49.2	49.0	22.9	18.9				
Change Period (Y+Rc), s	5.4	5.1	5.4	5.1	5.4	5.1	5.4	5.1				
Max Green Setting (Gmax), s	12.6	55.9	16.6	33.9	24.6	43.9	10.6	39.9				
Max Q Clear Time (g_c+l1), s	2.0	26.3	12.8	16.0	2.0	23.5	2.0	10.6				
Green Ext Time (p_c), s	0.0	5.4	0.2	0.9	0.7	3.8	0.0	1.3				
Intersection Summary												
HCM 6th Ctrl Delay	44.6											
HCM 6th LOS	D											

HCM 6th Signalized Intersection Summary

100: Old Troy Pike & Chambersburg Road

10/20/2021

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	83	163	40	93	137	204	53	792	113	190	686	87
Future Volume (veh/h)	83	163	40	93	137	204	53	792	113	190	686	87
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.99	1.00		0.99	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1900	1900	1856	1841	1900	1885	1900	1885	1870	1900	1885	1900
Adj Flow Rate, veh/h	93	183	45	103	152	227	58	861	123	204	738	94
Peak Hour Factor	0.89	0.89	0.89	0.90	0.90	0.90	0.92	0.92	0.92	0.93	0.93	0.93
Percent Heavy Veh, %	0	0	3	4	0	1	0	1	2	0	1	0
Cap, veh/h	227	218	54	137	209	637	576	1143	163	639	1390	177
Arrive On Green	0.09	0.15	0.15	0.05	0.11	0.11	0.22	0.36	0.36	0.29	0.44	0.44
Sat Flow, veh/h	1810	1473	362	1753	1900	1585	1810	3143	449	1810	3195	407
Grp Volume(v), veh/h	93	0	228	103	152	227	58	491	493	204	413	419
Grp Sat Flow(s),veh/h/ln	1810	0	1835	1753	1900	1585	1810	1791	1801	1810	1791	1811
Q Serve(g_s), s	1.2	0.0	16.9	3.9	10.8	0.0	0.0	33.6	33.6	2.6	23.7	23.8
Cycle Q Clear(g_c), s	1.2	0.0	16.9	3.9	10.8	0.0	0.0	33.6	33.6	2.6	23.7	23.8
Prop In Lane	1.00		0.20	1.00		1.00	1.00		0.25	1.00		0.22
Lane Grp Cap(c), veh/h	227	0	271	137	209	637	576	651	655	639	779	788
V/C Ratio(X)	0.41	0.00	0.84	0.75	0.73	0.36	0.10	0.75	0.75	0.32	0.53	0.53
Avail Cap(c_a), veh/h	227	0	457	184	474	858	576	651	655	639	779	788
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	58.2	0.0	58.1	64.2	60.3	29.4	26.5	39.0	39.0	33.1	29.1	29.1
Incr Delay (d2), s/veh	1.2	0.0	6.9	11.0	4.8	0.3	0.1	7.9	7.8	0.3	2.6	2.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	5.6	0.0	13.1	7.2	9.3	9.2	2.3	22.6	22.7	8.8	16.1	16.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	59.4	0.0	65.0	75.2	65.1	29.8	26.6	46.9	46.9	33.4	31.6	31.6
LnGrp LOS	E	A	E	E	E	C	C	D	D	C	C	C
Approach Vol, veh/h	321		482				1042		1036			
Approach Delay, s/veh	63.3		50.6				45.8		32.0			
Approach LOS	E		D				D		C			
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	35.9	66.0	12.3	25.8	45.9	56.0	17.6	20.5				
Change Period (Y+Rc), s	5.4	5.1	5.4	5.1	5.4	5.1	5.4	5.1				
Max Green Setting (Gmax), s	12.6	60.9	10.6	34.9	22.6	50.9	10.6	34.9				
Max Q Clear Time (g_c+l1), s	2.0	25.8	5.9	18.9	4.6	35.6	3.2	12.8				
Green Ext Time (p_c), s	0.1	5.9	0.1	1.1	0.5	5.6	0.1	1.5				
Intersection Summary												
HCM 6th Ctrl Delay	43.6											
HCM 6th LOS	D											

FUTURE (2023) NO-BUILD CAPACITY REPORTS
























Weekday Morning Peak Hour

Weekday Evening Peak Hour

HCM 6th Signalized Intersection Summary

100: Old Troy Pike & Chambersburg Road























10/20/2021

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	35	100	60	165	105	160	30	445	110	210	650	45
Future Volume (veh/h)	35	100	60	165	105	160	30	445	110	210	650	45
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.99	1.00		0.99	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1811	1900	1796	1826	1900	1826	1856	1841	1752	1885	1856	1900
Adj Flow Rate, veh/h	43	123	74	204	130	198	37	549	136	259	802	56
Peak Hour Factor	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81
Percent Heavy Veh, %	6	0	7	5	0	5	3	4	10	1	3	0
Cap, veh/h	307	149	90	227	187	616	511	870	215	690	1335	93
Arrive On Green	0.14	0.13	0.13	0.10	0.10	0.10	0.22	0.31	0.31	0.30	0.40	0.40
Sat Flow, veh/h	1725	1111	669	1739	1900	1533	1767	2776	685	1795	3343	233
Grp Volume(v), veh/h	43	0	197	204	130	198	37	345	340	259	423	435
Grp Sat Flow(s),veh/h/ln	1725	0	1780	1739	1900	1533	1767	1749	1712	1795	1763	1813
Q Serve(g_s), s	0.0	0.0	15.1	12.0	9.3	0.0	0.0	23.6	23.8	2.8	26.5	26.6
Cycle Q Clear(g_c), s	0.0	0.0	15.1	12.0	9.3	0.0	0.0	23.6	23.8	2.8	26.5	26.6
Prop In Lane	1.00		0.38	1.00		1.00	1.00		0.40	1.00		0.13
Lane Grp Cap(c), veh/h	307	0	239	227	187	616	511	548	537	690	704	724
V/C Ratio(X)	0.14	0.00	0.82	0.90	0.70	0.32	0.07	0.63	0.63	0.38	0.60	0.60
Avail Cap(c_a), veh/h	307	0	431	258	542	902	511	548	537	690	704	724
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	51.6	0.0	59.0	60.4	61.1	29.0	32.5	41.1	41.2	31.0	33.2	33.2
Incr Delay (d2), s/veh	0.2	0.0	7.0	28.7	4.6	0.3	0.1	5.4	5.6	0.3	3.8	3.7
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	2.4	0.0	11.6	13.8	8.3	8.2	1.6	16.4	16.2	10.5	17.7	18.1
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	51.8	0.0	65.9	89.1	65.7	29.3	32.5	46.5	46.7	31.3	37.0	36.9
LnGrp LOS	D	A	E	F	E	C	C	D	D	C	D	D
Approach Vol, veh/h	240		532				722		1117			
Approach Delay, s/veh	63.4		61.1				45.9		35.6			
Approach LOS	E		E				D		D			
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	35.5	61.0	19.6	23.9	47.5	49.0	24.6	18.9				
Change Period (Y+Rc), s	5.4	5.1	5.4	5.1	5.4	5.1	5.4	5.1				
Max Green Setting (Gmax), s	12.6	55.9	16.6	33.9	24.6	43.9	10.6	39.9				
Max Q Clear Time (g_c+I1), s	2.0	28.6	14.0	17.1	4.8	25.8	2.0	11.3				
Green Ext Time (p_c), s	0.0	5.8	0.1	0.9	0.7	4.0	0.0	1.4				
Intersection Summary												
HCM 6th Ctrl Delay	46.2											
HCM 6th LOS	D											

HCM 6th Signalized Intersection Summary

100: Old Troy Pike & Chambersburg Road

10/20/2021

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	90	175	45	100	145	220	55	850	120	205	735	95
Future Volume (veh/h)	90	175	45	100	145	220	55	850	120	205	735	95
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.99	1.00		0.99	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1900	1900	1856	1841	1900	1885	1900	1885	1870	1900	1885	1900
Adj Flow Rate, veh/h	101	197	51	111	161	244	60	924	130	220	790	102
Peak Hour Factor	0.89	0.89	0.89	0.90	0.90	0.90	0.92	0.92	0.92	0.93	0.93	0.93
Percent Heavy Veh, %	0	0	3	4	0	1	0	1	2	0	1	0
Cap, veh/h	238	231	60	138	218	627	539	1145	161	602	1388	179
Arrive On Green	0.09	0.16	0.16	0.05	0.11	0.11	0.21	0.36	0.36	0.28	0.44	0.44
Sat Flow, veh/h	1810	1455	377	1753	1900	1585	1810	3150	443	1810	3190	412
Grp Volume(v), veh/h	101	0	248	111	161	244	60	525	529	220	444	448
Grp Sat Flow(s),veh/h/ln	1810	0	1832	1753	1900	1585	1810	1791	1803	1810	1791	1811
Q Serve(g_s), s	1.8	0.0	18.4	4.6	11.5	0.0	0.0	37.0	37.0	5.4	26.0	26.0
Cycle Q Clear(g_c), s	1.8	0.0	18.4	4.6	11.5	0.0	0.0	37.0	37.0	5.4	26.0	26.0
Prop In Lane	1.00		0.21	1.00		1.00	1.00		0.25	1.00		0.23
Lane Grp Cap(c), veh/h	238	0	290	138	218	627	539	651	655	602	779	788
V/C Ratio(X)	0.42	0.00	0.85	0.80	0.74	0.39	0.11	0.81	0.81	0.37	0.57	0.57
Avail Cap(c_a), veh/h	238	0	457	184	474	840	539	651	655	602	779	788
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.6	0.0	57.3	64.4	59.9	30.4	29.3	40.1	40.1	35.9	29.7	29.7
Incr Delay (d2), s/veh	1.2	0.0	9.1	17.0	4.8	0.4	0.1	10.3	10.3	0.4	3.0	3.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	6.0	0.0	14.2	8.0	9.8	10.0	2.5	24.9	25.0	9.7	17.4	17.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	58.8	0.0	66.4	81.4	64.7	30.8	29.4	50.4	50.4	36.3	32.7	32.7
LnGrp LOS	E	A	E	F	E	C	C	D	D	D	C	C
Approach Vol, veh/h	349			516			1114			1112		
Approach Delay, s/veh	64.2			52.2			49.3			33.4		
Approach LOS	E			D			D			C		
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	34.4	66.0	12.3	27.3	44.4	56.0	18.4	21.2				
Change Period (Y+Rc), s	5.4	5.1	5.4	5.1	5.4	5.1	5.4	5.1				
Max Green Setting (Gmax), s	12.6	60.9	10.6	34.9	22.6	50.9	10.6	34.9				
Max Q Clear Time (g_c+I1), s	2.0	28.0	6.6	20.4	7.4	39.0	3.8	13.5				
Green Ext Time (p_c), s	0.1	6.4	0.1	1.1	0.5	5.2	0.1	1.7				
Intersection Summary												
HCM 6th Ctrl Delay	45.7											
HCM 6th LOS	D											

FUTURE (2023) BUILD CAPACITY REPORTS
























Weekday Morning Peak Hour




Weekday Evening Peak Hour

HCM 6th Signalized Intersection Summary

100: Old Troy Pike & Chambersburg Road

10/20/2021




												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	35	105	60	180	110	160	30	450	110	210	665	45
Future Volume (veh/h)	35	105	60	180	110	160	30	450	110	210	665	45
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.99	1.00		0.99	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1811	1900	1796	1826	1900	1826	1856	1841	1752	1885	1856	1900
Adj Flow Rate, veh/h	43	130	74	222	136	198	37	556	136	259	821	56
Peak Hour Factor	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81
Percent Heavy Veh, %	6	0	7	5	0	5	3	4	10	1	3	0
Cap, veh/h	324	157	89	244	193	600	482	873	213	664	1337	91
Arrive On Green	0.15	0.14	0.14	0.11	0.10	0.10	0.20	0.31	0.31	0.29	0.40	0.40
Sat Flow, veh/h	1725	1137	647	1739	1900	1534	1767	2784	678	1795	3348	228
Grp Volume(v), veh/h	43	0	204	222	136	198	37	349	343	259	432	445
Grp Sat Flow(s),veh/h/ln	1725	0	1784	1739	1900	1534	1767	1749	1713	1795	1763	1814
Q Serve(g_s), s	0.0	0.0	15.6	13.5	9.7	0.0	0.0	23.9	24.1	3.4	27.3	27.3
Cycle Q Clear(g_c), s	0.0	0.0	15.6	13.5	9.7	0.0	0.0	23.9	24.1	3.4	27.3	27.3
Prop In Lane	1.00		0.36	1.00		1.00	1.00		0.40	1.00		0.13
Lane Grp Cap(c), veh/h	324	0	246	244	193	600	482	548	537	664	704	724
V/C Ratio(X)	0.13	0.00	0.83	0.91	0.71	0.33	0.08	0.64	0.64	0.39	0.61	0.61
Avail Cap(c_a), veh/h	324	0	432	258	542	882	482	548	537	664	704	724
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	50.3	0.0	58.7	59.7	60.9	30.0	34.4	41.2	41.3	32.5	33.5	33.5
Incr Delay (d2), s/veh	0.2	0.0	7.0	32.1	4.7	0.3	0.1	5.5	5.7	0.4	4.0	3.9
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	2.4	0.0	12.0	15.1	8.5	8.3	1.7	16.6	16.4	10.7	18.1	18.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	50.5	0.0	65.7	91.9	65.5	30.3	34.5	46.7	47.0	32.8	37.4	37.3
LnGrp LOS	D	A	E	F	E	C	C	D	D	C	D	D
Approach Vol, veh/h	247		556				729		1136			
Approach Delay, s/veh	63.1		63.5				46.2		36.4			
Approach LOS	E		E				D		D			
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	33.6	61.0	20.9	24.4	45.6	49.0	26.1	19.3				
Change Period (Y+Rc), s	5.4	5.1	5.4	5.1	5.4	5.1	5.4	5.1				
Max Green Setting (Gmax), s	12.6	55.9	16.6	33.9	24.6	43.9	10.6	39.9				
Max Q Clear Time (g_c+l1), s	2.0	29.3	15.5	17.6	5.4	26.1	2.0	11.7				
Green Ext Time (p_c), s	0.0	5.9	0.1	1.0	0.7	4.0	0.0	1.4				
Intersection Summary												
HCM 6th Ctrl Delay	47.2											
HCM 6th LOS	D											

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	1	20	645	1	1	920
Future Vol, veh/h	1	20	645	1	1	920
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	22	701	1	1	1000

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1204	351	0	0	702
Stage 1	702	-	-	-	-
Stage 2	502	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	177	645	-	-	891
Stage 1	453	-	-	-	-
Stage 2	573	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	176	645	-	-	891
Mov Cap-2 Maneuver	309	-	-	-	-
Stage 1	453	-	-	-	-
Stage 2	571	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	11.1	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	613	891
HCM Lane V/C Ratio	-	-	0.037	0.001
HCM Control Delay (s)	-	-	11.1	9
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.1	0




Intersection						
Int Delay, s/veh	0.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	15	10	635	10	15	905
Future Vol, veh/h	15	10	635	10	15	905
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	11	690	11	16	984
Major/Minor	Minor1	Major1		Major2		
Conflicting Flow All	1220	351	0	0	701	0
Stage 1	696	-	-	-	-	-
Stage 2	524	-	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22	-
Pot Cap-1 Maneuver	172	645	-	-	892	-
Stage 1	456	-	-	-	-	-
Stage 2	559	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	165	645	-	-	892	-
Mov Cap-2 Maneuver	300	-	-	-	-	-
Stage 1	456	-	-	-	-	-
Stage 2	537	-	-	-	-	-
Approach	WB	NB		SB		
HCM Control Delay, s	15.1	0		0.1		
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1		SBL	SBT	
Capacity (veh/h)	-	-	382	892	-	
HCM Lane V/C Ratio	-	-	0.071	0.018	-	
HCM Control Delay (s)	-	-	15.1	9.1	-	
HCM Lane LOS	-	-	C	A	-	
HCM 95th %tile Q(veh)	-	-	0.2	0.1	-	

HCM 6th TWSC
400: Chambersburg Road & Access C

10/20/2021

Intersection

Int Delay, s/veh 0.4

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	5	420	430	5	5	20
Future Vol, veh/h	5	420	430	5	5	20
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	457	467	5	5	22

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	472	0	937
Stage 1	-	-	470
Stage 2	-	-	467
Critical Hdwy	4.13	-	6.63
Critical Hdwy Stg 1	-	-	5.83
Critical Hdwy Stg 2	-	-	5.43
Follow-up Hdwy	2.219	-	3.519
Pot Cap-1 Maneuver	1088	-	278
Stage 1	-	-	596
Stage 2	-	-	630
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1088	-	276
Mov Cap-2 Maneuver	-	-	404
Stage 1	-	-	592
Stage 2	-	-	630






















Approach	EB	WB	SB
HCM Control Delay, s	0.1	0	10.8
HCM LOS			B




Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1088	-	-	-	650
HCM Lane V/C Ratio	0.005	-	-	-	0.042
HCM Control Delay (s)	8.3	0	-	-	10.8
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

HCM 6th Signalized Intersection Summary

100: Old Troy Pike & Chambersburg Road

10/20/2021

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	90	180	45	110	150	220	55	870	125	205	745	95
Future Volume (veh/h)	90	180	45	110	150	220	55	870	125	205	745	95
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.99	1.00		0.99	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1900	1900	1856	1841	1900	1885	1900	1885	1870	1900	1885	1900
Adj Flow Rate, veh/h	101	202	51	122	167	244	60	946	136	220	801	102
Peak Hour Factor	0.89	0.89	0.89	0.90	0.90	0.90	0.92	0.92	0.92	0.93	0.93	0.93
Percent Heavy Veh, %	0	0	3	4	0	1	0	1	2	0	1	0
Cap, veh/h	245	236	59	145	224	622	524	1142	164	583	1390	177
Arrive On Green	0.10	0.16	0.16	0.05	0.12	0.12	0.20	0.36	0.36	0.27	0.44	0.44
Sat Flow, veh/h	1810	1464	370	1753	1900	1585	1810	3141	451	1810	3195	407
Grp Volume(v), veh/h	101	0	253	122	167	244	60	539	543	220	449	454
Grp Sat Flow(s),veh/h/ln	1810	0	1833	1753	1900	1585	1810	1791	1801	1810	1791	1811
Q Serve(g_s), s	1.7	0.0	18.8	5.5	11.9	0.0	0.0	38.4	38.4	6.1	26.5	26.5
Cycle Q Clear(g_c), s	1.7	0.0	18.8	5.5	11.9	0.0	0.0	38.4	38.4	6.1	26.5	26.5
Prop In Lane	1.00		0.20	1.00		1.00	1.00		0.25	1.00		0.22
Lane Grp Cap(c), veh/h	245	0	295	145	224	622	524	651	655	583	779	788
V/C Ratio(X)	0.41	0.00	0.86	0.84	0.74	0.39	0.11	0.83	0.83	0.38	0.58	0.58
Avail Cap(c_a), veh/h	245	0	457	184	474	830	524	651	655	583	779	788
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.1	0.0	57.2	64.1	59.7	30.7	30.2	40.6	40.6	37.1	29.8	29.8
Incr Delay (d2), s/veh	1.1	0.0	9.6	23.0	4.9	0.4	0.1	11.6	11.6	0.4	3.1	3.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	6.0	0.0	14.5	8.9	10.0	10.0	2.6	25.9	26.0	9.9	17.6	17.8
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	58.2	0.0	66.8	87.2	64.5	31.2	30.3	52.2	52.1	37.5	32.9	32.9
LnGrp LOS	E	A	E	F	E	C	C	D	D	D	C	C
Approach Vol, veh/h	354		533				1142		1123			
Approach Delay, s/veh	64.3		54.4				51.0		33.8			
Approach LOS	E		D				D		C			
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	33.5	66.0	12.9	27.6	43.5	56.0	18.9	21.6				
Change Period (Y+Rc), s	5.4	5.1	5.4	5.1	5.4	5.1	5.4	5.1				
Max Green Setting (Gmax), s	12.6	60.9	10.6	34.9	22.6	50.9	10.6	34.9				
Max Q Clear Time (g_c+I1), s	2.0	28.5	7.5	20.8	8.1	40.4	3.7	13.9				
Green Ext Time (p_c), s	0.1	6.5	0.1	1.1	0.5	5.0	0.1	1.7				
Intersection Summary												
HCM 6th Ctrl Delay	47.0											
HCM 6th LOS	D											

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	1	10	1170	5	1	1055
Future Vol, veh/h	1	10	1170	5	1	1055
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	11	1272	5	1	1147
Major/Minor	Minor1	Major1		Major2		
Conflicting Flow All	1851	639	0	0	1277	0
Stage 1	1275	-	-	-	-	-
Stage 2	576	-	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22	-
Pot Cap-1 Maneuver	66	419	-	-	540	-
Stage 1	226	-	-	-	-	-
Stage 2	525	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	66	419	-	-	540	-
Mov Cap-2 Maneuver	168	-	-	-	-	-
Stage 1	226	-	-	-	-	-
Stage 2	522	-	-	-	-	-
Approach	WB	NB		SB		
HCM Control Delay, s	15.1	0		0		
HCM LOS	C					
Minor Lane/Major Mvmt		NBT	NBRWBLn1	SBL	SBT	
Capacity (veh/h)		-	-	369	540	-
HCM Lane V/C Ratio		-	-	0.032	0.002	-
HCM Control Delay (s)		-	-	15.1	11.7	0
HCM Lane LOS		-	-	C	B	A
HCM 95th %tile Q(veh)		-	-	0.1	0	-

Intersection						
Int Delay, s/veh	0.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		W		W	W
Traffic Vol, veh/h	15	20	1155	25	25	1030
Future Vol, veh/h	15	20	1155	25	25	1030
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	22	1255	27	27	1120

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1883	641	0	0	1282
Stage 1	1269	-	-	-	-
Stage 2	614	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	63	417	-	-	537
Stage 1	228	-	-	-	-
Stage 2	502	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	55	417	-	-	537
Mov Cap-2 Maneuver	159	-	-	-	-
Stage 1	228	-	-	-	-
Stage 2	435	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	22.3	0	0.3
HCM LOS	C		




Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	246	537
HCM Lane V/C Ratio	-	-	0.155	0.051
HCM Control Delay (s)	-	-	22.3	12.1
HCM Lane LOS	-	-	C	B
HCM 95th %tile Q(veh)	-	-	0.5	0.2

HCM 6th TWSC
400: Chambersburg Road & Access C

10/20/2021

Intersection

Int Delay, s/veh 0.3

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	10	500	465	5	5	15
Future Vol, veh/h	10	500	465	5	5	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	543	505	5	5	16

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	510	0	0 1073 255
Stage 1	-	-	- 508 -
Stage 2	-	-	- 565 -
Critical Hdwy	4.13	-	- 6.63 6.93
Critical Hdwy Stg 1	-	-	- 5.83 -
Critical Hdwy Stg 2	-	-	- 5.43 -
Follow-up Hdwy	2.219	-	- 3.519 3.319
Pot Cap-1 Maneuver	1053	-	- 229 745
Stage 1	-	-	- 570 -
Stage 2	-	-	- 568 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1053	-	- 226 745
Mov Cap-2 Maneuver	-	-	- 361 -
Stage 1	-	-	- 561 -
Stage 2	-	-	- 568 -

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	11.3
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1053	-	-	-	589
HCM Lane V/C Ratio	0.01	-	-	-	0.037
HCM Control Delay (s)	8.5	0	-	-	11.3
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

FUTURE (2023) BUILD QUEUEING REPORTS FROM SIMTRAFFIC

Weekday Morning Peak Hour

Weekday Evening Peak Hour

Intersection: 100: Old Troy Pike & Chambersburg Road

Movement	EB	EB	WB	WB	WB	NB	NB	NB	SB	SB	SB
Directions Served	L	TR	L	T	R	L	T	TR	L	T	TR
Maximum Queue (ft)	153	279	266	270	112	135	291	266	221	278	244
Average Queue (ft)	42	129	152	103	50	27	136	103	112	122	110
95th Queue (ft)	110	235	244	204	88	87	246	216	202	228	212
Link Distance (ft)		599		320	320		651	651		373	373
Upstream Blk Time (%)				0						0	
Queuing Penalty (veh)				0						0	
Storage Bay Dist (ft)	60		200			120			130		
Storage Blk Time (%)	4	36	6	1		0	13		9	6	
Queuing Penalty (veh)	6	13	8	1		0	4		33	13	

Intersection: 200: Old Troy Pike & Access A

Movement	WB	SB
Directions Served	LR	LT
Maximum Queue (ft)	37	16
Average Queue (ft)	16	1
95th Queue (ft)	41	10
Link Distance (ft)	171	466
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

Intersection: 300: Old Troy Pike & Access B

Movement	WB	SB	SB
Directions Served	LR	LT	T
Maximum Queue (ft)	48	100	25
Average Queue (ft)	19	12	1
95th Queue (ft)	45	57	19
Link Distance (ft)	175	336	336
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 400: Chambersburg Road & Access C

Movement	EB	WB	SB
Directions Served	LT	T	LR
Maximum Queue (ft)	23	6	35
Average Queue (ft)	1	0	17
95th Queue (ft)	15	6	42
Link Distance (ft)	320	1276	149
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Network Summary

Network wide Queuing Penalty: 80

Intersection: 100: Old Troy Pike & Chambersburg Road

Movement	EB	EB	WB	WB	WB	NB	NB	NB	SB	SB	SB
Directions Served	L	TR	L	T	R	L	T	TR	L	T	TR
Maximum Queue (ft)	160	401	206	252	160	219	468	435	229	318	287
Average Queue (ft)	90	194	100	126	72	68	271	244	147	167	153
95th Queue (ft)	177	334	180	218	132	184	417	384	240	283	258
Link Distance (ft)		599		320	320		651	651		373	373
Upstream Blk Time (%)										0	0
Queuing Penalty (veh)										0	0
Storage Bay Dist (ft)	60		200			120			130		
Storage Blk Time (%)	16	50	2	2		0	34		20	11	
Queuing Penalty (veh)	38	46	3	2		1	19		76	23	

Intersection: 200: Old Troy Pike & Access A

Movement	WB	SB	SB
Directions Served	LR	LT	T
Maximum Queue (ft)	32	34	19
Average Queue (ft)	10	1	1
95th Queue (ft)	34	22	19
Link Distance (ft)	171	466	466
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 300: Old Troy Pike & Access B

Movement	WB	NB	NB	SB	SB
Directions Served	LR	T	TR	LT	T
Maximum Queue (ft)	92	5	4	250	177
Average Queue (ft)	30	0	0	48	20
95th Queue (ft)	70	5	3	171	108
Link Distance (ft)	175	373	373	336	336
Upstream Blk Time (%)				0	
Queuing Penalty (veh)				0	
Storage Bay Dist (ft)					
Storage Blk Time (%)					
Queuing Penalty (veh)					

Intersection: 400: Chambersburg Road & Access C

Movement	EB	SB
Directions Served	LT	LR
Maximum Queue (ft)	64	39
Average Queue (ft)	6	16
95th Queue (ft)	33	41
Link Distance (ft)	320	149
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

Network Summary

Network wide Queuing Penalty: 209

AI-7896

7. G.

Planning Commission

Meeting Date: 10/26/2021

DETAILED DEVELOPMENT PLAN

Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, JPMORGAN CHASE BANK, is requesting approval of a Detailed Development Plan for .96 acres for property located at the northeast corner of Taylorsville Road and Old Troy Pike (ZC 21-33).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Floor Plan

Site Plan

Fire Assessment

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission

From: Scott Falkowski, Assistant City Manager

Date:

Subject: ZC 21-33 (Detailed Development Plan – JPMorgan Chase Bank, N.A.)

Application dated October 4, 2021

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: JPMorgan Chase Bank, N.A. – Applicant
HF 2 SUB LLC- Owner

DEVELOPMENT NAME: Huber Heights Center

ADDRESS/LOCATION: Northeast corner Taylorsville and Old Troy Pike

ZONING/ACREAGE: Planned Mixed Use (PM) / .96 acres

EXISTING LAND USE:

ZONING

ADJACENT LAND: R-6, B-3, PC

REQUEST: The applicant requests approval of a Detailed Development Plan for .96 acres for property at the northeast corner of Taylorsville Road and Old Troy Pike

PREVIOUS APPROVAL:

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STATEMENT OF FACT:

The applicant requests approval of a Detailed Development Plan for the infrastructure portion of a commercial and multi-family Mixed Use project at the above-described location.

STAFF ANALYSIS AND RECOMMENDATION:

Overview:

The above-described property was rezoned from R-6 - Residence and B-3 - Commercial to PM – Planned Mixed Use in 2021. The site is located at the northeast corner of Taylorsville Road and Old Troy Pike. The overall proposal calls for the construction of six commercial buildings to be located on individual lots and 192 market rate apartment units housed in 6 multi-family buildings. The proposal before Planning Commission calls for the construction of a new 4,085 square foot Chase Bank Facility which is a permitted use in the Planned Mixed Use Zoning District as a commercial use. Staff's analysis of the proposal is broken into several segments as follows.

1171.09 - Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards, and regulations.*

(Ord. 89-O-339, Passed 2-6-89)

1171.091 - Planning commission/council review.

It is the purpose of the Planning Development regulations to encourage property owners to develop their land in efficient and effective ways. It is the intent of these regulations to encourage land uses which may not always meet traditional zoning rules. Inherent in these Planned Development regulations is an opportunity for property owners to develop their sites without requiring strict compliance with all zoning regulations where the overall plan is deemed to be in the best interest of the City. During review of a Basic or Detailed Development Plan by the Planning Commission or City Council, all requirements within Part 11, Title 7 of the Code are to be used as guidelines and may be varied as part of the Basic or Detailed Development Plan if it is determined that such deviation will not materially adversely affect neighboring properties or the community as a whole, any such variation of these requirements does not change the overall plan and character of the proposed development, and the variance does not have the effect of nullifying the intent and purpose of these regulations or the Zoning Ordinance. In granting variances or modifications, the Commission or Council may require such conditions as shall, in its judgement, secure substantially the objective of the standards or requirements so varied or modified.

(Case 427; Ord. 2002-O-1367, Passed 9-9-02)

Building Elevations:

The building is made up of cast stone, different shades of fiber cement panels and aluminum composite material. There is a good mix of colors and depth to the building. The total building height is 21 feet, six inches. The dumpster enclosure is proposed to be made of masonry materials to match the building and have gates at the front.

Site Design and Engineering:

1179.06 Development standards.

Except when specifically modified herein, the provisions of the Planning and Zoning Code shall govern. The following development standards apply to a PM development:

- (a) *Minimum Land Area Requirement.* A minimum of 20 acres shall be required.
- (b) *Covenants.* The developer of a PM development shall be required to submit a set of covenants or deed restrictions with the Basic Development Plan application that will outline, at a minimum, development standards and guidelines established in this chapter and any other requirements the developer and/or Planning Commission deems necessary. The Planning Commission may require additional or amended covenants as it deems necessary to ensure compliance with the Planning and Zoning Code and the Planned Mixed Use District.

- (c) *Required Mix of Land Uses.* A developer shall be required to provide a mix of land uses in a PM Development. At a minimum, at least two of the following uses are required in a PM Development: residential, commercial, office, institutional, and/or industrial.
- (d) *Site Planning.*
- (1) The combination of different uses whether as part of one building or as part of the overall development shall be designed and developed so as not to create a nuisance by excessive noise, light, vibration, odor, or any other annoyances for any uses within the development or neighboring properties.
 - (2) A PM development is to be designed so that buildings and structures are clustered and open space areas are preserved and maintained. Special care shall be given to protect preexisting natural features including, but not limited to, woodlands, ravines, streams, lakes, ponds, and/or flood plains. Impervious surface coverage, including, but not limited to, buildings, parking area, and accessways, shall not exceed 75 percent of the total development area. Therefore, 25 percent of the development area shall be reserved for green space.
 - (3) The number of ingress and egress points onto the public streets shall be limited in order to reduce the number of traffic conflict points. Adequate and properly arranged facilities for internal pedestrian and traffic circulations shall be provided. The street and thoroughfare network shall be designed to minimize truck traffic through residential areas of the development.
 - (4) Parking systems shall be designed so as to discourage single large unbroken paved lots for off-street parking and shall encourage smaller defined parking areas within the total parking system. Underground parking facilities are encouraged.
 - (5) The development shall be designed to tie all the uses into one overall community and encourage walking, biking, running, and alternative modes of transportation. Developers are encouraged to incorporate bus stops, bikeways, walkways, and crosswalks into an overall thematic scheme for pedestrian traffic. Sidewalks shall be required except, in the case of a golf course or specific open space development, the Planning Commission may determine them to be unnecessary.
 - (6) Any signs as proposed within this district, shall comply with Chapter 1189 "Signs". Additionally, a developer of a PM development shall develop and submit with the Detailed Development Plan application, a comprehensive set of graphic design criteria for signage in the development. This set of graphic design criteria for signage shall be approved by the Planning Commission and shall apply to all signage requests within the development. The criteria shall include, at a minimum, the sizes permitted (if different from Chapter 1189), colors

permitted, materials permitted, typefaces permitted, type size permitted, and permitted illumination. Compliance with the on-site comprehensive graphics shall be verified by the Zoning Administrator during the sign permit review process.

- (7) Minimum lot area, frontage and setback requirements may be varied to allow greater flexibility in design. However, the following shall be used as a guideline for development:
 - A. With multiple buildings on a single property, entirely residential buildings shall be at least 15 feet from another entirely residential building and at least 50 feet from nonresidential or mixed-use buildings.
 - B. With multiple buildings on a single property, nonresidential buildings or mixed use buildings shall be at least 20 feet or one-half the height of the taller building apart, whichever is greater from another nonresidential or mixed use building.
 - C. All nonresidential buildings or mixed-use buildings shall be set back at least 50 feet or the height of the structure, whichever is greater, from any residential property or residential building, whichever is closer, and from the public right-of-way. This setback applies to multiple buildings on a single property, to development within a PM development, and where it abuts to adjacent property.
- (8) No maximum height restriction shall apply, except that the proposed development meets all Federal Aviation Administration (FAA), Dayton International Airport or Wright Patterson Air Force Base height or abatement requirements.
- (9) Common parking areas and accessways shall be lighted adequately with light fixtures that shall be designed to reflect light away from adjoining properties. Special attention will be given to protect entirely residential structures from light emitted from nonresidential land uses.
- (10) Nonresidential uses shall have trash containers and/or receptacles (including recycling containers) placed to the rear of all structures and shall be screened or enclosed on four sides with opening doors for the purpose of trash removal. The placement of trash containers and/or receptacles in multi-family residential developments shall be as inconspicuous as possible. The use of a wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent and a height of 12 inches above the top of the largest container is required.
- (11) The architecture of nonresidential structures is encouraged to be unique yet similar in certain sections of the PM.
- (12) The distribution systems for utilities are required to be underground.
- (13) The use of privately owned open space and public dedicated park land is encouraged as part of a PM development. Privately owned open space shall be maintained by the developer or by a duly authorized owner's association.

- (14) The use of chain link fencing is prohibited. Additionally, on an entirely residential property, no fencing shall be permitted in the front yard and, in the case of a corner lot, no fencing shall be permitted in the side yard with frontage to a public right-of-way. The covenants submitted by the developer shall establish the height requirements for fencing in the development. Fencing in a development shall be uniform in height in related use areas. On an entirely residential property, fence height shall not exceed six feet.
- (15) With the submission of a Basic Development Plan application, the applicant is required to submit a phasing plan that details when certain sections of the development will commence construction and when the sections will be complete.

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

The building is 86 feet from the Old Troy Pike Right-of-Way and 90 feet from the Taylorsville Road Right-Of-Way. The building in this location is surrounded by other commercial uses. Pedestrian access is provided from Old Troy Pike and to the north within the development. The dumpster enclosure is located at the rear of the building.

Parking is as follows.

Financial establishment, bank or savings and loan association: one space per 200 square feet of gross floor area, plus one space per employee on the largest work shift, plus five stacking spaces per drive-in window or drive-thru machine.

By Code, thirty spaces would be required. Thirty-seven parking spaces are provided, with two being handicap accessible. The proposal calls for ten-foot width parking spaces.

Utilities:

The building will be serviced by connections to public water and sanitary sewer connections. Gas, telephone, and electric are also available at the site limits. Drainage is being collected through catch basins and storm sewer routing the flow to the existing retention pond to the east. There is no need for additional storm water detention. Lighting shall meet the standards of City Code 1181.21.

Signage:

Four wall signs are proposed on the building. The signs are to be located on all faces. The total sign area of the four signs shall not exceed 150 square feet as per that standard City Code for buildings with multiple visible faces. No ground sign will be approved at this location. A master development sign will be available for all users.

Landscaping:

Landscaping is being provided around the perimeter of the building and site. The landscaping consists of deciduous trees, evergreen trees, shrubs, grasses, and perennials. Staff recommends adding Autumn Fantasy Maple trees along Old Troy Pike and Taylorsville Road to match the spacing that was approved with the Discount Tire Store.

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Planning Commission Decision Record

WHEREAS, on October 1, 2021, the applicant, JPMorgan Chase Bank, N.A., requested approval of a Detailed Development Plan for property at the northeast corner of Taylorsville Road and Old Troy Pike (Zoning Case 21-33), and;

WHEREAS, on October 26, 2021 the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approved of the request.

moved to approve the application submitted by JPMorgan Chase Bank, N.A., and the applicant's request for approval of a Detailed Development Plan for property at the northeast corner of Taylorsville Road and Old Troy Pike (Zoning Case 21-33) in accordance with the recommendation of Staff's Memorandum dated October 15, 2021 with the following conditions:

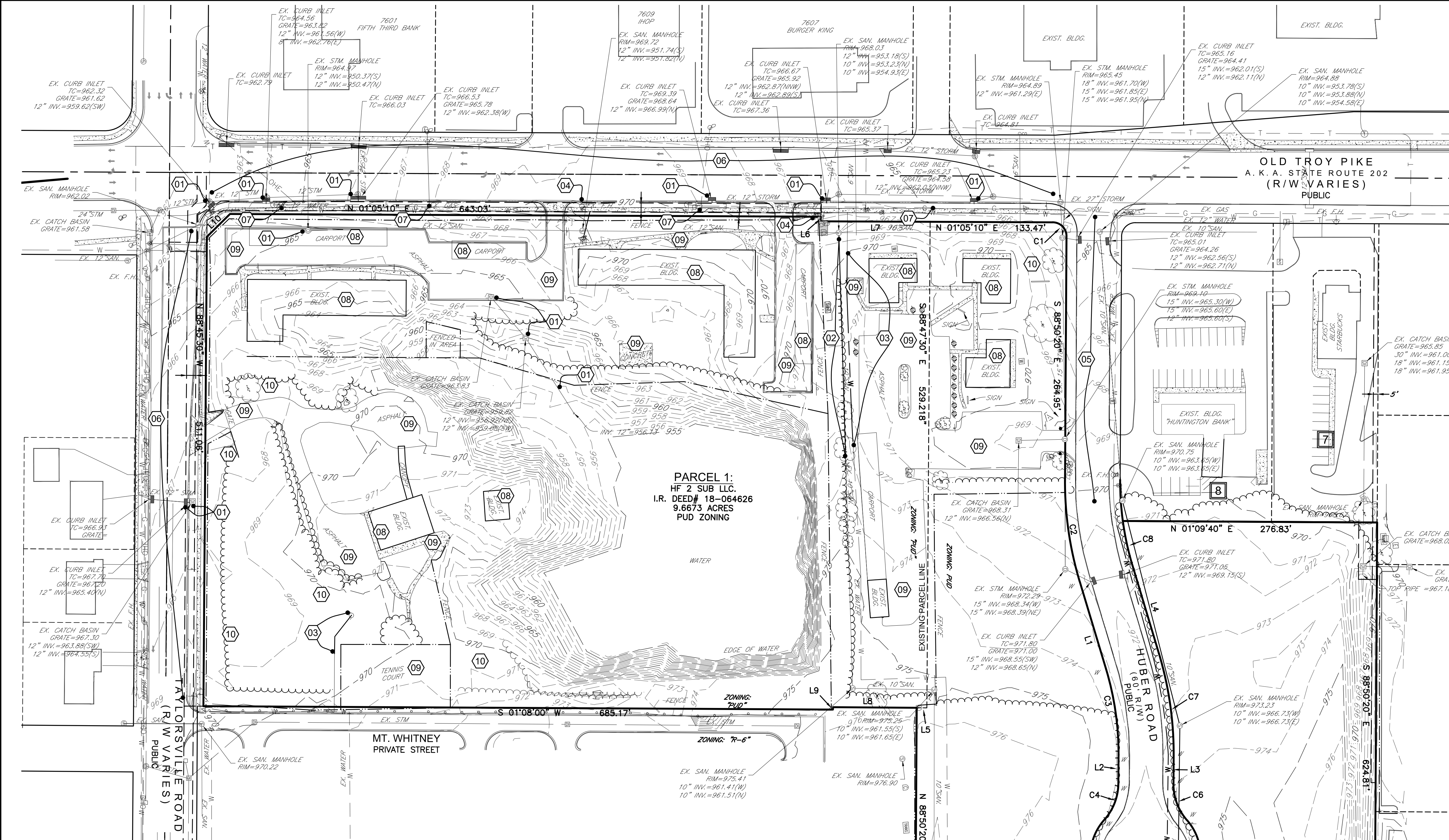
1. The approved Detailed Development Plan shall be the plans stamped received by the City of Huber Heights Planning Department on August 9, 2021, except as modified herein.
2. The applicant shall receive final Engineering approval prior to a Zoning Certificate being issued.
3. The applicant shall address all Fire Division comments prior to a Zoning Certificate being issued.
4. Ground signage is not approved with this application.
5. Wall signage shall have a maximum total of 150 square feet.
6. Landscaping along Old Troy Pike and Taylorsville Road shall closely match that as approved for the Discount Tire Store.

7. All traffic improvements on Old Troy Pike and Taylorsville Road described in Zoning Case 21-25 shall be complete prior to the issuance of a final for any building within this development.
8. Prior to the issuance of a zoning permit, the applicant shall enter into a PUD Agreement with the City for the purpose, but not the sole purpose, of establishing the development obligations of the applicant and requiring the submittal of a performance bond, cash bond, or letter of credit to insure the installation of landscaping as approved. The bond or letter of credit shall be in an amount equal to the applicant's estimate of the cost of installation as approved by the Planning Department and shall remain in effect until such time as the landscaping has been completed as determined by the Planning Department. Upon completion of the installation of landscaping as required by the approved landscape plan, the applicant may request release of the performance bond or letter of credit. Following an inspection by the Planning Department and upon determination by the department that the landscaping has been completed in accordance with the approved landscaping plan, 80% of the performance bond or letter of credit may be released. However, the performance bond or letter of credit will not be released until a maintenance bond lasting three growing seasons, or letter of credit equal to 20% of the initial performance bond or letter of credit to ensure maintenance of the landscaping, is submitted to and accepted by the Planning Department. The term of the maintenance bond shall be three growing seasons.

Seconded by _____. Roll call showed: YEAS: NAYS: Motion to approve carried

Terry Walton, Chair
Planning Commission

Date



- DEMOLITION KEYNOTES**
- 01 CITY OF HUBER HEIGHTS PUBLIC STORM SEWER AND STORM STRUCTURES TO BE REMOVED AND DISPOSED OF. COORDINATE WORK WITH CITY OF HUBER HEIGHTS.
 - 02 CITY OF HUBER HEIGHTS PUBLIC SANITARY SEWER TO BE REMOVED AND DISPOSED OF. COORDINATE WORK WITH CITY OF HUBER HEIGHTS.
 - 03 CITY OF HUBER HEIGHTS PUBLIC WATER LINE TO BE REMOVED AND DISPOSED OF. COORDINATE WORK WITH CITY OF HUBER HEIGHTS.
 - 04 FIRE HYDRANT TO BE RELOCATED FOR ROAD WIDENING ON OLD TROY PIKE.
 - 05 HUBER ROAD CUL-DE-SAC (PUBLIC STREET WITH CURB & GUTTER) TO BE REMOVED AND DISPOSED OF. WORK INCLUDES REMOVING APPROACH ON OLD TROY PIKE. COORDINATE WORK WITH CITY OF HUBER HEIGHTS. HUBER ROAD RIGHT OF WAY TO BE VACATED.
 - 06 CURB AND GUTTER AND SIDEWALKS ALONG OLD TROY PIKE (EAST SIDE) AND TAYLORSVILLE ROAD (NORTH SIDE) TO BE SAWCUT AND REMOVED FOR ROAD WIDENING.
 - 07 UTILITY POLES ALONG OLD TROY PIKE TO BE RELOCATED FOR ROAD WIDENING. COORDINATE WORK WITH UTILITY OWNERS AND CITY OF HUBER HEIGHTS.
 - 08 BUILDING TO BE REMOVED AND UTILITY LINES ABANDONED PER UTILITY PROVIDER REQUIREMENTS.
 - 09 PAVEMENT, SIDEWALKS, PADS AND FENCING TO BE REMOVED AND DISPOSED OF.
 - 10 TREES TO BE CLEARED ON SITE.

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N 74°05'48" E	100.00'
L2	S 88°50'20" E	30.63'
L3	N 88°50'20" W	30.63'
L4	S 74°05'48" W	100.00'
L5	N 01°13'10" E	11.07'
L6	S 88°10'20" E	5.06'
L7	N 01°03'10" E	119.12'
L8	S 01°13'10" W	102.12'
L9	S 86°05'00" E	2.60'
L10	N 43°50'10" W	35.41'

CURVE TABLE						
CURVE NO.	RADIUS	LENGTH	DELTA	BEARING	DISTANCE	
C1	15.00'	23.58'	90°04'30"	N 46°07'25" E	21.23'	
C2	378.15'	112.62'	17°03'52"	N 82°37'44" E	112.21'	
C3	318.15'	94.75'	17°03'52"	N 82°37'44" E	94.41'	
C4	60.00'	43.36'	41°24'24"	S 68°08'15" E	42.42'	
C5	60.00'	275.23'	262°49'19"	N 01°09'53" E	90.00'	
C6	60.00'	43.37'	41°24'49"	S 70°27'22" W	42.43'	
C7	378.15'	112.62'	17°03'52"	S 82°37'44" W	112.21'	
C8	318.15'	49.81'	08°58'15"	S 78°34'56" W	49.76'	

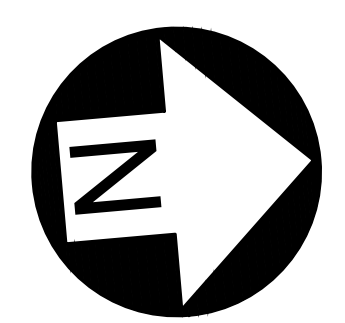
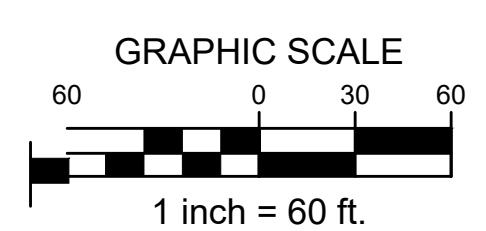
EXISTING LEGEND			
●	IRON PIN FOUND	—	EX. SANITARY SEWER
⊕	ELECTRIC METER	—	EX. WATER MAIN
⊕	POWER POLE	—	EX. STORM SEWER
⊕	GUY ANCHOR	—	EX. OH ELECTRIC LINE
⊕	SANITARY CLEANOUT	—	EX. UG ELECTRIC LINE
⊕	LAMPHOLE	—	EX. CONTOUR
⊕	SANITARY MANHOLE	—	SUBJECT PROPERTY LINE
⊕	CURB INLET	—	ADJACENT PROPERTY LINE
⊕	DRAIN INLET	—	
⊕	STORM MANHOLE	—	
⊕	AREA DRAIN	—	
⊕	NUMBER OF PARKING STALLS	—	
⊕	FLAGPOLE	—	
⊕	DOWNPOUT	—	
⊕	AC UNIT	—	
⊕	GAS METER	—	
⊕	LIGHT POLE	—	
⊕	FIRE HYDRANT	—	
⊕	WATER MAIN VALVE	—	
⊕	WATER METER	—	
⊕	SIGN	—	
⊕	TREE W/SIZE	—	
⊕	EVERGREEN TREE	—	
⊕	HANDICAP PARKING	—	



OVERALL SITE DDP SET:

THIS DDP SET IS FOR THE INTERNAL ROADS, UTILITY LINES AND PUBLIC ROAD IMPROVEMENTS FOR THIS PROJECT. EACH INDIVIDUAL LOT WILL NEED TO PRESENT IT'S OWN DDP SET. THE SITE LAYOUTS SHOWN ON THESE PLANS MAY NOT BE THE ACTUAL LAYOUT FOR THE INDIVIDUAL LOTS.

THE MULTI FAMILY SITE THAT WAS PART OF THE PUD REZONING WILL ALSO SUBMIT THEIR OWN DDP SET.



SITE DEVELOPMENT PLANS FOR

HUBER HEIGHTS COMMON

BROAD REACH RETAIL

OLD TROY PIKE & TAYLORSVILLE ROAD

CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

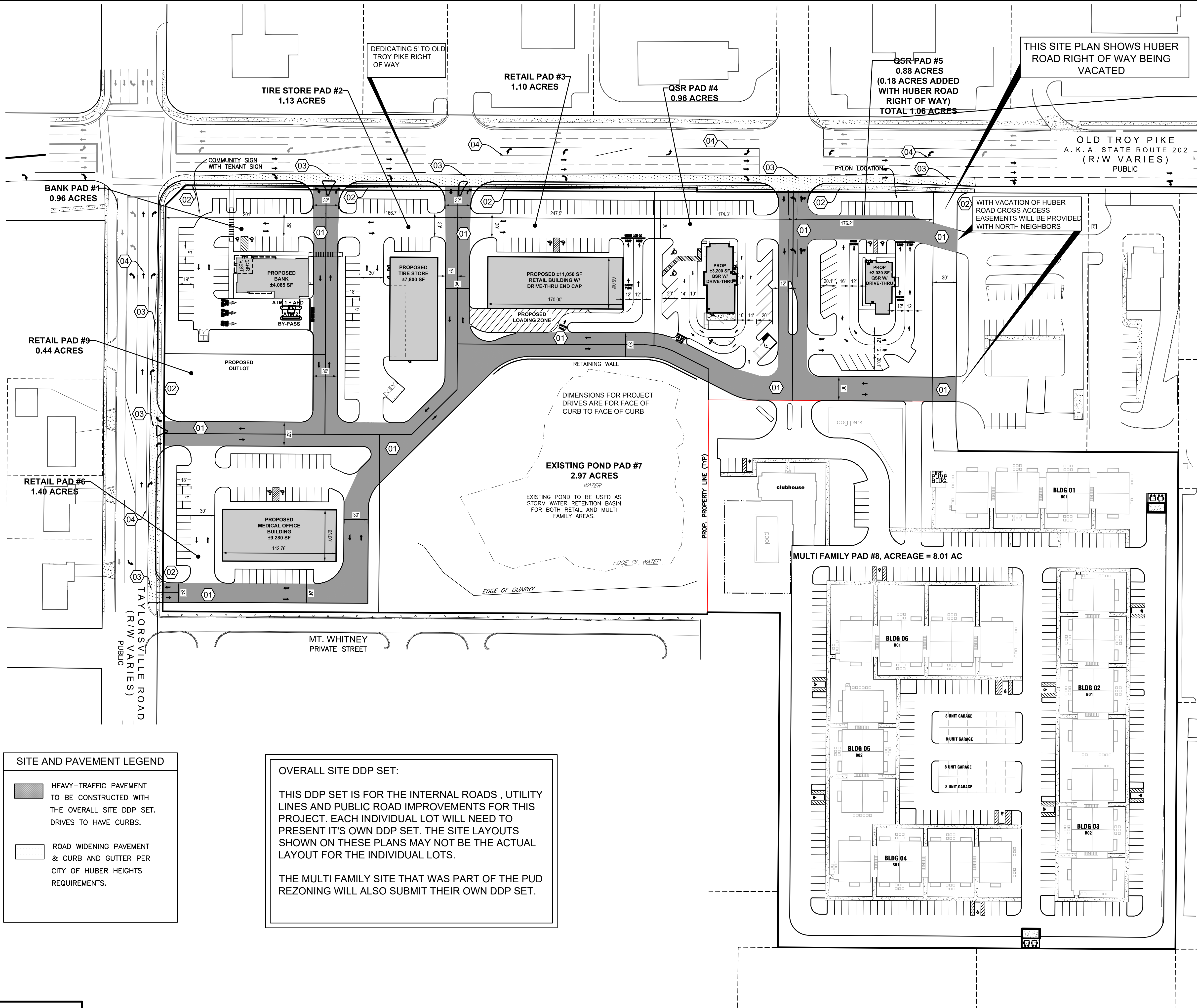
BURKHARDT

ENGINEERS & SURVEYORS

28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-385-0860 | BURKHARDTINC.COM

CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: KMZ	Proj: 19-199
Draw: RRT	Dwg: 19.199-ALTA
Check: KMZ	Tab: PUD C-1
Scale: 1" = 60'	
Date: 08.06.2021	
Sheet: OVERALL SITE DDP TOPO & DEMO PLAN	
Sheet No.: C-1	



- GENERAL SITE NOTES**
- Building dimensions shown on the Civil Engineering Plans are for reference purposes only.
 - All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
 - All dimensions to the building are referenced to the outside face of the structure's facade.
 - All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
 - All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
 - All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
 - Contractor shall sawcut existing pavement and concrete to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
 - All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:
 - Curbing: 10'-0" (max) spacing.
 - Sidewalks: 5'-0" (max) spacing.
 - Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

- SITE KEYNOTES**
- 01** HEAVY-TRAFFIC ASPHALT "DRIVEWAY AREA" PAVEMENT
- PER PAVEMENT SECTION / SHEET C-5.0
 - 02** CONCRETE WALK RELOCATED DUE TO OLD TROY PIKE AND TAYLORSVILLE ROAD WIDENING.
- PER CITY OF HUBER HEIGHTS REQUIREMENTS
 - 03** ASPHALT PAVEMENT, ISLANDS, AND CURB AND GUTTER FOR OLD TROY PIKE AND TAYLORSVILLE ROAD WIDENING.
- PER CITY OF HUBER HEIGHTS REQUIREMENTS
 - 04** PAVEMENT MARKINGS FOR OLD TROY PIKE AND TAYLORSVILLE ROAD WIDENING.
- PER CITY OF HUBER HEIGHTS REQUIREMENTS

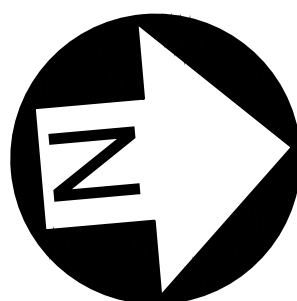
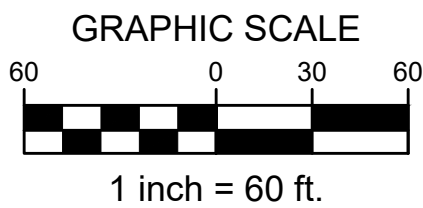
SITE AND PAVEMENT LEGEND

- HEAVY-TRAFFIC PAVEMENT TO BE CONSTRUCTED WITH THE OVERALL SITE DDP SET. DRIVES TO HAVE CURBS.
- ROAD WIDENING PAVEMENT & CURB AND GUTTER PER CITY OF HUBER HEIGHTS REQUIREMENTS.

OVERALL SITE DDP SET:

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THE MULTI FAMILY SITE THAT WAS PART OF THE PUD REZONING WILL ALSO SUBMIT THEIR OWN DDP SET.

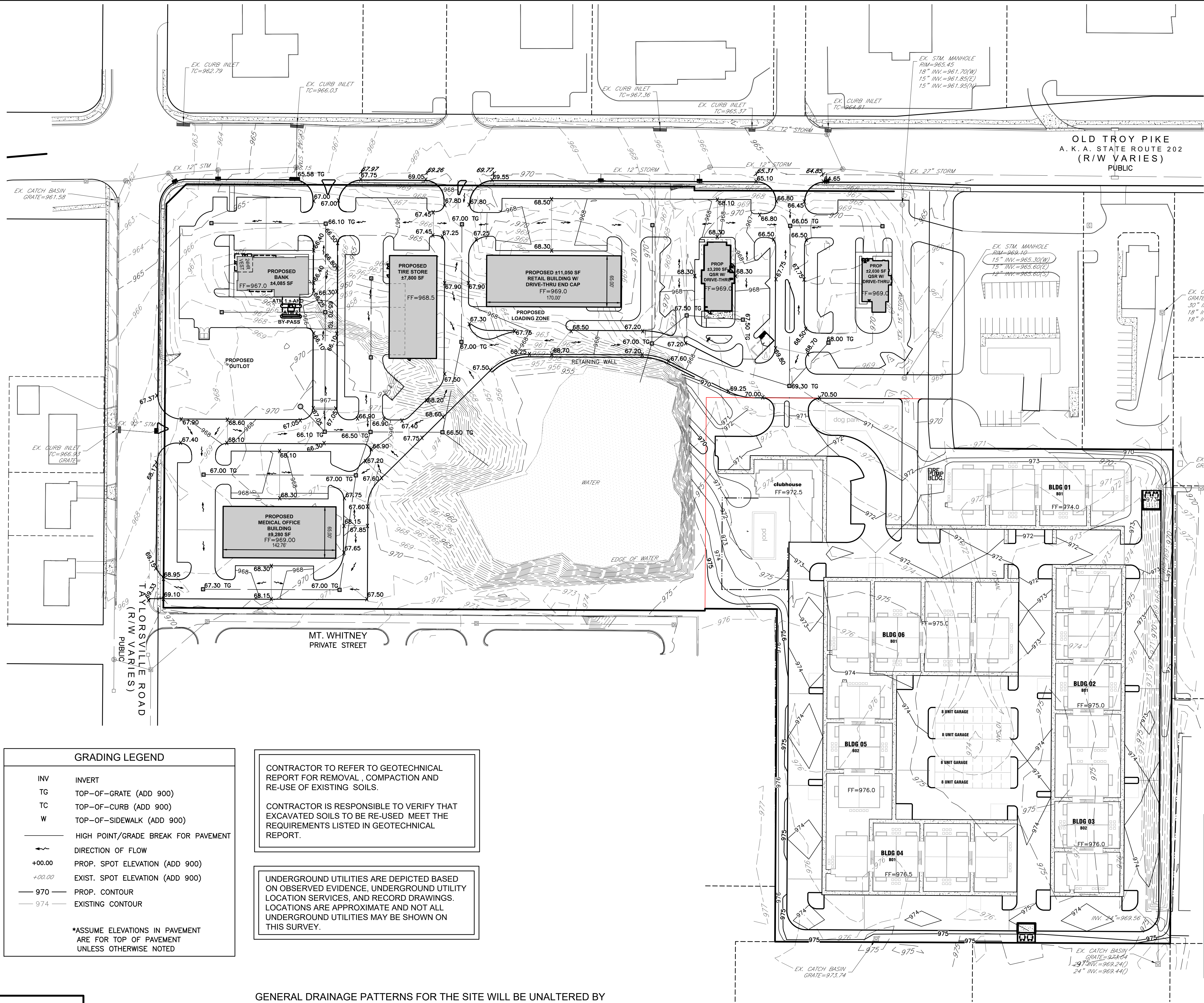


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Description	
Item	

SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: KMZ	Proj: 19-199
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Scale: 1" = 60'	
Date: 08.06.2021	
Sheet: OVERALL SITE DDP SITE PLAN	
Sheet No.: C-2	



GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
Ramps - 1:12 (8.3%) max.
Routes - 1:20 (5.0%) max.
Parking - 1:50 (2.0%) max.
Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

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GRADING LEGEND	
INV	INVERT
TG	TOP-OF-GRADE (ADD 900)
TC	TOP-OF-CURB (ADD 900)
W	TOP-OF-SIDEWALK (ADD 900)
—	HIGH POINT/GRADE BREAK FOR PAVEMENT
→	DIRECTION OF FLOW
+00.00	PROP. SPOT ELEVATION (ADD 900)
+00.00	EXIST. SPOT ELEVATION (ADD 900)
— 970 —	PROP. CONTOUR
— 974 —	EXISTING CONTOUR
*ASSUME ELEVATIONS IN PAVEMENT ARE FOR TOP OF PAVEMENT UNLESS OTHERWISE NOTED	

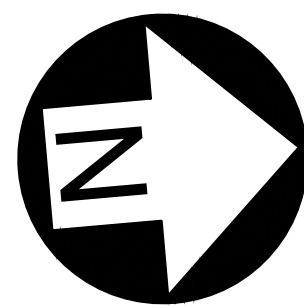
CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR REMOVAL , COMPACTION AND RE-USE OF EXISTING SOILS.

CONTRACTOR IS RESPONSIBLE TO VERIFY THAT EXCAVATED SOILS TO BE RE-USED MEET THE REQUIREMENTS LISTED IN GEOTECHNICAL REPORT.

UNDERGROUND UTILITIES ARE DEPICTED BASED ON OBSERVED EVIDENCE. UNDERGROUND UTILITY LOCATION SERVICES, AND RECORD DRAWINGS. LOCATIONS ARE APPROXIMATE AND NOT ALL UNDERGROUND UTILITIES MAY BE SHOWN ON THIS SURVEY.

GENERAL DRAINAGE PATTERNS FOR THE SITE WILL BE UNALTERED BY THE PROPOSED DEVELOPMENT.

THE EXISTING POND WILL BE RE-PURPOSED AS A STORM WATER RETENTION AREA FOR THE PROPOSED DEVELOPMENT.



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

BURKHARDT
ENGINEERS & SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-385-0969 | info@burkhardtinc.com
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

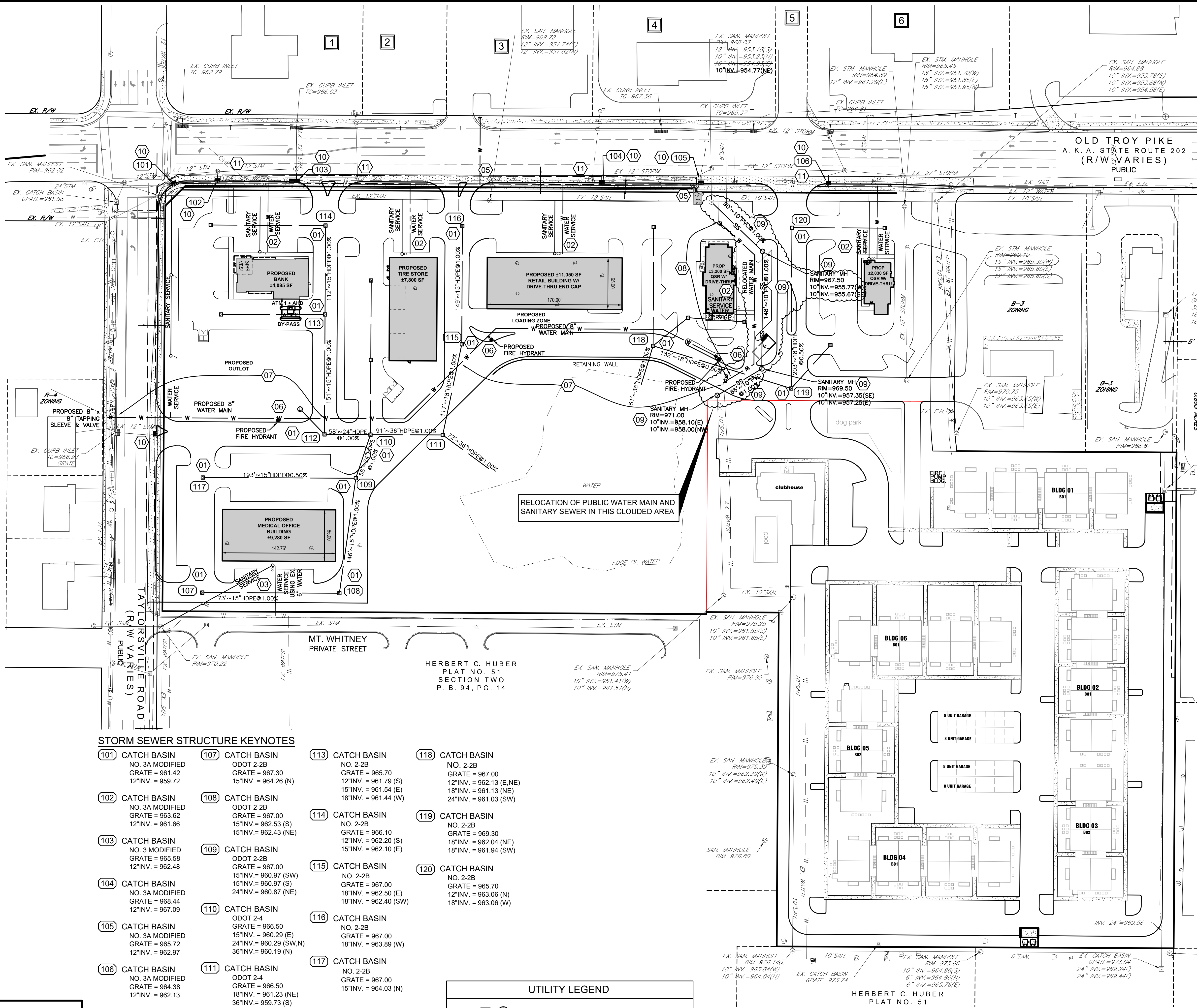
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Check: KMZ	Tab: PUD C-3

Scale: 1" = 60'

Date: 08.06.2021

Sheet: OVERALL SITE DDP GRADING PLAN

Sheet No.: C-3



STORM SEWER STRUCTURE KEYNOTES

- | | | | |
|--|--|---|--|
| 101 CATCH BASIN
NO. 3A MODIFIED
GRATE = 961.42
12" INV. = 959.72 | 107 CATCH BASIN
ODOT 2-2B
GRATE = 967.30
15" INV. = 964.26 (N) | 113 CATCH BASIN
NO. 2-2B
GRATE = 965.70
12" INV. = 961.79 (S)
15" INV. = 961.54 (E)
18" INV. = 961.13 (W) | 118 CATCH BASIN
NO. 2-2B
GRATE = 967.00
12" INV. = 962.13 (E,NE)
18" INV. = 961.13 (NE)
24" INV. = 961.03 (SW) |
| 102 CATCH BASIN
NO. 3A MODIFIED
GRATE = 963.02
12" INV. = 961.06 | 108 CATCH BASIN
ODOT 2-2B
GRATE = 967.00
15" INV. = 962.53 (S)
15" INV. = 962.43 (NE) | 114 CATCH BASIN
NO. 2-2B
GRATE = 966.10
12" INV. = 962.20 (S)
15" INV. = 962.10 (E) | 119 CATCH BASIN
NO. 2-2B
GRATE = 969.30
18" INV. = 962.04 (NE)
18" INV. = 961.94 (SW) |
| 103 CATCH BASIN
NO. 3 MODIFIED
GRATE = 965.58
12" INV. = 962.48 | 109 CATCH BASIN
ODOT 2-2B
GRATE = 967.00
15" INV. = 960.97 (SW)
24" INV. = 960.87 (NE) | 115 CATCH BASIN
NO. 2-2B
GRATE = 967.00
18" INV. = 962.50 (E)
18" INV. = 962.40 (SW) | 120 CATCH BASIN
NO. 2-2B
GRATE = 965.70
12" INV. = 963.06 (N)
18" INV. = 963.06 (W) |
| 104 CATCH BASIN
NO. 3A MODIFIED
GRATE = 968.44
12" INV. = 967.09 | 110 CATCH BASIN
ODOT 2-4
GRATE = 966.50
15" INV. = 960.29 (E)
24" INV. = 960.29 (SW,N)
36" INV. = 960.19 (N) | 116 CATCH BASIN
NO. 2-2B
GRATE = 967.00
18" INV. = 963.89 (W) | |
| 105 CATCH BASIN
NO. 3A MODIFIED
GRATE = 965.72
12" INV. = 962.97 | 111 CATCH BASIN
ODOT 2-4
GRATE = 966.50
18" INV. = 961.23 (NE)
36" INV. = 959.73 (S)
36" INV. = 959.63 (NE) | 117 CATCH BASIN
NO. 2-2B
GRATE = 967.00
15" INV. = 964.03 (N) | |
| 106 CATCH BASIN
NO. 3A MODIFIED
GRATE = 964.38
12" INV. = 962.13 | 112 CATCH BASIN
ODOT 2-4
GRATE = 966.10
12" INV. = 961.18 (SW)
18" INV. = 960.68 (E)
24" INV. = 960.58 (N) | | |

UTILITY LEGEND

- | | |
|--|------------------------------|
| | PROP. INLET/MANHOLE/CLEANOUT |
| | PROP. DOWNSPOUT @ BUILDING |
| | PROP. SANITARY SEWER SERVICE |
| | PROP. WATER SERVICE |
| | PROP. STORM SEWER |

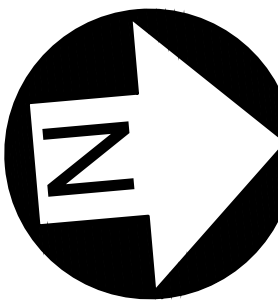
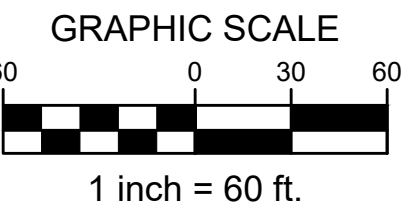
UTILITY KEYNOTES

- 01 THE STORM STRUCTURES IN THE PARKING AREAS ARE TO HAVE 4" UNDERDRAINS INSTALLED AND CONNECTED TO THE STORM STRUCTURES (ONE 10' LONG UNDERDRAIN IN EACH DIRECTION THAT WOULD EXTEND INTO PAVEMENT). -SEE SHEET C-5.0 FOR UNDERDRAIN DETAIL.
- 02 LOTS WILL HAVE A WATER SERVICE (FROM THE WATER MAIN IN OLD TROY PIKE) AND A SANITARY SERVICE (FROM THE SANITARY MAIN RUNNING TO THE EAST OF OLD TROY PIKE) BROUGHT INTO LOT TO SERVICE NEW BUILDING.
- 03 THIS LOT WILL GET SANITARY SERVICE FROM THE EXISTING SANITARY MANHOLE.
- 04 MAINTAIN 1.5' VERTICAL CLEARANCE BETWEEN WATER LINES, STORM SEWERS AND SANITARY SEWERS.
- 05 RELOCATED FIRE HYDRANTS FOR ROAD WIDENING ALONG OLD TROY PIKE
- 06 FIRE HYDRANT PER CITY OF HUBER HEIGHTS REQUIREMENTS.
- 07 NEW 8" PUBLIC WATER MAIN EXTENSION PER CITY OF HUBER HEIGHTS REQUIREMENTS.
- 08 RELOCATED 8" PUBLIC WATER MAIN PER CITY OF HUBER HEIGHTS REQUIREMENTS.
- 09 RELOCATED 10" PUBLIC SANITARY SEWER PER CITY OF HUBER HEIGHTS REQUIREMENTS.
- 10 STORM SEWER EXTENDED FOR THE ROAD WIDENING FOR TAYLORSVILLE ROAD AND OLD TROY PIKE.
- 11 UTILITY POLE RELOCATED FOR THE ROAD WIDENING FOR TAYLORSVILLE ROAD AND OLD TROY PIKE.

