



AGENDA CITY PLANNING COMMISSION

**City Hall - Council Chambers
6131 Taylorsville Road
December 14, 2021
6:00 P.M.**

1. Call Meeting To Order
2. Roll Call
3. Opening Remarks By The Chair and Commissioners
4. Citizens Comments
5. Swearing of Witnesses
6. Pending Business
 - A. None
7. New Business
 - A. MAJOR CHANGE - The applicant, KIRMON KHALILOV, is requesting a Major Change to the Basic and Detailed Development Plan in a Planned Commercial District for 2.55 acres at 5840 Old Troy Pike (ZC 21-45).
 - B. REZONING - The applicant, Campbell Berling, is requesting approval of a Rezoning and Basic Development Plan to PR (Planned Residential) for property located on the East side of Bellefontaine and South of Chambersburg Road (ZC 21-47).
 - C. DETAILED DEVELOPMENT PLAN - The applicant, RJK ASSOCIATES, Inc., is requesting approval of a Detailed Development Plan for 8.755 acres at 5060 US Route 40 (ZC 21-46).

- D. DETAILED DEVELOPMENT PLAN - The applicant, GILLIGAN OIL COMPANY, is requesting approval of a Detailed Development Plan for 1.84 acres for property located at the Northeast corner of Taylorsville Road and Old Troy Pike (ZC 21-49),
 - E. MINOR CHANGE - The applicant, KAP SIGNS, is requesting approval of a Minor Change for signage for property at 6170 Brandt Pike (ZC 21-48).
8. Additional Business
- A. Approval of 2022 Meeting Schedule
9. Approval of Minutes
- A. Planning Commission September 28, 2021
 - B. Planning Commission November 9, 2021
10. Reports and Calendar Review
11. Upcoming Meetings
- A. January 11, 2022
January 25, 2022
12. Adjournment

AI-7992

7. A.

Planning Commission

Meeting Date: 12/14/2021

MAJOR CHANGE

Information

Agenda Title

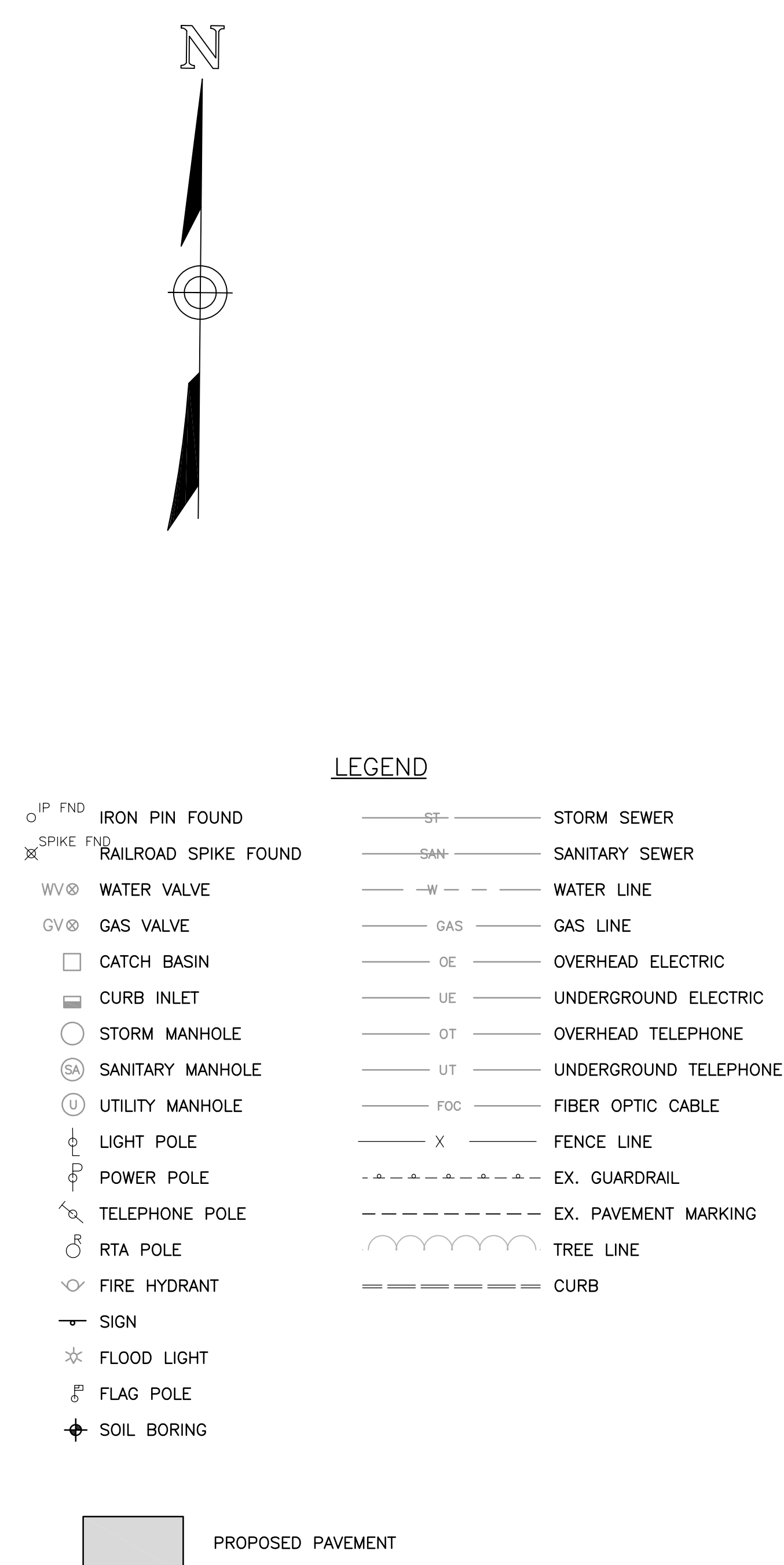
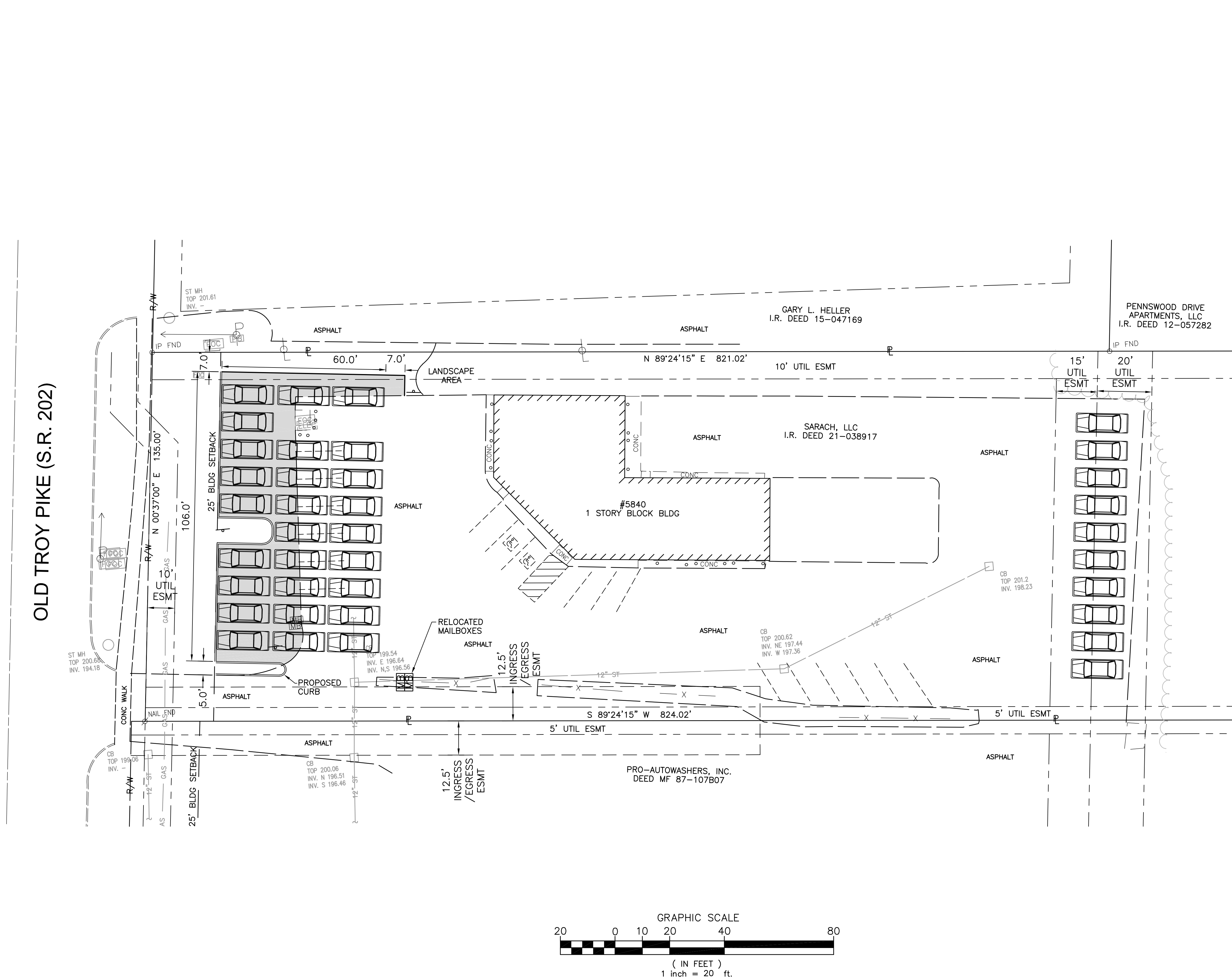
MAJOR CHANGE - The applicant, KIRMON KHALILOV, is requesting a Major Change to the Basic and Detailed Development Plan in a Planned Commercial District for 2.55 acres at 5840 Old Troy Pike (ZC 21-45).

Purpose and Background

Attachments

Site Plan

Fire Assessment





Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Sarach – Proposed Car Lot		
Occupancy Address:	5840 Old Troy Pike		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-232
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	11/22/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted.

Requirements: (Site Plan)

- **Driveways are existing and acceptable and appear to meet Ohio Fire Code requirements for turn radius. Parked cars shall not block fire department access.**
- **A certificate of occupancy shall be applied for with Montgomery County Building Regulations, along with a permit application for any modifications to the building.**

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-8002

7. B.

Planning Commission

Meeting Date: 12/14/2021

REZONING AND A BASIC DEVELOPMENT PLAN

Information

Agenda Title

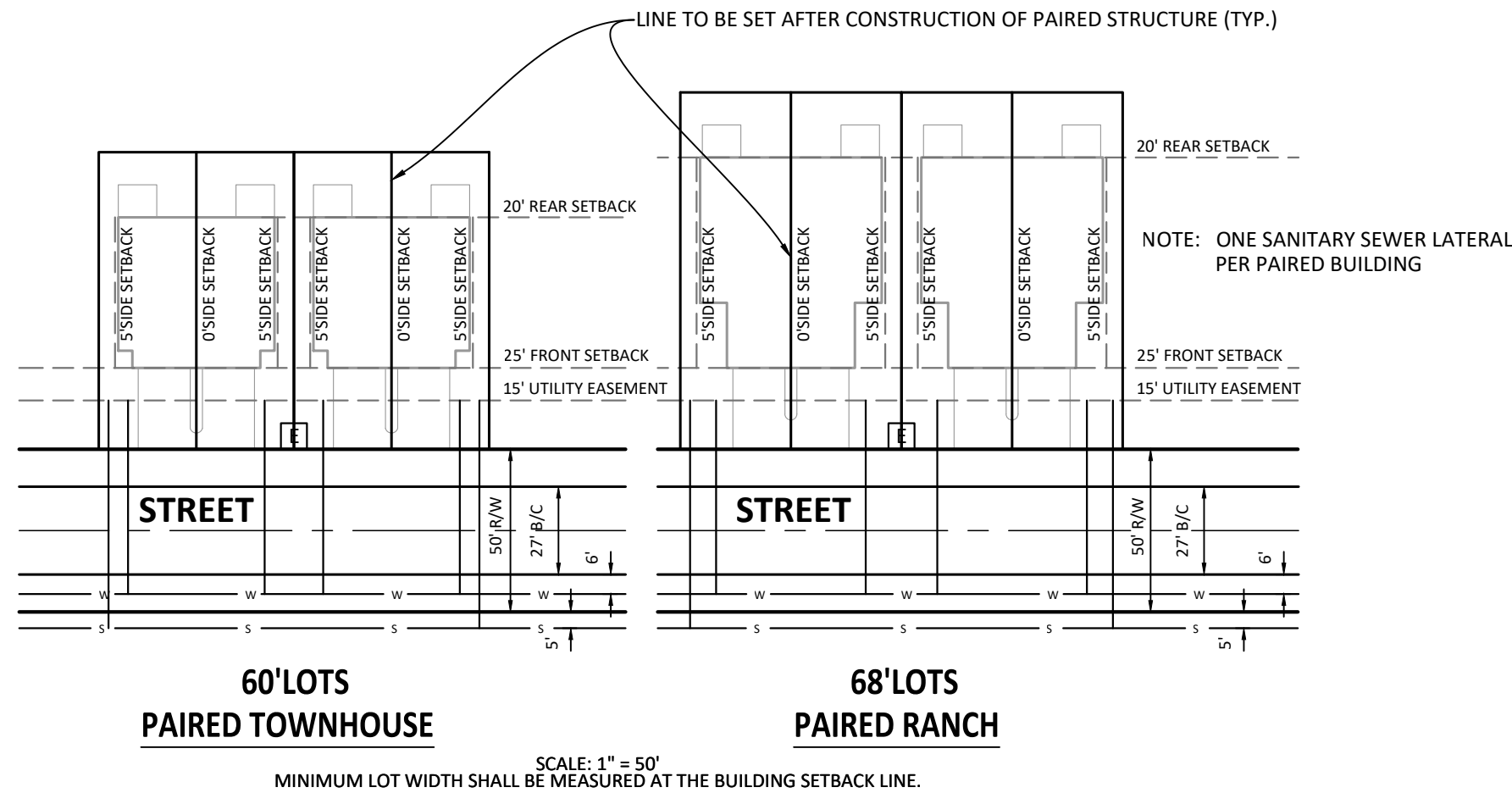
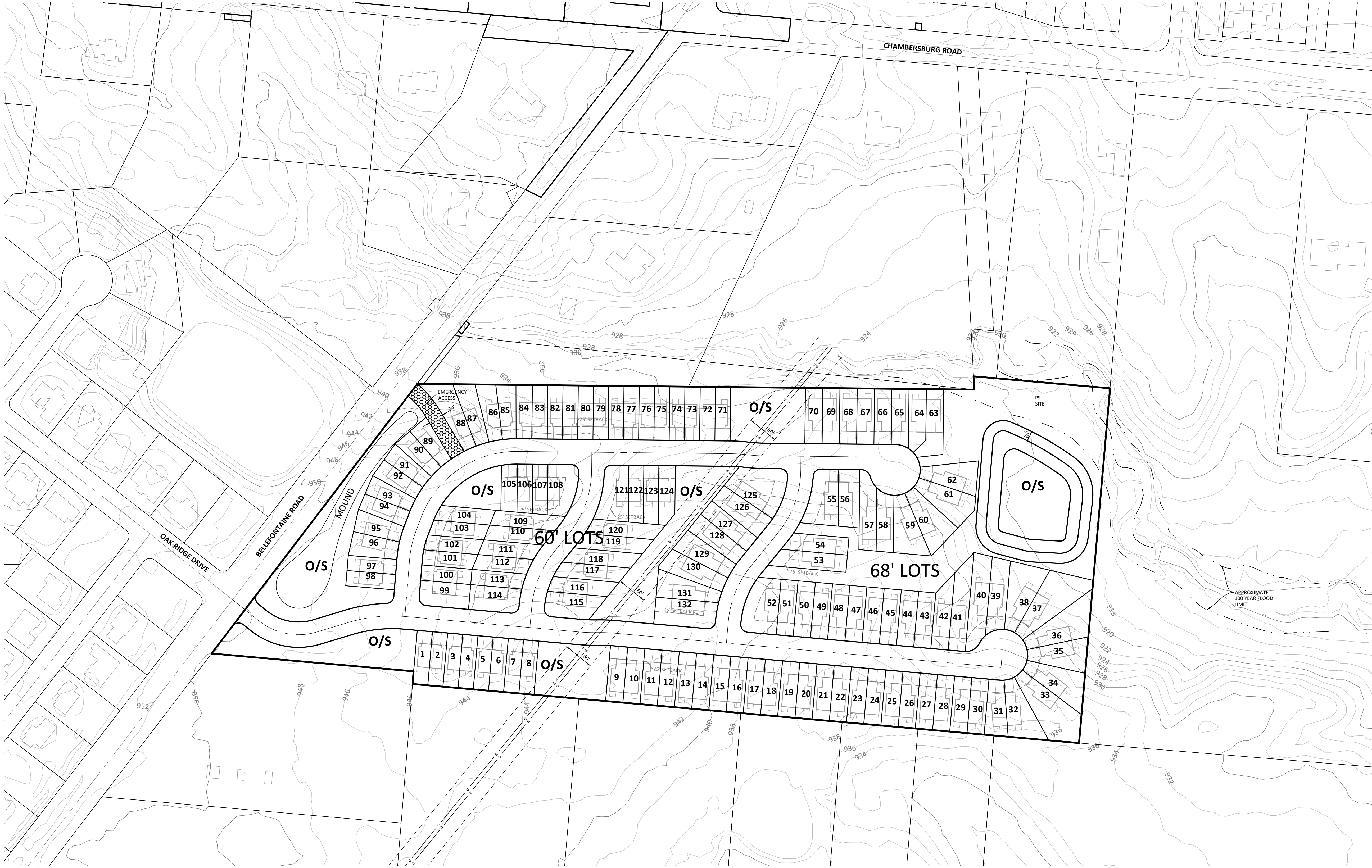
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Purpose and Background

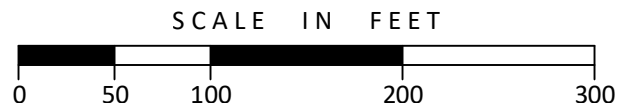
Attachments

Drawing

N:\land projects\20632\dwg\20632004-CON-04.dwg, 60 ft. Concept Plan, 10/28/2021 8:14:02 AM, gregoryh, 1:1



PROPOSED ZONE: PLANNED RESIDENTIAL
PROPOSED USE: PAIRED RANCH/TOWNHOUSE
MIN LOT AREA: 5,000 SF (2 UNITS)
MIN LOT WIDTH: 60 FT (2 UNITS)
NUMBER OF 60' LOTS: 31
NUMBER OF 68' LOTS: 35
NUMBER OF UNITS: 132
CENTERLINE LENGTH OF STREET: 3,564 FT



1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

Project Manager RA
Drawn By GFH
DWG 20632004-CON-04
X-Ref(s) N/A

Issue/Revision	No.	Date

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STORCK PROPERTY HUBER HEIGHTS, OHIO

AI-7993

7. C.

Planning Commission

Meeting Date: 12/14/2021

DETAILED DEVELOPMENT PLAN

Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, RJK ASSOCIATES, Inc., is requesting approval of a Detailed Development Plan for 8.755 acres at 5060 US Route 40 (ZC 21-46).

