



**CITY OF HUBER HEIGHTS
STATE OF OHIO
City Council Meeting
Regular Session
February 28, 2022
6:00 P.M.**

City Hall - Council Chambers - 6131 Taylorsville Road

1. **Call The Meeting To Order - Mayor Jeff Gore**
2. **Invocation - Pastor John Gakwaya Of The Compassion Free Methodist Church At 6875 Old Troy Pike, Huber Heights, Ohio**
3. **Flag Ceremony - Wayne High School Junior ROTC Honor Guard**
4. **Pledge Of Allegiance**
5. **Roll Call**
6. **Approval Of Minutes**
 - A. **City Council Meeting Minutes - February 14, 2022**
7. **Special Presentations/Announcements**
8. **Citizens Comments**
9. **Citizens Registered to Speak on Agenda Items**

10. **City Manager Report**

11. **Pending Business**

- A. An Ordinance Designating Construction Noise During Certain Hours As Civil Infractions And Authorizing The City Manager To Adopt A Fine And Penalty Schedule For Such Infractions By Enacting Chapter 1323 Of The Codified Ordinances Of The City Of Huber Heights.
(second reading)
- B. An Ordinance To Approve A Rezoning From Agricultural To Planned Residential And A Basic Development Plan For The Property Located On The East Side Of Bellefontaine Road And South Of Chambersburg Road And Further Identified As Parcel Number P70-03908-0126 On The Montgomery County Auditor's Map And Accepting The Recommendation Of The Planning Commission (Zoning Case 21-47).
(fourth reading)
- C. An Ordinance To Approve A Rezoning To Planned Residential And A Basic Development Plan For The Property Located At 6502 Old Troy Pike And Further Identified As Parcel Number P70 04004 0003 On The Montgomery County Auditor's Tax Map And Accepting The Recommendation Of The Planning Commission (Zoning Case 21-34).
(fifth reading)

12. **New Business**

CITY COUNCIL

Anthony Rodgers, Clerk of Council

- A. A Public Hearing Scheduled For February 28, 2022 By The Huber Heights City Council For Zoning Case 22-05. The Applicant Is LWC, Incorporated. The Applicant Is Requesting Approval Of A Combined Basic And Detailed Development Plan For Four Acres Of Property Located At 6243 Brandt Pike For Construction Of A New Library.

ADMINISTRATION

Bryan Chodkowski, Interim City Manager

- B. An Ordinance To Approve A Basic And Detailed Development Plan For The Property Located At 6243 Brandt Pike And Accepting The Recommendation Of The Planning Commission (Zoning Case 22-05).
(first reading)
- C. A Resolution Authorizing The City Manager To Engage LWC Incorporated To Provide A Space Needs Assessment For Certain City Operations.
(first reading)

- D. A Resolution Adopting A Statement Indicating The Services The City Of Huber Heights, Ohio Will Be Providing To The Territory Proposed To Be Annexed To The City Of Huber Heights Pursuant To A Petition Filed With The Board Of Commissioners Of Miami County By Landowners (As Defined Below) And As Provided By Ohio Revised Code Section 709.023.
(first reading)
- E. An Ordinance Decreasing The Sewer Rates In Section 934.03 Of The Codified Ordinances Of Huber Heights And Increasing The Water Rates In Section 934.02 Of The Codified Ordinances Of Huber Heights.
(first reading)
- F. A Resolution Authorizing The City Manager To Acquire Needed Right Of Way, Drainage, Slope, And Temporary Easements For The East Water Main And East Sanitary Sewer Extension Projects.
(first reading)
- G. A Resolution Authorizing The City Manager To Enter Into A Contract To Provide A Water Distribution System Integrity Study.
(first reading)
- H. An Ordinance Amending Chapter 738 – Massage Therapy Establishments, Sections 738.01, 738.02, And 738.03 Of The Huber Heights Codified Ordinances To Permit Certain Certified Massage Practitioners.
(first reading)
- I. A Resolution Authorizing The City Manager To Award A Contract For Services Related To The Mowing And Maintenance Of Specified City Properties.
(first reading)

13. **City Official Reports and Comments**

14. **Executive Session**

15. **Adjournment**

AI-8206

Minutes A.

City Council Meeting

Meeting Date: 02/28/2022

Approval of Minutes - 2/14/22

Submitted By: Anthony Rodgers

Department: City Council

Council Committee Review?: None

Date(s) of Committee Review: N/A

Audio-Visual Needs: None

Emergency Legislation?: No

Motion/Ordinance/ N/A

Resolution No.:

Agenda Item Description or Legislation Title

City Council Meeting Minutes - February 14, 2022

Purpose and Background

Approval of the minutes from the February 14, 2022 City Council Meeting.

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

There are no financial implications to this agenda item.

Attachments

Minutes

1. Call The Meeting To Order - Mayor Jeff Gore

The Huber Heights City Council met in a Regular Session on February 14, 2022.
Mayor Jeff Gore called the meeting to order at 6:02 p.m.

2. Invocation - Pastor John Gakwaya Of The Compassion Free Methodist Church At 6875 Old Troy Pike, Huber Heights, Ohio

3. Pledge Of Allegiance

Mayor Jeff Gore reminded all Councilmembers to turn on the microphones when speaking. He said when the microphones are off, the live stream and recording does not pick up the voices very well.

4. Roll Call

Present: Richard Shaw, Kathleen Baker, Mark Campbell, Nancy
Byrge, Glenn Otto, Ed Lyons, Anita Kitchen, Don Webb,
Jeff Gore

5. Approval Of Minutes

A. City Council Meeting Minutes - January 24, 2022

6. Special Presentations/Announcements

There were no Special Presentations or Announcements.

7. Citizens Comments

Ms. Beth Van Haaren said there was an annexation petition last year for 233 acres which was denied by the Miami County Commissioners on a technicality involving the Ohio Department of Transportation (ODOT) and U.S. Route 40. She said DEC has resubmitted the annexation petition for 260 acres. She requested that the City not prepare the service agreement right away to give Bethel Township a chance to work out an annexation agreement between the Bethel Township Trustees and the Huber Heights City Council. She said if this annexation is a Type II expedited annexation petition, then this 260 acres will not be detached from Bethel Township giving residents dual taxation status and dual citizenship. She said those residents could vote on levies and run for office in Bethel Township and Huber Heights. She said an extra 1,000 people in the township who would vote on levies that they would not benefit from is not a good thing. She said the trustees would like to meet with Council and work out an agreement.

8. Citizens Registered to Speak on Agenda Items

Clerk of Council Anthony Rodgers said there are two citizens registered to speak on Item 10-A.

9. City Manager Report

Interim City Manager Bryan Chodkowski said City Staff have a conference call tomorrow with Republic Services as there are some areas in the City experiencing delays with trash pickup for both waste and recycling. He said City Staff did receive proposals for the Water Distribution Integrity Study which are being evaluated by the City Engineer. He said City Staff are aware of the request for a bottled water voucher program. He said that project was work that Sarah Williams was performing for Council, and she is out of the office. He said he just wanted to make Council aware the program has not been forgotten, but City Staff are not currently making progress on it and will pick it up as soon as Ms. Williams is back in the office. He said, as an update regarding Addington Place, the subdivision on Bellefontaine Road across from The Oaks, he received communication from the developer earlier today that the developer has a modified site plan to bring in and walk through with City Staff reflecting hopefully a less dense product. He said he received an update from The Annex Group, and the developer is looking for assistance to validate its tax model. He said the developer's cost modeling now indicates that market rate apartments might be more appropriate at that site, so they are fettering that out as well. He said tonight City Staff will be asking Council to forward these items on to additional readings, but he said know that City Staff are continuing to work on these items and there is some progress in areas where Council was hoping to see progress. He said City Staff talked briefly with Council about the vacant property at the east end of Carriage Trails, and he said State Route 201, LLC is the owner of the vacant property. He said City Staff are hoping to work through a Type II expedited foreclosure with Miami County to acquire that property, and due to a technicality with the City's petition, Miami County was not able to advance that foreclosure. He said the Law Director and the Assistant County Prosecutor will file an amended claim and the City hopes to have possession of that property in the next 45 to 60 days. He said the City has received the request to entertain a new service letter for the annexation of 260 acres just north of Carriage Trails. He said that service letter is an item that will be on the February 22, 2022 Council Work Session agenda for Council's conversation and deliberation.

10. Pending Business

- A. An Ordinance To Approve A Rezoning From Agricultural To Planned Residential And A Basic Development Plan For The Property Located On The East Side Of Bellefontaine Road And South Of Chambersburg Road And Further Identified As Parcel Number P70-03908-0126 On The Montgomery County Auditor's Map And Accepting The Recommendation Of The Planning Commission (Zoning Case 21-47).
(third reading)

Mr. Chodkowski asked Council to pass this item to another reading, so City Staff can review and evaluate the proposed updates from the developer to address concerns regarding density and layout.

Mrs. Cindy Smith said she hopes anything that comes up is something that follows the Comprehensive Development Plan which are detached single family homes on medium to large lots. She reminded Council that the bordering properties are homes on three acres to over twenty-five acres. She said the developer's density is 5.7, the density of the property surrounding it is less than 1, and the density of The Oaks is 2.05. She said she hopes all those factors will be taken into account and that the City and developer can come to a workable agreement.

Ms. Tracy Harmon said she is opposed to the original presentation and is praying the updates are much less dense. She asked if once a developer proposes something, if there is a timeline as to how long this development can be dragged out without making any further presentation.

Mayor Gore said if the City approves the zoning request, it would go back to the Planning Commission and the Planning Commission would work with the developer on all the details. He said there is no guaranteed timeline.

Mayor Gore said this item would be moved to a fourth reading at the recommendation of the Interim City Manager.

- B. An Ordinance To Approve A Rezoning To Planned Residential And A Basic Development Plan For The Property Located At 6502 Old Troy Pike And Further Identified As Parcel Number P70 04004 0003 On The Montgomery County Auditor's Tax Map And Accepting The Recommendation Of The Planning Commission (Zoning Case 21-34).
(fourth reading)

Mr. Chodkowski asked that Council pass this item on to an additional reading, so City Staff can continue to work with the applicant regarding modifications to the plans and understanding the fiscal commitment of their project relative to City Council's desires and expectations on payments in lieu of taxes.

Mayor Gore said this item will be moved to a fifth reading.

11. New Business

ADMINISTRATION

Bryan Chodkowski, Interim City Manager

- A. A Motion To Direct The City Manager To Submit The Proposed Amendments To Part Eleven - Planning And Zoning Code, Title One - Subdivision Regulations, Chapter 1109 - Subdivision Design Standards Of The Huber Heights City Code Regarding Sidewalk Requirements To The Planning Commission For Consideration.

Mr. Chodkowski said this motion is for Council to direct the Planning Commission's review of these proposed amendments to the Huber Heights City Code to ensure there are more stringent and specific requirements for subdivisions when it comes to setting and placing sidewalks beyond just the residential streets located within those particular subdivisions.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mrs. Byrge moved to adopt; Mr. Campbell seconded the motion. On a call of the vote, Ms. Baker, Mr. Campbell, Mrs. Byrge, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, and Mr. Shaw voted yea; none voted nay. The motion passes 8-0.

- B. A Resolution Authorizing The City Manager To Apply For, And Accept If Awarded, A Grant Through The Miami Valley Regional Planning Commission To Explore Becoming An Age-Friendly Community As Designated By AARP.
(first reading)

Mr. Chodkowski said this legislation authorizes City Staff to pursue a grant to provide for age-friendly community status.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mrs. Byrge moved to adopt; Ms. Baker seconded the motion.

Mr. Webb thanked Councilwoman Byrge for bringing this grant opportunity to Council's attention and for her presentation.

On a call of the vote, Mr. Campbell, Mrs. Byrge, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, Mr. Shaw, and Ms. Baker voted yea; none voted nay. The motion passes 8-0.

- C. A Resolution Authorizing The City Manager To Execute A Certain Lease.
(first reading)

Mr. Chodkowski said this legislation is for a lease at the former CR Dayton site for a flower shop under the terms and conditions discussed with Council.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Webb moved to adopt; Mr. Webb seconded the motion.

Mr. Otto said he is glad to see the City is leasing out the locations. He said he was at the location last week and there was caution tape next to the sidewalk because one of the gutters was about to fall down, and a piece of the gutter and a portion of the roof were missing. He said the City needs to lead by example and if the City is going to be putting tenants in and being landlords, then the City needs to give businesses a proper place.

Mr. Chodkowski said the City has a contract provider, Coleman Properties, who manages that property for the City. He said the City works through the provider to address those issues, recognizing that the provider, too, has to go out and get quotes and estimates to perform that work effectively and efficiently on the City's behalf. He said to keep in mind that City Staff is planning to make significant renovations to that building in the near future and he said he will be making a presentation to Council at the February 22, 2022 Council Work Session on that topic.

Mr. Otto said he knows the City will be doing a refacing on it, he just wants it to be safe.

On a call of the vote, Mrs. Byrge, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, Mr. Shaw, Ms. Baker, and Mr. Campbell voted yea; none voted nay. The motion passes 8-0.

- D. A Resolution Authorizing The City Manager To Award A Contract To KAP Signs To Perform Cosmetic Maintenance On The Digital Highway Sign At The Rose Music Center And Waiving The Competitive Bidding Requirements.
(first reading)

Mr. Chodkowski said City Staff would like to have the I-70 digital sign at the Rose Music Center cleaned and repainted in advance of the 2022 season and he asked Council to award the contract to the firm that constructed the sign because KAP Signs is the most knowledgeable and able to perform that work.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Webb moved to adopt; Mrs. Byrge seconded the motion. On a call of the vote, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, Mr. Shaw, Ms. Baker, Mr. Campbell, and Mrs. Byrge voted yea; none voted nay. The motion passes 8-0.

- E. An Ordinance Designating Construction Noise During Certain Hours As Civil Infractions And Authorizing The City Manager To Adopt A Fine And Penalty Schedule For Such Infractions By Enacting Chapter 1323 Of The Codified Ordinances Of The City Of Huber Heights.
(first reading)

Mr. Chodkowski said pursuant to Council's discussion and request, City Staff have prepared this legislation to address the issue of construction noise. He asked Council to adopt this item so City Staff can advance and codify these changes.

Mayor Gore said the Council Work Session recommendation was to pass this item to a second reading, so this item will be changed to a recommendation to waive the second reading and to adopt the item this evening.

Mr. Shaw moved to adopt; Ms. Baker seconded the motion.

Mr. Rodgers said a motion to waive the second reading is needed first.

Ms. Baker moved to waive the second reading; Mr. Webb seconded the motion. On a call of the vote, Mr. Lyons, Mr. Webb, Mr. Shaw, Ms. Baker, and Mrs. Byrge voted yea; Mrs. Kitchen, Mr. Campbell, and Mr. Otto voted nay. The motion fails 5-3.

Mayor Gore said this item will be moved to a second reading.

- F. A Resolution Authorizing The City Manager To Solicit, Advertise And Receive Bids From Qualified Firms For The 2022 Street Improvement Program Non-Concrete Work. (first reading)

Mr. Chodkowski said this item is annual recurring legislation before Council and is the appropriate tool for City Staff to begin the process of the annual street improvement process. He said in the Council Work Session, there was talk about particular streets which may or may not be included. He said for the purposes of bidding and ensuring the City could get fixed pricing, City Staff kept the original streets as listed in the legislation as proposed at the Council Work Session. He said City Staff will review and evaluate areas in and around Ward 4 and make a determination at the time of construction about whether those particular streets should remain or be substituted for other streets to ensure the City has the best quality pricing.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Campbell moved to adopt; Mr. Otto seconded the motion.

Mrs. Kitchen said she highly recommends moving the Ward 4 streets to 2023 until Council knows more about the water issues instead of doing this work in 2022. She said she feels like this work could be a big waste of money.

On a call of the vote, Mrs. Kitchen, Mr. Webb, Mr. Shaw, Ms. Baker, Mr. Campbell, Mrs. Byrge, Mr. Otto, and Mr. Lyons voted yea; none voted nay. The motion passes 8-0.