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SITE DEVELOPMENT PLANS FOR
**HUBER HEIGHTS COMMON
BROAD REACH RETAIL**
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



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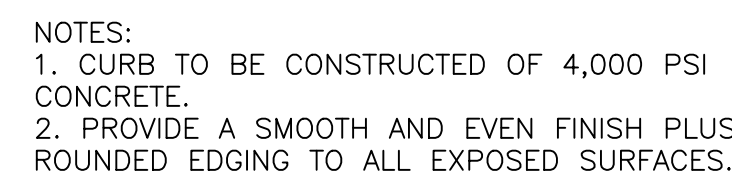
Date: 08.06.2021

Sheet: OVERALL SITE DDP
UTILITY PLAN

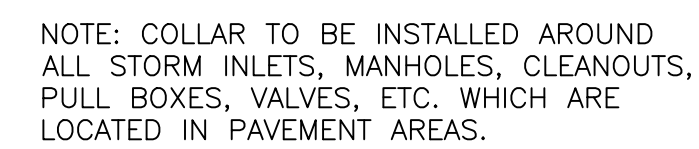
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HEAVY-TRAFFIC ASPHALT
"DRIVEWAY AREA"
PAVEMENT SECTION
NOT TO SCALE



BARRIER CURB DETAIL
NOT TO SCALE



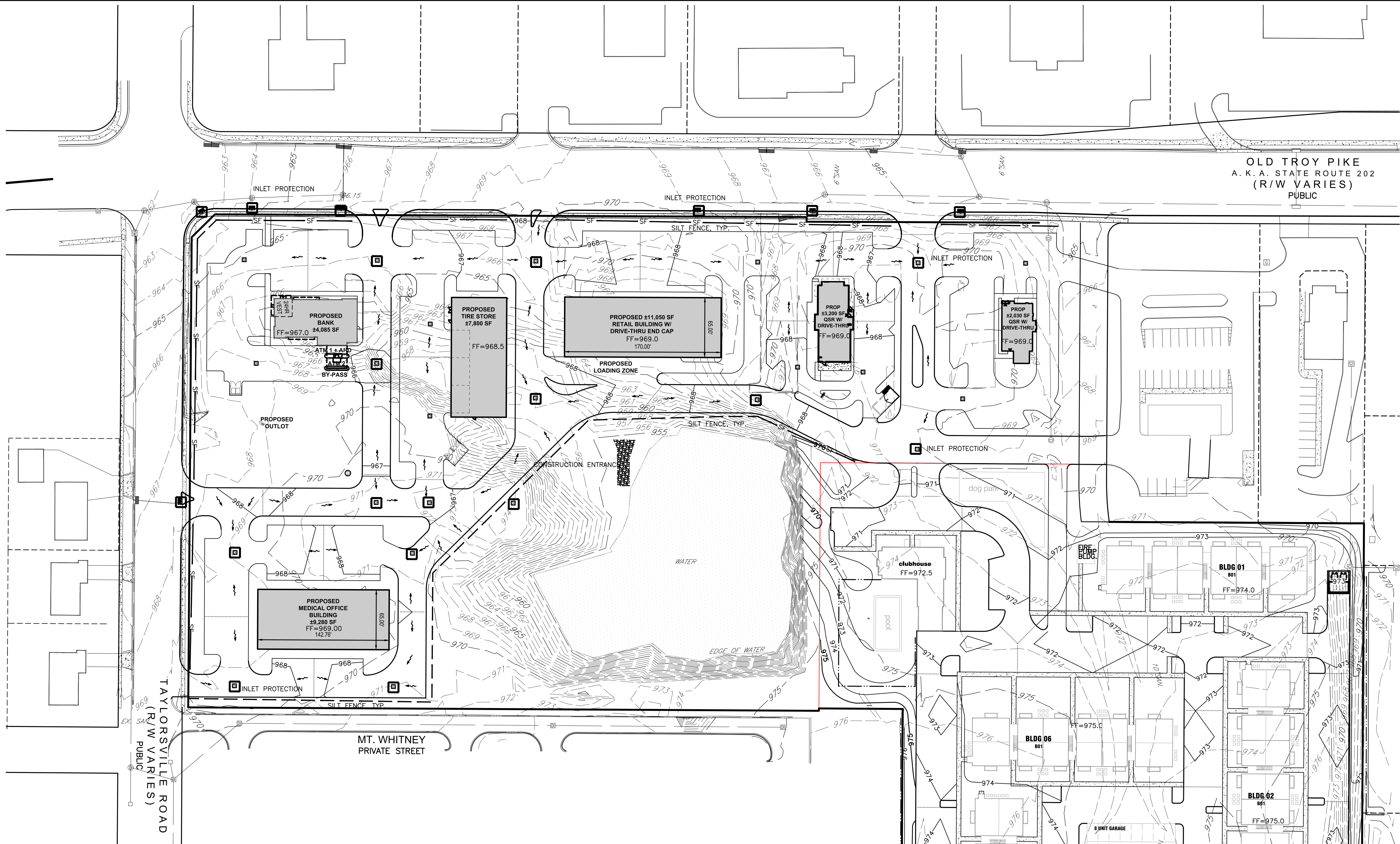
CONCRETE COLLAR
NOT TO SCALE



SANITARY CLEAN-OUT
NOT TO SCALE

Sheet No.: _____

C-5



SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

1. Stone tracking pad atop geotextile liner.
2. Install silt fence and protection fencing.
3. Initial clearing, grubbing, and demolition.
4. Strip and stockpile top soil.
5. Rough grade and balance site, including detention basin.
6. Install underground utilities (i.e. Sanitary, Storm & Water)
7. Place inlet filters on all storm inlets.
8. Install franchise utilities (i.e. Gas, Electric, Telephone & Cable TV).
9. Final grade site.
10. Install pavement, curb, and other hardscape structures/surfaces.
11. Stabilize ditches, detention basin, common areas and slopes.
12. Establish permanent vegetation for all disturbed areas.
13. Remove all temporary erosion and sediment control devices.
14. Clean out storm sewer system and site upon completion.

SOIL EROSION CONTROL MAINTENANCE

- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.
- Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrance shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way.

SOIL EROSION CONTROL NOTES

All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent).

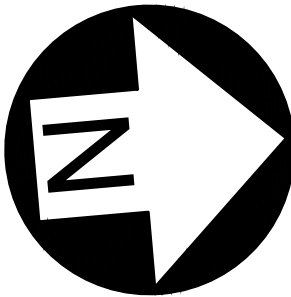
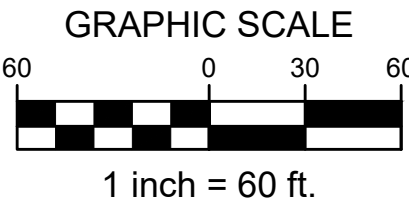
SOIL EROSION CONTROL LEGEND

- SILT FENCE
- INLET PROTECTION / DANDY SACK
- CONSTRUCTION ENTRANCE

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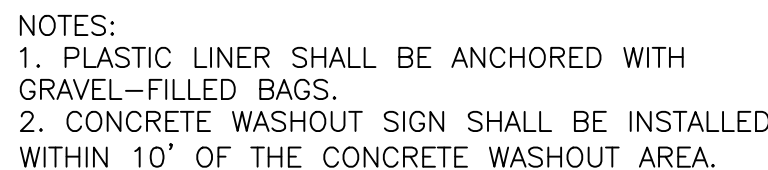
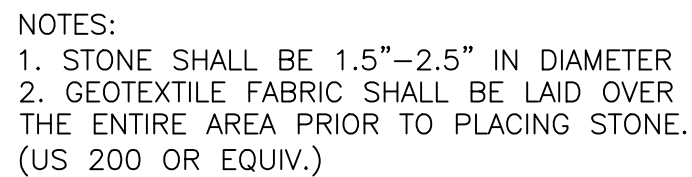


Date	
Description	
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SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

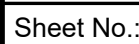


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Date:	08.06.2021
Sheet:	OVERALL SITE DDP SWPPP PLAN
Sheet No.:	C-6



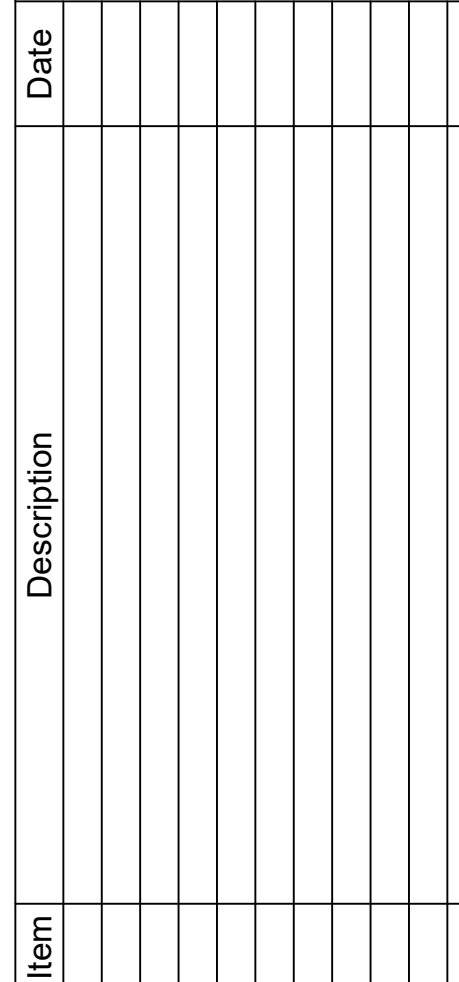
3. All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal agencies.
2. Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
3. Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
4. Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
5. The soil erosion controls are to be inspected once a week and within 24 hours of a 0.50 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
6. Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 14 days. Any disturbed area that is not going to be worked for 365 days or more must be permanently stabilized (seeded and mulched) within 7 days of most recent disturbance.
7. Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 14 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
8. Soil stockpiles shall be stabilized or protected to prevent soil loss.
9. All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
10. Silt fence to be 2' minimum from property lines in areas where work is near adjacent properties.
11. The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
12. Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
13. No solid or liquid waste shall be discharged into storm water runoff.
14. Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
15. Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
16. If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
17. No fuel storage is permitted on-site.
18. All storm sewers, infiltration, detention, and retention areas shall be cleared of construction sediment upon completion of construction.
19. The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the Ohio EPA.
20. The General Contractor is responsible for ensuring that all soil erosion and sediment control practices comply with the Ohio EPA's General Permit for Construction No. OHC000005 and follow the best practices set forth in the ODNR Rainwater and Land Development Manual.
21. Dumpsters shall be provided for the disposal of debris, trash, hazardous and petroleum waste. All containers must be covered and leak proof.
22. All construction and demolition debris waste will be disposed of in an OEPA approved C&DD landfill as required by Ohio Revised Code 3714.
23. Any areas that will be used for mixing or storing fertilizers, lime, asphalt or concrete or used for vehicle fueling shall be designated and these areas should be kept away from any watercourses or storm sewers.
24. A Spill Prevention Control and Countermeasures (SPCC) Plan shall be developed if the site has one above ground storage tank of 660 gallons or more, total above ground tank storage of 1330 gallons, or below ground storage of 42,000 gallons of fuel.
25. All contaminated soils must be treated and/or disposed in OEPA approved solid waste management facilities or hazardous waste treatment, storage or disposal facilities (TSDFs).
26. In the event of a large release of petroleum waste (25 gallons or more) contractor shall contact OEPA at 1-800-282-9378, the local fire department and the local emergency planning committee (LEPC) within 30 minutes of spill.
27. Protected storage areas for industrial or construction materials shall be used to minimize exposure of such materials to storm water.
28. If the Contractor uses pumps to assist in construction dewatering efforts, the water must be filtered prior to discharging it into the municipal storm sewer system, ensuring that no soil, silt or sediment enters the system.
29. Contractor to review and determine the best locations for construction entrance, concrete washout, dumpsters, and other SWPPP elements. All dirt and sediment is to be kept off public streets.

**SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO**



C-7




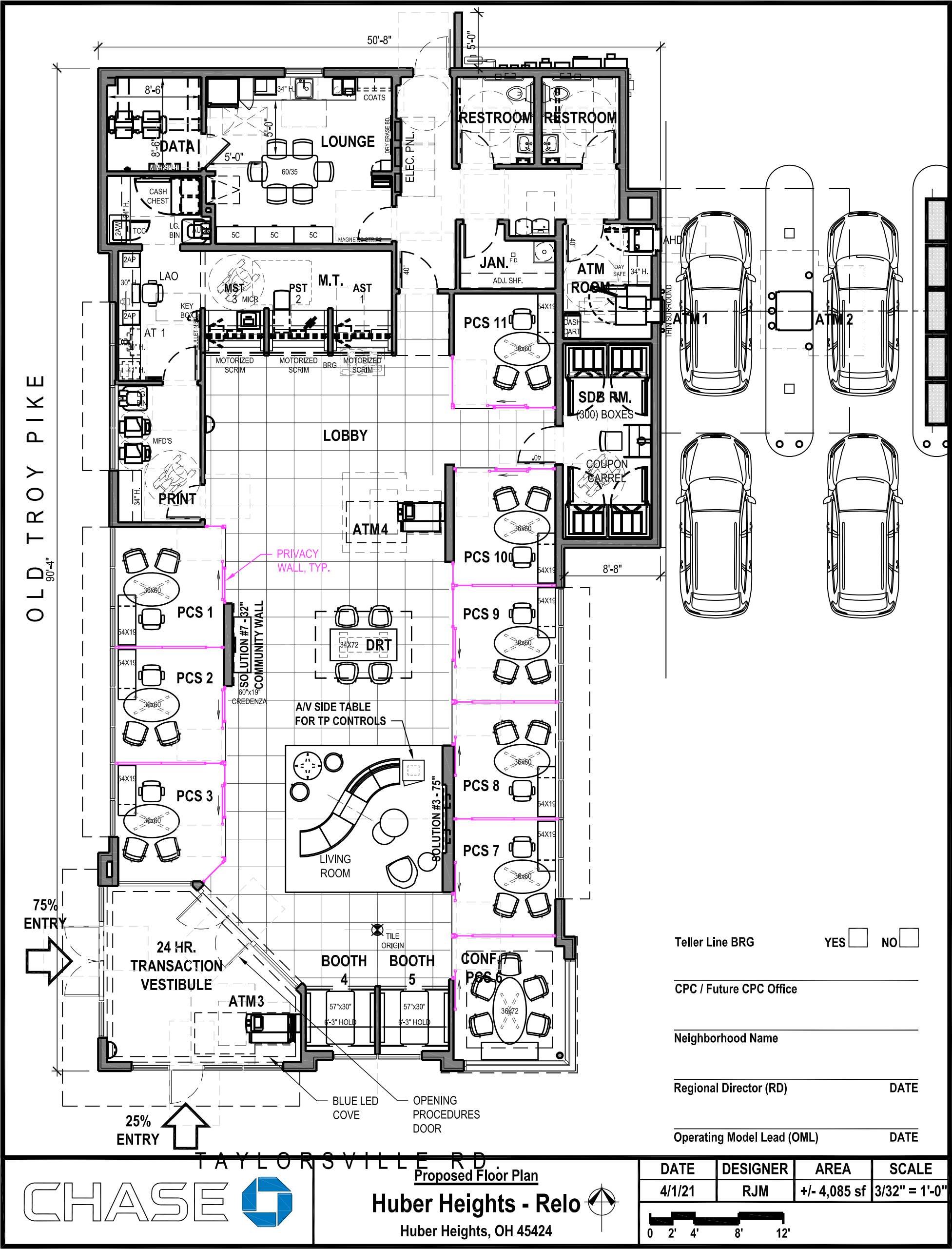


BURKHARDT
ENGINEERS & SURVEYORS

28 North Cherry Street | Germantown, Ohio 45327 | Phone: 537-388-0060 | BURKHARDTINC.COM

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Scale: 1"=60'	
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OVERALL SITE DDP LANDSCAPE PLAN	
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L-1.0	





DETAILED DEVELOPMENT PLAN

FOR

JP MORGAN CHASE BANK, NA

PROPOSED

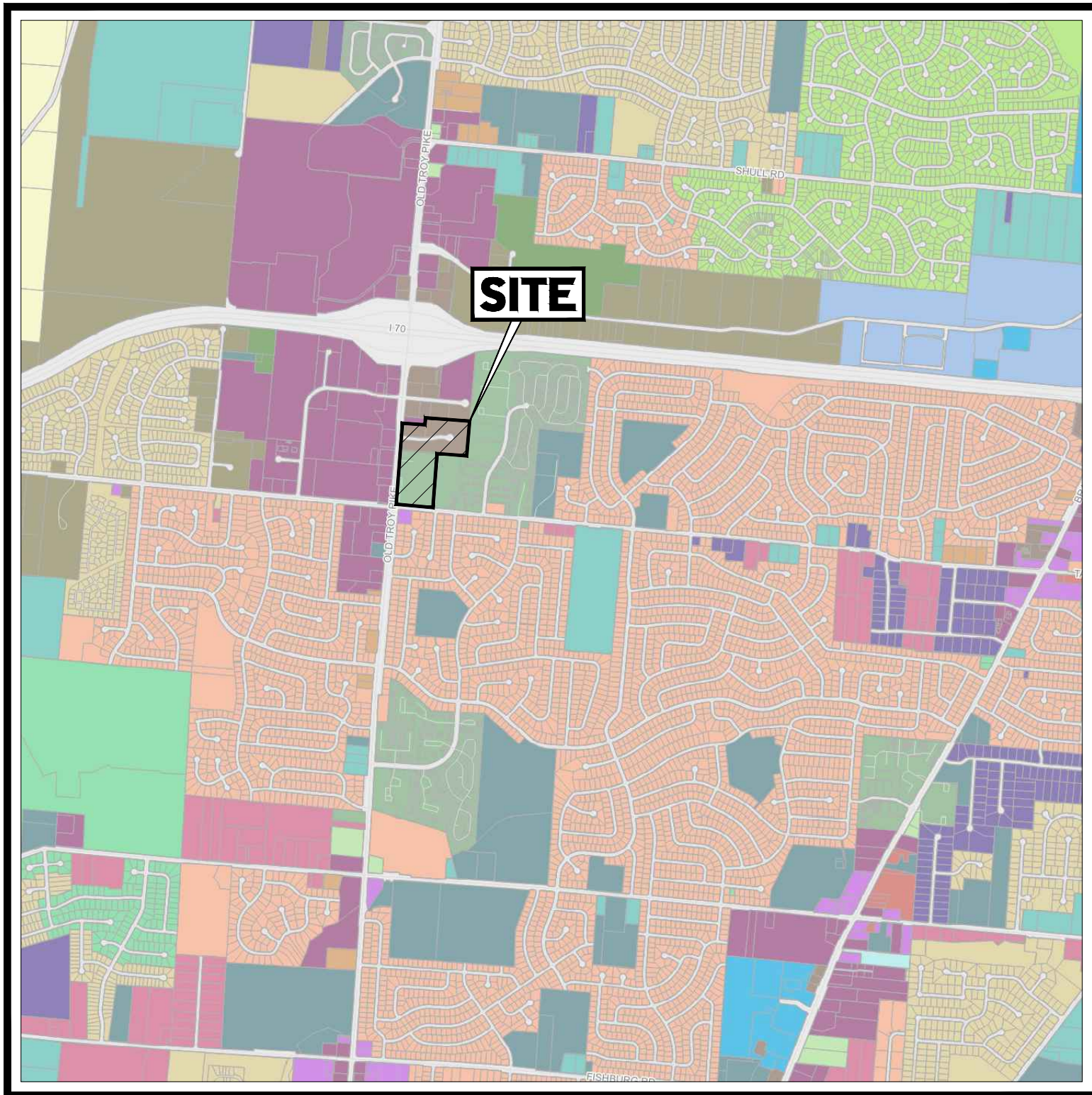
CHASE BANK

LOCATION OF SITE

OLD TROY PIKE & TAYLORSVILLE ROAD

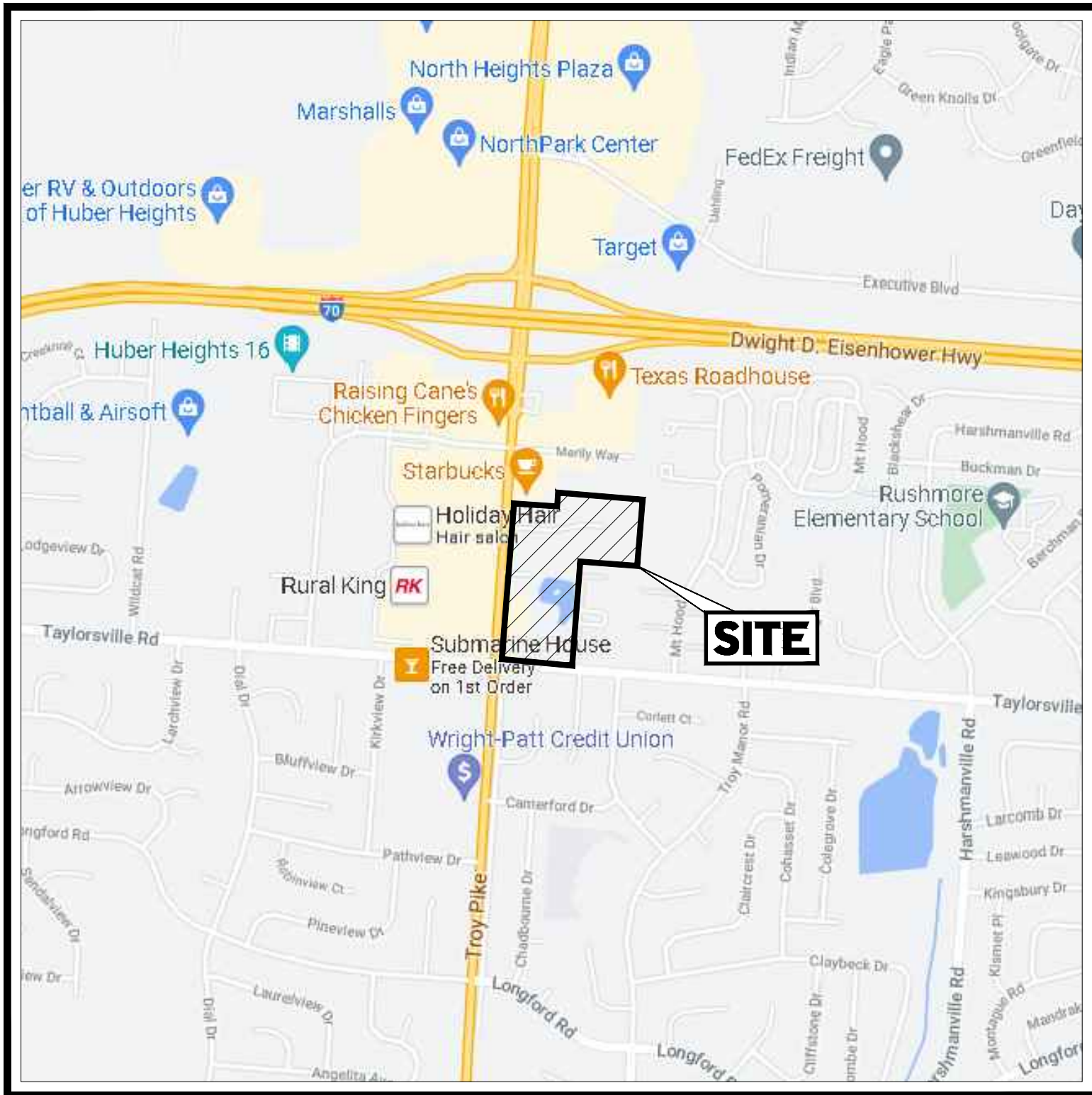
CITY OF HUBER HEIGHTS

MONTGOMERY COUNTY, OHIO



ZONING MAP

SCALE: NTS
SOURCE: CITY OF HUBER HEIGHTS



LOCATION MAP

SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS

PREPARED BY

BOHLER

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
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PROJECT No.: PB214041
DRAWN BY: BCL
CHECKED BY: EEG
DATE: 10/01/2021
CAD ID: PB214041-CNDS-0A

PROJECT:

**DETAILED
DEVELOPMENT
PLAN**

FOR

**JP MORGAN
CHASE BANK, N.A.**

PROPOSED CHASE BANK

OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO

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SHEET TITLE:

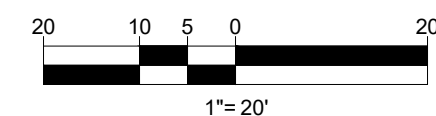
**COVER
SHEET**






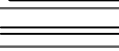
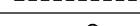



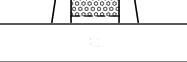




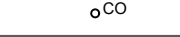






SHEET NUMBER:

C-101

ORG. DATE - 10/01/2021

THIS DDP SET IS PART OF THE OVERALL SITE DDP SET FOR HUBER HEIGHTS COMMON.
SEE SHEET C-102 FOR REFERENCES AND CONTACT INFORMATION.



<h1 style="text-align: center;">LEGEND</h1>	
<h2 style="text-align: center;">PROPOSED</h2>	
PROPERTY LINE	
R.O.W. LINE	
EASEMENT LINE	
SETBACK LINE	
LEASE LINE	
BUILDING	
CONCRETE CURB	
FLUSH CURB	
ACCESSIBLE SYMBOL	
CROSSWALK	
SIDEWALK	
RAMP	
SIGN	
BOLLARD	
PARKING COUN	
AREA LIGHT	
DRAINAGE INLET	 
MANHOLE	
CLEANOUT	
FIRE HYDRANT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	



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DETAILED DEVELOPMENT PLAN

**JP MORGAN
CHASE BANK, N.A.**

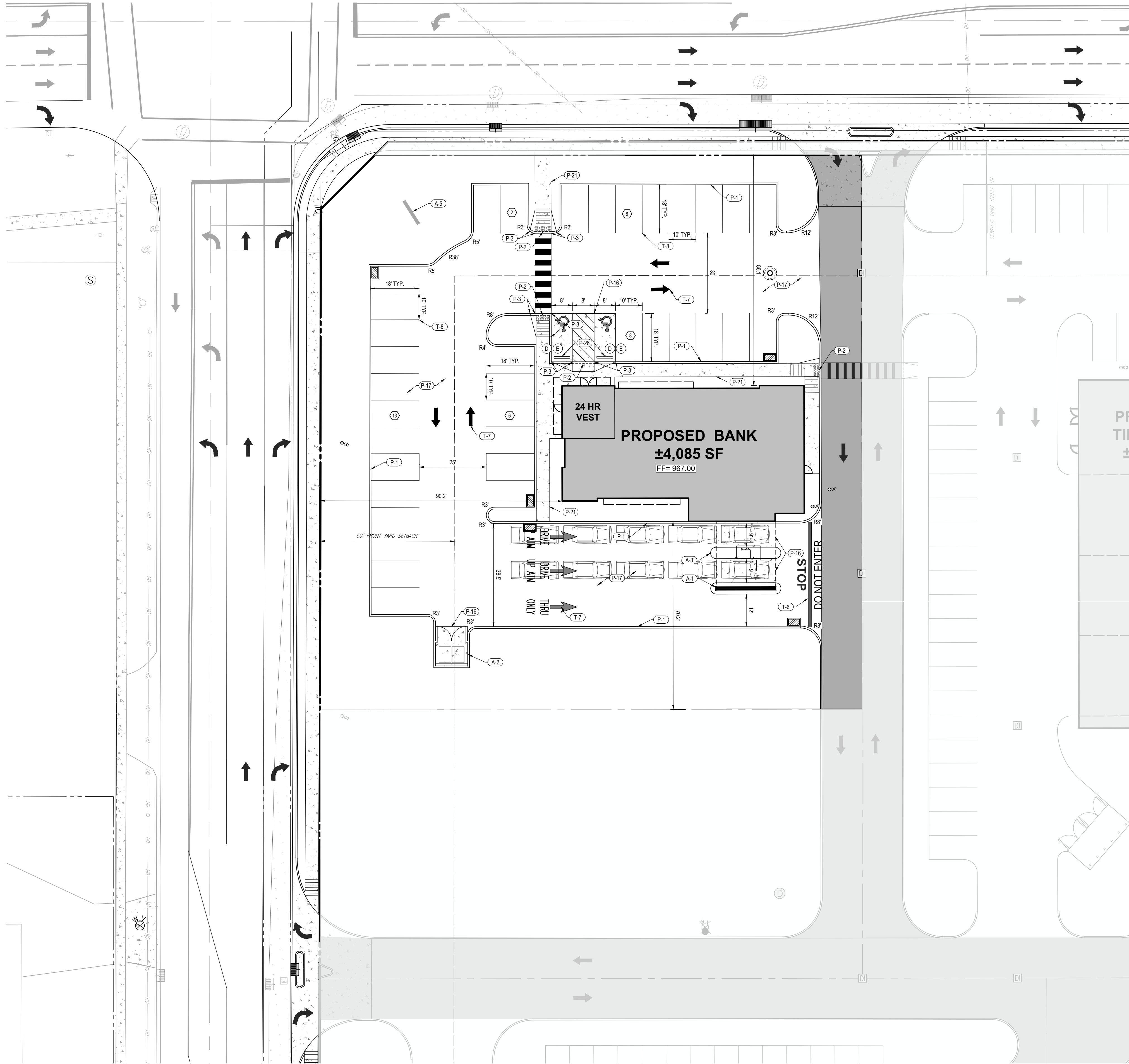
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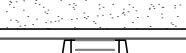








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C-301

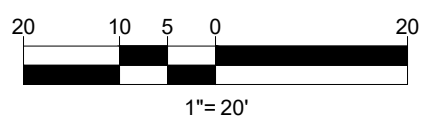
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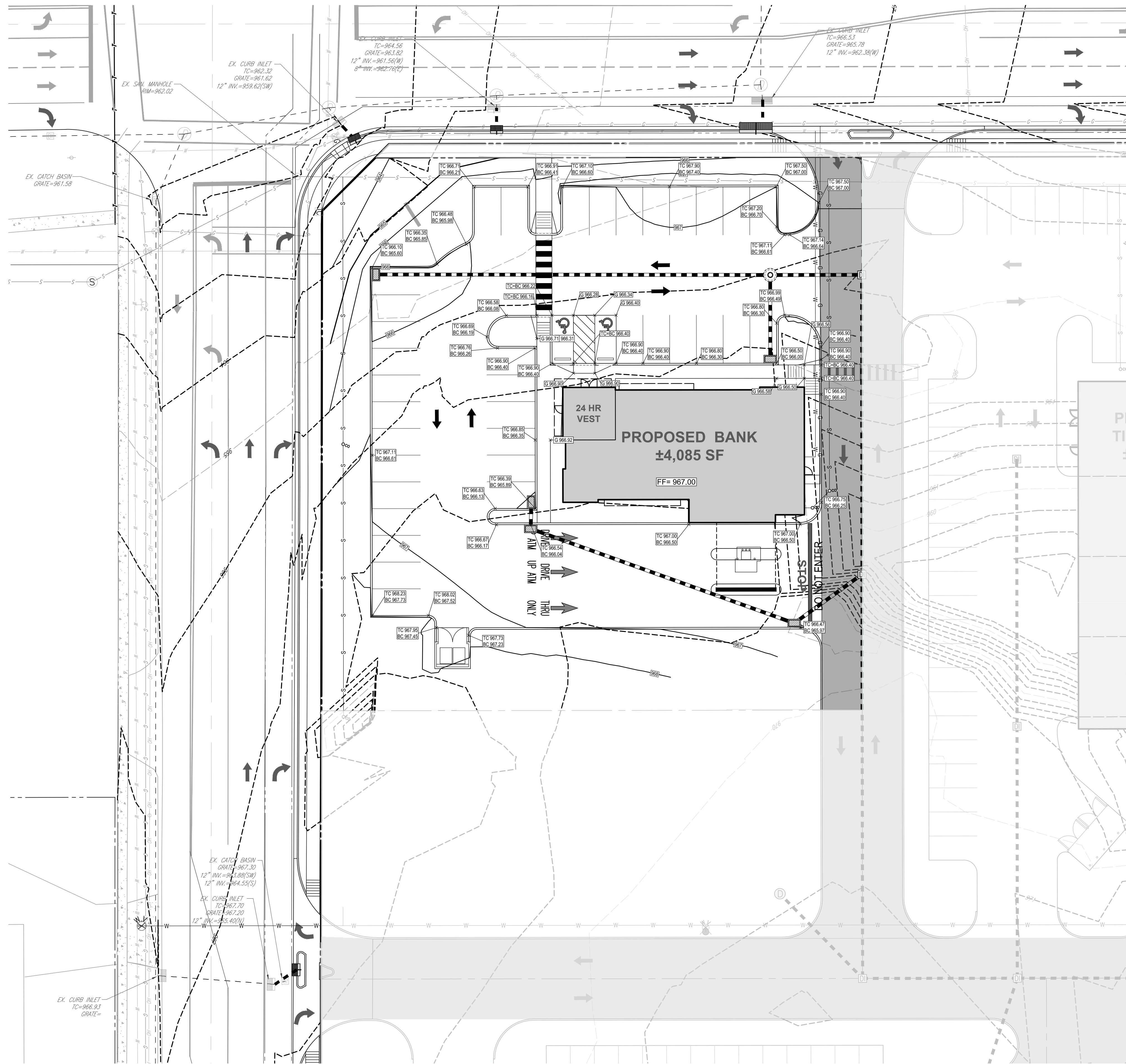
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PROPOSED	
PROPERTY LINE	— — — — —
R.O.W. LINE	=====
EASEMENT LINE	— — — — —
SETBACK LINE	— — — — —
LEASE LINE	— — — — —
BUILDING	
CONCRETE CURB	=====
FLUSH CURB	-----
ACCESSIBLE SYMBOL	
CROSSWALK	
SIDEWALK	
RAMP	
SIGN	
BOLLARD	●
PARKING COUNT	○
AREA LIGHT	
DRAINAGE INLET	 
MANHOLE	
CLEANOUT	○
FIRE HYDRANT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	— OH —












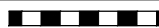
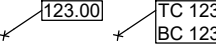
<i>LEGEND</i>	
PROPOSED SIGNAGE	
(A)	STOP
(B)	PEDESTRIAN CROSSING
(C)	DIAGONAL DOWNWARD POINTING ARROW
(D)	RESERVED PARKING WITH PENALTIES
(E)	VAN ACCESSIBLE
(F)	DO NOT ENTER

PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
PROP. CHASE BANK PARKING	1 SPACE PER 200 SF GFA + 1 SPACE PER EMPLOYEE = 4,085 / 200 = 9 = 30 SPACES	37 SPACES
PROP. CHASE BANK STACKING	5 SPACE PER DRIVE-UP WINDOW OR ATM = 5 * 2 = 10 SPACES	10 SPACES



ORG. DATE - 10/01/2021



<h1 style="text-align: center;">LEGEND</h1> <h2 style="text-align: center;">PROPOSED</h2>	
PROPERTY LINE	=====
R.O.W. LINE	=====
EASEMENT LINE	=====
SETBACK LINE	=====
LEASE LINE	=====
BUILDING	
CONCRETE CURB	=====
FLUSH CURB	=====
ACCESSIBLE SYMBOL	
CROSSWALK	
SIDEWALK	
RAMP	
SIGN	
BOLLARD	•
PARKING COUNT	
AREA LIGHT	
DRAINAGE INLET	
MANHOLE	
CLEANOUT	o CO
FIRE HYDRANT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	— OH —
ELECTRIC LINE	— E —
TELEPHONE LINE	— T —
ELECTRIC & TELEPHONE LINE	— E&T —
GAS LINE	— G —
WATER LINE	— W —
SANITARY SEWER	— S —
STORM PIPE	
SPOT ELEVATION	

[illegible]

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DATE:	10/01/2022
CAD I.D.:	PB214041-LDVP-0

PROJECT:

DETAILED DEVELOPMENT PLAN

 FOR

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PROPOSED CHASE BANK

OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS
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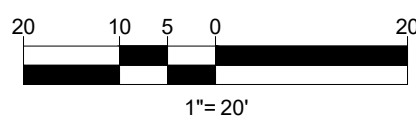
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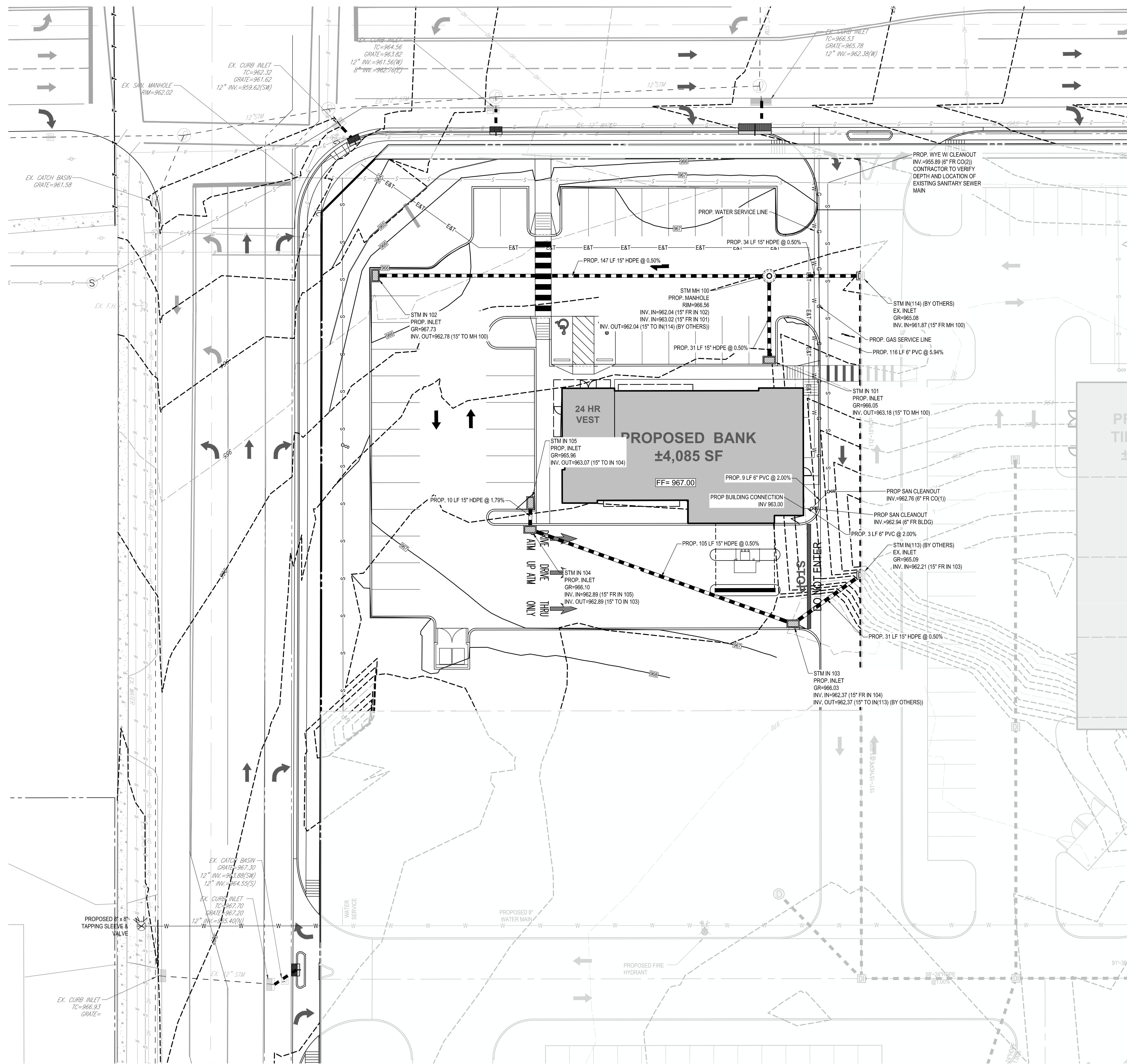
GRADING PLAN

SHEET NUMBER:

C-401

ORG. DATE - 10/01/2021





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R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	
CONCRETE CURB	=====
FLUSH CURB	-----
ACCESSIBLE SYMBOL	
CROSSWALK	
SIDEWALK	
RAMP	
SIGN	
BOLLARD	•
PARKING COUNT	
AREA LIGHT	
DRAINAGE INLET	
MANHOLE	
CLEANOUT	o CO
FIRE HYDRANT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	— OH —
ELECTRIC LINE	— E —
TELEPHONE LINE	— T —
ELECTRIC & TELEPHONE LINE	— E&T —
GAS LINE	— G —
WATER LINE	— W —
SANITARY SEWER	— S —
STORM PIPE	

[illegible]

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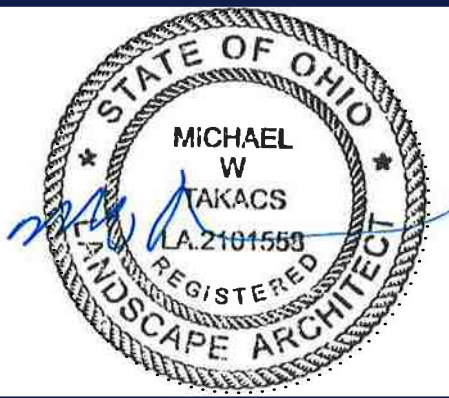
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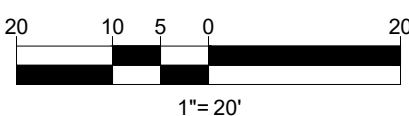


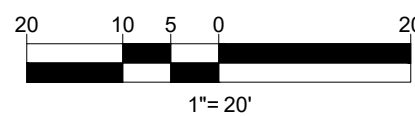
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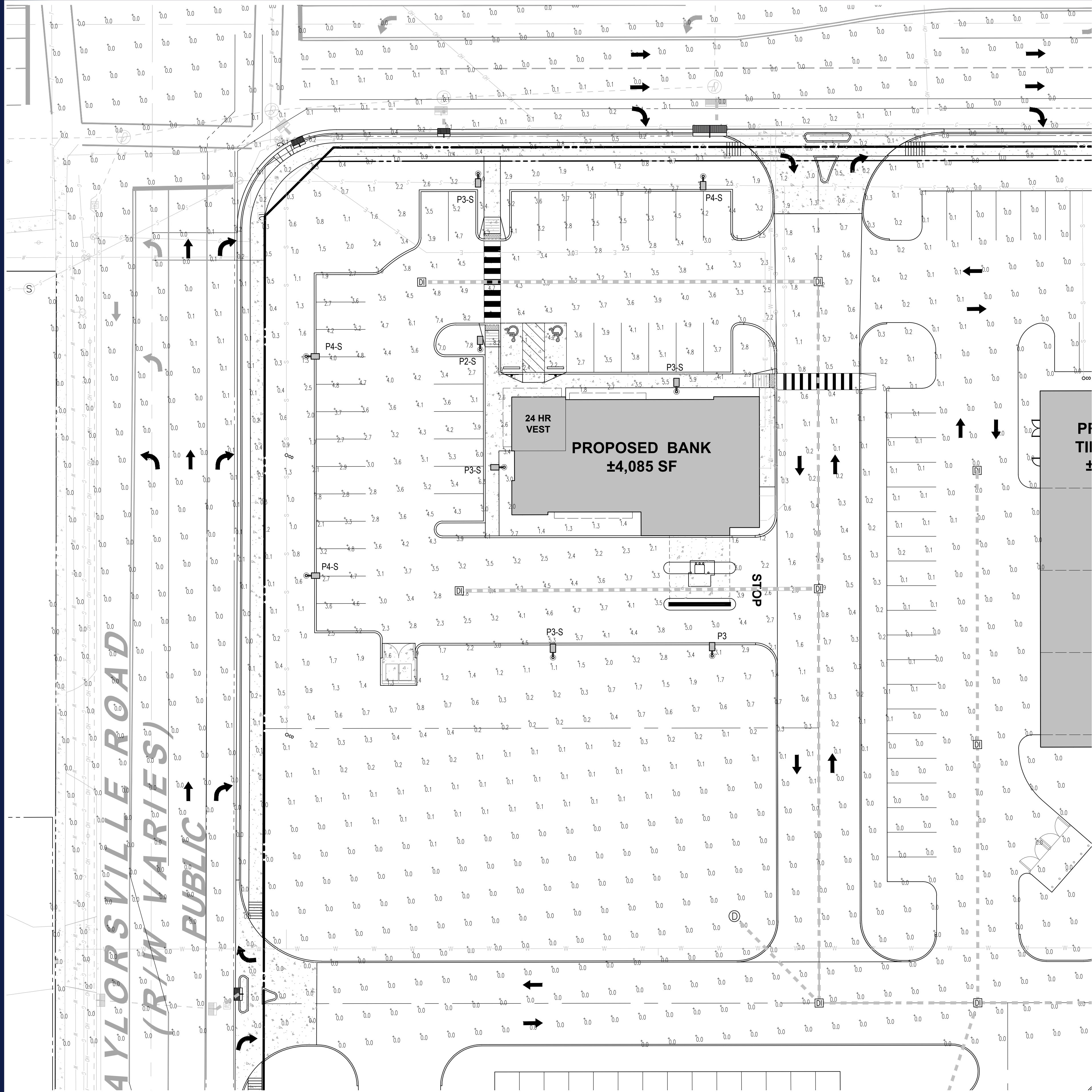
C-501

ORG. DATE - 10/01/2021





- ORG. DATE - 10/01/2021



LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HT.	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P2-S	1	25'-0" AFG	SINGLE	13610	0.900	GE CURRENT, EVOLVE COMPACT LOW WATTAGE LED AREA LUMINAIRE, TYPE AN WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (EACL-01-x-F2-AN-7-40)(ELS-EAC-AB)	VALMONT STRUCTURES, DS340 ROUND NON-TAPERED STEEL POST (DS340-450/250-D1-FP-FBC-AB/CUT TO 22'-6")
P3	1	25'-0" AFG	SINGLE	15300	0.900	GE CURRENT, EVOLVE COMPACT LOW WATTAGE LED AREA LUMINAIRE, TYPE AW, ZERO UP-LIGHT (EACL-01-x-F3-AW-7-40)	VALMONT STRUCTURES, DS340 ROUND NON-TAPERED STEEL POST (DS340-450/250-D1-FP-FBC-AB/CUT TO 22'-6")
P3-S	4	25'-0" AFG	SINGLE	13580	0.900	GE CURRENT, EVOLVE COMPACT LOW WATTAGE LED AREA LUMINAIRE, TYPE AW WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (EACL-01-x-F3-AW-7-40)(ELS-EAC-AB)	VALMONT STRUCTURES, DS340 ROUND NON-TAPERED STEEL POST (DS340-450/250-D1-FP-FBC-AB/CUT TO 22'-6")
P4-S	3	25'-0" AFG	SINGLE	13590	0.900	GE CURRENT, EVOLVE COMPACT LOW WATTAGE LED AREA LUMINAIRE, TYPE AF WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (EACL-01-x-F4-AF-7-40)(ELS-EAC-AB)	VALMONT STRUCTURES, DS340 ROUND NON-TAPERED STEEL POST (DS340-450/250-D1-FP-FBC-AB/CUT TO 22'-6")

CALCULATION SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG MIN	MAX MIN
ALL POINTS	ILLUMINANCE	Fc	0.70	8.2	0.0	N/A	N/A
PAVED AREA	ILLUMINANCE	Fc	3.88	8.2	2.1	1.85	3.90

GENERAL LIGHTING NOTES

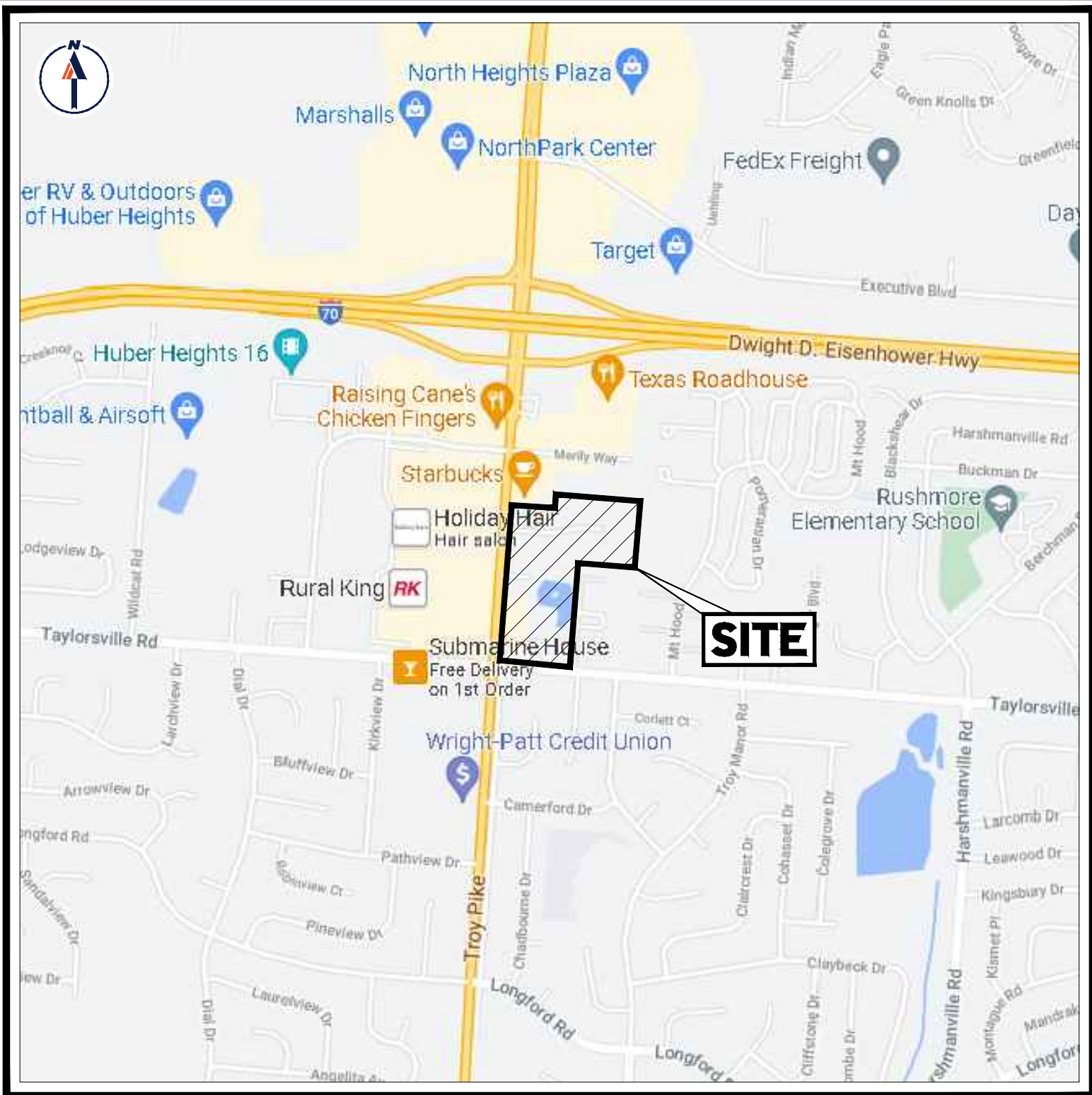
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECTS, MECHANICAL ENGINEERS AND/OR ELECTRICAL CONTRACTORS RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORDS' ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.

LIGHTING COMPLIANCE

- 1179.06 DEVELOPMENT STANDARDS
(d)(9) COMMON PARKING AREAS AND ACCESSWAYS SHALL BE LIGHTED ADEQUATELY WITH LIGHT FIXTURES THAT SHALL BE DESIGNED TO REFLECT LIGHT AWAY FROM ADJACENT PROPERTIES. SPECIAL ATTENTION WILL BE GIVEN TO PROTECT ENTIRELY RESIDENTIAL STRUCTURES FROM LIGHT EMITTED FROM NON-RESIDENTIAL LAND USES. [COMPLIES]
- 1181.21 LIGHTING STANDARDS
(e)(1) LIGHT FIXTURES SHALL NOT BE MOUNTED IN EXCESS OF THE MAXIMUM HEIGHT LIMITATION OF THE DISTRICT IN WHICH THEY ARE LOCATED. THOSE MAXIMUM HEIGHTS ARE LISTED BELOW. PLANNED UNIT DEVELOPMENTS ESTABLISHED BY THE CITY AT THE DETAILED PLAN APPROVAL STAGE (IF NOT ADDRESSED, MAXIMUM MOUNTING HEIGHT SHALL BE 25'). [COMPLIES]
- (e)(4) GLARE CONTROL SHALL BE ACCOMPLISHED PRIMARILY THROUGH THE PROPER SELECTION AND APPLICATION OF LIGHTING EQUIPMENT. ONLY AFTER THOSE MEANS HAVE BEEN EXHAUSTED SHALL LANDSCAPING, FENCING AND SIMILAR SCREENING METHODS BE CONSIDERED ACCEPTABLE MEANS FOR REDUCING GLARE. [COMPLIES]
- (e)(5) OUTDOOR LIGHTING SHALL BE DESIGNED TO ACHIEVE UNIFORM ILLUMINATION LEVELS. THE RATIO OF THE AVERAGE LIGHT LEVEL OF THE SURFACE BEING LIT TO THE LOWEST LIGHT LEVEL OF THE SURFACE BEING LIT, MEASURED IN FOOT-CANDLES, SHALL NOT EXCEED 4:1. ONE FOOT-CANDLE IS EQUAL TO THE AMOUNT OF LIGHT GENERATED BY ONE CANDLE SHINING ON A SQUARE FOOT SURFACE ONE FOOT AWAY. THE AVERAGE ILLUMINATION IS DETERMINED BY: ADDING THE FOOT-CANDLE VALUE OF ALL THE POINTS IN THE PHOTOMETRIC GRID, AND DIVIDING THE SUM BY THE TOTAL NUMBER OF POINTS. [COMPLIES]
- (e)(6) THE USE OF TRUE COLOR RENDERING LAMPS, SUCH AS METAL HALIDE, IS REQUIRED INSTEAD OF THE UTILIZATION OF HIGH AND LOW PRESSURE SODIUM LAMPS. [COMPLIES]
- (e)(7) ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION. [COMPLIES]
- (e)(9) PARKING LOT LIGHTING SHALL BE DESIGNED TO PROVIDE THE MINIMUM ILLUMINATION NECESSARY TO ENSURE ADEQUATE VISION AND COMFORT IN PARKING AREAS. FULL CUT-OFF FIXTURES SHALL BE USED TO PREVENT GLARE AND DIRECT ILLUMINATION AWAY FROM ADJACENT PROPERTIES AND STREETS. DESIGNING THAT RESULT IN EVEN LEVELS OF ILLUMINATION ACROSS A PARKING AREA ARE PREFERRED. [COMPLIES]
- (e)(11) THE FOLLOWING ILLUMINATION LEVELS SHALL ACT AS MINIMUM STANDARDS FOR ALL EXTERIOR LIGHTING. MAXIMUM LIGHTING WILL BE GOVERNED BY THE 4:1 RATIO OF AVERAGE TO MINIMUM ILLUMINATION OF THE SURFACE BEING LIT, WHERE A SITE ADJUTS A NON-RESIDENTIAL DISTRICT. MAXIMUM ILLUMINATION AT THE PROPERTY LINE SHALL NOT EXCEED ONE FOOT-CANDLE. THE CITY MAY ADOPT THESE LEVELS IF SUCH MODIFICATIONS ARE DEEMED NECESSARY AND APPROPRIATE FOR THE USE AND SURROUNDING AREA.