Purpose and Background

Attachments

Drawings

Fire Assessment



DETAILED DEVELOPMENT PLAN SET FOR PLANNED UNIT DEVELOPMENT

PARCEL P48-250161
8.755 ACRE TRACT
E US RT 40
CITY OF HUBER HEIGHTS
MIAMI COUNTY OHIO

DEVELOPER / CONTRACTOR

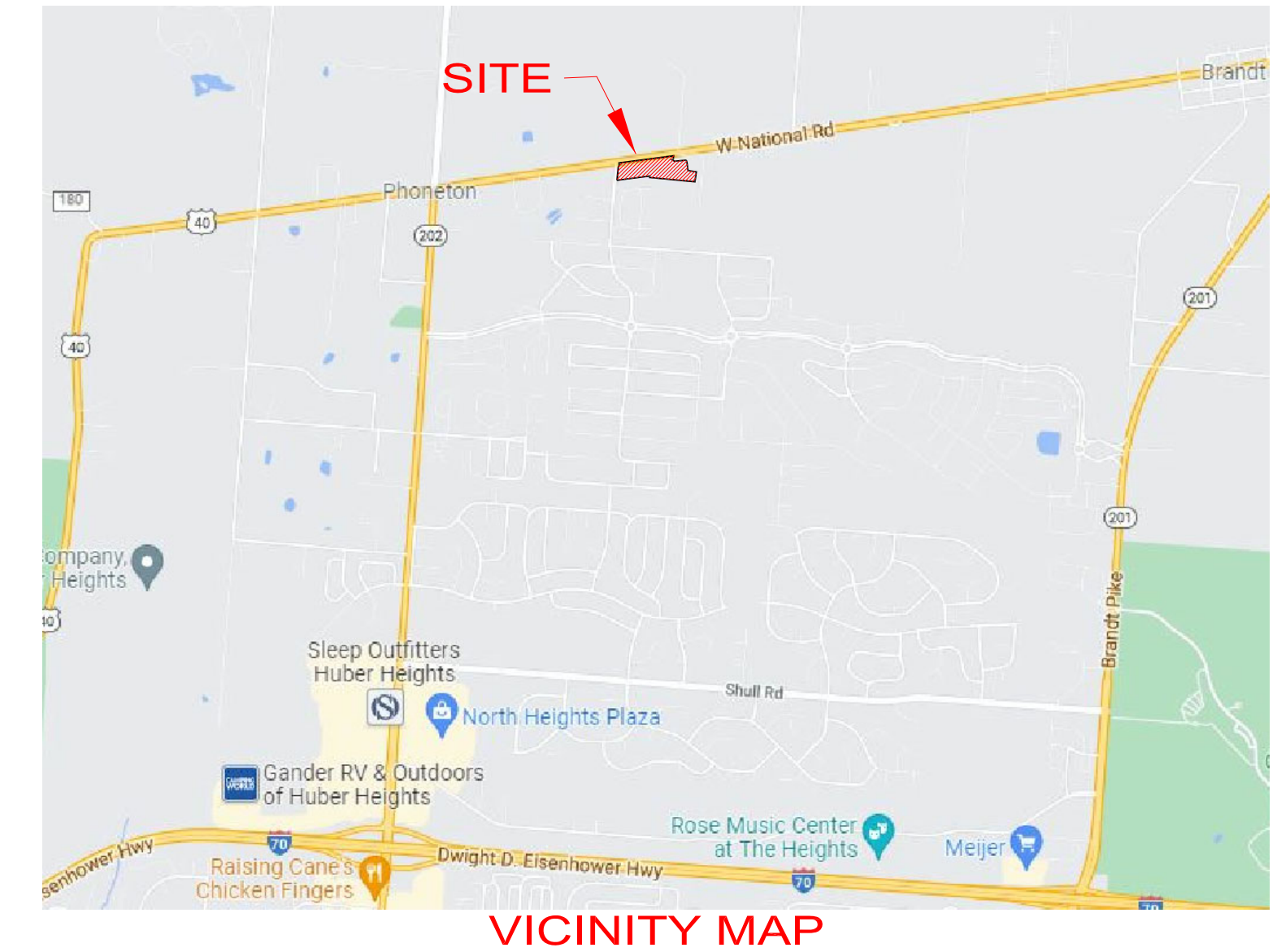
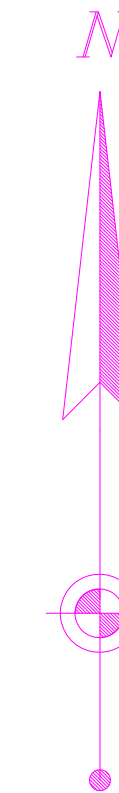
RJK ASSOCIATES INC.
6257 SPRINGDALE ROAD
CINCINNATI, OHIO 45247

513-741-1400
513-741-4479 FAX

SURVEYOR / ENGINEER

THOMAS GRAHAM ASSOCIATES INC.
903 COMPTON ROAD
CINCINNATI, OHIO 45231

513-521-4760



SHEET INDEX

1. COVER SHEET
2. PUD LAYOUT
3. EXISTING CONDITIONS PLAN
4. SITE LAYOUT PLAN
5. SITE GRADING PLAN
6. SITE DRAINAGE PLAN
7. LANDSCAPING PLAN
8. SITE PHOTOMETRIC PLAN
9. SITE FIRE PROTECTION PLAN
10. OFFICE AND BUILDING 200 ELEVATIONS
11. BUILDING 100 AND 300 ELEVATIONS
12. BUILDING 400 AND 500 ELEVATIONS
13. BUILDING 600 ELEVATIONS

RJK
ASSOCIATES
INCORPORATED

6257 SPRINGDALE ROAD
Cincinnati, Ohio 45247
(513) 741-1400
Fax # 741-4479

Date: AUGUST 30, 2021

Scale: 1" = 60'

Job No: _____

Revisions

No.	Date	TYPE
1.	11/5/21	REVISED DR.

BEARCAT SELF STORAGE

US RT 40 E
HUBER HEIGHTS / MIAMI COUNTY, OHIO

PROPERTY OWNER

CORRIDOR DEVELOPMENT
6375 RIVERSIDE DR SUITE 200
DUBLIN OH 43017

CONTRACTOR

RJK ASSOCIATES INC.
6257 SPRINGDALE RD
CINCINNATI, OHIO 45247
513-741-1400 FAX 741-4479

Drawn By: _____

Sheet

THIS DRAWING AND ALL ORIGINAL DESIGN
WORK CONTAINED HEREIN REPRESENTS
THE UNPUBLISHED WORK OF RJK &
ASSOCIATES AND IS INTENDED SOLELY
FOR USE RELATED TO THE PROJECT
LISTED HEREIN AND SHALL NOT BE
REPRODUCED IN ANY FASHION WITHOUT
THE EXPRESSED WRITTEN CONSENT OF
RJK & ASSOCIATES.

COPYRIGHT 2021

Scale: $1'' = 60'$

Job No: _____

No	Date	TYPE
----	------	------

1.	11/5/21	REVISED DE
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PUD LAYOUT PLAN BEARCAT SELF STORAGE

US RT 40 E
HUBER HEIGHTS / MIAMI COUNTY OHIO

PROPERTY OWNER

CORRIDOR DEVELOPMENT
6375 RIVERSIDE DR SUITE 200
DUBLIN OH 43017

CONTRACTOR

RJK ASSOCIATES INC.
6257 SPRINGDALE RD
CINCINNATI, OHIO 45247
513-741-1400 FAX 741-4479

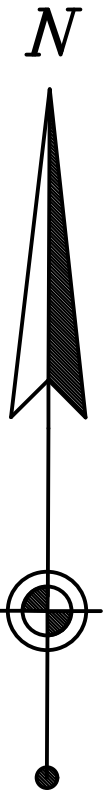
Drawn By:

Sheet



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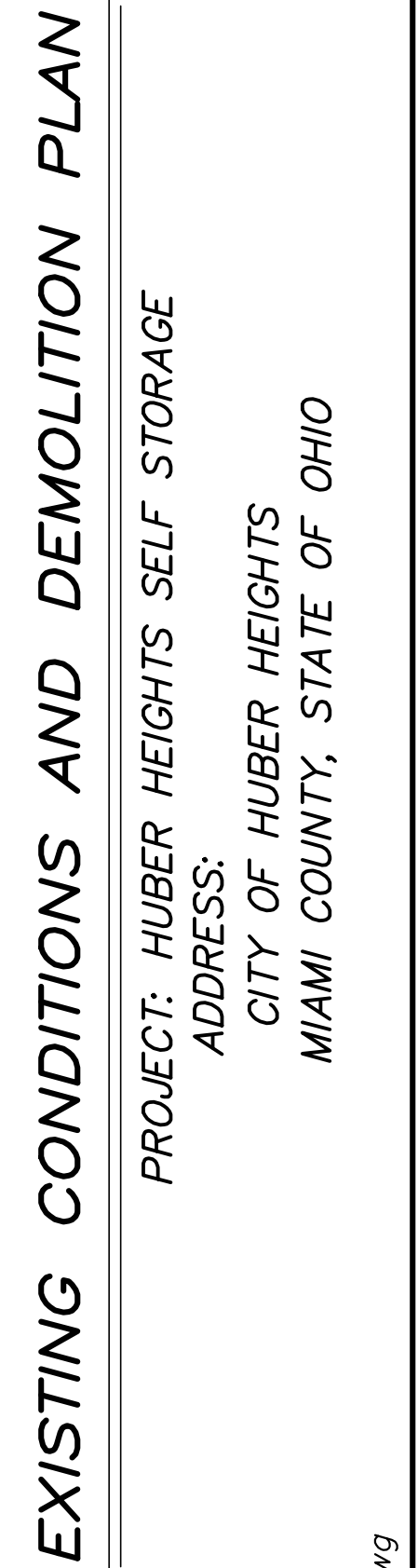
COPYRIGHT



Date: MAY 21, 2021
Scale: 1" = 50'
Job No: 8323

Revisions	
No.	Date

✕ INDICATES EXISTING FEATURE TO BE REMOVED

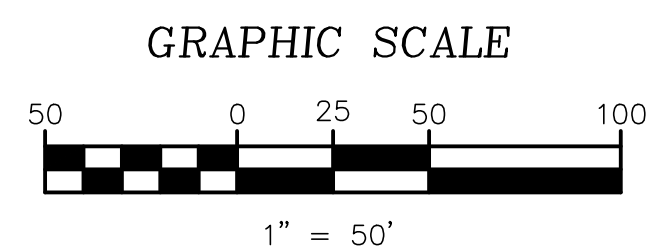




1. INSTALL ALL SIGNS WHERE INDICATED ON SITE PLAN.
2. ADJUST MOUNTING HEIGHTS TO MEET LOCAL CODES WHERE APPLICABLE.
3. SET ALL POSTS IN 10" DIAMETER X 30" DEEP CONCRETE FOUNDATION.
4. 4" X 6" CONCRETE FILLED SCHEDULE 40 STEEL POST CENTERED IN FOUNDATION, PAINTED YELLOW, SEE SPECS.
5. 2 1/4" WIDE X 6" LONG U-CCHANNEL POST WITH BAKED ON GREEN ENAMEL FINISH.
6. LIGHT DUTY - LANDSCAPED AREAS AND AREAS NOT SUBJECT TO VEHICULAR TRAFFIC.
HEAVY DUTY - PAVED AREAS AND AREAS SUBJECT TO VEHICULAR TRAFFIC OR NOT PROTECTED IN LANDSCAPED AREAS.



1. INSTALL ALL SIGNS WHERE INDICATED ON SITE PLAN.
2. ADJUST MOUNTING HEIGHTS TO MEET LOCAL CODES WHERE APPLICABLE.
3. SET ALL POSTS IN 10" DIAMETER x 36" DEEP CONCRETE FOUNDATION.
4. 4" x 6'-0" CONCRETE FILLED STEEL POST BAKED IN FOUNDATION, PAINTED YELLOW, SEE SPECS SCHEDULE 40
5. 2 1/4" WIDE x 6'-0" LONG U-CHANNEL POST WITH COATED ON GREEN ENAMEL FINISH.



803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date: JUNE 24, 2021

Scale: $1'' = 50'$

Job No: 8323

Revisions

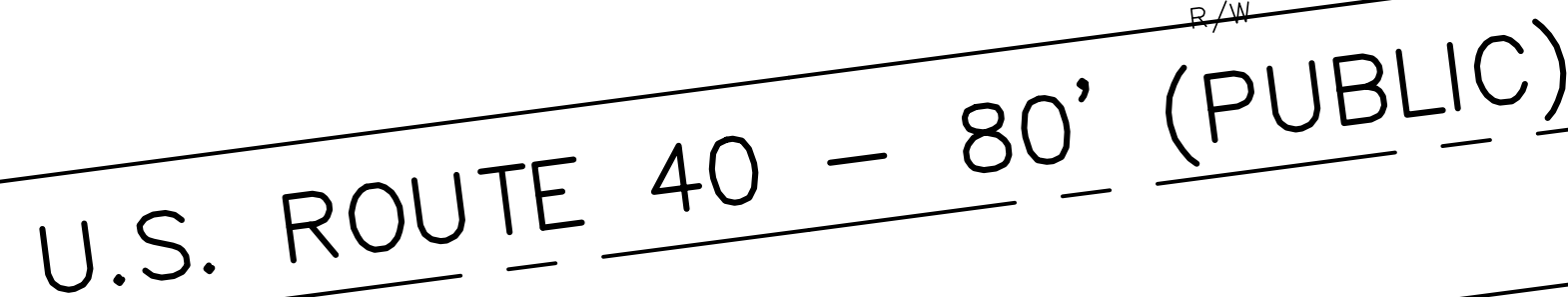
No.	Date
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The utility information shown on this plat, prepared by Thomas Graham Associates, Inc., was obtained from existing records. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.

UNDERGROUND UTILITIES

Ohio Utilities Protection Service
Call 811
before you dig

**NON-MEMBERS MUST BE
CALLED DIRECTLY**



PROPOSED CONDITIONS LEGEND

- SS — INDICATES 6" SANITARY SERVICE
(6" PVC SDR-35 @ 2% MIN. SLOPE W/ CLEANOUTS @ 100' MAX).
- D — INDICATES NEW DOMESTIC WATER LINE (CONFIRM W/ ARCH)
- E — INDICATES PROPOSED CONDUIT FOR ELECTRIC SERVICE
- T — INDICATES PROPOSED CONDUIT FOR
TELEPHONE/COMMUNICATION SERVICE
- CONDUIT — INDICATES NEW CONDUIT FOR MONUMENT & PYLON SIGN
(1) 2" SDR-11 & 4" PVC CONDUIT
(CONFIRM WITH ARCH)
- INDICATES NEW LIGHT POLE
(REFER TO SITE PHOTOGRAPHIC PLAN FOR DETAILS)

UTILITY	TYPICAL DEPTH
GAS	36"
WATER	54" (MONTGOMERY COUNTY)
ELECTRIC	30"
TELEPHONE	30"
CABLE TV	30"

IF CONFLICT OCCURS BETWEEN UTILITIES SHOWN ABOVE AND THE GRAVITY SYSTEMS INCLUDING SANITARY AND STORM SEWERS, THE CONTRACTOR IS TO ADJUST THE UTILITIES LISTED ABOVE AS NEEDED.

SITE LAYOUT PLAN

PROJECT: HUBER HEIGHTS SELF STORAGE

ADDRESS:
CITY OF HUBER HEIGHTS
MIAMI COUNTY, STATE OF OHIO

ACAD FILENAME: 8323_HUBER_HTS_OH_BASE.dwg

Sheet 4 OF 13

C1.C

Job No: 8323-2021

NOTES:

1. Topographic information — As follows:

- A. Existing grades are indicated on the drawings. Contractor shall be responsible for becoming completely familiar with present site conditions and shall be responsible for reporting any discrepancy in the information to Thomas Graham Associates, Inc. immediately for decision, prior to starting work.
- B. Proposed finish grades as indicated are to surface elevation of finished work. See appropriate detail to determine subgrade elevations.
2. Check exact location of existing active sewers, electric and other utility services on the job site with a representative of the utility company or agency involved. When encountered in work, protect these utilities and keep them from damage. Where required for proper execution of work, relocate them as directed by the appropriate agency.
3. Contractor shall become completely familiar with the soil report prior to beginning any work and shall follow recommendations of the Geotechnical Engineer
4. Contractor shall be responsible for keeping neighboring streets clean and free of mud and debris.
5. Records of sediment control inspections made according to the General Permit Requirements must be maintained and made available upon request.
6. Adjust valve boxes, F.H., Lids etc. to new grades

KEYNOTES

1. EROSION AND SEDIMENT CONTROLS NEED TO BE ESTABLISHED AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN. SPECIFICALLY, A SILT FENCE SHOULD BE USED AS A TEMPORARY MEASURE AGAINST SILT WASH INTO THE ADJACENT LAND UNTIL VEGETATIVE COVER CAN BE ESTABLISHED AND THE PERMANENT SLOPE HAS BEEN CONSTRUCTED. SEE SHEET ECG.1 AND ECG.2 FOR DETAILS OF EROSION AND SEDIMENTATION CONTROL.
2. SLOPES IN ACCESSIBLE AREAS SHALL BE PER ICC/ANSI A1171 REQUIREMENTS. 2% MAX IN ALL DIRECTIONS IN PARKING AREAS AND 2% CROSS SLOPES AND 5% MAX RUNNING SLOPE ALONG ROUTES.
3. SEE LANDSCAPE PLAN (BY OTHERS) FOR DETAILS OF LANDSCAPED AREAS.
4. EARTHWORK, WATER LINE, AND STORM SEWER INSTALLED PER PLANS FOR 4420 DISPLAY LANE

NOTE:

REMOVE ALL EXISTING TREES, SHRUBS AND LANDSCAPE MATERIALS UNLESS NOTED OTHERWISE. ADJUST ALL EXISTING MANHOLES, VALVES, CLEAN OUTS, ETC. TO NEW GRADES AS NEEDED.