- G. A Resolution Authorizing The City Manager To Solicit, Advertise, And Receive Bids From Qualified Firms For The 2022 Sidewalk Replacement Program And The Concrete Portion Of The 2022 Street Improvement Program. (first reading)

Mr. Chodkowski said this item is annual recurring legislation that authorizes City Staff to begin the annual sidewalk replacement program. He asked that the Council to adopt this legislation to begin the process for 2022.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Campbell moved to adopt; Mrs. Byrge seconded the motion.

Mrs. Kitchen said once again, she prefers Ward 4 be held off until 2023 because if she personally paid for having an easement redone and then the City came along a few weeks or months later and ripped it up to lay piping, she would be terribly upset. She said she prefers until everything is done with the water issues, that Ward 4 be pushed back to 2023 and then be picked up.

Mrs. Byrge confirmed with Mayor Gore that if that happened, the City would be responsible for the cost.

Mrs. Kitchen gave an example of a neighbor who paid for a new sidewalk a few years ago who may have it ripped up by the City. She said she would be upset if something she paid \$1,100 for was getting ripped up, regardless if the City is paying for it or not.

Mrs. Byrge said you do not know if that is going to happen.

Mrs. Kitchen said she does not know that it will not happen. She said the City is paying for a study to be done to know why the pipes are breaking, and until that study is done, why would the City do anything until City Staff knows more?

Mr. Chodkowski said there are a couple things that City Staff is taking into consideration. He said there will be additional time to review and evaluate the lining work that has occurred within that district to determine if those particular water mains are breaking at a substantially greater rate than elsewhere. He said in that particular area, the City is now replacing water mains with new water mains. He said some of the concerns with the lined work will not exist here. He said water main replacement is the most effective way to minimize breaks. He said work that would occur on streets where water mains were replaced is work that City Staff feels would be wisely invested. He said City Staff would have the time and ability to evaluate the work that has been done with regard to the lining project to determine if those pipes are breaking at an abnormally high rate compared to outright main replacements or areas that were not previously lined. He said it is easier for the City to bid total quantity based on a known product area and then amend the scope of work with the vendor later. He said to bid a quantity amount with the contractor not knowing where that amount might apply runs the risk of the contractor charging a higher rate for that commodity. He said City Staff are conscientious about making sure they are not going to spend the same dollar twice. He said City Staff will exercise the best judgment possible. He said if there is information from the study that suggests some of these items may not be a good idea to pave due to the risk of failure, then City Staff will advise Council of the alternative locations that will be paved.

Mrs. Kitchen asked Mr. Chodkowski to keep her updated on Ward 4.

On a call of the vote, Mr. Webb, Mr. Shaw, Ms. Baker, Mr. Campbell, Mrs. Byrge, Mr. Otto, Mr. Lyons, and Mrs. Kitchen voted yea; none voted nay. The motion passes 8-0.

- H. A Resolution Authorizing The City Manager To Solicit, Advertise, And Receive Bids From Qualified Firms For The Construction Of The 2022 Rehabilitation Of Sewer Lines Project.
(first reading)

Mr. Chodkowski said this item is recurring legislation and he asked Council to approve this legislation so City Staff may begin the necessary work to execute this program in this fiscal year.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Campbell moved to adopt; Ms. Baker seconded the motion. On a call of the vote, Mr. Shaw, Ms. Baker, Mr. Campbell, Mrs. Byrge, Mr. Otto, Mr. Lyons, Mrs. Kitchen, and Mr. Webb voted yea; none voted nay. The motion passes 8-0.

- I. A Resolution Authorizing The City Manager To Solicit, Advertise And Receive Bids From Qualified Firms For The Construction Of The Thomas Cloud Path Resurfacing Project.
(first reading)

Mr. Chodkowski said this legislation is associated with a grant received from the Miami Valley Regional Planning Commission approximately two years ago and he asked Council to approve this legislation so City Staff can commence this project and secure those grant dollars.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Otto moved to adopt; Ms. Baker seconded the motion. On a call of the vote, Ms. Baker, Mr. Campbell, Mrs. Byrge, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, and Mr. Shaw voted yea; none voted nay. The motion passes 8-0.

- J. A Resolution Accepting Certain Streets And Public Improvements For The Carriage Trails Subdivision.
(first reading)

Mr. Chodkowski said this legislation accepts what is private infrastructure that has passed inspection by City Staff as new public infrastructure within the Carriage Trails Subdivision.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mrs. Byrge moved to adopt; Ms. Baker seconded the motion. On a call of the vote, Mr. Campbell, Mrs. Byrge, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, Mr. Shaw, and Ms. Baker voted yea; none voted nay. The motion passes 8-0.

- K. A Resolution Authorizing The City Manager To Enter Into A Contract To Purchase Two (2) Class Seven Snowplow Dump Trucks And Appurtenant Equipment Thereto For The Public Works Division And Waiving The Formal Bidding Requirements. (first reading)

Mr. Chodkowski said City Staff ask that Council pass this legislation to ensure the Public Works Division will have the appropriate equipment needed.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Lyons moved to adopt; Mrs. Kitchen seconded the motion. On a call of the vote, Mrs. Byrge, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, Ms. Baker, and Mr. Campbell voted yea; Mr. Shaw voted nay. The motion passes 7-1.

- L. A Resolution Authorizing The City Manager To Solicit Bids And Award A Contract For Services Related To The Maintenance, Repair And Minor Construction Of Traffic Signals And Outdoor Decorative Lighting. (first reading)

Mr. Chodkowski said the City requires assistance from specialized firms to provide support for various apparatus. He asked that Council authorize this legislation so City Staff may solicit bids to ensure the City is receiving the best, lowest, and qualified services.

Mayor Gore said the Council Work Session recommendation was to adopt this item.

Mr. Shaw moved to adopt; Mr. Campbell seconded the motion. On a call of the vote, Mr. Otto, Mr. Lyons, Mrs. Kitchen, Mr. Webb, Mr. Shaw, Ms. Baker, Mr. Campbell, and Mrs. Byrge voted yea; none voted nay. The motion passes 8-0.

12. City Official Reports and Comments

Mrs. Byrge said she had the honor of attending a spectacular event at the Huber Heights Community Center this weekend. She said the Arts and Beautification Commission did a wonderful job putting on an art show. She said it was very well attended and also highlighted the fact that there is insufficient parking at the site. She said there are graduation parties and weddings scheduled that will bring in a lot of cars. She said she hopes something can be placed on the next Council Work Session agenda to address expanding that parking lot.

Mayor Gore asked Mrs. Byrge to email him with that agenda item.

Ms. Baker said she also attended the art show, and it was a wonderful function. She said she is very proud of Rushmore Elementary as the fourth grade put up a wonderful art display. She said she sees the need for a sign to be located out front of the Huber Heights Community Center.

Mayor Gore asked Ms. Baker to email him with that agenda item also.

Mr. Otto said he would like to ask everyone on the dais to give due consideration to

Ms. Van Haaren's request for a public meeting between the two government bodies to discuss the future together.

13. Executive Session

Mayor Gore said Mr. McDonald notified him that there is a need for an Executive Session.

Mr. Rodgers said a motion to go into Executive Session to discuss pending litigation is needed.

Mrs. Byrge moved to enter into Executive Session to discuss pending litigation. Ms. Baker seconded the motion. On a call of the vote, Mr. Lyons, Mrs. Kitchen, Mr. Webb, Mr. Shaw, Ms. Baker, Mr. Campbell, Mrs. Byrge, and Mr. Otto voted yea; none voted nay. The motion passes 8-0.

City Council went into Executive Session at 6:40 p.m.

City Council adjourned from Executive Session at 6:56 p.m.

Mayor Gore said no formal actions were being taken following the Executive Session.

14. Adjournment

Mayor Gore adjourned the Regular Session City Council Meeting at 6:56 p.m.

Clerk of Council

Date

Mayor

Date

AI-8209

Pending Business A.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

Huber Heights City Code Revisions - Construction Noise

Submitted By: Stephanie Wunderlich

Department: Engineering

Division: Engineering

Council Committee Review?: Council Work
Session

Date(s) of Committee Review: 11/16/2021 and 12/07/2021
and 01/04/2022 and
01/18/2022 and 02/08/2022

Audio-Visual Needs: None

Emergency Legislation?: No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

An Ordinance Designating Construction Noise During Certain Hours As Civil Infractions And Authorizing The City Manager To Adopt A Fine And Penalty Schedule For Such Infractions By Enacting Chapter 1323 Of The Codified Ordinances Of The City Of Huber Heights.
(second reading)

Purpose and Background

The City Code in Section 509.08(b)(10) - Disturbing The Peace (see attached) addresses the days and hours allowed for construction work. It is currently 7:00 a.m. to 10:00 p.m. on weekdays. Construction on Saturdays (due to noise) has become an issue lately.

The Law Director has prepared some draft revisions to the City Code regarding construction noise (see attached).

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

Attachments

Ordinance

CITY OF HUBER HEIGHTS
STATE OF OHIO

ORDINANCE NO. 2022-O-

DESIGNATING CONSTRUCTION NOISE DURING CERTAIN HOURS AS CIVIL INFRACTIONS AND AUTHORIZING THE CITY MANAGER TO ADOPT A FINE AND PENALTY SCHEDULE FOR SUCH INFRACTIONS BY ENACTING CHAPTER 1323 OF THE CODIFIED ORDINANCES OF THE CITY OF HUBER HEIGHTS.

WHEREAS, Council believes that construction noises should be limited to during certain times of certain days; and

WHEREAS, existing criminal provisions regarding disturbing the peace have not proven effective to deter against prohibited construction noises; and

WHEREAS, in addition to the existing disturbing the peace violation, Council desires to designate certain construction noise violations civil infractions.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Huber Heights, Ohio that:

Section 1. Part Thirteen - Building Code, Title Three - Local Provisions, Chapter 1323 – Construction Noise is hereby adopted to read as follows:

1323 - CONSTRUCTION NOISE

1323.01 Definitions

“*Construction Noise*” shall mean noise created by, the erection (including excavating), demolition, alteration, or repair of any structure, within or adjacent to a residential zoning district including but not limited to noise from heavy equipment such as crawlers, tractors, bulldozers, cement mixers, rotary drills and augers, loaders, power shovels, saws, cranes, derricks, graders, off-highway trucks, ditchers, trenchers, compactors, compressors; pavement breakers, paving equipment, pile drivers, jackhammers, sandblasting tools, and other similar equipment (collectively “construction activity”) that disturb the good order and quiet of the City.

“*Owner of Property*” shall mean the owner of the real property where the construction activity that leads to Construction Noise originates.

“*Stop Work Order*” means an order issued which requires that all construction activity on a site be stopped.

1323.02 Prohibition

(a) No property owner shall operate, cause to operate, or allow to operate any tools or equipment or activity that causes Construction Noise between 7 p.m. and 7 a.m. on Monday through Saturday or any time on Sunday or legal Ohio holidays.

(b) Section 1323.02(a) shall not apply when the Construction Noise is associated with urgent necessity in the interest of public health and safety, and then only with a permit from the City Engineer, which permit may be granted for a period not to exceed three (3) days while the emergency continues, and which permit may be renewed for a period of three (3) days or less while the emergency continues.

(c) Section 1323.02(a) shall not apply to Construction Noise originating from water main breaks, repair of collapsed roadway from water or sewer issues;

City/ODOT projects paving at night on City throughfares; and utility company repairs due to storms, or accidents affecting utility service.

1323.03 Civil Infraction

(a) The Huber Heights Civil Infractions Violations Bureau shall have the jurisdiction over any Construction Noise Violations under this Chapter 1323. The hearing office shall be a City Prosecutor.

(b) All Construction Noise Violations infractions that are a violation under Section 1323.02 shall be civil infractions handled pursuant to and be governed by this Section 1323.03. The provisions of this chapter and all actions taken pursuant to this chapter are civil and remedial in nature and not designed to punish the offender and are not criminal offenses. No violation shall be considered a misdemeanor of any class, and no Property Owner shall be arrested for a violation of a Construction Noise Violation under this Chapter

(c) A Construction Noise Violation Notice shall be the summons and complaint for purposes of issuing Construction Noise citations. Each Construction Noise Notice issued shall contain the following information:

(i) That the person upon whom it is served must answer in relation to the Construction Noise infraction charged in the Notice;

(ii) The allowable answers that may be made and that the person will be afforded a hearing if he/she denies a violation of Section 1323.02;

(iii) That any answer must be made to Huber Heights Civil Infractions Violations Bureau, the address for the Bureau, and the time within which an answer is to be made;

(iv) The penalties that may result from failure to timely answer and the fine that arises from the Construction Noise infraction; and

(iv) A warning that failure to timely answer or to appear at a requested hearing will be considered an admission of the Construction Noise infraction, and that a default civil judgment potentially may be entered against the Property Owner if the person fails to timely answer or to appear at a requested hearing.

(d) Procedures relative to Construction Noise Notices.

(1) *Issuance.* The Enforcement Officer who issues a Construction Noise Notice for a Construction Noise infraction shall complete the Notice by identifying the Construction Noise infraction charged, recording the address of the property, and indicating the date, time, and place of the Construction Noise infraction charged. The Officer shall sign the Notice and affirm the facts it contains. If the Property Owner is present, the Officer shall personally serve the Construction Noise Notice upon the Property Owner. If the Property Owner is not present, the Officer post the Notice in a conspicuous place on the property and mail it to the Property Owner at the last known address of the Property Owner. Constructive service of a Construction Noise Notice upon a Property Owner by affixation and mail as provided in this division has the same force and effect and potentially subjects the Property Owner to the same fine and the same penalties for failure to timely answer or to appear as if the Construction Noise Notice were personally served. The original of a Construction Noise Notice issued pursuant to this section or any true copy of it shall be considered a record kept in the ordinary course of business of the City and of the enforcement agency whose officer issued it, and shall be prima facie evidence of the facts it contains.

(2) *Answer to charges.* A person who is served with a Construction Noise Notice charging the commission of a Construction Noise infraction may answer

the charge by personal appearance at the Huber Heights Police Division during normal business hours or by mail. The answer shall be made within ten days of the issuance of the Construction Noise Notice (the mailing must be postmarked within ten days of the issuance of the Notice) and shall be: (i) An admission that the violation of Section 1323.02 occurred by payment of the fine or (ii) A denial that the infraction occurred and a request for a hearing. A denial must be in writing. When a person denies that a violation of Section 1323.02 has occurred, he shall be granted a hearing which shall be civil in nature. The Bureau shall set a date for the hearing and notify the person, in writing, of the date, time and place of the hearing in the same fashion as set forth in Huber Heights City Code Section 353.05.

(3) *Failure to answer.* When a person is personally or constructively served with a Construction Noise Notice charging the commission of a Construction Noise infraction and the person fails to answer the charge within the time specified by the local authority, the Huber Heights Civil Infractions Violations Bureau shall issue a notice of infraction and send such notification of infraction to the address on record of the Property Owner as follows: (i) If the person who fails to answer was personally served with the Construction Noise Notice, a notification of infraction shall be sent to that person at his/her most recent address appearing in such records; (ii) If the person was constructively served with the Construction Noise Notice, a notification of infraction shall be sent to the owner at his most recent address appearing in the public records.

(e) *Stop Work Order.* In addition to any other penalty otherwise provided by law, if three or more judgments or default judgments have been entered against a person and the person has not paid any one or more of the judgments or default judgments, within ten days of the date of entry of the third judgment, the Huber Heights Civil Infractions Violations Bureau may give notice of that fact to the Enforcement Officer who shall then issue a Stop Work Order until such time as the violations have been paid.

1323.04 Fines, penalties and costs.

(a) The City Manager shall adopt a fine schedule for a violation of civil infractions and prescribe an additional penalty or penalties for failure to answer any charges of the violation in a timely manner, provided that no fine adopted or additional penalty prescribed exceed \$250.00, plus costs and other administrative charges, per violation

(b) All fines and penalties established for a Construction Noise infraction shall be collected by the Finance Director and paid into the City Treasury.