USE	MINIMUM ILLUMINATION
PARKING AREAS	0.2
LOADING AND UNLOADING AREAS	0.4
WALKWAYS	0.2
BUILDING ENTRANCES - FREQUENT USE	1.0

[COMPLIES]



LOCATION MAP

SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS



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CAD ID: PB214041-LIGHT-0A

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PROPOSED CHASE BANK

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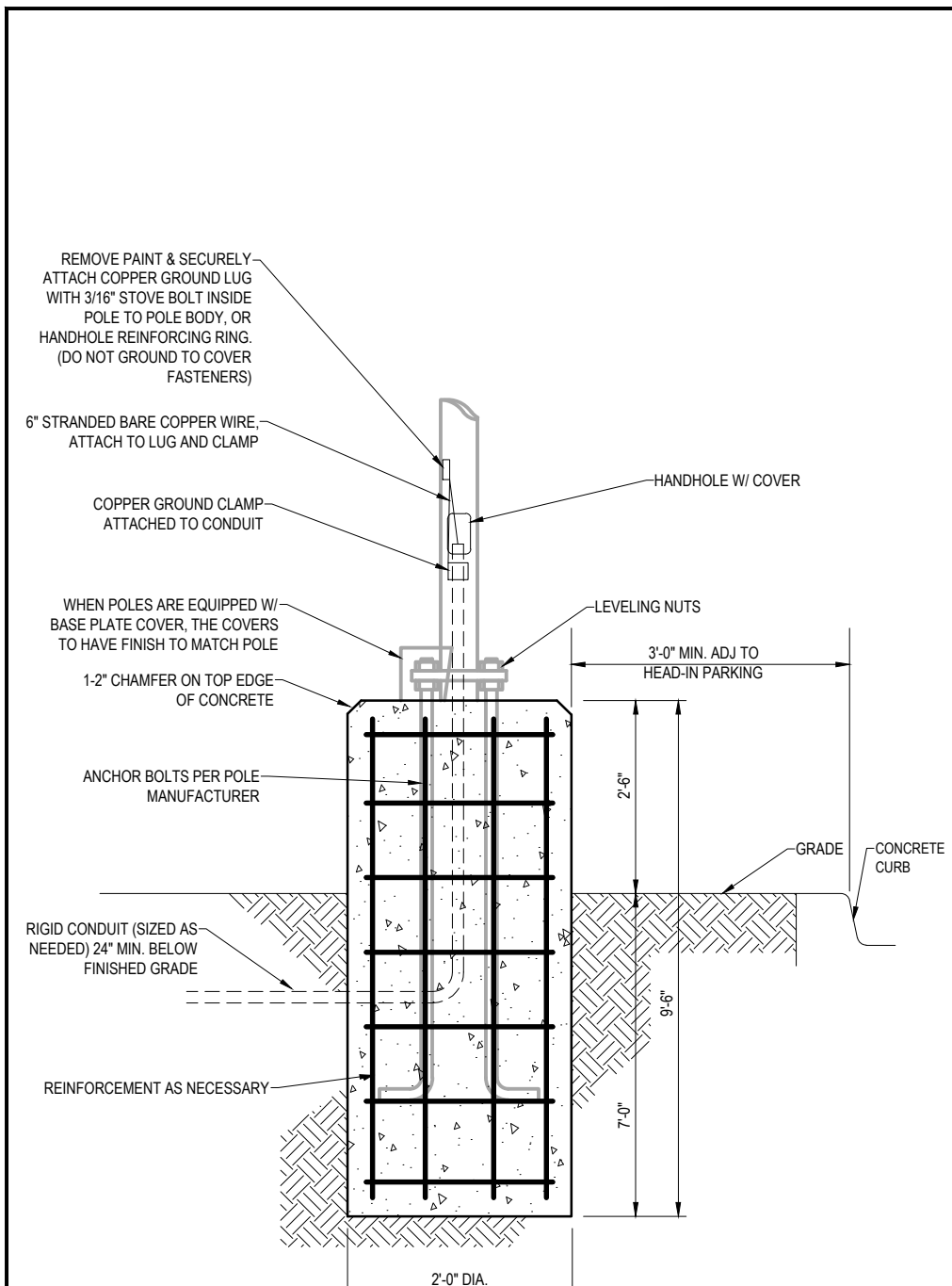
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

C-703

ORG. DATE - 10/01/2024



- NOTES:
1. THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL ENSURE DESIGN IS PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS, SITE SPECIFIC SOIL PARAMETERS.
2. ALL REBAR SHALL HAVE A YIELD STRENGTH OF 60KSI AND MAINTAIN A 3\"/>

I-3

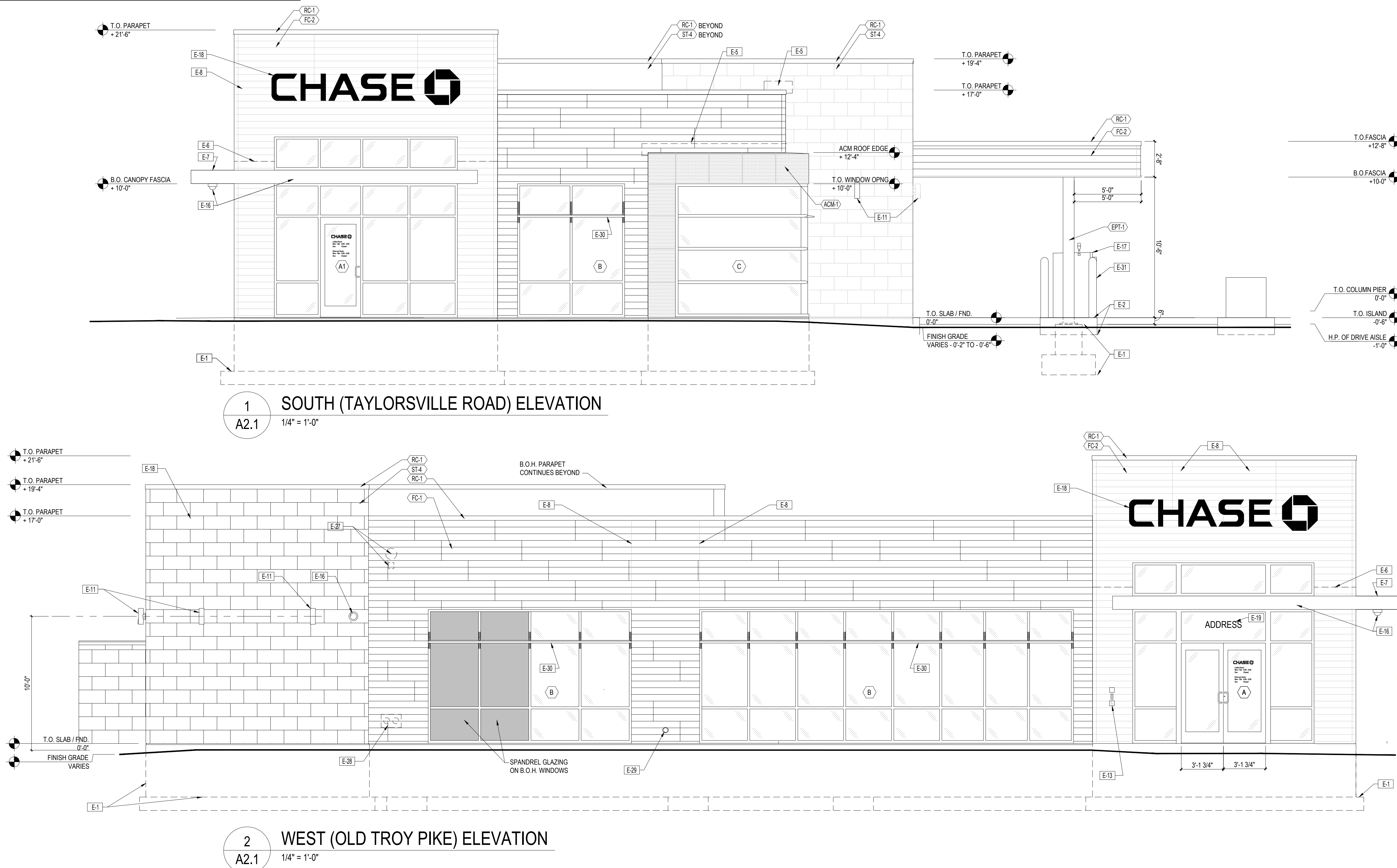
LIGHT POLE FOUNDATION DETAIL

NOT TO SCALE

ELEVATION NOTES	
E-1	CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS.
E-2	CONCRETE CURB AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN
E-3	EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY. RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH. VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION
E-4	LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS
E-5	METAL FLASHING AND COUNTER FLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING TO MATCH ADJACENT ROOFING/COPING
E-6	FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING CONCEALED BEHIND WALL FINISH. REFER TO WALL SECTIONS AND DETAILS. COLOR TO MATCH EPT-4. VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS
E-7	ENTRANCE / ATM CANOPY: SHOP FABRICATED SITE-ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPARED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENED TO BUILDING STRUCTURE. MAPES ARCHITECTURAL CANOPIES SUPER LUMIDECK WITH FLAT SOFFIT AND 12" FASCIA, OR APPROVED EQUAL. REFER TO ROOF PLAN AND WALL SECTIONS. INSTALLED BY G.C.
E-8	CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH VENEER. MATCH SEALANT COLOR TO VENEER COLOR
E-9A	SMALL CANOPY DOWNSPOUT/OVERFLOW: 3" DIAM ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY. CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM. REFER TO SITE PLAN
E-9B	LARGE CANOPY DOWNSPOUT/OVERFLOW: ROUND ALUMINUM DOWNSPOUT. SIZED AS REQUIRED, WITH ATTACHEMENT HARDWARE AS REQUIRED, PAINTED TO MATCH ADJACENT WALL/COLUMN FINISH. SPLASH TO CONCRETE DRIVE UP ISLAND
E-10	SCOURER: REFER TO ROOF PLAN
E-11	SURFACE-MOUNT DECORATIVE LIGHT FIXTURE: REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS
E-12	SURFACE-MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT. REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE
E-13	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE-MOUNT
E-14	HOSE BIB: SET FLUSH WITH FACE OF MASONRY VENEER. REFER TO PLUMBING FIXTURE SCHEDULE
E-15	ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER. PROVIDE METAL COVER COMPLIANT WITH N.E.C.
E-16	SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFER TO OWNERS SECURITY CONSULTANT DRAWINGS
E-17	BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR. COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA
E-18	SIGNAGE: BY OWNER'S SIGN VENDOR. N.I.C. - PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION
E-19	BUILDING ADDRESS NUMBER: WHITE VINYL. NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM. MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE
E-20	ELECTRICAL SERVICE CT / METER CABINET: REFER TO ELECTRICAL DRAWINGS
E-21	EMERGENCY TRANSFER SWITCH: REFER TO ELECTRICAL DRAWINGS
E-22	PHOTOVOLTAIC SYSTEM FUSED DISCONNECT SWITCH: REFER TO ELECTRICAL DRAWINGS
E-23	TELE / DATA / UTILITY CONNECTIONS: REFER TO ELECTRICAL DRAWINGS
E-24	LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, AND DEDICATED WP POWER OUTLET. REFER TO SITE PLAN AND ELECTRICAL PLAN
E-25	GAS METER: REFER TO SITE PLAN AND PLUMBING DRAWINGS
E-26	FUTURE PHOTOVOLTAIC SYSTEM DISCONNECT SWITCH AND PERFORMANCE METER: REFER TO ELECTRICAL DRAWINGS
E-27	FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
E-28	FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQD. BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
E-29	ROOF OVERFLOW DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND DESIGN INTENT ARCHITECTURAL SITE PLAN
E-30	SUN SHADE: GLAZING SYSTEM MANUFACTURER'S STANDARD INTEGRAL SHADE ACCESSORY. REFER TO WALL SECTIONS. MATCH GLAZING SYSTEM FINISH. BASIS OF DESIGN IS KAWNEER VERSOLEIL 30" WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES
E-31	BOLLARD: REFER TO SITE PLAN AND DRIVE-UP CANOPY PLAN A0.3 AND ELEVATIONS A2.3

EXTERIOR FINISH MATERIALS		
ST-4	CAST STONE- ROCKFACE FIELD UNITS	
	MANUFACTURER	CORONADO STONE PRODUCTS
	PRODUCT	MANUFACTURED STONE VENEER
	COLOR	CREAM
	FINISH	CHISELED LIMESTONE
FC-1	SIZE	24" WIDE x 12" HIGH x 1" THICK
	GROUT	1/4" NOMINAL JOINTS WITH FULL SMOOTH TOOLED NATURAL OFF-WHITE PORTLAND CEMENT GROUT
	NOTES	RUNNING BOND MANUFACTURED THIN STONE FIELD-CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUFACTURER'S FABRICATED RETURN CORNER PIECES- MITERED CORNERS ARE NOT ACCEPTABLE. PLACE CONTROL JOINTS AS RECOMMENDED BY THE MANUFACTURER. REFER TO WALL SECTIONS AND DETAILS
FC-2	FIBER CEMENT PANEL- DARK	
	MANUFACTURER	NICHIHA FIBER CEMENT
	PRODUCT	VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL PROJECTS)
	COLOR	BARK
	SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
FC-3	FIBER CEMENT PANEL- LIGHT	
	MANUFACTURER	NICHIHA FIBER CEMENT
	PRODUCT	VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL PROJECTS)
	COLOR	ASH
	SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
DFS-1	DIRECT-APPLY FINISH SYSTEM (ALT. TO PAINTED STEEL DECK)	
	MANUFACTURER	STO
	PRODUCT	STOQUICK GOLD
	COLOR	MATCH SHERWIN WILLIAMS SW 6995 SUPERWHITE
	FINISH	STOLIT 1.0

ROOF COPING	
RC-1	MANUFACTURER
	PETERSEN ALUMINUM / PAC-CLAD
	PRODUCT
ACM-1	MANUFACTURER
	ALCOA ARCHITECTURAL PRODUCTS
	PRODUCT
EPT-1	MANUFACTURER
	SHERWIN-WILLIAMS
	PRODUCT
EPT-2	MANUFACTURER
	SHERWIN-WILLIAMS
	PRODUCT
EPT-8	MANUFACTURER
	SHERWIN-WILLIAMS
	PRODUCT
DFS-1	MANUFACTURER
	STO
	PRODUCT



SEAL:

CONSULTANTS:
PROJECT ARCHITECT:
DAVID ALLEN YOUSE,
ARCHITECT
995 WEST 3RD AVE.
COLUMBUS, OH 43212
(614) 297-1020 PHONE

MEP ENGINEER:
THORSON BAKER & COMPANY
3030 W. STREETSBORO RD.
RICHFIELD, OH 44286
(330) 659-6686 PHONE

STRUCTURAL ENGINEER:
PAUL J. FORD & CO.
250 EAST BROAD STREET, SUITE 600.
COLUMBUS, OH 43215
(614) 221-6679 PHONE

CIVIL ENGINEER:
BOHLER ENGINEERING
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
(724) 638-8500 PHONE

IRRIGATION:
HINES INC
323 W. DRAKE RD. SUITE 204
FORT COLLINS, CO 80526
(970) 282-1800 PHONE

REVISIONS:
NO. DATE REMARKS

CHASE

MORGAN CHASE BANK
RETAIL BANKING CENTER
XXXX OLD TROY PIKE
HUBER HEIGHTS, OH 45424

STATE OF OHIO
MICHAEL J. WILKINS
REGISTERED PROFESSIONAL ARCHITECT
#381008373114

ELEVATIONS
PROJECT NO: 21303
BID/PERMIT
DATE: XXXX/2021

A2.1

PRINT DATE:



ST-4
CORONADO STONE PRODUCTS
CREAM
URBANA SMOOTH LIMESTONE



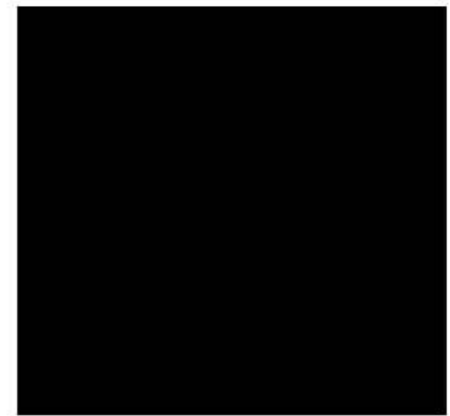
EPT-1
SHERWIN WILLIAMS
SW7045 INTELLECTUAL GRAY
SEMI-GLOSS



FC-1
NICHIIHA FIBER CEMENT
VINTAGEWOOD AWP1818
BARK



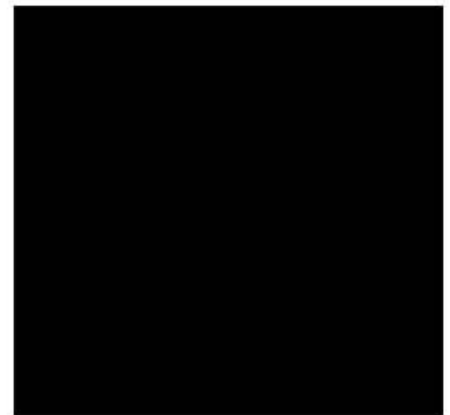
FC-2
NICHIIHA FIBER CEMENT
VINTAGEWOOD AWP 1818
ASH



RC-1
PETERSEN ALUMINUM / PAC-CLAD
PAC-CONTINUOUS
BLACK



ACM-1
ALCOA ARCHITECTURAL PRODUCTS
REYNOBOND
DURAGLOSS 5000 CHASE PROGRAM
"CHASE SILVER"



EXTERIOR DOORS / STOREFRONT
ALUMINUM
BLACK ANODIZED



EXTERIOR STOREFRONT
SPANDREL GLASS
WARM GRAY



WEST ELEVATION

SPANDREL WINDOWS

21'-6"

17'-0"



SOUTH ELEVATION

21'-6"

19'-4"

17'-0"

12'-8"

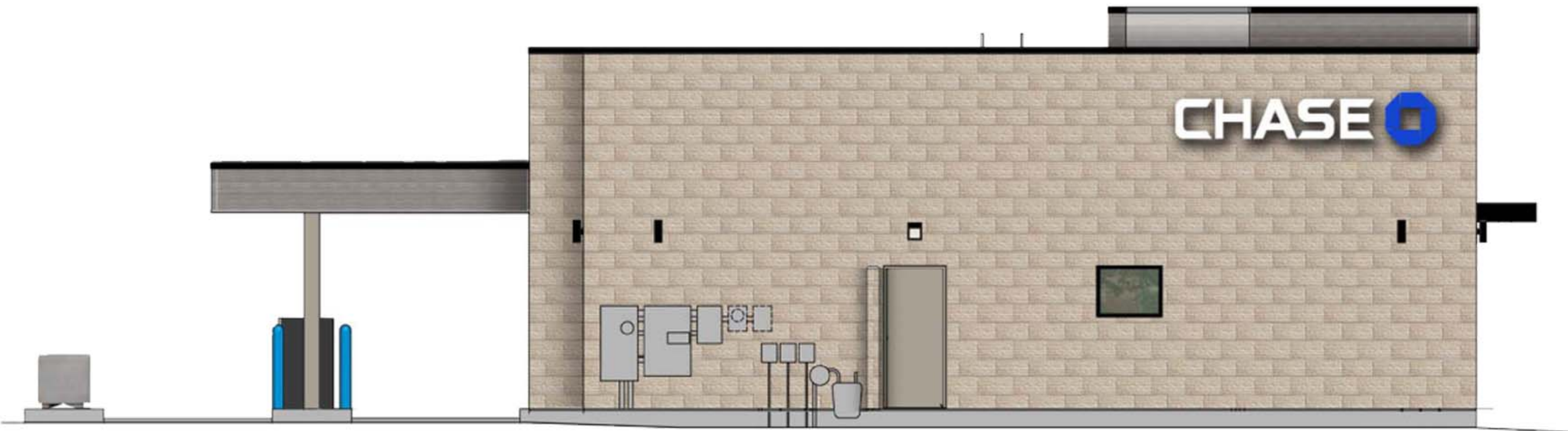


EAST ELEVATION

19'-4"

17'-0"

12'-8"



NORTH ELEVATION

21'-6"

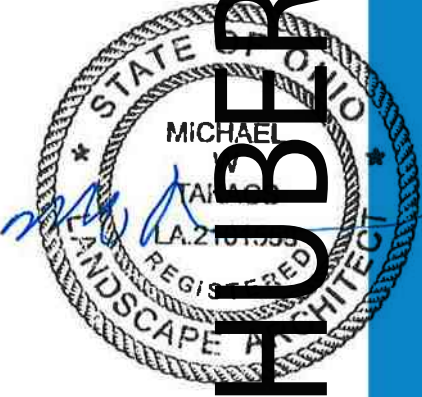
19'-4"



TRASH ENCLOSURE
FRONT ELEVATION



TRASH ENCLOSURE
SIDE ELEVATION



CHASE - HUBER HEIGHTS PROPOSED ELEVATIONS



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Chase Bank - Broad Reach Development		
Occupancy Address:	Old Troy Pike and Taylorsville Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-217
MCBR ELE:		HHFD Box:	3
REVIEWER:	Susong	DATE:	10/25/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017 and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.

- Fire apparatus access roads will need to comply with OFC 503 as well as the adopted appendices from the OFC (2017) and the Huber Heights Codified Ordinance (HHCO) Section 15.
- The minimum drive width shall be 26 feet with fire hydrants. OFC Appendix D103.1. ***(To enable fire apparatus access around buildings we are requesting that the bypass lane at the proposed bank be increased.)***
- Verify that proposed trees do not obstruct fire department access and access roads. The minimum clear vertical height for fire apparatus access roads shall be 13 feet 6 inches, in accordance with Ohio Fire Code 503.2.1.
- Buildings provided with fire sprinkler systems will need to have a fire department connection located within 75 feet of a fire hydrant in accordance with Huber Heights Codified Ordinance 1521.01(e).

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-7897

7. H.

Planning Commission

Meeting Date: 10/26/2021

DETAILED DEVELOPMENT PLAN

Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, BROAD REACH RETAIL PARTNERS, LLC, is requesting approval of a Detailed Development Plan for 1.10 acres for property at the northeast corner of Taylorsville Road and Old Troy Pike (ZC 21-32).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Fire Assessment

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission

From: Scott Falkowski, Assistant City Manager

Date:

Subject: ZC 21-32 (Detailed Development Plan – Broad Reach)

□ Application dated October 1, 2021

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Broad Reach Retail Partners, LLC– Applicant
HF 2 SUB LLC- Owner

DEVELOPMENT NAME: Huber Heights Center

ADDRESS/LOCATION: Northeast corner Taylorsville and Old Troy Pike

ZONING/ACREAGE: Planned Mixed Use (PM) / 1.10 acres

EXISTING LAND USE: Multi-Family Residential/Office

ZONING

ADJACENT LAND: R-6, B-3, PC

REQUEST: The applicant requests approval of a Detailed Development Plan for 1.10 acres at the Taylorsville Road and Old Troy Pike intersection

PREVIOUS APPROVAL:

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STATEMENT OF FACT:

The applicant requests approval of a Detailed Development Plan for a retail building in the Mixed Use development at the above-described location.

STAFF ANALYSIS AND RECOMMENDATION:

Overview:

The above-described property was rezoned from R-6 - Residence and B-3 - Commercial to PM – Planned Mixed Use in 2021. The site is located at the northeast corner of Taylorsville Road and Old Troy Pike. The overall proposal calls for the construction of six commercial buildings to be located on individual lots and 192 market rate apartment units housed in 6 multi-family buildings. The proposal before Planning Commission calls for the construction of a new 11,050 square foot retail Facility which is a permitted use in the Planned Mixed Use Zoning District as a commercial use. Staff's analysis of the proposal is broken into several segments as follows.

1171.09 - Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.*

(Ord. 89-O-339, Passed 2-6-89)

1171.091 - Planning commission/council review.

It is the purpose of the Planning Development regulations to encourage property owners to develop their land in efficient and effective ways. It is the intent of these regulations to encourage land uses which may not always meet traditional zoning rules. Inherent in these Planned Development regulations is an opportunity for property owners to develop their sites without requiring strict compliance with all zoning regulations where the overall plan is deemed to be in the best interest of the City. During review of a Basic or Detailed Development Plan by the Planning Commission or City Council, all requirements within Part 11, Title 7 of the Code are to be used as guidelines and may be varied as part of the Basic or Detailed Development Plan if it is determined that such deviation will not materially adversely affect neighboring properties or the community as a whole, any such variation of these requirements does not change the overall plan and character of the proposed development, and the variance does not have the effect of nullifying the intent and purpose of these regulations or the Zoning Ordinance. In granting variances or modifications, the Commission or Council may require such conditions as shall, in its judgement, secure substantially the objective of the standards or requirements so varied or modified.

(Case 427; Ord. 2002-O-1367, Passed 9-9-02)

Building Elevations:

The building is made up of different shades of brick and different shades of EIFS. There is a good mix of colors and depth to the building. The total building height is twenty feet, eight inches. The dumpster enclosure is proposed to be made of masonry materials to match the building and have gates at the front.

Site Design and Engineering:

1179.06 Development standards.

Except when specifically modified herein, the provisions of the Planning and Zoning Code shall govern. The following development standards apply to a PM development:

- (a) *Minimum Land Area Requirement.* A minimum of 20 acres shall be required.
- (b) *Covenants.* The developer of a PM development shall be required to submit a set of covenants or deed restrictions with the Basic Development Plan application that will outline, at a minimum, development standards and guidelines established in this chapter and any other requirements the developer and/or Planning Commission deems necessary. The Planning Commission may require additional or amended covenants as it deems necessary to ensure compliance with the Planning and Zoning Code and the Planned Mixed Use District.

- (c) *Required Mix of Land Uses.* A developer shall be required to provide a mix of land uses in a PM Development. At a minimum, at least two of the following uses are required in a PM Development: residential, commercial, office, institutional, and/or industrial.
- (d) *Site Planning.*
- (1) The combination of different uses whether as part of one building or as part of the overall development shall be designed and developed so as not to create a nuisance by excessive noise, light, vibration, odor, or any other annoyances for any uses within the development or neighboring properties.
 - (2) A PM development is to be designed so that buildings and structures are clustered and open space areas are preserved and maintained. Special care shall be given to protect preexisting natural features including, but not limited to, woodlands, ravines, streams, lakes, ponds, and/or flood plains. Impervious surface coverage, including, but not limited to, buildings, parking area, and accessways, shall not exceed 75 percent of the total development area. Therefore, 25 percent of the development area shall be reserved for green space.
 - (3) The number of ingress and egress points onto the public streets shall be limited in order to reduce the number of traffic conflict points. Adequate and properly arranged facilities for internal pedestrian and traffic circulations shall be provided. The street and thoroughfare network shall be designed to minimize truck traffic through residential areas of the development.
 - (4) Parking systems shall be designed so as to discourage single large unbroken paved lots for off-street parking and shall encourage smaller defined parking areas within the total parking system. Underground parking facilities are encouraged.
 - (5) The development shall be designed to tie all the uses into one overall community and encourage walking, biking, running, and alternative modes of transportation. Developers are encouraged to incorporate bus stops, bikeways, walkways, and crosswalks into an overall thematic scheme for pedestrian traffic. Sidewalks shall be required except, in the case of a golf course or specific open space development, the Planning Commission may determine them to be unnecessary.
 - (6) Any signs as proposed within this district, shall comply with Chapter 1189 "Signs". Additionally, a developer of a PM development shall develop and submit with the Detailed Development Plan application, a comprehensive set of graphic design criteria for signage in the development. This set of graphic design criteria for signage shall be approved by the Planning Commission and shall apply to all signage requests within the development. The criteria shall include, at a minimum, the sizes permitted (if different from Chapter 1189), colors

permitted, materials permitted, typefaces permitted, type size permitted, and permitted illumination. Compliance with the on-site comprehensive graphics shall be verified by the Zoning Administrator during the sign permit review process.

- (7) Minimum lot area, frontage and setback requirements may be varied to allow greater flexibility in design. However, the following shall be used as a guideline for development:
 - A. With multiple buildings on a single property, entirely residential buildings shall be at least 15 feet from another entirely residential building and at least 50 feet from nonresidential or mixed-use buildings.
 - B. With multiple buildings on a single property, nonresidential buildings or mixed use buildings shall be at least 20 feet or one-half the height of the taller building apart, whichever is greater from another nonresidential or mixed use building.
 - C. All nonresidential buildings or mixed-use buildings shall be set back at least 50 feet or the height of the structure, whichever is greater, from any residential property or residential building, whichever is closer, and from the public right-of-way. This setback applies to multiple buildings on a single property, to development within a PM development, and where it abuts to adjacent property.
- (8) No maximum height restriction shall apply, except that the proposed development meets all Federal Aviation Administration (FAA), Dayton International Airport or Wright Patterson Air Force Base height or abatement requirements.
- (9) Common parking areas and accessways shall be lighted adequately with light fixtures that shall be designed to reflect light away from adjoining properties. Special attention will be given to protect entirely residential structures from light emitted from nonresidential land uses.
- (10) Nonresidential uses shall have trash containers and/or receptacles (including recycling containers) placed to the rear of all structures and shall be screened or enclosed on four sides with opening doors for the purpose of trash removal. The placement of trash containers and/or receptacles in multi-family residential developments shall be as inconspicuous as possible. The use of a wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent and a height of 12 inches above the top of the largest container is required.
- (11) The architecture of nonresidential structures is encouraged to be unique yet similar in certain sections of the PM.
- (12) The distribution systems for utilities are required to be underground.
- (13) The use of privately owned open space and public dedicated park land is encouraged as part of a PM development. Privately owned open space shall be maintained by the developer or by a duly authorized owner's association.

- (14) The use of chain link fencing is prohibited. Additionally, on an entirely residential property, no fencing shall be permitted in the front yard and, in the case of a corner lot, no fencing shall be permitted in the side yard with frontage to a public right-of-way. The covenants submitted by the developer shall establish the height requirements for fencing in the development. Fencing in a development shall be uniform in height in related use areas. On an entirely residential property, fence height shall not exceed six feet.
- (15) With the submission of a Basic Development Plan application, the applicant is required to submit a phasing plan that details when certain sections of the development will commence construction and when the sections will be complete.

(Case 346; Ord. 99-O-1199, Passed 3-22-99)

The building is 86 feet from the Old Troy Pike Right-of-Way. The building in this location is surrounded by other commercial uses. Pedestrian access should be provided from Old Troy Pike. The dumpster enclosure is located at the rear of the building.

Parking is as follows.

Specialty retail commercial, specialty food store, personal service and commercial center, shopping center: one space for every 200 square feet of gross floor area less than 2,000 square feet and one space for every 250 square feet of gross floor area greater than 2,000 square feet, except that commercial entertainment uses in commercial centers shall provide additional parking as required in subsection (c)(6) hereof.

By Code, forty-six spaces would be required. Thirty-six parking spaces are provided, with two being handicap accessible. The proposal calls for nine-foot width parking spaces, while the standard City code is ten feet wide spaces.

Utilities:

The building will be serviced by connections to public water and sanitary sewer connections. Gas, telephone, and electric are also available at the site limits. Drainage is being collected through catch basins and storm sewer routing the flow to the existing retention pond to the east. There is no need for additional storm water detention. A lighting plan has been submitted and meets the standards of City Code 1181.21.

Signage:

A signage package for the building has not been submitted at this time. Three monuments signs are proposed for the entire development. Sign A located at the new signalized intersection is planned to be sixteen feet eight inches tall and twelve feet wide. This will be a multi tenant sign. The next sign, Sign B, would be located at the entrance to the development on Taylorsville Road. This multi tenant sign is proposed to be fourteen feet two inches tall and nine feet wide. Finally, Sign C located at the intersection of Old Troy Pike and Taylorsville Road is proposed to be five feet tall and fourteen feet wide.

Landscaping:

Landscaping is being provided around the perimeter of the building and site. The landscaping consists of deciduous trees, evergreen trees, shrubs, grasses, and perennials. Staff recommends adding Autumn Fantasy Maple trees along Old Troy Pike to match the spacing that was approved with the Discount Tire Store.



Planning Commission Decision Record

WHEREAS, on October 1, 2021, the applicant, Broad Reach Retail Partners, LLC, requested approval of a Detailed Development Plan for property at the northeast corner of Taylorsville Road and Old Troy Pike (Zoning Case 21-32), and;

WHEREAS, on October 26, 2021 the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approved of the request.

moved to approve the application submitted by Broad Reach Retail Partners, LLC, and the applicant's request for approval of a Detailed Development Plan for property at the northeast corner of Taylorsville Road and Old Troy Pike (Zoning Case 21-32) in accordance with the recommendation of Staff's Memorandum dated with the following conditions:

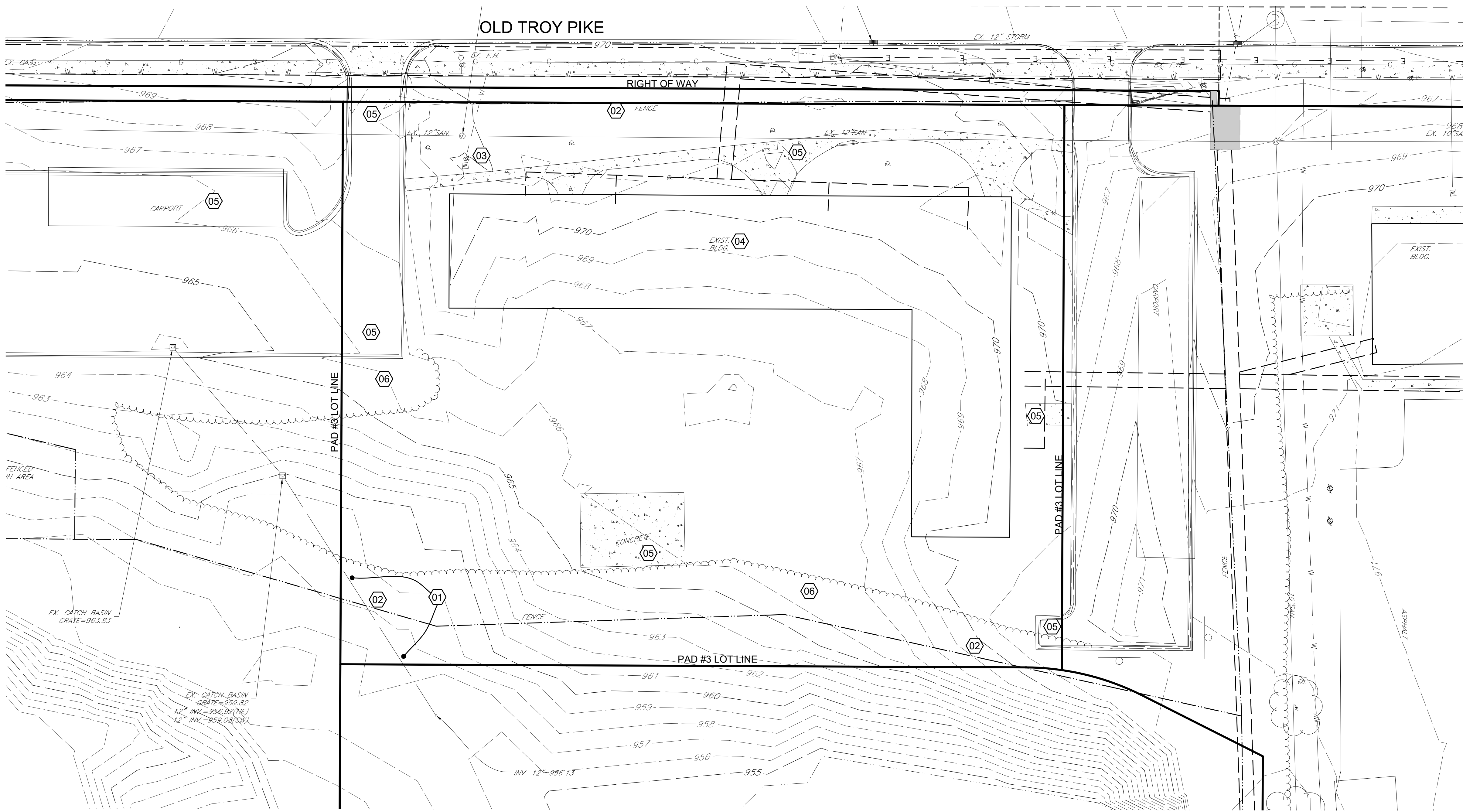
1. The approved Detailed Development Plan shall be the plans stamped received by the City of Huber Heights Planning Department on August 9, 2021, except as modified herein.
2. The applicant shall receive final Engineering approval prior to a Zoning Certificate being issued.
3. The applicant shall address all Fire Division comments prior to a Zoning Certificate being issued.
4. Ground signage is not approved with this application.
5. A pedestrian connection shall be added to Old Troy Pike.
6. Parking spaces shall be ten feet wide.
7. Landscaping along Old Troy Pike shall closely match that as approved for the Discount Tire Store.

8. All traffic improvements on Old Troy Pike and Taylorsville Road described in Zoning Case 21-25 shall be complete prior to the issuance of a final for any building within this development.
9. Prior to the issuance of a zoning permit, the applicant shall enter into a PUD Agreement with the City for the purpose, but not the sole purpose, of establishing the development obligations of the applicant and requiring the submittal of a performance bond, cash bond, or letter of credit to insure the installation of landscaping as approved. The bond or letter of credit shall be in an amount equal to the applicant's estimate of the cost of installation as approved by the Planning Department, and shall remain in effect until such time as the landscaping has been completed as determined by the Planning Department. Upon completion of the installation of landscaping as required by the approved landscape plan, the applicant may request release of the performance bond or letter of credit. Following an inspection by the Planning Department and upon determination by the department that the landscaping has been completed in accordance with the approved landscaping plan, 80% of the performance bond or letter of credit may be released. However, the performance bond or letter of credit will not be released until a maintenance bond lasting three growing seasons, or letter of credit equal to 20% of the initial performance bond or letter of credit to ensure maintenance of the landscaping, is submitted to and accepted by the Planning Department. The term of the maintenance bond shall be three growing seasons.

Seconded by _____. Roll call showed: YEAS: NAYS: Motion to approve carried

Terry Walton, Chair
Planning Commission

Date



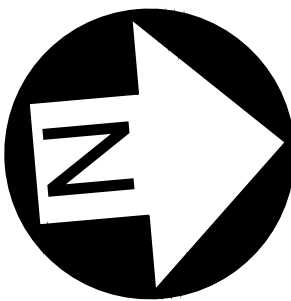
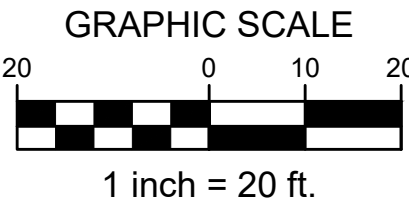
GENERAL DEMOLITION NOTES

1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
2. All items noted to be removed shall be done as part of the contract for general construction.
3. Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
5. The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
6. For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
7. The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
8. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.

DEMOLITION KEYNOTES

- 01 STORM SEWER TO BE REMOVED AND DISPOSED OF.
- 02 FENCE TO BE REMOVED AND DISPOSED OF.
- 03 CITY OF HUBER HEIGHTS WATER SERVICE AND METER BOX TO BE REMOVED AND DISPOSED OF. COORDINATE WORK WITH CITY OF HUBER HEIGHTS.
- 04 BUILDING TO BE REMOVED AND UTILITY LINES ABANDONED PER UTILITY PROVIDER REQUIREMENTS.
- 05 PAVEMENT, SIDEWALKS, AND PADS TO BE REMOVED AND DISPOSED OF.
- 06 TREES TO BE CLEARED ON SITE.

EXISTING LEGEND			
● IRON PIN FOUND	⚡ FLAGPOLE	— EX. SANITARY SEWER	
⦿ ELECTRIC METER	⚡ DOWNSPOUT	— W — EX. WATER MAIN	
⦿ POWER POLE	⚡ AC UNIT	— EX. STORM SEWER	
— GUY ANCHOR	⚡ GAS METER	— OHE — EX. OH ELECTRIC LINE	
⦿ SANITARY CLEANOUT	⚡ LIGHT POLE	— UG — EX. UG ELECTRIC LINE	
⦿ LAMPHOLE	⚡ FIRE HYDRANT	— EX. CONTOUR	
⦿ SANITARY MANHOLE	⚡ WATER MAIN VALVE	— — — — — SUBJECT PROPERTY LINE	
⦿ CURB INLET	⚡ WATER METER	— — — — — ADJACENT PROPERTY LINE	
⦿ DRIP INLET	⚡ SIGN		
⦿ STORM MANHOLE	⚡ TREE W/SIZE		
⦿ AREA DRAIN	⚡ EVERGREEN TREE		
⦿ NUMBER OF PARKING STALLS	⚡ HANDICAP PARKING		

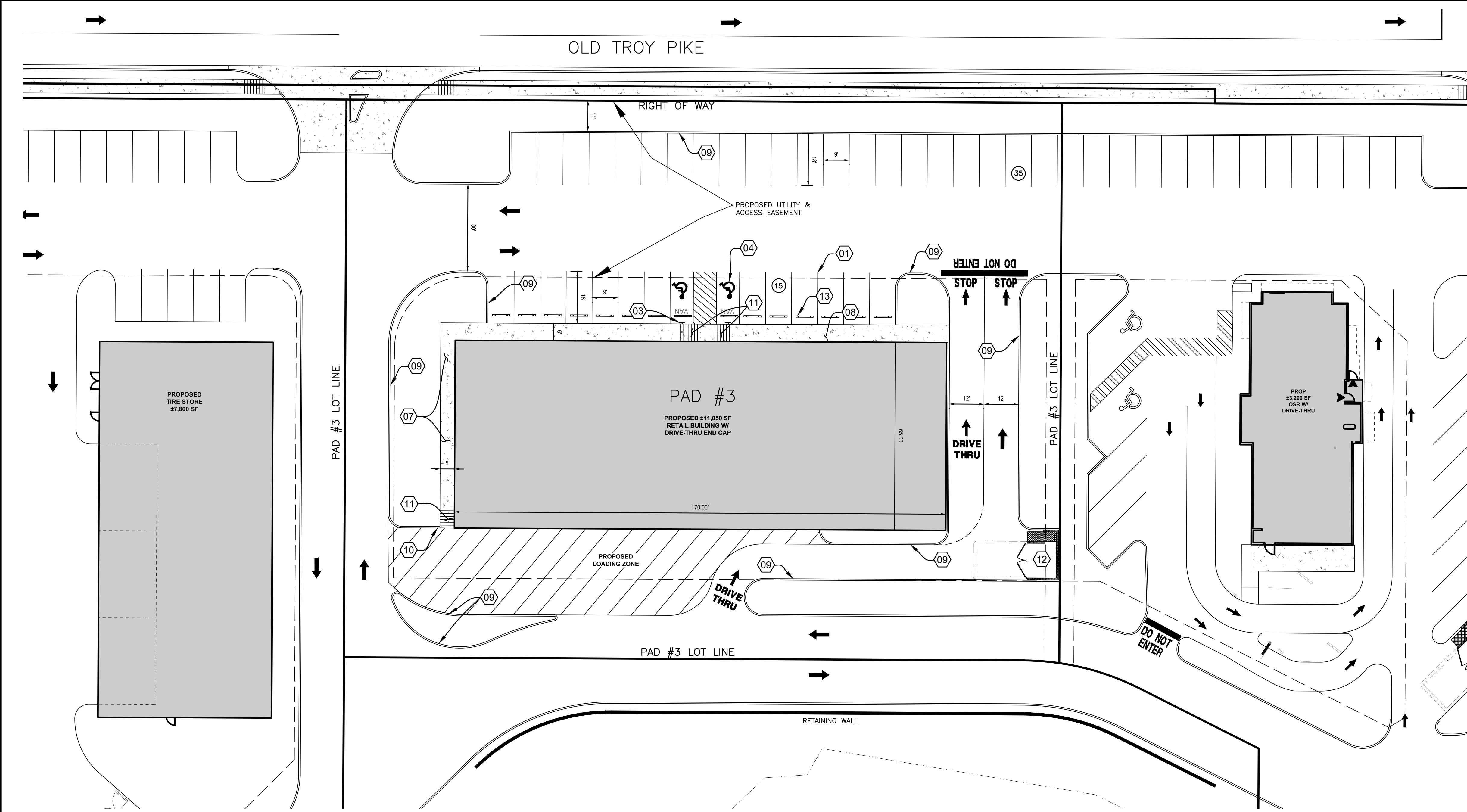


SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



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Sheet: PAD #3 DDP EXISTING CONDITIONS AND DEMOLITION PLAN	
Sheet No.:	

C-1



SITE AND PAVEMENT LEGEND

#

NUMBER OF PARKING SPACES

—

PARKING SIGNAGE

CONCRETE

HEAVY-TRAFFIC PAVEMENT

LIGHT-TRAFFIC PAVEMENT

—

CONCRETE WHEEL STOP

GENERAL SITE NOTES

- Building dimensions shown on the Civil Engineering Plans are for reference purposes only.
- All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All dimensions to the building are referenced to the outside face of the structure's facade.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
- All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
- All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
- Contractor shall sawcut existing pavement and concrete to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
- All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:

Curbing: 10'-0" (max) spacing.

Sidewalks: 5'-0" (max) spacing.

Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

SITE KEYNOTES

- 01

PARKING STRIPE / HATCH

- 4" WIDE PAINTED STRIPES. ADA HATCHING TO BE AT 45° AND 2'-0" O.C.

- STRIPING ON ASPHALT PAVEMENT TO BE PAINTED WHITE.

- STRIPING ON CONCRETE PAVEMENT TO BE PAINTED YELLOW
- 02

LIGHT POLE

- SEE LIGHTING PLAN FOR DETAILS
- 03

ADA PARKING SIGNAGE

- PER DETAIL / SHEET C-5.0
- 04

ADA PARKING SYMBOL

- PER DETAIL / SHEET C-5.0
- 05

LIGHT-TRAFFIC ASPHALT "PARKING AREA" PAVEMENT

- PER PAVEMENT SECTION / SHEET C-5.0

LIGHT-TRAFFIC PAVEMENT
- 06

HEAVY-TRAFFIC ASPHALT "DRIVEWAY AREA" PAVEMENT

- PER PAVEMENT SECTION / SHEET C-5.0

HEAVY-TRAFFIC PAVEMENT
- 07

CONCRETE WALK

- PER DETAIL / SHEET C-5.0
- 08

CONCRETE WALK WITH INTEGRAL CURB

- PER DETAIL / SHEET C-5.0
- 09

CONCRETE BARRIER CURB

- PER DETAIL / SHEET C-5.0
- 10

CURB END TAPER FROM 6" TO 0"

- PER DETAIL / SHEET C-5.0
- 11

ADA RAMP

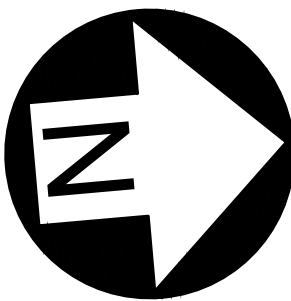
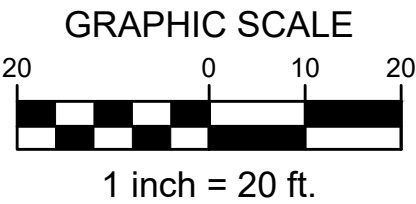
- PER DETAIL / SHEET C-5.0
- 12

TRASH ENCLOSURE

- SEE ARCHITECTURAL PLANS FOR DETAILS
- 13

CONCRETE WHEEL STOP

- PER DETAIL / SHEET C-5.0



Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



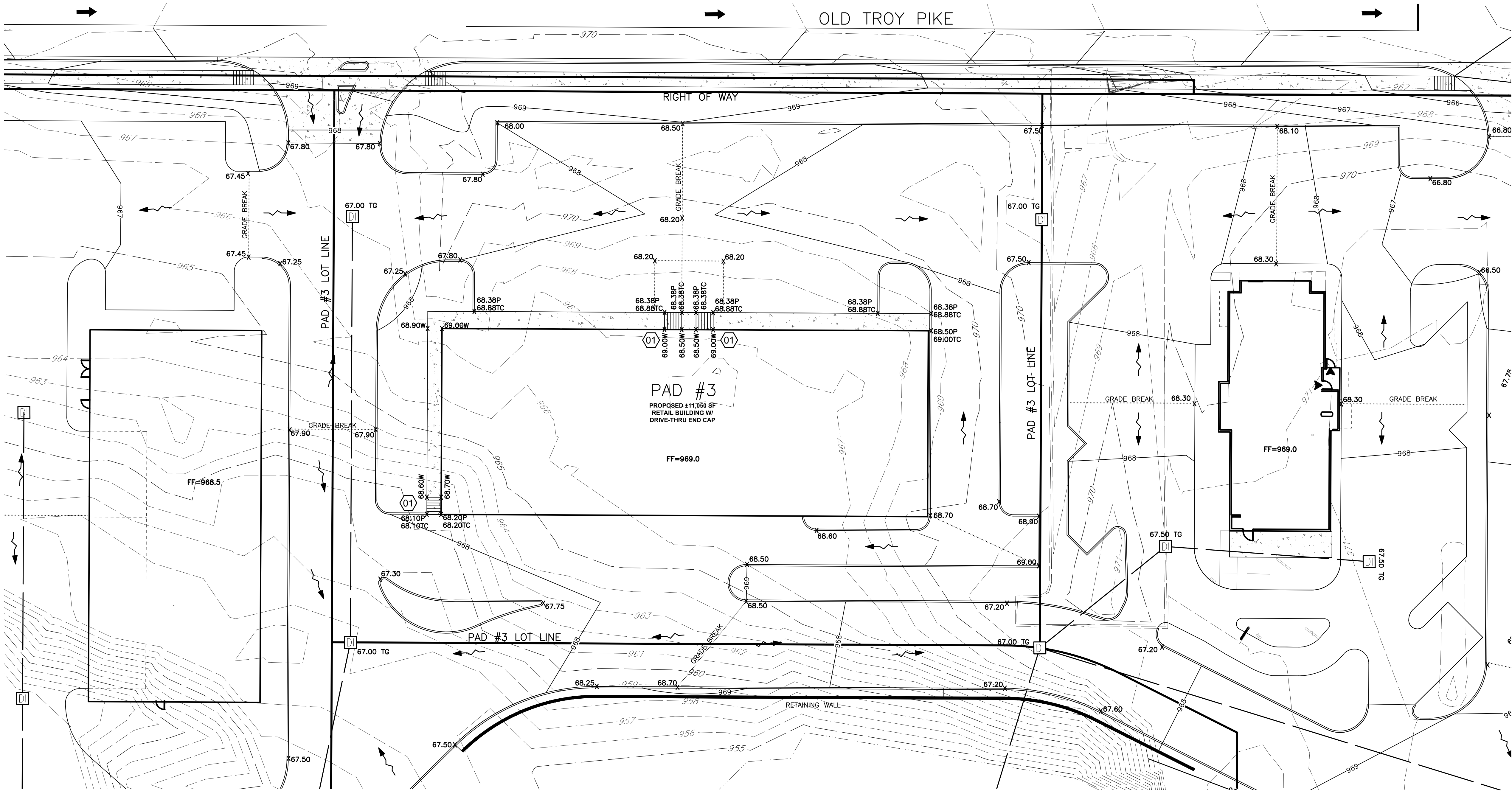
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Scale: 1" = 20'

Date: 10.01.2021

Sheet: PAD #3 - DDP
SITE PLAN

Sheet No.: C-2



GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.

9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
Ramps - 1:12 (8.3%) max.
Routes - 1:20 (5.0%) max.
Parking - 1:50 (2.0%) max.
Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

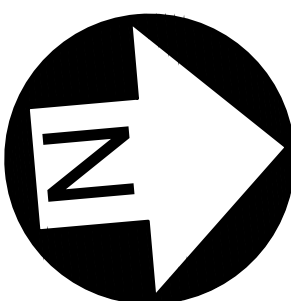
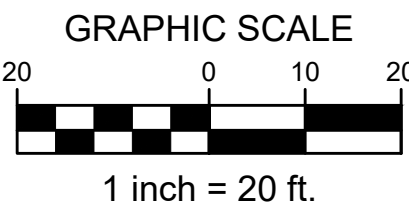
GRADING KEYNOTES

(01) ADA ACCESSIBLE RAMP

SPOT ELEVATIONS IN PAVEMENT AREAS ARE FOR TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.

(ADD 900 TO PROPOSED SPOT ELEVATIONS)

GRADING LEGEND	
P	TOP-OF-PAVEMENT
W	TOP-OF-SIDEWALK
TC	TOP-OF-CURB
	PROP. DRAINAGE DIRECTION
+00.00	PROP. SPOT ELEVATION
	EXIST. SPOT ELEVATION
965	PROP. CONTOUR



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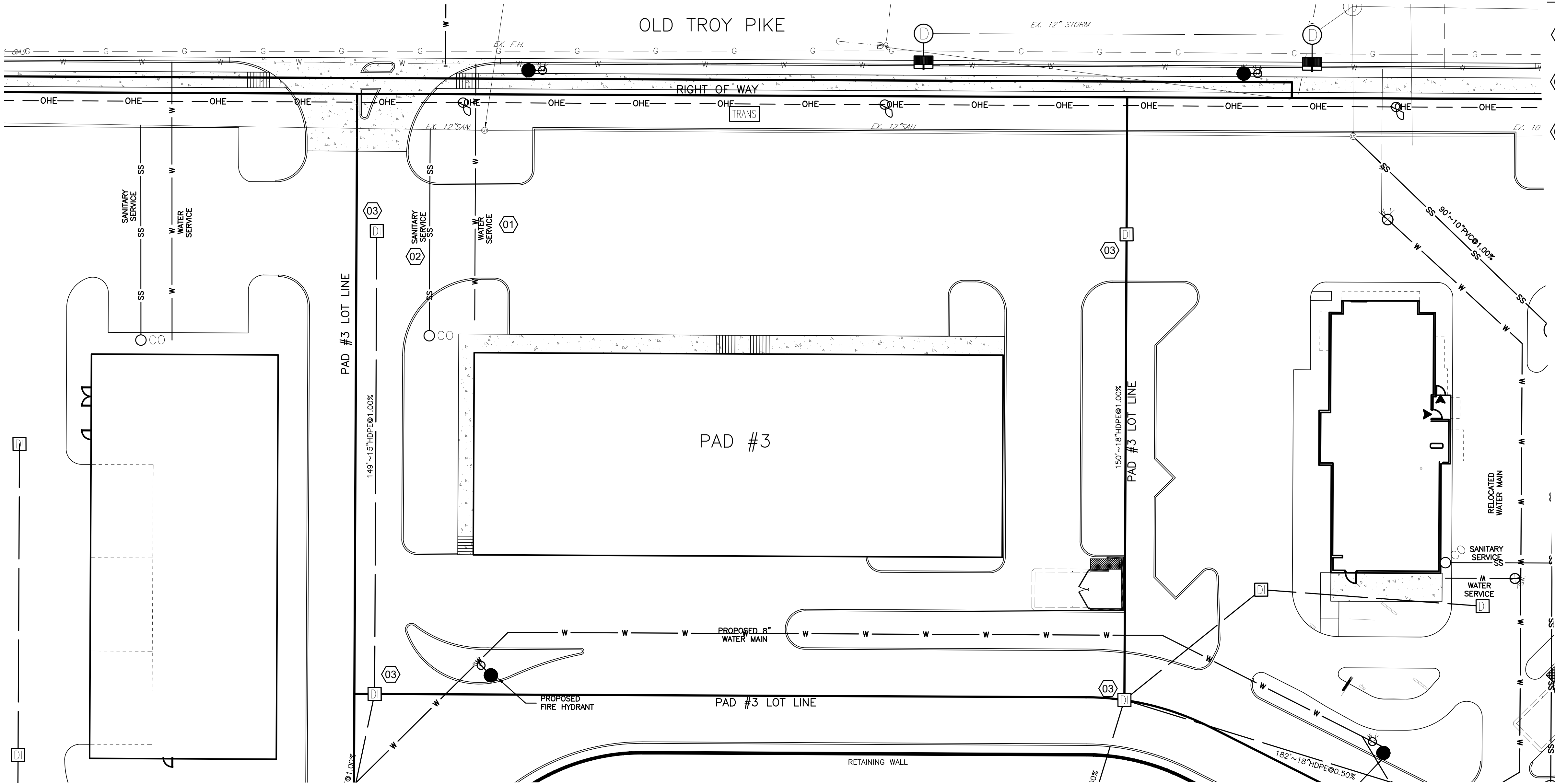
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Sheet: PAD #3 - DDP
GRADING PLAN

Sheet No.:

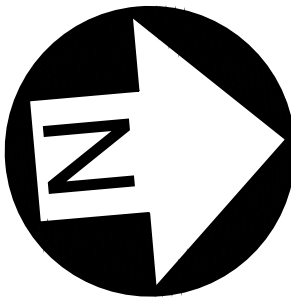
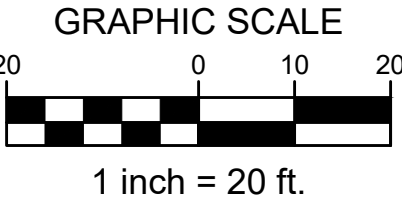
C-3



UTILITY KEYNOTES

- 01 PROPOSED WATER SERVICE CONNECTING TO EXISTING PUBLIC WATER LINE ALONG OLD TROY PIKE. VERIFY SIZE AND LOCATION WITH PLUMBING PLANS.
- 02 PROPOSED SANITARY SERVICE CONNECTING TO EXISTING SANITARY SEWER LINE ALONG OLD TROY PIKE. VERIFY SIZE AND LOCATION WITH PLUMBING PLANS.
- 03 STORM SEWER TO BE CONSTRUCTED AS PART OF OVERALL SITE DEVELOPMENT.

UTILITY LEGEND	
	PROP. INLET/MANHOLE/CLEANOUT
	PROP. DOWNSPOUT
	PROP. SANITARY SEWER SERVICE
	PROP. WATER SERVICE
	PROP. STORM SEWER



GENERAL UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
- The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
- All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
- All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
- Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
- Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.

STORM SEWER NOTES:

All storm sewer shall be reinforced concrete pipe (RCP, ASTM C76 - Class III, minimum) or high-density polyethylene pipe (ADS N-12 or equivalent), unless otherwise noted on plans. All pipe shall be installed according to Local, State, and manufacturer's specifications.

Contractor to provide downspout collection system to connect building downspouts / roof drains to storm sewer system. See architectural/plumbing plans for downspout locations and connection details.

Downspout collection pipe (DCP) may be HDPE (ADS N-12 or equivalent) or Schedule 40 PVC pipe. All downspout collector pipes to be at 2.00% minimum slope. All pipe shall be installed according to Local, State, and manufacturer's specifications. Provide cleanouts at all bends, angles, and junctions. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars, per detail / Sheet C-5.0.

Storm sewer connection, permit and construction to be coordinated with City of Huber Heights.

GAS NOTES:

Coordinate gas service lines, meter, and connections with mechanical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

ELECTRIC NOTES:

Coordinate electric service lines, transformer, meter, and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

Coordinate telecommunication service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

SANITARY SEWER NOTES:

Contractor to provide 6" sanitary sewer line from building to public sewer main. Install tap, cleanouts and other appurtenances as required by City of Huber Heights. Coordinate building connection with plumbing plans.

All 6" sanitary sewer pipe shall be P.V.C. SDR-26 with joints conforming to ASTM 3212. All sanitary lines shall be installed in accordance with the manufacturer's recommended procedures. 6" lines shall maintain a minimum slope of 1.00%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Cleanouts Per detail on Sheet C-5.0.

Sanitary sewer service connection, permit and construction to be coordinated with City of Huber Heights.

WATER NOTES:

Contractor to provide a domestic water and fire service line to building. Install connection, valves, backflow preventer, meters and other appurtenances as required by the City of Huber Heights. Coordinate building connection with plumbing plans.

Water lines shall be per Montgomery County requirements, installed per manufacturer's recommended procedures. >2" waterlines to be Class 52 Ductile Iron. 2" and smaller service lines to be K Copper with Ford Meter Valves and a curb stop valve in a box in front of meter pit. Tapping Sleeve to be Stainless Steel or Ductile Iron. Main line valves to be Mueller. Lines shall be installed with a minimum cover of 48" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with City of Huber Heights.

Hydrants in multi-family and commercial districts shall be placed not more than 300 feet apart, measured on the main and not more than 400 feet from any opening in any building. All new fire hydrants and any existing fire hydrants that are in need of replacement, shall meet the Huber Heights hydrant standard for this district of two (2), five (5) inch diameter steamer nozzles. These steamer nozzles shall have a five (5) inch STORTZ quick connection and one steamer shall have a four (4) inch STORTZ connection approved by the Code Official. Huber Heights Codified Ordinance 1521.06(c).

At least one fire hydrant shall be provided within 75 feet of the fire department connection for each building. Huber Heights Codified Ordinance 1521.01(e).

Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Ohio Fire Code 507.5.4.

A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. (No trees, bushes, plantings, etc.) Ohio Fire Code 507.5.5.

Proposed trees shall not obstruct fire department access and access roads. The minimum clear vertical height for fire apparatus access roads shall be 13 feet 6 inches, in accordance with Ohio Fire Code 503.2.1

The water supply shall be capable of providing required fire flows for fire protection. Ohio Fire Code 507.1 & 507.3. Refer to Ohio Fire Code Appendix B for required flows.

Fire apparatus access roads shall comply with OFC 503 as well as the adopted appendices from the OFC (2017) and the Huber Heights Codified Ordinance (HHCO) Section 15.

Fire department access roads shall be capable of supporting the imposed load of fire apparatus weighing up to 75,000 lbs. Refer to Ohio Fire Code Appendix D102.1. The minimum drive width shall be 26 feet with fire hydrants. OFC Appendix D103.1.

Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or otherwise approved by the fire code official. Ohio Fire Code 912.2.1.

Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other fixed or moveable object. Access to fire department connections shall be approved by the fire code official. Ohio Fire Code 912.4.



Know what's below.
Call before you dig.

SITE DEVELOPMENT PLANS FOR
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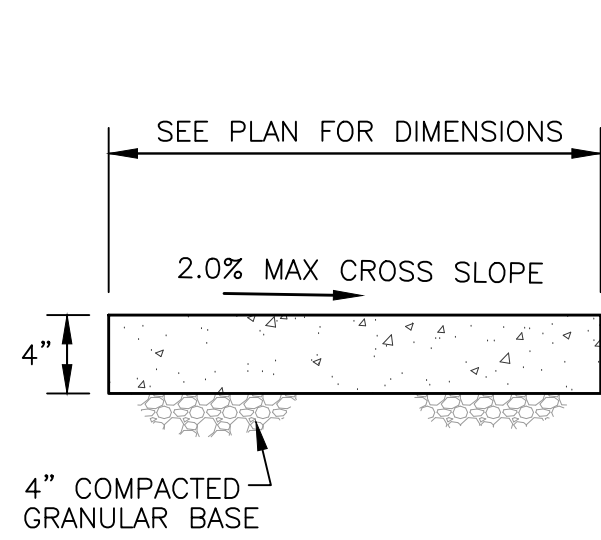
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UTILITY PLAN

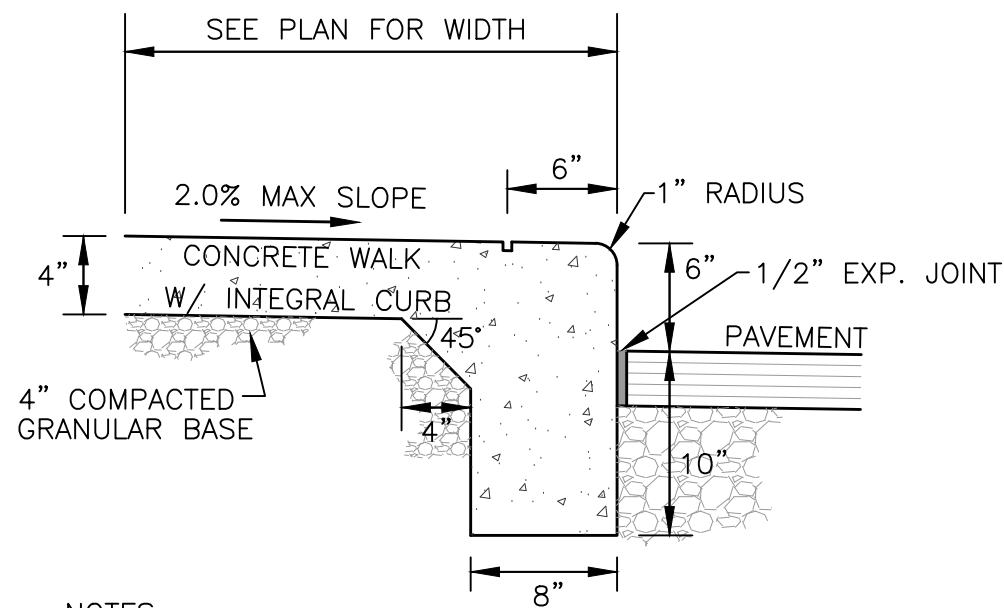
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C-4



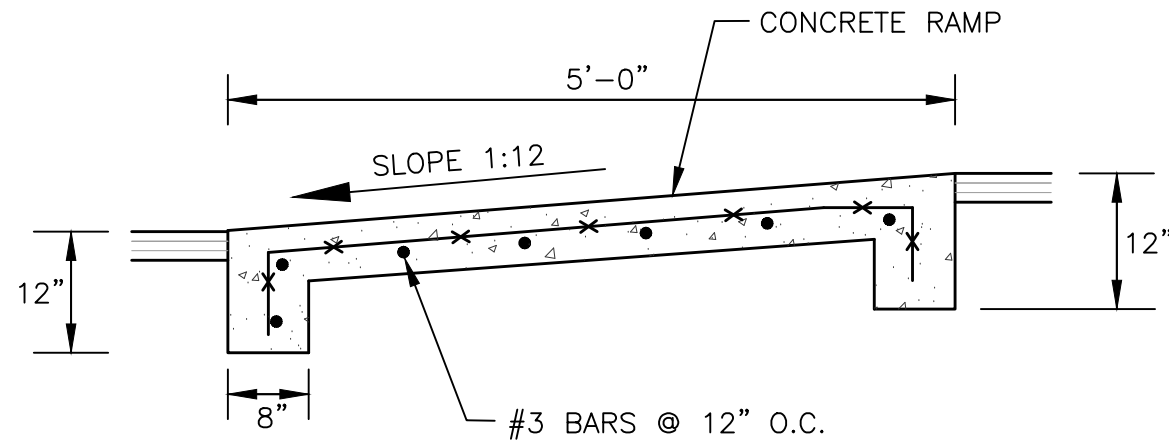
NOTES:
1. SIDEWALK TO BE CONSTRUCTED USING 4000 PSI CONCRETE.
2. SIDEWALK TO HAVE TOOLED CONTROL JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

CONCRETE SIDEWALK PAVEMENT SECTION
NOT TO SCALE



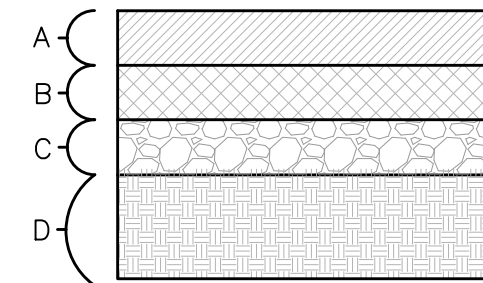
NOTES:
1. SIDEWALK WITH INTEGRAL CURB TO BE CONSTRUCTED OF 4000 PSI CONCRETE (MIN.).
2. SIDEWALK TO HAVE JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

CONCRETE SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



CONCRETE ADA RAMP SECTION
NOT TO SCALE

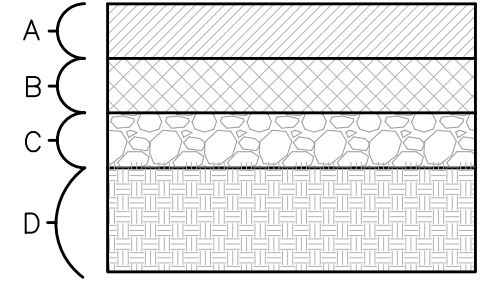
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B - 4" ODOT ITEM 448 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG64-22
C - 8" ODOT ITEM 304, AGGREGATE BASE
D - ODOT ITEM 204 SUBGRADE COMPACTION AS PER GEOTECH SPECIFICATIONS



SEE GEOTECHNICAL REPORT PREPARED BY ALT & WITZIG DATED AUGUST 31, 2021 FOR ADDITIONAL INFORMATION.

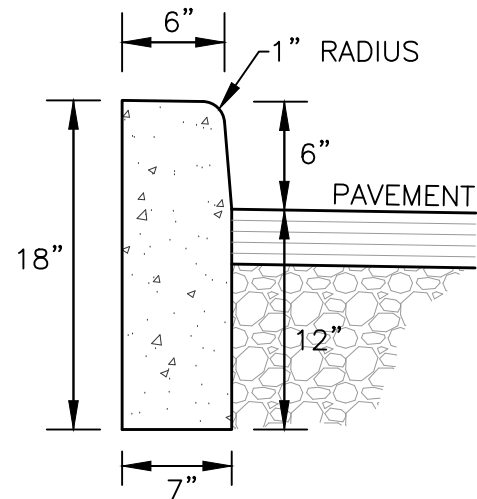
HEAVY-TRAFFIC ASPHALT "DRIVEWAY AREA" PAVEMENT SECTION
NOT TO SCALE

KEY
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B - 2-1/2" ODOT ITEM 448 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG64-22
C - 6" ODOT ITEM 304, AGGREGATE BASE
D - ODOT ITEM 204 SUBGRADE COMPACTION AS PER GEOTECH SPECIFICATIONS



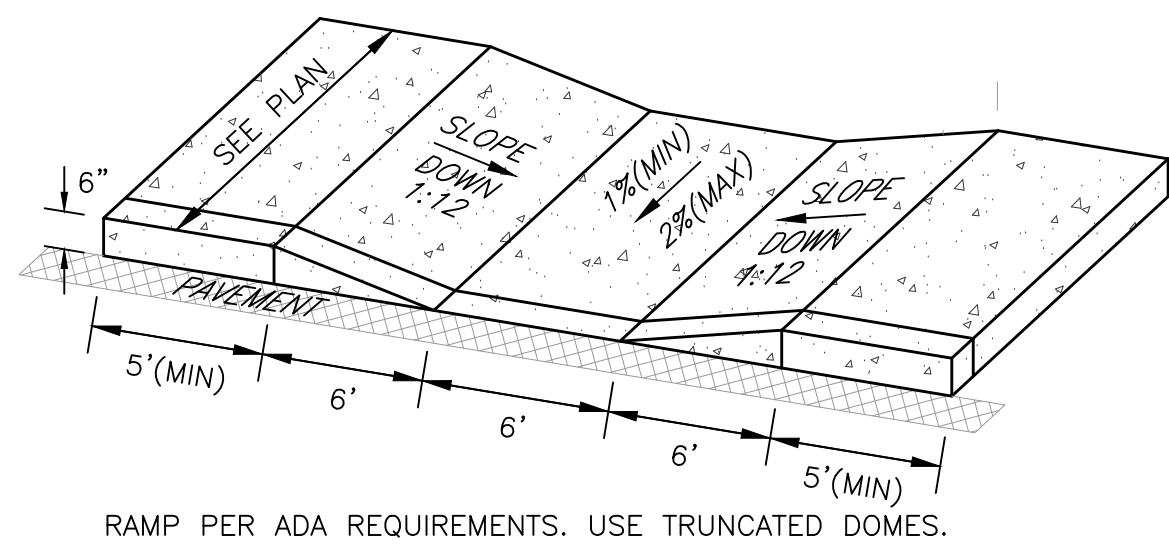
SEE GEOTECHNICAL REPORT PREPARED BY ALT & WITZIG DATED AUGUST 31, 2021 FOR ADDITIONAL INFORMATION.

LIGHT-TRAFFIC ASPHALT "PARKING AREA" PAVEMENT SECTION
NOT TO SCALE



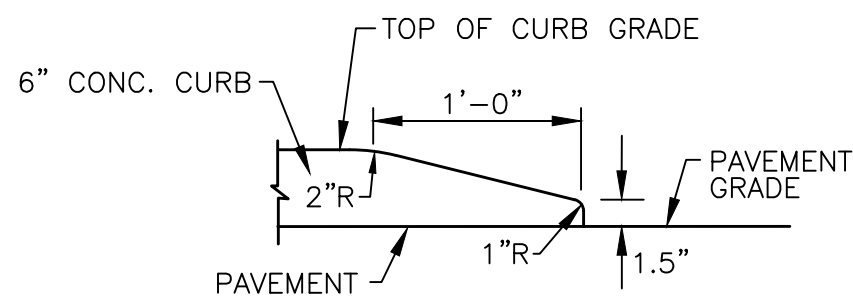
NOTES:
1. CURB TO BE CONSTRUCTED OF 4,000 PSI CONCRETE.
2. PROVIDE A SMOOTH AND EVEN FINISH PLUS ROUNDED EDGING TO ALL EXPOSED SURFACES.