PROPOSED CONDITIONS LEGEND

- INDICATES LIMITS OF DISTURBANCE — — — — —
- INDICATES EXISTING CONTOUR — — — — — 996
- INDICATES PROPOSED CONTOUR — — — — — 994
- INDICATES PROPOSED PAVEMENT GRADE ELEVATION + 994.00
- INDICATES PROPOSED DIRECTION OF DRAINAGE FLOW — — — — —

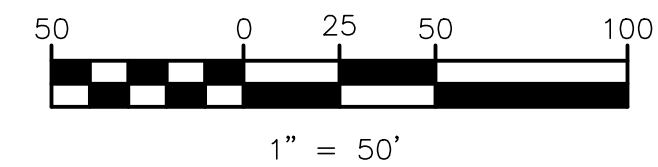
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UNDERGROUND UTILITIES

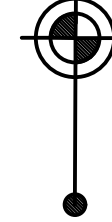
Ohio Utilities Protection Service
Call 811
before you dig

NON-MEMBERS MUST BE
CALLED DIRECTLY

GRAPHIC SCALE



N



tga
THOMAS
GRAHAM
ASSOCIATES, INC.

- Engineers
- Surveyors

803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date: OCT. 28, 2021

Scale: 1" = 50'

Job No: 8323

Revisions

No.	Date
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SITE GRADING PLAN

PROJECT: HUBER HEIGHTS SELF STORAGE

ADDRESS:

CITY OF HUBER HEIGHTS
MIAMI COUNTY, STATE OF OHIO

ACAD FILENAME: 8323_HUBER_HTS_OH_BASE.dwg

Sheet 5 OF 13
C2.0

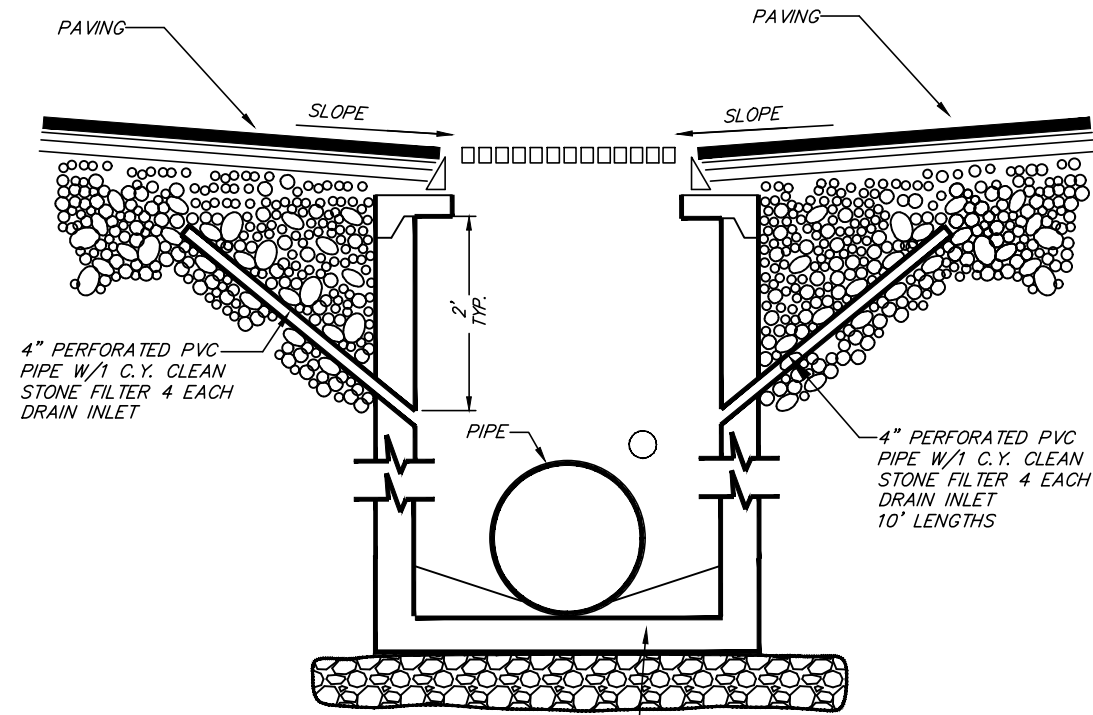
Job No: 8323-2021

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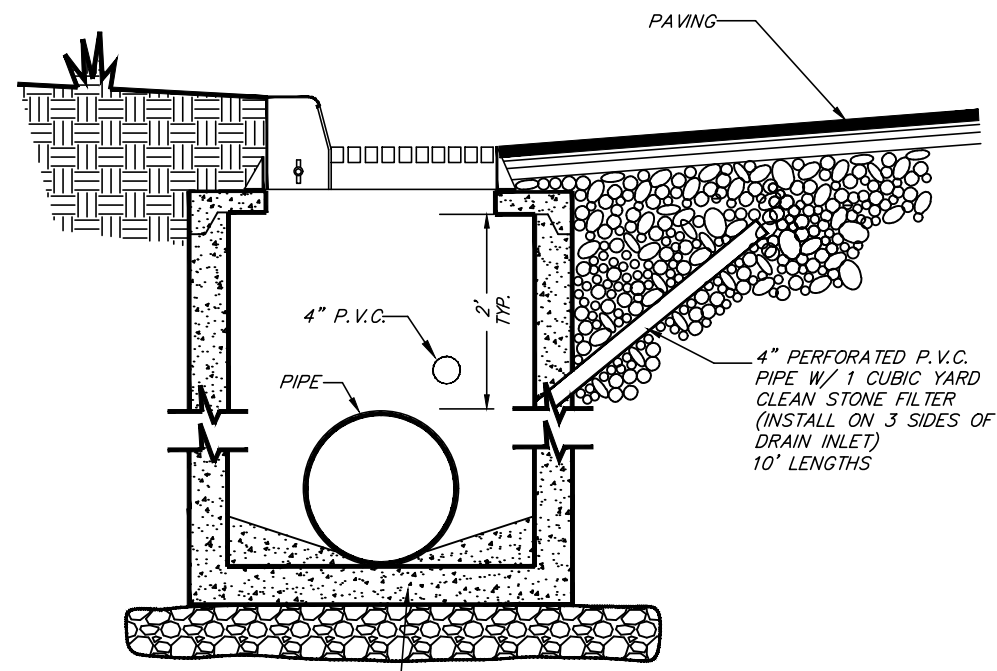


NON-MEMBERS MUST BE CALLED DIRECTLY



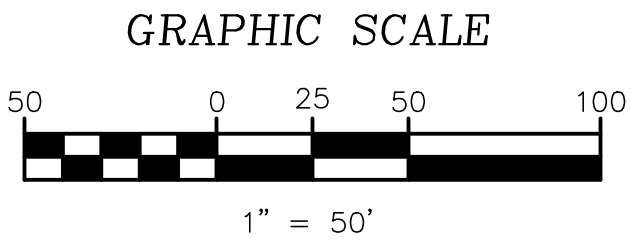
AGGREGATE BASE DRAINAGE DETAIL #1

N.T.S.



AGGREGATE BASE DRAINAGE DETAIL #2

N.T.S.

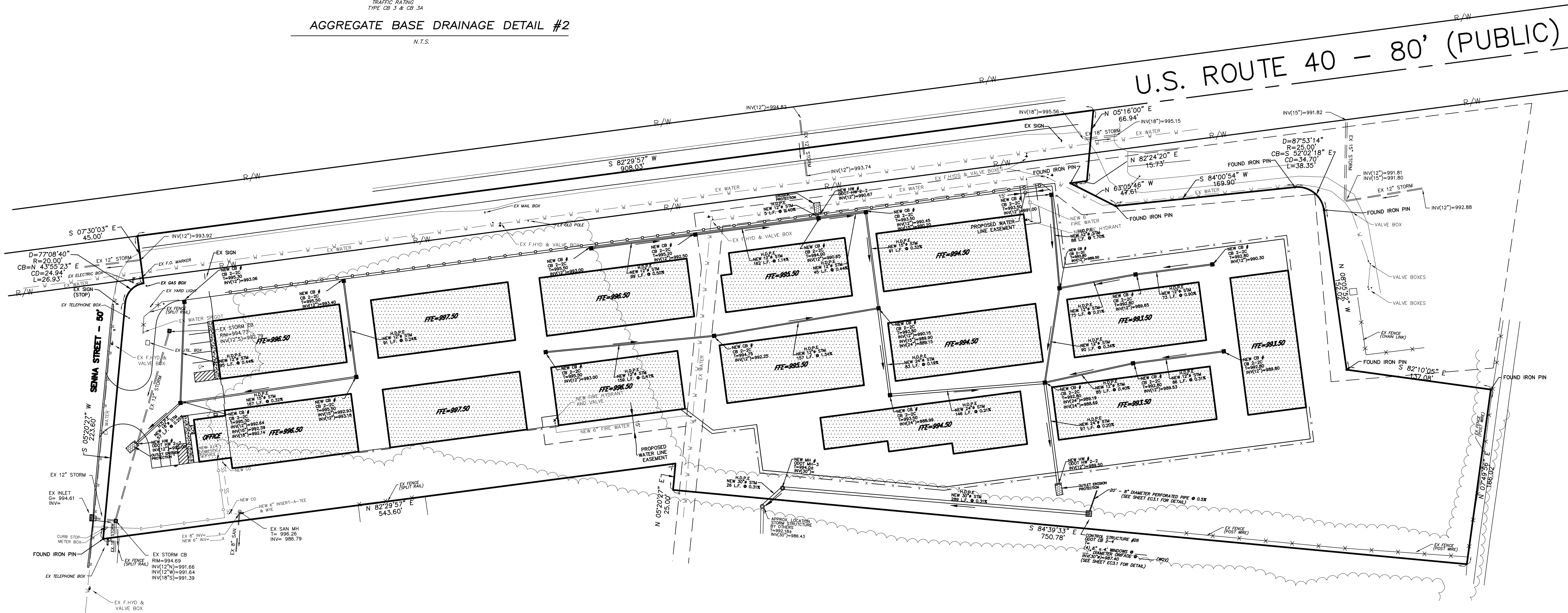


GENERAL NOTES

- ALL DOWNSPOUTS ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL PLUMB DOWNSPOUTS WITH 6"Ø PVC SDR-35 PIPE TO THE NEAREST DOWNSPOUT HEADER PIPE OF STORM SEWER PIPE. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS AND CONNECTION DETAILS.
- 6"Ø AND 8"Ø STORM (PVC SDR-35) FOR DOWNSPOUT SHALL BE AT 1.00% MINIMUM SLOPE.

KEYNOTES

- TYPICAL FINGER AGGREGATE DRAINAGE FOR ALL CATCH BASINS. SEE AGGREGATE BASE DRAINAGE DETAILS ON THIS SHEET



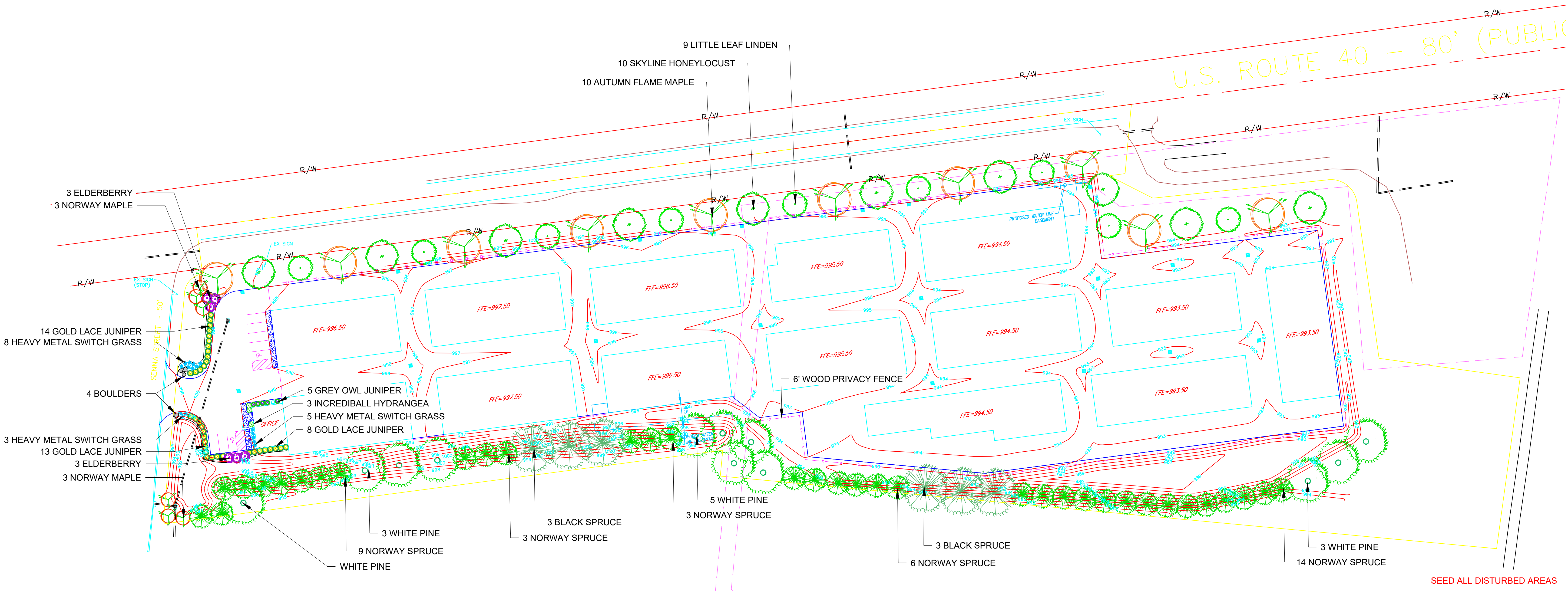
UTILITY INSTALLATION TABLE

UTILITY	TYPICAL DEPTH
GAS	36"
WATER	54" (MONTGOMERY COUNTY)
ELECTRIC	30"
TELEPHONE	30"
CABLE TV	30"

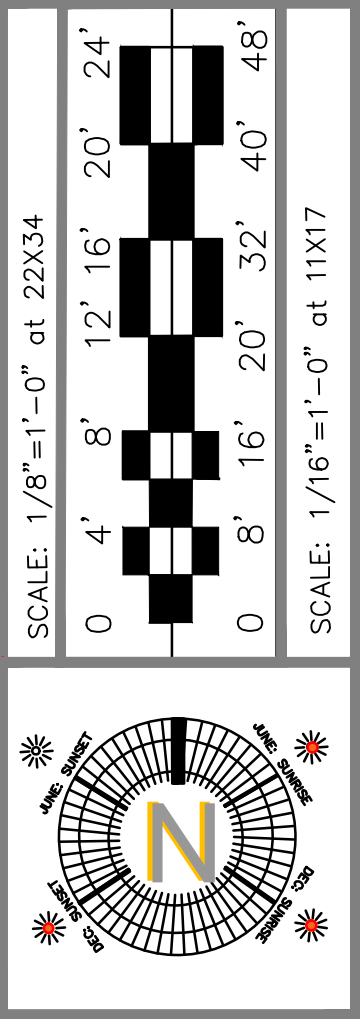
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SITE DRAINAGE PLAN

PROJECT: HUBER HEIGHTS SELF STORAGE
ADDRESS:
CITY OF HUBER HEIGHTS
MIAMI COUNTY, STATE OF OHIO



HUBER HEIGHTS STORAGE			
PLANT KEY			10/29/2021
QNT	SIZE	COMMON	LATIN
6	2.5 in	Norway Columnar Maple	Acer platanoides 'Columnar'
10	2.5 in	Autumn Blaze Maple	Acer rubrum 'Autumn Blaze'
10	2.5 in	Skyline Honeylocust	Gleditsia triacanthos inermis 'Skyline'
9	2 in	Black Gum Wildfire	Nyssa sylvatica 'Wildfire'
35	6'	Norway Spruce	Picea abies
6	6'	Black Spruce	Picea mariana
12	6'-7'	White Pine	Pinus strobus
3	5 gal	Incrediball Hydrangea	Hydrangea arborescens "Incrediball"
6	5 gal	Black Beauty Elderberry	Sambucus nigra 'Black Beauty'
35	3 gal	Gold Lace Juniper	Juniperus chinensis 'Gold Lace'
5	3 gal	Grey Owl Juniper	Juniperus virginiana 'Grey Owl'
16	3 gal	Heavy Metal Switch Grass	Panicum virgatum 'Heavy Metal'



GAYLE A. FRAZER
REGISTERED LANDSCAPE ARCHITECT
© 1999-2008 GAYLE A. FRAZER ARCHITECTS, INC. 1077 BRIDGE STREET, SUITE 200, COLUMBUS, OHIO 43260

RJK & ASSOCIATES
HUBER HEIGHTS
SELF-STORAGE

LANDSCAPE PLAN
SCALE AT 22X34:
1/8"=1'-0"
SCALE AT 11X17:
1/16"=1'-0"
10/29/2021

REVISIONS:
L1

Date: AUGUST 30, 2021

Scale: 1" = 60'

Job No: _____

Revisions

No.	Date	TYPE
1.	11/9/21	REVISED DR.