(c) The costs of proceedings shall be administratively determined by the City Manager.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 3. This Ordinance shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____, 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

AI-8207

Pending Business B.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

ZC 21-47 - Campbell Berling - Rezoning/Basic Development Plan - East Side Of Bellefontaine Road South Of Chambersburg Road

Submitted By: Geri Hoskins

Department: Planning

Division: Planning

Council Committee Review?: Council Work Session

Date(s) of Committee Review: 01/04/2022

Audio-Visual Needs: SmartBoard

Emergency Legislation?: No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

An Ordinance To Approve A Rezoning From Agricultural To Planned Residential And A Basic Development Plan For The Property Located On The East Side Of Bellefontaine Road And South Of Chambersburg Road And Further Identified As Parcel Number P70-03908-0126 On The Montgomery County Auditor's Map And Accepting The Recommendation Of The Planning Commission (Zoning Case 21-47).
(fourth reading)

Purpose and Background

The applicant, Campbell Berling, requests approval of a Rezoning to Planned Residential and a Basic Development Plan for 22.968 acres on Bellefontaine Road for a residential subdivision.

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

Attachments

Ordinance

CITY OF HUBER HEIGHTS
STATE OF OHIO

ORDINANCE NO. 2022-O-

TO APPROVE A REZONING FROM AGRICULTURAL TO PLANNED RESIDENTIAL AND A BASIC DEVELOPMENT PLAN FOR THE PROPERTY LOCATED ON THE EAST SIDE OF BELLEFONTAINE ROAD AND SOUTH OF CHAMBERSBURG ROAD AND FURTHER IDENTIFIED AS PARCEL NUMBER P70-03908-0126 ON THE MONTGOMERY COUNTY AUDITOR'S MAP AND ACCEPTING THE RECOMMENDATION OF THE PLANNING COMMISSION (ZONING CASE 21-47).

WHEREAS, the citizens of Huber Heights require the efficient and orderly planning of land uses within the City; and

WHEREAS, the City Planning Commission has reviewed Zoning Case 21-47 and on December 14, 2021, recommended approval by a vote of 5-0 of the Rezoning and the Basic Development Plan; and

WHEREAS, the City Council has considered the issue.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Huber Heights, Ohio that:

Section 1. The application requesting approval of a Rezoning and the Basic Development Plan (Zoning Case 21-47) is hereby approved in accordance with the Planning Commission's recommendation and following conditions:

1. The Basic Development Plan site plans shall be the plans stamped received by the City of Huber Heights Planning Department on November 16, 2021, unless specifically modified below.
2. The minimum setbacks shall be as follows: 25-foot front yard, minimum 25-foot rear yard with a maximum of 15 lots having a 20-foot rear yard setback and 6-foot side yard.
3. An average of 40 percent of the surface area of the front façade shall be finished with brick or stone masonry products.
4. A drop lane for northbound traffic shall be installed and an acceleration lane to northbound Bellefontaine Road shall be installed pending the results of a traffic impact study and approval by the City Engineer.
5. The applicant shall meet all petroleum company easement requirements.
6. Prior to the issuance of a zoning permit, the applicant shall submit and receive approval of a Detailed Development Plan through the Planning Commission.
7. Prior to the issuance of a zoning permit, the applicant shall enter into a PUD Agreement with the City for the purpose, but not the sole purpose, of establishing the development obligations of the applicant and requiring the submittal of a performance bond, cash bond, or letter of credit to insure the installation of landscaping as approved. The bond or letter of credit shall be in an amount equal to the applicant's estimate of the cost of installation as approved by the Planning Department and shall remain in effect until such time as the landscaping has been completed as determined by the Planning Department. Upon completion of the installation of landscaping as required by the approved landscape plan, the applicant may request release of the performance bond or letter of credit. Following an inspection by the Planning Department and upon determination by the department that the landscaping has been completed in accordance with the approved landscaping plan, 80 percent of the performance bond or letter of credit may be released. However, the performance bond or letter of credit will not be released until a maintenance bond lasting three growing seasons, or letter of credit equal to 20 percent of the initial performance bond or letter of credit to ensure maintenance of the landscaping, is submitted to and accepted by the Planning Department. The term of the maintenance bond shall be three growing seasons.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 3. This Ordinance shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____, 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

AI-8208

Pending Business C.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

ZC 21-34 - The Annex Group - 6502 Old Troy Pike - Rezoning/Basic Development Plan

Submitted By: Geri Hoskins

Department: Planning

Division: Planning

Council Committee Review?: Council Work Session

Date(s) of Committee Review: 11/16/2021 and 12/07/2021

Audio-Visual Needs: SmartBoard

Emergency Legislation?: No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

An Ordinance To Approve A Rezoning To Planned Residential And A Basic Development Plan For The Property Located At 6502 Old Troy Pike And Further Identified As Parcel Number P70 04004 0003 On The Montgomery County Auditor's Tax Map And Accepting The Recommendation Of The Planning Commission (Zoning Case 21-34).
(fifth reading)

Purpose and Background

The applicant, the Annex Group is requesting approval of a Rezoning to Planned Residential and a Basic Development Plan for 20.0 acres at the northeast corner of Old Troy Pike and Chambersburg Road at 6503 Old Troy Pike (ZC 21-34).

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

Attachments

Ordinance

CITY OF HUBER HEIGHTS
STATE OF OHIO

ORDINANCE NO. 2021-O-

TO APPROVE A REZONING TO PLANNED RESIDENTIAL AND A BASIC DEVELOPMENT PLAN FOR THE PROPERTY LOCATED AT 6502 OLD TROY PIKE AND FURTHER IDENTIFIED AS PARCEL NUMBER P70 04004 0003 ON THE MONTGOMERY COUNTY AUDITOR'S TAX MAP AND ACCEPTING THE RECOMMENDATION OF THE PLANNING COMMISSION (ZONING CASE 21-34).

WHEREAS, the citizens of Huber Heights require the efficient and orderly planning of land uses within the City; and

WHEREAS, the City Planning Commission has reviewed Zoning Case 21-34 and on October 26, 2021, recommended approval by a vote of 5-0 of the Rezoning to Planned Residential and a Basic Development Plan; and

WHEREAS, the City Council has considered the issue.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Huber Heights, Ohio that:

Section 1. The application requesting approval of a Rezoning to Planned Residential and a Basic Development Plan (Zoning Case 21-34) is hereby approved in accordance with the Planning Commission's recommendation and following conditions:

1. The Basic Development Plan shall be the plans stamped received by the City of Huber Heights Planning Department on September 24, 2021.
2. A minimum of 25% of the surface area of the buildings shall be finished with brick or stone masonry products.
3. Chambersburg Road will be improved to a forty-five (45) foot half right-of-way section per our City's Thoroughfare Plan.
4. Prior to the issuance of a zoning permit, the applicant shall submit and receive approval of a Detailed Development Plan through the Planning Commission.
5. Applicant shall implement any recommendation from the Traffic Impact Study dated October 2021.
6. Prior to the issuance of a zoning permit, the applicant shall enter into a PUD Agreement with the City for the purpose, but not the sole purpose, of establishing the development obligations of the applicant and requiring the submittal of a performance bond, cash bond, or letter of credit to insure the installation of landscaping as approved. The bond or letter of credit shall be in an amount equal to the applicant's estimate of the cost of installation as approved by the Planning Department and shall remain in effect until such time as the landscaping has been completed as determined by the Planning Department. Upon completion of the installation of landscaping as required by the approved landscape plan, the applicant may request release of the performance bond or letter of credit. Following an inspection by the Planning Department and upon determination by the department that the landscaping has been completed in accordance with the approved landscaping plan, 80% of the performance bond or letter of credit may be released. However, the performance bond or letter of credit will not be released until a maintenance bond lasting three growing seasons, or letter of credit equal to 20% of the initial performance bond or letter of credit to ensure maintenance of the landscaping, is submitted to and accepted by the Planning Department. The term of the maintenance bond shall be three growing seasons.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 3. This Ordinance shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____ 2021;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

AI-8229

**New Business A.
City Council**

City Council Meeting

Meeting Date: 02/28/2022

ZC 22-05 - Huber Heights Library - 6243 Brandt Pike - Basic and Detailed Development Plans - Public Hearing

Submitted By: Anthony Rodgers

Department: City Council

Council Committee Review?: Council Work Session
Date(s) of Committee Review: 02/22/2022

Audio-Visual Needs: SmartBoard **Emergency Legislation?:** No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

A Public Hearing Scheduled For February 28, 2022 By The Huber Heights City Council For Zoning Case 22-05. The Applicant Is LWC, Incorporated. The Applicant Is Requesting Approval Of A Combined Basic And Detailed Development Plan For Four Acres Of Property Located At 6243 Brandt Pike For Construction Of A New Library.

Purpose and Background

LWC, Incorporated is requesting approval of a Combined Basic and Detailed Development Plan for 4.0 acres of property located at 6243 Brandt Pike for construction of a new library (ZC 22-05). This development is in furtherance with the City's partnership with Dayton Metro Library.

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

Attachments

No file(s) attached.

AI-8218

**New Business B.
City Manager**

City Council Meeting

Meeting Date: 02/28/2022

ZC 22-05 - Huber Heights Library - 6243 Brandt Pike - Basic and Detailed Development Plans

Submitted By: Jamie Frey

Department: Planning

Council Committee Review?: Council Work Session **Date(s) of Committee Review:** 02/22/2022

Audio-Visual Needs: None **Emergency Legislation?:** No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

An Ordinance To Approve A Basic And Detailed Development Plan For The Property Located At 6243 Brandt Pike And Accepting The Recommendation Of The Planning Commission (Zoning Case 22-05). (first reading)

Purpose and Background

LWC Incorporated is requesting approval of a Basic and Detailed Development Plan for 4.0 acres of property located at 6243 Brandt Pike for construction of a new library (ZC 22-05). This development is in furtherance with the City's partnership with Dayton Metro Library.

Fiscal Impact

Source of Funds: N/A

Cost: N/A

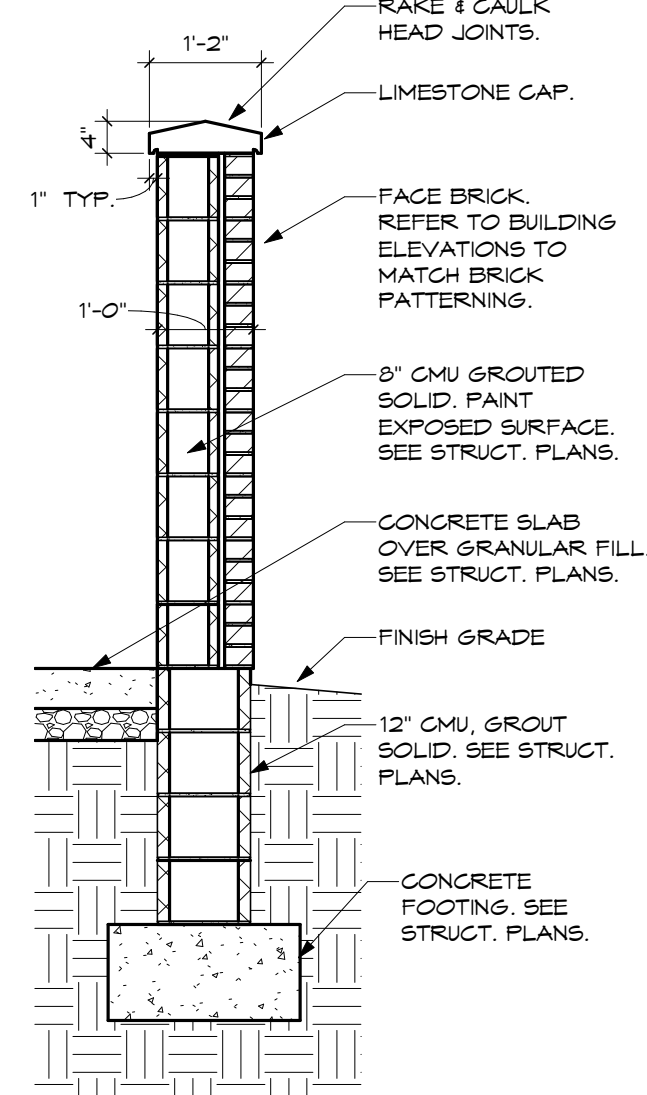
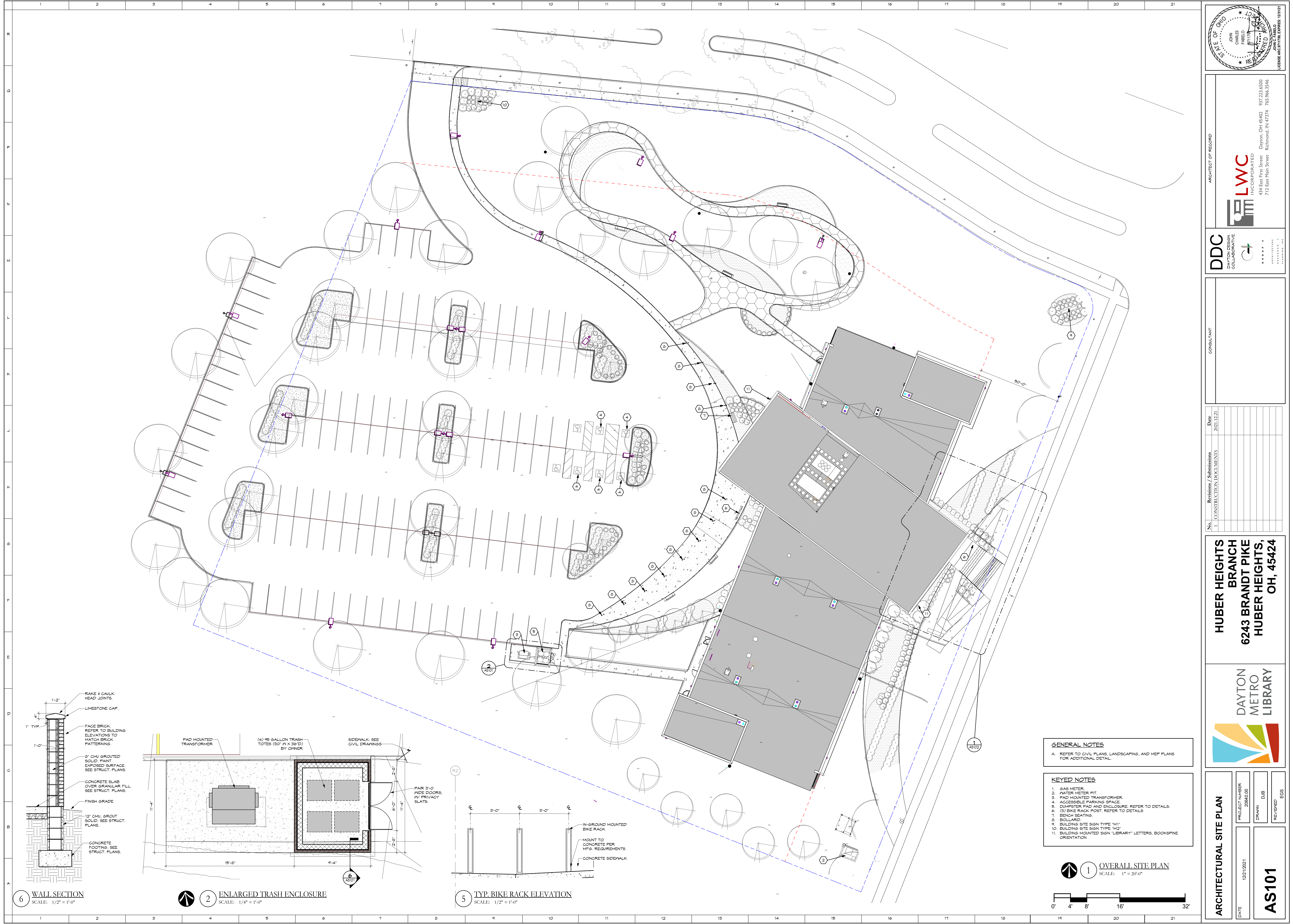
Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