BARRIER CURB DETAIL
NOT TO SCALE

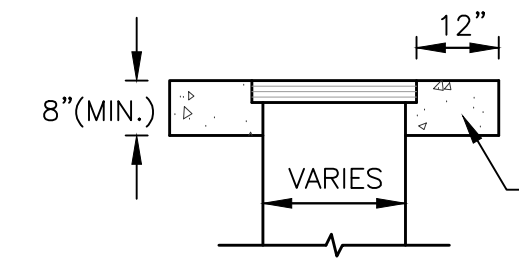
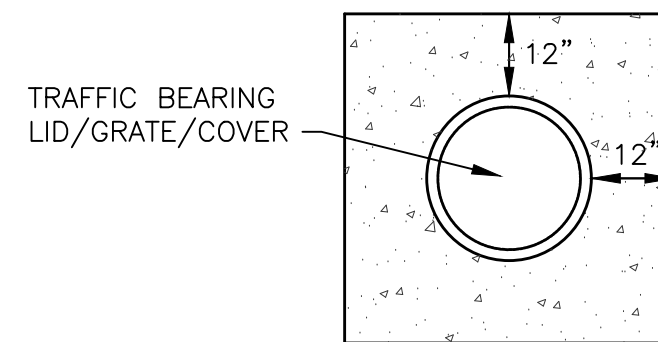


RAMP PER ADA REQUIREMENTS. USE TRUNCATED DOMES.

ADA ACCESSIBLE RAMP DETAIL
NOT TO SCALE

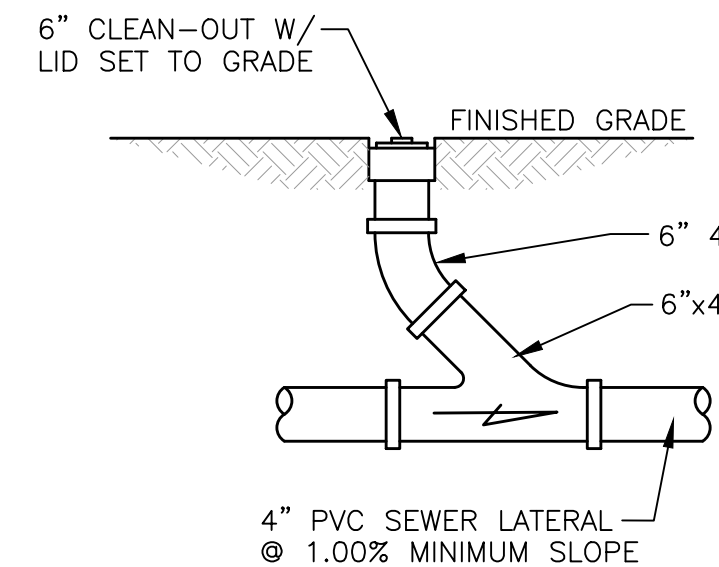


CURB END TAPER DETAIL
NOT TO SCALE



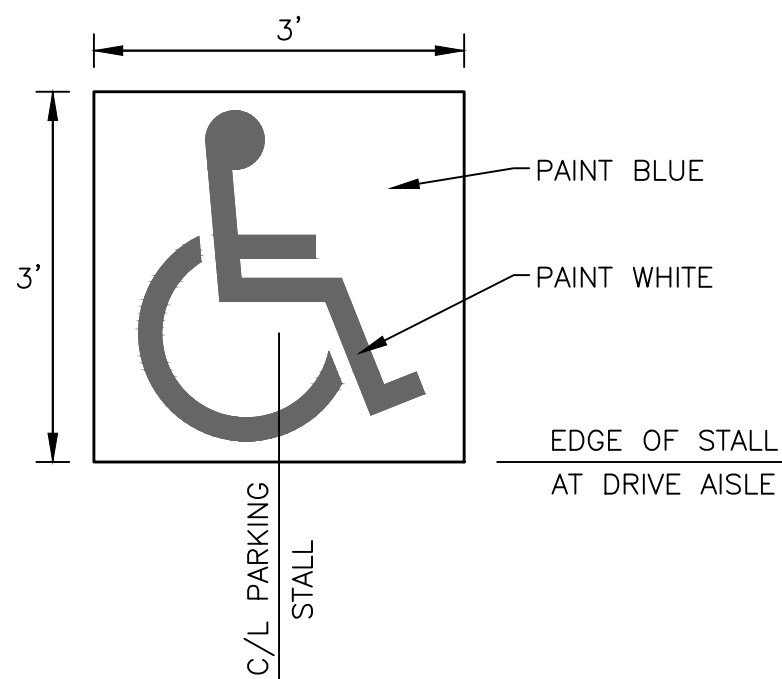
NOTE: COLLAR TO BE INSTALLED AROUND ALL STORM INLETS, MANHOLES, CLEANOUTS, PULL BOXES, VALVES, ETC. WHICH ARE LOCATED IN PAVEMENT AREAS.

CONCRETE COLLAR
NOT TO SCALE

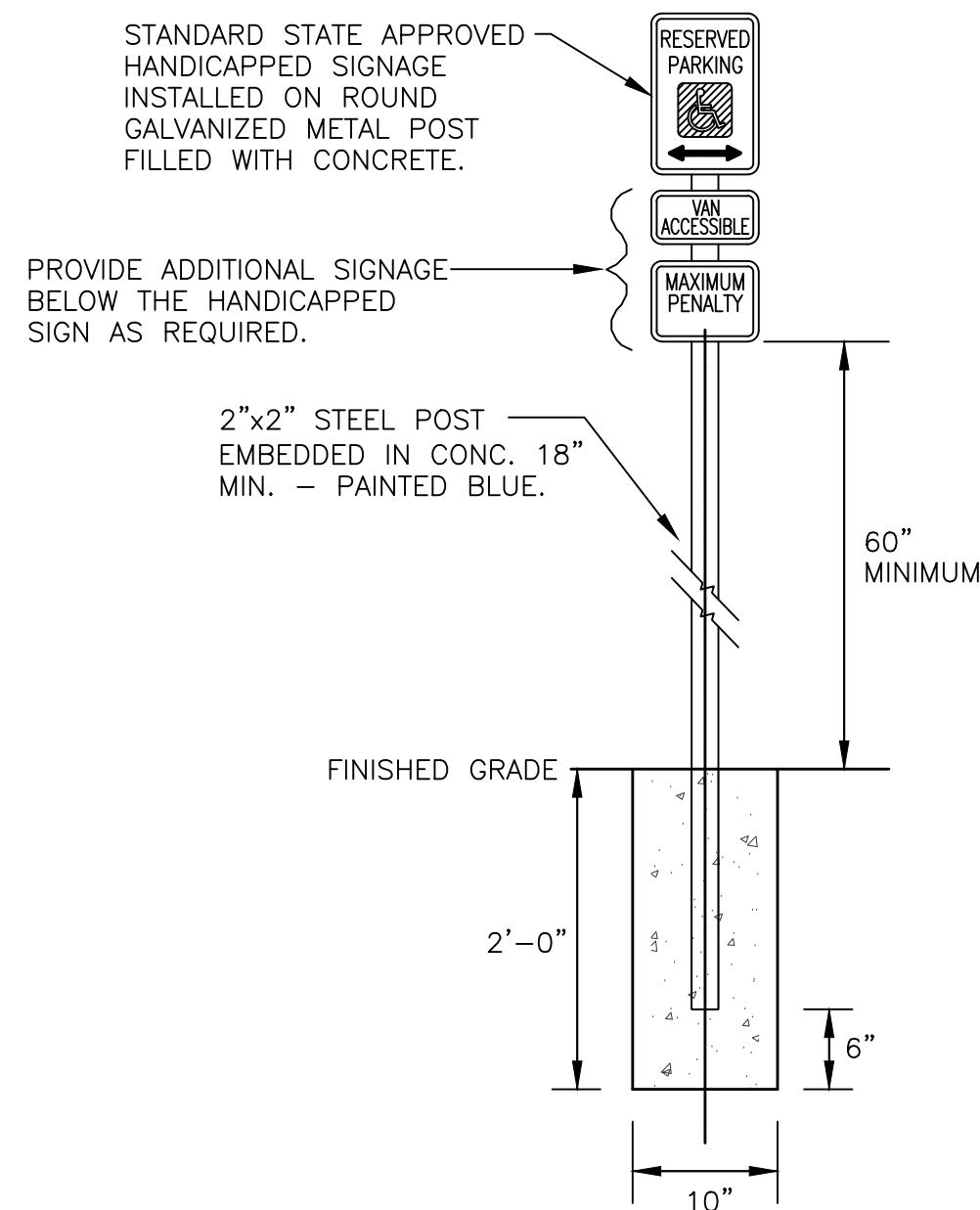


NOTE: CLEAN OUT TO HAVE TRAFFIC BEARING LID AND CONCRETE COLLAR IF INSTALLED IN PAVEMENT AREAS.

SANITARY CLEAN-OUT
NOT TO SCALE

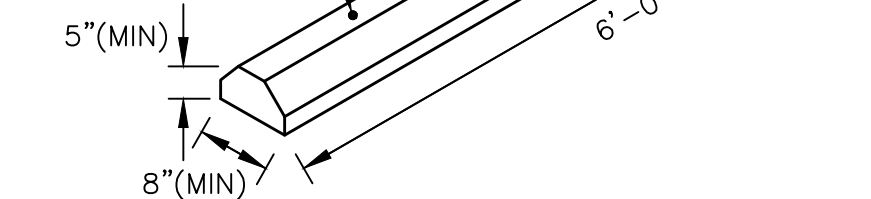


ADA PARKING SYMBOL
NOT TO SCALE

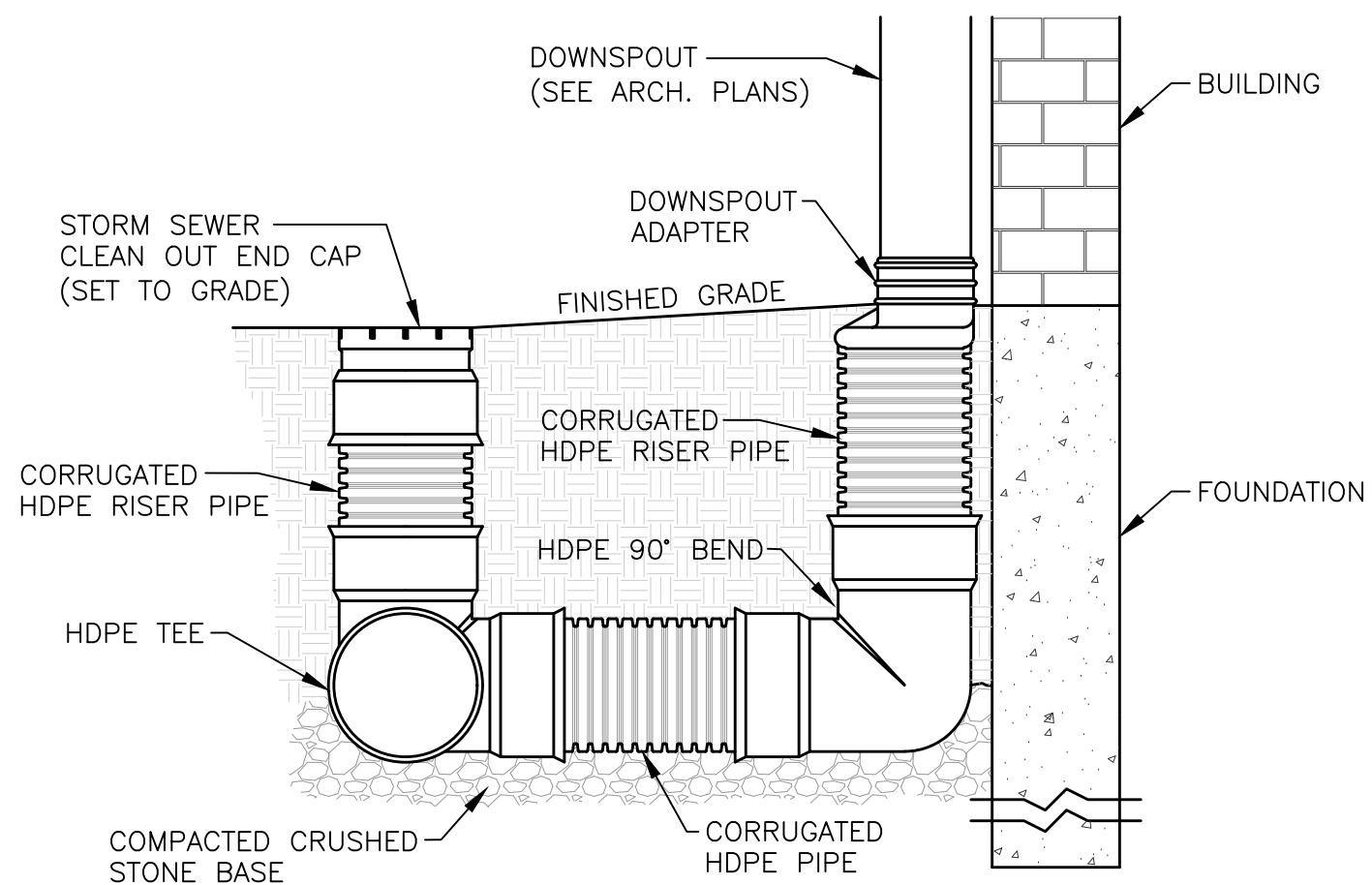


ADA PARKING SIGNAGE
NOT TO SCALE

NOTES:
1. PRE-CAST CONCRETE WHEEL STOPS SHALL BE DOWELED TO PAVEMENT & LOCATED 2 FT. FROM EDGE OF OBSTRUCTION.
2. PAINT ALL WHEEL STOPS "SAFETY YELLOW", OR AS LOCAL CODES REQUIRE.



CONCRETE WHEEL STOP
NOT TO SCALE



NOTES:
1. HDPE PIPE MAY BE SUBSTITUTED WITH PVC PIPE.
2. ALL JOINTS ARE TO BE WATERTIGHT.
3. CLEAN OUT TO HAVE TRAFFIC BEARING LID AND CONCRETE COLLAR IF INSTALLED IN PAVEMENT AREAS.

DOWNSPOUT COLLECTION DETAIL
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

BURKHARDT
ENGINEERS & SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0960 | info@burkhardtinc.com
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

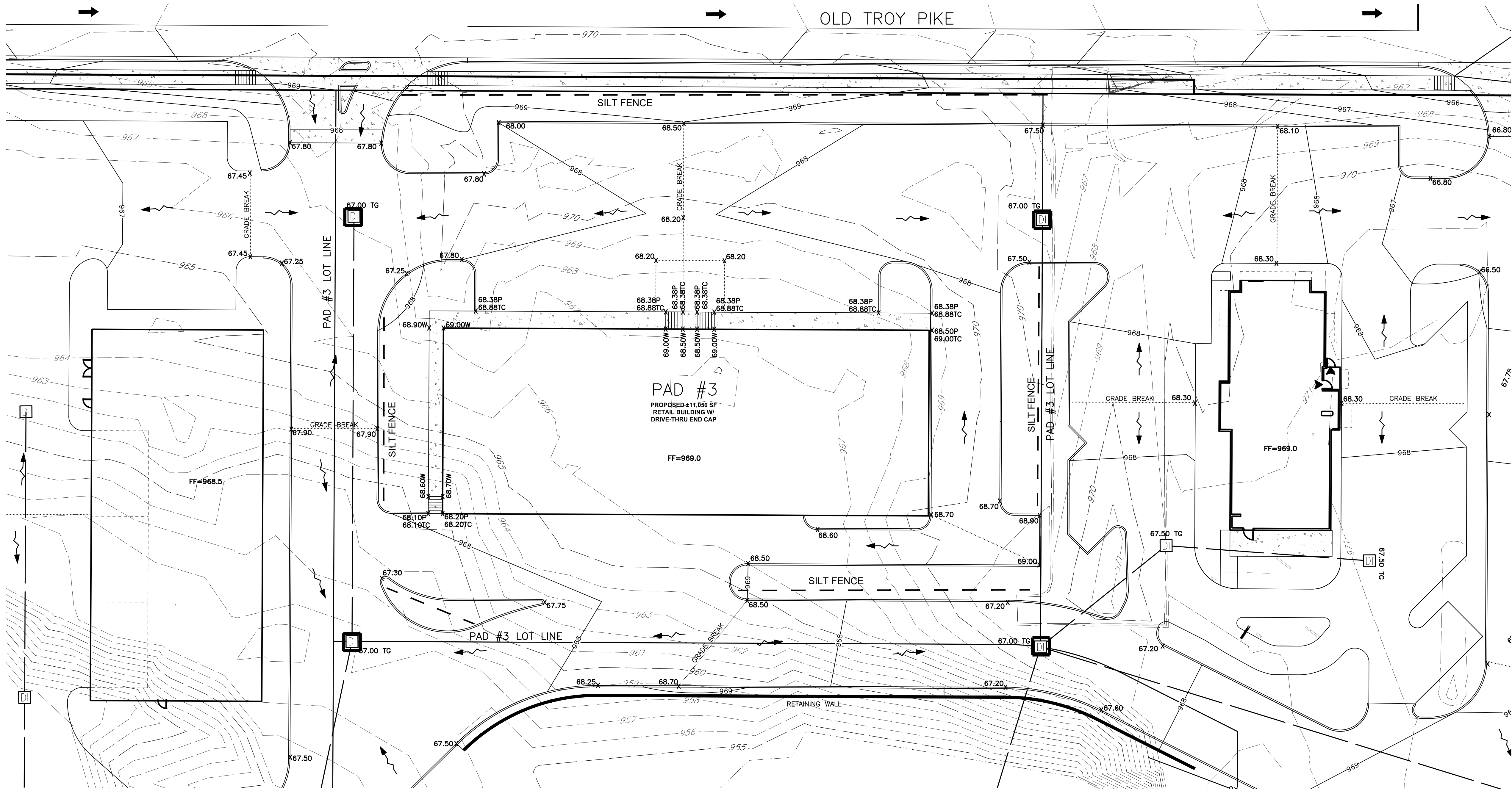
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Scale: 1" = 20'

Date: 10.01.2021

Sheet: PAD #3 - DDP DETAILS

Sheet No.:

C-5



SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

1. Stone tracking pad atop geotextile liner.
2. Install silt fence and protection fencing.
3. Initial clearing, grubbing, and demolition.
4. Strip and stockpile top soil.
5. Rough grade and balance site, including detention basin.
6. Install underground utilities (i.e. Sanitary, Storm & Water)
7. Place inlet filters on all storm inlets.
8. Install franchise utilities (i.e. Gas, Electric, Telephone & Cable TV).
9. Final grade site.
10. Install pavement, curb, and other hardscape structures/surfaces.
11. Stabilize ditches, detention basin, common areas and slopes.
12. Establish permanent vegetation for all disturbed areas.
13. Remove all temporary erosion and sediment control devices.
14. Clean out storm sewer system and site upon completion.

SOIL EROSION CONTROL MAINTENANCE

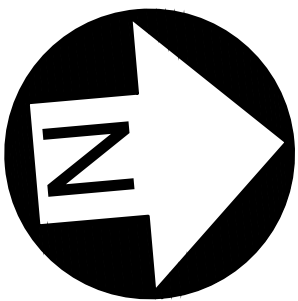
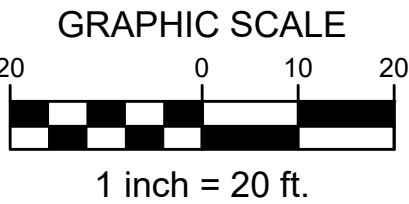
- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.
- Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrance shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way.

SOIL EROSION CONTROL NOTES

All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent).

SOIL EROSION CONTROL LEGEND

- SILT FENCE
- INLET PROTECTION / DANDY SACK
- ⊞ CONSTRUCTION ENTRANCE
CONTRACTOR TO PLACE AS NEEDED



SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

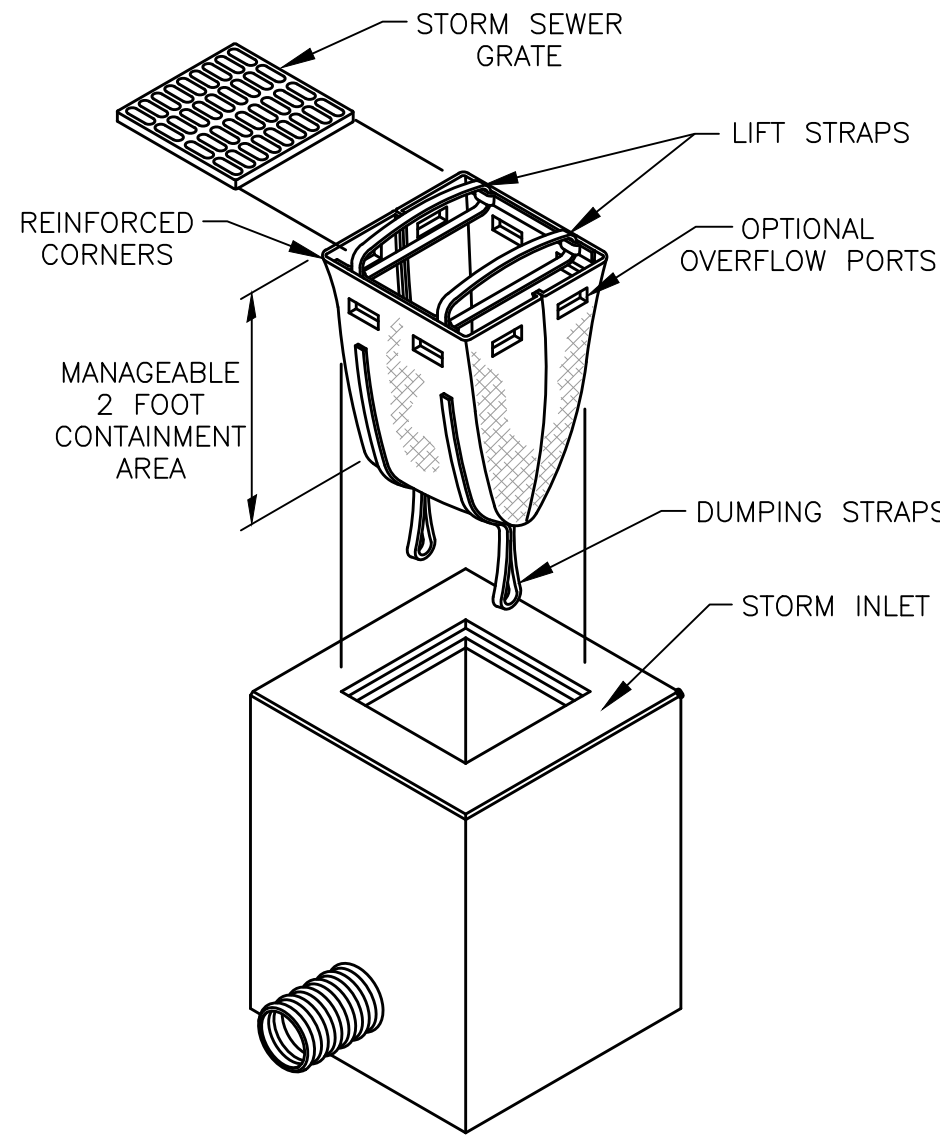


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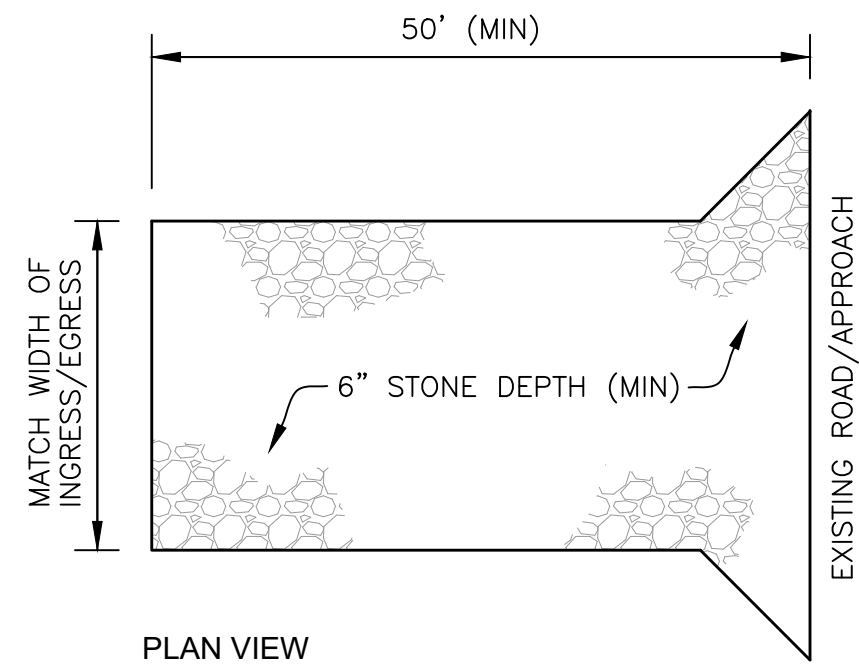
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Sheet: PAD #3 - DDP
SWPPP

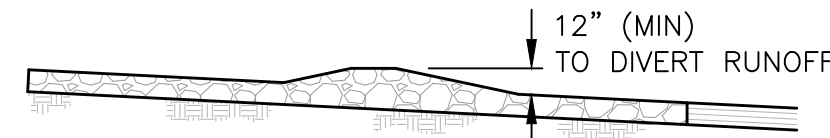
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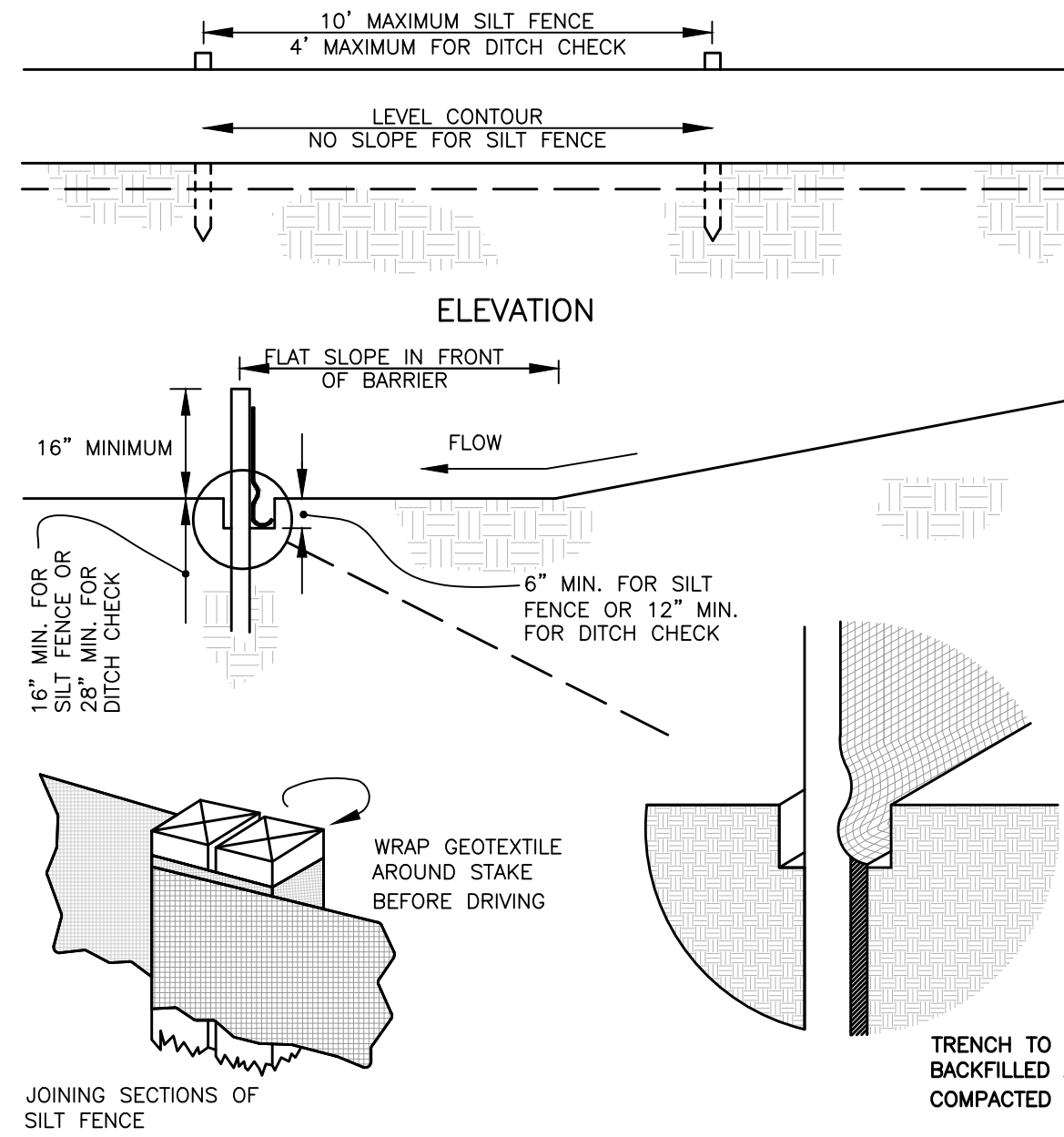
DANDY SACK™ DETAIL
NOT TO SCALE



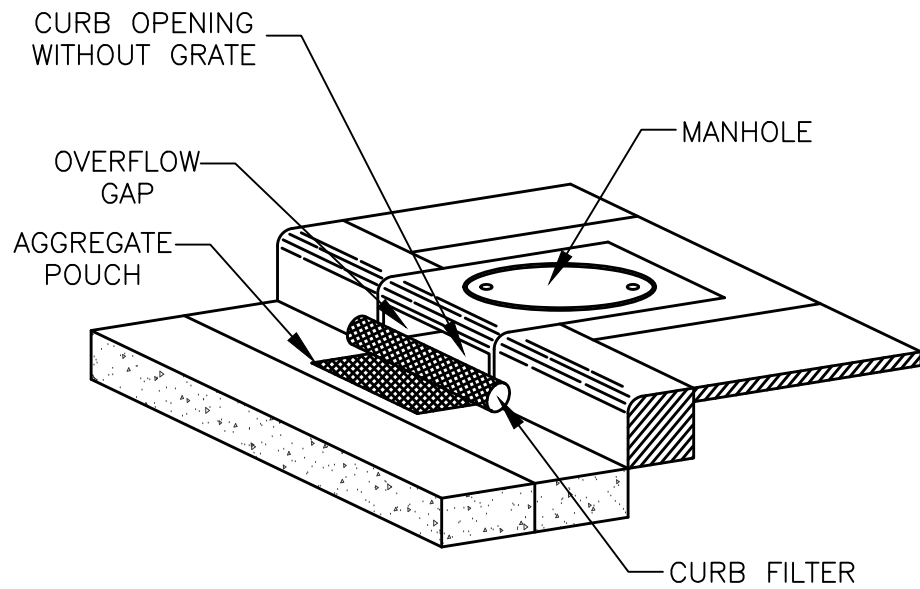
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE
CONTRACTOR TO PLACE AS NEEDED



NOTES:
1. STONE SHALL BE 1.5"–2.5" IN DIAMETER
2. GEOTEXTILE FABRIC SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. (US 200 OR EQUIV.)

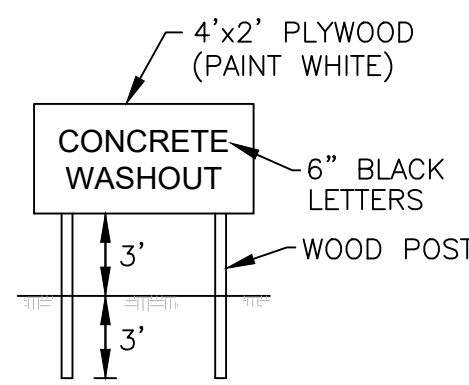


SILT FENCE & SILT DITCH CHECK DETAIL
NOT TO SCALE

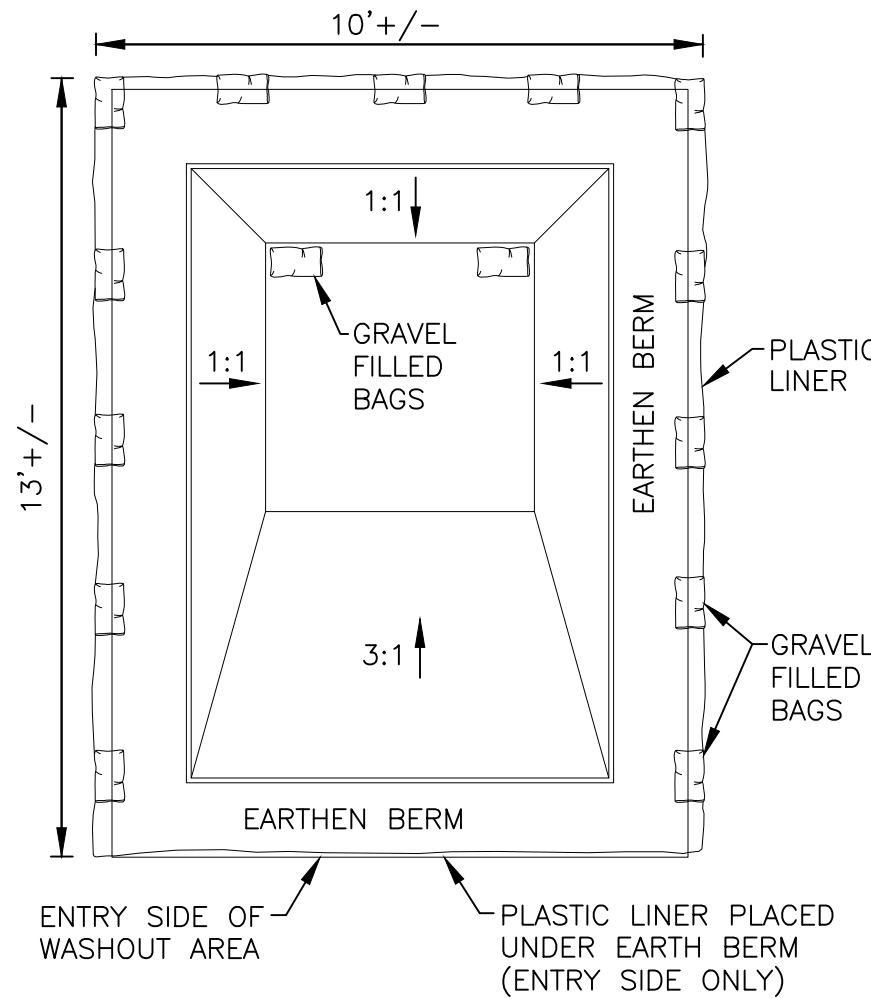


NOTES:
1. INLET SEDIMENT CONTROL DEVICE WITH CURB FILTER TO BE INSTALLED ON EXISTING PAVEMENT

DANDY CURB™ DETAIL
NOT TO SCALE



CONCRETE WASHOUT SIGN
NOT TO SCALE



NOTES:
1. PLASTIC LINER SHALL BE ANCHORED WITH GRAVEL-FILLED BAGS.
2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE CONCRETE WASHOUT AREA.

CONCRETE WASHOUT AREA
NOT TO SCALE
CONTRACTOR TO PLACE AS NEEDED

GENERAL STORMWATER POLLUTION PREVENTION NOTES

- All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
- Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
- Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
- Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
- The soil erosion controls are to be inspected once a week and within 24 hours of a 0.50 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
- Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 14 days. Any disturbed area that is not going to be worked for 365 days or more must be permanently stabilized (seeded and mulched) within 7 days of most recent disturbance.
- Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 14 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
- Soil stockpiles shall be stabilized or protected to prevent soil loss.
- All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
- Silt fence to be 2' minimum from property lines in areas where work is near adjacent properties.
- The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
- Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
- No solid or liquid waste shall be discharged into storm water runoff.
- Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
- Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
- If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
- No fuel storage is permitted on-site.
- All storm sewers, infiltration, detention, and retention areas shall be cleared of construction sediment upon completion of construction.
- The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the Ohio EPA.
- The General Contractor is responsible for ensuring that all soil erosion and sediment control practices comply with the Ohio EPA's General Permit for Construction No. OHC000005 and follow the best practices set forth in the ODNR Rainwater and Land Development Manual.
- Dumpsters shall be provided for the disposal of debris, trash, hazardous and petroleum waste. All containers must be covered and leak proof.
- All construction and demolition debris waste will be disposed of in an OEPA approved C&DD landfill as required by Ohio Revised Code 3714.
- Any areas that will be used for mixing or storing fertilizers, lime, asphalt or concrete or used for vehicle fueling shall be designated and these areas should be kept away from any watercourses or storm sewers.
- A Spill Prevention Control and Countermeasures (SPCC) Plan shall be developed if the site has one above ground storage tank of 660 gallons or more, total above ground tank storage of 1330 gallons, or below ground storage of 42,000 gallons of fuel.
- All contaminated soils must be treated and/or disposed in OEPA approved solid waste management facilities or hazardous waste treatment, storage or disposal facilities (TSDFs).
- In the event of a large release of petroleum waste (25 gallons or more) contractor shall contact OEPA at 1-800-282-9378, the local fire department and the local emergency planning committee (LEPC) within 30 minutes of spill.
- Protected storage areas for industrial or construction materials shall be used to minimize exposure of such materials to storm water.
- If the Contractor uses pumps to assist in construction dewatering efforts, the water must be filtered prior to discharging it into the municipal storm sewer system, ensuring that no soil, silt or sediment enters the system.
- Contractor to review and determine the best locations for construction entrance, concrete washout, dumpsters, and other SWPPP elements. All dirt and sediment is to be kept off public streets.

Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
HUBER HEIGHTS COMMON
BROAD REACH RETAIL
OLD TROY PIKE & TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



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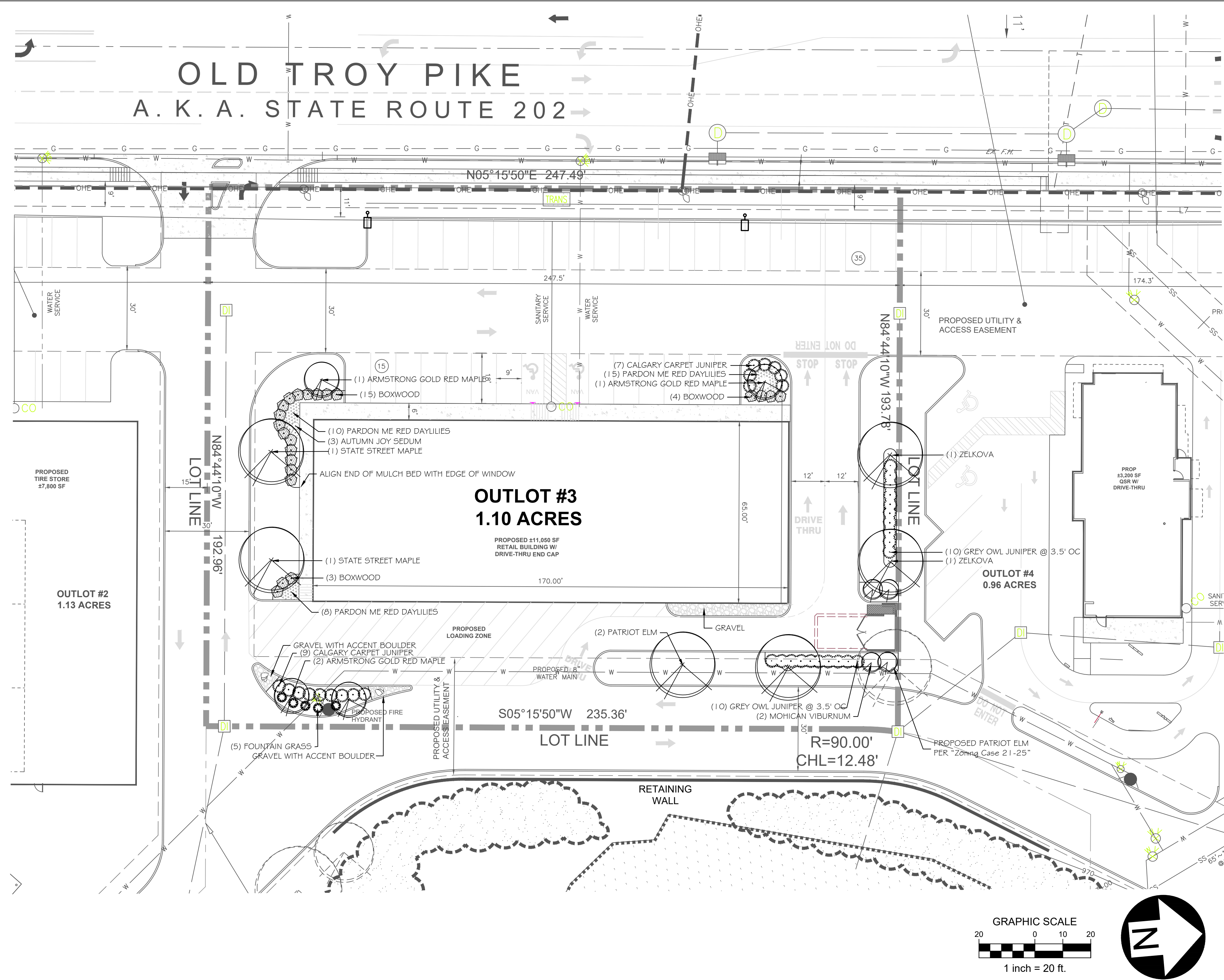
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SWPPP DETAILS

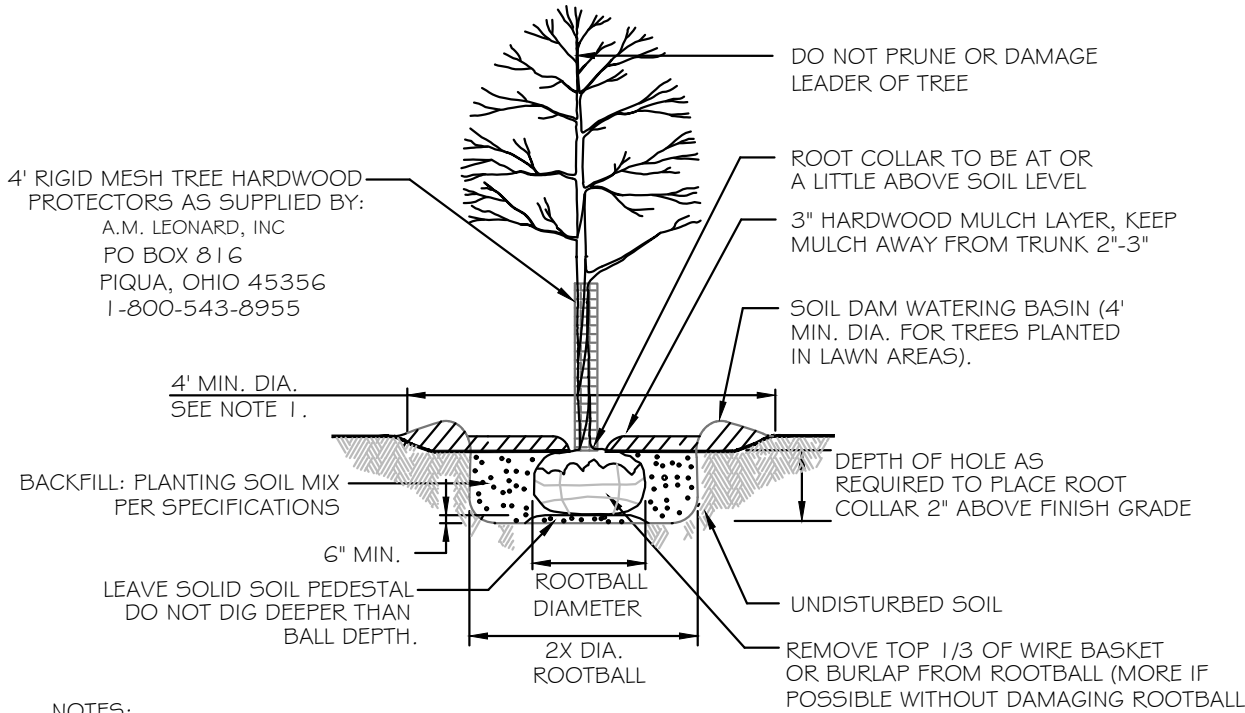
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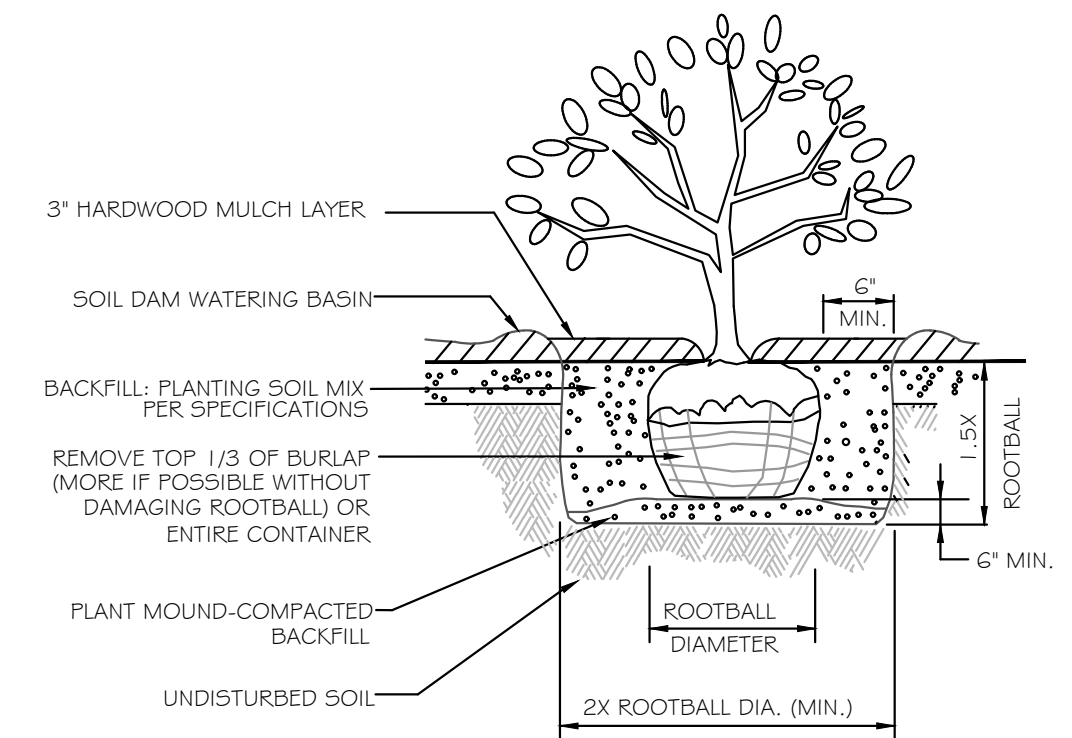




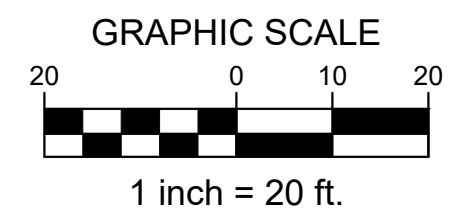
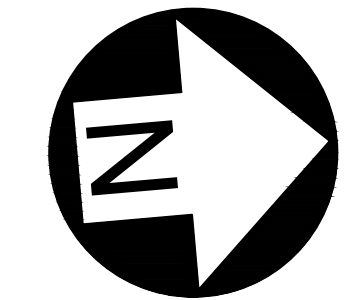
FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO ONE CALL AT 811 OR 1-800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO ONE CALL.



SHADE TREE PLANTING DETAIL



NTS



LANDSCAPE CODE REQUIREMENTS

PARKING LOT REQUIREMENTS:
PARKING LOT INTERIOR: ALREADY APPROVED PER "Zoning Case 21-25"
FRONTAGE LANDSCAPE STRIP: ALREADY APPROVED PER "Zoning Case 21-25"

OVERALL TREE REQUIREMENTS: ALREADY APPROVED PER "Zoning Case 21-25"

LANDSCAPE REQUIREMENTS

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- TREES AND SHRUBS SHALL BE NURSERY GROWN AND BE HEALTHY AND VIGOROUS PLANTS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD, INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATIONS OF OBJECTIONABLE DISFIGUREMENTS. PLANTS SHALL BE IN ACCORDANCE WITH THE CURRENT "AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS" AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT INSTALLATION SEQUENCE WITH IRRIGATION CONTRACTOR.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE ARCHITECT'S REPRESENTATIVE BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 6" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH ONE PART BACKFILL MIX TO ONE PART COMPOST.
- MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH OF SHREDDED HARDWOOD MULCH OR 4" DEPTH OF RIVER ROCK GRAVEL BETWEEN 1/4"-1" SIZE AT LOCATIONS AS NOTED ON THE DRAWINGS. 5 OZ. WOVEN WEED BARRIER UNDER GRAVEL MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, CURBS, OR OTHER PLANT BED LIMITS. VERIFY LOCATIONS WITH PROJECT MANAGER.
- ALL BED EDGES SHALL BE SPADE-CUT AND CLOSELY ALIGN AS POSSIBLE WITH EDGES AS SHOWN ON DRAWING. KEEP MULCH A MIN. 1/2" BELOW ADJACENT PAVED SURFACES.
- SOD ALL LAWN DISTURBED AREAS WITHIN PROJECT LIMITS AS NOTED ON CIVIL DRAWINGS; INCLUDING OUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT WITH PROJECT ARCHITECT'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. ALL DEAD PLANT MATERIALS SHALL BE PROMPTLY REMOVED AND REPLACED WITH NEW MATERIAL. OWNER SHALL BE RESPONSIBLE FOR ANY FURTHER REPLACEMENTS AFTER THE ONE-YEAR PERIOD.

DESIGN-BUILD IRRIGATION REQUIREMENTS

- THE IRRIGATION CONTRACTOR SHALL DESIGN, FURNISH AND INSTALL AN UNDERGROUND IRRIGATION SYSTEM AS NEEDED, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES FOR A COMPLETE AND OPERABLE SYSTEM. SHRUB BEDS AND LAWN AREAS MUST BE ON SEPARATE ZONES PROVIDING A MINIMUM OF 95% COVERAGE. ALL LANDSCAPING AND LAWN AREAS ARE REQUIRED TO BE IRRIGATED. THIS WORK SHALL INCLUDE LAWN AREAS WITHIN THE RIGHT OF WAY. VERIFY THE EXTENT OF THE REQUIRED IRRIGATION WITH THE PROJECT MANAGER.
- IRRIGATION CONTRACTOR SHALL VERIFY CONTROLLER LOCATION WITH PROJECT MANAGER.
- THE IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR THE EXCAVATION AND BACKFILL FOR THE SYSTEM INSTALLATION; INCLUDING ANY SETTLING THAT MAY OCCUR.
- THE IRRIGATION CONTRACTOR SHALL FURNISH AN AS-BUILT DRAWING TO THE OWNER UPON COMPLETION AND ACCEPTANCE OF THE WORK.
- RELATED WORK BY OTHERS: THE FOLLOWING ITEMS ARE TO BE FURNISHED AND INSTALLED BY OTHERS. VERIFY WITH THE GENERAL CONTRACTOR.
 - ELECTRICAL STUB OUT FOR CONTROLLER BY THE ELECTRICAL CONTRACTOR.
 - WATER TAP AND STUB OUT OF THE MAIN LINE SHALL BE EXTENDED THRU WALL BY MECHANICAL CONTRACTOR / PLUMBING CONTRACTOR.
 - IRRIGATION CONTRACTOR TO DETERMINE LOCATIONS FOR PROPOSED SLEEVES UNDER PAVEMENTS. SLEEVES SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

PLANT MATERIALS LIST

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE	MATURE HT./SPD.
DECIDUOUS TREES			
4	ARMSTRONG GOLD RED MAPLE - <i>Acer rubrum</i> 'JFS-KW78'	2-1/2" cal. B/B	40'/ 12'
2	STATE STREET MAPLE - <i>Acer miyabei</i> 'Morton'	2-1/2" cal. B/B	40'/ 30'
2	PATRIOT ELM - <i>Ulmus x 'Patriot'</i>	2-1/2" cal. B/B 5' Clear Trunk	50'/ 40'
2	ZELKOVA - <i>Zelkova serrata</i> 'Green Vase'	2-1/2" cal. B/B	70'/ 50'
SHRUBS & GRASSES			
21	BOXWOOD - <i>Buxus x 'Green Velvet'</i>	18" B/B or cont.	3'/ 3'
16	CALGARY CARPET JUNIPER - <i>Juniperus sabina</i> 'Monna'	# 3 cont.	9'/ 6'
20	GREY OWL JUNIPER - <i>Juniperus virginiana</i> 'Grey Owl'	24" ht. B/B or Cont.	3'/ 6'
5	FOUNTAIN GRASS - <i>Pennisetum alopecuroides</i>	# 2 cont.	2'/ 3'
2	MOHICAN VIBURNUM - <i>Viburnum lantana</i> 'Mohican'	48" ht. B/B	6'/ 6'
PERENNIALS			
33	PARDON ME DAYLILIES - <i>Heemerocallis x 'Pardon Me'</i>	# 1 cont.	3'/ 3'
3	AUTUMN JOY SEDUM - <i>Sedum spectabile</i> 'Autumn Joy'	# 2 cont.	2'/ 3'

LANDSCAPE ARCHITECT:
YELLOW SPRINGS DESIGN
PO Box 472 205 PARK MEADOWS DR.
YELLOW SPRINGS, OHIO 45387
(O) 937.767.8199 (M) 937.654.8199
yellowspringsdesign@bizwoh.rr.com
LICENSED IN: OH, KY, PA, IN, IL, MS,
MI, VA, TX, OK, AZ, CO, NM & UT

STATE OF OHIO
ROGER E. BEAL
4433
LANDSCAPE ARCHITECT

NAME: ROGER E. BEAL
REGISTRATION NO.: LA 8100433

Date

Description

Item

SITE DEVELOPMENT PLANS FOR

HUBER HEIGHTS COMMON

BROAD REACH RETAIL

OLD TROY PIKE & TAYLORSVILLE ROAD

CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

BURKHARDT

ENGINEERS & SURVEYORS

28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0060 | BURKHARDTINC.COM

CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

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Draw: REB

Check: REB

Scale: 1"=20'

Date: 09/30/2021

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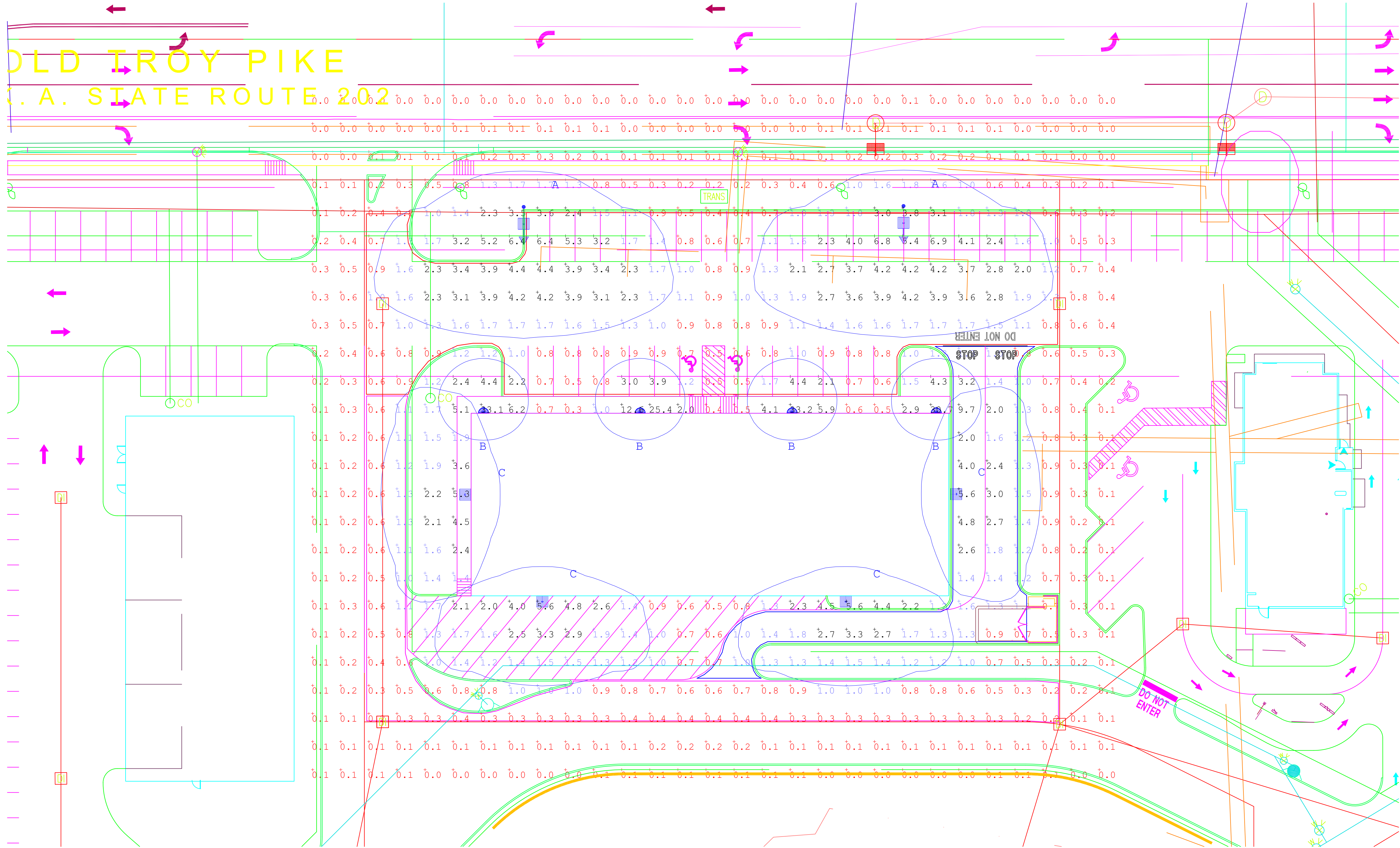
PAD #3

LANDSCAPE PLAN

Sheet No.:

L-1.0

REVISIONS		
REV #	DATE	BY:



Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
DRIVE THRU	Fc	2.06	9.7	0.7	2.94	13.86	10	10
PARKING	Fc	2.03	6.9	0.5	4.06	13.80		
SIDE AND REAR	Fc	0.58	1.3	0.2	2.90	6.50		

Luminaire Schedule							
WLS13804	BROAD REACH	HUBER HEIGHTS, OH	PM: HOLLY	PLEASE EMAIL US FOR PRICING AT HOLLY@WLSLIGHTING.COM			
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts	
	2	A	17499	0.980	WLS-A-L-B-22L-40K7-3M-BLSLF-SLW 22' POLE 3' BASE	132	
	4	B	5940	0.950	GSR-06L-FT-40 8' MOUNTING HEIGHT	49	
	4	C	8543	0.980	WLS-WP-B-WM-3ME-8L-40K-SLW 18' MOUNTING HEIGHT	70.56	

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

6820 CORPORATION PKWY
FORT WORTH, TX 76126
WWW.WLSLIGHTING.COM

WLSLIGHTING
a WLS company

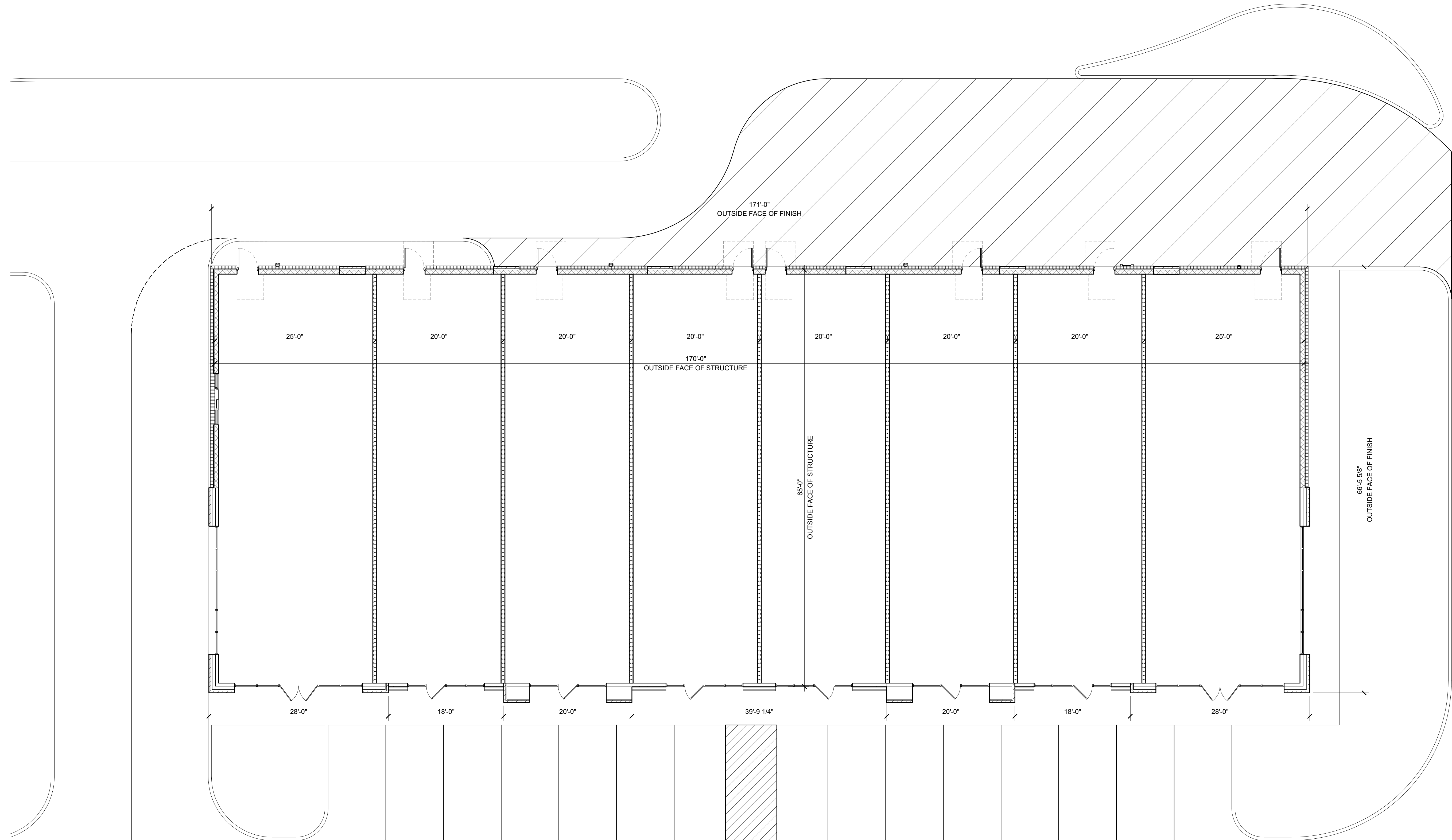
BROAD REACH
HUBER HEIGHTS, OH



MJM ARCHITECTS 2948 SIDCO DR Nashville, TN 37204
 Phone: 615-244-8170 Fax: 615-244-8141 www.mjmach.com



MULTI TENANT PAD SHOPS
 HUBER HEIGHTS, OH



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



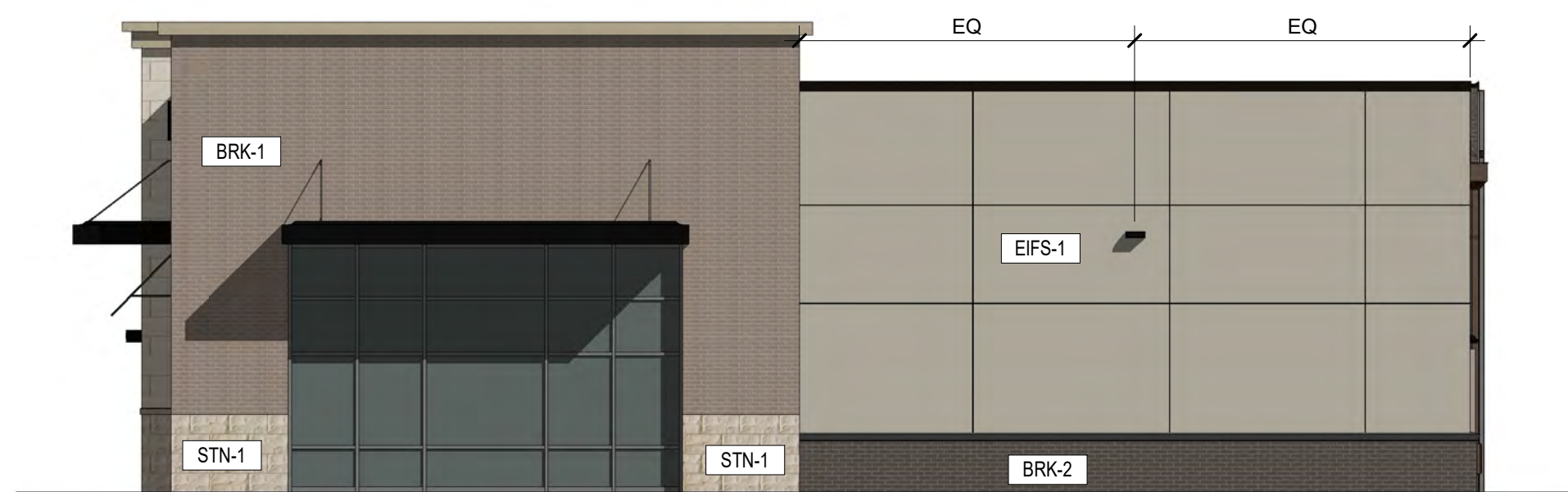
MJM ARCHITECTS 2948 SIDCO DR Nashville, TN 37204
Phone: 615-244-8170 Fax: 615-244-8141 www.mjmach.com