PHOTOMETRIC PLAN BEARCAT SELF STORAGE

US RT 40 E
HUBER HEIGHTS / MIAMI COUNTY, OHIO

PROPERTY OWNER

CORRIDOR DEVELOPMENT
6375 RIVERSIDE DR SUITE 200
DUBLIN, OH 43017

CONTRACTOR

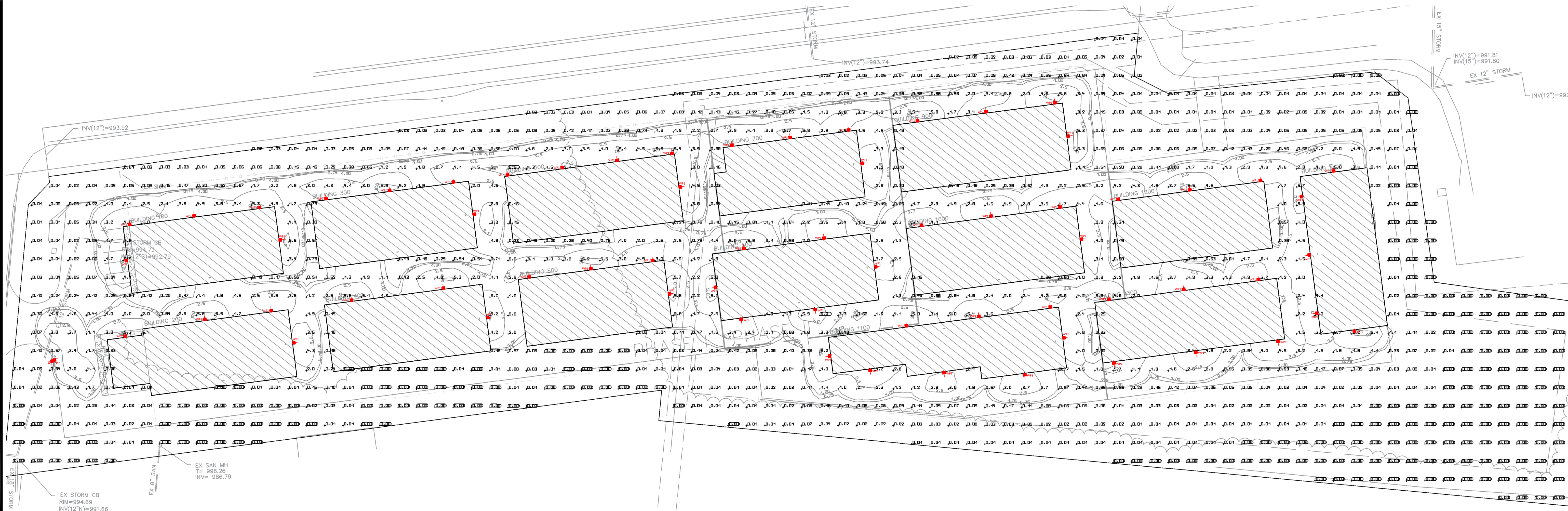
RJK ASSOCIATES INC.
6257 SPRINGDALE RD
CINCINNATI, OHIO 45247
513-741-1400 FAX 741-4479

Drawn By: _____

Sheet

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HUBBELL
Outdoor Lighting

RATIO Wall

RWL1/RWL2 LED WALLPACK

FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, Wiscap and 7-pin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 3500lm and 5500lm configurations at 4000K



CONTROL TECHNOLOGY

SiteSign™
NX DISTRIBUTED INTELLIGENCE™
wISCAP®

SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating
- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 160 mid-power LEDs
- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions. Type II only available in RWL2 configurations

INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct box mount
- Integral back box contains 12" conduit hub
- Integral back box standard with Dual Driver, Dual Power Feed, NX, Wiscap and battery versions battery versions for RWL1 only
- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimming driver option for all wattages above 35W

Page 8/7 Rev. 06/30/21
RWL10-SPC

© 2021 Hubbell Outdoor Lighting, a division of Hubbell Lighting Inc. Specifications subject to change without notice.
701 Main Street, Shelton, CT 06484-0001 Website: www.hubbelloutdoor.com

HUBBELL
Lighting

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #:



RELATED PRODUCTS

Ratio Family Ratio Area Ratio Flood

PHOTOMETRY
RATIO BROCHURE
HARDWARE REF. PAGE
INSTALLATION INSTRUCTIONS

HUBBELL
Outdoor Lighting

RATIO WALL

RWL1/RWL2 LED WALLPACK

ORDERING GUIDE

CATALOG # RWL1-48L-35-4K7-3-U

Example: RWL1-48L-10-3K7-2-UNV-BLS-E

ORDERING INFORMATION

RWL1	48L-35	4K7	3	UNV	
Series	# LEDs - Wattage	CCT/CRI	Distribution	Voltage	Color
RWL1 Ratio Wall 1	48L-10 1000 Lumens ¹ 48L-15 2000 Lumens ¹ 48L-20 2500 Lumens ¹ 48L-25 3500 Lumens ¹ 48L-35 4500 Lumens ¹ 48L-45 6500 Lumens ¹ 160L-45 6500 Lumens ¹ 160L-50 7500 Lumens ¹ 160L-65 9500 Lumens ¹ 160L-80 10000 Lumens ¹ 160L-95 12000 Lumens ¹ 160L-115 15000 Lumens ¹ 160L-135 17500 Lumens ¹ 160L-155 19500 Lumens ¹	3K7 3000K 70 CRI 4K7 4000K 70 CRI 5K7 5000K 70 CRI	2 IES TYPE II 3 IES TYPE III 4W IES TYPE IV	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth LGT Light Grey Matte Textured PSS Platinum Silver Smooth WHT White Matte Textured VHS White Gloss Smooth VGT Verde Green Textured
RWL2 Ratio Wall 2					Color Option CC Custom Color

Control Options Network	Options
NOWE NX Wireless Enabled (module + radio) ²	F Fusing ³
NNSPW_F NX Wireless, PR Occ Sensor Daylight Harvesting ⁴	E Emergency Battery Backup ⁵
NNSP_F NX PR Occ Sensor Daylight Harvesting ⁴	EH Emergency Battery w/ Heater Option ⁶
WIR Wireless Control, wISCAP ⁷	2DR Dual Driver ⁸
Stand Alone Sensor	2PF Dual Power Feed ⁹
SCPF Remote control programmable line voltage sensor ¹	PC Button Photocontrol ¹⁰
SCPF2PF Remote control programmable line voltage sensor ¹	
Control Options	
7PPL 7-Pin Photocontrol ¹¹	

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Finish
RWL1-48L-25-4K3	3500lm	25	48L	4000K/70CRI	120-277V	Type II	Dark Bronze Textured
RWL1-48L-25-4K-4W	3500lm	25	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured
RWL1-48L-45-4K3	5500lm	45	48L	4000K/70CRI	120-277V	Type II	Dark Bronze Textured
RWL1-48L-45-4K-4W	5500lm	45	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured

CONTROLS

Control Options
Standard
SCPF/SCPF2PF Order at least one per project location to program and control

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
WB-BB-XXX	Accessory for conduit entry ¹

Notes:
1 - replace "xxx" with color option

Page 8/7 Rev. 06/30/21
RWL10-SPC

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701 Main Street, Shelton, CT 06484-0001 Website: www.hubbelloutdoor.com

HUBBELL
Lighting

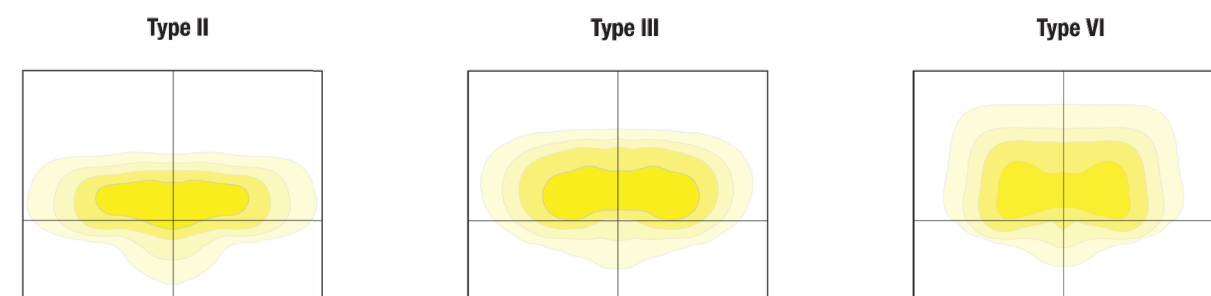
HUBBELL
Outdoor Lighting

RATIO WALL

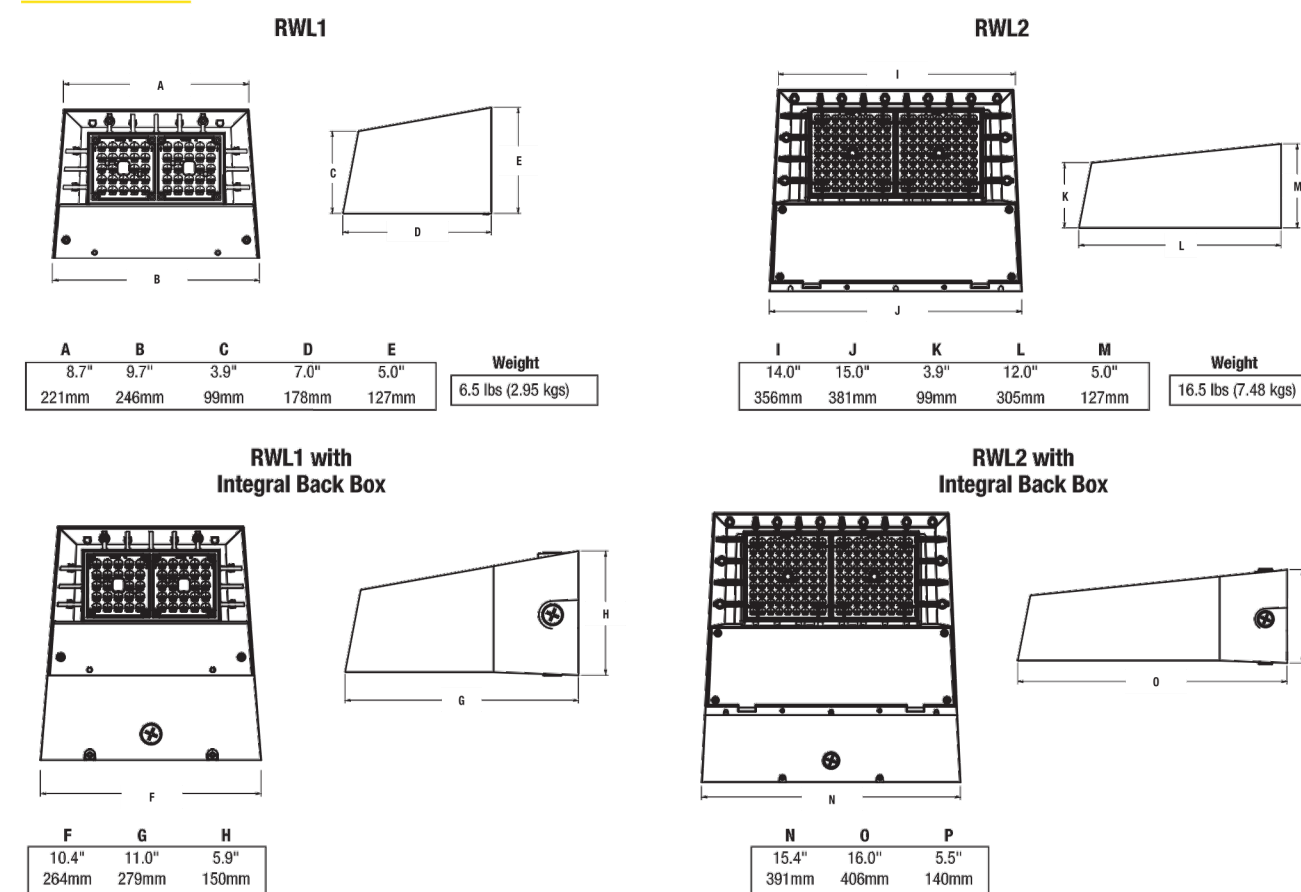
RWL1/RWL2 LED WALLPACK

PHOTOMETRY

Mounting Height: 30ft



DIMENSIONS



Page 8/7 Rev. 06/30/21
RWL10-SPC

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701 Main Street, Shelton, CT 06484-0001 Website: www.hubbelloutdoor.com

HUBBELL
Lighting

Scale: $1'' = 40'$

Job No: _____

Revisions		
No.	Date	TYPE
1.	11/5/21	REVISED D

FIRE PROTECTION PLAN BEARCAT SELF STORAGE

US RT 40 E
HUBER HEIGHTS / MIAMI COUNTY OHIO

PROPERTY OWNER

CORRIDOR DEVELOPMENT
6375 RIVERSIDE DR SUITE 200
DUBLIN OH 43017

CONTRACTOR

RJK ASSOCIATES INC.
6257 SPRINGDALE RD
CINCINNATI, OHIO 45247
513-741-1400 FAX 741-447

Drawn By:

Sheet

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APPARATUS TURNING RADIUS

- 5 EXISTING HYDRANTS LOCATED AROUND PERIMETER OF SITE
- NO OPENINGS GREATER THAN 400' FROM EXISTING HYDRANT
- PHASED CONSTRUCTION PROPOSED WEST HYDRANT SERVES PHASE I & II, EAST HYDRANT PHASE III & IV

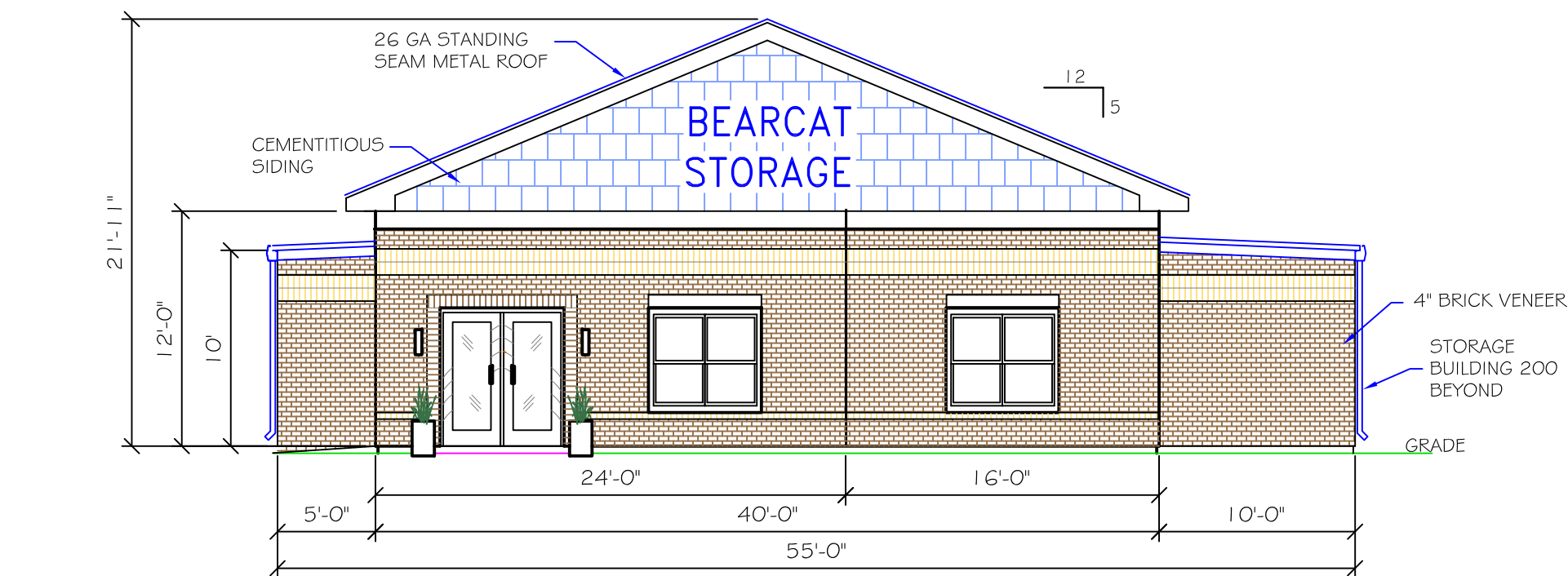
Date: JULY 28, 2021

Scale: _____

Job No: _____

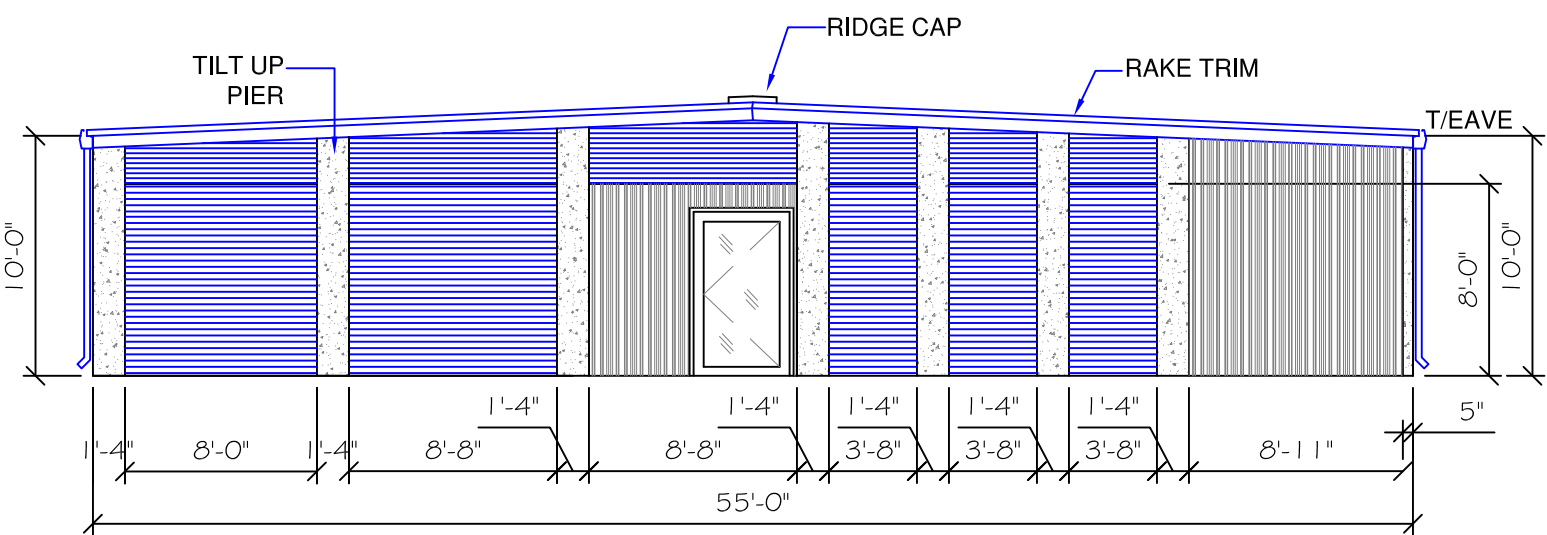
Revisions

No.	Date	TYPE
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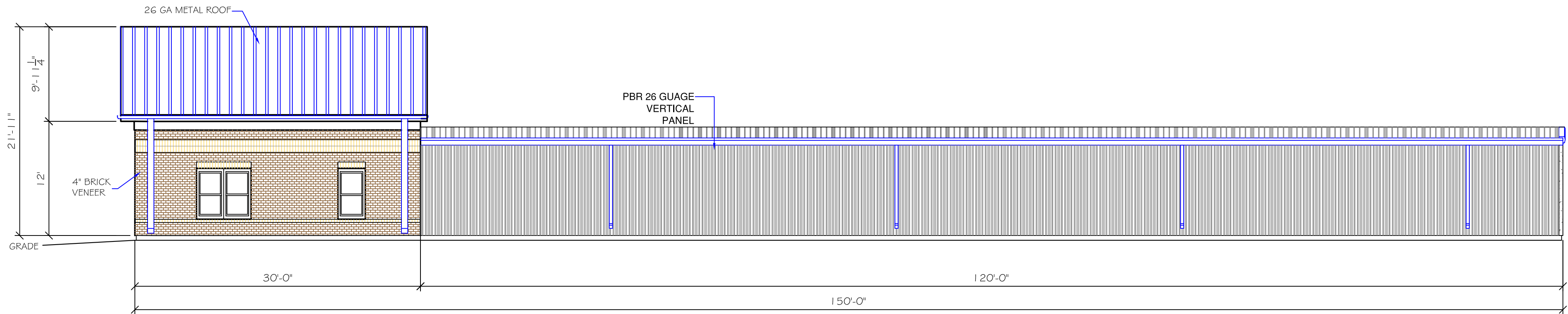
OFFICE & BUILDING 200
WEST ELEVATION