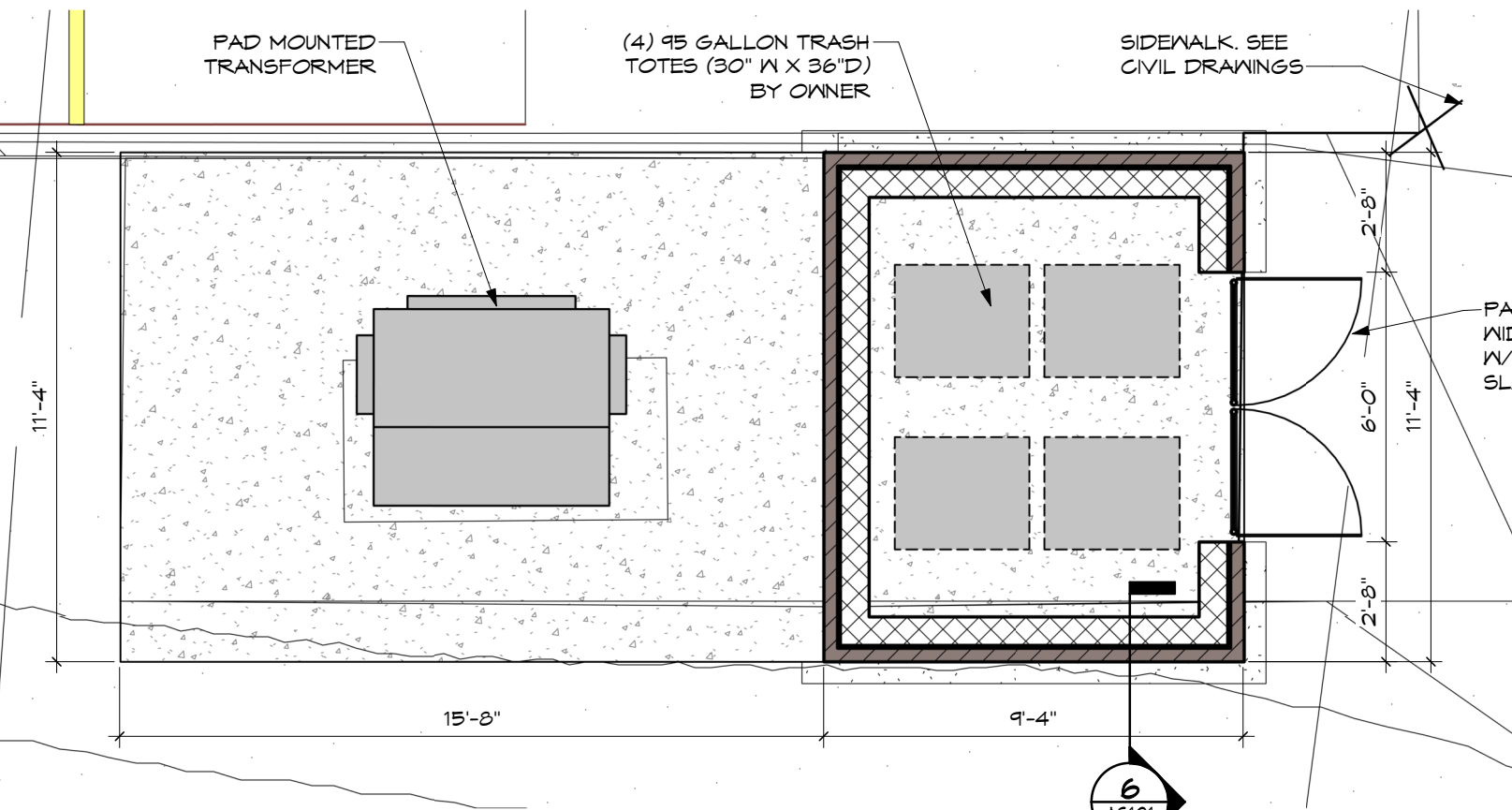
Financial Implications:

Attachments

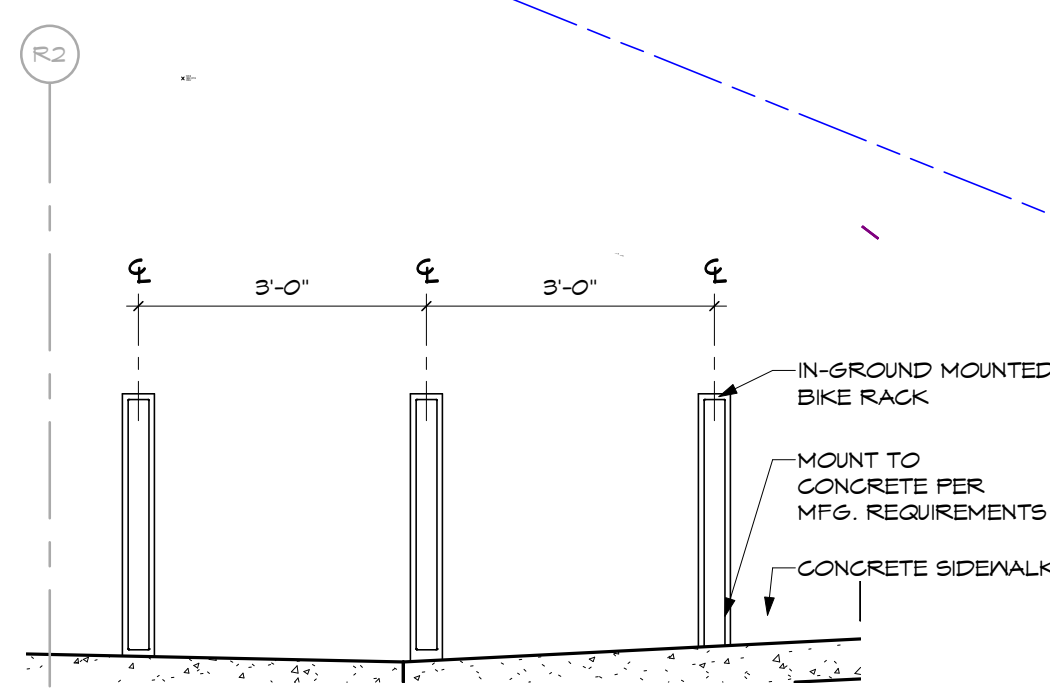
Drawings
Renderings
Lighting Report
Fire Assessment
Staff Report
Decision Record
Presentation
Ordinance



6 WALL SECTION
SCALE: 1/2" = 1'-0"



2 ENLARGED TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"

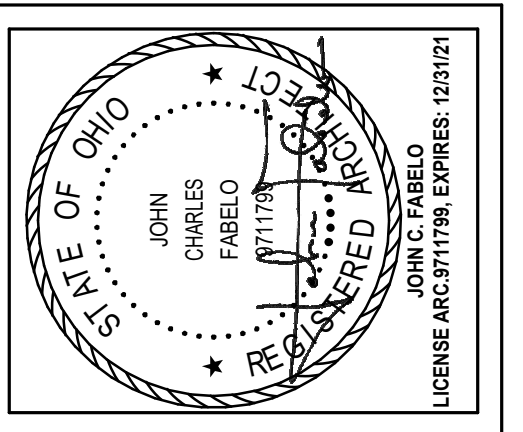
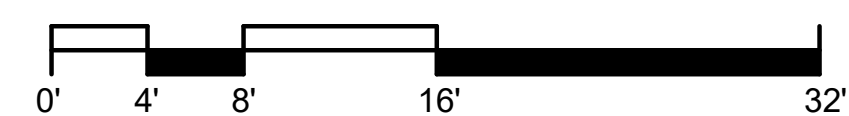


5 TYP. BIKE RACK ELEVATION
SCALE: 1/2" = 1'-0"

GENERAL NOTES
A. REFER TO CIVIL PLANS, LANDSCAPING, AND MEP PLANS FOR ADDITIONAL DETAIL.

- KEYED NOTES
- 1. GAS METER
 - 2. WATER METER PIT
 - 3. PAD MOUNTED TRANSFORMER
 - 4. ACCESSIBLE PARKING SPACE
 - 5. DUMPSTER PAD AND ENCLOSURE. REFER TO DETAILS.
 - 6. (3) BIKE RACK POST. REFER TO DETAILS
 - 7. BENCH SEATING
 - 8. BOLLARD
 - 9. BUILDING SITE SIGN TYPE "M1"
 - 10. BUILDING SITE SIGN TYPE "M2"
 - 11. BUILDING MOUNTED SIGN "LIBRARY" LETTERS, BOOKSPINE ORIENTATION

1 OVERALL SITE PLAN
SCALE: 1" = 20'-0"



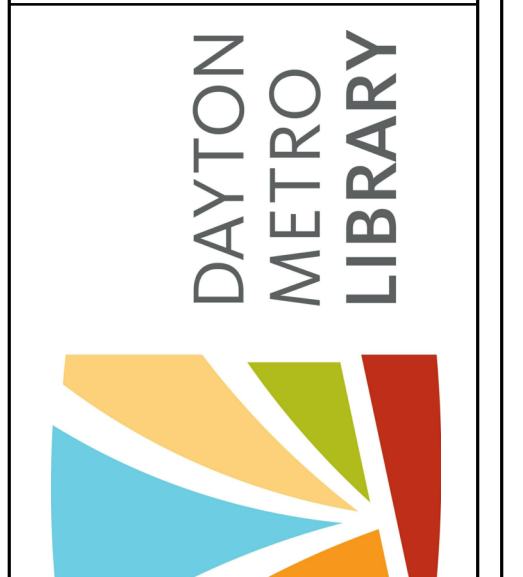
ARCHITECT OF RECORD

LWC
INCORPORATED
434 East First Street
712 East Main Street
Dayton, OH 45402 937.333.6500
Richmond, IN 47374 765.966.3546

DDC
DAYTON DESIGN
COLLABORATIVE
ARCHITECTURE + INTERIOR DESIGN

NO.	REVISIONS / SUBMITTALS	DATE
1	CONSTRUCTION DOCUMENTS	20/11/21

HUBER HEIGHTS
BRANCH PIKE
6243 BRANDT PIKE
HUBER HEIGHTS,
OH, 45424



ARCHITECTURAL SITE PLAN

PROJECT NUMBER 20040.00	DRAWN DUB	REVIEWED EGS
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DATE
12/21/2021

AS101



1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
2. All items noted to be removed shall be done as part of the contract for general construction.
3. Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
5. The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan. All cuts and plugs shall be performed according to City of Huber Heights standards where applicable.
6. For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
7. The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
8. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
9. Backfill excavations resulting from demolition work to meet the requirements for fill outlined in the Geotechnical / Soils Report.
10. During the initial field survey, many storm and sanitary sewer structures were observed as damaged. For structures that are to be retained and/or protected on-site, the Contractor shall coordinate with the City of Huber Heights to have damaged structures repaired or replaced as necessary.

- 01 REMOVE EXISTING PAVEMENT, GRAVEL, TOPSOIL, TREES, BUSHES AND ANY OTHER UNSUITABLE MATERIALS IN PROJECT AREA AND PREPARE SITE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
























- (02) SAWCUT AND REMOVE EXISTING CURB FOR NEW CURB CUT / DRIVEWAY OR SAWCUT PAVEMENT TO REMOVE EX. DRIVE APPROACH.

- (03) REMOVE CURB
- (04) REMOVE SIDEWALK
- (05) REMOVE ENTRANCE SIGN PAD. COORDINATE WORK WITH OWNER AND CITY OF HUBER HEIGHTS.
- (06) REMOVE ATM MACHINE CONCRETE PAD AND ACCESSORIES. COORDINATE WORK WITH OWNER AND CITY OF HUBER HEIGHTS.
- (07) REMOVE PARKING LOT POLE LIGHT.
- (08) REMOVE ELECTRICAL BOX ON POLE.
- (09) REMOVE BUILDING AND SIDEWALK IN FRONT OF BUILDING. COORDINATE WORK WITH OWNER AND CITY OF HUBER HEIGHTS.
- (10) REMOVE 15" STORM SEWER. PROPOSED STORM SEWER IN THIS AREA TO BE IN PLACE PRIOR TO REMOVING EXISTING STORM.
- (11) REMOVE CATCH BASIN. CATCH BASIN WILL BE REPLACED WITH A NEW STORM STRUCTURE.
- (12) TELEPHONE PEDESTAL TO BE RELOCATED, COORDINATE WORK WITH UTILITY OWNER.



A horizontal number line with two tick marks labeled 0 and 15. The segment between 0 and 15 is shaded gray.

1 inch = 30 ft.

EXISTING CONDITIONS LEGEND

	IRON PIN FOUND		SANITARY MANHOLE
	MAGNAL FOUND		CURB INLET
	IRON PIPE FOUND		DRIP INLET
	CONC. MONUMENT FOUND		STORM MANHOLE
	ELECTRIC CABINET		FIRE HYDRANT
	POWER POLE		WATER MAIN VALVE
	TRAFFIC SIGNAL POLE		WATER MANHOLE
	LIGHT POLE		FIRE DEPT. CONNECTION
	TELEPHONE MANHOLE		BOLLARD
	TRAFFIC CONTROL BOX		TREE W/SIZE
	CROSSWALK SIGNAL POLE		EVERGREEN TREE
	LAMPOL		

— G —	EX. GAS MAIN
— W —	EX. SANITARY SEWER
—	EX. WATER MAIN
— E —	EX. STORM SEWER
— OH —	EX. UNDERGROUND ELECTRIC LINE
— T —	EX. OVERHEAD ELECTRIC LINE
— C —	EX. TELEPHONE LINE
— CO —	EX. CONTOUR LINE
— — — — —	SUBJECT PROPERTY LINE
— — — — —	ADJACENT PROPERTY LINE

500
546

ARCHITECT OF RECORD



INCORPORATED
434 East First Street
712 East Main Street

CCC



NT
OM

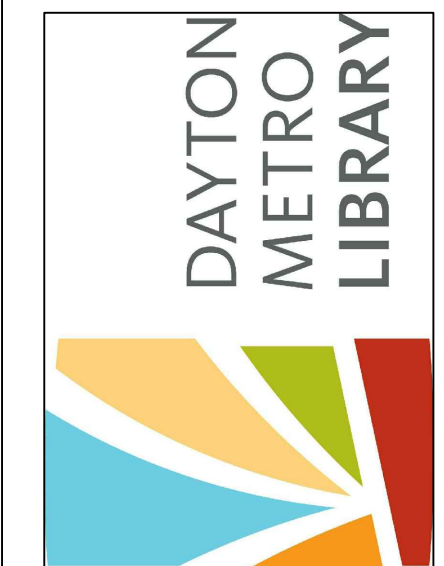


are

Revisions / Submissions

[illegible]