MULTI TENANT PAD SHOPS
HUBER HEIGHTS, OH



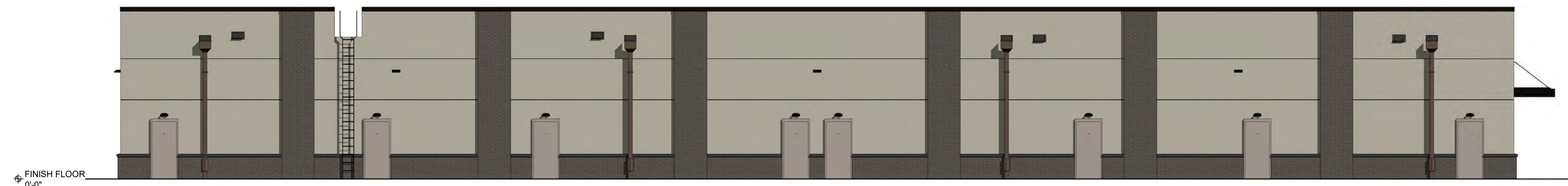
1 COLOR - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 COLOR - SIDE ELEVATION - A
SCALE: 1/8" = 1'-0"



4 COLOR - SIDE ELEVATION - B
SCALE: 1/8" = 1'-0"



3 COLOR - REAR ELEVATION
SCALE: 1/8" = 1'-0"

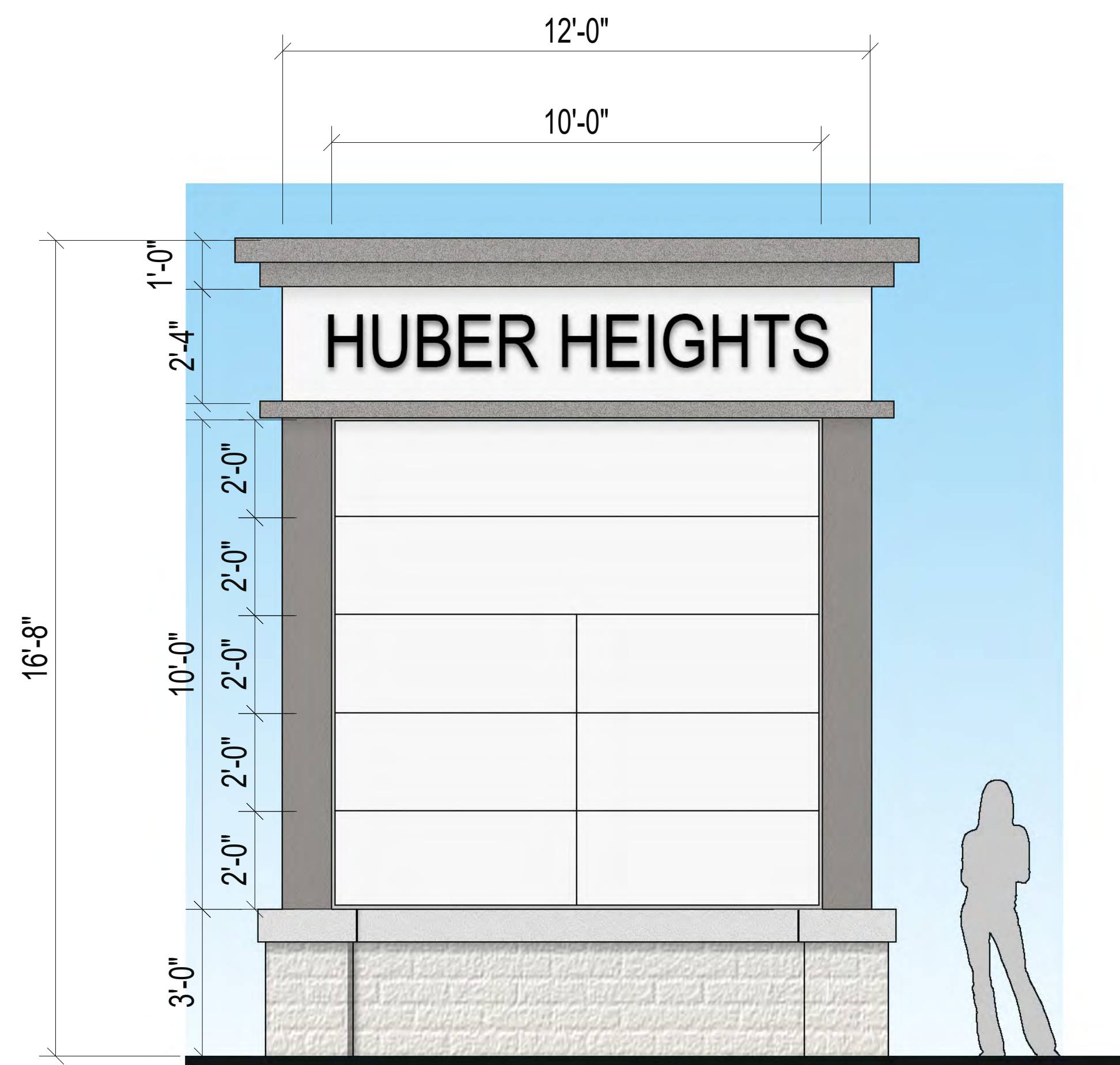
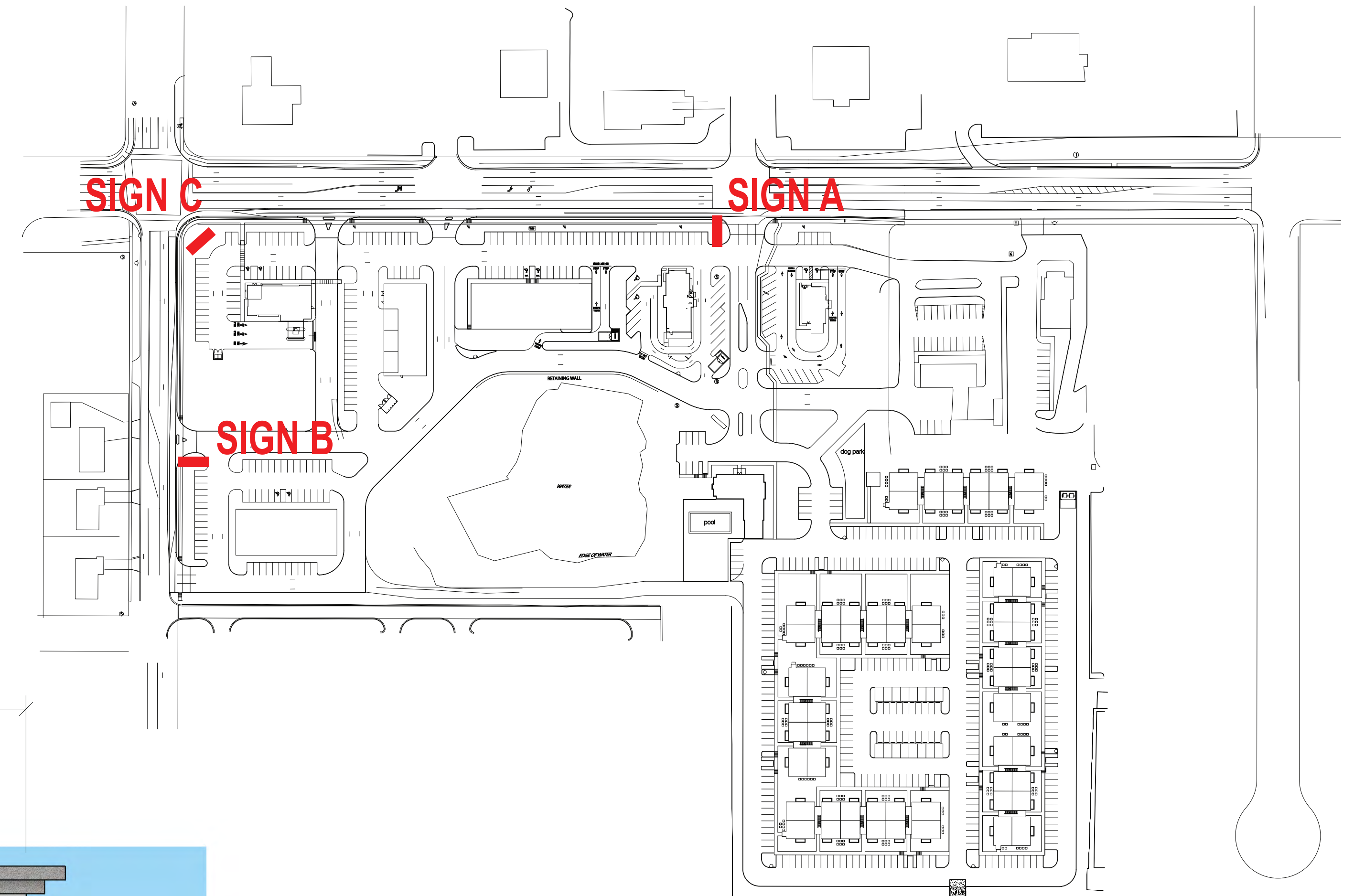
EXTERIOR FINISH SCHEDULE	
(SEE SPEC FOR MANUFACTURER & MATERIALS)	
TAG	MATERIAL
BRK-1	MODULAR BRICK RUNNING BOND, COLOR: BELDEN 061
BRK-2	MODULAR BRICK RUNNING BOND, COLOR: ACME SLATE GRAY
DS-1	PREFINISHED METAL GUTTER & DOWNSPOUT TO MATCH DARK BRONZE
EIFS-1	DRYVIT STUCCO, COLOR: SW SHALE
EIFS-2	DRYVIT STUCCO, COLOR: #GRAY STEEL
PT-1	PAINT TO MATCH EIFS-1
STN-1	ARRISCRAFT12x24 ROUGH, COLOR: CHAMPAGNE
STN-2	ARRISCRAFT12x24 SMOOTH, COLOR: CHAMPAGNE



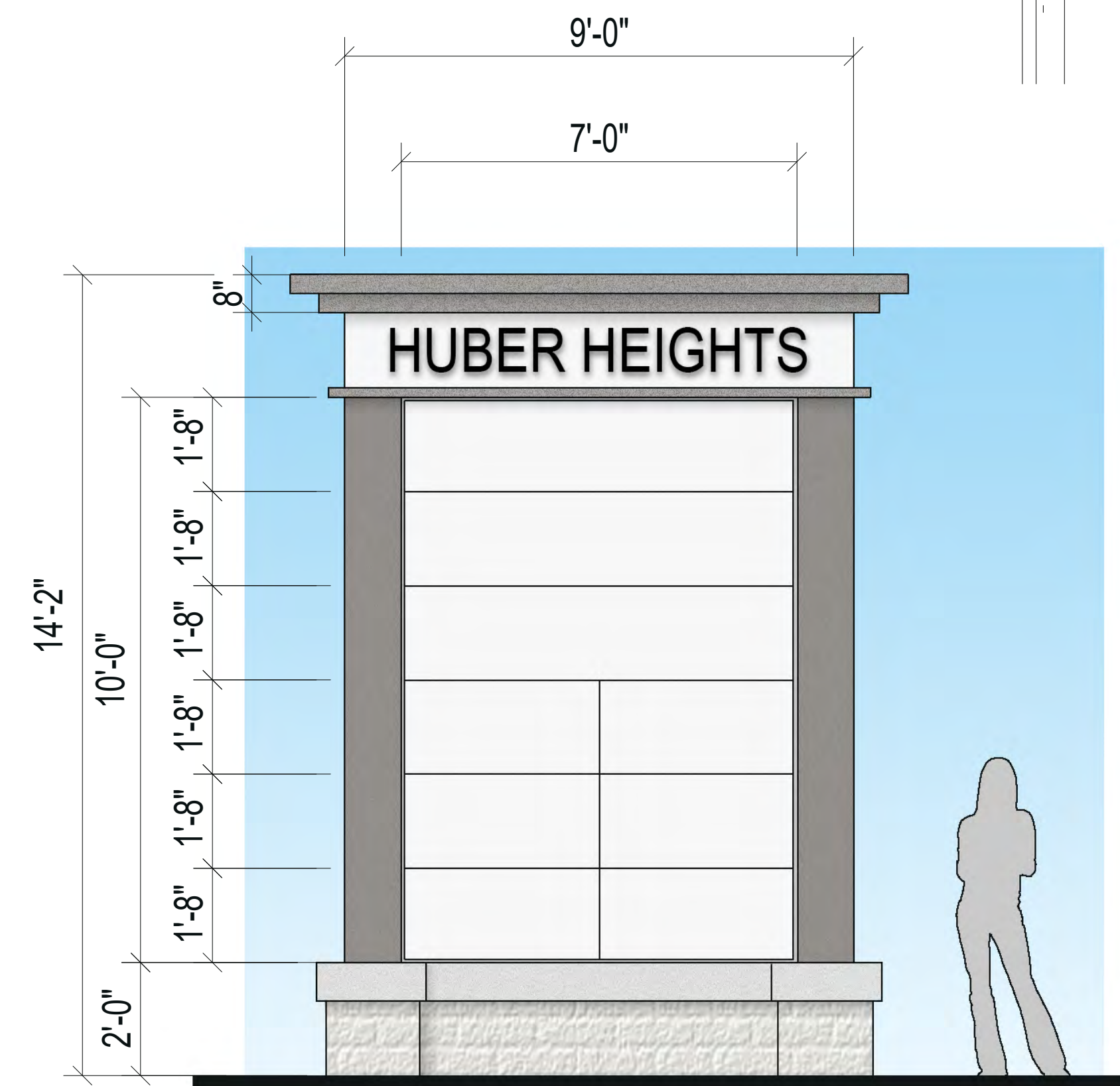
MJM ARCHITECTS 2948 SIDCO DR Nashville, TN 37204
Phone: 615-244-8170 Fax: 615-244-8141 www.mjmach.com

MULTI TENANT PAD SHOPS
HUBER HEIGHTS, OH

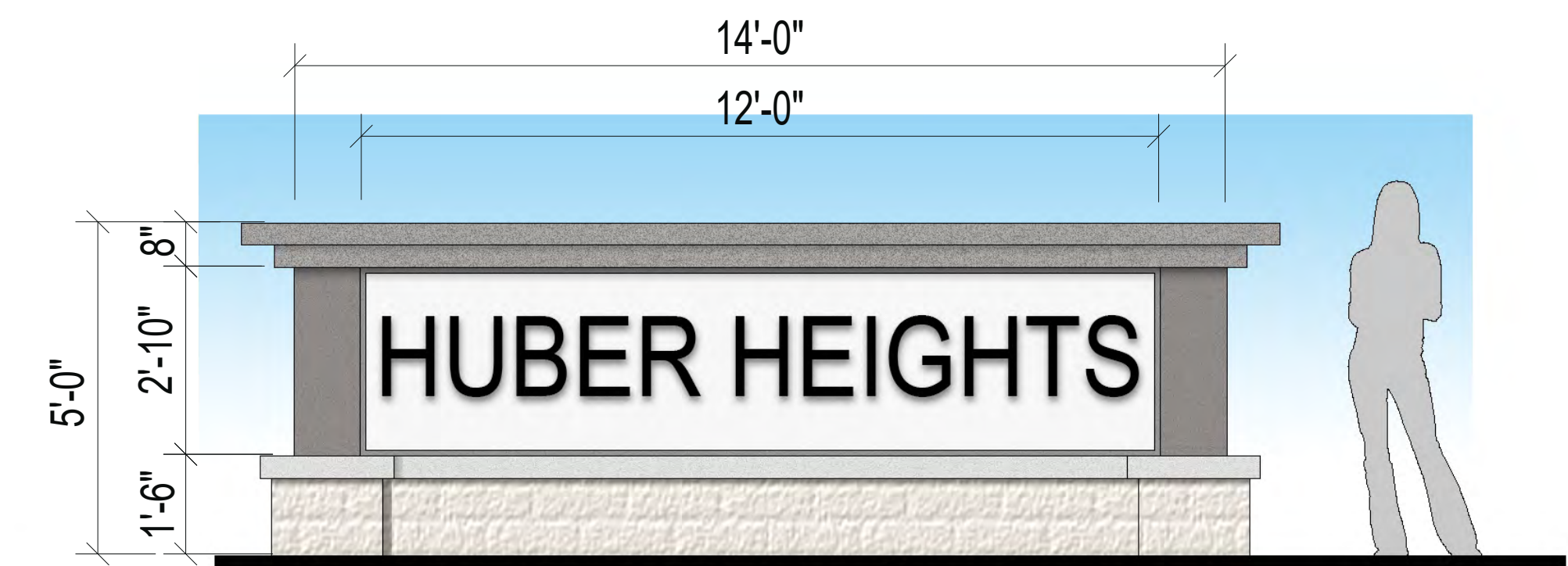




SIGN A



SIGN B



SIGN C



MJM ARCHITECTS 2948 SIDCO DR Nashville, TN 37204
Phone: 615-244-8170 Fax: 615-244-8141 www.mjmach.com



MULTI TENANT PAD SHOPS
HUBER HEIGHTS, OH



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Broad Reach Development – Pad 3 (Strip Center)		
Occupancy Address:	Old Troy Pike and Taylorsville Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-039/21-177/21-216
MCBR ELE:		HHFD Box:	47
REVIEWER:	Susong	DATE:	10/21/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017 and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.

- Please review requirements for fire service features in Ohio Fire Code (OFC), Rule 5.
- Fire apparatus access roads will need to comply with OFC 503 as well as the adopted appendices from the OFC (2017) and the Huber Heights Codified Ordinance (HHCO) Section 15.
- Verify that proposed trees do not obstruct fire department access and access roads. The minimum clear vertical height for fire apparatus access roads shall be 13 feet 6 inches, in accordance with Ohio Fire Code 503.2.1.
- The water supply for fire protection shall meet the requirements of OFC 507 and Appendix B. Calculations and findings will need to be determined and provided. Water Main and hydrant extension sizes and spacing will also need to be shown in detail. Fire flow requirements shall be determined in accordance with Ohio Fire Code, Appendix B, Fire Flow Requirements for

Buildings. Once the fire flow has been determined the minimum number of required fire hydrants can be confirmed. (Building Construction Classification and Square Footage will need to be determined first).

- Hydrants in multi-family and commercial districts shall be placed not more than 300 feet apart, measured on the main and not more than 400 feet from any opening in any building. All new fire hydrants and any existing fire hydrants that are in need of replacement, shall meet the Huber Heights hydrant standard for this district of two (2), five (5) inch diameter steamer nozzles. These steamer nozzles shall have a five (5) inch STORTZ quick connection and one steamer shall have a four (4) inch STORTZ connection approved by the Code Official. Huber Heights Codified Ordinance 1521.06(c). *(Hydrants appear to meet the 300 feet distance requirement. Additional hydrants may be required to meet the below requirements.)*
- Buildings provided with fire sprinkler systems will need to have a fire department connection located within 75 feet of a fire hydrant in accordance with Huber Heights Codified Ordinance 1521.01(e).
- Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Ohio Fire Code 507.5.4. *(See below.)*
- A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. (No trees, bushes, plantings, etc.) Ohio Fire Code 507.5.5.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in ALL respects to this code, as prescribed in SECTION (D) 104.1 of the 2017 Ohio Fire Code. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with ALL applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-7898

7.1.

Planning Commission

Meeting Date: 10/26/2021

FINAL PLAT

Information

Agenda Title

FINAL PLAT - The applicant, CAMPBELL BERLING HUBER HEIGHTS, LLC, is requesting approval of a Final Plat for a residential subdivision containing 43 residential lots, 3 open space lots and on a public street for property located south of Chambersburg Road, east of Belmont Place, west of Stoney Creek Drive, north of Aaron Lane (ZC 21-38).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Fire Assessment

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission
From: Scott P. Falkowski, Assistant City Manager
Date: October 15, 2021
Subject: ZC 21-38 (Final Plat Quail Ridge)

Application dated September 24, 2021

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Campbell Berling Huber Heights, LLC – Applicant/Owner
DEVELOPMENT NAME: Quail Ridge
ADDRESS/LOCATION: South of Chambersburg Road, east of Belmont Place,
west of Stone Creek Drive, north of Aaron Lane
ONING/ACREAGE: Planned Residential (PR) / 21.5519
EXISTING LAND USE: Residential
ZONING
ADJACENT LAND:
REQUEST: The applicant requests approval of the Final Plat for
Quail Ridge.
ORIGINAL APPROVAL:
APPLICABLE HHCC:
CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

In June 2021, the Planning Commission approved the Detailed Development Plan for the Quail Ridge Subdivision. The current request is for the Final Plat of the Quail Ridge Subdivision in order for the lots to be sold and developed for single-family houses. The construction of the infrastructure and streets is ongoing.

Lot Analysis

The forty-three (43) proposed single-family lots meet the minimum dimensional and area requirements of the 2021 Basic Development Plan conditions of approval. All required streets and easements, including utility, waterline and drainage easements, will also be platted with this application. The final plat as presented complies with the previously approved Detailed Development Plan.

Urban Design

This is the only phase of the development which continues the growth on the south side of Chambersburg Road. The majority of lots have sixty (60) foot minimum widths with a twenty-five (25) foot minimum building setback. There are five (5) foot side yards and forty (40) foot rear yard minimums. There are four lots that are “flag” lots with 12.5-foot frontages along Quail Ridge Drive. Those lots have driveways that go back to lots that are a minimum of eighty (80) feet wide. There is a ten-foot preservation easement along the western property line and a twenty-foot preservation easement along the southern property line.



Planning Commission Decision Record

WHEREAS, on September 24, 2021, the applicant, Campbell Berling Huber Heights, LLC, requested approval of the Final Plat for Quail Ridge (Zoning Case 21-38), and;

WHEREAS, on October 26, 2021 the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approved the request.

_____ moved to approve the request by Campbell Berling Huber Heights, LLC, for approval of the Final Plat for Quail Ridge (Zoning Case 21-38) in accordance with the recommendation of Staff's Memorandum dated October 15, 2021, with the following conditions:

1. The Final Plat for Quail Ridge shall be the plans stamped received by the City of Huber Heights Planning Department on September 24, 2021.
2. Prior to the issuance of a permit for any of the lots within Quail Ridge, the applicant shall provide to the Planning Department a copy of the executed and recorded plat.
3. The preservation zones shall be designated on the Final Plat.
4. Prior to the release of the record plan for recording, the applicant shall enter into a Subdivider's Agreement with the City and provide a surety in an amount to be determined by the City in accordance with Section 1107.03 of the City of Huber Heights Subdivision Regulations.

Seconded by . Roll call showed: YEAS: NAYS: Motion to approve carried .

Terry Walton, Chair
Planning Commission

Date

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF HUBER HEIGHTS SPECIFICATIONS AND STANDARD DRAWINGS. IF NO CITY STANDARD IS AVAILABLE, THEN STANDARD DRAWINGS AND SPECIFICATIONS FROM THE MONTGOMERY COUNTY, OHIO ENGINEERING DEPARTMENT OR THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION & MATERIALS SPECIFICATIONS" (LATEST EDITION) SHALL BE FOLLOWED.
- ALL UTILITY TRENCH EXCAVATION WITHIN THE EXISTING AND PROPOSED RIGHT-OF-WAY AND EASEMENTS SHALL BE BACKFILLED WITH GRANULAR FILL MATERIAL IN ACCORDANCE WITH CITY SPECIFICATIONS AND COMPACTED BEFORE SUB-GRADE APPROVAL.
- ALL UNDERGROUND UTILITY SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT-OF-WAY LINE BEFORE STREETS ARE SURFACED.
- ALL CATCH BASINS (CURB AND GUTTER INLET) ODOT TYPE 3A UNLESS OTHERWISE SPECIFIED. THE CASTING HOOD SHALL HAVE "DUMP NO WASTE" LETTERING AND FISH IMAGE.
- ALL STORM SEWER PIPE WITHIN THE RIGHT-OF WAY SHALL BE REINFORCED CONCRETE ASTM C-76, CLASS IV, UNLESS OTHERWISE NOTED. ALL STORM SEWER OUTSIDE THE RIGHT-OF-WAY SHALL BE AS FOLLOWS:
 - PVC PIPE AS PER ODOT SPECIFICATION 707.42 FOR ALL DIAMETERS
 - HDPE PIPE AS PER ODOT SPECIFICATION 707.33
 - CORRUGATED STEEL PIPE AS PER ODOT SPECIFICATION 707.01 OR 707.02 FOR ALL DIAMETERS
 - REINFORCED CONCRETE PIPE AS PER ODOT CONSTRUCTION AND MATERIAL SPECIFICATION 706.02 FOR ALL DIAMETERS. CLASS SHALL BE SPECIFIED AT THE CONTRACTOR'S REQUEST.
- STORM SEWERS SHALL HAVE A MAXIMUM N-VALUE OF 0.013.
- ALL MANHOLES TO BE TYPE "A", UNLESS OTHERWISE NOTED.
- CHANNEL BOTTOMS OF ALL MANHOLES.
- CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH CITY SPECIFICATIONS.
- CONCRETE CURBING TO BE A TYPE SPECIFIED IN THE CITY OF HUBER HEIGHTS STANDARD DRAWINGS. EXTRUDED OR PRECAST CURB IS NOT PERMITTED.
- ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED OR CONNECTED TO THE STORM SEWER SYSTEM.
- SITE GRADING WITHIN SUBDIVISIONS SHALL BE SUCH THAT ALL LOTS WILL READILY DRAIN. LOTS SHALL HAVE A 1.5% MINIMUM SLOPE IN GRASS AREAS. OVERLAND FLOW ON LOTS SHALL BE LIMITED TO A MAXIMUM DISTANCE OF THREE HUNDRED (300) FEET UNLESS APPROVED BY THE CITY ENGINEER.
- ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764; THE DAYTON POWER & LIGHT CO. AT 937-866-3303, AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OUPS.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH THE LIFE OF THE CONTRACT. THESE MAY INVOLVE THE USE OF HAY AND STRAW BALES, DIKES, SEDIMENT PITS, MULCHES, FILTER FABRICS AND OTHER DEVICES AND METHODS. PARTICULAR CARE SHALL BE TAKEN TO AVOID EROSION AND SEDIMENTATION ON EXISTING PAVED AND GRAVELED AREAS. FOR RESIDENTIAL AND SMALL CONSTRUCTION SITES - PRIOR TO ANY SITE DISTURBANCE, THE CONTRACTOR SHALL HAVE IN PLACE EROSION CONTROL MEASURES PER EPA 830-F-15-001 GUIDELINES FOR STORMWATER PREVENTION.
- ROOF AREA DRAIN LINES SHALL NOT BE EXTENDED THROUGH CURBS BUT SHALL BE DIRECTLY CONNECTED TO THE STORM SEWER SYSTEM.
- ALL METAL CASTINGS SHALL BE PAINTED WITH TWO COATS OF BLACK ASPHALTUM PAINT.
- ALL EXISTING MONUMENTS SHALL BE PROTECTED AND OR REFERENCED BY THE CONTRACTOR. MONUMENTS SHOWN ON THE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN ON MONTGOMERY COUNTY STANDARD CONSTRUCTION DRAWING MC-1. MONUMENT BOXES SHALL BE LOCATED AT ROADWAY PI, PC, PT POINTS AS WELL AS CROSS STREETS CENTERLINE.
- CONSTRUCTION STAKING MUST BE FURNISHED FOR THE CITY INSPECTOR TO VERIFY CONFORMANCE TO THE DESIGN PLAN. CONSTRUCTION STAKING IS REQUIRED AT SUFFICIENT DENSITY TO ENSURE THE CITY INSPECTOR CAN VERIFY THE WORK PERFORMED BY THE CONTRACTOR. CONTACT THE CITY INSPECTOR TO ENSURE ADEQUATE CONSTRUCTION STAKING IS FURNISHED.
- ALL SURVEY MUST BE PERFORMED BY THE STATE OF OHIO LICENSED SURVEYOR.

SANITARY SEWER

- THE CONTRACTOR SHALL BE QUALIFIED TO CONSTRUCT SANITARY SEWERS. ALL SUCH WORK SHALL BE CONSTRUCTED ACCORDING TO CITY OF HUBER HEIGHTS SPECIFICATIONS.
- SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC S3034 SDR 26.
- SANITARY SEWER PIPE JOINTS SHALL CONFORM TO ASTM D 3212 FOR PVC.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- NO CONSTRUCTION SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN ISSUED.
- ALL UTILITY TRENCHES WITHIN THE EXISTING OR PROPOSED STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL CONFORMING TO ODOT 310 IN ACCORDANCE WITH THE CITY SPECIFICATIONS. NO ADDITIONS, DELETIONS OR REVISIONS TO THE SANITARY SEWER ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF HUBER HEIGHTS.
- WATER LINES CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDES OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUIDISTANT AND AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWERS, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
- ALL SERVICE LATERALS SHALL BE PVC SCHEDULE 40 AND ARE TO BE INSTALLED FROM MAIN TO RIGHT OF WAY OR EASEMENT BEFORE STREETS ARE SURFACED.
- ALL MANHOLES SHALL BE PRECAST IN ACCORDANCE WITH CITY STANDARDS. MANHOLE STEPS SHALL BE PLASTIC. ALL MANHOLE FRAMES AND LIDS SHALL BE DUCTILE IRON TRAFFIC BEARING WITH VENT HOLES TO BE AT THE OPTION OF THE CITY ENGINEER.

WATER NOTES

- THE CONTRACTOR SHALL BE QUALIFIED TO CONSTRUCT WATER MAINS. ALL WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO CITY OF HUBER HEIGHTS SPECIFICATIONS.
- WATER MAINS, BENDS AND FITTINGS SHALL BE DUCTILE CAST IRON PIPE AND CONFORM TO ANSI A-21.51 (AWWA C-151), CLASS 53. BENDS AND TEES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINTS SUCH AS MEGALUG OR APPROVED EQUAL.
- ALL WATER MAINS SHALL HAVE 4' -6" MINIMUM COVER.
- NO SERVICE CONNECTIONS SHALL BE MADE TO THE WATER MAIN UNTIL THE MAIN LINE HAS BEEN INSPECTED, TESTED, AND FLUSHED FOR 12 HOURS MINIMUM. NO TAPPING WILL BE PERMITTED IN INCLEMENT WEATHER.
- NO CONSTRUCTION SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN ISSUED.
- ALL UTILITY TRENCHES WITHIN THE EXISTING OR PROPOSED PAVEMENT OR EASEMENTS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL CONFORMING TO ODOT 310 IN ACCORDANCE WITH THE CITY SPECIFICATIONS. NO ADDITIONS, DELETIONS, OR REVISIONS TO THE WATER FACILITIES ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF HUBER HEIGHTS.
- ONLY CITY OF HUBER HEIGHTS OR UNITED WATER PERSONNEL SHALL OPERATE MAIN LINE WATER VALVES.
- ALL FIRE HYDRANTS SHALL BE LOCATED 2' FROM AND WITHIN 5' OF THE CURB OR EDGE OF PAVEMENT AND 4" OPENING TO FACE THE STREET. THE FIRE HYDRANT IS TO BE INSTALLED AS PER THE DETAIL LOCATED WITHIN THE CITY OF HUBER HEIGHTS STANDARD DRAWINGS.
- WATER LINES CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDES OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUIDISTANT AND AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWERS, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
- ALL SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT OF WAY OR EASEMENT BEFORE STREETS ARE SURFACED.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING WATER MAINS BEFORE CONSTRUCTION OF NEW WATER MAIN AT PROPOSED CONNECTIONS.
- ALL GATE VALVES ARE TO BE LOCATED AT TEES OR CROSSES WITH A 1" MAXIMUM NIPPLE BETWEEN TEE OR CROSS AND VALVE. ALL PLUGS ARE TO BE CONNECTED TO VALVES EXCEPT WHERE SHOWN ON PLANS. PLUGS SHALL BE TAPPED WITH A 3/4" SHUT OFF VALVE FOR RELEASE OF AIR AND FOR FLUSHING.
- ALL VALVES AND FIRE HYDRANTS SHALL HAVE RIGHT HAND (CLOCKWISE) OPENING DIRECTION.
- GATE VALVES SHALL HAVE RESILIENT SEATS RATHER THAN BRASS SEATS. OPERATING RODS SHALL HAVE O-RING WATER SEALS RATHER THAN PACKING GLANDS.
- ALL FIRE HYDRANTS IN SINGLE FAMILY RESIDENTIAL DISTRICTS SHALL BE MUELLER CENTURION 250 MODEL A-423 WITH 5-1 1/4" MAIN VALVE OPENING WITH ONE 5" STORTZ OUTLET WITH CAP AND 2 2-1/2" OUTLETS WITH CITY OF DAYTON THREADS.
- ALL FIRE HYDRANTS IN MULTI FAMILY RESIDENTIAL AND COMMERCIAL DISTRICTS SHALL BE MUELLER CENTURION 200 MODEL A-425 WITH 5-1 1/4" MAIN VALVE OPENING TWO WAY WITH ONE 4" STORTZ OUTLET WITH CAP AND ONE 5" STORTZ OUTLET WITH CAP. OPERATING NUT TO BE A 1" SQUARE.
- THE FIRE HYDRANT BREAKAWAY FLANGE SHALL BE LOCATED 4" ABOVE THE TOP OF CURB.
- FIRE HYDRANTS SHALL BE PRIMED WITH RED OXIDE PRIMER AND PAINTED WITH TWO (2) COATS OF RED ENAMEL FROM THE BREAK-AWAY FLANGE TO THE TOP OF THE HYDRANT. LOWER SECTIONS OF THE HYDRANT, INCLUDING THE BARREL SHALL BE PAINTED WITH AN ASPHALTUM PAINT.
- WATER SERVICE LINES SHALL BE 1" TYPE K COPPER PER CITY STANDARDS. METER YOKES AND METER VAULTS SHALL BE PER MONTGOMERY COUNTY STANDARDS.
- BOLLARDS, WHERE REQUIRED, SHALL BE CONCRETE FILLED 8" DIAMETER POSTS WITH FOUNDATIONS SET 42" BELOW GRADE IN A CONCRETE FILLED EXCAVATION.
- ALL HYDRANTS SHALL HAVE CITY OF DAYTON THREADS RATHER THAN NATIONAL STANDARD THREADS EXCEPT FOR THE STREAMER CONNECTION WHICH SHALL BE A STORTZ FITTING.

QUAIL RIDGE
SECTION 24, TOWN 2, RANGE 8 MRs
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO



VICINITY MAP

NO SCALE

BENCHMARK

IRON PIN WITH CAP LOCATED 875 FEET EAST OF THE CENTERLINE OF CHURCHILL DOWNS PLACE, 21 FEET SOUTH OF THE CENTERLINE OF CHAMBERSBURG ROAD, 29.6 FEET WEST OF AN EXISTING POWER POLE. ELEVATION=875.56

INDEX OF SHEETS

- TITLE SHEET
- TYPICAL SECTION & INTERSECTION DETAILS
- SITE LAYOUT PLAN
- PLAN & PROFILE
- PLAN & PROFILE
- GRADING & EROSION CONTROL PLAN
- WATER & SANITARY SEWER DETAILS
- STORM SEWER DETAILS
- EROSION & SEDIMENTATION CONTROL DETAILS

DEVELOPER

CAMPBELL BERLING HUBER HEIGHTS, LLC
3333 MADISON PIKE, SUITE C
FT. WRIGHT, KY 41017
(859) 250-8285

ENGINEER & SURVEYOR

BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OH 45040
(513) 336-6600

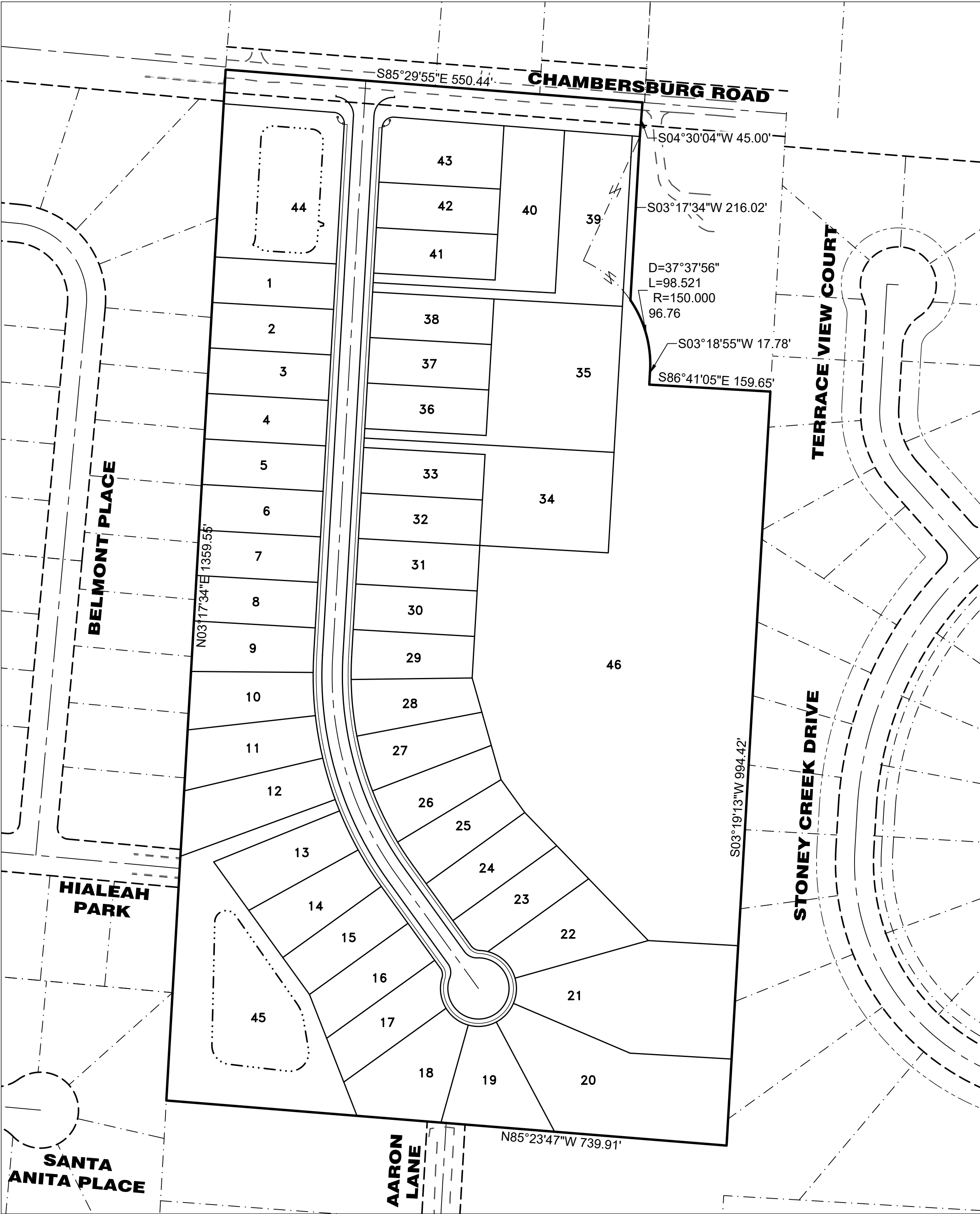
UTILITY CONTACTS

SANITARY SEWER & WATER
CITY OF HUBER HEIGHTS
6244 CHAMBERSBURG ROAD
HUBER HEIGHTS, OH 45424
(937) 233-3292

STORM SEWER
CITY OF HUBER HEIGHTS
7020 BRANDT PIKE
HUBER HEIGHTS, OH 45424
(937) 233-1562

ELECTRIC
DAYTON POWER AND LIGHT
P.O. BOX 1247
DAYTON, OH 45401-1247

GAS
VECTREN
P.O. BOX 209
EVANSVILLE, IN 47702-0209
(800) 990-1930

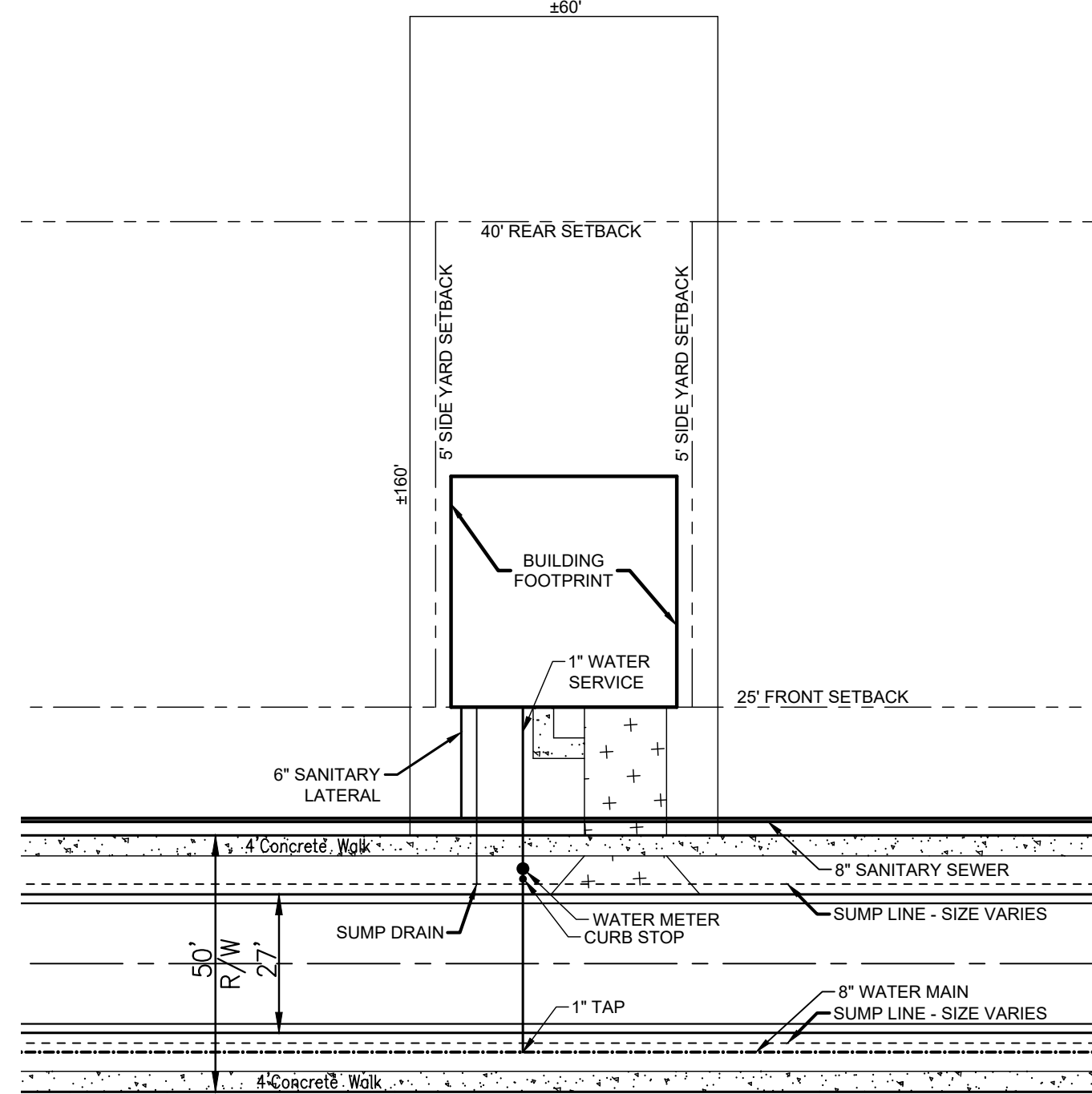


AREA MAP

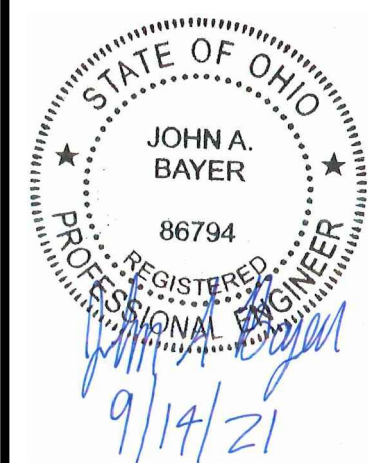
1"=100 FT

PROJECT SUMMARY

- PROPOSED USE: SINGLE FAMILY RESIDENTIAL DEVELOPMENT
- TOTAL SITE ACREAGE: 21.55 ACRES
- ZONING: PUD
- NUMBER OF SINGLE FAMILY RESIDENTIAL LOTS: 43
- PROPOSED RIGHT-OF-WAY: 2.04 ACRES
- OVERALL DENSITY: 2.00 D.U./ACRE
- OPEN SPACE PROVIDED: 6.76 ACRES (31.4%)
- LOTS 34 & 35 AND LOTS 39 & 40 TO ACCESS PROPOSED STREET VIA SHARED DRIVES WITH CROSS-ACCESS EASEMENTS AS-NEEDED.



TYPICAL LOT

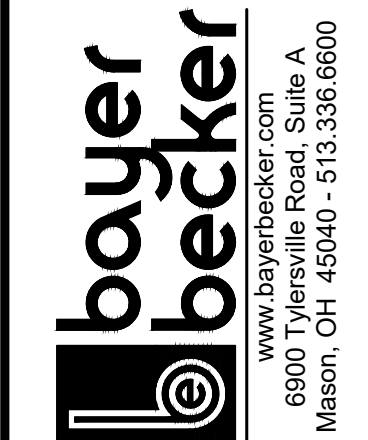


Item	Revision Description	Date	Chk:			
			JAB	ENR	JAB	ENR
1	Revised per Client Review	05-24-21				
2	Revised per City of Huber Heights	07-01-21				
3	Revised per City of Huber Heights	09-14-21				