SCALE 1/8" = 1'-0"



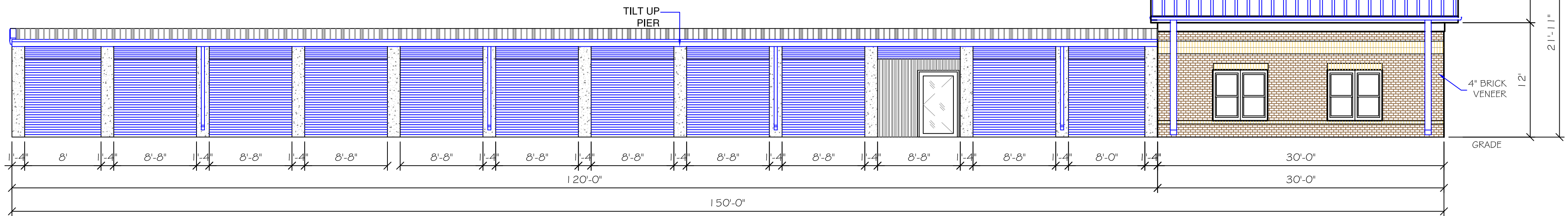
BUILDING 200
EAST ELEVATION

SCALE 1/8" = 1'-0"



OFFICE & BUILDING 200
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



OFFICE & BUILDING 200
NORTH ELEVATION

SCALE 1/8" = 1'-0"

OFFICE AND BUILDING 200 ELEVATIONS

BEARCAT SELF STORAGE

US RT 40 E
HUBER HEIGHTS / MIAMI COUNTY, OHIO

PROPERTY OWNER

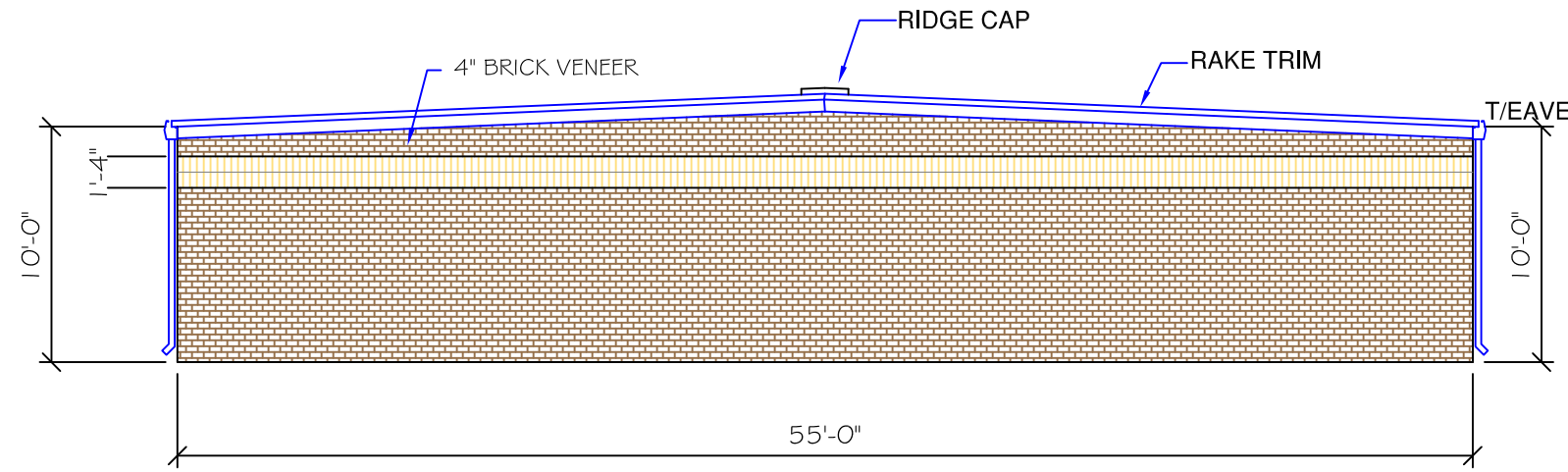
CORRIDOR DEVELOPMENT
6375 RIVERSIDE DR SUITE 200
DUBLIN OH 43017

CONTRACTOR

RJK ASSOCIATES INC.
6257 SPRINGDALE RD
CINCINNATI, OHIO 45247
513-741-1400 FAX 741-4479

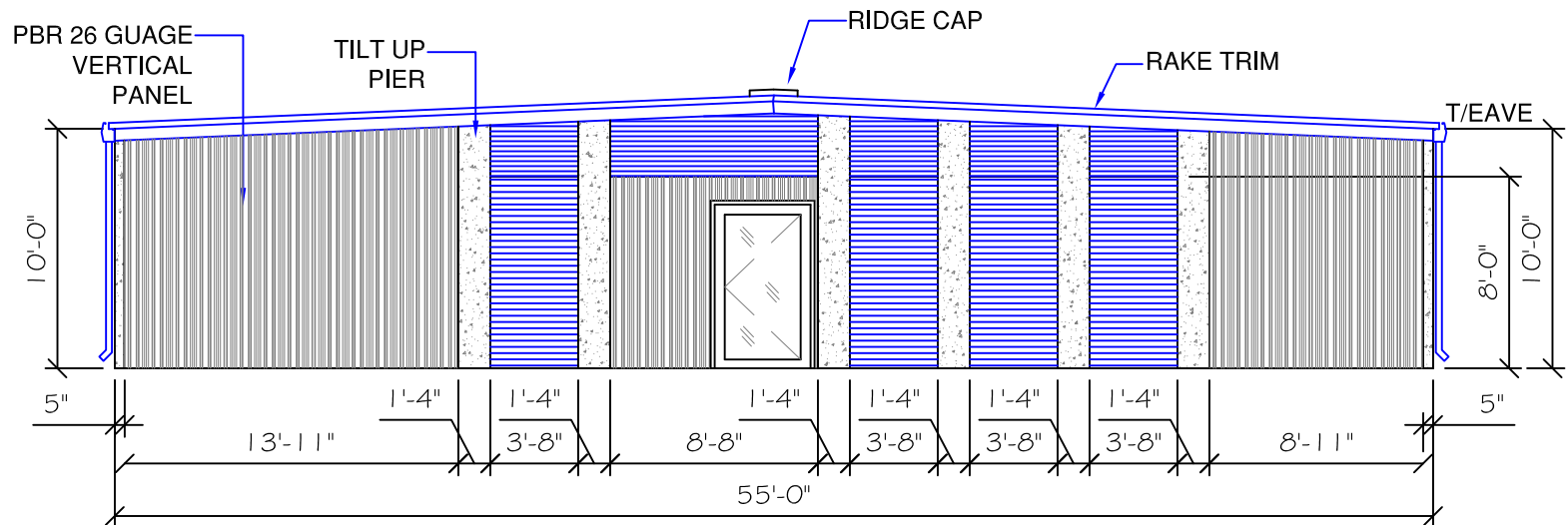
Drawn By: _____

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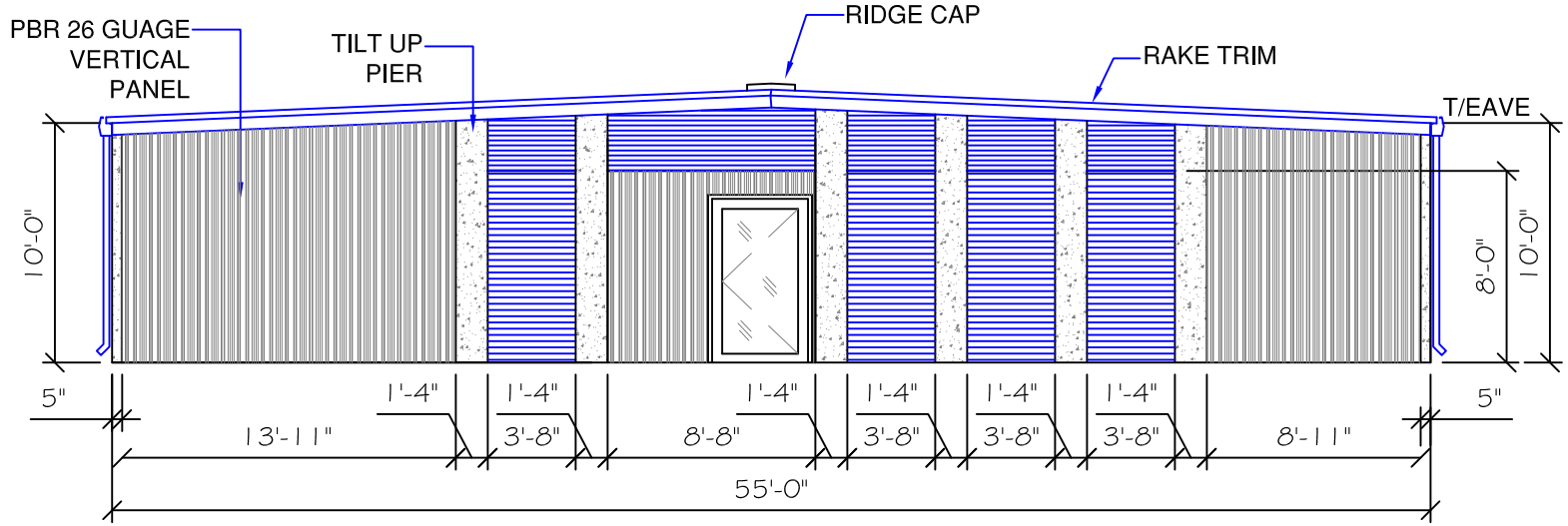
BUILDING 100
WEST ELEVATION

SCALE 1/8" = 1'-0"



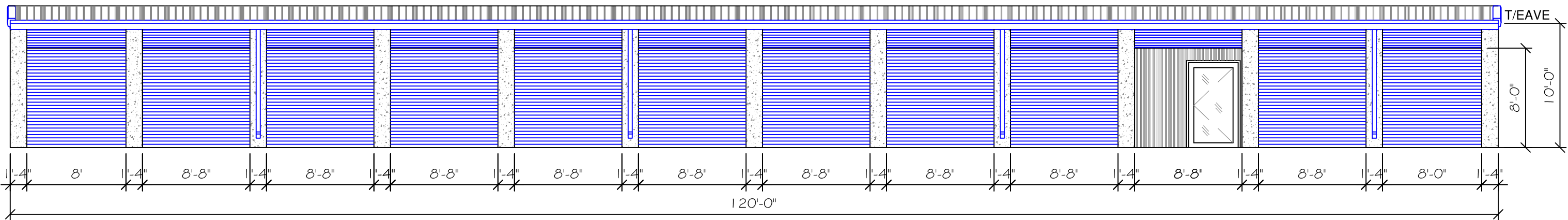
BUILDING 100
EAST ELEVATION

SCALE 1/8" = 1'-0"



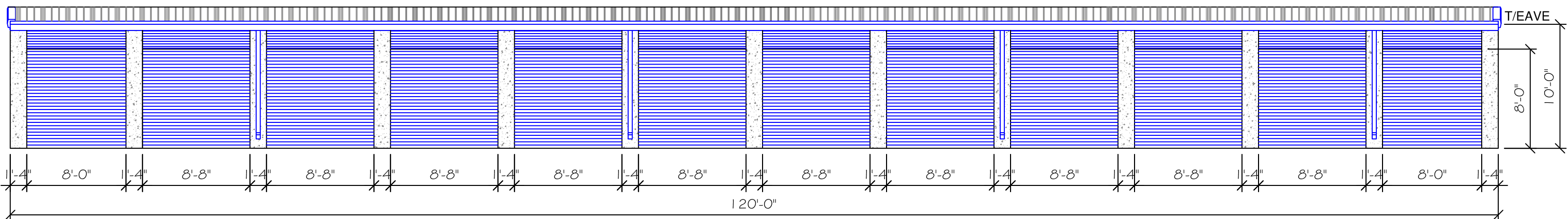
BUILDING 300
EAST ELEVATION

SCALE 1/8" = 1'-0"



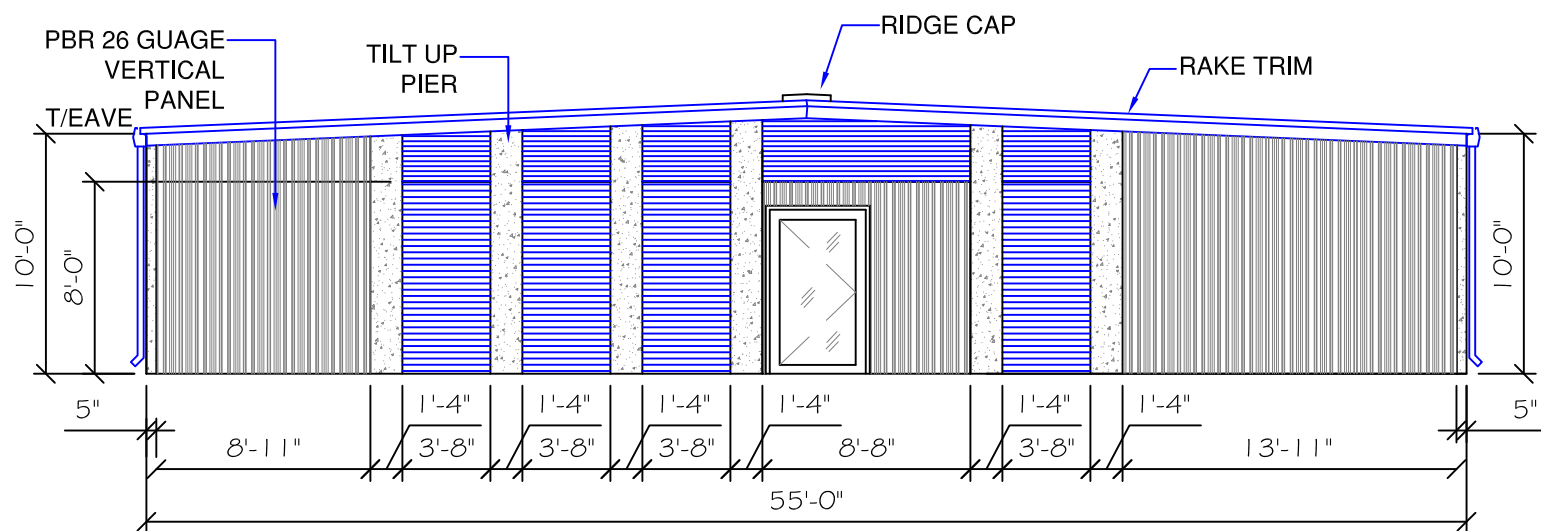
BUILDING 100
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



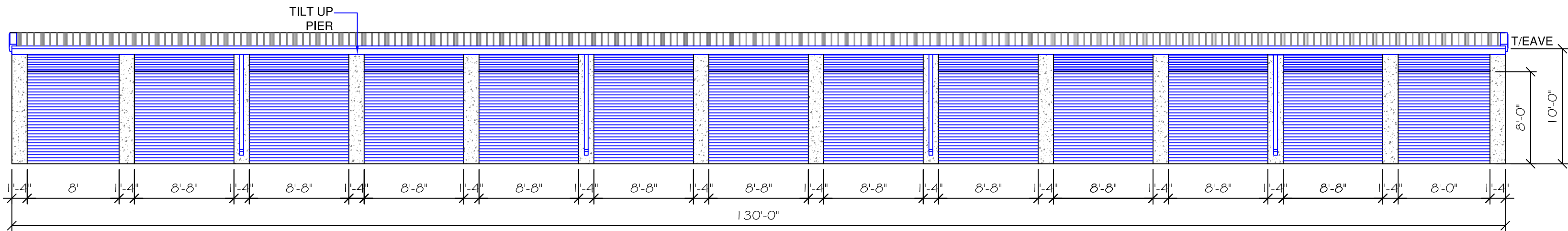
BUILDING 100
NORTH ELEVATION

SCALE 1/8" = 1'-0"



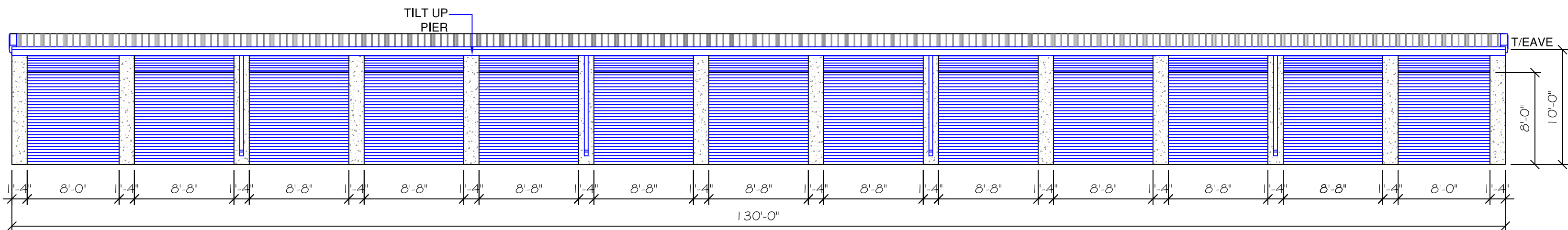
BUILDING 300
WEST ELEVATION

SCALE 1/8" = 1'-0"



BUILDING 300
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



BUILDING 300
NORTH ELEVATION

SCALE 1/8" = 1'-0"

No.	Date	TYPE
1.	11/5/21	REVISED ELEV.