**HUBER HEIGHTS
BRANCH
6243 BRANDT PIKE
HUBER HEIGHTS
OH, 45424**



DEMOLITION PLAN

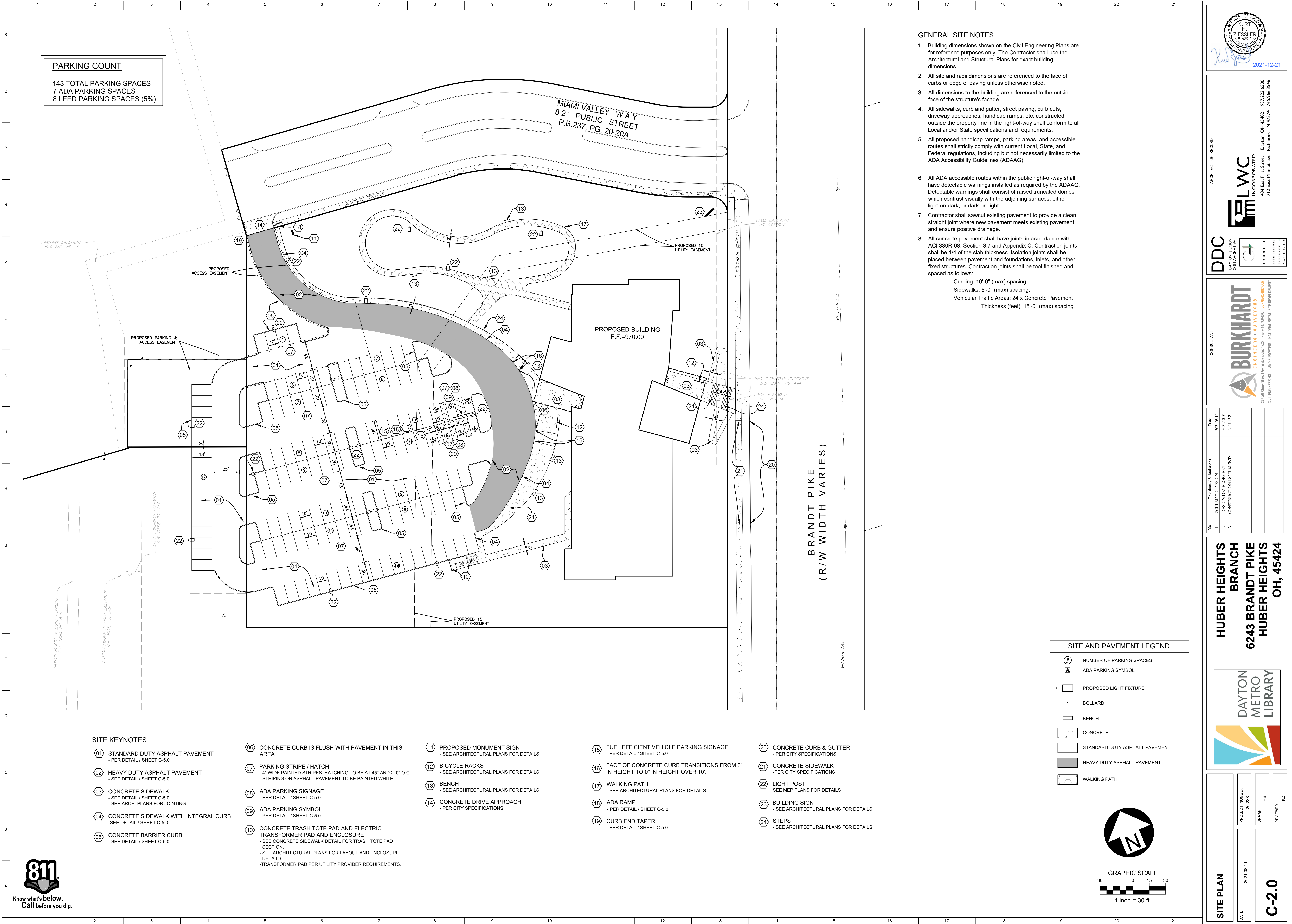
PROJECT NUMBER

HB
JRW:WV

REVIEWED

004 00 11

C-1.0



PARKING COUNT

143 TOTAL PARKING SPACES
7 ADA PARKING SPACES
8 LEED PARKING SPACES (5%)

GENERAL SITE NOTES

1. Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
2. All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
3. All dimensions to the building are referenced to the outside face of the structure's facade.
4. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
5. All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
6. All ADA accessible routes within the public right-of-way shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
7. Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
8. All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:
 - Curbing: 10'-0" (max) spacing.
 - Sidewalks: 5'-0" (max) spacing.
 - Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.



ARCHITECT OF RECORD

W.C. LWC
INCORPORATED
434 East Main Street
712 East Main Street
Dayton, OH 45402
937.333.6500
937.333.6500

DAYTON DESIGN COLLABORATIVE

DDC

CONSULTANT

BURKHARDT
ENGINEERS • PLANNERS
2400 Cherry Hill
Dayton, OH 45424
937.233.1234
BURKHARDT.COM

No.	Revisions / Submittals	Date
1	SCHEMATIC DESIGN	2021.05.12
2	DESIGN DEVELOPMENT	2021.10.01
3	CONSTRUCTION DOCUMENTS	2021.12.21

HUBER HEIGHTS
BRANCH
6243 BRANDT PIKE
HUBER HEIGHTS
OH, 45424



SITE PLAN

DATE: 2021.08.11

PROJECT NUMBER: 20208

DRAWN: HB

REVIEWED: KZ

C-2.0

SITE KEYNOTES

- 01 STANDARD DUTY ASPHALT PAVEMENT
- PER DETAIL / SHEET C-5.0

02 HEAVY DUTY ASPHALT PAVEMENT
- SEE DETAIL / SHEET C-5.0

03 CONCRETE SIDEWALK
- SEE DETAIL / SHEET C-5.0
- SEE ARCH. PLANS FOR JOINTING

04 CONCRETE SIDEWALK WITH INTEGRAL CURB
- SEE DETAIL / SHEET C-5.0

05 CONCRETE BARRIER CURB
- SEE DETAIL / SHEET C-5.0
- 06 CONCRETE CURB IS FLUSH WITH PAVEMENT IN THIS AREA

07 PARKING STRIPE / HATCH
- 4" WIDE PAINTED STRIPES. HATCHING TO BE AT 45° AND 2'-0" O.C.
- STRIPING ON ASPHALT PAVEMENT TO BE PAINTED WHITE.

08 ADA PARKING SIGNAGE
- PER DETAIL / SHEET C-5.0

09 ADA PARKING SYMBOL
- PER DETAIL / SHEET C-5.0

10 CONCRETE TRASH TOTE PAD AND ELECTRIC TRANSFORMER PAD AND ENCLOSURE
- SEE CONCRETE SIDEWALK DETAIL FOR TRASH TOTE PAD SECTION.
- SEE ARCHITECTURAL PLANS FOR LAYOUT AND ENCLOSURE DETAILS.
- TRANSFORMER PAD PER UTILITY PROVIDER REQUIREMENTS.
- 11 PROPOSED MONUMENT SIGN
- SEE ARCHITECTURAL PLANS FOR DETAILS

12 BICYCLE RACKS
- SEE ARCHITECTURAL PLANS FOR DETAILS

13 BENCH
- SEE ARCHITECTURAL PLANS FOR DETAILS

14 CONCRETE DRIVE APPROACH
- PER CITY SPECIFICATIONS
- 15 FUEL EFFICIENT VEHICLE PARKING SIGNAGE
- PER DETAIL / SHEET C-5.0

16 FACE OF CONCRETE CURB TRANSITIONS FROM 6" IN HEIGHT TO 0" IN HEIGHT OVER 10'.

17 WALKING PATH
- SEE ARCHITECTURAL PLANS FOR DETAILS

18 ADA RAMP
- PER DETAIL / SHEET C-5.0

19 CURB END TAPER
- PER DETAIL / SHEET C-5.0
- 20 CONCRETE CURB & GUTTER
- PER CITY SPECIFICATIONS

21 CONCRETE SIDEWALK
- PER CITY SPECIFICATIONS

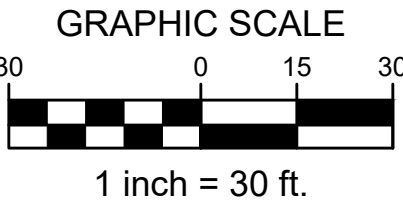
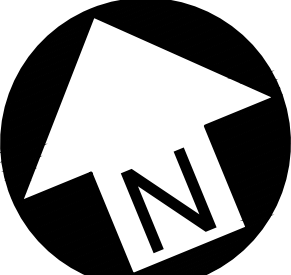
22 LIGHT POST
- SEE MEP PLANS FOR DETAILS

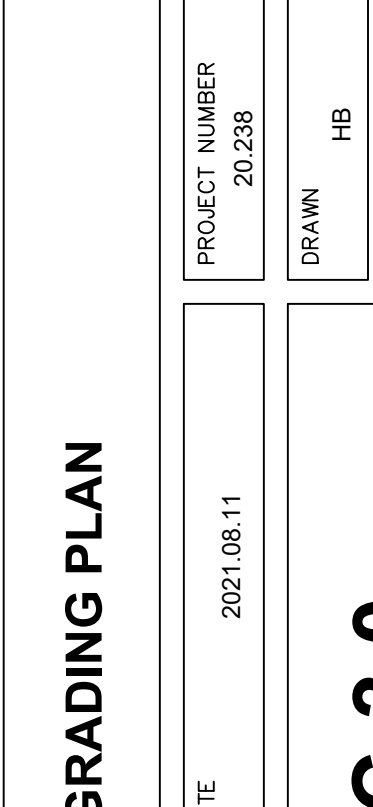
23 BUILDING SIGN
- SEE ARCHITECTURAL PLANS FOR DETAILS

24 STEPS
- SEE ARCHITECTURAL PLANS FOR DETAILS

SITE AND PAVEMENT LEGEND

- ① NUMBER OF PARKING SPACES
- Ⓜ ADA PARKING SYMBOL
- PROPOSED LIGHT FIXTURE
- BOLLARD
- BENCH
- CONCRETE
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- WALKING PATH





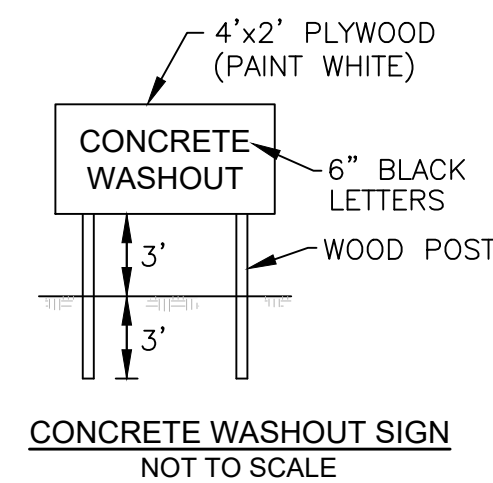
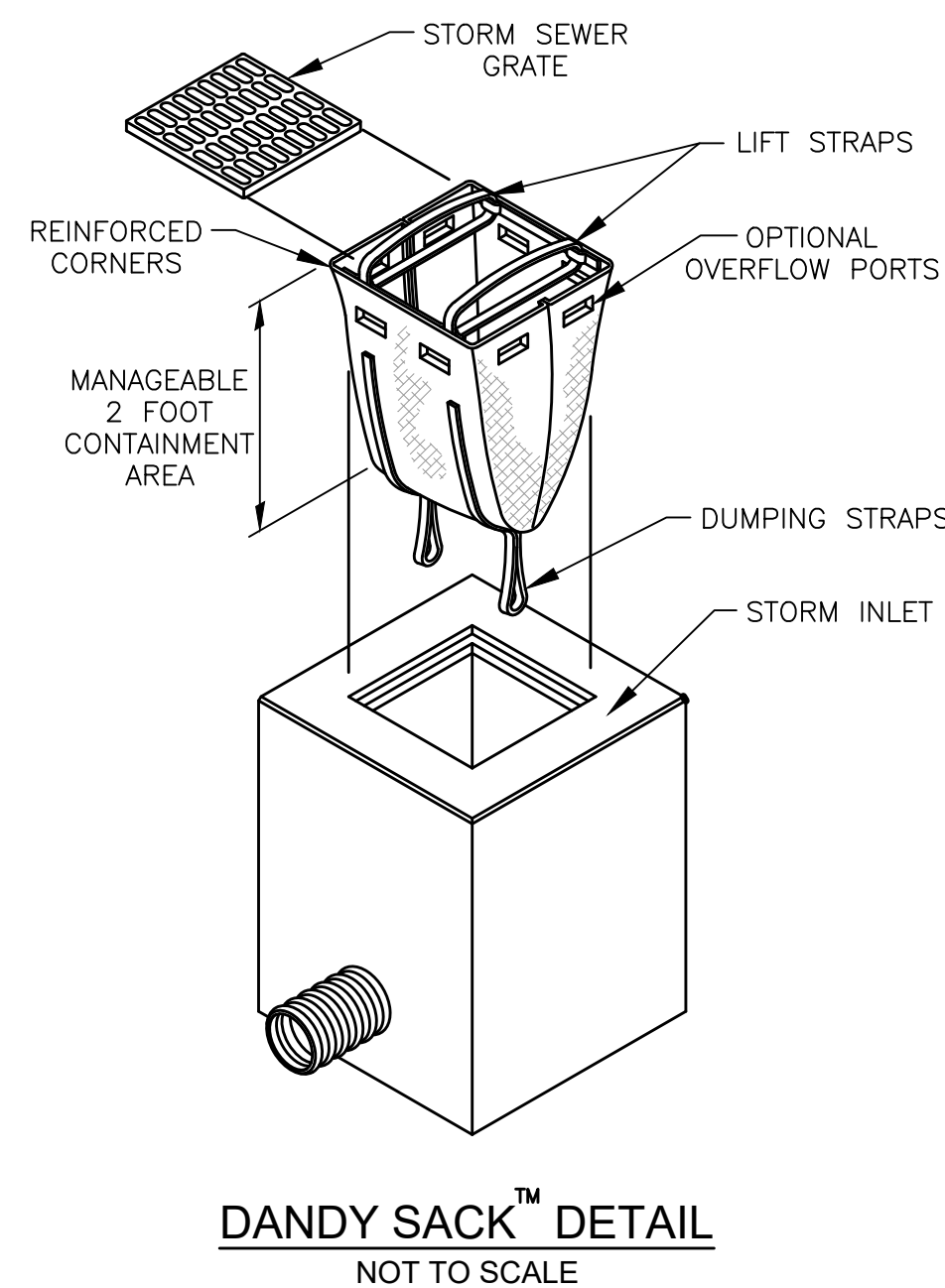
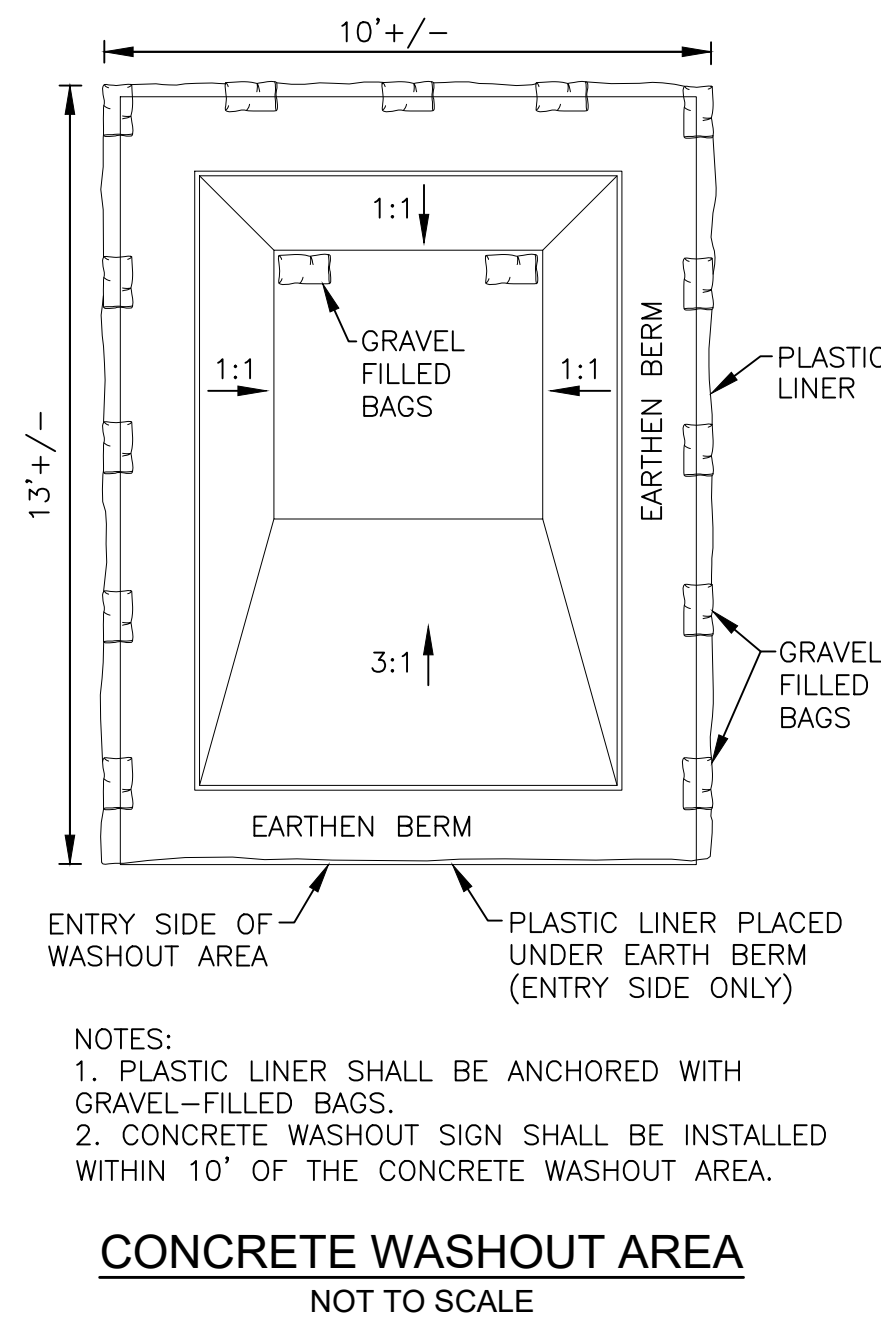
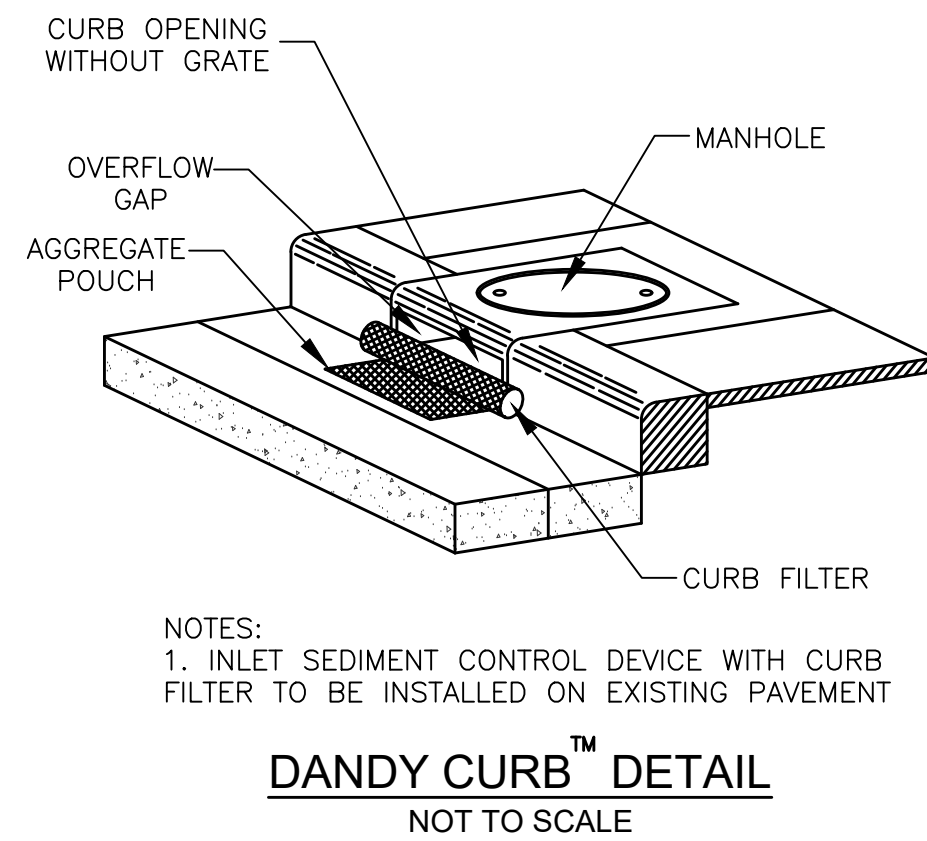
GRAPHIC SCALE