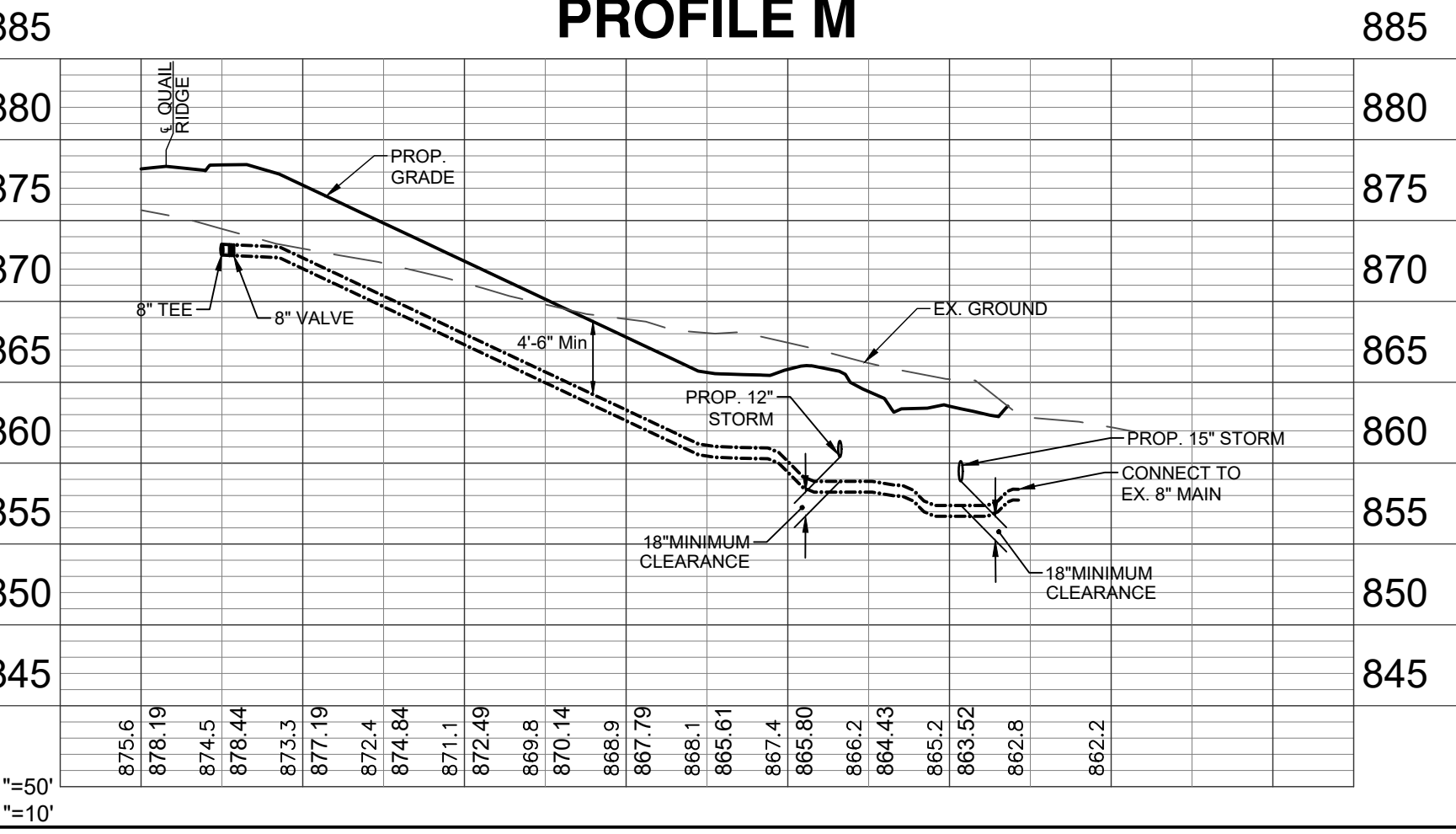
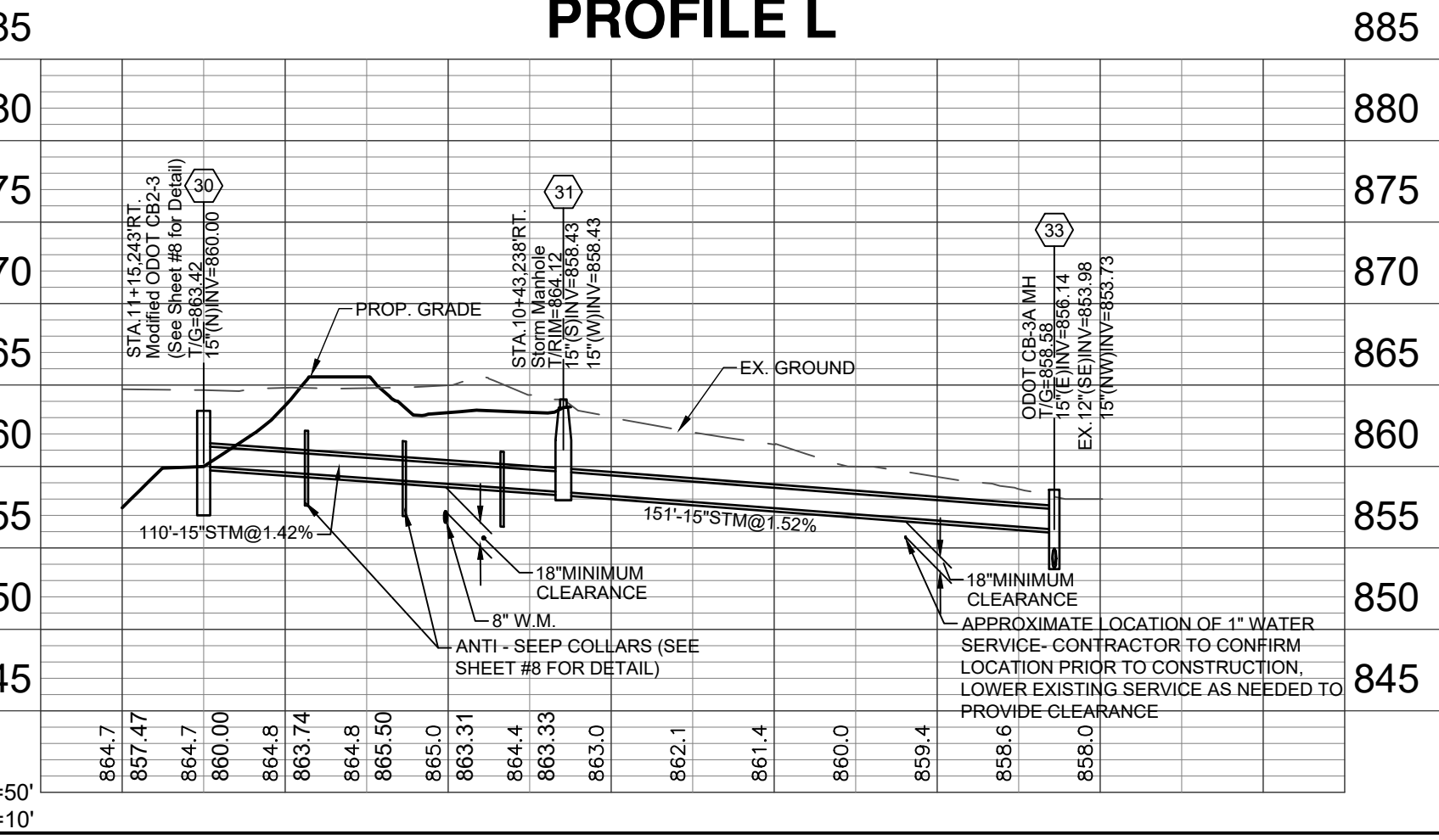
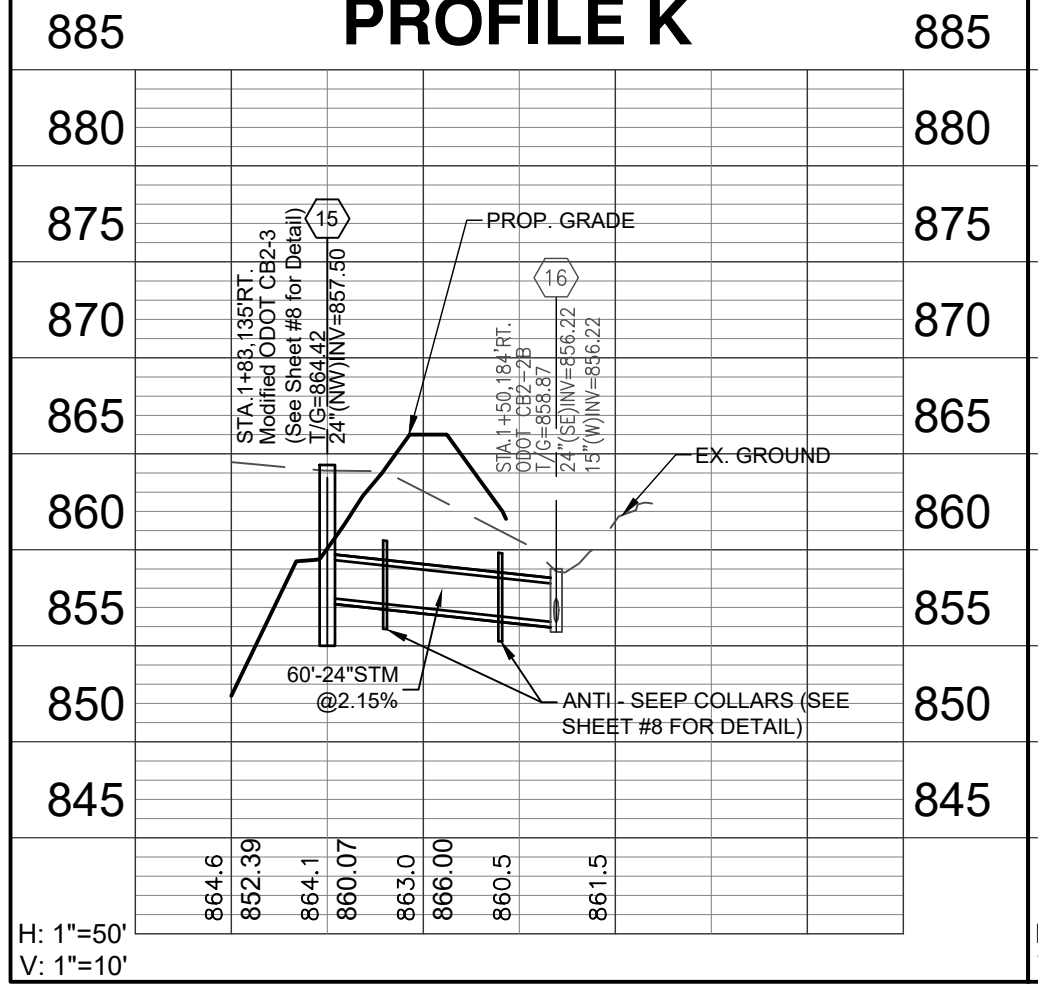
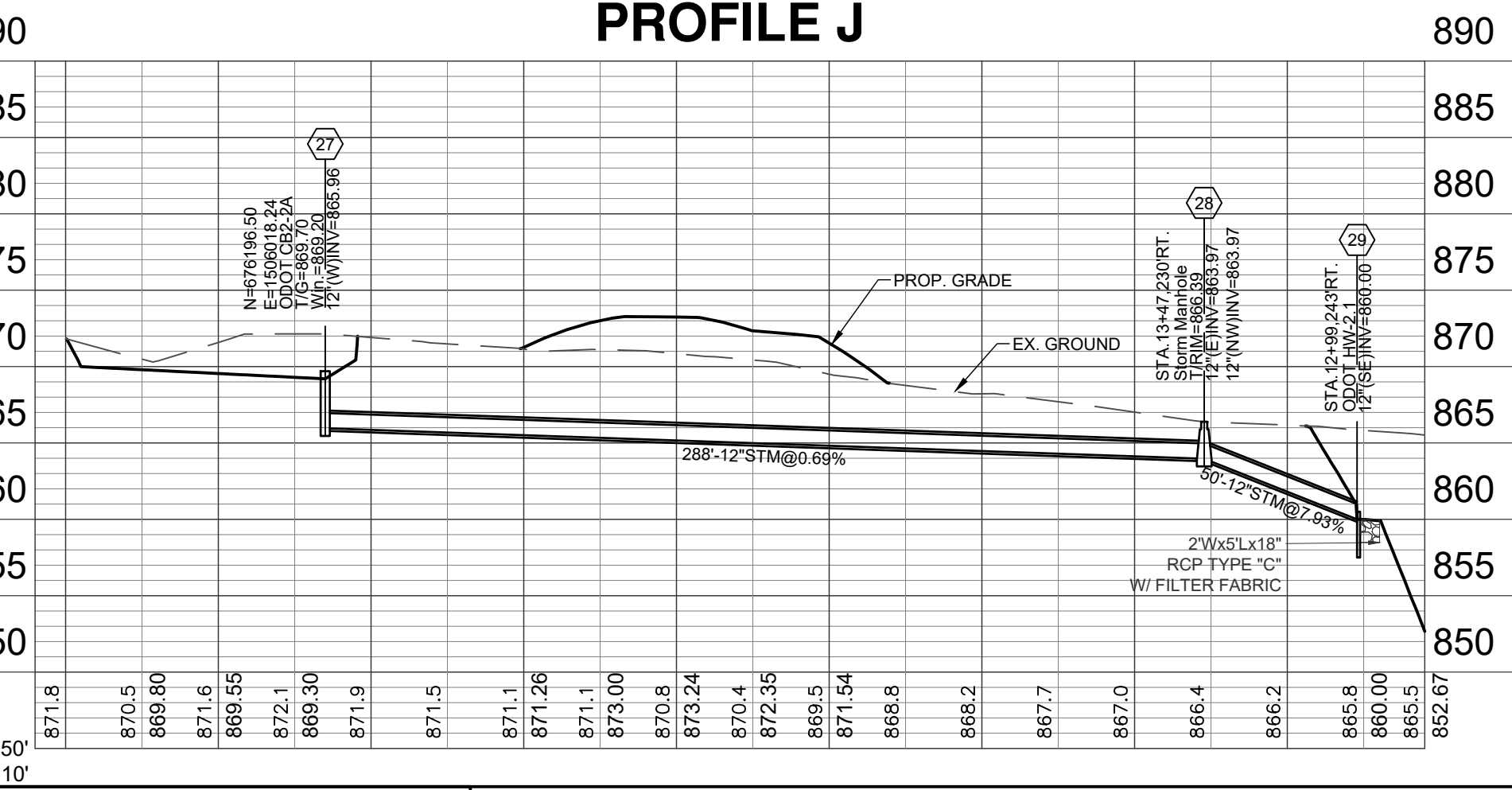
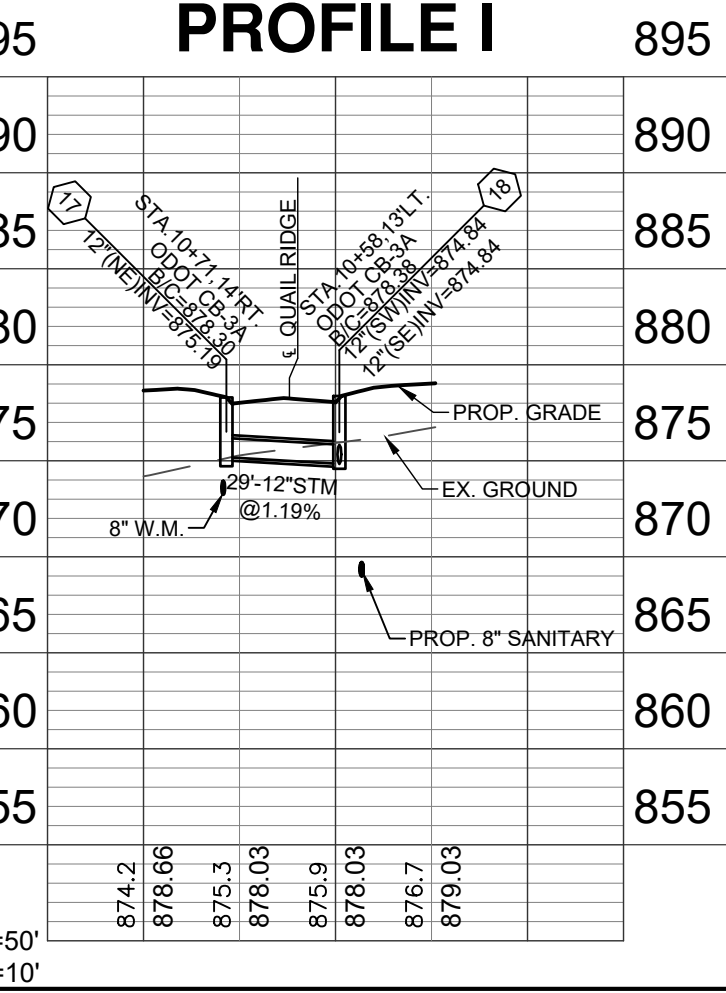
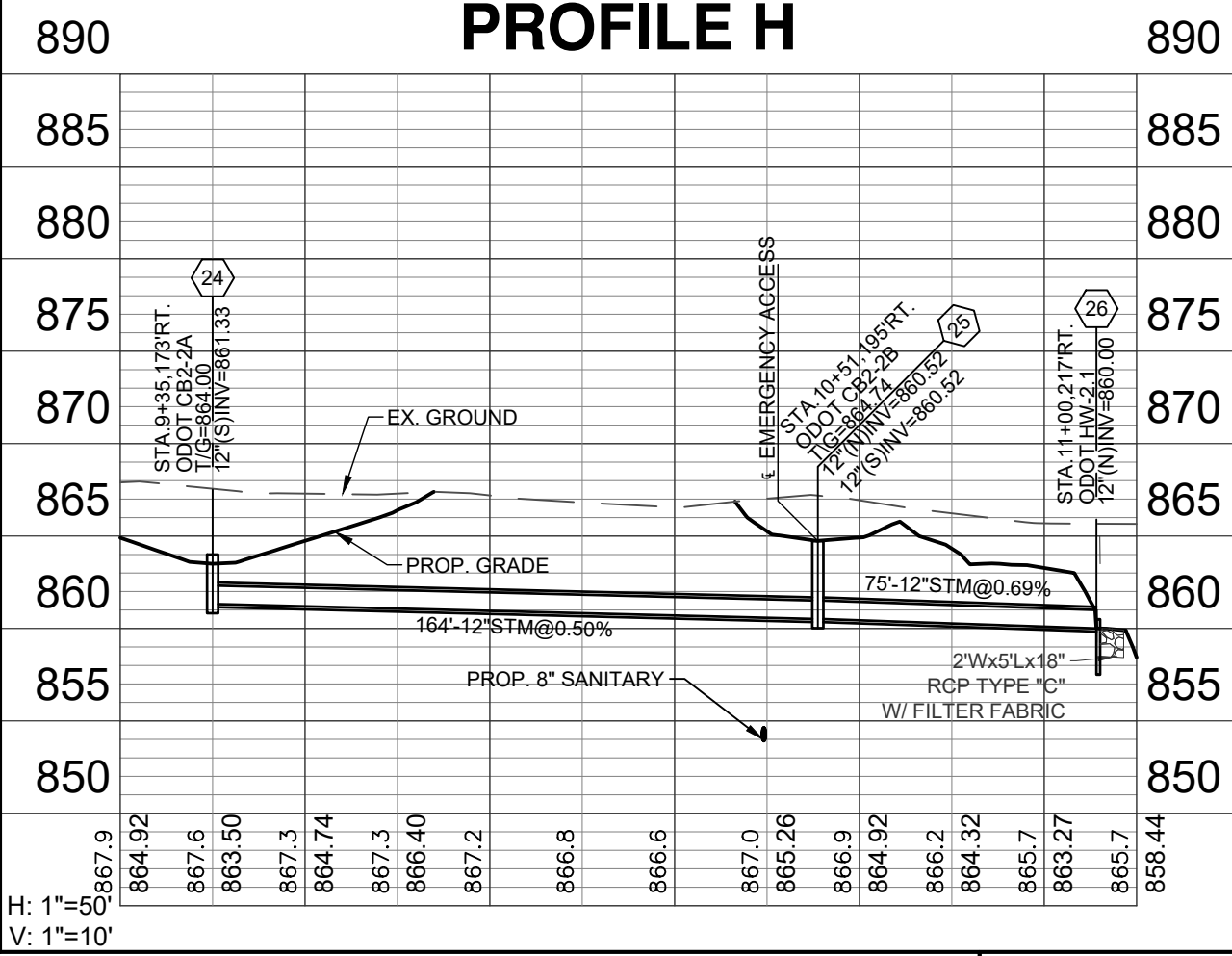
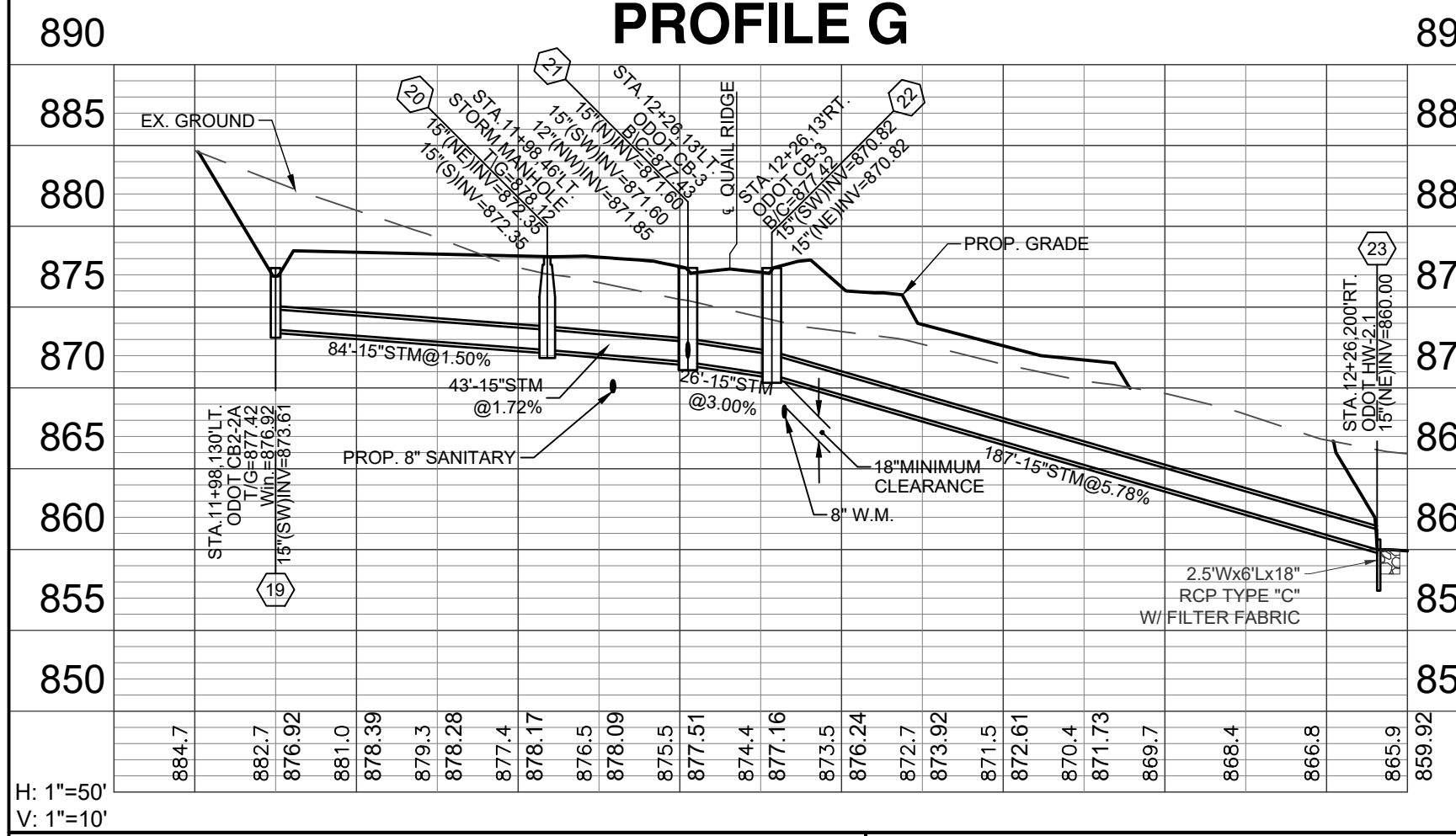
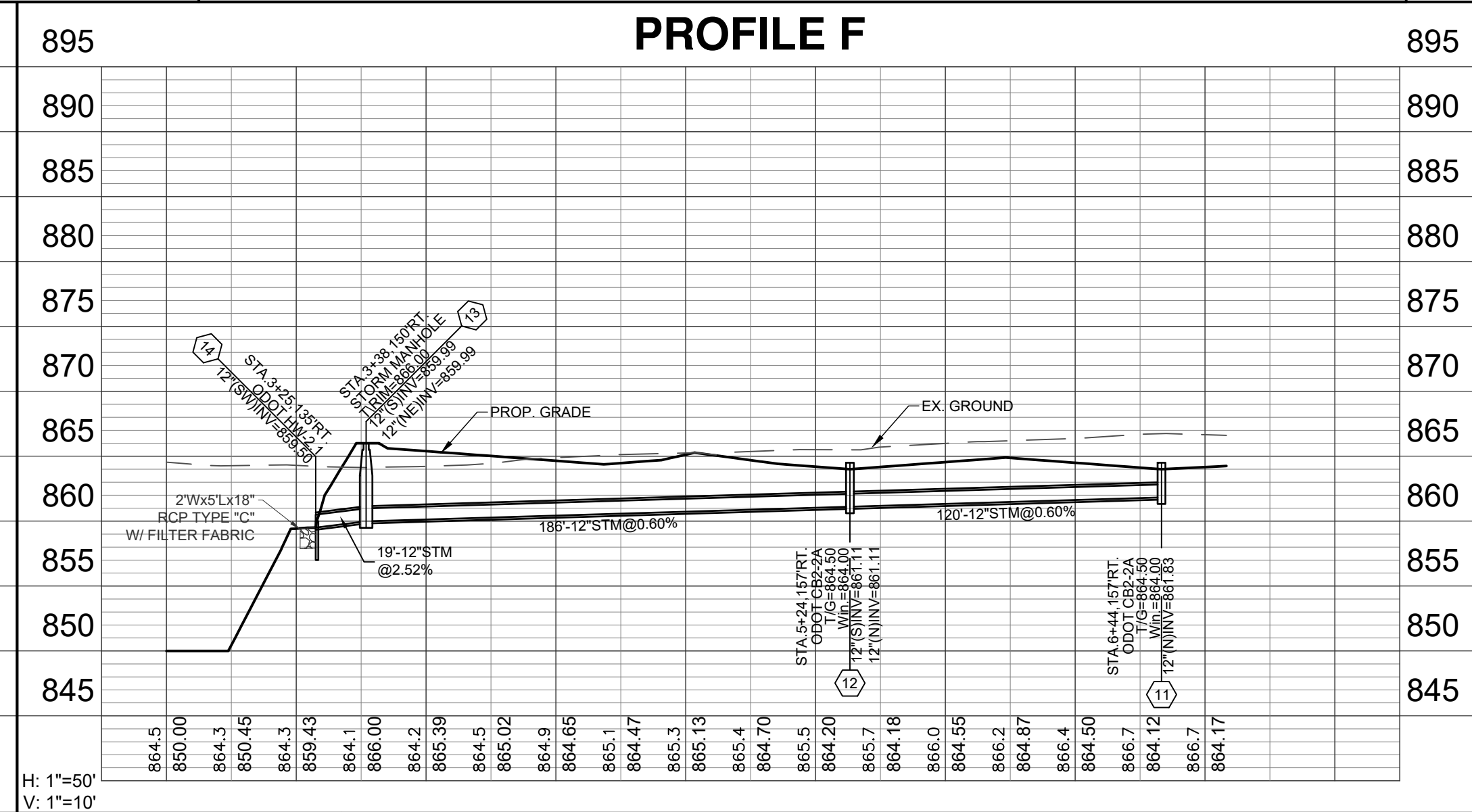
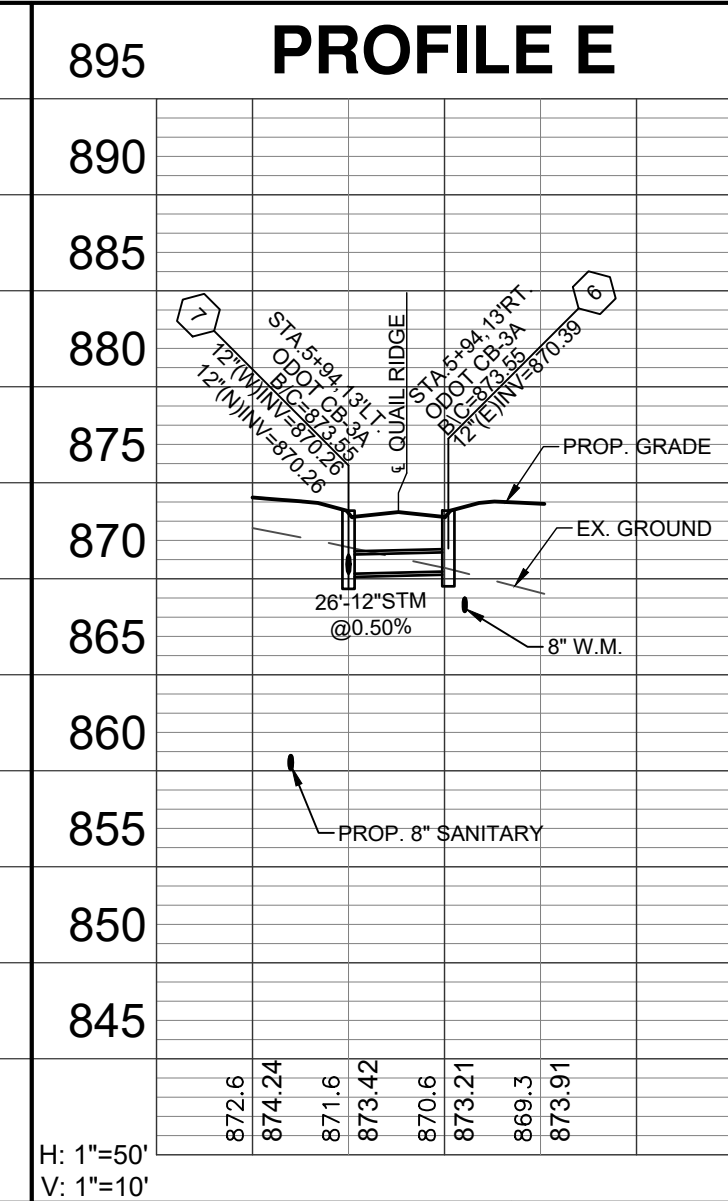
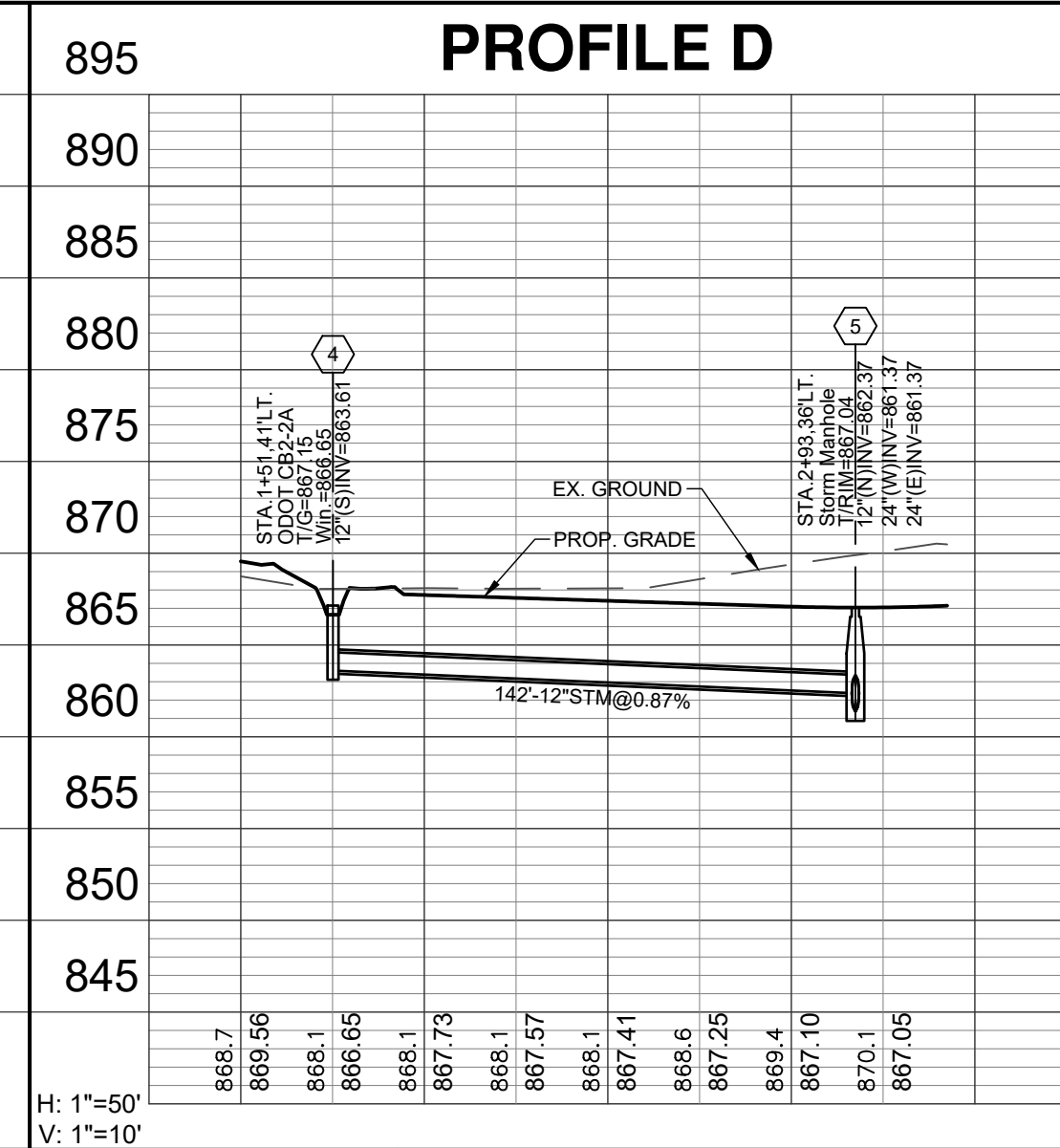
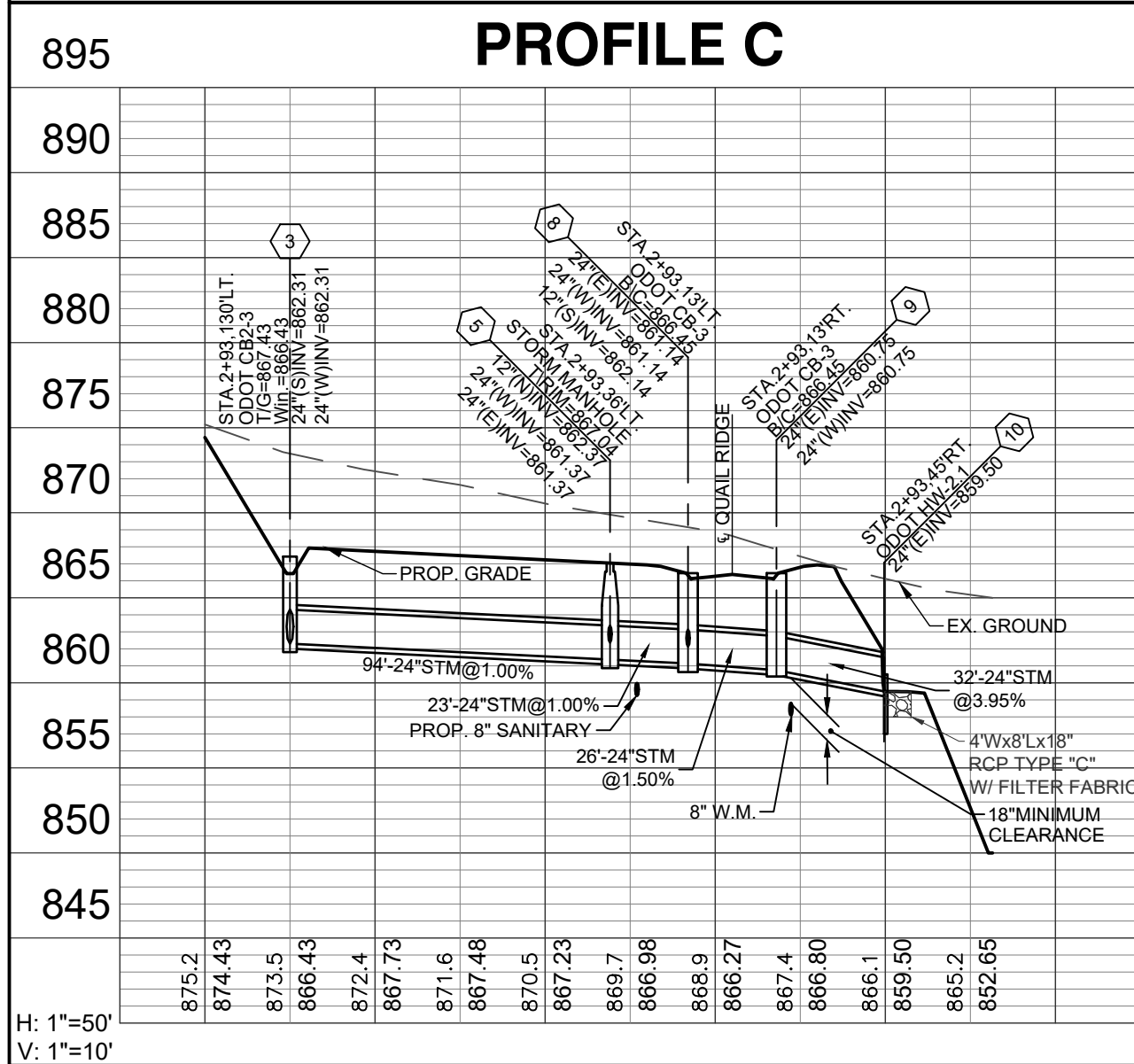
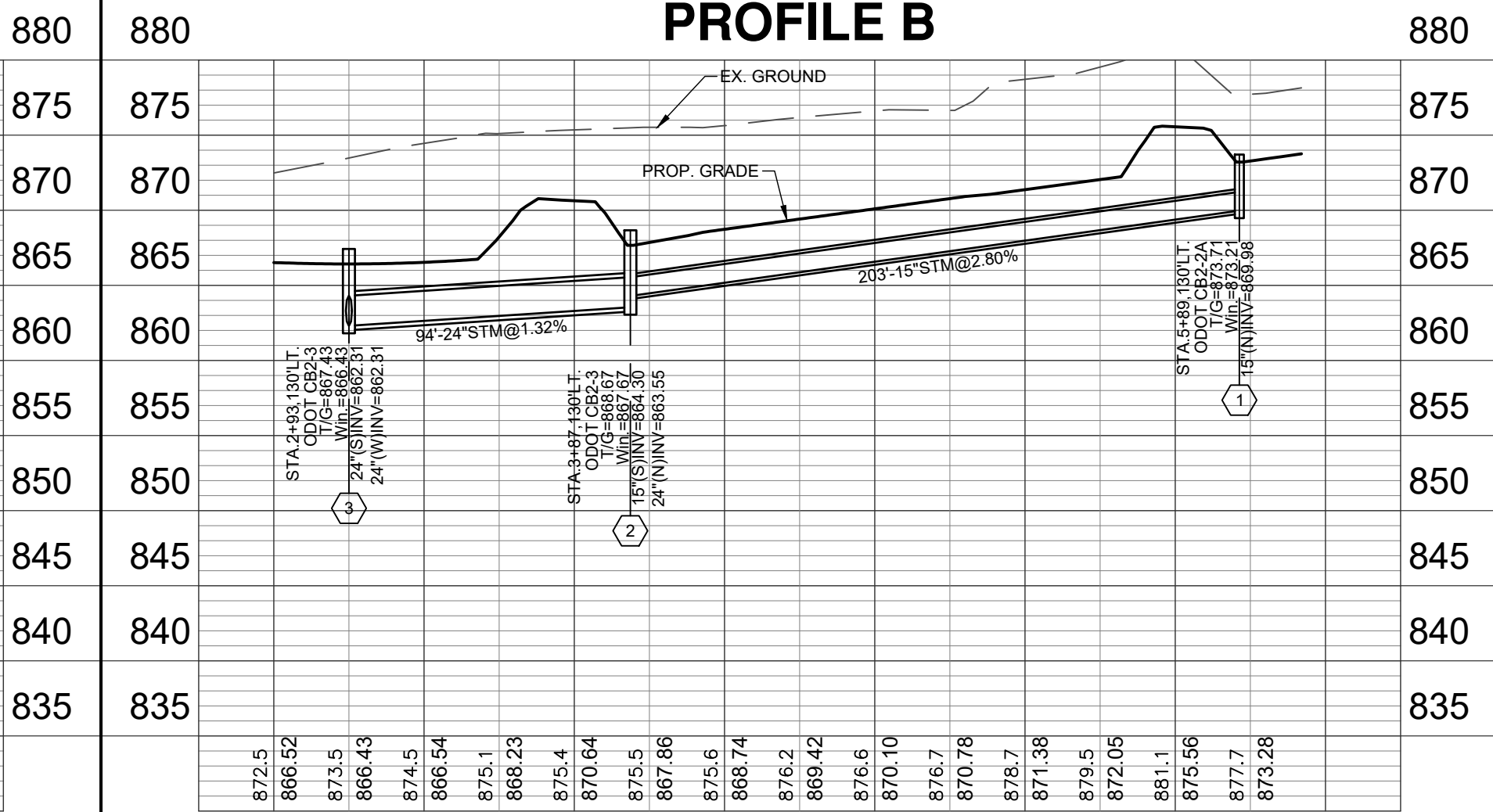
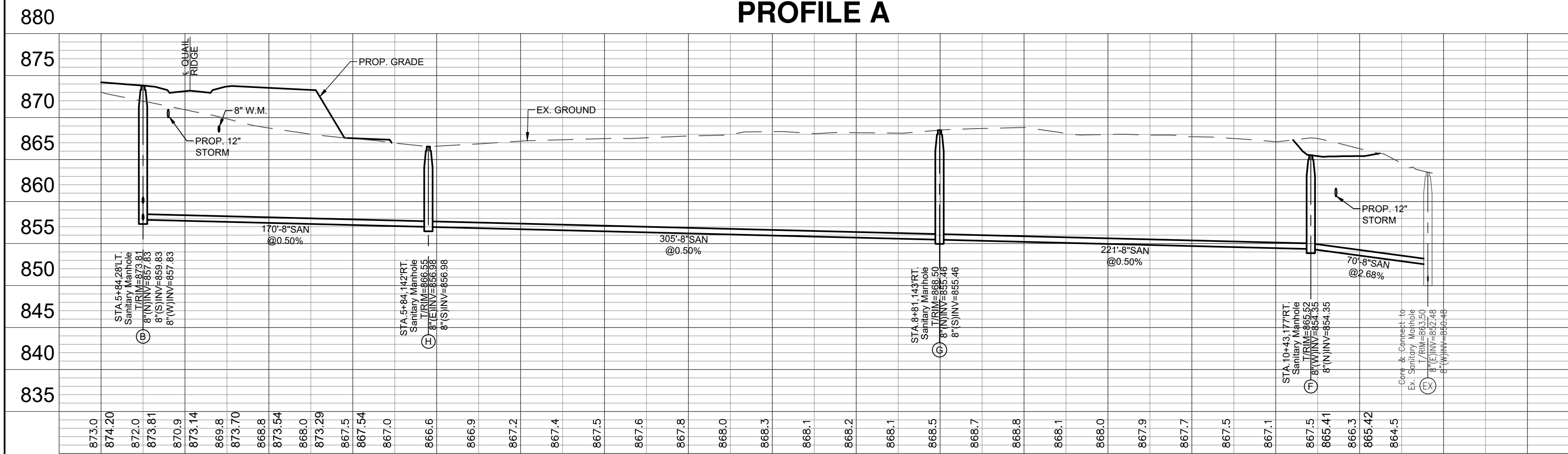
QUAIL RIDGE

SECTION 28, TOWN 2, RANGE 8 MRs
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO

TITLE SHEET



Drawing:	20-0257 CD
Drawn by:	AMB
Checked By:	JAB
Issue Date:	5/14/21
Sheet:	



STATE OF OHIO
JOHN A. BAYNE
Professional Engineer
E-86774
7-1-2021

Chk: JAB
Date: 07-01-21
Dwn: JAB
Date: 06-24-21

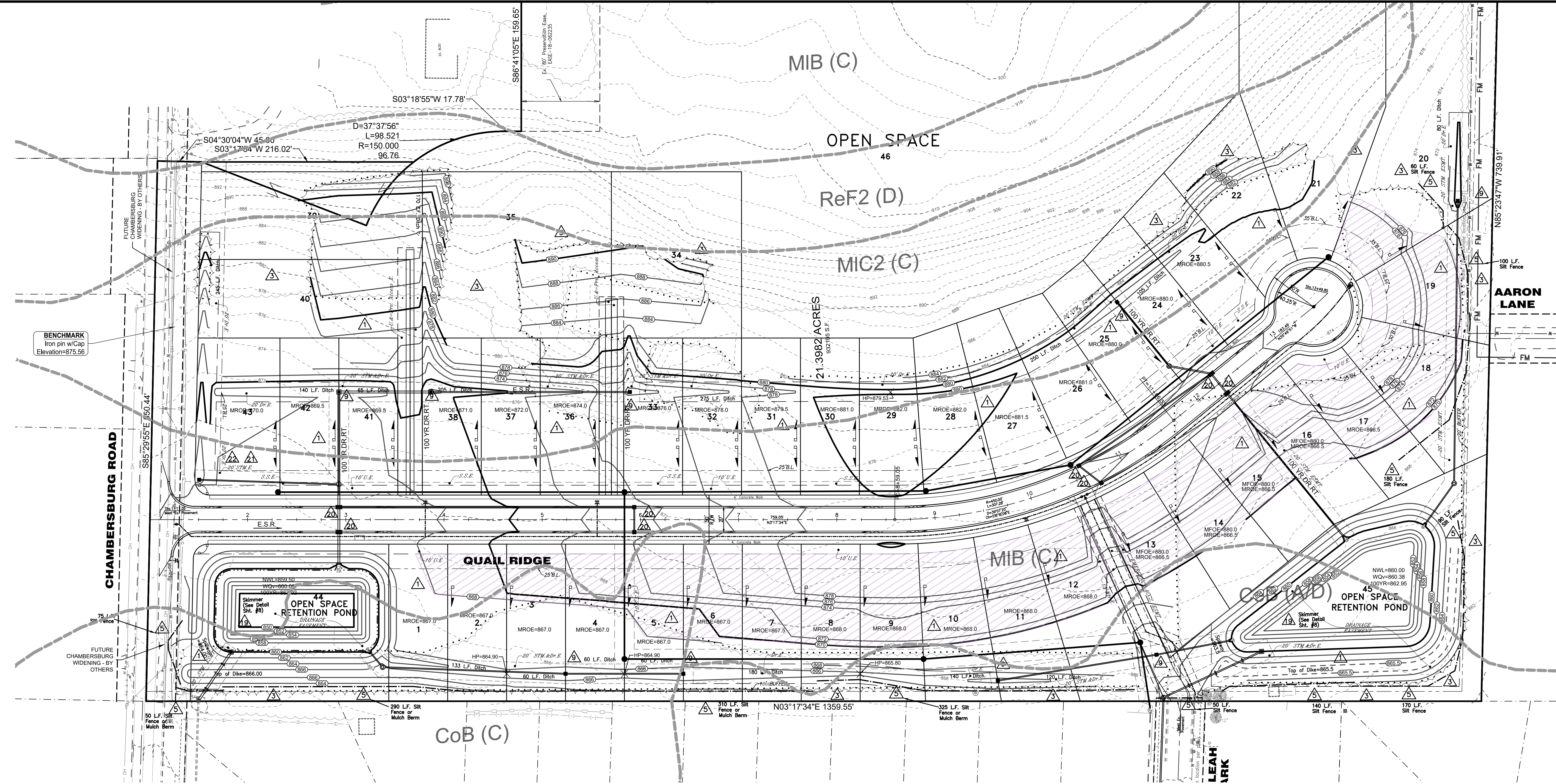
Revision Description
1. Revised per Client Review
2. Revised per City of Huber Heights

Item
1
2

QUAIL RIDGE
SECTION 24, TOWN 2, RANGE 8
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO
PLAN & PROFILE

bayer becker
www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 20-0257 CD
Drawn by: AMB
Checked By: JAB
Issue Date: 5/14/21
Sheet: 5/9



- NOTES:
- Regular inspection and maintenance will be provided for all erosion and sediment control practices. Permanent records of maintenance and inspections must be kept throughout the construction period. Inspections must be made a minimum of once every seven (7) days and immediately after storm events greater than 0.5 inches of rain in a 24 hour period. Provided will be name of inspector, major observations, date of inspection and corrective measures taken.
 - All erosion and sediment control practices must conform to the specifications of Rainwater and Land Development, Ohio's standards for storm water management, land development and urban stream protection.
 - Perimeter Sedimentation control and basins/traps shall be implemented as the first step of grading and within seven (7) days of initial grubbing or grading and shall continue to function until upland areas are stabilized.
 - Disturbed areas which will remain unworked for a period of twenty-one (21) days or more, shall be stabilized with seeding and mulching or other approved means within seven (7) days. All disturbed areas within fifty (50) feet of an intermittent or solid blue line stream shall be stabilized within two (2) days. All areas of a site which are at final grade shall be stabilized with seeding and mulching or other approved means within seven (7) days.
 - Quantities for Erosion Control may vary between detailed plans and field conditions during construction. Plan quantities are a minimum; more erosion control may be necessary due to environmental conditions.
 - Sedimentation control and ditch swales are subject to change upon completion of entire set of construction drawings.
 - No solid or liquid waste shall be discharged into storm water runoff.
 - Home builders are responsible for erosion control on each individual lot.

BASIN SUMMARY

NORTH BASIN:		SOUTH BASIN:	
DRAINAGE AREA =	8.24 ACRES	DRAINAGE AREA =	7.55 ACRES
SEDIMENT STORAGE REQUIRED =	0.19 AC-FT	SEDIMENT STORAGE REQUIRED =	0.17 AC-FT
SEDIMENT STORAGE PROVIDED =	1.28 AC-FT	SEDIMENT STORAGE PROVIDED =	1.88 AC-FT
DEWATERING VOLUME REQUIRED =	0.56 AC-FT	DEWATERING VOLUME REQUIRED =	0.40 AC-FT
DEWATERING VOLUME PROVIDED =	0.56 AC-FT	DEWATERING VOLUME PROVIDED =	0.40 AC-FT
SEDIMENT CONTROL ORIFICE DIA =	2.375 IN	SEDIMENT CONTROL ORIFICE DIA =	2.250 IN
DEWATERING DRAWDOWN TIME =	50.0 HRS	DEWATERING DRAWDOWN TIME =	51.29 HRS
PERMANENT STORMWATER FACILITY:		PERMANENT STORMWATER FACILITY:	
WQV STORAGE REQUIRED =	0.156 AC-FT	WQV STORAGE REQUIRED =	0.149 AC-FT
WQV STORAGE PROVIDED =	0.156 AC-FT	WQV STORAGE PROVIDED =	0.149 AC-FT
WQV ORIFICE DIA =	3.0 IN	WQV ORIFICE DIA =	3.5 IN
WQV DRAWDOWN TIME =	41 HR	WQV DRAWDOWN TIME =	41 HR
100 YEAR W.S. ELEVATION =	863.92	100 YEAR W.S. ELEVATION =	862.95
EMERGENCY SPILLWAY INV =	864.00	EMERGENCY SPILLWAY INV =	863.50

SWPPP NOTES

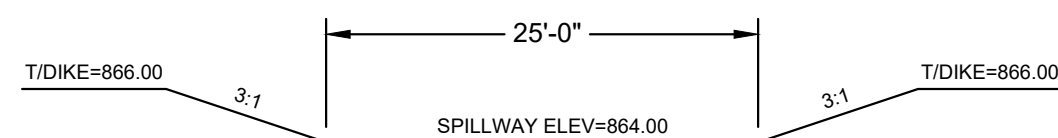
- THE CONSTRUCTION ACTIVITY WILL CONSIST OF MASS EARTHWORK, UTILITY INSTALLATION, CURB AND PAVEMENT CONSTRUCTION.
- SITE AREA: 21.55 ACRES
DISTURBED AREA: 15.79 ACRES
PRIOR LAND USE: VACANT LAND
- IMPERVIOUS CALCULATIONS:
IMPERVIOUS AREA: 0.00 ACRES
PRE-DEVELOPED: 0.00 ACRES
POST-DEVELOPED: 4.19 ACRES
IMPERVIOUS PERCENTAGE:
PRE-DEVELOPED: 0.0 %
POST-DEVELOPED: 19.4 %
- THE DEVELOPMENT DRAINS TO TWO WATER SHEDS TO THE NORTH AND SOUTH. BOTH WATERSHEDS ARE COLLECTED IN EXISTING STORM IN LEXINGTON PLACE WHICH DRAINS TO AN UNNAMED TRIBUTARY TO THE GREAT MIAMI RIVER. THE NORTH TO LICK RUN. TWO BASINS ON THE NORTH AND SOUTH SIDE OF THE DEVELOPMENT SHALL PROVIDE STORMWATER MANAGEMENT PER THE REQUIREMENTS OF THE CITY OF HUBER HEIGHTS.

SOIL TYPES Obtained from Butler County Soil Map, Sheet 47		
Symbol	Name	Type
MIB	Miamian silt loam, 2 to 6 percent slopes	C
ReF2	Ritchey silt loam, 25 to 50 percent slopes, moderately eroded	C
MIC2	Miamian silt loam, 6 to 12 percent slopes, moderately eroded	B
CoB	Celina silt loam, 2 to 6 percent slopes, moderately eroded	D
CoB	Corwin silt loam 2 to 6 percent slopes	C

- NOTE:
- All existing paved areas, walls, buildings, golf course appurtenances, etc. to be removed. Location of on site bury pits to be disclosed to site engineer for notation on final plat.
- NOTE:
- Contractors to accept all quantities as correct prior to beginning construction.
- NOTE:
- Quantities for Erosion Control may vary between detailed plans and field conditions during construction. Plan quantities are a minimum; more erosion control may be necessary due to environmental conditions.
- NOTE:
- Sedimentation control and ditch swales are subject to change upon completion of entire set of construction drawings.
- NOTE:
- Geotechnical Engineer to be on site during construction of Retention Basins. Geotechnical Engineer to confirm suitability of soils for pond construction.

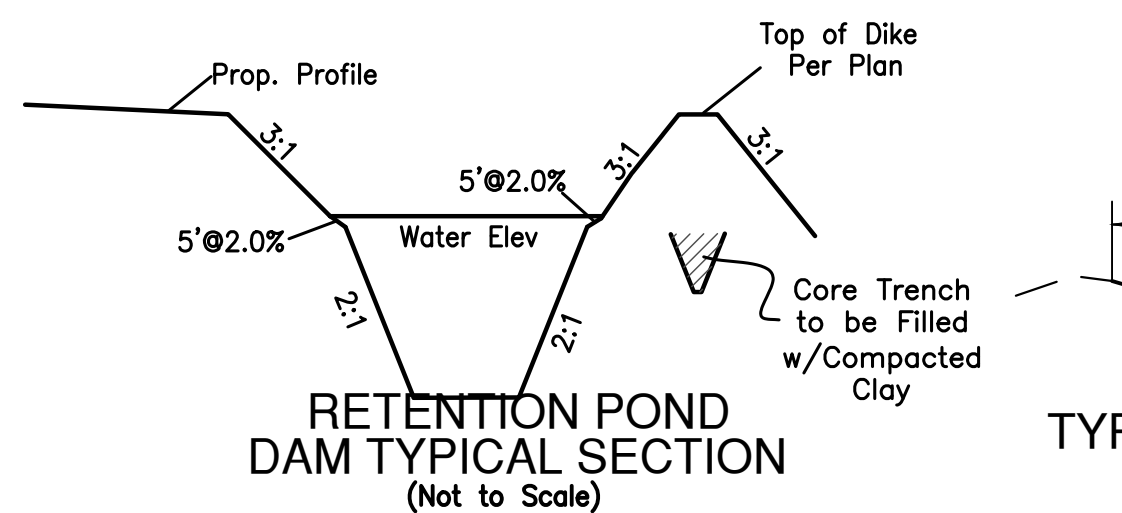
SOUTH BASIN SPILLWAY DETAIL

NOT TO SCALE



NORTH BASIN SPILLWAY DETAIL

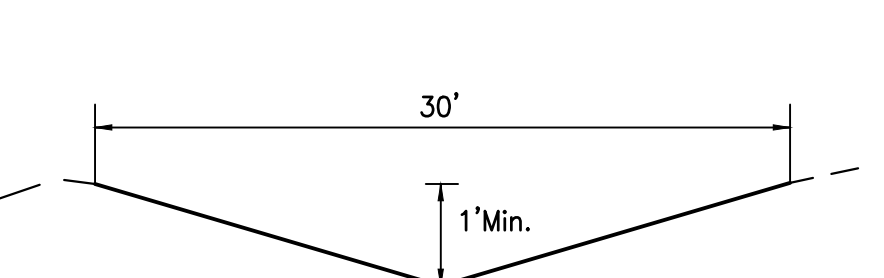
NOT TO SCALE



- 15" TOPSOIL CAP
- CLEARING LIMITS
- SOIL TYPES

Note: All ditches constructed by the Developer shall be sodded or hydra-seeded.

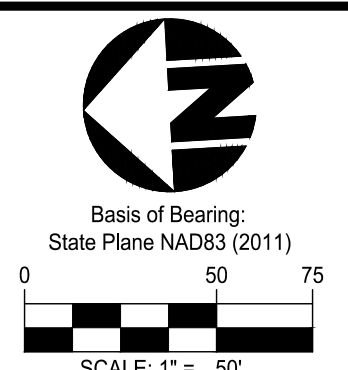
TYPICAL DITCH SECTION



TYPICAL DRAINAGE ROUTE SECTION

EROSION CONTROL NOTES

- SEEDING AND MULCHING
 - SODDING
 - PRESERVE EXISTING VEGETATION
 - STRAW BALE
 - SILT FENCE OR MULCH BERM
 - SOIL PILES
 - TEMPORARY STREAM CROSSING
 - GRAVEL CURB INLET SEDIMENT FILTER
 - GEOTEXTILE INLET SEDIMENT FILTER
 - GABIONS
 - STRAW BALE DROP INLET SEDIMENT FILTER
 - SOD DROP INLET SEDIMENT FILTER
 - GRAVEL & WIRE MESH DROP INLET SEDIMENT FILTER
 - BLOCK & GRAVEL CURB INLET SEDIMENT FILTER
 - TEMPORARY SEDIMENT TRAPS & DAMS
 - DIKES & SLOPE PROTECTION
 - ROLLED GRAVEL CURB INLET SEDIMENT FILTER
 - CHECK DAM
 - TEMPORARY DETENTION SEDIMENT FILTER/BASIN
 - DANDY BAG/BEAVER DAM® OR EQUAL
 - CONSTRUCTION ENTRANCE
 - CONCRETE WASHOUT AREA
- SEE SOIL EROSION & SEDIMENTATION CONTROL DETAIL SHEET (Page #2)



DATE: 07-01-21
CHK: JAB

REVISION DESCRIPTION

Item 1

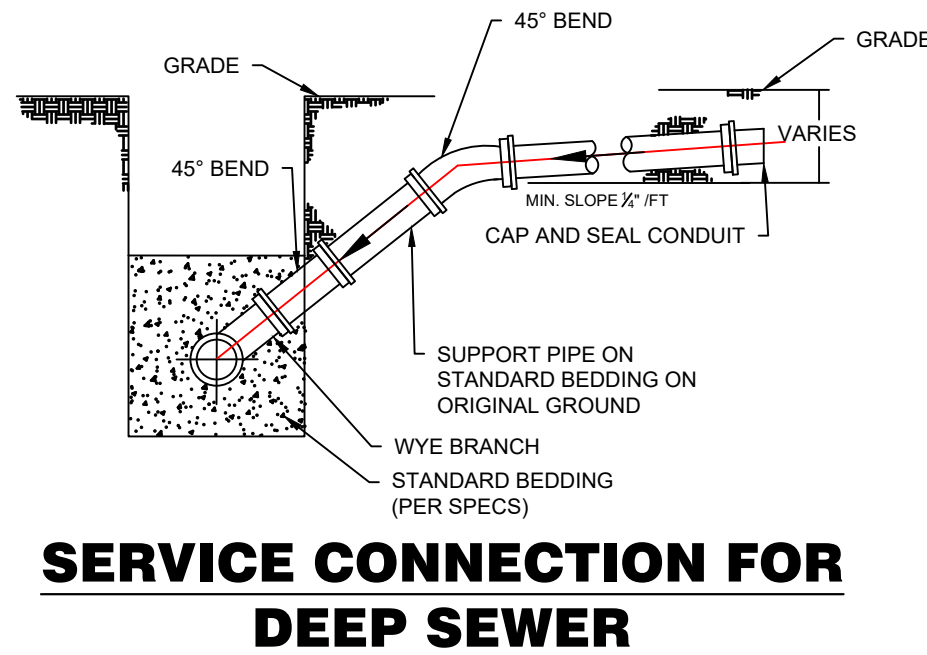
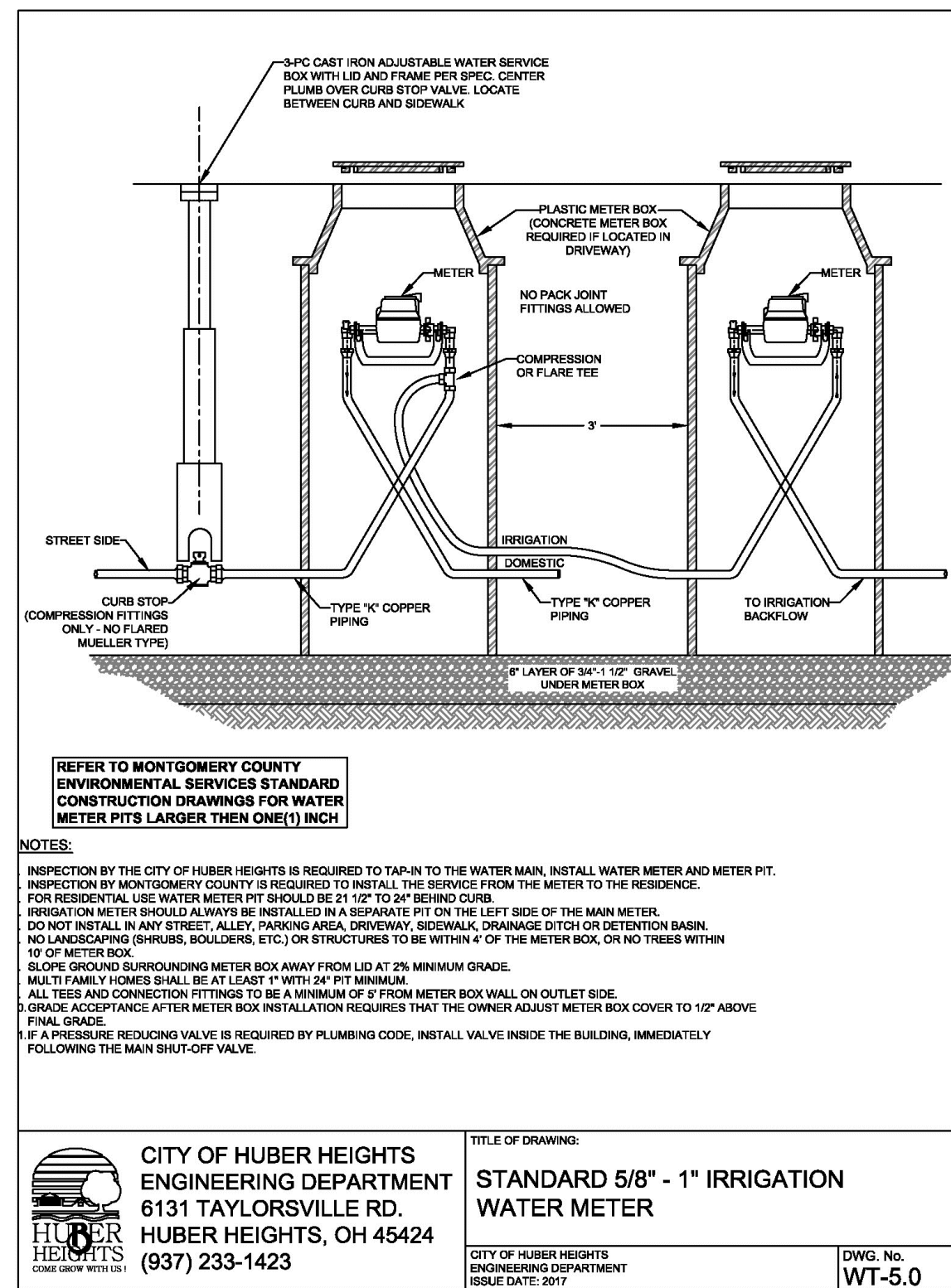
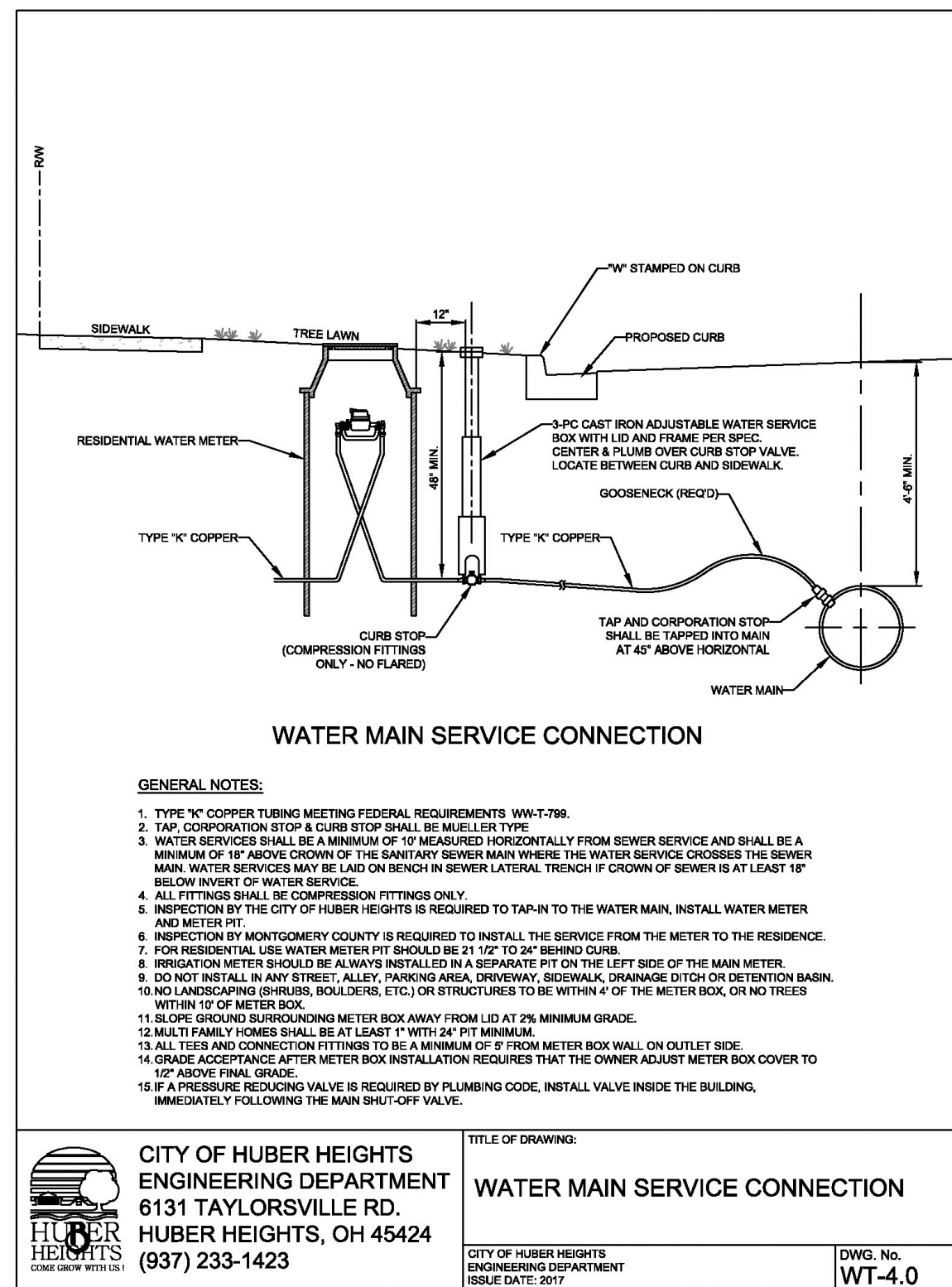
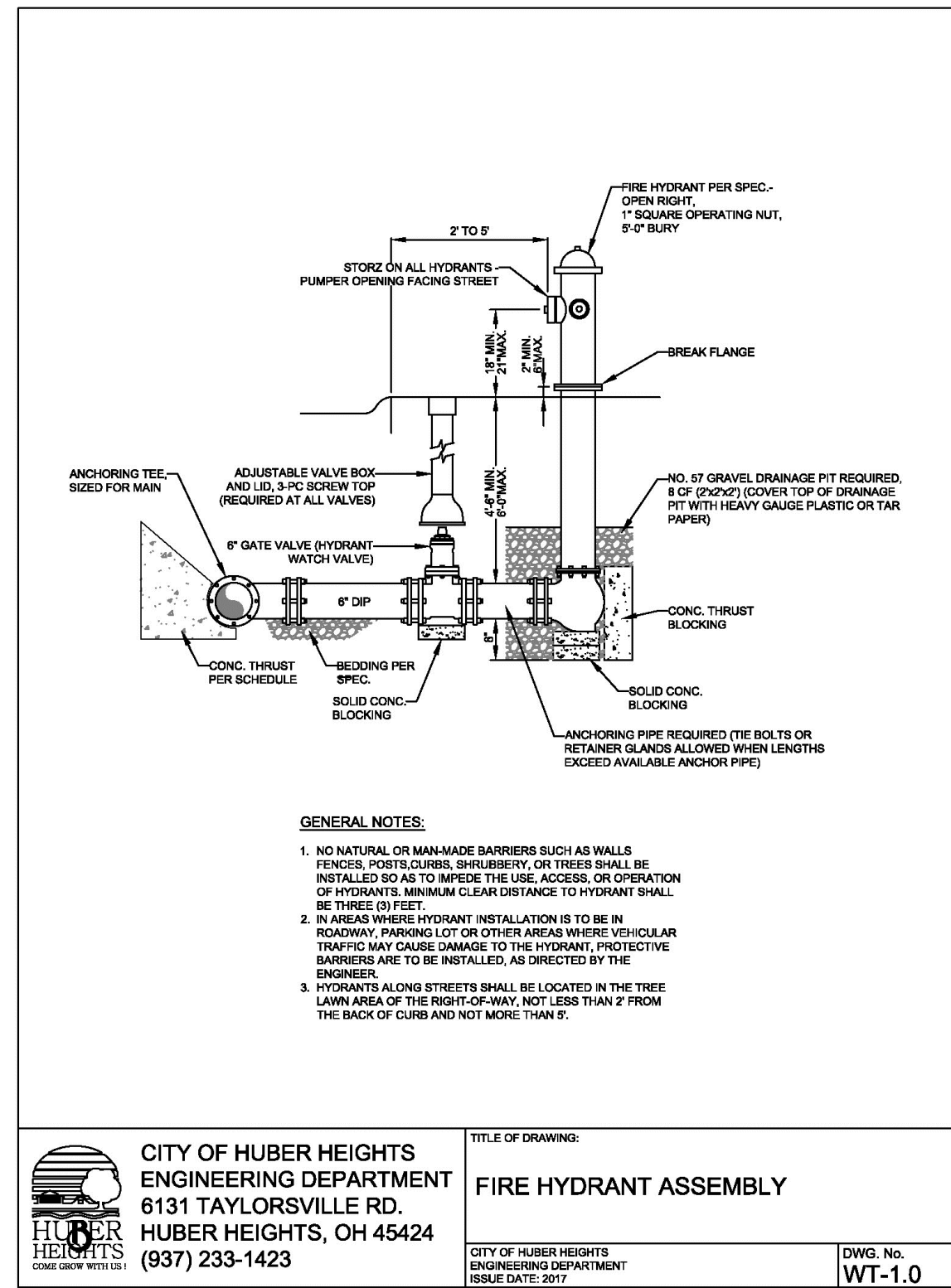
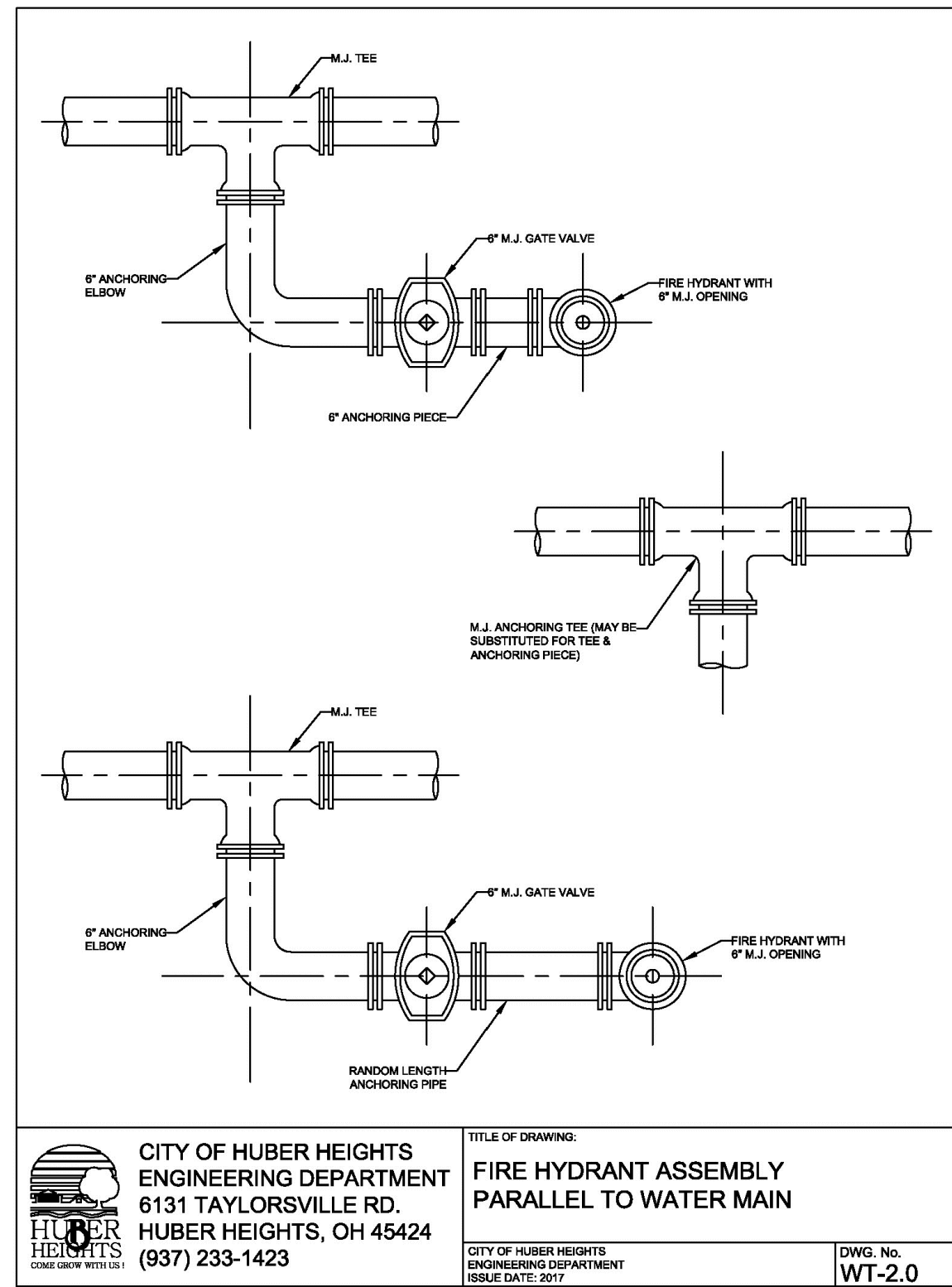
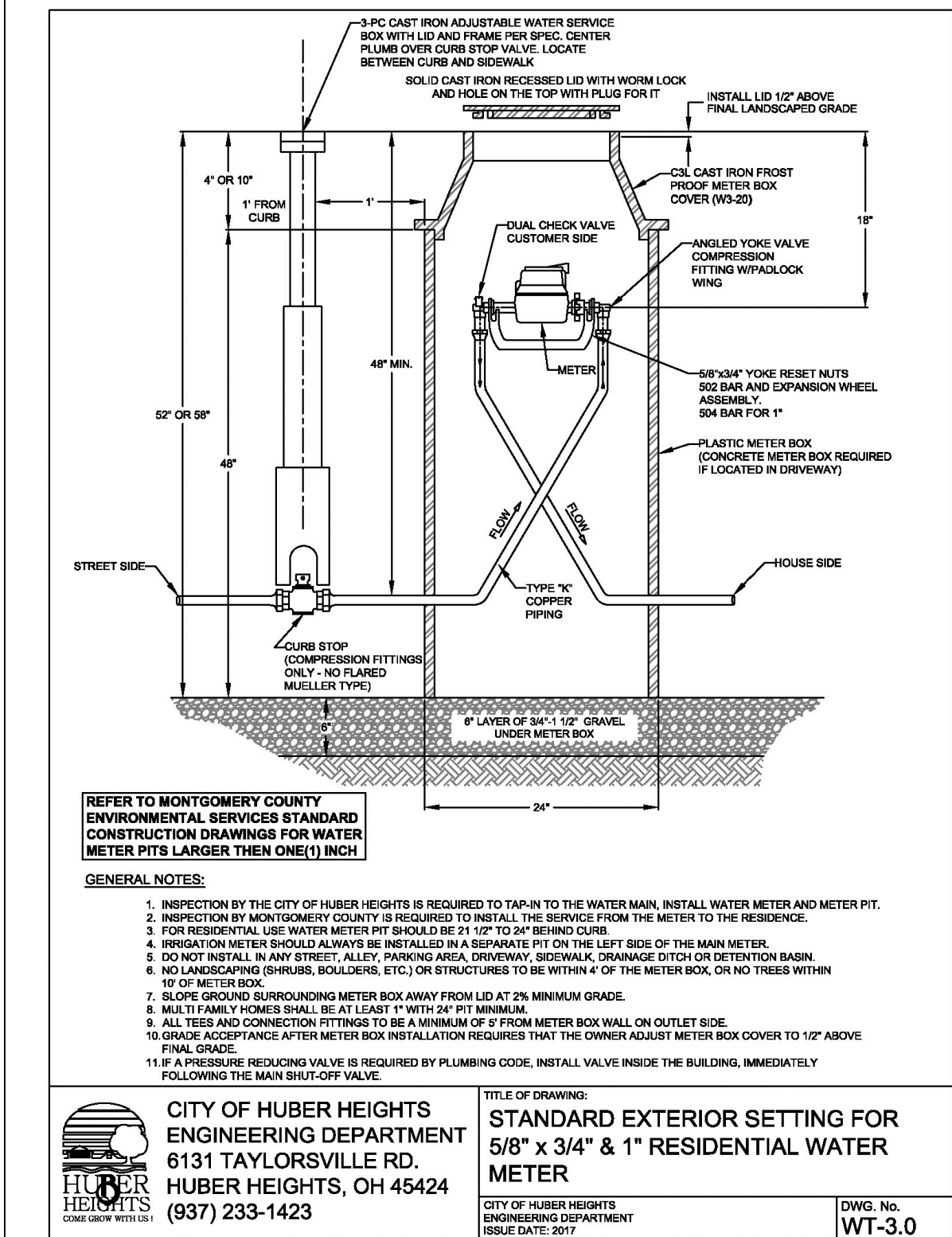
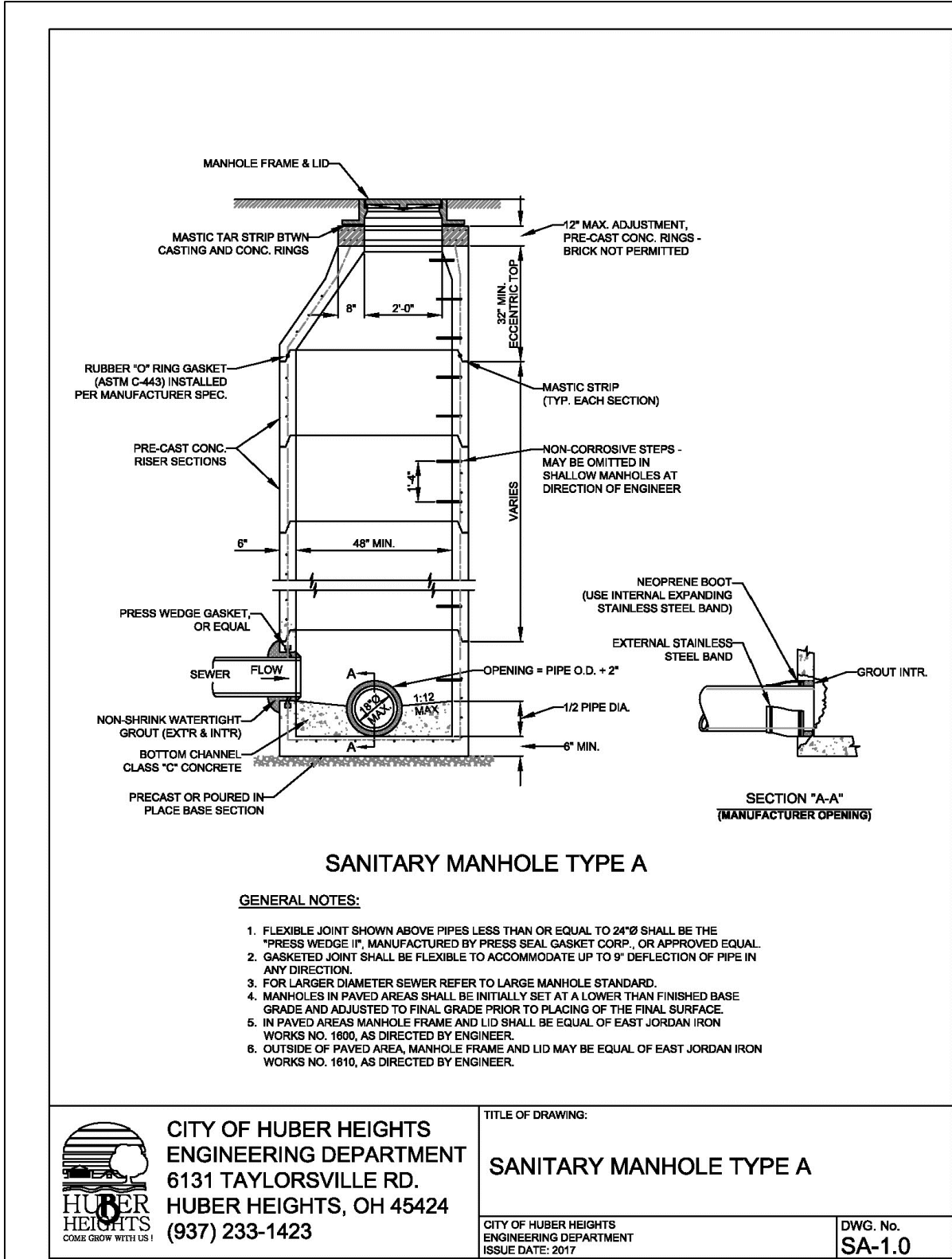
QUAIL RIDGE

SECTION 24, TOWN 2, RANGE 8
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO

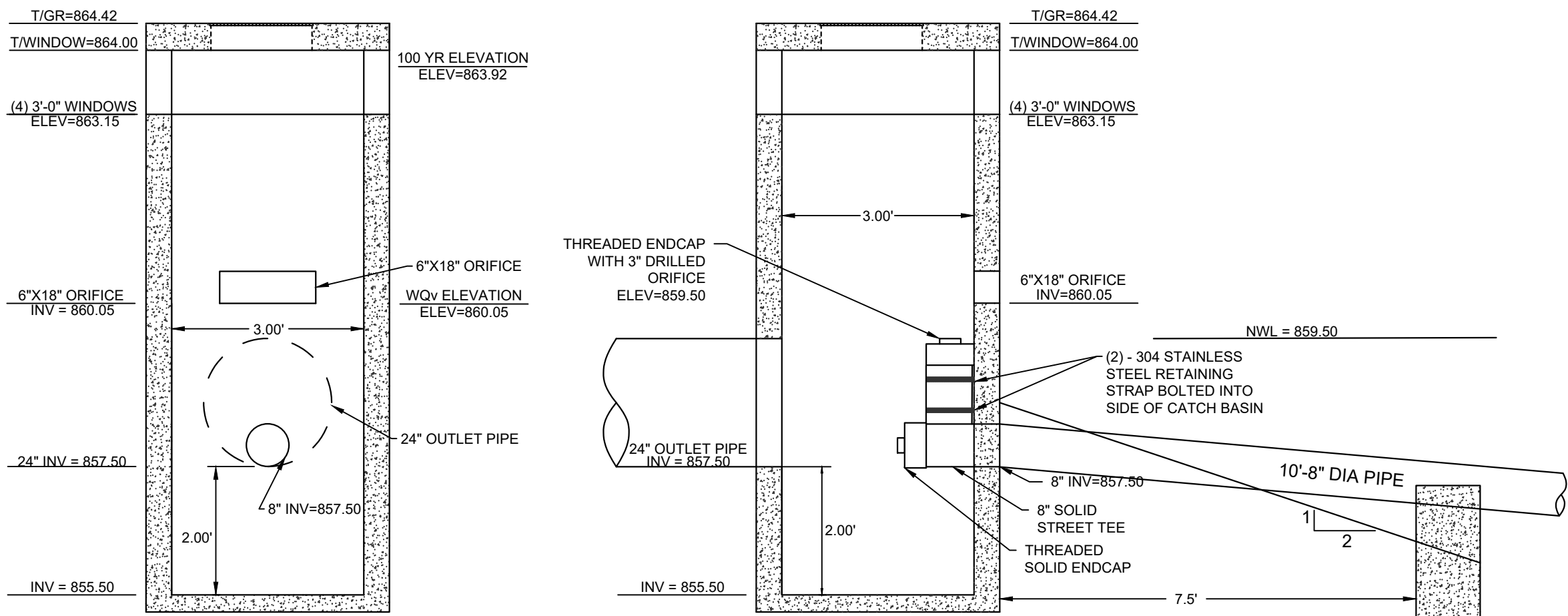
GRADING & EROSION CONTROL PLAN

20-0257 CD

AMB
JAB
5/14/21

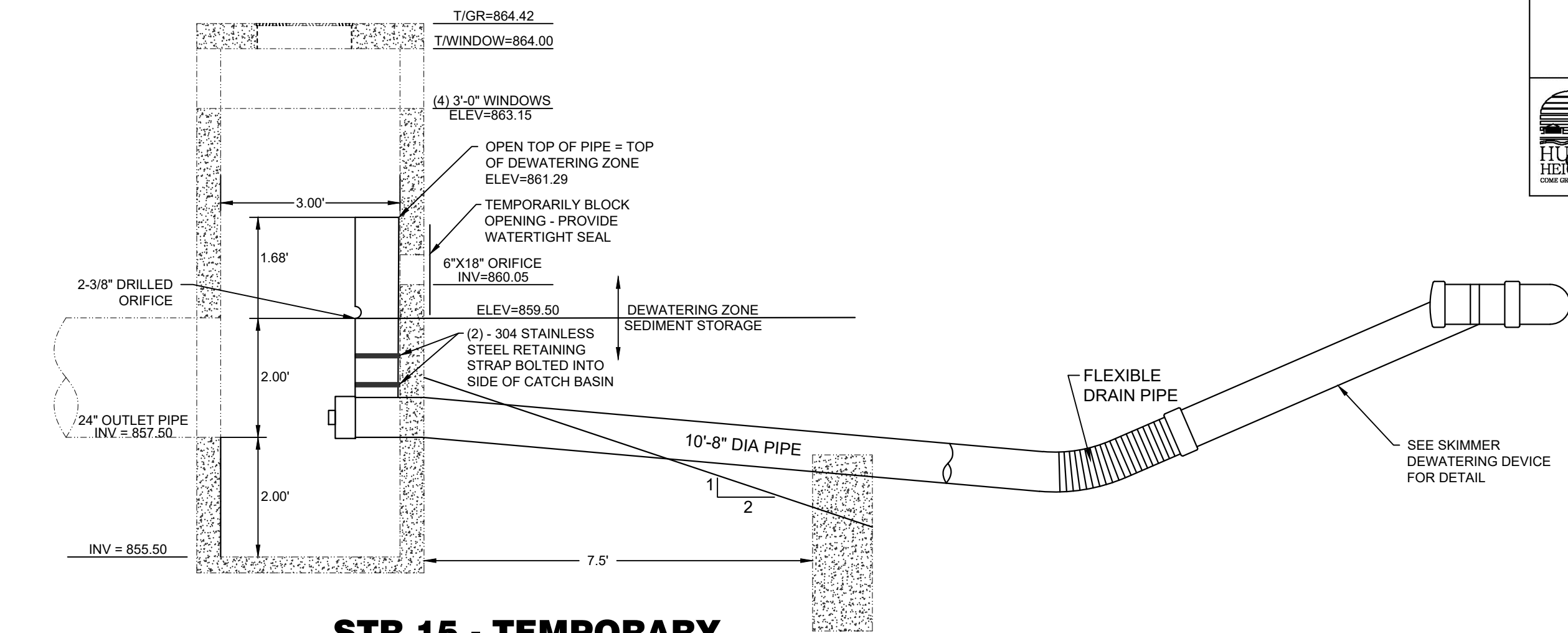


QUAIL RIDGE		SECTION 24, TOWN 2, RANGE 8 CITY OF HUBER HEIGHTS MONTGOMERY COUNTY, OHIO		WATER & SANITARY SEWER DETAILS	
bayer becker		www.bayerbecker.com		6900 Tylersville Road, Suite A Mason, OH 45040 - 513.336.6600	
Drawing: 20-0257 DETAILS		Drawn by: AMB		Issue Date: 5/14/21	
Checked By: JAB		Issue Date: 5/14/21		Sheet: 7/9	
Revision Description		Date		Dwn: Chk:	
Item					