Date: JULY 28, 2021

Scale: _____

Job No: _____

Revisions

No.	Date	TYPE
1.	11/5/21	REVISED ELEV.

BUILDING 400 & 500 ELEVATIONS

BEARCAT SELF STORAGE

US RT 40 E
HUBER HEIGHTS / MIAMI COUNTY, OHIO

PROPERTY OWNER

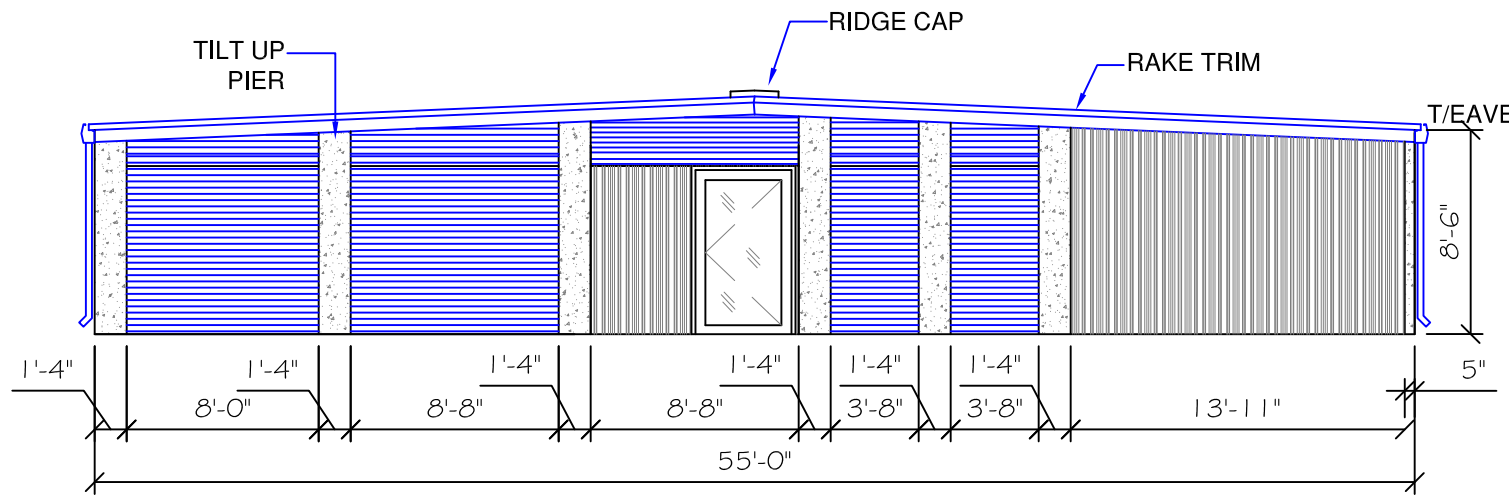
CORRIDOR DEVELOPMENT
6375 RIVERSIDE DR SUITE 200
DUBLIN OH 43017

CONTRACTOR

RJK ASSOCIATES INC.
6257 SPRINGDALE RD
CINCINNATI, OH 45247
513-741-1400 FAX 741-4479

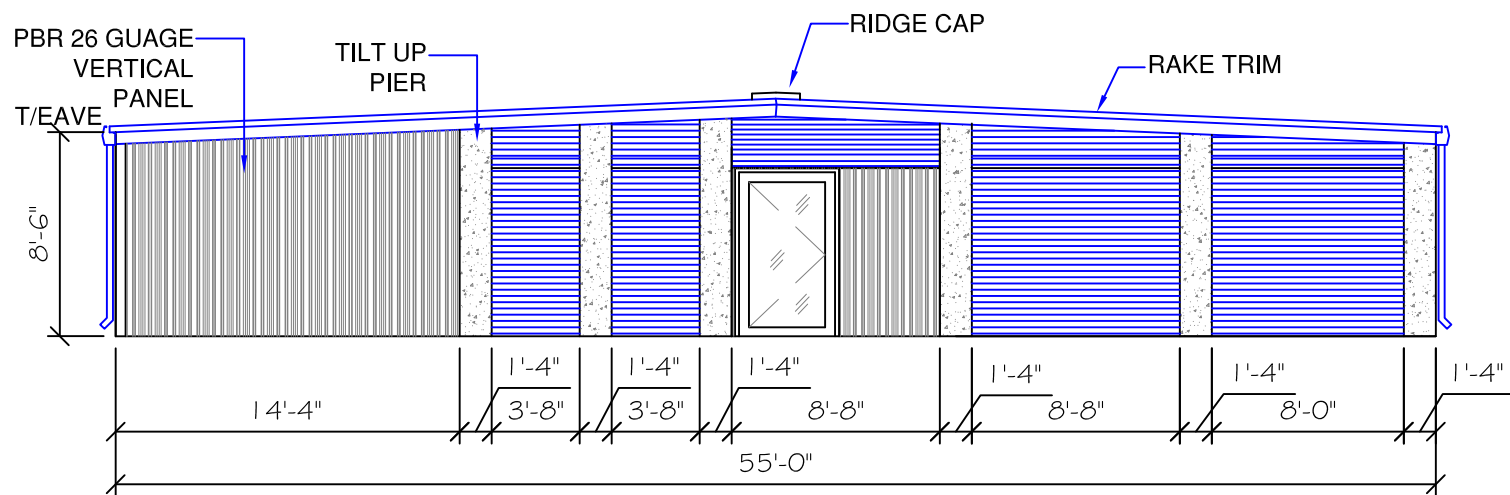
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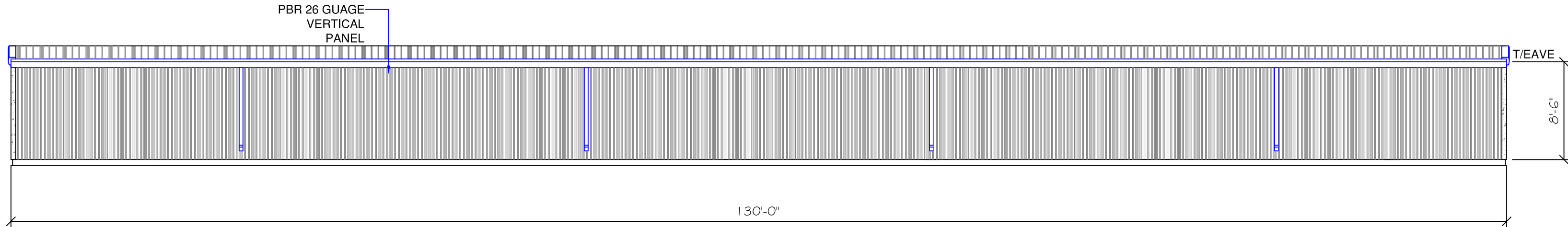
BUILDING 400
EAST ELEVATION

SCALE 1/8" = 1'-0"



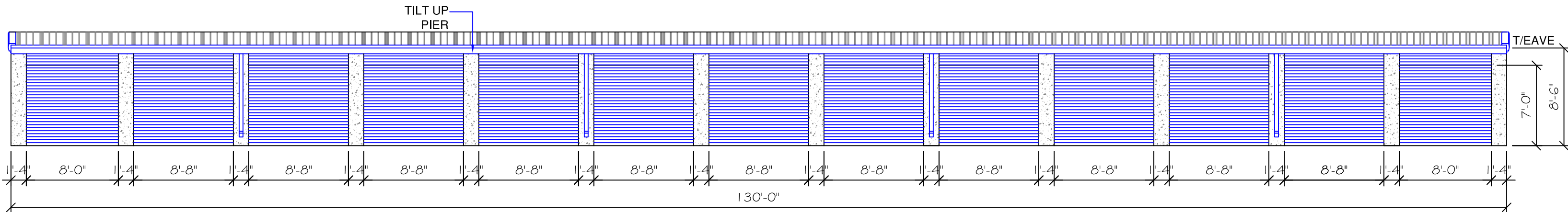
BUILDING 400
WEST ELEVATION

SCALE 1/8" = 1'-0"



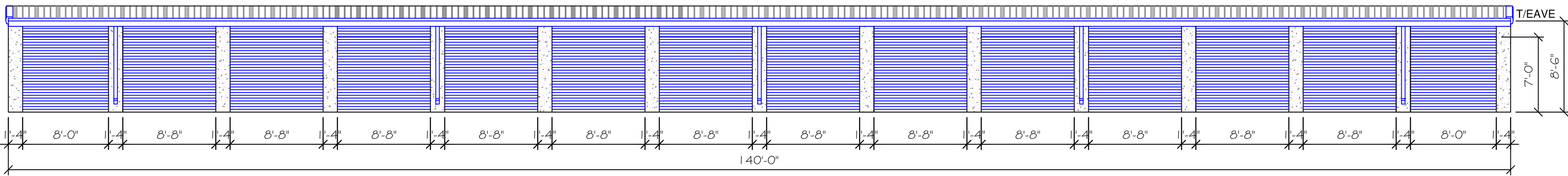
BUILDING 400
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



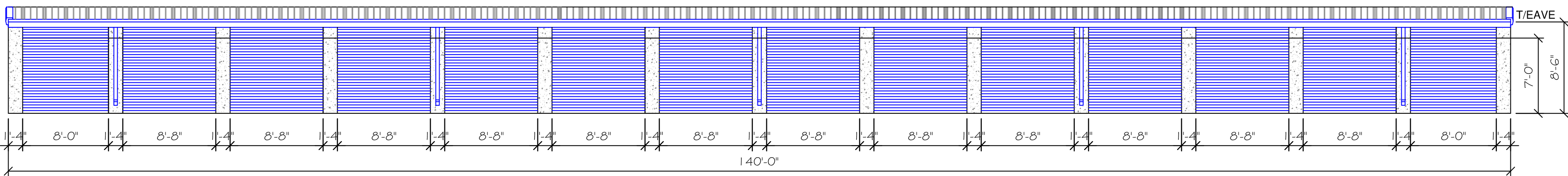
BUILDING 400
NORTH ELEVATION

SCALE 1/8" = 1'-0"



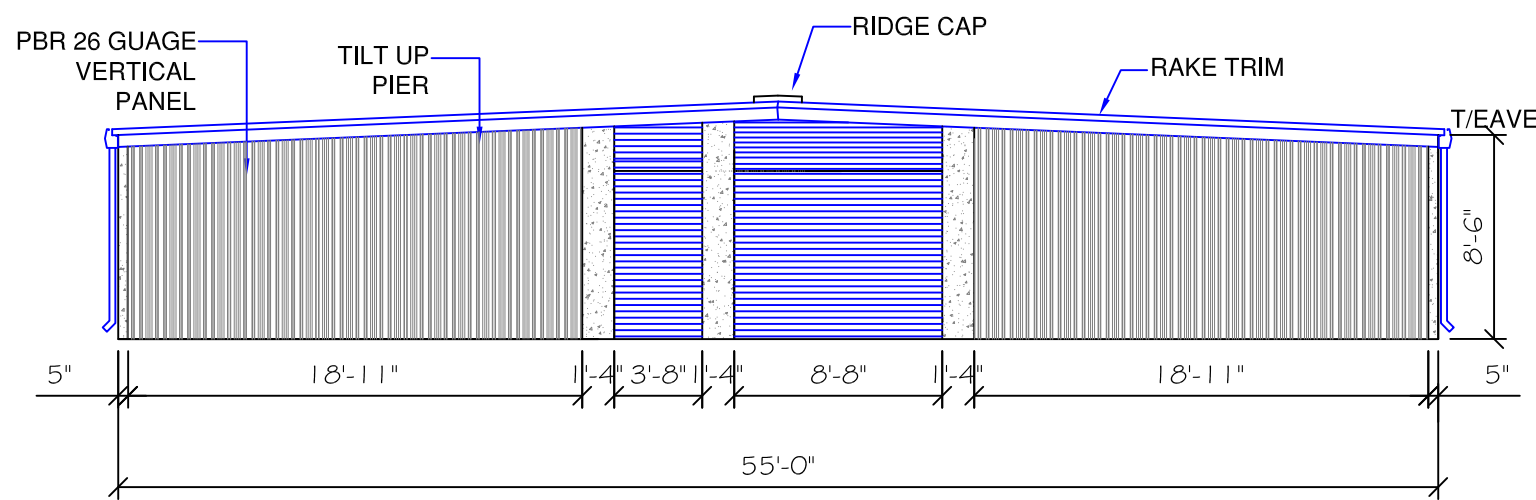
BUILDING 500
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



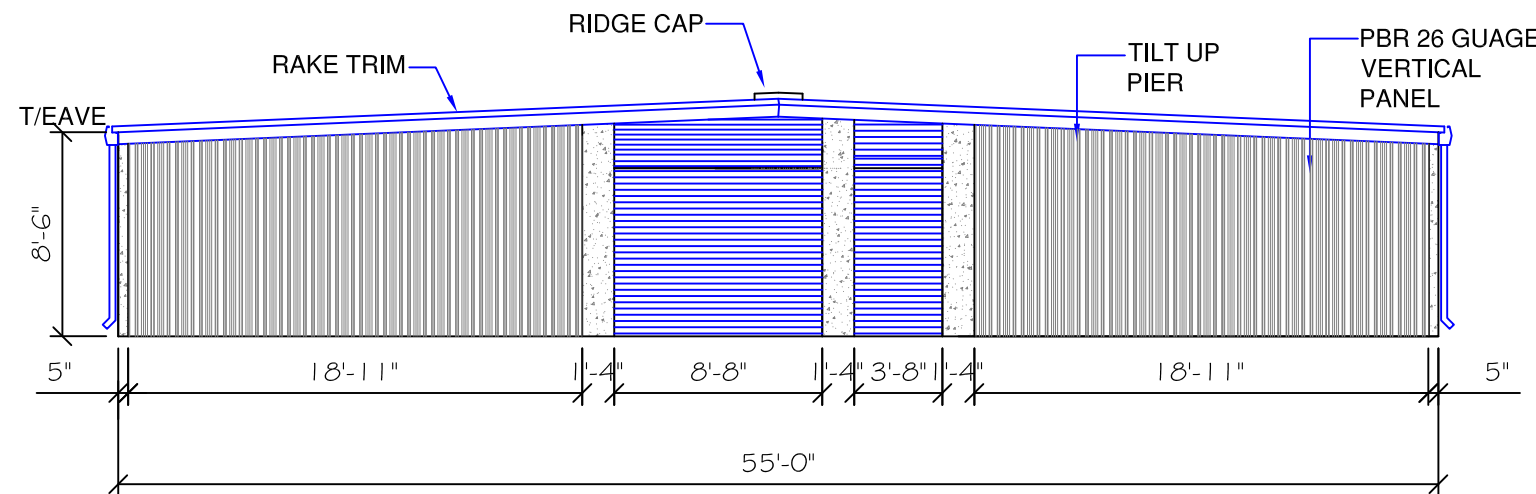
BUILDING 500
NORTH ELEVATION

SCALE 1/8" = 1'-0"



BUILDING 500
EAST ELEVATION

SCALE 1/8" = 1'-0"



BUILDING 500
WEST ELEVATION

SCALE 1/8" = 1'-0"

Scale: _____

Job No: _____

Revisions		
No.	Date	TYPE
1.	11/5/21	REVISED ELE



SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

BUILDING 600 ELEVATIONS BEARCAT SELF STORAGE

US RT 40 E
HUBER HEIGHTS / MIAMI COUNTY OHIO

PROPERTY OWNER

CORRIDOR DEVELOPMENT
6375 RIVERSIDE DR SUITE 200
DUBLIN OH 43017

CONTRACTOR

RJK ASSOCIATES INC.
6257 SPRINGDALE RD
CINCINNATI, OHIO 45247
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Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Bearcat Proposed Self Storage – Phase 1		
Occupancy Address:	5060 US Route 40		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-238
MCBR ELE:		HHFD Box:	13
REVIEWER:	Susong	DATE:	11/22/2021

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

Review is for Phase I only, subject to compliance with the following. Additional requirements for structure may arise during permitting process:

Requirements Phase I: (Site Plan)

- The turn radius appears to comply with Ohio Fire Code D103.3 and 503.2.4.
- The access road around property shall be marked as a fire lane, refer to Ohio Fire Code 503.3 and D103.6.
- If the building will be equipped with a fire sprinkler system at least one fire hydrant will be required within 75 feet of the Fire Department Connection for the sprinkler system. Huber Heights Codified Ordinance 1521.01.
- If the property is to be fenced provisions for the Huber Heights Fire Division to obtain access shall be provided. (Knox switches are shown at each gate.)
- A permit shall be obtained for construction from Montgomery County Building Regulations.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

Administrative Office: 7008 Brandt Pike Huber Heights, Ohio 45424
Telephone: (937) 233 - 1564 Fax Number: (937) 233 - 4520

AI-8031

7. D.

Planning Commission

Meeting Date: 12/14/2021

DETAILED DEVELOPMENT PLAN

Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, GILLIGAN OIL COMPANY, is requesting approval of a Detailed Development Plan for 1.84 acres for property located at the Northeast corner of Taylorsville Road and Old Troy Pike (ZC 21-49),

Purpose and Background

Attachments

No file(s) attached.

AI-8032

7. E.

Planning Commission

Meeting Date: 12/14/2021

MINOR CHANGE

Information

Agenda Title

MINOR CHANGE - The applicant, KAP SIGNS, is requesting approval of a Minor Change for signage for property at 6170 Brandt Pike (ZC 21-48).