1 inch = 30 ft.





1. All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
2. Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
3. Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
4. Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
5. The soil erosion controls and sediment basin are to be inspected once a week and within 24 hours of a 0.25 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
6. Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 14 days. Any disturbed area that is not going to be worked for 365 days or more must be seeded and mulched within 7 days of most recent disturbance.
7. Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 7 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or creek. If seeding, mulching or other erosion and sediment control measures were previously installed, these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench between an end one shall not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
8. Soil stockpiles shall be stabilized or protected to prevent soil loss.
9. All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
10. The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
11. Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of these operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
12. No solid or liquid waste shall be discharged into storm water runoff.
13. Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out, onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
14. Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
15. If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained to the extent that the area is located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
16. No fuel storage is permitted on-site.
17. All areas shall be cleared of construction sediment upon completion of construction.
18. The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the Ohio EPA. Contact Burkhardt Engineering prior to construction to coordinate submittal requirements with the Ohio EPA.
19. The General Contractor is responsible for ensuring that all soil erosion and sediment control practices comply with the Ohio EPA and follow the best practices set forth in the ODNR Rainwater and Land Development Manual.



ARCHITECT OF RECORD

LWC
INCORPORATED

Dayton, OH 45402 937.723.6500
434 East First Street
Richmond, IN 47374 765.966.3546

DDC
DAYTON DESIGN
COLLABORATIVE

BURKHARDT
ENGINEERS • SURVEYORS

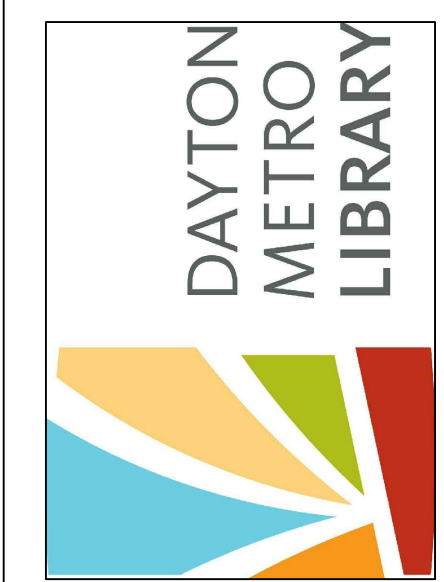


28 North Cherry Street | Germantown, Ohio 43025 | Phone: 613-388-0061 | BURKHARDTING.COM

CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

[illegible]

HUBER HEIGHTS
BRANCH
6243 BRANDT PIKE
HUBER HEIGHTS
OH. 45424

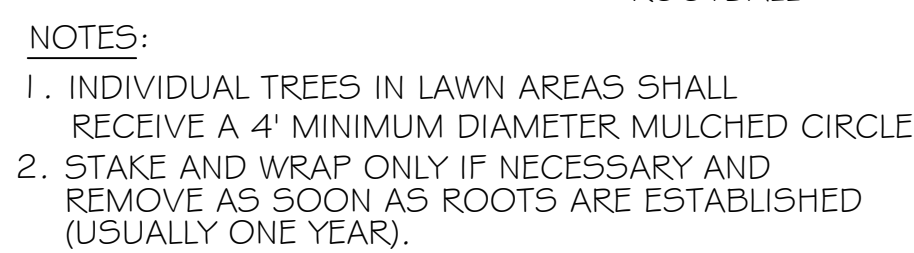


EROSION CONTROL DETAILS

PROJECT NUMBER	20.238
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REVIEWED HB

C-6.1



3" HARDWOOD MULCH LAYER. KEEP CLEAR WITHIN A FEW INCHES OF TRUNK

SOIL DAM WATERING BASIN

BACKFILL: PLANTING SOIL MIX PER SPECIFICATIONS

REMOVE TOP 1/3 OF BURLAP (MORE IF POSSIBLE WITHOUT DAMAGING ROOTBALL) OR ENTIRE CONTAINER

PLANT MOUND-COMPACTED BACKFILL

UNDISTURBED SOIL

6" MIN.

1.5'

6" MIN.

ROOTBALL DEPTH

ROOTBALL DIAMETER

2X ROOTBALL DIA. (MIN.)

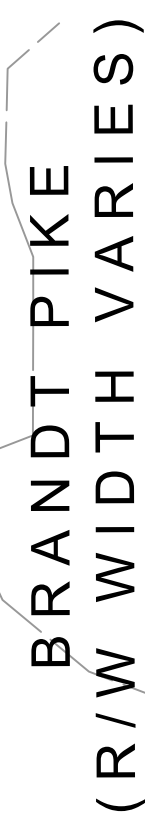


OHIO
Utilities Protection
SERVICE

811 or
1-800-362-2764

Call Before You Dig

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO ONE CALL AT 811 OR 1-800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE



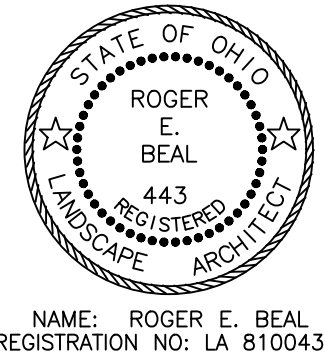
SITE LANDSCAPE PLAN

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN THE NUMBER OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE ARCHITECTS REPRESENTATIVE BEFORE ADJUSTMENTS ARE MADE.
4. TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE APPROVED AND BE HEALTHY AND VIGOROUS PLANTS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD, INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATIONS AND DISEASES. PLANTING REQUIREMENTS, PLANTS SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
5. BALLED AND BURLAPPED OR CONTAINER TREES AND SHRUBS SHOULD BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF ADEQUATE SIZE AS SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARD FOR NURSERY STOCK" WITH THE BALLS SECURELY WRAPPED.
6. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL BE OF UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH.
7. A MINIMUM OF 4" DEPTH OF TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART PEAT TO THREE PARTS TOPSOIL.

A BACKFILL MOUND ALL AREAS TO A DEPTH OF 6" AND REMOVE ROCKS AND WEEDS. AFTER TOPSOIL HAS BEEN SPREAD, ROCKFILL AGAIN TO REMOVE ALL STONES AND LUMPS.
8. MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH AND PERENNIAL BEDS WITH 2" DEPTH OF HARDWOOD MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING OR OTHER PLANT BED LIMITS. KEEP MULCH MIN. 1/2" BELOW TOP OF CURB & ADJACENT PAVED SURFACES.
9. SEED (WITH SOD AS AN ALTERNATE) ALL DISTURBED LAWN AREAS WITHIN PROJECT LIMITS. REFER TO CIVIL DRAWINGS FOR REQUIREMENTS AND EXTENT OF WORK AND VERIFY EXTENT WITH ARCHITECTS REPRESENTATIVE.
10. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A MIN. OF 30 DAYS AFTER WATERING OF THE WORK BY THE ARCHITECTS REPRESENTATIVE. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
11. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE AT END OF MAINTENANCE PERIOD. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

QTY	PLANT NAME	MIN. INSTALLED SIZE	MATURE HT./SPD.
<i>DECIDUOUS TREES</i>			
3	RED MAPLE - <i>Acer rubrum</i> "October Glory"	2" cal. B/B	40' 30"
4	FLAX MILL SUGAR MAPLE - <i>Acer saccharum</i> "Flax Mill Majesty"	2" cal. B/B	65' 40"
1	YELLOW BUCKEYE - <i>Aesculus octandra</i> *	2" cal. B/B	65' 40"
2	SHAGBARK HICKORY - <i>Carya ovata</i> *	2-1/2" cal. B/B	75' 40"
2	SKYLINE LOCUST - <i>Gleditsia tinacanthos</i> "Skyline"	2-1/2" cal. B/B 5' Clear Trunk	45' 35"
5	TULIP TREE - <i>Liriodendron tulipifera</i> *	2" cal. B/B	70' 40"
3	JEFFERSON ELM - <i>Ulmus americana</i> "Jefferson"	2-1/2" cal. B/B 5' Clear Trunk	70' 50"
<i>ORNAMENTAL TREES</i>			
9	RED BUD - <i>Cercis canadensis</i> *	6" ht. B/B - Bush Form	20' 25"
6	JAPANESE TREE LILAC - <i>Syringa reticulata</i>	1-1/2" cal. B/B	15' 10"
6	MARILEE CRABAPPLE - <i>Malus 'Jarrow'</i> (Fruitless)	1-1/2" cal. B/B	20' 10"
3	SPRING SNOW CRABAPPLE - <i>Malus x 'Spring Snow'</i> (Fruitless)	1-1/2" cal. B/B	25' 15"
* DENOTES OHIO NATIVE PLANT MATERIAL			

* DENOTES OHIO NATIVE PLANT MATERIAL



NAME: ROGER E. BEAL
REGISTRATION NO: LA 8100433


ARCHITECT OF RECORD

LWC
INCORPORATED

434 East First Street
712 East Main Street
Dayton, OH 45402
Richmond, IN 47374

937.223.6600
765.966.3546

DDC
DAYTON DESIGN
COLLABORATIVE


GROUP 4
ARCHITECTURE


CONSULTANT

LANDSCAPE ARCHITECT:

YELLOW SPRINGS DESIGN
PO BOX 472, 205 PARK MEADOWS DR.
YELLOW SPRINGS, OHIO 45387

(O) 937.767.8199 (M) 937.654.8199
yellowspringsdesign@gmail.com

LICENSED IN: OH, KY, PA, IN, IL, MS,
MI, VA, TX, OR, AZ, CO, NM & UT



No.	Revisions / Submissions	Date
1	SCHEMATIC DESIGN	2021.05.12
2	DESIGN DEVELOPMENT	2021.10.01
3	CONSTRUCTION DOCUMENTS	2021.12.21

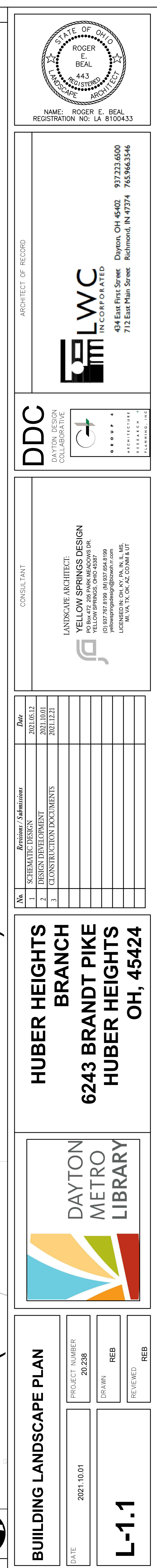
**HUBER HEIGHTS
BRANCH
6243 BRANDT PIKE
HUBER HEIGHTS
OH, 45424**

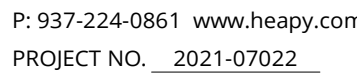


SITE LANDSCAPE PLAN

DATE	PROJECT NUMBER
11/11/2011	11111111

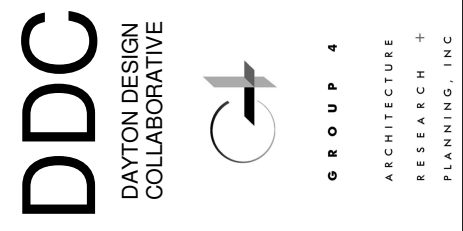
L-1.0





GAS CONNECTED LOAD

2. 2.5' WATER SERVICE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
3. 6" FIRE SERVICE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
4. GAS METER/REGULATOR SETTING AND PIPING UP TO SETTING BY GAS COMPANY. CONNECT TO OUTLET OF METER AND PROVIDE ALL PIPING DOWNSTREAM OF METER. TOTAL CONNECTED LOAD IS 1600 CH. OUTLET PRESSURE TO BE 7" W.C. COORDINATE ALL GASWORK WITH GAS COMPANY. COORDINATE EXACT LOCATION WITH ADJACENT WATER METER PIT.
5. CONNECT TO SANITARY PIPING BY SUC AT POINT 5' - OUTSIDE BUILDING. PROVIDE TEST WYE AND CLEANOUT AT POINT OF CONNECTION TO SUC PIPING. LOCATE CLEANOUT 10' FROM LANDSCAPING. PROVIDE 18" LANDSCAPING MEETS LAWN. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
6. CONNECT TO STORM PIPING PROVIDED BY SUC AT POINT 5' - OUTSIDE OF BUILDING. PROVIDE TEST WYE AND CLEANOUT AT POINT OF CONNECTION TO SUC PIPING. LOCATE CLEANOUT 10' FROM LANDSCAPING. PROVIDE 18" LANDSCAPING MEETS LAWN. REFER TO CIVIL DRAWINGS FOR CONTINUATION.