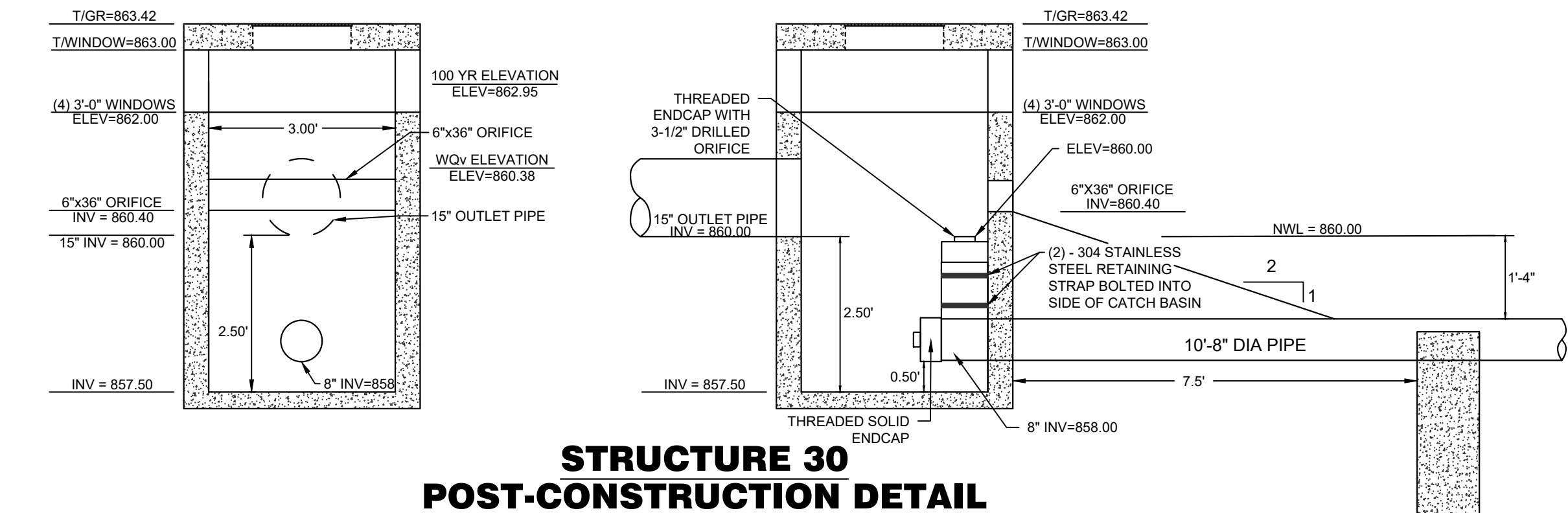
STRUCTURE 15
POST-CONSTRUCTION DETAIL
DETENTION BASIN OUTLET STRUCTURE - ODOT CB2-3

NOT TO SCALE



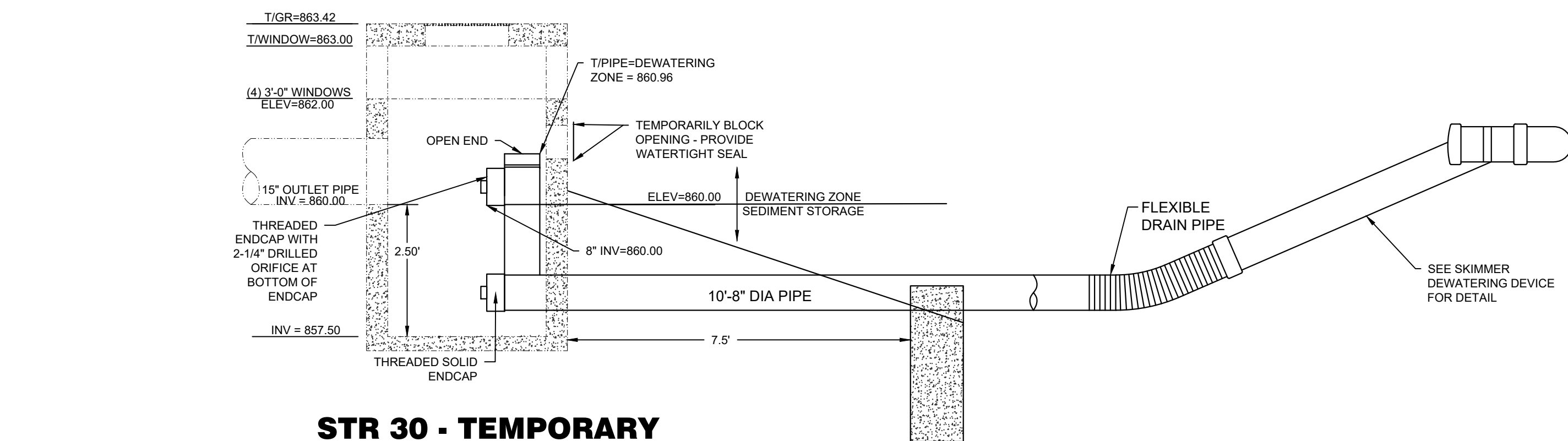
STR 15 - TEMPORARY
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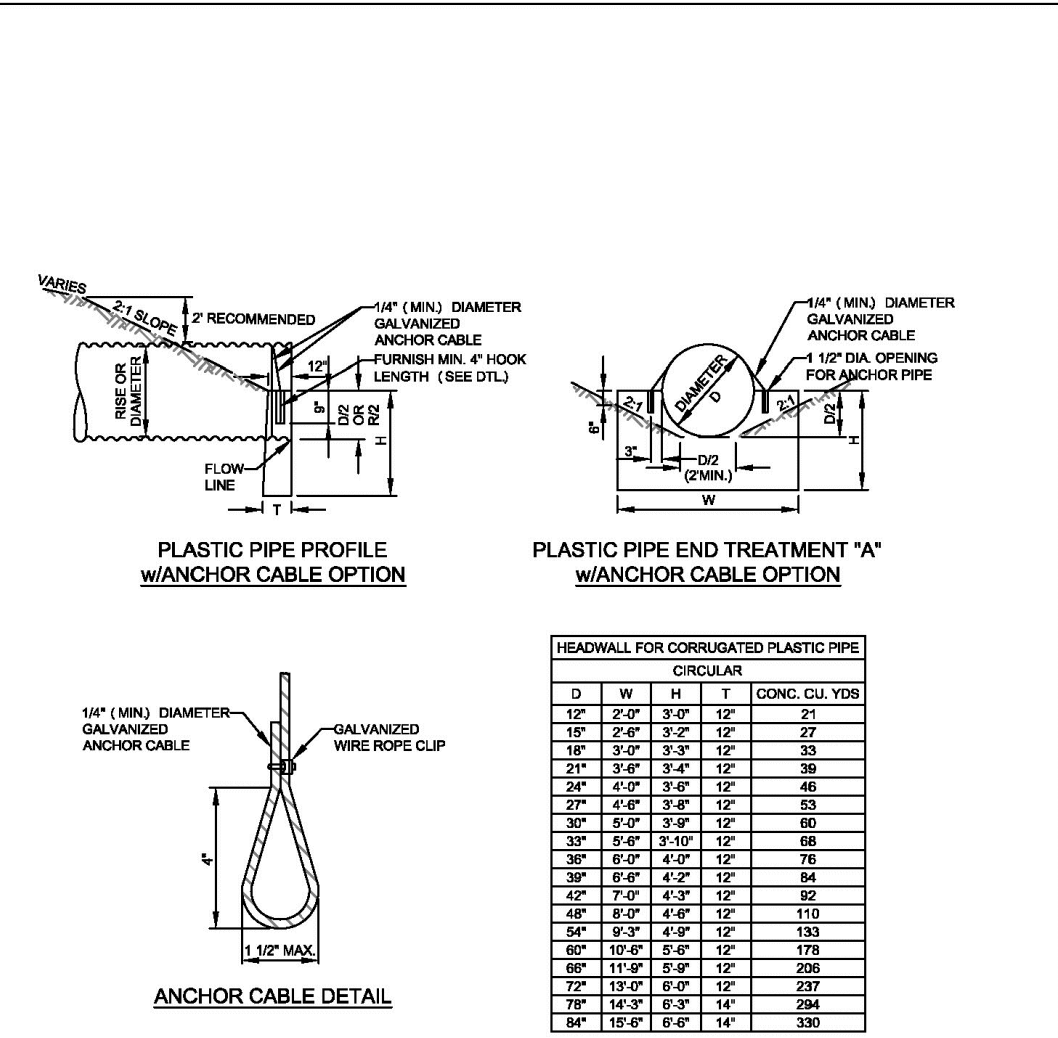
STRUCTURE 30
POST-CONSTRUCTION DETAIL
DETENTION BASIN OUTLET STRUCTURE - ODOT CB2-3

NOT TO SCALE



STR 30 - TEMPORARY
BASIN RETROFIT DETAIL

NOT TO SCALE



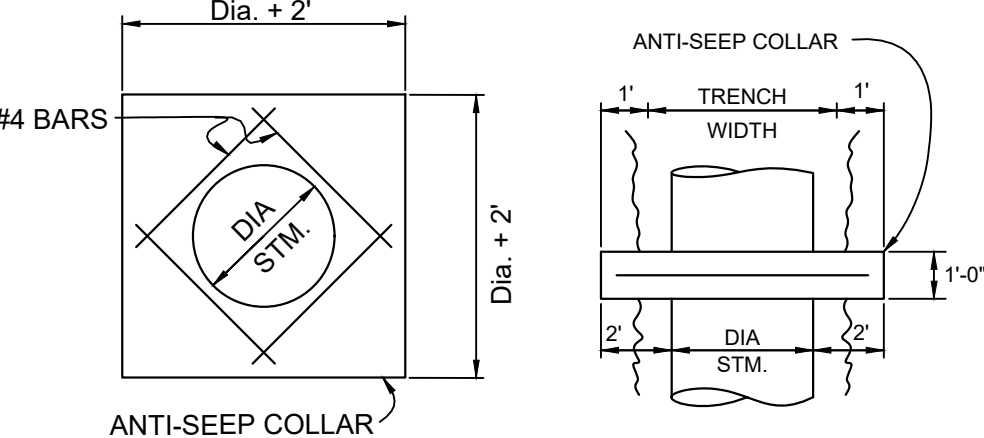
HALF-HEIGHT HEADWALL FOR CORRUGATED PLASTIC PIPE

FOR ADDITIONAL NOTES REFER TO THE LATEST
EDITION OF THE ODOT HYDRAULIC STANDARD
CONSTRUCTION DRAWINGS



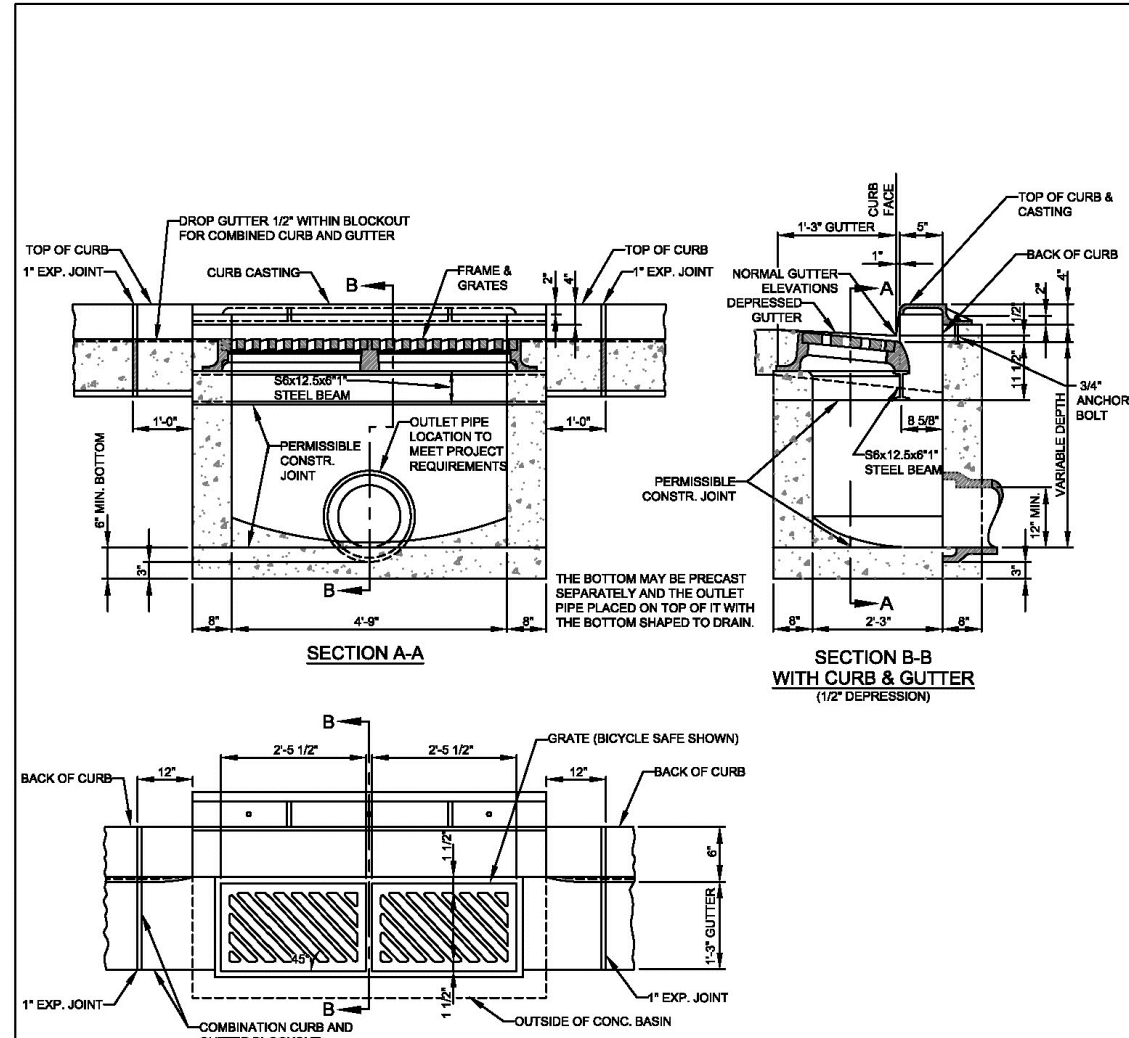
CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
6131 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
(937) 233-1423

TITLE OF DRAWING:
HALF-HEIGHT HEADWALL FOR CORRUGATED PLASTIC PIPE
CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017
DWG. No.
HW-2.1



ANTI-SEEP/FLOAT COLLAR DETAIL

NOT TO SCALE



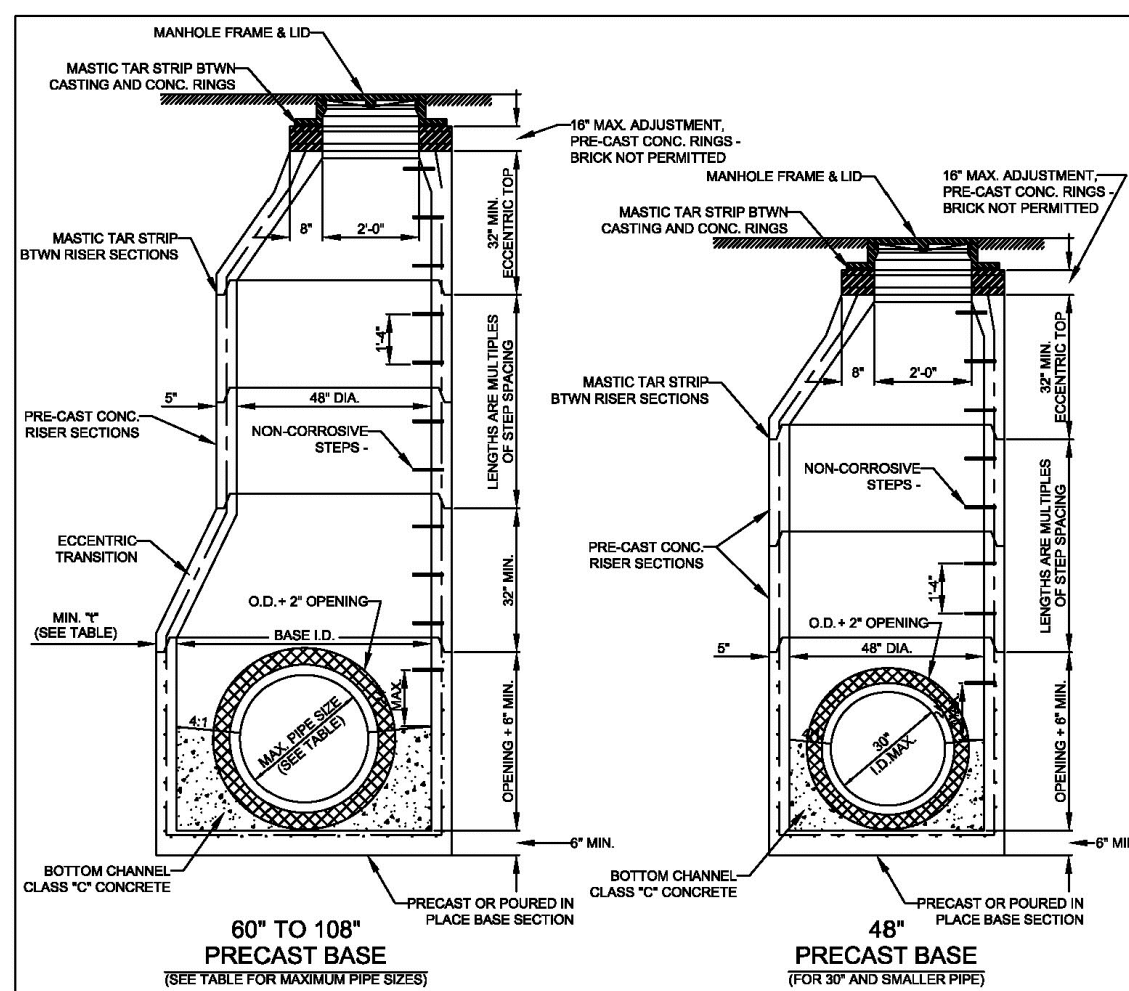
CATCH BASIN No. 3 MODIFIED

FOR ADDITIONAL NOTES REFER TO THE LATEST
EDITION OF THE ODOT HYDRAULIC STANDARD
CONSTRUCTION DRAWINGS



CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
6131 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
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TITLE OF DRAWING:
CATCH BASIN No. 3 MODIFIED
CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017
DWG. No.
CB-2.1



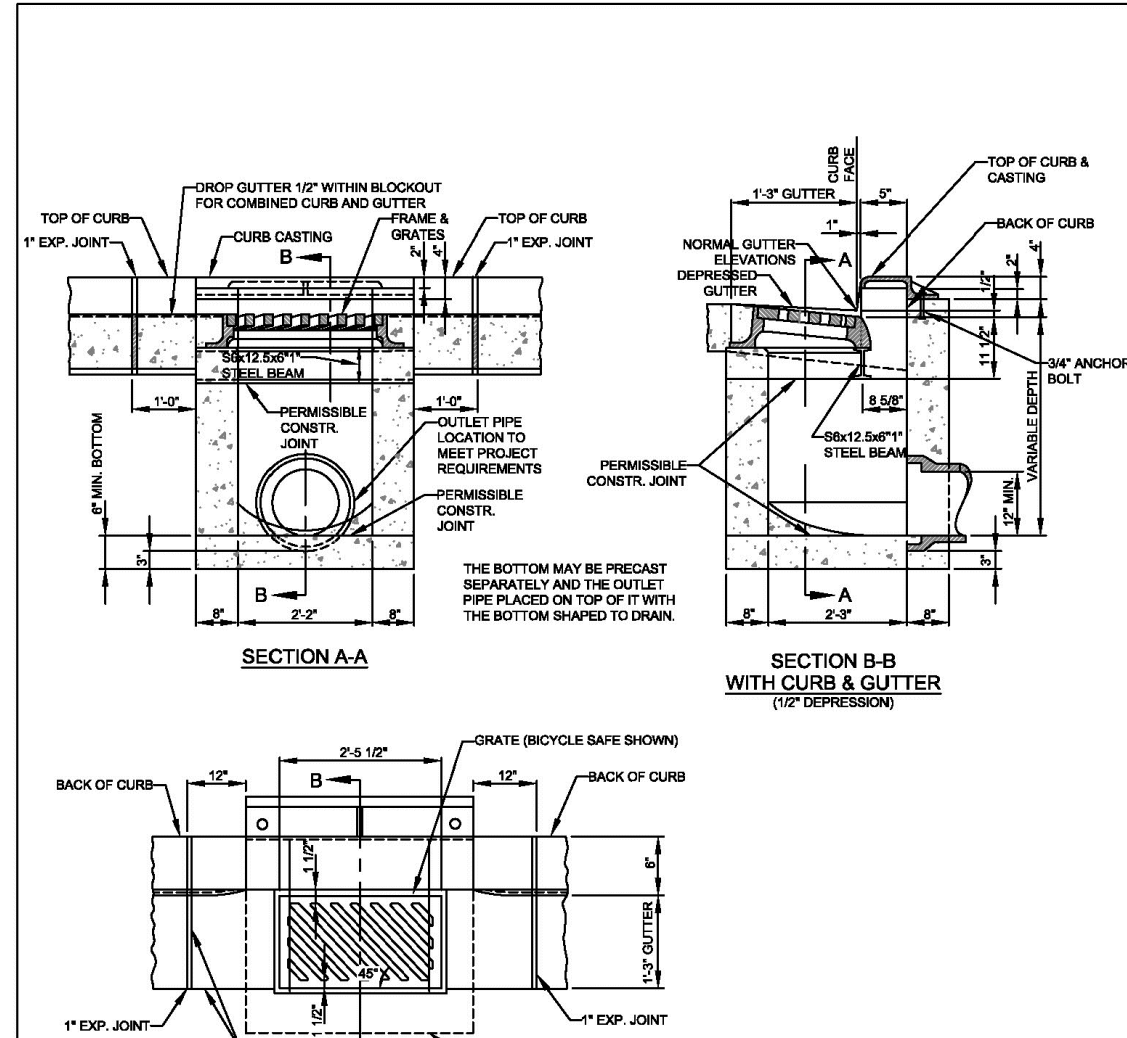
MANHOLE No. 3

FOR ADDITIONAL NOTES REFER TO THE LATEST
EDITION OF THE ODOT HYDRAULIC STANDARD
CONSTRUCTION DRAWINGS



CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
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TITLE OF DRAWING:
MANHOLE No. 3
CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017
DWG. No.
MH-1.2



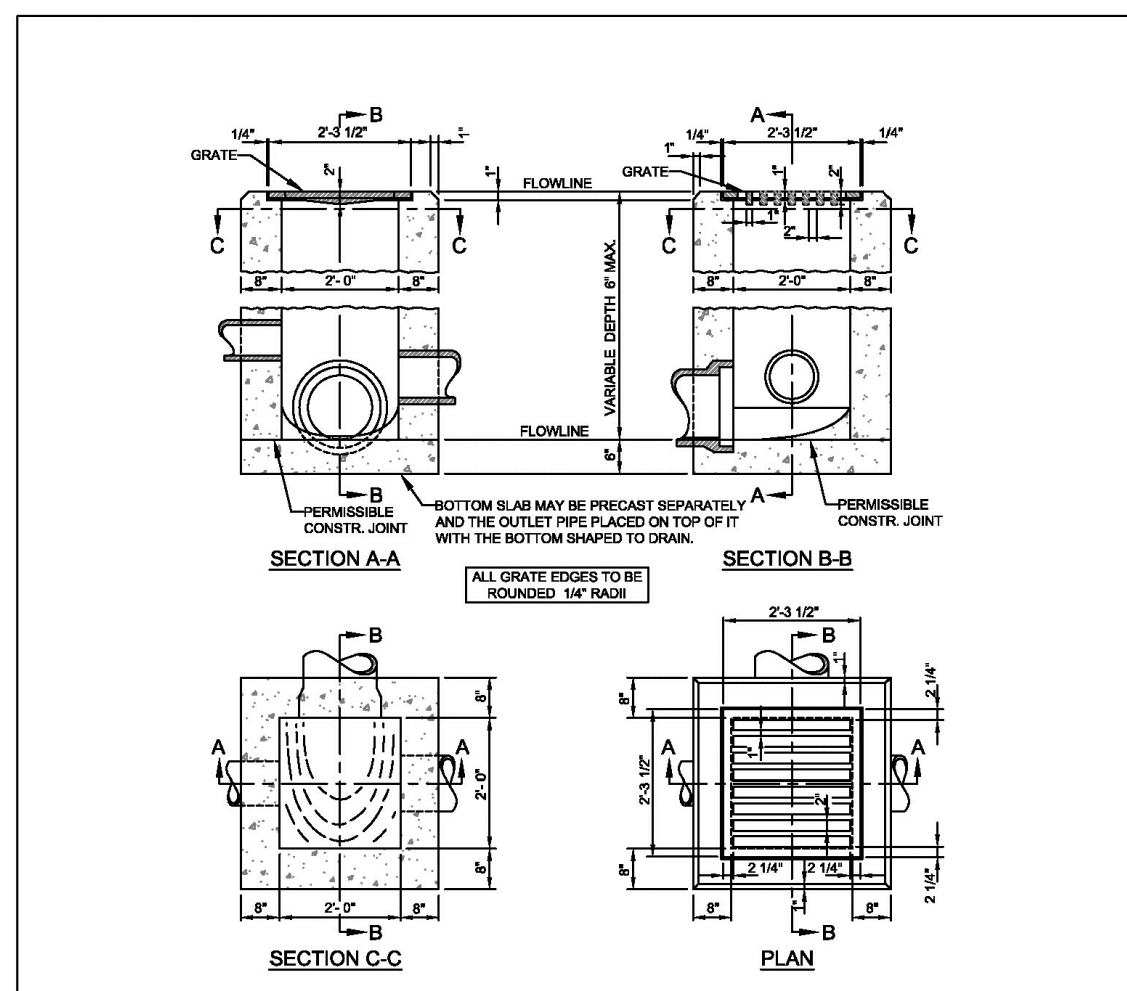
CATCH BASIN No. 3A MODIFIED

FOR ADDITIONAL NOTES REFER TO THE LATEST
EDITION OF THE ODOT HYDRAULIC STANDARD
CONSTRUCTION DRAWINGS



CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
6131 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
(937) 233-1423

TITLE OF DRAWING:
CATCH BASIN No. 3A MODIFIED
CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017
DWG. No.
CB-2.2



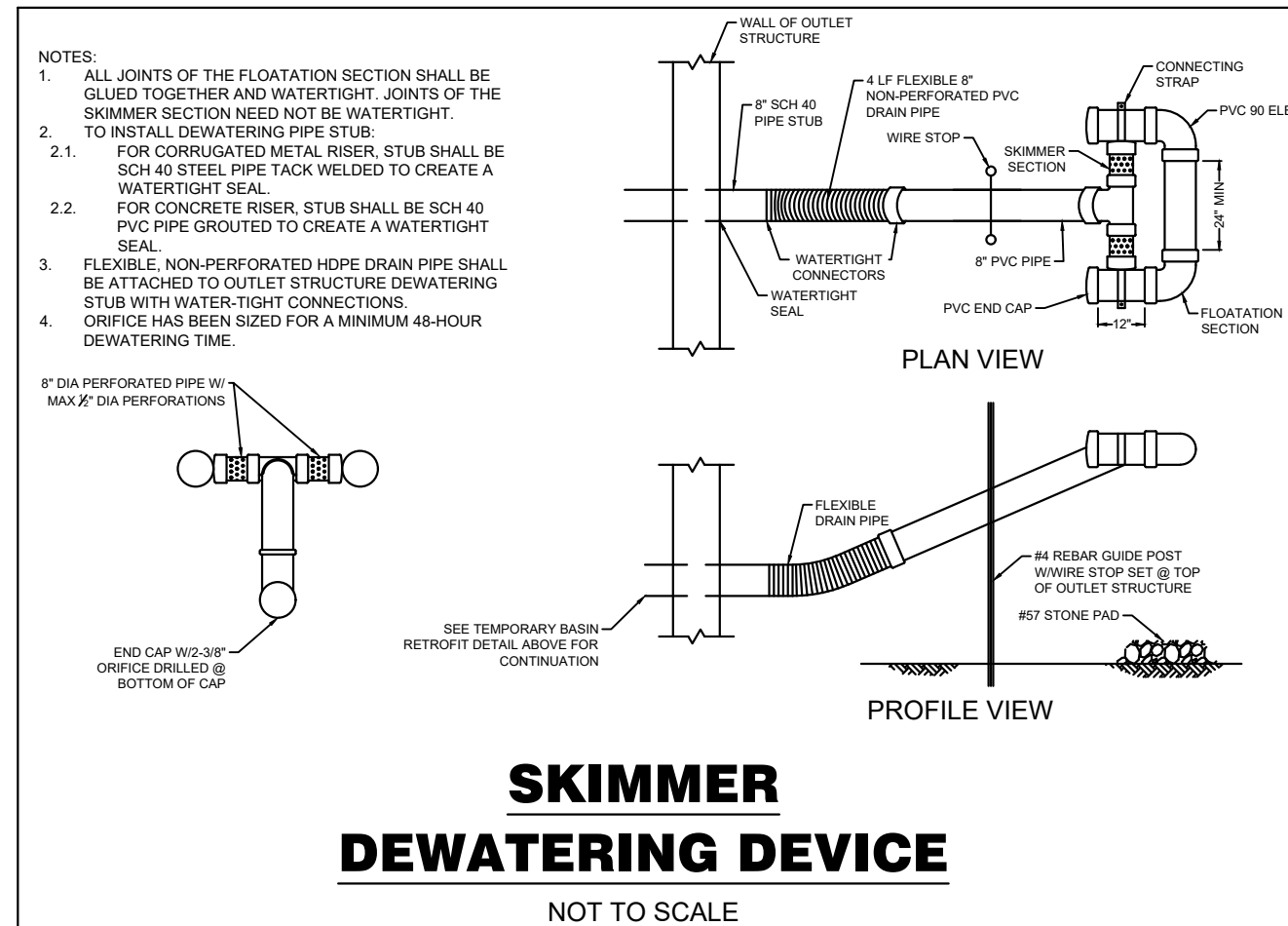
CATCH BASIN No. 2-2B

FOR ADDITIONAL NOTES REFER TO THE LATEST
EDITION OF THE ODOT HYDRAULIC STANDARD
CONSTRUCTION DRAWINGS



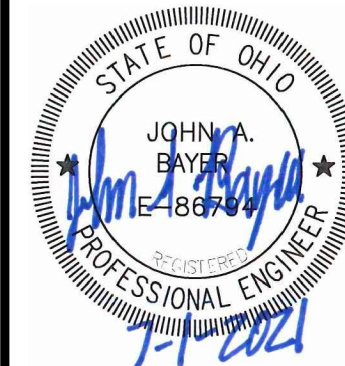
CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
6131 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
(937) 233-1423

TITLE OF DRAWING:
CATCH BASIN No. 2-2B
CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017
DWG. No.
CB-1.1



SKIMMER
DEWATERING DEVICE

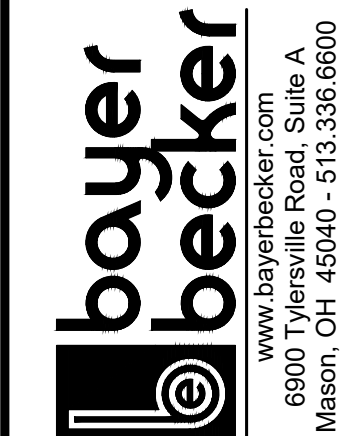
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Chk:
Date: 07-01-21
JAB

Item	Revision Description
1	Revised per City of Huber Heights

QUAIL RIDGE
SECTION 24, TOWN 2, RANGE 8
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO
STORM SEWER DETAILS



Drawing: 20-0257 DETAILS
Drawn by: AMB
Checked by: JAB
Issue Date: 5/14/21
Sheet:

GENERAL NOTES

EROSION AND SEDIMENT CONTROLS

Vegetative Practices
Such practices may include: temporary seeding, permanent seeding, mulching, matting, sod stabilization, vegetative buffer strips, phasing and protection of trees. The contractor shall initiate appropriate vegetative practices on all disturbed areas within seven (7) days if they are to remain dormant (undisturbed) for more than fourteen (14) days. Permanent or temporary soil stabilization shall be applied to disturbed areas within seven (7) days after final grade is reached on any portion of the site.

Structural Practices
Structural practices shall be used to control erosion and trap sediment from all sites remaining disturbed for more than fourteen (14) days.

Timing
Sediment control structures shall be functional throughout earth disturbing activity. Sediment ponds and perimeter sediment barriers shall be implemented as the first step of grading and within seven days from the start of grubbing. They shall continue to function until the upslope development area is reestablished.

Sediment Barriers
Sheet flow runoff from denuded areas shall be intercepted by sediment barriers. Sediment barriers, such as sediment fences or diversions direction runoff to settling facilities, shall protect adjacent properties and water resources from sediment transported by sheet flow.

Erosion and sediment control practices used to satisfy the conditions of this plan shall meet the standards and specifications in the current edition of Water Management and Sediment Control in Urbanized Areas (Soil Conservation Service.)

Waste Disposal
No solid or liquid waste, including building materials, shall be discharged in storm water runoff. Off-site vehicle tracking of sediments shall be minimized. The plan shall ensure and demonstrate compliance and applicable State of local waste disposal, sanitary sewer or septic system regulations.

Maintenance
All temporary and permanent control practices shall be maintained and repaired as needed to assure continued performance of their intended function.

Dormant Seeding
1. Seedlings shall not be planted from October 1 through November 20. During this period the seeds are likely to germinate but probably will not be able to survive the winter.

2. The following methods may be used for "Dormant Seeding":
From October 1 through November 20, prepare the seedbed, add the required amounts of lime and fertilizer, then mulch and anchor. After November 20 and before March 15, broadcast the selected seed mixture. Increase the seeding rates by 50% for this type of seeding.

From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.

Apply seed uniformly with a cyclone seeder, drill, cutlispacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.

Where feasible, except when a cutlispacker type seeder is used, the seedbed should be formed following seeding operations with a cutlispacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible.

REVEGETATION
Seed, sod or mulch bare soil as soon as possible

SEEDING AND MULCHING
Spread 4 to 6 inches of topsoil. Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer.) Seed with an appropriate mix for the site (see table.) Rake lightly to cover seed with 1/4" of soil. Roll lightly. Mulch with straw (70-90 lb. or one bale per 1000 sq. ft.) Anchor mulch by punching 2 inches into the soil with a dull, weighted disk or by using netting or other measures on steep slopes, or windy areas. Water gently every day or two to keep soil moist. Less watering is needed once grass is 2 inches tall.

SODDING
Spread 4 to 6 inches of topsoil. Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer.) Lightly water the soil. Lay sod. Tamp or roll lightly. On slopes, lay sod starting at the bottom and work toward the top. Peg each piece down in several places. Initial watering should wet soil 6 inches deep (or until water stands 1 inch deep in a straight-sided container.) Then water lightly every day or two for 2 weeks. If construction is completed after October 31, seeding or sodding may be delayed. Applying mulch or temporary seed (such as rye or winter wheat) is recommended if weather permits. Straw bale or silt fences must be maintained until final seeding or sodding is completed in spring March 15- May 31.

SEEDING AND MULCHING
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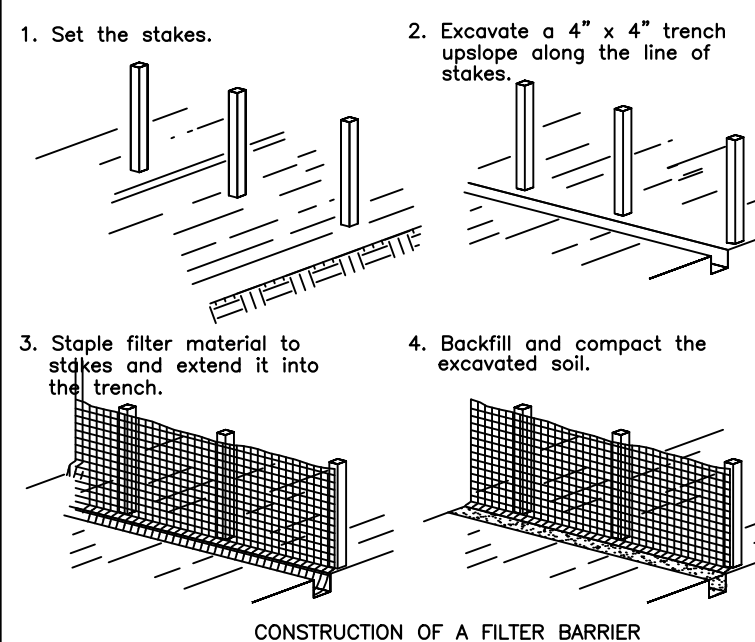
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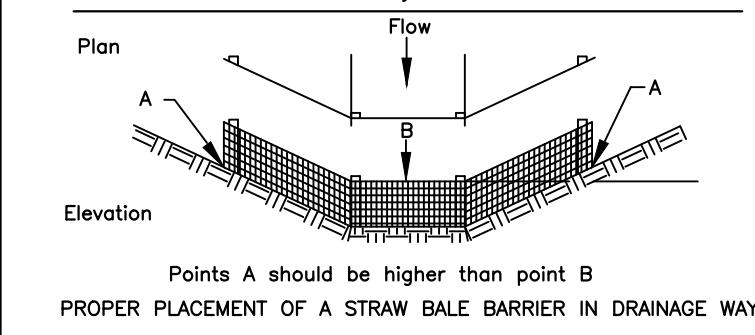
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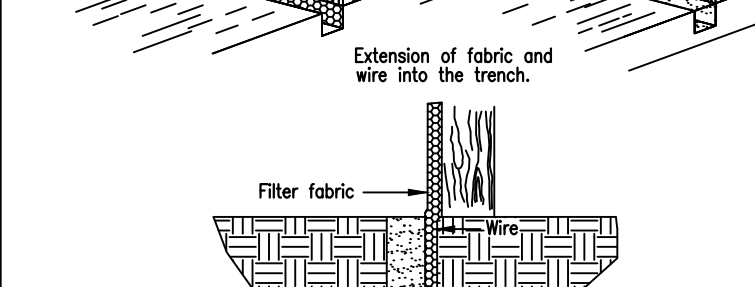
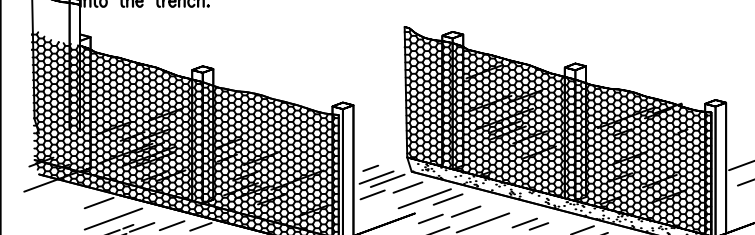
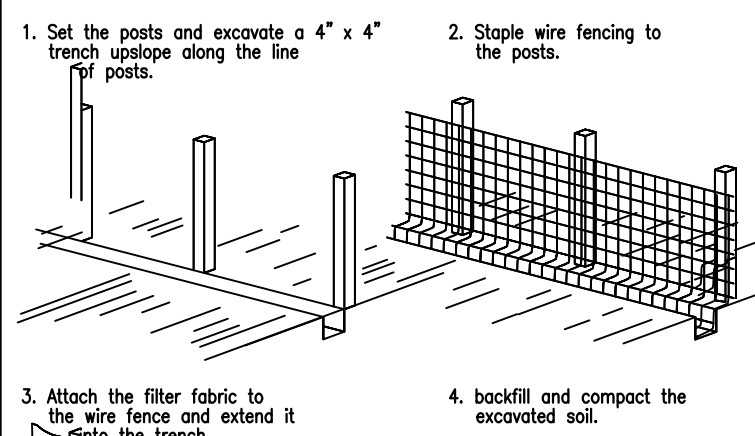
SILT FENCE OR MULCH BERM DETAILS



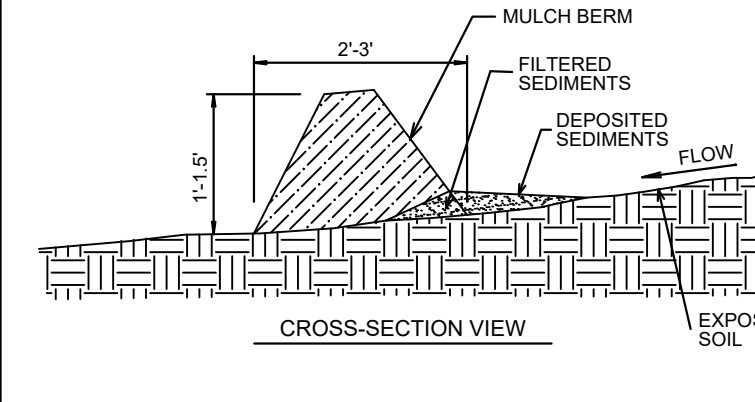
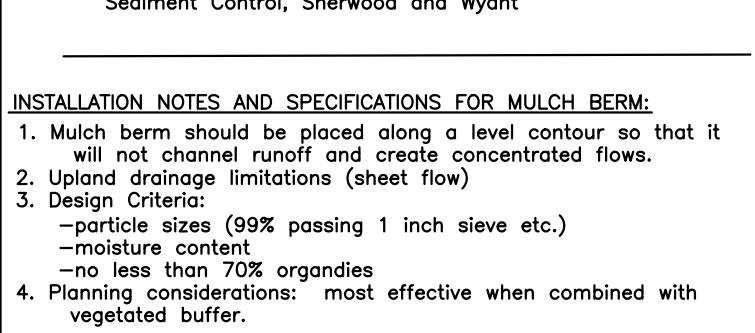
Source: Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant



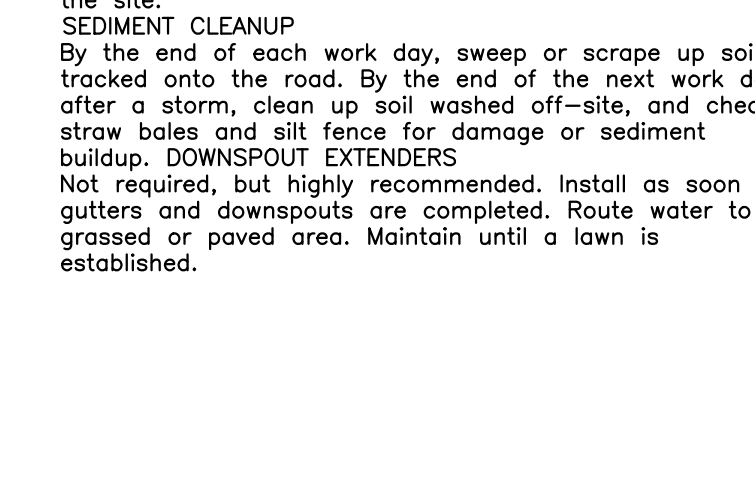
PRESERVING EXISTING VEGETATION
Wherever possible, preserve existing trees, shrubs, and other vegetation. To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation. Place plastic mesh or snow fence barriers around trees to protect the area below their branches.

SILT FENCE OR MULCH BERM
Put up before any other work is done. Install on downslope side(s) of site with ends extended up sideslopes a short distance. Place parallel to the contour of the land to allow water to pond behind fence. Entrench 4 inches deep (see back page.) Stake (2 stakes per bale OR 1 stake every 3 feet for silt fence.) Leave no gaps between bales or sections of silt fence. Inspect and repair once a week and after every 1/2 inch rain. Remove sediment if deposits reach half the fence or straw bale height. Maintain until a lawn is established.

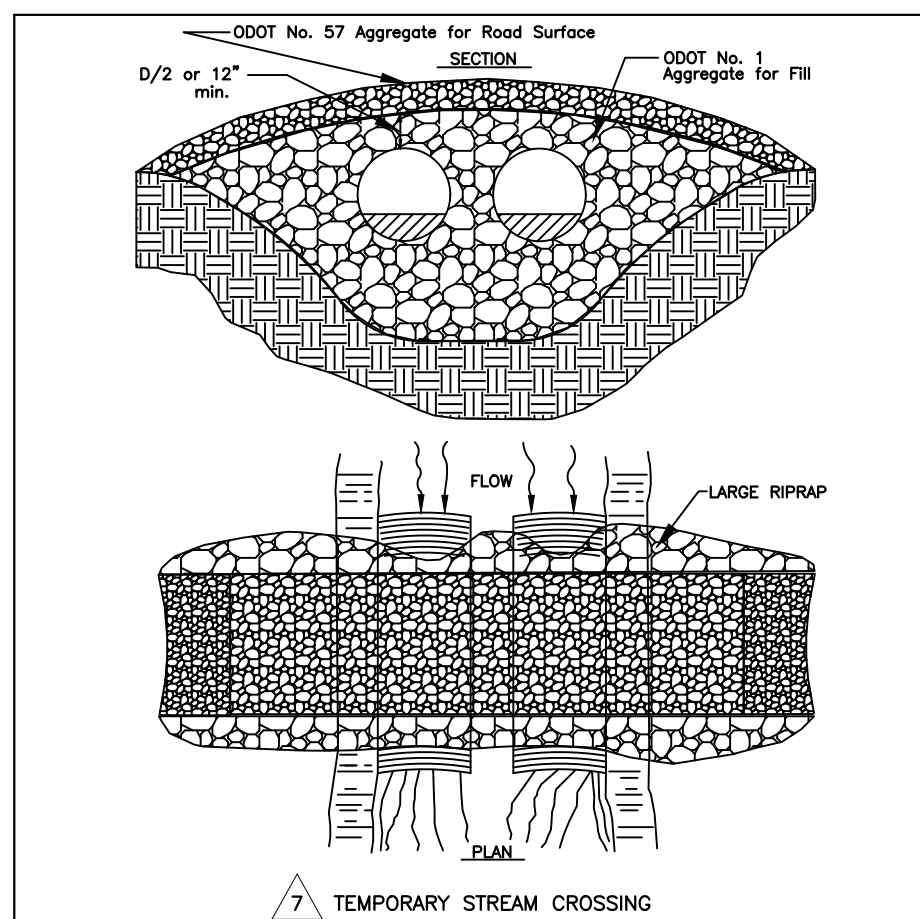
SOIL PILES
Located away from any downslope street, driveway, stream, lake, wetland, ditch or drainage way. Temporary seed such as annual rye is recommended for topsoil piles. Surround with straw bales or silt fence.

GRAVEL DRIVE
Install a single access drive using 3 to 5 inch aggregate over a geotextile material. Lay gravel 6 inches deep and 10 feet wide from the foundation to the street. Use to prevent tracking dirt onto the road by all vehicles. Maintain throughout construction until driveway is paved. Park all construction vehicles on the street and off of the site.

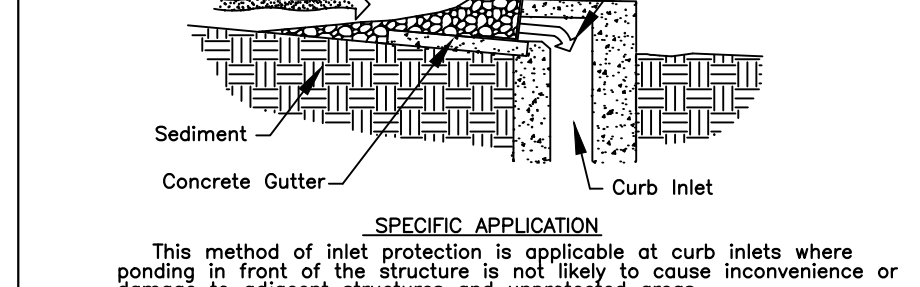
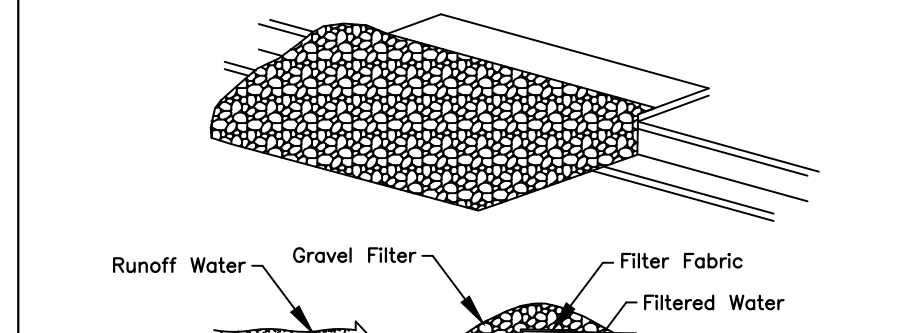
SEDIMENT CLEANUP
By the end of each work day, sweep or scrape up soil tracked onto the road. By the end of the next work day after a storm, clean up soil washed off-site, and check straw bales and silt fence for damage or sediment buildup. DOWNSLOUT EXTENDERS
Not required, but highly recommended. Install as soon as gutters and downspouts are completed. Route water to a grassed or paved area. Maintain until a lawn is established.



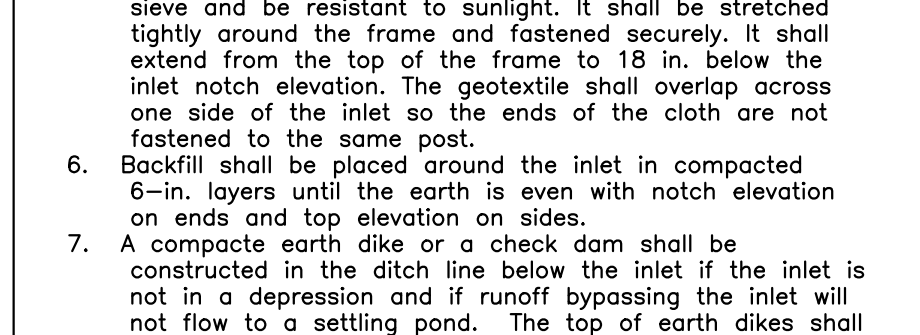
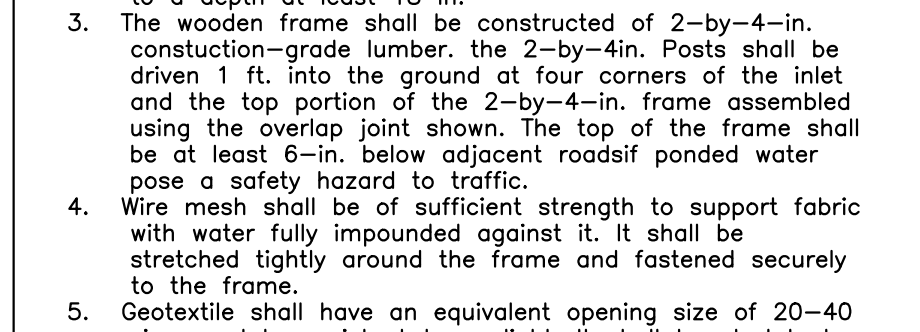
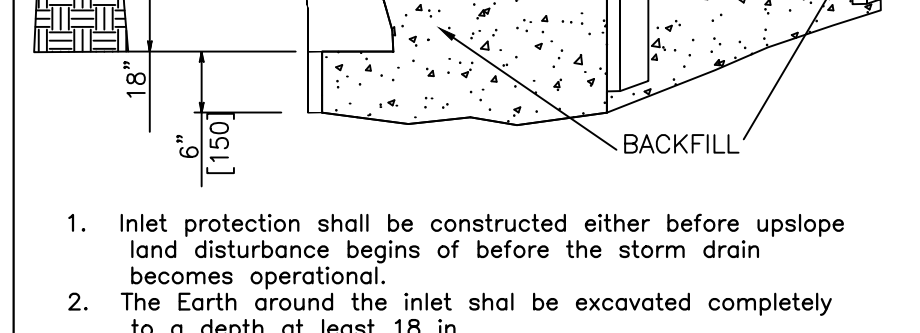
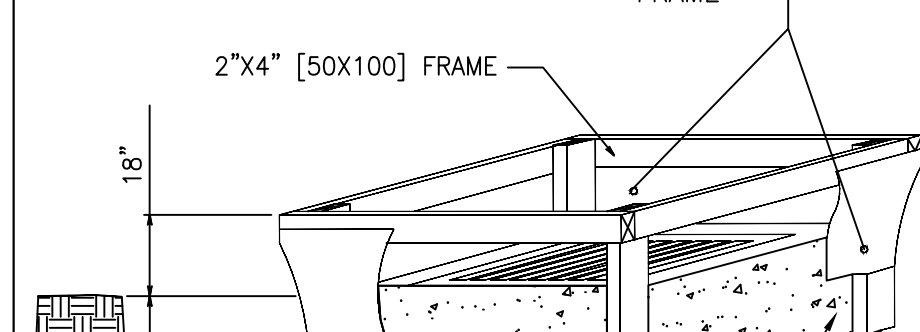
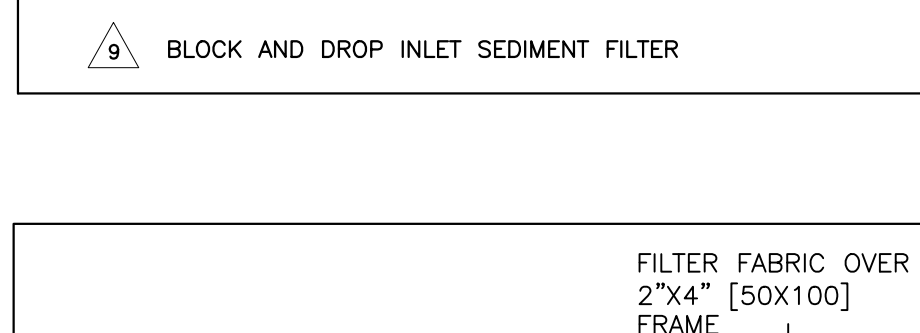
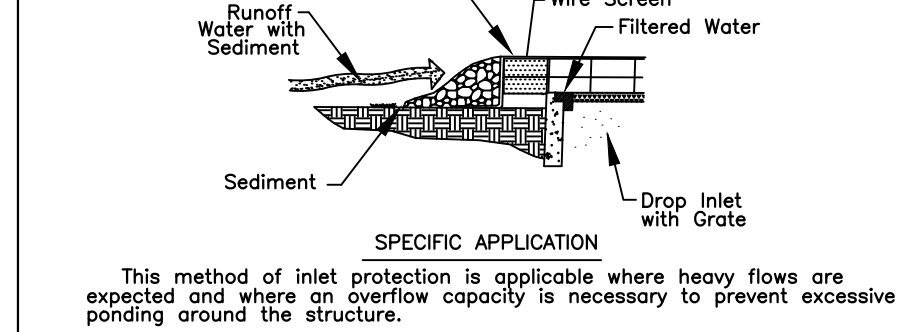
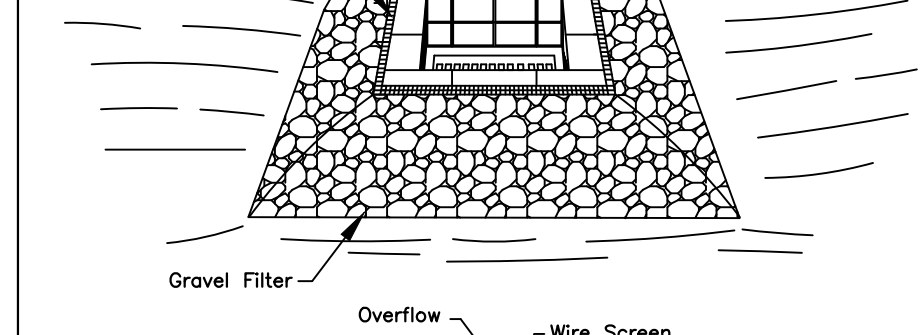
Source: Michigan Soil Erosion and Sediment Control Guidebook, 1975



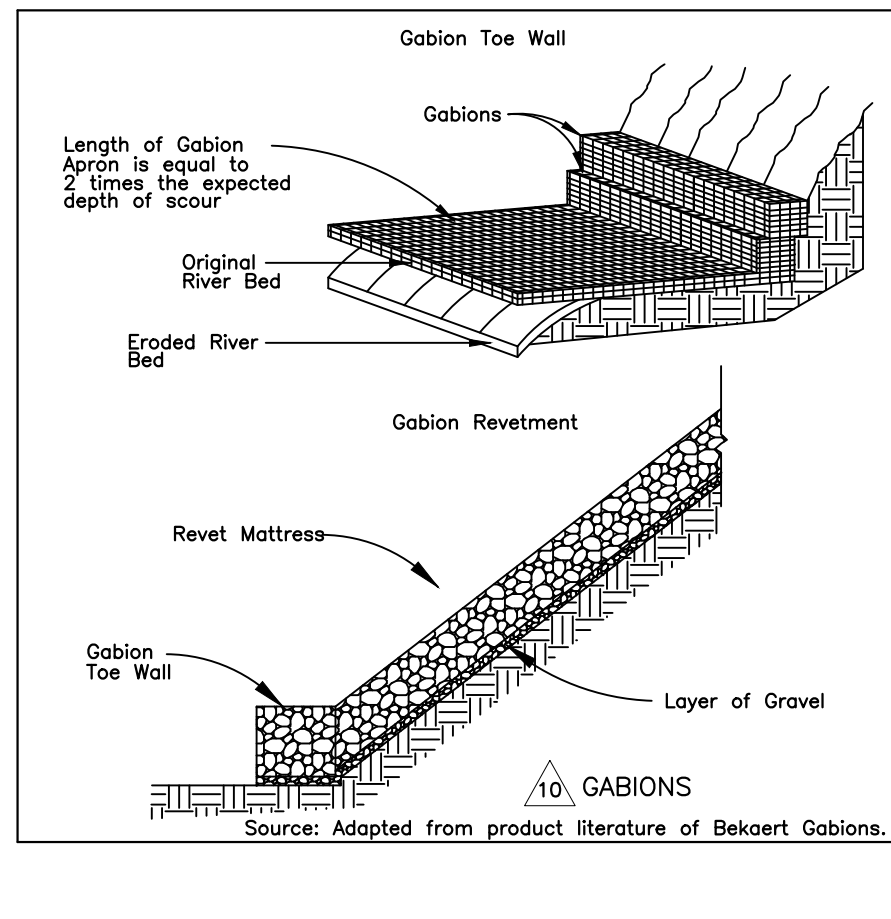
Source: Adapted from product literature of Bekaert Gabions



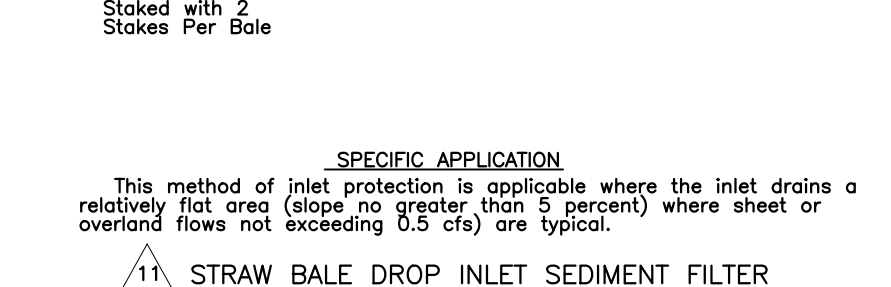
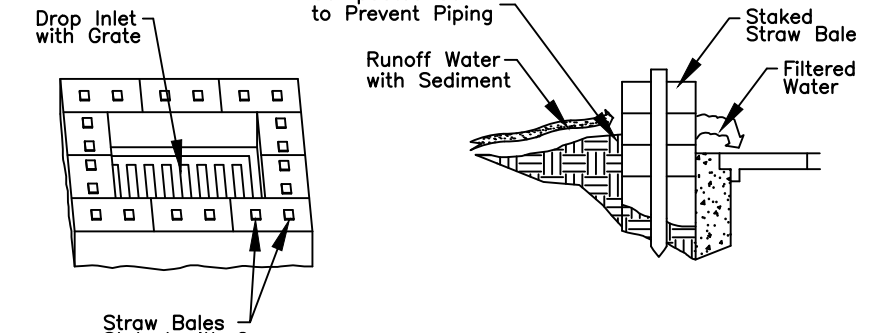
SPECIFIC APPLICATION
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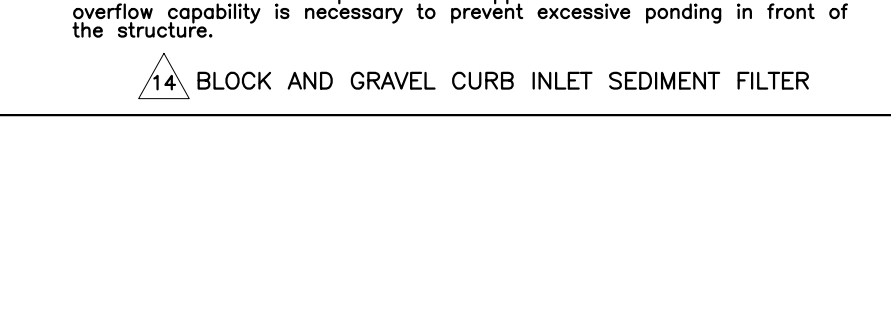
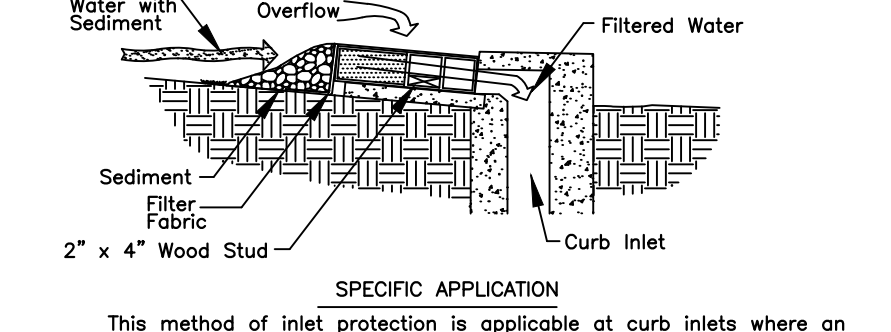
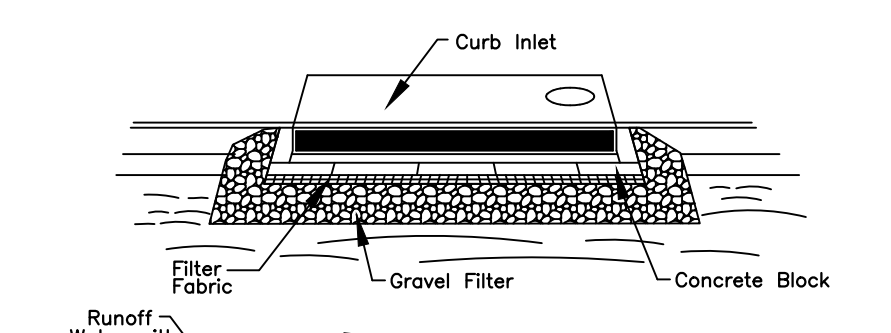
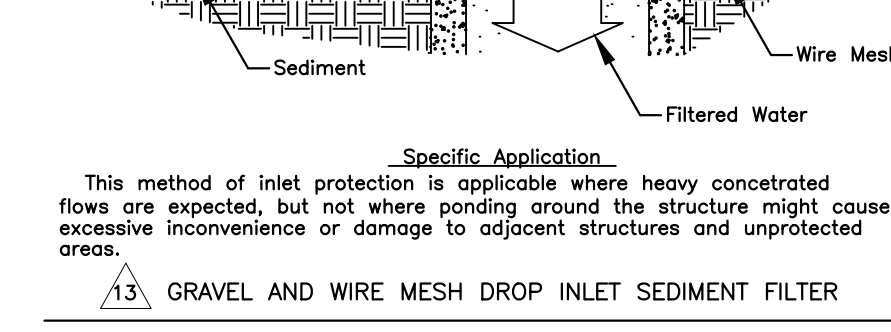
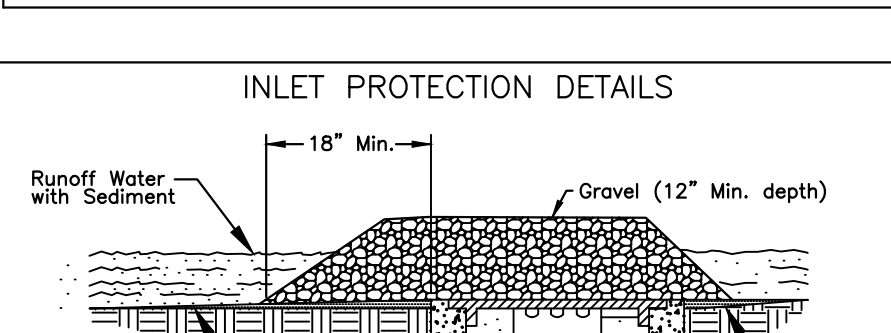
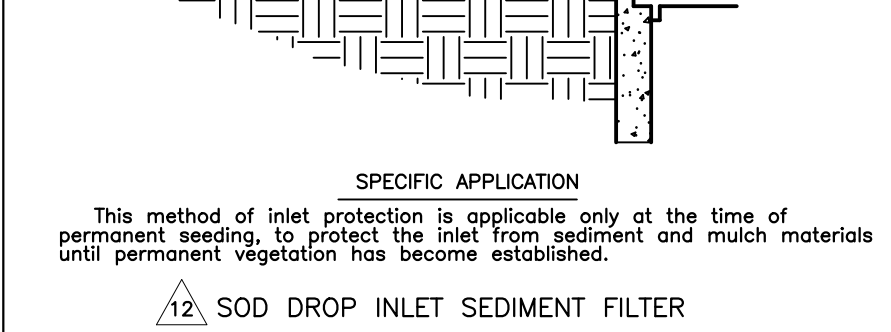
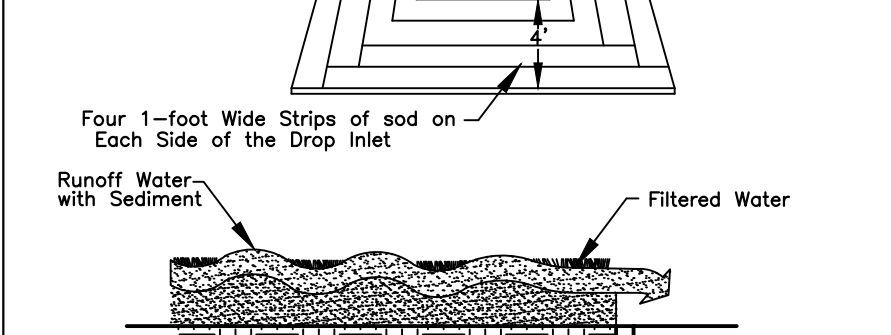
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This method of inlet protection is applicable where heavy flows are expected and where an overflow capacity is necessary to prevent excessive ponding around the structure.