Purpose and Background

Attachments

Drawings



7464 Webster St., Dayton, OH 45414

Marian Lanes 6170 Brandt Pike Huber Heights, Ohio 45424

Dave Williams office (937) 223-2155 • cell (513) 600-8298 • fax (937) 223-7603

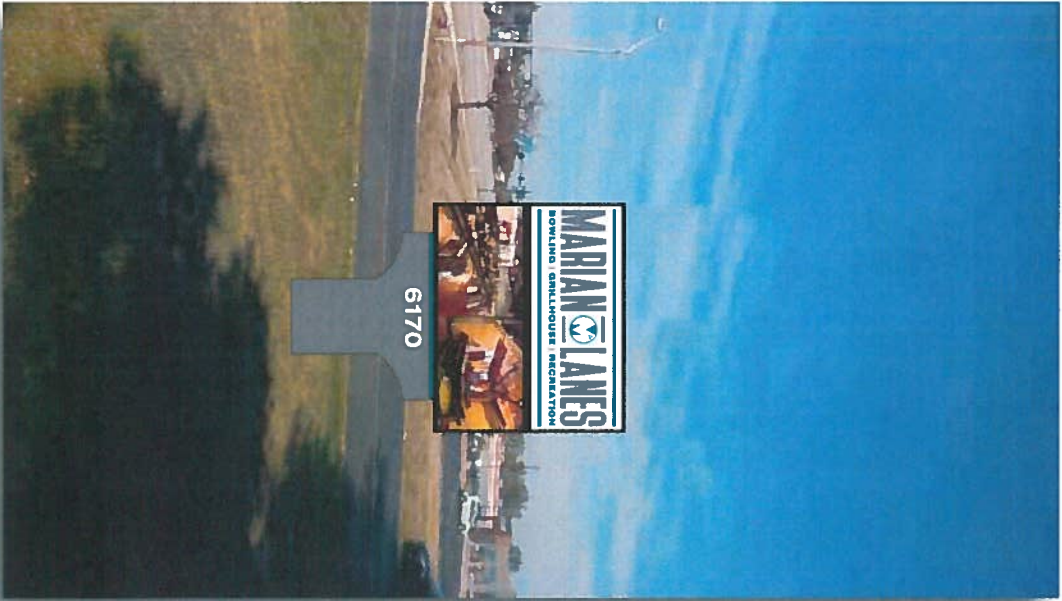
Marian Lanes Monument EMCs 1.3 (10-1-2021)

Option B



Existing

Proposed



Client Signature insures that all spelling, colors and specifications for signage rendered on this sketch meet client satisfaction.

Approved by: _____

Date: _____

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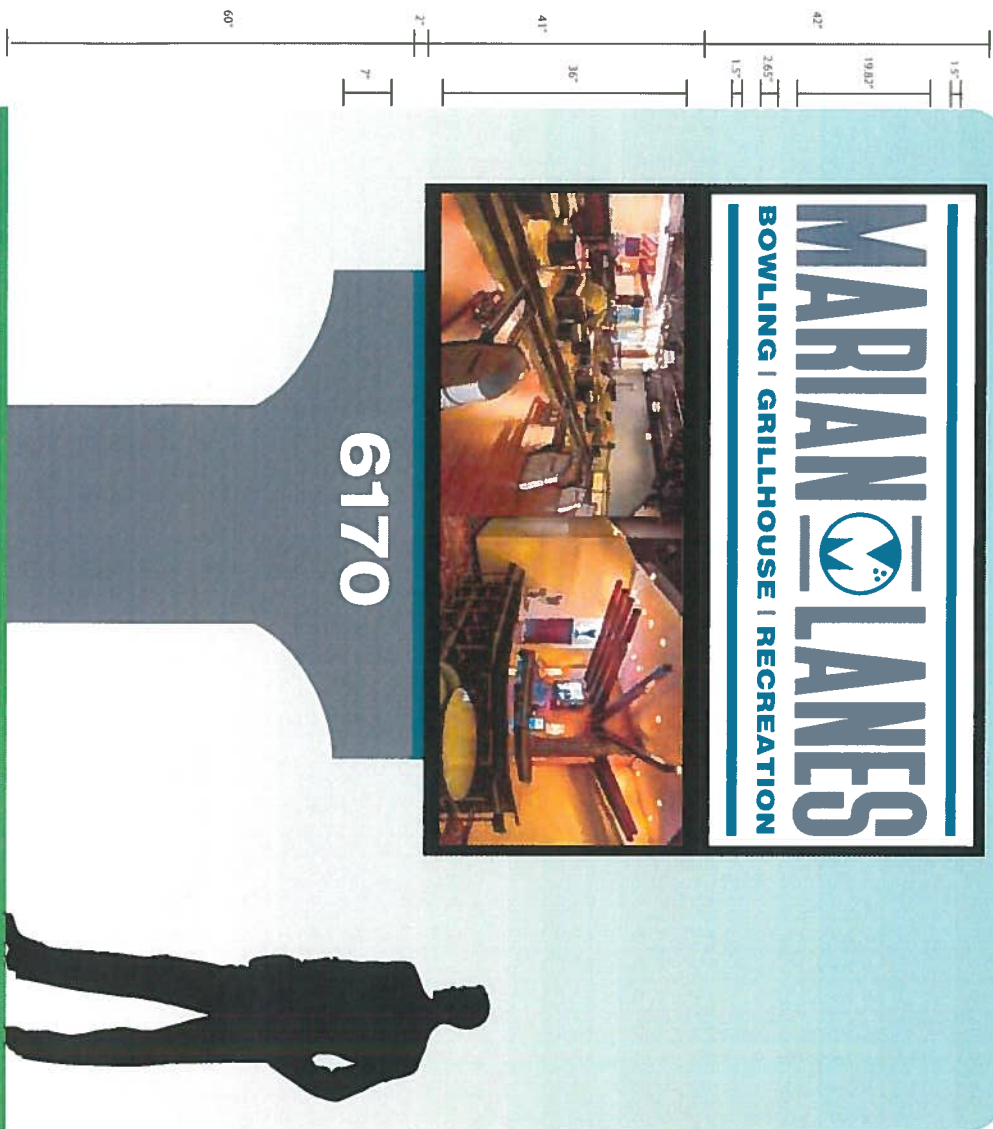


7464 Webster St., Dayton, OH 45414

Dave Williams office (937) 223-2155 • cell (513) 600-8298 • fax (937) 223-7603

Marian Lanes 6170 Brandt Pike Huber Heights, Ohio 45424

Marian Lanes Monument EMCs 1.3 (10-1-2021)



Vinyl Colors

Oacal
8800-682
Ocean
Green

Oracal
8800-740
Swedish
Grey

Watchfire
16 mm
Full
Color

Cabinets & Reveal Colors

Matthew's
MP14221
Quetzal
Teal

Cool
Grey 10 C

Black

Furnish and install (1) new double sided internally illuminated monument sign with electronic message centers. Top cabinet to be aluminum fabricated painted Black with flat polycarbonate faces decorated with first surface applied vinyl (8800-682 & 8800-740) Ocean Green & Swedish Grey. Cabinet to be LED illuminated. Electronic Message centers to be Watchfire 16 mm full color with a viewing area of 36" H x 96" W. Reveal to be aluminum painted (MP14221) Quetzal Teal. Base cover aluminum painted Cool Grey 10 C. Overall size 83" H x 99" W, totaling 57.06 square feet. Sign to install on percentage of existing pole.

Client Signature insures that all spelling, colors and specifications for signage rendered on this sketch meet client satisfaction.

Approved By: _____

Date: _____

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AI-7991

8. A.

Planning Commission

Meeting Date: 12/14/2021

Approval of 2022 Meeting Schedule

Information

Agenda Title

Approval of 2022 Meeting Schedule

Purpose and Background

Attachments

Meeting Schedule

**PLANNING COMMISSION
SCHEDULE OF MEETINGS & SUBMITTAL DEADLINES
BUSINESS YEAR 2022
(Meetings typically held on the 2nd & 4th Tuesdays)
6:00 P.M.**

Meeting Date:	Date for Submittal of Rezoning, Major Change, BDP, Special Use, DDP, Minor Change	Date for Submittal of Prel. & Final Subdiv., Replats	
January 11, 2022	December 17, 2021	December 24, 2021	
January 25, 2022	December 31, 2021	January 7, 2022	
February 15, 2022	January 28, 2022	February 4, 2022	
March 15, 2022	February 18, 2022	February 25, 2022	
March 29, 2022	March 4, 2022	March 11, 2022	
April 12, 2022	March 18, 2022	March 25, 2022	
April 26, 2022	April 1, 2022	April 8, 2022	
May 10, 2022	April 15, 2022	April 29, 2022	
May 24, 2022	April 29, 2022	May 6, 2022	
June 14, 2022	May 20, 2022	May 27, 2022	
June 28, 2022	June 3, 2022	June 10, 2022	
July 12, 2022	June 17, 2022	June 24, 2022	
July 26, 2022	July 1, 2022	July 8, 2022	
August 09, 2022	July 15, 2022	July 22, 2022	
August 23, 2022	July 29, 2022	August 5, 2022	
September 13, 2022	August 19, 2022	August 26, 2022	
September 27, 2022	September 2, 2022	September 9, 2022	
October 11, 2022	September 16, 2022	September 23, 2022	
October 25, 2022	September 30, 2022	October 7, 2022	
November 8, 2022	October 14, 2022	October 21, 2022	
December 13, 2022	November 18, 2022	November 25, 2022	

AI-7994

9. A.

Planning Commission

Meeting Date: 12/14/2021

MINUTES

Information

Agenda Title

Planning Commission September 28, 2021

Purpose and Background

Attachments

Minutes

**Planning Commission
September 28, 2021 Meeting
City of Huber Heights**

I. Vice Chair Jan Vargo called the meeting to order at approximately 6:00 p.m.

II. Present at the meeting: Mr. Jeffries, Ms. Opp, Ms. Thomas, and Ms. Vargo.

Members absent: Terry Walton.

Staff Present: Scott Falkowski, Interim City Manager.

III. Opening Remarks by the Chairman and Commissioners

None.

IV. Citizens Comments

None.

V. Swearing of Witnesses

Ms. Vargo explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

VI. Pending Business

None.

VII. New Business

1. **DETAILED DEVELOPMENT PLAN - The applicant, REDWOOD LIVING, is requesting approval of a Detailed Development Plan for 5.41 acres on Red Buckeye Drive (ZC 21-28).**

Mr. Falkowski stated that the proposal before Planning Commission calls for the construction of an extension of an existing Multi-Family Housing complex. The site is located in Section One of the Carriage Trails Development on the north side of Red Buckeye Drive. The proposal consists of 36 residential units housed in 3-, 4-, 5-, and 6-unit buildings. There are a total of 8 buildings.

The buildings are proposed to have a combination of stone and vinyl façades that match those of the previous phases. The requirement per the approved Basic Development Plan is that 30% of the primary façade shall be finished with masonry products. All proposed buildings meet or exceed that requirement. The roofs have asphalt shingles and have multiple pitches providing a depth to the buildings. Each unit has a covered entry, all from the outside of the building. Each unit has its own garage located at the front elevation.

The applicant's proposal consists of an internal drive connection from Phase III of the development. There will be no new curb cuts off Red Buckeye Drive. This street network follows a circular grid pattern and provides turn arounds for trash and emergency vehicles. The drives are all proposed to be 26 feet in width, which is smaller than the City's standard street section, therefore at a minimum, one side of the street shall be posted "No Parking". Sanitary and water have public main extensions throughout the complex. The water system is proposed to connect to the west through the existing complex. The sanitary sewer system in this area has adequate capacity to handle this number of residential units. Stormwater will flow into existing drainage systems and into existing retention ponds and will meet the City standards for outfall from the site. A mailbox kiosk is located near the center of this phase. Trash will be handled per unit. Lighting is being provided at the front porch and patio door only. The front porch lighting level meets the minimum requirement for infrequent entrances. There are no proposed pole lights in the complex. Parking is provided with garages at each unit, driveways for each unit that lead to each garage, plus an additional 14 parking spaces located throughout the complex, which is a larger space per unit allocation than the previous approved sections. Those spaces are proposed at 10 feet by 19 feet which exceeds the City standards.

Along Red Buckeye Drive, landscaping consisting of street trees is being proposed. There is proposed landscaping along all property lines and along the drives and parking areas with a combination of evergreen, shade, and ornamental trees. In Planned Mixed-Use Districts, a maximum of 75% impervious area is allowed. This proposal meets that requirement. Landscaping is also being provided around each building through a combination of bushes, grasses, and flowers. This plan has a different set of tree types than phase I and II. Staff recommends that a minimum of 80 percent of the tree types match the previous phases.

Staff's analysis of the applicant's proposal leads it to recommend approval of the Detailed Development Plan in accordance with the approval conditions detailed in the proposed legislation for Planning Commission's consideration.

Ms. Vargo asked about pole lights in the complex? Mr. Falkowski said same lighting as previous sections. Individual lights at units on the buildings.

Greg Thurman, applicant. Wrapping up a 5-acre piece that completes the street scape along Red Buckeye Dr. Coach lighting on each garage.

Ms. Opp asked about two car garage but pad looks wide enough for 3 cars. Mr. Thurman said garages have concrete pad in between them, not designed to be another space. Mr. Jeffries explained a little wider driveway without grass between them.

Action

Ms. Opp moved to approve the request by the applicant REDWOOD LIVING, for the approval of a Detailed Development Plan for 5.41 acres on Red Buckeye Drive (ZC 21-28) in accordance with the recommendation of Staff's

Memorandum dated September 28, 2021, and the Planning Commission Decision Record attached thereto.

Seconded by Mr Jeffries. Roll call showed: YEAS: Ms. Thomas, Ms. Opp, Mr. Jeffries, and Ms. Vargo. NAYS: None. Motion to approve carried 4-0.

2. DETAILED DEVELOPMENT PLAN - The applicant, RA SMITH, is requesting approval of a Detailed Development Plan for 1.15 acres at 7578 Old Troy Pike (ZC 21-29).

Mr. Falkowski stated that the applicant requests approval of a Detailed Development Plan for a new Discount Tire Facility.

The above-described property was rezoned from R-6 - Residence and B-3 - Commercial to PM – Planned Mixed Use in 2021. The site is located at the northeast corner of Taylorsville Road and Old Troy Pike. The overall proposal calls for the construction of six commercial buildings to be located on individual lots and 192 market rate apartment units housed in 6 multi-family buildings. The proposal before Planning Commission calls for the construction of a new 7,020 square foot Discount Tire Facility which is a permitted use in the Planned Mixed Use Zoning District as a commercial use. Staff's analysis of the proposal is broken into several segments as follows.

The building is made up of split face CMU and aluminum bordered window walls. There are also metal awnings and an aluminum storefront. There is a good mix of colors and depth to the building. The total building height is 26 feet. The dumpster enclosure is proposed to be made of CMU units to match the building and have gates at the front.

The building is 90 feet from the Old Troy Pike Right-of-Way. The building in this location is surrounded by other commercial uses. The parking area at the Old Troy Pike frontage is proposed to be 16.2 feet from the right of way line. The dumpster enclosure is located at the rear of the building.

Parking is as follows:

Required Parking Spaces: Automobile accessories sale or installation: two spaces for every service bay, plus one space for every 400 square feet of sales area.

By Code, sixteen spaces would be required. Thirty-nine parking spaces are provided, with two being handicap accessible. The proposal calls for nine-foot width parking spaces. Staff recommends that they meet the City Code of ten-foot-wide spaces.

The building will be serviced by connections to public water and sanitary sewer connections. Gas, telephone, and electric are also available at the site limits. Drainage is being collected through catch basins and storm sewer routing the flow to the existing retention pond to the east. There is no need for additional storm water detention. Lighting shall meet the standards of City Code 1181.21.

Three wall signs are proposed on the building. The signs are to be located on the west, north and south faces. The total sign area of all three signs shall not exceed 150 square feet as per that standard City Code for buildings with multiple visible faces. No ground sign will be approved at this location. A master development sign will be available for all users.

Landscaping is being provided around the perimeter of the building and site. The landscaping consists of deciduous trees, evergreen trees, shrubs, grasses, and perennials. As the first development plan to be submitted along the Old Troy Pike frontage, this landscape plan will set the standards for landscaped areas along the Old Troy Pike Right of Way.

Staff's analysis of the applicant's proposal leads it to recommend approval of the Detailed Development Plans in accordance with the approval conditions detailed in the proposed legislation for Planning Commission's consideration.

Mr. Jeffries asked about the parking. Will ask applicant.

Ms. Vargo said no photos of building were received and asked if it is a metal building. Mr. Falkowski said aluminum parts to it but a masonry building. Ms. Vargo would like to see no metal buildings to continue the character of Huber Heights with brick. Mr. Falkowski said majority is concrete with multiple colors, aluminum bordered window walls just at the frontage. The rest of the building is masonry. Ms. Vargo asked to request brick. Mr. Jeffries was good with brick. Ms. Thomas asked how much brick will we request. Mr. Jeffries asked aren't we opening the door for the rest of the development. Mr. Jeffries asked Ms. Vargo when you say masonry you are talking brick and stone, Scott you say hardy look. Mr. Falkowski concrete block is proposed. Request could be a certain amount of brick up to a certain level. Not 100% brick.

From RASmith said building is all masonry. Façade a more modern look. Decorative masonry. Not proposing any clay brick materials. Corporate owned building. Ms. Vargo concerned about 20 years from now, material will deteriorate.

RASmith said not like a metal sided building. Will last a very long time. Ms. Vargo asked about a schedule on building repairs.

RASmith not a franchise. Corporate owned. Reputation speaks for itself, no cars kept outside the building. 8 – 6 at night Monday through Friday, 8 – 5 Saturday and closed on Sunday. All tires stored inside the building. Trash enclosure is masonry built. No oil changes or service work done.

Ms. Vargo asked about material and location of dumpster.

RASmith said it is matching material, masonry. Ms. Vargo stated she doesn't want it to be metal. Mr. Falkowski said it is proposed to match the building. The gates are made of metal.

Ms. Opp asked why building this here. We have 12 other tire places in town. You have one less than 5 miles from this site.

RASmith said a whole division to handle markets, demand. Others in the area do other service work. Discount Tire does tires.

Ms. Vargo asked if other locations were looked at.

RASmith said he isn't part of the real estate group.

Ms. Vargo asked Mr. Falkowski if they looked at other properties and Mr. Falkowski said he doesn't know but this is an acceptable use for this property as approved through the Basic Development Plan and this is the proposal.

Ms. Vargo asked if not being in the character of Huber Heights a legitimate reason for declining. Mr. Falkowski said plenty of commercial buildings that do not have brick that do have masonry. You can add a condition for brick. To deny because you don't see brick, that might be problematic. Our code doesn't say every building has to have brick.

Ms. Vargo asked about this zoning allowing flexibility. Mr. Falkowski said as a PUD you have ability to have conditions put on. But flat-out denial because it doesn't have a certain material that's not the only material approved, that is where the problem would come in.

Mr. Falkowski said this is an acceptable commercial use. There are standards about making the decision itself, whether it meets the City Council has already ruled that this is a commercially zoned area. This type is acceptable. Detail plan does it reasonable match the expectations set by Council.