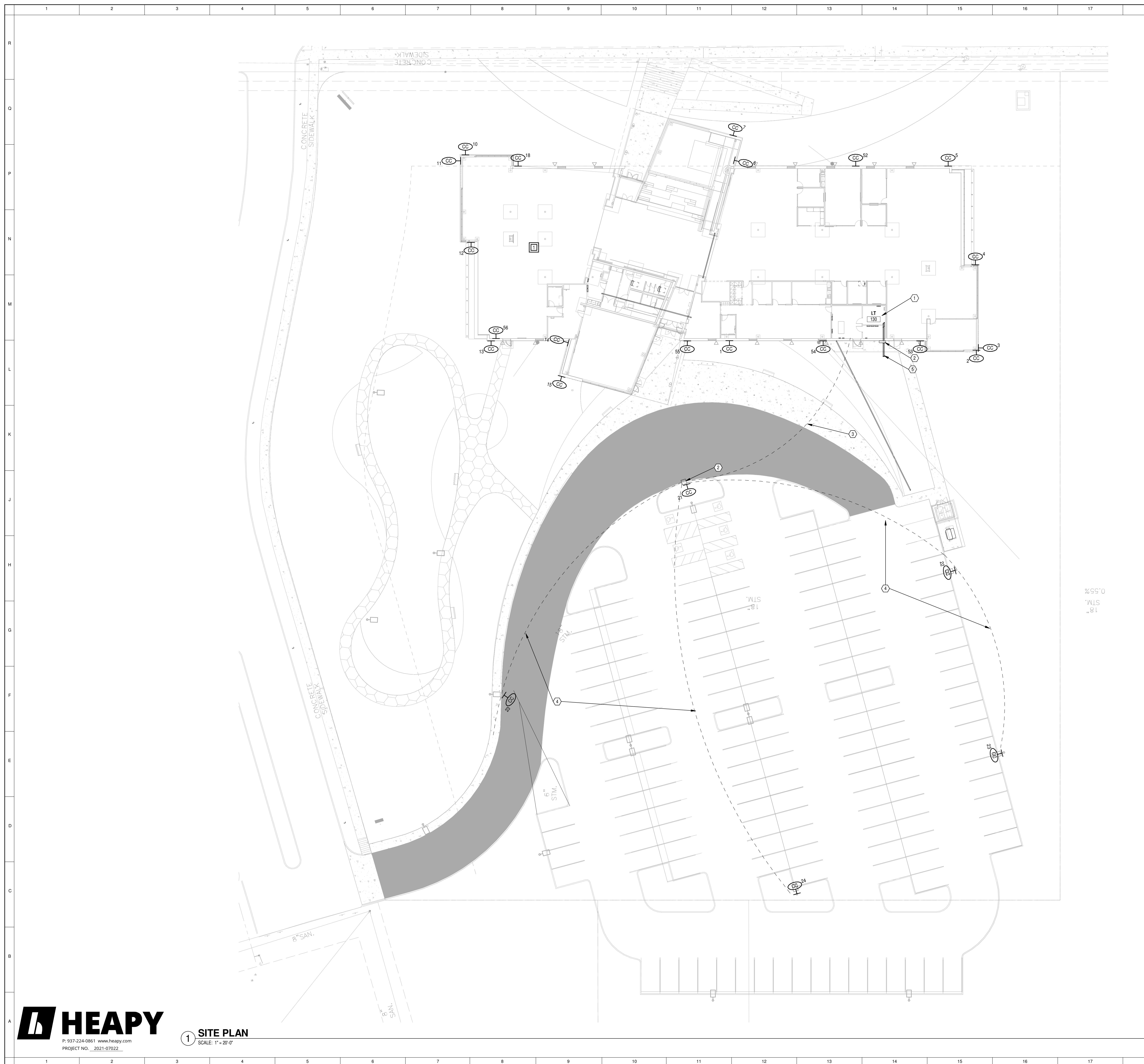


HUBER HEIGHTS
BRANCH
BRANDT PIKE
HUBER HEIGHTS,
OH, 45424



P003

P: 937-224-0861 www.heapy.com
PROJECT NO. 2021-07022

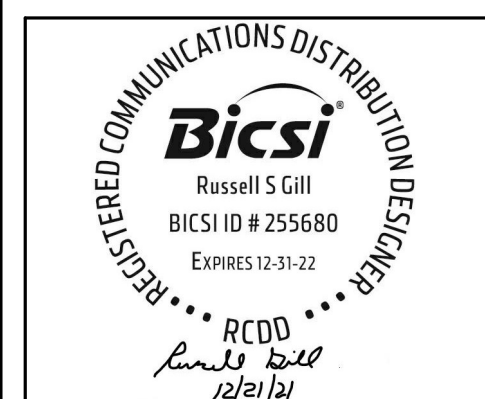
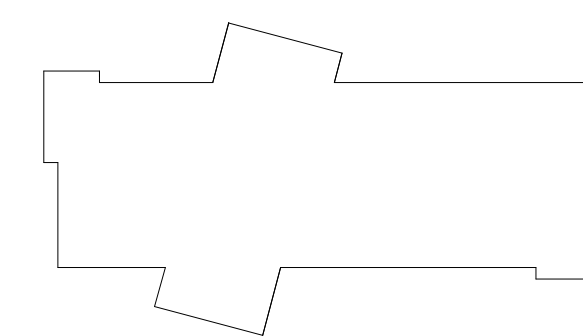


⬡ SHEET NOTES:

1. LOCATION OF IT ROOM 130.
2. HANDHOLE.
3. 2" CONDUIT FOR ROUTING OF CABLEING TO THE LIGHT POLES.
4. 1.5" CONDUIT FOR ROUTING OF CABLEING TO THE LIGHT POLES.
5. (2) 4" CONDUITS TO THE STREET. COORDINATE LOCATION OF CONDUITS BASED ON THE SELECTION OF THE SERVICE PROVIDER BY THE OWNER.

GENERAL NOTES:

KEY PLAN:



CONSULTANT

[illegible]

**HUBER HEIGHTS
BRANCH
BRANDT PIKE
HUBER HEIGHTS,
OH, 45424**



TECHNOLOGY SITE PLAN

T002	DATE	12/21/21					
	<table border="1"> <tr> <td>PROJECT NUMBER</td> <td>2021-07022.00</td> </tr> <tr> <td>DRAWN</td> <td>JHH</td> </tr> <tr> <td>REVIEWED</td> <td>RSG</td> </tr> </table>		PROJECT NUMBER	2021-07022.00	DRAWN	JHH	REVIEWED
PROJECT NUMBER	2021-07022.00						
DRAWN	JHH						
REVIEWED	RSG						

T002

HUBER HEIGHTS



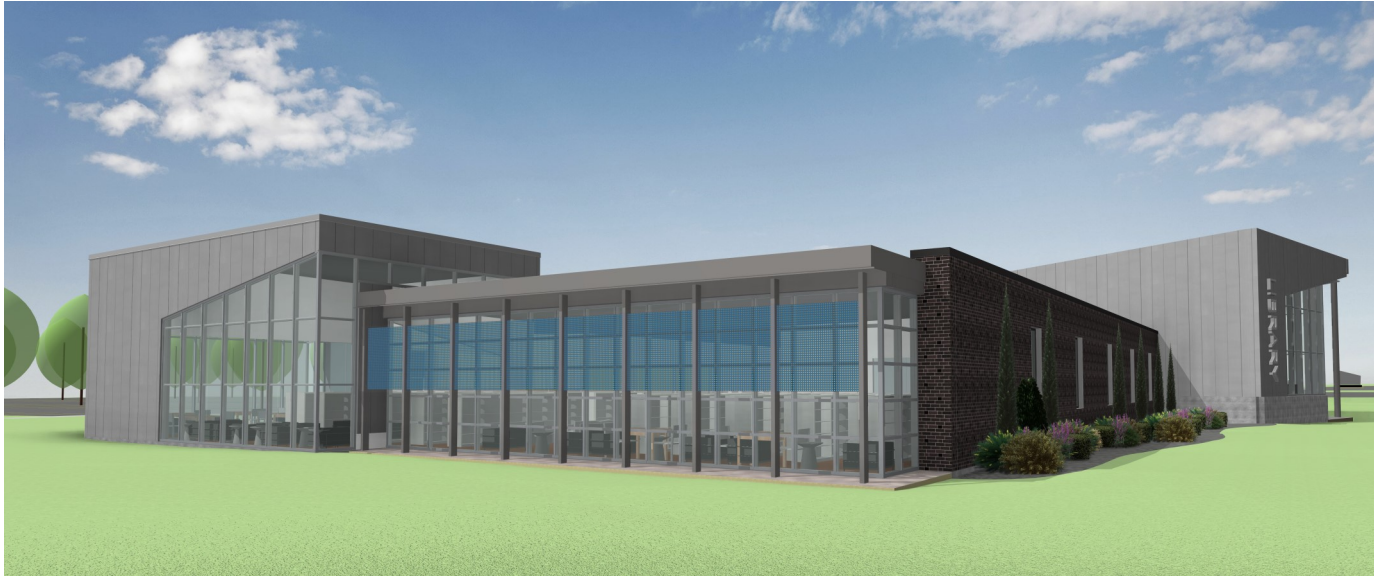
West Elevation - Main Entrance

HUBER HEIGHTS



West Elevation - Northwest Corner

HUBER HEIGHTS



South Elevation



East Elevation - North Corner



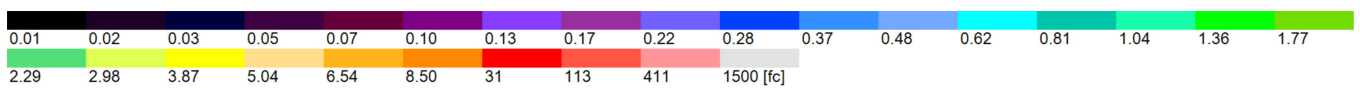
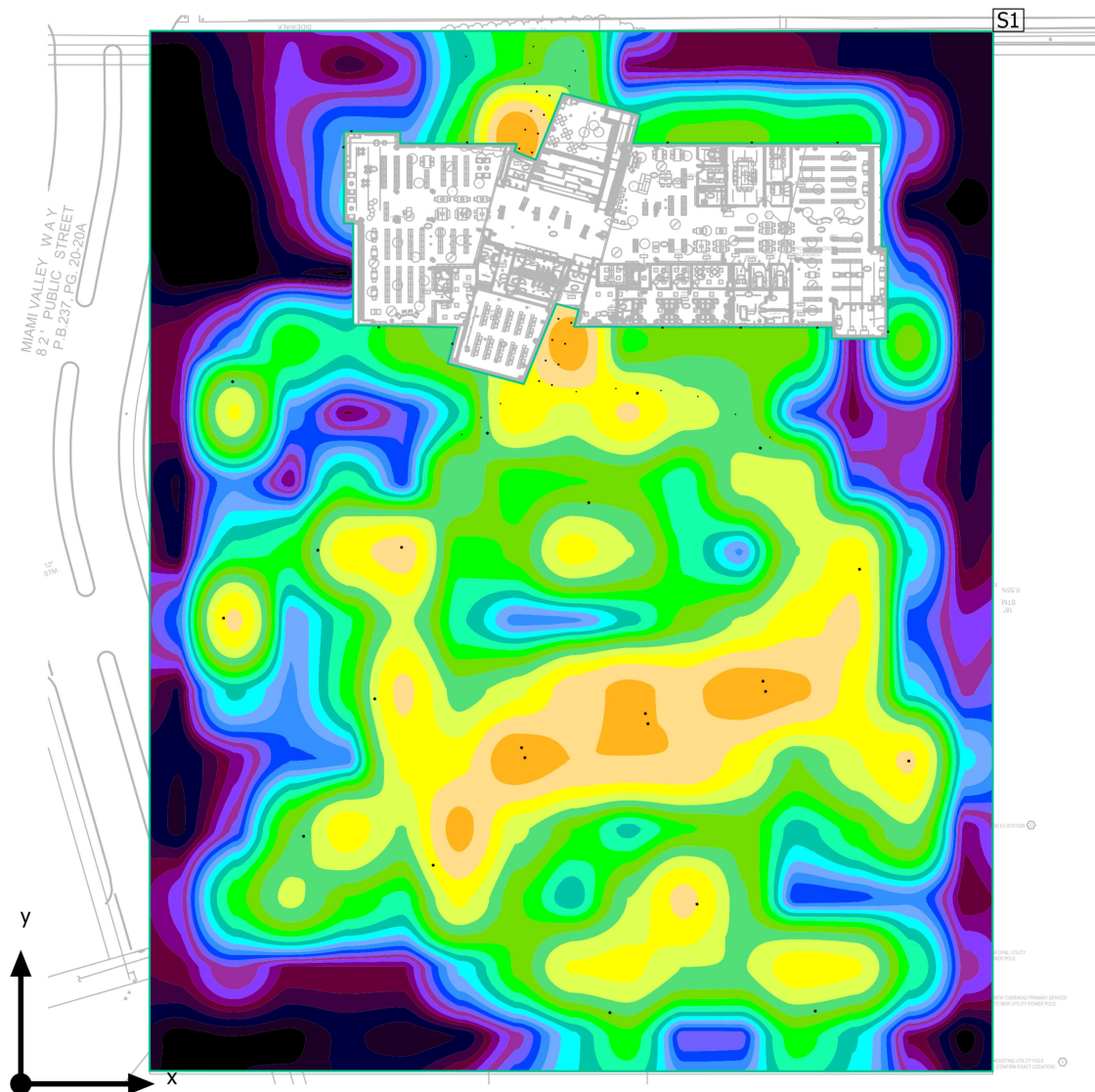
Luminaire list

Φ_{total} 449611 lm	P_{total} 3478.2 W	Luminous efficacy 129.3 lm/W
------------------------------------	--------------------------------	---------------------------------

pcs.	Manufacturer	Article No.	Article name	P	Φ	Luminous efficacy
12	HUBBELL OUTDOOR LIGHTING	TRP1- 12L30- 4K7-3	GeoPak Size 1	28.1 W	2836 lm	100.9 lm/W
15	Industrial Lighting Products Inc	SAS-18L-U- 40-T3	Skyline Small, 18,000 Lumens, 4000K, Type 3 Optic	132.6 W	20379 lm	153.7 lm/W
7	Industrial Lighting Products Inc	SAS-9L-U- 40-T3	Skyline Small, 9,000 Lumens, 4000K, Type 3 Optic	66.3 W	10189 lm	153.7 lm/W
17	LIGMAN	LH-10603- W40	Mini Lightsoft 2 bollard LED	14.3 W	347 lm	24.2 lm/W
16	WILLIAMS INDOOR	4DR-TL- L30-840- DIM-UNV- LW-OF- WH- WETCC	Black formed aluminum housing, white reflector, clear patterned glass lens enclosure	27.8 W	2042 lm	73.4 lm/W

Site 1

Calculation objects





Site 1

Calculation objects

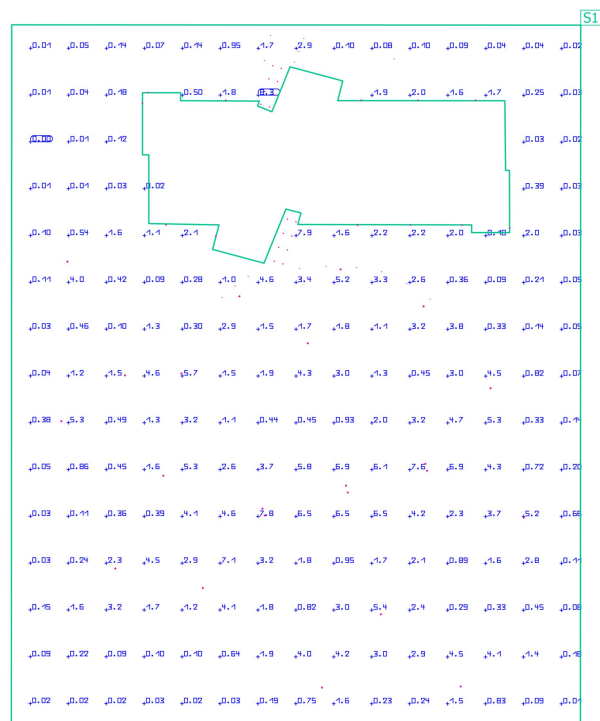
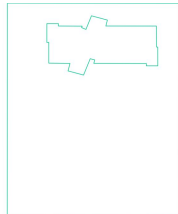
Calculation surfaces