Source: Adapted from product literature of Bekaert Gabions

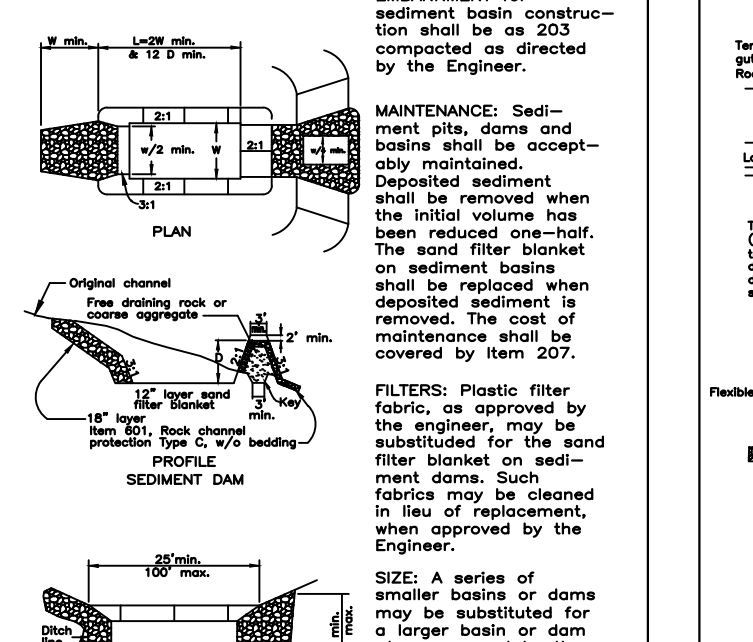


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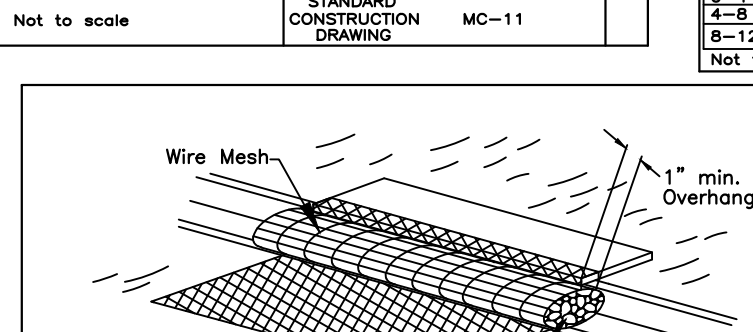
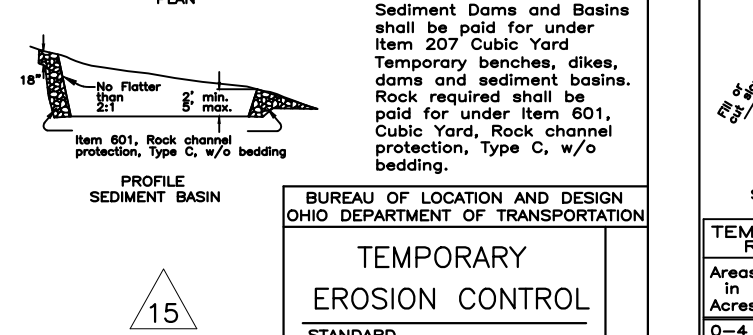


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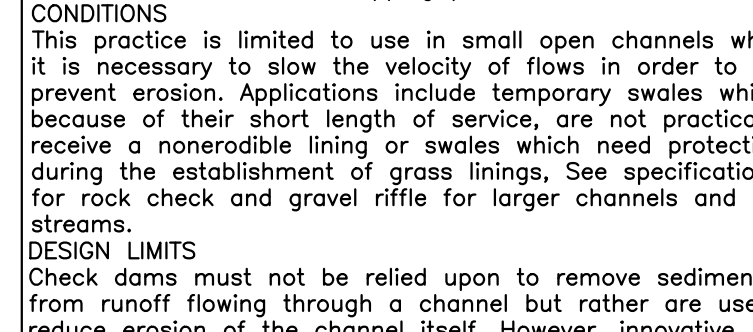
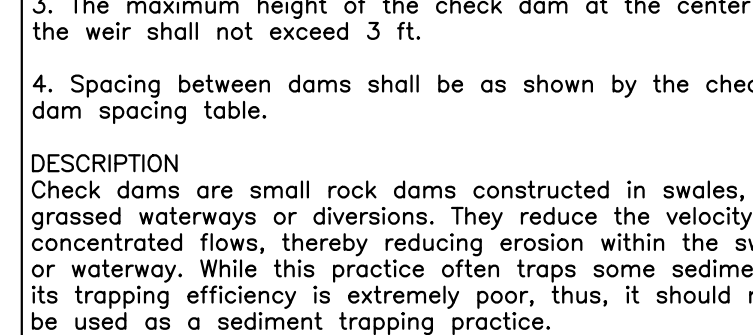
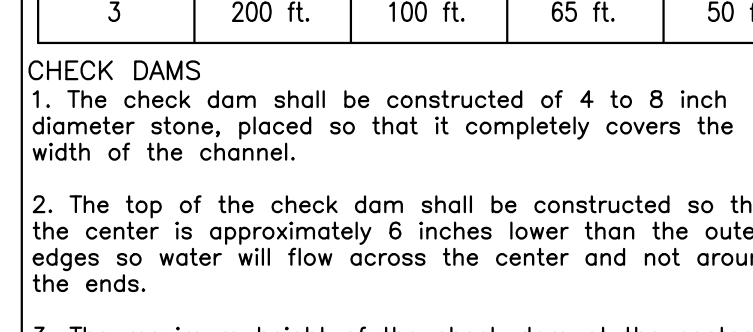
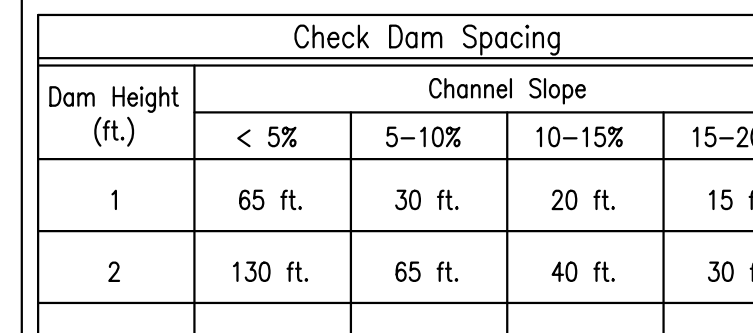
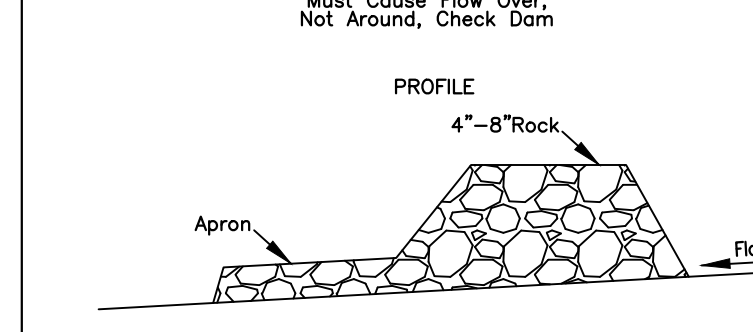
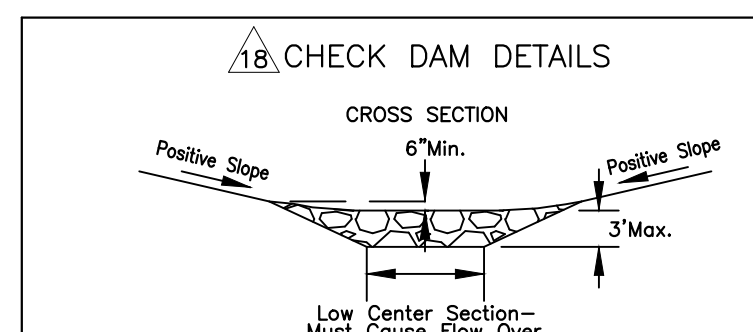
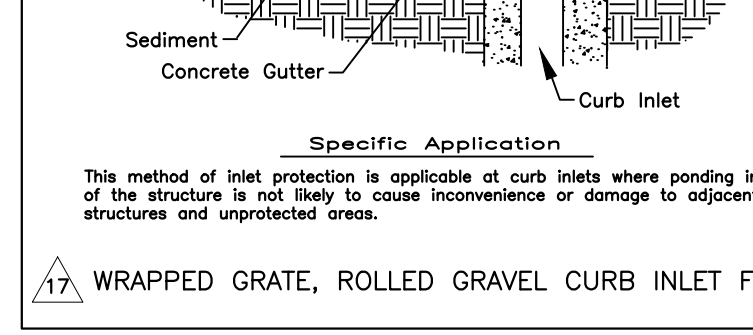
SEDIMENT TRAPS & DAMS



Source: Adapted from product literature of Bekaert Gabions

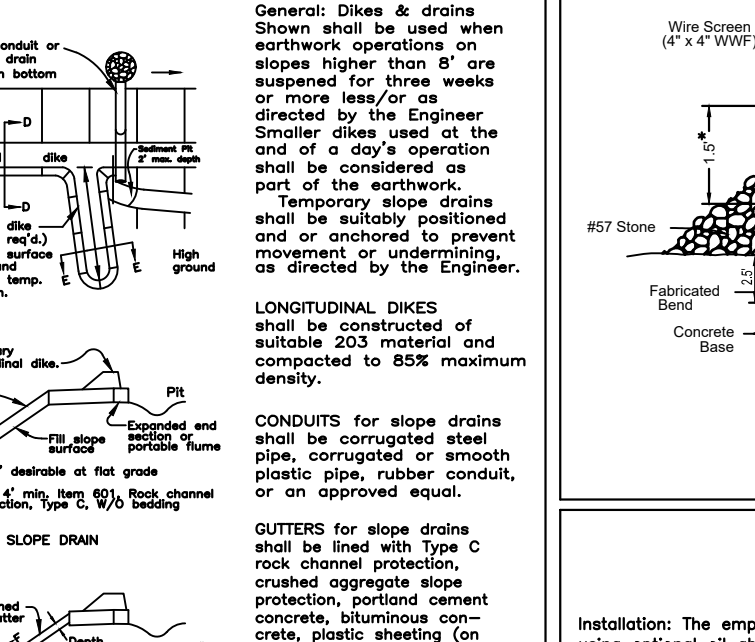


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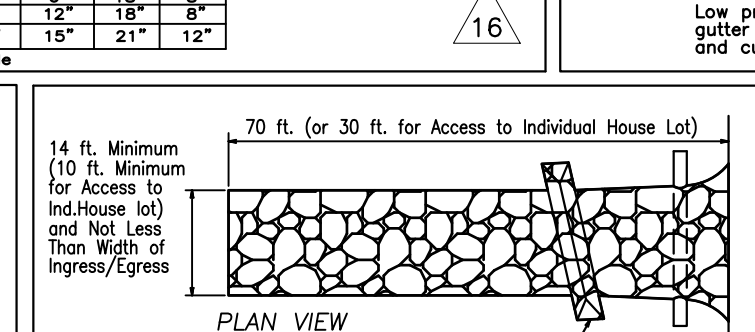
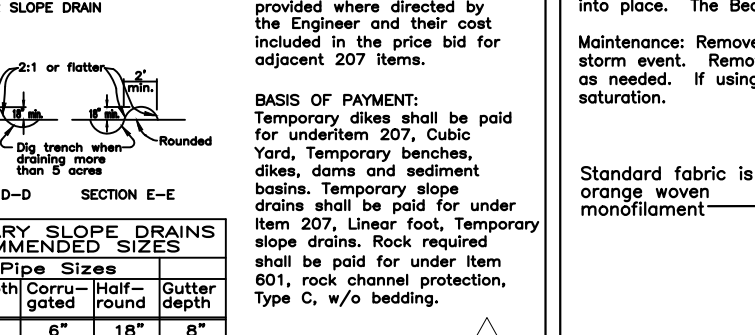


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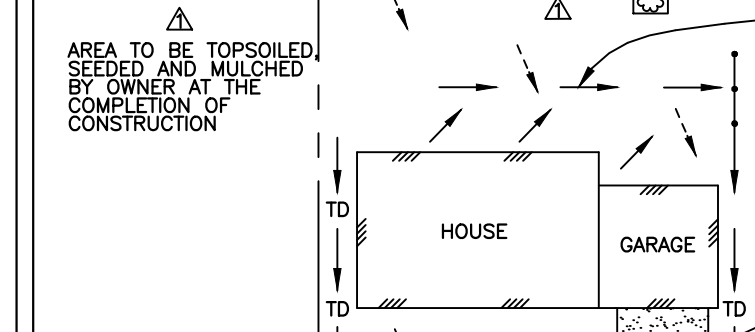
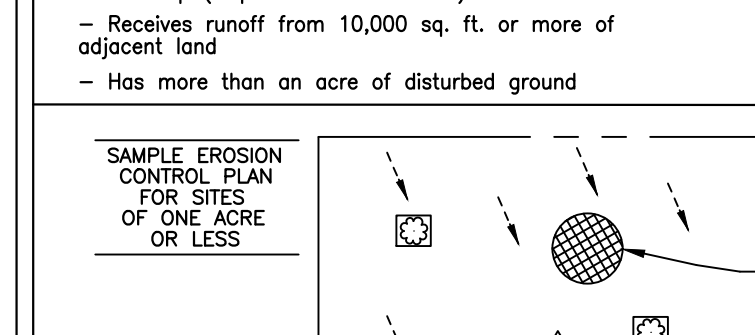
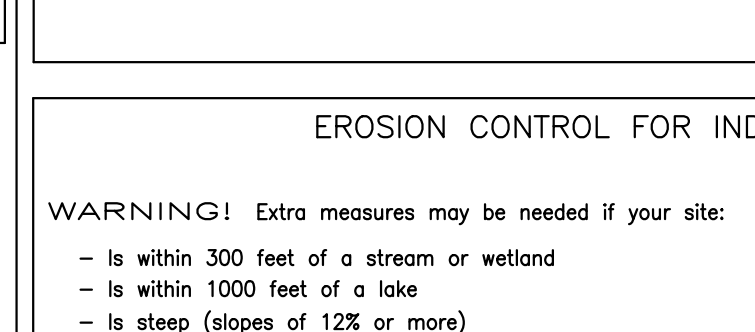
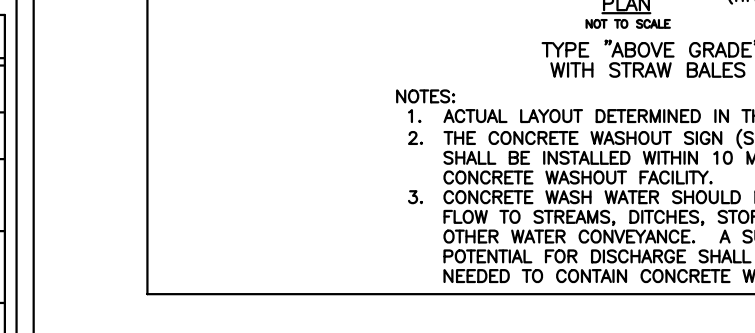
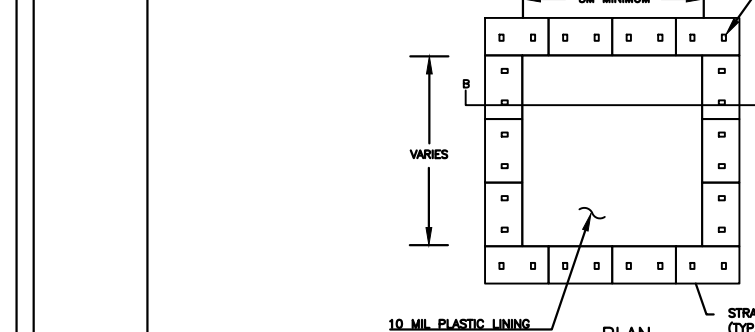
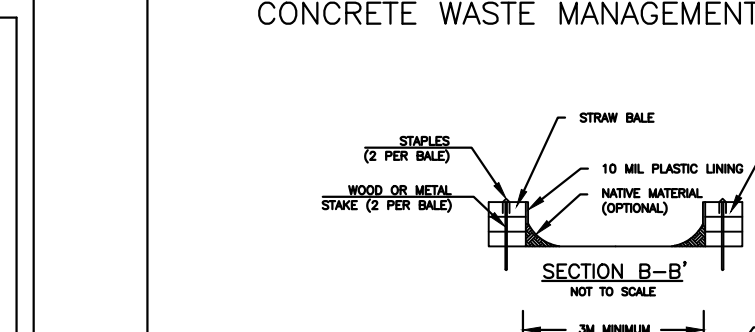
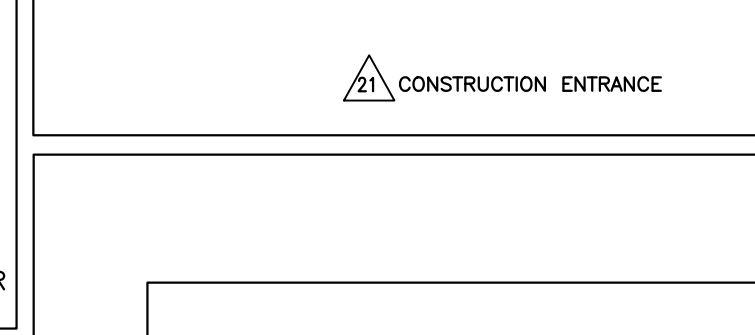
DIKES AND SLOPE PROTECTION



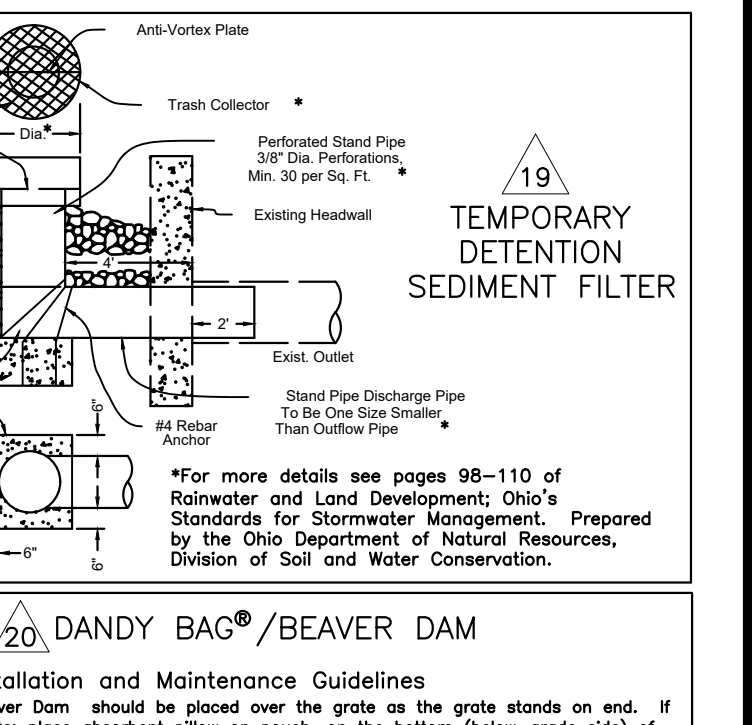
Source: Adapted from product literature of Bekaert Gabions



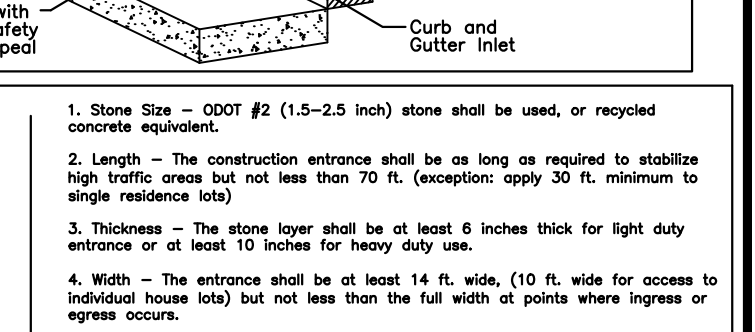
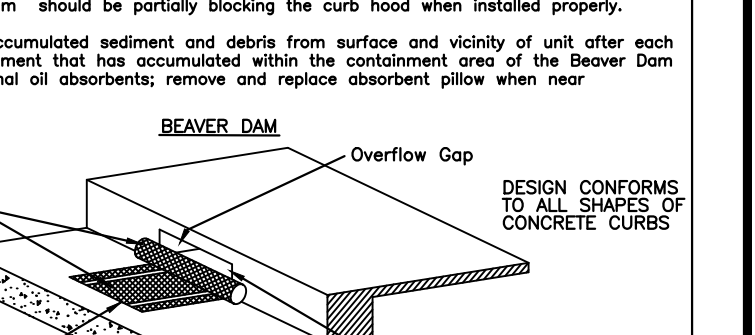
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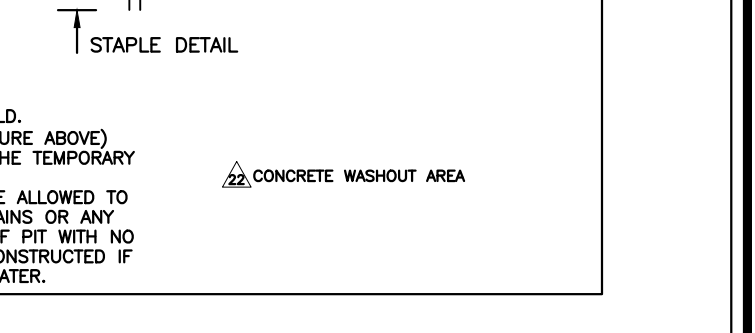
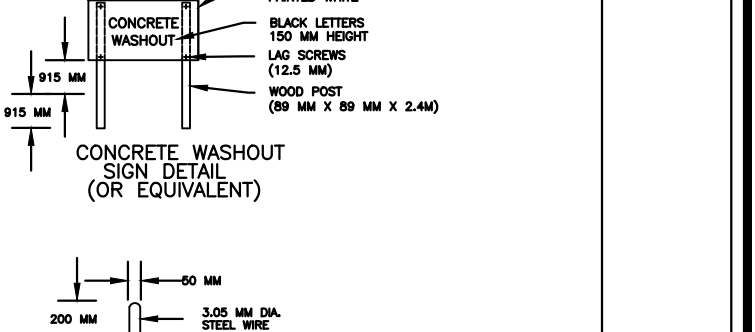
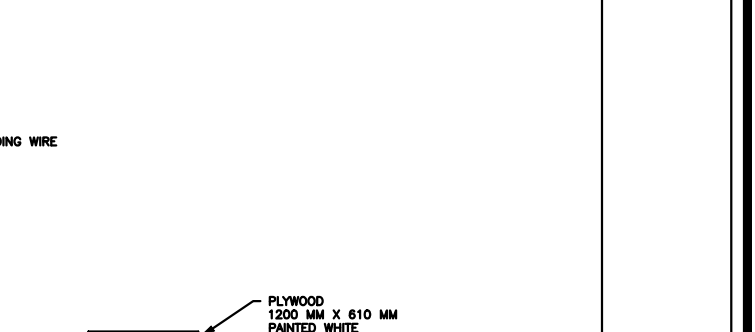
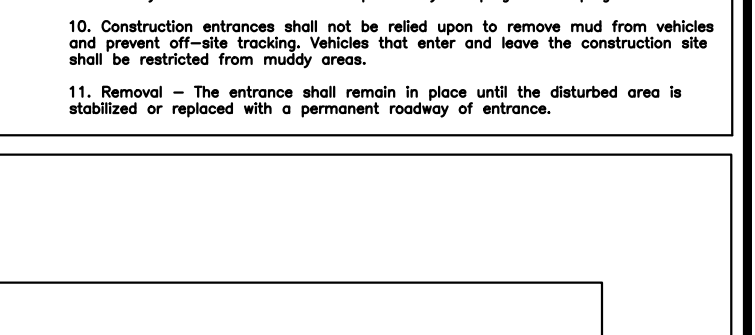
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APPROVED FOR DESCRIPTION

MONTGOMERY COUNTY ENGINEER DATE
CHECKED BY DATE
21-0245
FILE #

APPROVED BY THE PLANNING COMMISSION
OF THE CITY OF HUBER HEIGHTS

THIS ___ DAY OF _____, 2021.
PLANNING COMMISSION CHAIRPERSON DATE

DESCRIPTION

THE WITHIN PLAT IS A SUBDIVISION LOCATED IN SECTION 28, TOWN 2, RANGE 8 M.Rs., THE CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO, CONTAINING A TOTAL OF 21.5519 ACRES AND BEING ALL THAT REMAINS OF AN ORIGINAL 23.15 ACRES OF UNPLATTED LAND AS CONVEYED TO RG QUAIL RIDGE, LLC BY INSTRUMENT RECORD DEED 21-052291 AND 0.1537 ACRES OF LAND AS RECORDED IN SURVEY RECORD 2021-131 AS CONVEYED TO RG QUAIL RIDGE, LLC BY INSTRUMENT RECORD DEED 21-065522 OF THE DEED RECORDS OF MONTGOMERY COUNTY, OHIO.

DEDICATION STATEMENT:

WE, THE UNDERSIGNED, BEING THE OWNER OF THE LANDS HEREIN PLATTED, DO HEREBY DEDICATE THE STREETS AND RESERVE THE EASEMENTS SHOWN ON THE PLAT TO THE PUBLIC USE FOREVER.
EASEMENTS SHOWN ON THE PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, OR OTHER UTILITY LINES OR SERVICES, AND FOR THE FREE USE OF SAID UTILITIES, AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES, AND ARE TO BE MAINTAINED AS SUCH FOREVER.

OWNER: RG QUAIL RIDGE, LLC

SIGNATURE

PRINT NAME

TITLE

THIS IS AN ACKNOWLEDGEMENT CERTIFICATE; NO OATH OR AFFIRMATION WAS ADMINISTERED TO THE SIGNER WITH REGARD TO THIS NOTARIAL ACT.

STATE OF OHIO S.S.
COUNTY OF _____

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2021, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY CAME RG QUAIL RIDGE, LLC AS REPRESENTED BY _____ WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE THEIR VOLUNTARY ACT AND DEED.
IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

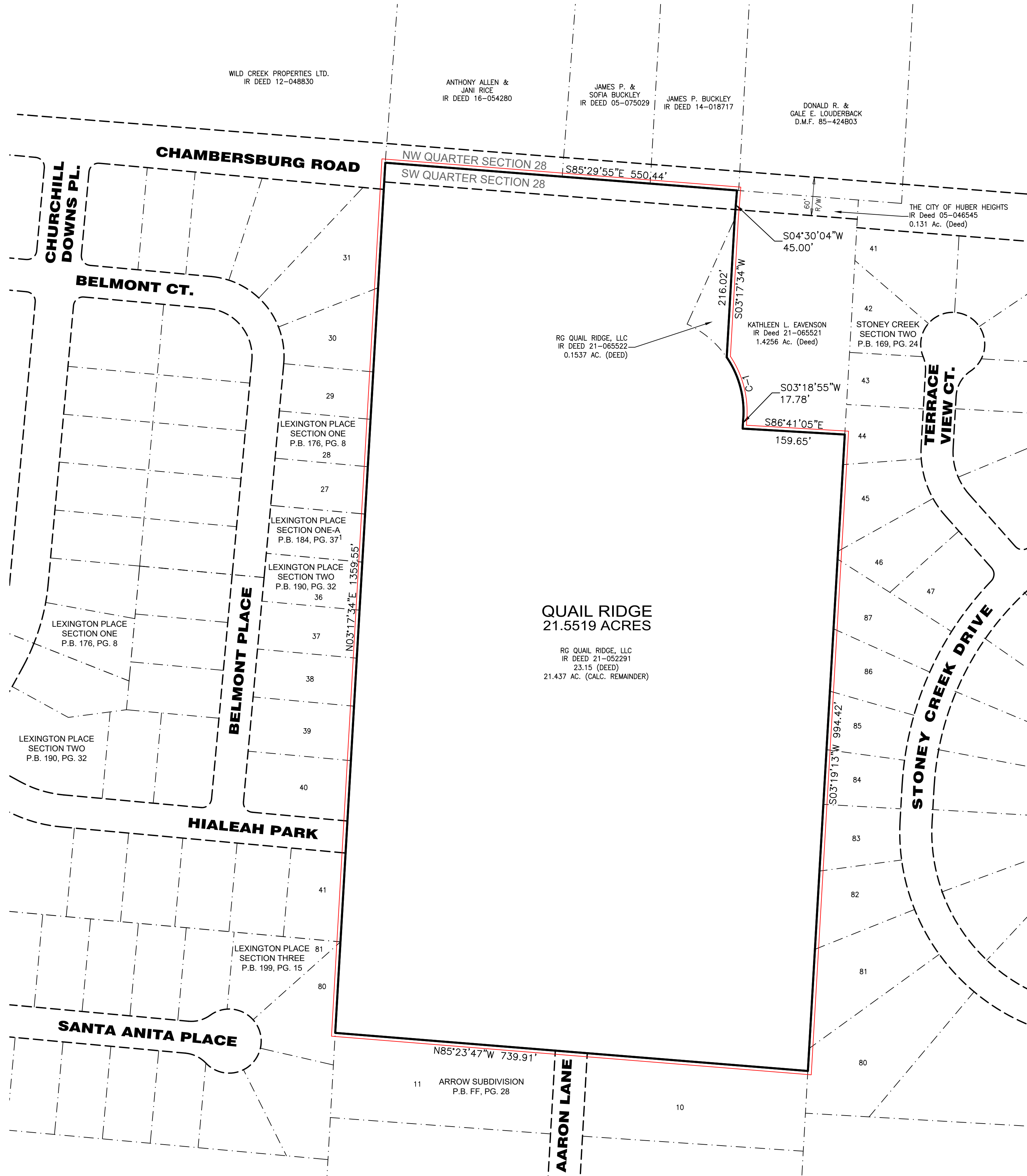
PROTECTIVE COVENANTS & RESTRICTIONS

THIS PLAT IS SUBJECT TO THE HOMEOWNERS DOCUMENTS AS RECORDED IN DEED BOOK _____, PAGE _____.

MINIMUM OPENING ELEVATIONS

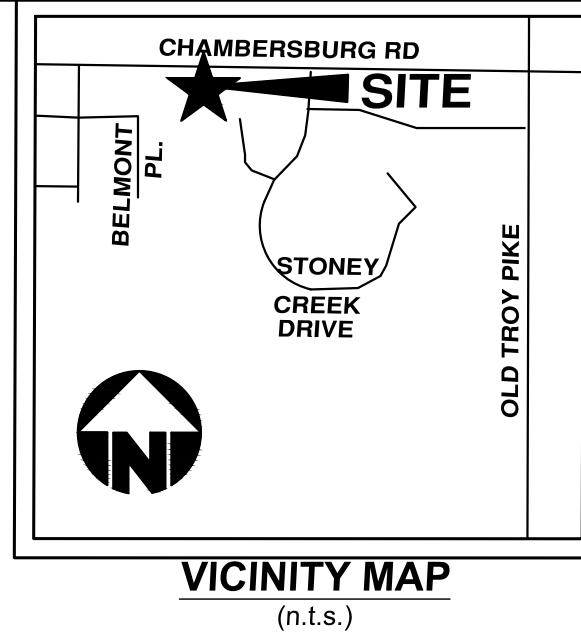
ON ANY LOTS WITH AN IDENTIFIED MINIMUM OPENING ELEVATION (M.O.E.), NO DOOR, WINDOW, VENT, OR OTHER OPENING THROUGH THE WALL OF ANY STRUCTURE MAY BE LOCATED BELOW THE MINIMUM ELEVATION NOTED ON THE AFFECTED LOT(S). IF THE BASEMENT FLOOR IS BELOW THE NOTED ELEVATION, IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE A SUMP WELL AND SUMP PUMP, WHICH SHALL DISCHARGE ON THE LOT AT OR ABOVE THE NOTED ELEVATION.

RECORD PLAN
QUAIL RIDGE
SECTION 28, TOWN 2, RANGE 8 M.Rs.
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO
21.5519 ACRES
SEPTEMBER, 2021

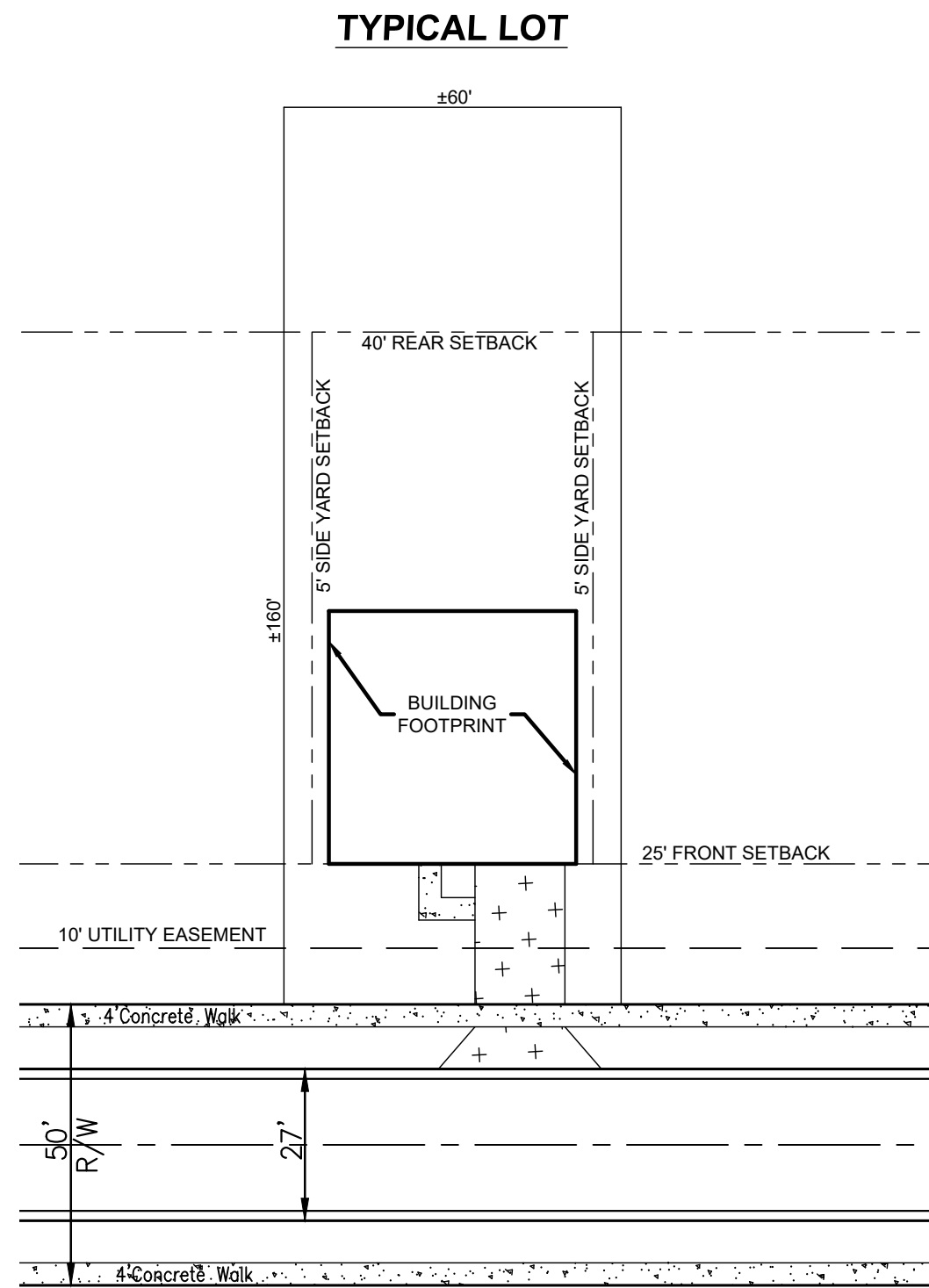


OWNER
RG QUAIL RIDGE, LLC
3333 MADISON PIKE, SUITE C
FT. WRIGHT, KY 41017

ENGINEER / SURVEYOR
BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OH 45040
(513) 336-6600



CURVE TABLE					
Curve	Delta	Radius	Length	Chord	
C-1	37°37'56"	150.00'	98.52'	S15°30'06"E	96.76'

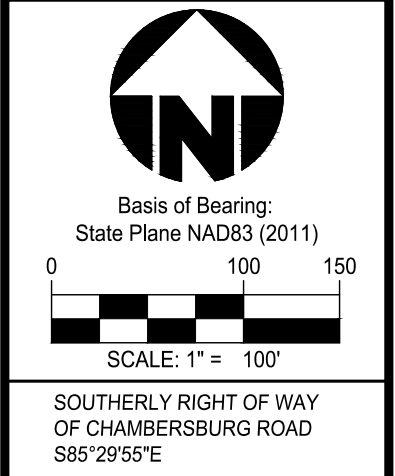
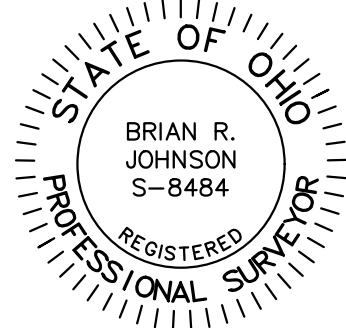


SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE OHIO ADMINISTRATIVE CODE CHAPTER 4733.37 STANDARDS FOR SURVEYS AND ALSO CONFORMS TO THE OHIO REVISED CODE CHAPTER 711 FOR RECORD PLANS AND WAS CONDUCTED UNDER MY SUPERVISION BASED ON FIELD WORK IN FEBRUARY OF 2021. ALL MEASUREMENTS ARE CORRECT AND MONUMENTS ARE TO BE SET ON ON ALL LOT CORNERS AS SHOWN.

BRIAN R. JOHNSON
PROFESSIONAL SURVEYOR #8484
IN THE STATE OF OHIO

DATE: _____



Item	Revision Description	Date	Chk:	Dwn:
1	REVISED PER COUNTY ENGINEER COMMENTS	08-14-21	PAH	BRJ

Item	Revision Description	Date	Chk:	Dwn:
1	REVISED PER COUNTY ENGINEER COMMENTS	08-14-21	PAH	BRJ

QUAIL RIDGE
SECTION 28, TOWN 2, RANGE 8 M.Rs.
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO

RECORD PLAT

PREPARED BY:

bayer becker
www.bayerbecker.com
6900 Tylersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing: 20-0257 RP TITLE
Drawn by: PAH
Checked by: DDS
Issue Date: 06-03-21
Sheet:



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Quail Ridge – Revision 4		
Occupancy Address:	Chambersburg Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:	Not Yet Assigned	HHFD Plan:	21-019/21-081/21-146/21-219
MCBR ELE:	Not Yet Assigned	HHFD Box:	51
REVIEWER:	Susong	DATE:	10/20/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

Approved per Review of Ohio Fire Code and adopted Life Safety Standards based on the following:

- One- or two-family residential projects having more than 30 dwelling units shall be equipped with two separate and approved fire apparatus access roads in accordance with Ohio Fire Code D106.1. A secondary access is shown connecting Hialeah Park and new road. This access shall comply with the following:
 - Be a minimum 20 feet wide, access is currently shown as 12 feet. Ohio Fire Code 503.2.1 (Previous drawing had been provided showing 20 feet, current drawing shows 15 feet.)
 - Driveways back to Lots 34,35,39 and 40 shall be a minimum of 20 feet wide. Current drawing shows 12 feet 6 inches each side.
 - Constructed of materials capable of handling 75,000 pounds. Ohio Fire Code D102.1.
- Fire hydrants are shown on drawing at the end of each “flag” access drive. Additional hydrants on street shall be spaced so that any structure can be reached within 400 feet of hose. Hydrant spacing shall comply with HHCO 1521.06(b). (Fire hydrants are not shown on this drawing.)

Code Reference	Standard Requirement Comment
2017 OFC / IFC Appendices B and C and	Fire Hydrants: Locations and Distribution shall comply with the referenced code

(OAC)1301:7-7-05(G) and HH City Code 1521	(75' Spacing from FDC to hydrant and minimum 40' spacing from hydrant to building exterior walls) (See city code for more detail)
<p align="center">Specific Code Requirement Comments</p> <p align="center">(In Accordance with (OAC)1301:7-7-01 to 44 Including IFC Appendices as adopted by HH City Code Part 15)</p> <p align="center">Go To: Ohio Fire Code Go To: HH City Code Go To: OAC/OBC</p>	
OFC 2017	<p>503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with <i>paragraph (C)(6)(503.6) of this rule</i>, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).</p> <p>D102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an <i>approved</i> fire apparatus access road with an asphalt, concrete or other <i>approved</i> driving surface capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds.</p> <p>D107.1 One- or two-family dwelling residential developments. Developments of one- or two-family <i>dwelling units</i> where the number of <i>dwelling units</i> exceeds 30 shall be provided with two separate and <i>approved</i> fire apparatus access roads.</p> <p>Exception:</p> <ol style="list-style-type: none"> 1) Where there are more than 30 <i>dwelling units</i> on a single public or private fire apparatus access road and all <i>dwelling units</i> are equipped throughout with an <i>approved automatic sprinkler system</i> in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, access from two directions shall not be required. 2) The number of <i>dwelling units</i> on a single fire apparatus access road shall not be increased unless fire apparatus access roads will connect with future development, as determined by the <i>fire code official</i>.
Huber Heights Codified Ordinance	<p>1521.06 FIRE HYDRANT PLACEMENT AND STANDARDS</p> <p>(b) Hydrants in single-family residential districts shall be placed not more than 500 feet apart, measured on the main, and no more than 400 feet from any opening in any building. All new fire hydrants and any existing fire hydrants that are in need of replacement, shall meet the Huber Heights hydrant standard for this district of two, two and one-half inch discharge nozzles and one, five inch steamer discharge nozzle. The five inch steamer discharge nozzle shall have a five inch STORTZ quick connection. The two, two and one-half inch discharge nozzles shall have Dayton threads approved by the Code Official.</p> <p>(1) The Fire Code Official shall make a determination if a double STORTZ hydrant is needed in residential areas with single-family homes greater than 3,600 square feet. When determining the need, the Code Official shall reference the capacity of the hydrant and fire flow requirements listed in the 2006 International Fire Code appendix B. Reductions shall be given for automatic sprinkler systems.</p> <p>(d) The Fire Code Official shall make a determination on the location and distribution of fire hydrants. The fire official shall make this determination by referencing the location and distribution listed in the 2006 International Fire Code appendix C. (Ord. 2010-0-1845. Passed 9-13-10.)</p>

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-7900

7. J.

Planning Commission

Meeting Date: 10/26/2021

MINOR CHANGE

Information

Agenda Title

MINOR CHANGE - The applicant, SIGNS UNLIMITED, is requesting approval of a Minor Change for signage at property located at 7536 Brandt Pike, Take 5 Oil Change (ZC 21-41).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Memorandum

Staff Report for Meeting of October 26, 2021

To: Huber Heights City Planning Commission
From: Scott Falkowski, Interim City Manager
Date: October 11, 2021
Subject: ZC 21-41 (Minor Change Signage Take 5 Oil Change)

Application dated September 24, 2021

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Signs Unlimited – Applicant
Driven Brands - Owner

DEVELOPMENT NAME: Take 5 Oil Change

ADDRESS/LOCATION: 7536 Brandt Pike

ZONING/ACREAGE:

EXISTING LAND USE:

ZONING
ADJACENT LAND:

REQUEST: The applicant requests approval of a Minor Change for Signage for Take 5 Oil Change.

ORIGINAL APPROVAL: ZC 21-17

APPLICABLE HHCC:

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STATEMENT OF FACT:

The applicant requests approval of a Minor Change for signage for Take 5 Oil Change at 7536 Brandt Pike.

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant wishes to install a ground sign at the north side of the entrance drive. The request is to locate the sign fifteen (15) feet from the Brandt Pike right of way line. As described below the standard code for ground signs is for the sign to be located a minimum of fifteen feet from the right of way. The sign base would be thirteen (13) feet, one (1) inch wide, with an overall height of six (6) feet. The sign face itself is twelve (12) feet wide by four (4) feet tall. The sign area would be forty-eight (48) square feet per side, which is larger than the standard city code of seventy-five (75) square feet total. Landscaping shall be placed around the sign with a minimum square footage of the area of the sign face.

Wall signage is proposed on three faces. On the southern face, there are three components to the signage with a total of 67.4 square feet. On the western face, there are three components to the signage with a total of 73.7 square feet. On the eastern face, there is just informational messaging. Also, there are directional signs throughout the facility as shown on the submitted drawings.

The applicable standard City Code for signage is as follows:

1189.05 Types of signs.

(b) Ground Signs.

- (1) Setback. Unless otherwise stated in this chapter, any temporary or permanent ground sign or any part thereof shall be set back a minimum distance of 15 feet from any right-of-way.*
- (2) Landscaping requirement. A permanent ground sign shall require a single continuous landscaped area to be maintained beneath the sign in accordance with the following standards:*
 - A. The minimum landscaped area shall be equal to the area of the sign face.*
 - B. The landscaped area shall include all points where sign structural supports are attached to the ground.*
 - C. Where the required landscaped area is adjacent to a paved surface accessible to vehicular traffic, a raised barrier curb suitable to prevent the encroachment of vehicles shall be required. The minimum distance between the face of any required curb and any part of the sign shall be 30 inches.*

- D. The landscaped area shall include live plantings aesthetically located and maintained. The use of concrete, asphalt or any other paved surface inside the required landscaped area beneath the sign shall be prohibited.*
- (c) Wall Signs.*
- (1) Single wall signs shall not exceed 75 square feet total area.*
- (2) On structures with more than one visible side, a maximum of four wall signs could be allowed, providing that the total square footage of all the signs does not exceed 150 square feet.*
- (i) Planned Unit Development Sign Programs. Signs which have been approved as part of a planned unit development sign program may vary from the requirements stated within this chapter. Variations permitted through a PUD sign program may include but are not limited to the following: total number of signs permitted, sign size, sign setback, sign height and percentage of sign area devoted to changeable copy or electronic copy. Such deviations are recognized to be primarily for safety or unique parcel configuration circumstances and are not intended to circumvent the intent of the sign code.*



Planning Commission Decision Record

WHEREAS, on September 24, 2021, the applicant, Signs Unlimited, requested approval of a Minor Change for Signage for Take 5 Oil Change (Zoning Case 21-41), and;

WHEREAS, on October 26, 2021 the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approved the request.

_____ moved to approve the application by the applicant, Signs Unlimited, for approval of a Minor Change for Signage for Take 5 Oil Change (Zoning Case 21-41) in accordance with the recommendation of Staff's Memorandum dated October 11, 2021, with the following conditions:

1. All previous PUD regulations shall remain in full force and effect unless specifically modified herein.
2. The approved plan shall be that stamped as received by the Planning Department on September 24, 2021, except as modified herein.
3. The ground sign shall be limited to a maximum of 75 square feet total.
4. Landscaping shall be placed around the ground sign with a minimum area equal to the area of the sign face.

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____. Motion to approve carried _____.

Terry Walton, Chair
Planning Commission

Date

FRONT ELEVATION

TAKE 5

OIL CHANGE

7536 Brandt Pike
Huber Heights, OH 45424



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UL File #E225670

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INITIAL LAYOUT:

June 10, 2021

REVISIONS:

I
II
III
IV
V

Sq. Ft. Signage:

73.78

Signage Allowance:

150.00 Sq. Ft. Aggregate

4 Signs Allowed



26.19 Sq. Ft.
QTY: 1

Oil Can
Calculation



+/- 20 Degree
Angle on Can

ADDITIONAL ELEMENT

ALUMINUM PANS

Quantity:

4

Size:

As in drawing

Color:

Black and White

Returns:

1"

Mounting:

Angle into facade

NOTE: CENTERED UNDER LIGHTS
AND 6" DOWN FROM THE BOTTOM
OF SCONE VERTICALLY



PROOF

72.00"

18.00"

OIL CHANGE • STAY IN YOUR CAR

47.59 Sq. Ft.
QTY: 1

IMPOSED IMAGERY

SPECIFICATIONS

ILLUMINATED
CHANNEL LETTERS

Quantity:

See above

Size:

As in drawing

Trim:

1"

Trim Color:

Black

Return Color:

Black

Face Color:

Yellow

Face:

1/8" Acrylic

Letter Interior:

Gloss White

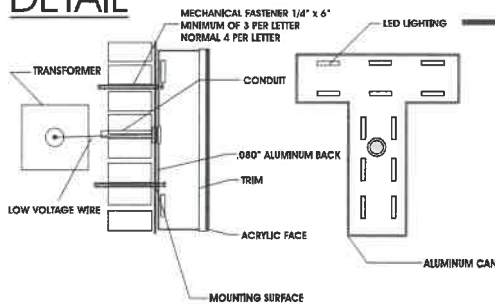
Illumination:

LED

Mounting:

Studded Letters

DETAIL



NOTES:

- IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL, CONNECTION TO BE HANDLED BY INSTALLER.
- IF NOT ELECTRICAL HANDLED BY OWNER/GC
- IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER
- REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER

EAST ELEVATION
1/4"=1'-0"

Owner/Landlord Approval _____

SIGNS UNLIMITED
communicate your identity

6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

REAR ELEVATION

TAKE 5

OIL CHANGE

7536 Brandt Pike
Huber Heights, OH 45424



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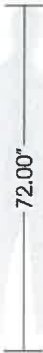
PROOF

INITIAL LAYOUT:

June 10, 2021

REVISIONS:

I
II
III
IV
V



221.50"
18.00"
STAY IN YOUR CAR

INSTRUCTIONAL/INFORMATIVE MESSAGE
(NOT COUNTED TOWARD ALLOWANCE)

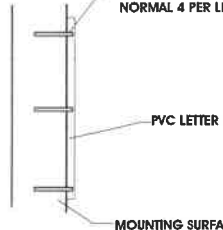
QTY: 1

IMPOSED IMAGERY

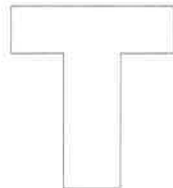


DETAIL

1/4" x 4" STUDS W/ SILICONE
MINIMUM OF 3 PER LETTER
NORMAL 4 PER LETTER.



MOUNTING SURFACE



WEST ELEVATION

1/4" = 1'-0"

SPECIFICATIONS
NON ILLUMINATED
PVC LETTERS W/ STUDS

Quantity:

See above

Size:

As in drawing

Thickness:

1/2"

Face Color:

Yellow

Edge Color:

Yellow

Mounting:

Studs w/ Silicone

Sq. Ft. Signage:

27.69

Signage Allowance:

N/A Not counted as signage

NOTES:

- INFORMATIVE/INSTRUCTIONAL MESSAGE (NOT COUNT TOWARD ALLOWANCE)
- IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER

SIGNS UNLIMITED
communicate your identity

Owner/Landlord Approval _____

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SIDE A ELEVATION

TAKE 5

OIL CHANGE

7536 Brandt Pike

Huber Heights, OH 45424



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PROOF

Sq. Ft. Signage:

67.43

Signage Allowance:

150.00 Sq. Ft. Aggregate

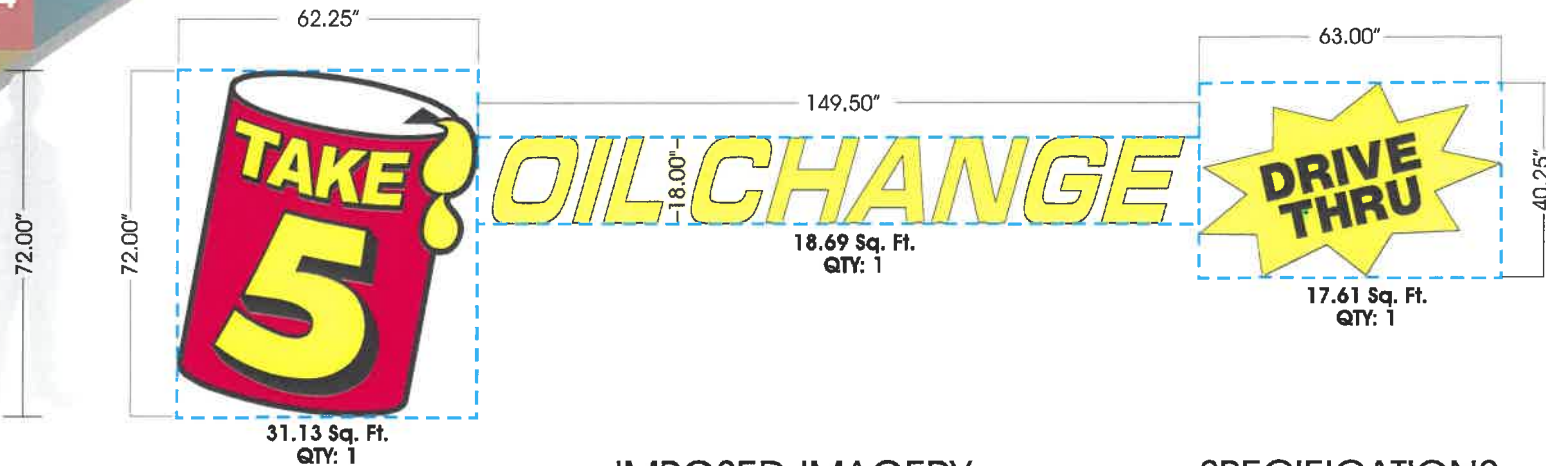
4 Signs Allowed

INITIAL LAYOUT:

June 10, 2021

REVISIONS:

I
II
III
IV
V



NOTES:

- IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL, CONNECTION TO BE HANDLED BY INSTALLER. IF NOT ELECTRICAL HANDLED BY OWNER/GC
- IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER
- REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER

IMPOSED IMAGERY

SPECIFICATIONS

ILLUMINATED
CHANNEL LETTERS

Quantity:

See above

Size:

As in drawing

Trim:

1"

Trim Color:

Black

Return Color:

Black

Face Color:

Yellow

Face:

1/8" Acrylic

Letter Interior:

Gloss White

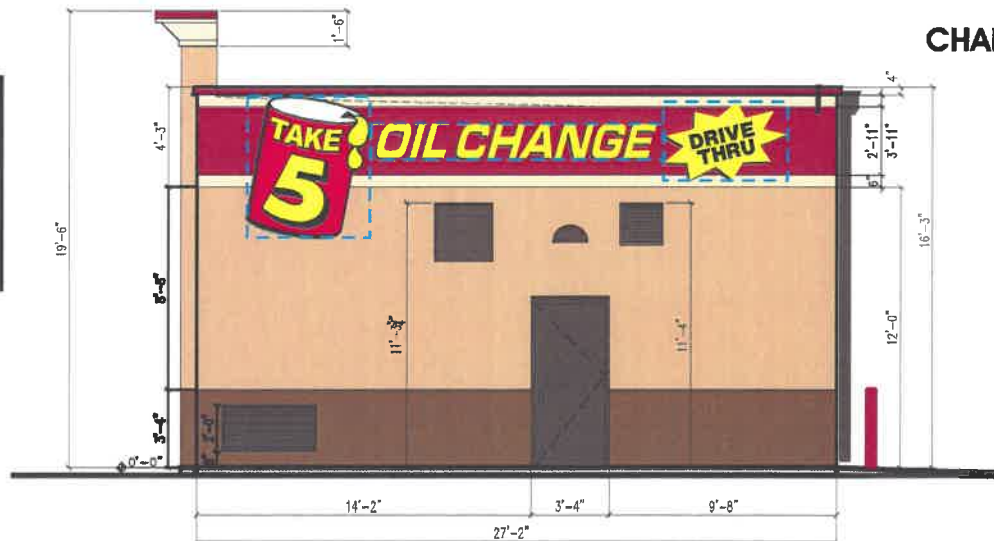
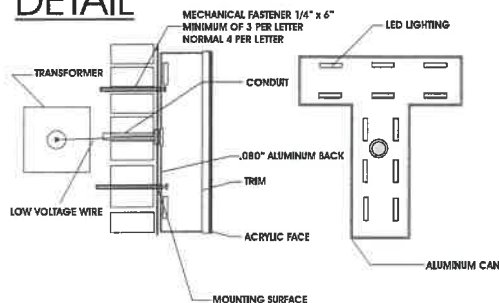
Illumination:

LED

Mounting:

Studded Letters

DETAIL



4
A-200
1/4" = 1'-0"

Owner/Landlord Approval _____

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SIGNS UNLIMITED
communicate your identity

SIDE B ELEVATION

TAKE 5

OIL CHANGE

7536 Brandt Pike
Huber Heights, OH 45424



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NO SIGNAGE

INITIAL LAYOUT:

June 10, 2021

REVISIONS:

I
II
III
IV
V



3
A-200

SOUTH ELEVATION

1/4"=1'-0"

Owner/Landlord Approval _____

SIGNS UNLIMITED
communicate your identity

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DIRECTIONAL SIGNAGE

TAKE 5

OIL CHANGE

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Huber Heights, OH 45424



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PROOF

INITIAL LAYOUT:

June 10, 2021

REVISIONS:

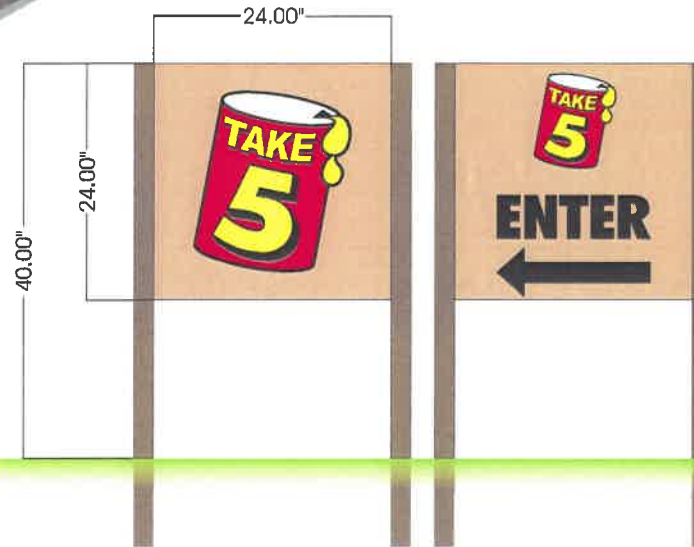
I
II
III
IV
V



SIDE 1

SIDE 2

QTY: 2



SIDE 1

SIDE 2

QTY: 1



SPECIFICATIONS

NON ILLUMINATED DOUBLE-SIDED POST & PANEL

Quantity:

See below

Size:

As in drawing

Material:

Aluminum square tubing and panels

Face Color:

SW 7693 Stonebriar and
as determined by message

Leg Color:

SW 6076 Turkish Coffee

Mounting:

Into Earth

Sq. Ft. Signage:

4.00

Owner/Landlord Approval _____

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POLE MONUMENT

TAKE 5

OIL CHANGE

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Huber Heights, OH 45424



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INITIAL LAYOUT:

June 10, 2021

REVISIONS:

I
II
III
IV
V

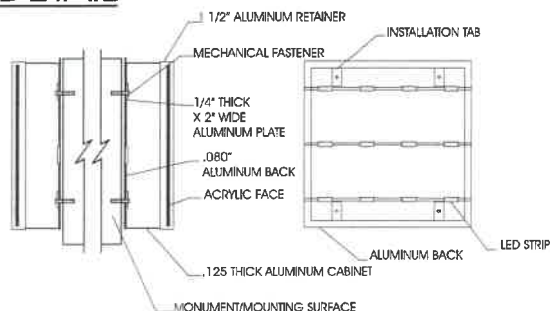
STANDARD
MESSAGES

**SPECIAL
OIL CHANGE
\$9.99**

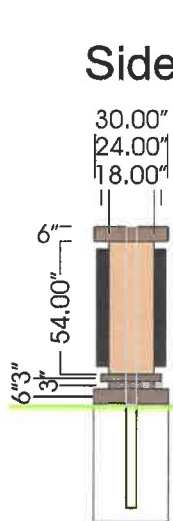
**WE SERVICE
MOST FLEETS**

**ARE YOUR
WIPER BLADES
WORKING**

DETAIL

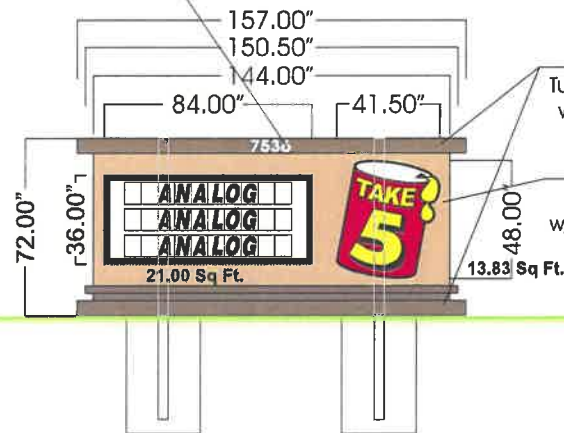


Side



1/2" THICK
5" TALL
PVC ADDRESS

Elevation



PAINTED
Turkish Coffee
w/ a Stucco
Texture

PAINTED
Stonebriar
w/ a Flat/Satin
Finish

THIS SIDE BRANDT PIKE

NOTE: HOLE AND FOOTER DIMENSIONS/SPECIFICATIONS
TO BE DETERMINED BASED ON ENGINEERING

Sq. Ft. Signage:

34.83

Signage Allowance:

75.00 Sq. Ft.

Max Height: 6'

PROOF

NOTE: ENGINEERING
REQUIREMENTS MAY
ALTER FOOTER,
POLE AND PRICE

CHANGEABLE COPY CHARACTER COUNT

EXTRAS TO BE DETERMINED AND ORDERED WITH STANDARD SET
(CANNOT ORDER INDIVIDUAL LETTERS AT A LATER DATE)

200 Piece Set of 8 ON 9 ADM Letters

E	14	F G H M B C D	6 Each
A I	12 Each	J K V W Y Z	4 Each
O U	10 Each	Q X \$ % 0 1 2 3 4 5 6 7 8 9	2 Each
L N R S T P	8 Each		

SPECIFICATIONS

DOUBLE-SIDED
ILLUMINATED
ALUMINUM CABINET
AND CHANGEABLE
COPY READER

Quantity:

See Above

Size:

As in drawing

Face Color:

As in drawing

Vinyl Colors:

As in drawing

Face

Flat

Cabinet Interior:

Gloss White

Cabinet Color:

Black

Retainer:

1.5" & 2.0"

Illumination:

LED

Mounting:

Double-Sided Illuminated Cabinet with 3 Line
Analog Reader Board & installed in ground.

SIGNS UNLIMITED
communicate your identity

Owner/Landlord Approval _____

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SITE PLAN

TAKE 5

OIL CHANGE

7536 Brandt Pike

Huber Heights, OH 45424



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SITE PLAN

INITIAL LAYOUT:

June 10, 2021

REVISIONS:

BRANDT PIKE (S.R.)

CAUTION:
EXISTING
UNDERGROUND UTILITIES

FRONT SIGNAGE:
CAN, "OIL CHANGE • STAY IN YOUR CAR"

REAR SIGNAGE:
"STAY IN YOUR CAR"

ENTER/LOGO
DIRECTIONAL

EXIT/HONK
DIRECTIONAL

15' SETBACK

EXISTING PYLON
TO BE RETROFFITTED

SIDE A SIGNAGE:
CAN, "OIL CHANGE" & BURST

ENTER/LOGO
DIRECTIONAL

SIGNS UNLIMITED
communicate your identity

Owner/Landlord Approval _____

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AI-7918

9.

Planning Commission

Meeting Date: 10/26/2021

MINUTES

Information

Agenda Title

Approval of Minutes

Purpose and Background

Attachments

No file(s) attached.