Ms. Opp asked can we disapprove because the type of store. Mr. Falkowski said City Council sets the standards. Already set at the Basic Development Plan as commercial use.

Mr. Jeffries said if we request more brick, aren't we opening the door to be more restrictive of the rest of the development. Mr. Falkowski said yes potentially. Like the trees along the frontage, we want the development to have connectivity with each other. It's a planned mixed use, that's the point. Some brick on multi-family units so it would be reasonable to request some here.

Mr. Jeffries asked about so much parking. Need for 39 spaces.

Mr. Falkowski stated let's get through the masonry section first.

Ms. Opp asked for some matching of the apartments brick. All around the building maybe 30%.

Mr. Jeffries doesn't know how much to tell them. Our standards said masonry.

Ms. Vargo said this is in an Industrial area on our main throughfare. Not to look like a tire store.

Mr. Falkowski said his opinion was that it has multiple types of these materials and depth to it, I believe it is a good-looking building as is.

Ms. Thomas stated Ms. Vargo has concern about maintenance over time. Can we make sure they have standard maintenance, stellar look.

Mr. Falkowski said we do have property maintenance standards.

Ms. Thomas fine with the look it is. It is a retail development not an industrial development.

Mr. Jeffries said not comfortable putting a number on how much brick. Follow the code.

Ms. Vargo wants to recommend 30% brick on all sides. Without a second this motion will die.

Ms. Vargo concurs with 10 ft wide parking spaces.

Mr. Falkowski said our code comes out to 16 required spaces and you are proposing 39. Reason for that many.

RASmith said appointments, people leave cars for the day, employees, then the ones without appointments. Typically, 40 spaces, this one a little less. Probably 35 spaces.

Action

Mr. Jeffries moved to approve the request by the applicant RA SMITH, for the approval of a Detailed Development Plan for 1.15 acres at 7578 Old Troy Pike (ZC 21-29) in accordance with the recommendation of Staff's Memorandum dated August 19, 2021, and the Planning Commission Decision Record as amended.

Seconded by Ms. Thomas. Roll call showed: YEAS: Ms. Opp, Mr. Jeffries, and Ms. Thomas. NAYS: Ms. Vargo. Motion to approve carried 3-1.

3. DETAILED DEVELOPMENT PLAN - The applicant, RJK ASSOCIATES, is requesting approval of a Detailed Development Plan for 8.755 acres at 5060 US Route 40 (ZC 21-30).

Mr. Falkowski stated that the applicant requests approval of a Detailed Development Plan in a PM (Planned Mixed Use) District for a Storage Facility.

The proposal before Planning Commission calls for development of the property at 5060 US Route 40, currently vacant for an Indoor Storage Facility.

The site in question is the one that currently is the remainder parcel at the north end of the Windbrooke Subdivision. The applicant is requesting approval of a Detailed Development Plan that would allow for the installation of fourteen new storage buildings with leasable space, split into four phases. Staff's analysis of the proposal is broken into several segments as follows.

The buildings are made up of multiple materials. The office portion is covered with brick veneer and has a metal roof. The storage building that also faces Senna Drive has a brick veneer façade on the west face. The storage units have a combination of metal siding and tilt up piers. Each unit will have roll up doors. Any dumpster enclosure will be masonry with gates at the front.

The proposal calls for one curb cut to access the facility off of Senna Drive. No access will be provided off US Route 40. The parking requirement for the office is one space for every 300 square feet of gross floor area, which calculates to 4 parking spaces, with 1 of those being designated accessible spaces. 5 total parking spaces are proposed at 9 feet by 19 feet. City standard is 10 feet by 18 feet. Staff recommends the 10-foot-wide space requirement. Paved drive aisles access each building with no dead-end drives. Six-foot wrought iron fencing is proposed at the north and west perimeter of the site with a gate at the front and an emergency gate at the rear and six-foot wood privacy fence is proposed at the south and east perimeters. The interior aisles are 25 and 30 feet in width and exterior aisles vary to allow for emergency vehicle turning movements.

The buildings are to be serviced by connections to public water and the office will connect to the public sanitary sewer. Gas, telephone, and electric are also currently available at the site. Drainage is being collected through catch basins and storm sewer routing the flow through proposed detention basins onsite. The

detention basins are designed to meet current water quality and quantity detention requirements. All field tile encountered are to be routed around the proposed buildings and into the storm water drainage system. Lighting is shown on the submitted drawings and complies with City Code 1181.21.

The proposal calls for a wall sign on the front of the office building. No dimensions are shown, but staff would recommend limiting the size to a maximum of seventy-five (75) square feet in area as per the standard City Code.

Landscaping is being proposed to include street trees and buffering around the perimeter of the site. This landscaping includes a combination of deciduous trees, evergreen trees, shrubs, and grasses. A twenty-five-foot landscape buffer is proposed along the southern property line, protecting some of the vegetation and adding buffer type trees for year-round protection. The Landscaping Plan complies with the City Standards.

Discussion on entrance on Senna moved to Route 40, materials, mounding, secondary entrance, lighting.

Bob Krumdieck, applicant spoke to these issues.

Residents spoke against this case,
Julie Reese
Dale Masin
Connie Masin
Holly Batton
Monique Allsnonse
Wooten
David Franth

Applicant said he would just withdraw and come back at a later date.

4. MINOR CHANGE - The applicant, CAMPBELL BERLING, LLC, is requesting approval of a Minor Change for signage at The Oaks Section 9 (ZC 21-31).

Mr. Falkowski stated that the applicant requests approval of a Minor Change for signage for the Oaks of Huber Heights Section 9 Development at the entrance off of Fishburg Road.

The applicant wishes to install an entrance development sign on the south side of Silver Oak Way. The request is to locate the sign sixteen (16) feet from the Fishburg Road right of way and twelve (12) feet from the Silver Oak Way right of way line. As described below the standard code for ground signs is for the sign to be located a minimum of fifteen feet from the right of way. In this instance, a distance of twelve (12) feet from the Silver Oak Way right of way line would allow for the full landscaping mound approved with the Detailed Development Plan along Fishburg Road. The sign base would be ten (10) feet in width, with an overall height of six (6) feet. The sign face itself is four (4) feet six (6) inches wide by two (2) feet six (6) inches tall. The sign area would be eleven and a quarter (11.25) square feet per side. The sign would not be located over any

utility line. Landscaping shall be placed around the sign as to not block the sight distance of the intersection.

Mr. Jeffries asked about the different name. Mr. Falkowski stated a different builder came in for this section. Designated a different name. Still part of The Oaks.

Ms. Vargo said it appears to be wooden, who will take care of it in the future. Mr. Falkowski said there will be an HOA it may be separate.

Cindy Smith spoke said different than on their website. Publicity different. Talked about park. Maintenance of it.

Bob Krohngold will go back and take a look at it. Approve location perhaps. Materials questionable. Leave for staff approval.

Action

Mr. Jeffries moved to approve the request by the applicant, CAMPBELL BERLING, LLC, for approval of the Minor Change for signage at The Oaks Section 9 (ZC 21-31) in accordance with the recommendation of Staff's Memorandum dated August 19, 2021, and the Planning Commission Decision Record attached as amended.

Seconded by Ms. Opp. Roll call showed: YEAS: Ms. Thomas, Ms. Opp, Mr. Jeffries, and Ms. Vargo. NAYS: None. Motion to approve carried 4-0.

VIII. Additional Business

Mr. Falkowski gave an update on Huber Center. Signage is up at both entrances. Repaving has not been completed, City has not issued a final. Redoing some curb and replacing some trees. Parking lot is not in violation. Potholes have some patching. 80% full. Not in compliance. Continuing with violation process and not giving the final for signage. Raising our Standards.

IX. Approval of the Minutes

X. Reports and Calendar Review

Mr. Falkowski said meeting scheduled for first week in October

XI. Upcoming Meetings

Oct 12, 2021

Oct 26, 2021

XII. Adjournment

There being no further business to come before the Commission, the meeting was adjourned at approximately 8:46 p.m.

Jan Vargo, Vice Chair

Date

Geri Hoskins, Administrative Secretary

Date

AI-7995

9. B.

Planning Commission

Meeting Date: 12/14/2021

MINUTES

Information

Agenda Title

Planning Commission November 9, 2021

Purpose and Background

Attachments

Minutes

**Planning Commission
November 9, 2021 Meeting
City of Huber Heights**

- I. Chair Terry Walton called the meeting to order at approximately 6:00 p.m.
- II. Present at the meeting: Mr. Jeffries, Ms. Opp, Ms. Thomas, Ms. Vargo and Mr. Walton.

Members absent: None.

Staff Present: Scott Falkowski, Interim City Manager, and Geri Hoskins, Planning & Zoning Administrative Secretary.

- III. **Opening Remarks by the Chairman and Commissioners**

None.

- IV. **Citizens Comments**

None.

- V. **Swearing of Witnesses**

Mr. Walton explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

- VI. **Pending Business**

- 1. **BASIC DEVELOPMENT PLAN - The applicant, DARIN SCHMIDT, is requesting approval of a Basic Development Plan for 19.1 acres for an Airsoft and Paintball facility for property located at 7860 Bellefontaine Road (ZC 21-36).**

Mr. Falkowski stated we received word this afternoon that the applicant is requesting to pull this item off of the Agenda and withdraw their current application.

Action

Ms. Vargo moved to table the request by the applicant DARIN SCHMIDT, for the approval of a Basic Development Plan for 19.1 acres for an Airsoft and Paintball facility for property located at 7860 Bellefontaine Road (ZC 21-36).

Seconded by Mr. Jeffries. Roll call showed: YEAS: Ms. Thomas, Ms. Opp, Ms. Vargo, Mr. Jeffries, and Mr. Walton. NAYS: None. Motion to table carried 5-0.

VII. New Business

- 1. REZONING - The applicant, Parveen Wadhwa, is requesting approval of a Rezoning to Planned Commercial and a Basic Development Plan for property located at 6025 Taylorsville Road (ZC 21-42).**

Mr. Falkowski stated that the applicant requests approval of a Rezoning and Basic Development Plan for the property at 6025 Taylorsville Road to Planned Commercial for a convenience store and laundromat.

The above-described properties have two current uses. The northern parcel is currently vacant and is zoned B-3 Commercial District. The southern parcel is currently zoned R-6 Residence District.

The City's 2011 Comprehensive Plan Update shows this area as Mixed Density Residential, which allows for higher density residential development and features a mix of detached and attached housing types. The district recommends a density of 6-8+ units per acre and allows flexibility in housing development. This land use category is appropriate for residential redevelopment and new mixed housing type areas. This use would be a complement to mixed density residential as a neighborhood commercial space.

The site currently has one residential building. The proposal is to raze the building and build a new 7200 s.f. building.

Parking will be provided following Chapter 1185 of the City's Zoning Code and is called out to be 10 foot by 18-foot spaces.

Storm water will be handled through storm sewers flowing into a proposed underground storm water management unit. This will follow all City drainage regulations.

Water and Sanitary will connect to existing public systems.

Traffic analysis was completed by the applicant and no major roadway improvements are recommended.

The proposal calls for an all masonry building with a sloped roof.

The applicant proposes a landscape buffer on all sides of the project.

Proposed lighting shall follow Section 1181.21 of the City Zoning Code:

Signage will follow Section 1189 of the City's Zoning Code.

Recommendation to City Council.

Mr. Jeffries asked if this changed to a different use, would come back Mr. Falkowski said only requested uses.

Mr. Op asked about the drive thru and Mr. Falkowski said drive up window on west side.

Patricia Buzza is against the rezoning issues were increased traffic, amount of children in the apartments, extremely dangerous, property values, please don't zone Commercial.

November 9, 2021

Adam Gill discussed the traffic study, met acceptable capacity levels.
Ms. Vargo asked hours of operation, he couldn't answer that.
Parveen Wadhwa said hours will be 7am to 11pm., convenient to neighborhood
Mr. Opp asked hours of laundry and Mr. Wadhwa said 8 to something.
Mr. Jeffries asked currently zoned, and Mr. Falkowski said R4 the whole thing.
Ms. Vargo asked how much laundry and how much convenience store. Mr.
Wadhwa said 60 – 40%.

Action

Ms. Thomas moved to approve the request by the applicant PARVEEN WADHWA for approval of a Rezoning to Planned Commercial and a Basic Development Plan for property located at 6025 Taylorsville Road (ZC 21-42) in accordance with the recommendation of Staff's Memorandum dated November 4, 2021, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Vargo. Roll call showed: YEAS: Ms. Opp, Ms. Vargo, Mr. Jeffries, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

This now goes to City Council.

2. MINOR CHANGE - The applicant, MS Consultants, Inc., is requesting approval of a Minor Change for addition of new coolers, freezer, and dry storage room at property located at 5611 Merily Way (ZC 21-44).

Mr. Falkowski stated that the applicant requests approval of a Minor Change for Addition of New coolers, freezer, and dry storage at rear of building.

The applicant wishes to place an addition to the rear of the building for coolers, freezers, and storage. There is no plan to expand any of the dining areas, so there are no increased parking requirements, but their plan is to remove eight spaces where the expansion is located. The restaurant expanded the parking lot above the required amount several years ago, so the decrease does not go below that standard code. The plan for the exterior of the building is to match the materials and colors of the existing stone, brick, and roofing.

Sean French talked about operational impact issue, hold more inventory, mimic landscaping, replace sidewalk, stain paint to match.

Action

Ms. Thomas moved to approve the request by the applicant, MS CONSULTANTS, INC., for approval of a Minor change (ZC 21-44) in accordance with the recommendation of Staff's Memorandum dated November 4, 2021, and the Planning Commission Decision Record attached thereto.

Seconded by Mr. Jeffries. Roll call showed: YEAS: Ms. Opp, Ms. Vargo, Ms. Thomas, Mr. Jeffries, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

Next step is to submit for the zoning certificate.

3. MAJOR CHANGE - The applicant, Larkspur, is requesting approval of a Major Change to the Basic and Detailed Development Plan in a Planned Commercial District for 7.234 acres for property located at 7650 Waynetowne Boulevard (ZC 21-43).

Mr. Falkowski stated that the applicant requests approval of a Major Change to the Basic and Detailed Development Plan in a PC (Planned Commercial) District for a Storage Facility.

The proposal before Planning Commission calls for redevelopment of the property at 7650 Waynetowne Boulevard, currently occupied by Danbarry Cinema, to Larkspur for an Indoor Storage Facility.

The site in question is the one that currently is occupied by a commercial structure. The applicant received approval of a Detailed Development Plan that would allow for the razing of the existing building and placing five new storage buildings with leasable space in Phase I. The current request is to build one large building in place of the previously approved five individual buildings.

The buildings are made up of pre-engineered metal, EIFS and brick. The building face that fronts along Waynetowne Boulevard are requested to be pre-engineering metal with brick at the water table. The previous approved buildings had all masonry materials along the face that fronts along Waynetowne Boulevard. Each unit will have roll up doors. The main office will have a glass storefront. The dumpster enclosure will be masonry with gates at the front.

The proposal calls for one curb cut to access the facility off of Waynetowne Boulevard. The current two curb cuts will be removed, and a new curb cut installed. The parking requirement for the office is one space for every 300 square feet of gross floor area, which calculates to 4 parking spaces, with 1 of those being designated accessible spaces. Paved drive aisles access each building with no dead-end drives. Fencing is proposed at the perimeter of the site with fencing abutting public right of way being a decorative metal fencing and coated chain link for the remainder of the fencing which meets the approved PUD conditions. The exterior aisles are 30 feet and 25 feet to allow for emergency vehicle turning movements.

The buildings are to be serviced by connections to public water and the office will connect to the public sanitary sewer. Gas, telephone, and electric are also currently available at the site. Drainage is being collected through catch basins and storm sewer routing the flow through the existing detention basin onsite. The existing detention basin is being upgraded to meet current water quality and quantity detention requirements. Lighting is shown on the submitted drawings and complies with City Code 1181.21.

The ground sign shall have a maximum height of six feet from ground level, a maximum area of seventy-five square feet and base materials shall match the fronts of the buildings.

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Landscaping is being proposed to include street trees and buffering around the perimeter of the site. This landscaping includes a combination of deciduous trees, evergreen trees, shrubs, and grasses. The Landscaping Plan complies with the City Standards.

Mr. Jeffries asked about masonry materials along Waynetowne. Discussion on being more visible than before. Adding brick to the water table on north side.

David Bernstein spoke about functional and visible enhancement. Ms. Vargo asked about temperature controlled, Mr. Bernstein answered yes.

Action

Ms. Vargo moved to approve the request by the applicant, LARKSPUR, for an approval of a Major Change to the Basic and Detailed Development Plan in a Planned Commercial District for property located at 7650 Waynetowne Boulevard further identified as Parcel P70 04005 0100 on the Montgomery County Auditor's tax map (ZC 21-43) and the Planning Commission Decision Record amended attached thereto.

Seconded by Ms. Opp. Roll call showed: YEAS: Ms. Opp, Ms. Vargo, Ms. Thomas, Mr. Jeffries, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

Next step is to go to City Council.

VIII. Additional Business

1. Pre-Application Conference – Residential Development – 22-acre Storck Property, Bellefontaine Road.

Bob Krohngold discussed a potential project of 22 acres on east side of Bellefontaine across from The Oaks Development. It is for a residential development. Paired patio homes, will need a lift station to get sewer out, affordable, start building next year. Wembley and Hudson, controlled by HOA. Jennifer Gonzolaz talked about layout, size, market.

All Planning Commissioners liked the product.

2. Mr. Falkowski talked about Union at Chambersburg Traffic Impact Study. Recommended the northern access point. Exiting access point that the bank uses now, the proposal and recommendation is that is full access, redone and widened. Northern access point recommending right in right out access point. Left hand turn lane on Old Troy Pike be extended to have more stacking.

IX. Approval of the Minutes

Without objection, the minutes of the October 26, 2021, Planning Commission meeting are approved.

X. Reports and Calendar Review

Mr. Falkowski stated next meeting is December 14, Major Change at 5840 Old Troy Pike for a proposed used car lot. Approval of next year meeting schedule.

Mr. Falkowski also stated this is his last Planning Commission meeting, Mr. Foster will be at next meeting.

XI. Upcoming Meetings

December 14, 2021

XII. Adjournment

There being no further business to come before the Commission, the meeting was adjourned at approximately 7:35 p.m.

Terry Walton, Chair

Date

Geri Hoskins, Administrative Secretary

Date