Properties	\bar{E}	E_{min}	E_{max}	g_1	g_2	Index
Calculation surface 1 Perpendicular illuminance Height: 0.000 ft	1.76 fc	0.005 fc	8.32 fc	0.003	0.001	S1

Utilisation profile: DIALux presetting, Standard (outdoor transportation area)

Site 1

Calculation surface 1



Properties	\bar{E}	E_{min}	E_{max}	g_1	g_2	Index
Calculation surface 1	1.76 fc	0.005 fc	8.32 fc	0.003	0.001	S1
Perpendicular illuminance						
Height: 0.000 ft						

Utilisation profile: DIALux presetting, Standard (outdoor transportation area)



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Huber Heights Branch Dayton Metro Library		
Occupancy Address:	6243 Brandt Pike		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	22-014
MCBR ELE:		HHFD Box:	16
REVIEWER:	Susong	DATE:	1/20/2022

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

- **Approval of site is subject to compliance with the following. Additional requirements for structure may arise during permitting process:**

Requirements: (Site Plan)

- The turn radius at the corner of the island on the north side of parking lot needs to be increased/decreased for Huber Heights Fire apparatus to make turn (adjacent to four parking spaces). Ohio Fire Code D103.3 and 503.2.4.
- If building will be equipped with a fire sprinkler system at least one fire hydrant will be required within 75 feet of the Fire Department Connection for the sprinkler system. (Huber Heights Codified Ordinance 1521.01). A new hydrant is shown on Brandt Pike near the new water meter pit. Due to the location and traffic on Brandt Pike we recommend the fire department connection and fire hydrant be moved to the parking lot side of structure.
- A permit shall be obtained for construction from Montgomery County Building Regulations.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

Memorandum

Staff Report for Meeting of January 25, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner
Community Planning Insights

Date: January 19, 2022

Subject: ZC 22-05 Huber Heights Branch Library Combined Basic & Detailed
Development Plan

Application dated January 14, 2022

APPLICANT/OWNER:	LWC, Inc. – Applicant Dayton Metro Library - Owner
DEVELOPMENT NAME:	Huber Heights Branch Library
ADDRESS/LOCATION:	6243 Brandt Pike
ZONING/ACREAGE:	PM - Planned Mixed Use District / 4.0 Acres
EXISTING LAND USE:	Vacant land
ZONING ADJACENT LAND:	PM
REQUEST:	The applicant requests approval of a Combined Basic & Detailed Development Plan in a PM Planned Mixed Use District for a new 26,617 SF branch library
ORIGINAL APPROVAL:	
APPLICABLE HHCC:	Chapter 1171, 1179
CORRESPONDENCE:	In Favor – In Opposition –

Overview:

The City of Huber Heights and the Dayton Metro Library (DML) have been working together for quite some time to develop a new branch library at this targeted redevelopment area. This branch is one of the last to be constructed as part of the DML's ambitious system-wide library expansion/replacement program that started with a voter-approved \$187 million bond issue in 2012.

STAFF ANALYSIS:

The applicant has submitted approval for a combined Basic and Detailed Development Plan for a 26,617SF library on a site currently zoned PM. At its highest point, the building is approximately 34 feet tall. The exterior facade is a mixture of 40% standing seam metal panel, 35% storefront and curtain wall, 22% brick, 2% ACM panel. Access to the site will be from Miami Valley Way, which eliminates a curb cut on Brandt Pike and provides a safer means of ingress and egress.

As the cover letter indicates, minor site development concessions are included in this proposal including a minor encroachment into the building setback and provision for seventeen off-site parking. The building setback encroachment brings the pedestrian entrance closer to the sidewalk and breaks up the front building wall facade, which is nearly 270 feet long. Planning staff is very supportive of this minor encroachment and design element.

The proposal contains 143 parking spaces including seven (7) ADA and eight (8) LEED (fuel-efficient cars) spaces. The parking spaces meet city standards. The 17 off-site parking spaces are located on adjacent land owned by the City and integrated into the site. These parking spaces will be indistinguishable to library patrons. The parking lot lights are full cut-off, with flat lenses on poles with a height up to 20 feet. The photometric calculations supplied by the applicant indicate little to no off-site light trespass.

1171.09 Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval*

of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.

(Ord. 89-O-339, Passed 2-6-89)

1171.091 Planning commission/council review.

It is the purpose of the Planning Development regulations to encourage property owners to develop their land in efficient and effective ways. It is the intent of these regulations to encourage land uses which may not always meet traditional zoning rules. Inherent in these Planned Development regulations is an opportunity for property owners to develop their sites without requiring strict compliance with all zoning regulations where the overall plan is deemed to be in the best interest of the City. During review of a Basic or Detailed Development Plan by the Planning Commission or City Council, all requirements within Part 11, Title 7 of the Code are to be used as guidelines and may be varied as part of the Basic or Detailed Development Plan if it is determined that such deviation will not materially adversely affect neighboring properties or the community as a whole, any such variation of these requirements does not change the overall plan and character of the proposed development, and the variance does not have the effect of nullifying the intent and purpose of these regulations or the Zoning Ordinance. In granting variances or modifications, the Commission or Council may require such conditions as shall, in its judgement, secure substantially the objective of the standards or requirements so varied or modified.

(Case 427; Ord. 2002-O-1367, Passed 9-9-02)

Development Standards Analysis:

1179.06 Development standards.

Except when specifically modified herein, the provisions of the Planning and Zoning Code shall govern. The following development standards apply to a PM development:

(a) Minimum Land Area Requirement. A minimum of 20 acres shall be required.

The area zoned PM is approximately 40 acres.

(b) Covenants. The developer of a PM development shall be required to submit a set of covenants or deed restrictions with the Basic Development Plan application that will outline, at a minimum, development standards and guidelines established in this chapter and any other requirements the developer and/or Planning Commission deems necessary. The Planning Commission may require additional or amended covenants as it deems necessary to ensure compliance with the Planning and Zoning Code and the Planned Mixed Use District.

N/A

(c) Required Mix of Land Uses. A developer shall be required to provide a mix of land uses in a PM Development. At a minimum, at least two of the following uses are required in a PM Development: residential, commercial, office, institutional, and/or industrial.

The area contains a mixture of institutional and retail uses.

(d) Site Planning.

(1) The combination of different uses, whether as part of one building or as part of the overall development, shall be designed and developed so as not to create a nuisance by excessive noise, light, vibration, odor or any other annoyances for any uses within the development or neighboring properties.

This site is located along a well-traveled thoroughfare, surrounded by institutional and retail uses. All lighting fixtures are full cut-off and should produce little to no light trespass to adjacent properties. The parking is located to the rear of the building and site access is moved from Brandt Pike to Miami Valley Way.

(2) A PM development is to be designed so that buildings and structures are clustered and open space areas are preserved and maintained. Special care shall be given to protect preexisting natural features including, but not limited to, woodlands, ravines, streams, lakes, ponds, and/or flood plains. Impervious surface coverage, including, but not limited to, buildings, parking area, and accessways, shall not exceed 75 percent of the total development area. Therefore, 25 percent of the development area shall be reserved for green space.

This is an urban redevelopment site with little to no existing natural features. The proposed development will reduce the amount of impervious surface from 2.72 acres to 2.32 acres, a reduction of 17%. Approximately 56.5% of the site is will be developed, and 43.5% is undeveloped or green space.

(3) The number of ingress and egress points onto the public streets shall be limited in order to reduce the number of traffic conflict points. Adequate and properly arranged facilities for internal pedestrian and traffic circulations shall be provided. The street and thoroughfare network shall be designed to minimize truck traffic through residential areas of the development.

This development will have one vehicular access from Miami Valley Way and will eliminate site access and a curb cut on Brandt Pike. The parking lot is well designed with sidewalks at the end of the four main parking isles. A separate pedestrian entrance is available along Brandt Pike for those patrons who may walk or utilize the RTA.

(4) Parking systems shall be designed so as to discourage single large unbroken paved lots for off-street parking and shall encourage smaller defined parking areas within the total parking system. Underground parking facilities are encouraged.

The parking lot is broken up by landscaped islands throughout the parking area. The zoning code requires 122 parking spaces and the applicant is proposing 143 spaces (133 spaces are unrestricted). The parking meets city standards.

(5) The development shall be designed to tie all the uses into one overall community and encourage walking, biking, running, and alternative modes of transportation. Developers are encouraged to incorporate bus stops, bikeways, walkways, and crosswalks into an overall thematic scheme for pedestrian traffic. Sidewalks shall be required except, in the case of a golf course or specific open space development, the Planning Commission may determine them to be unnecessary.

The proposal provides for a dedicated, well-landscaped pedestrian entrance along Brandt Pike. The building overhang provides protection for pedestrians during times of inclement weather. The site is on the RTA bus line and there is a stop in front of the building. Additionally, the development will have bike racks at the front and rear entrances.

(6) Any signs as proposed within this district, shall comply with Chapter 1189 "Signs". Additionally, a developer of a PM development shall develop and submit with the Detailed Development Plan application, a comprehensive set of graphic design criteria for signage in the development. This set of graphic design criteria for signage shall be approved by the Planning Commission and shall apply to all signage requests within the development. The criteria shall include, at a minimum, the sizes permitted (if different from Chapter 1189), colors permitted, materials permitted, typefaces permitted, type size permitted, and permitted illumination. Compliance with the on-site comprehensive graphics shall be verified by the Zoning Administrator during the sign permit review process.

A sign package was not submitted with the application and the elevation drawings only indicate one wall sign that is approximately 35 square feet. Staff recommends limiting the size of any single wall sign to a maximum of seventy-five (75) square feet, with a combined maximum 150 square feet for all wall signs, per the standard City Code,

(7) Minimum lot area, frontage and setback requirements may be varied to allow greater flexibility in design. However, the following shall be used as a guideline for development:

A. With multiple buildings on a single property, entirely residential buildings shall be at least 15 feet from another entirely residential building and at least 50 feet from nonresidential or mixed-use buildings.

B. With multiple buildings on a single property, nonresidential buildings or mixed use buildings shall be at least 20 feet or one-half the height of the taller building apart, whichever is greater from another nonresidential or mixed use building.

C. All nonresidential buildings or mixed-use buildings shall be set back at least 50 feet or the height of the structure, whichever is greater, from any residential property or residential building, whichever is closer, and from the public right-of-way. This setback applies to multiple buildings on a single property, to development within a PM development, and where it abuts to adjacent property.

As the cover letter indicates, minor site development concessions are included in this proposal including a minor encroachment into the building setback. Approximately 16% of the building frontage encroaches into the setback area. The building setback encroachment brings the pedestrian entrance closer to the sidewalk and breaks up the front building wall facade, which is nearly 270 feet long.

Planning staff is very supportive of this minor encroachment and design element.

(8) No maximum height restriction shall apply, except that the proposed development meets all Federal Aviation Administration (FAA), Dayton International Airport or Wright Patterson Air Force Base height or abatement requirements.

At its highest point, the building is approximately 34 feet tall.

(9) Common parking areas and accessways shall be lighted adequately with light fixtures that shall be designed to reflect light away from adjoining properties. Special attention will be given to protect entirely residential structures from light emitted from nonresidential land uses.

The photometric plan indicates little to no light trespass to the adjacent properties. All light fixtures are full cut-off with flat lenses.

(10) Nonresidential uses shall have trash containers and/or receptacles (including recycling containers) placed to the rear of all structures and shall be screened or enclosed on four sides with opening doors for the purpose of trash removal. The placement of trash containers and/or receptacles in multi-family residential developments shall be as inconspicuous as possible. The use of a wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent and a height of 12 inches above the top of the largest container is required.

The site plan indicates the trash receptacle will be fully enclosed.

(11) The architecture of nonresidential structures is encouraged to be unique yet similar in certain sections of the PM.

The architecture of the proposed branch library is attractive, contemporary design that is consistent with the DML brand throughout Montgomery County. The exterior facade is

a mixture of 40% standing seam metal panel, 35% storefront and curtain wall, 22% brick, 2% ACM panel.

(12) The distribution systems for utilities are required to be underground.

All utilities will be placed underground.

(13) The use of privately owned open space and public dedicated park land is encouraged as part of a PM development. Privately owned open space shall be maintained by the developer or by a duly authorized owner's association.

N/A

(14) The use of chain link fencing is prohibited. Additionally, on an entirely residential property, no fencing shall be permitted in the front yard and, in the case of a corner lot, no fencing shall be permitted in the side yard with frontage to a public right-of-way. The covenants submitted by the developer shall establish the height requirements for fencing in the development. Fencing in a development shall be uniform in height in related use areas. On an entirely residential property, fence height shall not exceed six feet.

No on-site fencing is proposed

(15) With the submission of a Basic Development Plan application, the applicant is required to submit a phasing plan that details when certain sections of the development will commence construction and when the sections will be complete.

The applicant is proposing to develop the site in one phase.

1179.07 Landscaping.

To protect and promote a harmonious development that ensures a functional and logical arrangement of mixed uses, the effective and efficient use of landscaping and buffering is required. Therefore, a PM development shall include the following landscaping and buffering:

(a) Development Landscaping. Within the PM development that is proposed, entirely residential buildings shall be screened from nonresidential and mixed use buildings with a 20 foot wide buffer strip that includes a six foot high earth mound, wooden or vinyl fence, wall, landscaping and/or mixture thereof that shall maintain an opaqueness of at least 80 percent year around. Parking areas, accessways, or any impervious surfaces are prohibited within this buffer strip. If planted materials are used, the screen must achieve the required height, width, and opaqueness within two years of planting. The use of pre-existing trees, natural features or amenities as part of this buffer is encouraged. The Planning Commission may approve some other arrangement of buffering if it determines that such an arrangement meets the intent of this requirement.

(b) Perimeter Landscaping. In a section of a PM development that contains nonresidential, mixed use, or multi-family buildings that abut a neighboring property with a single-family residential zoning designation or in a PM development section that contains an entirely residential section that abuts a neighboring property with a commercial, office, or multi-family zoning designation, the perimeter of the section of the PM development shall be screened with a 25 foot wide buffer strip that includes a six foot high earth mound, wooden or vinyl fence, wall, landscaping and/or mixture thereof that shall maintain an opaqueness of at least 80 percent year-round. Parking areas, accessways or an impervious surface are prohibited within this buffer strip. If planted materials are used, the screen must achieve the required height, width, and opaqueness within two years of planting. The use of pre-existing trees, natural features or amenities as part of this buffer is encouraged. The Planning Commission may approve some other arrangement of buffering if it determines that such an arrangement meets the intent of this requirement.

There are no residential uses adjacent to the subject site. The existing street trees along Miami Valley Way will be preserved. The landscaping plan meets city code.

(c) Parking Lot Landscaping. All parking lots are required to have interior landscaped areas as outlined in Chapter 1185, "Parking and Loading".

The proposal meets this requirement.

(d) Street Tree Requirement. All frontage property within a PM development that abuts public rights-of-way and is developed with nonresidential, mixed use, and/or multi-family buildings is required to have one street tree per 40 feet of frontage planted just outside of the street right-of-way. Unless determined to be inappropriate by the City Engineer, street trees shall be planted at least four feet from the edge of the sidewalk on private property. All frontage property within a PM development along a major collector or better as defined by the Huber Heights Thoroughfare Plan, no matter what use, shall meet this requirement. The type of tree and size shall be proposed by the developer at the Detailed Development Plan application stage and approved by the Planning Commission. A list of appropriate trees with required caliper is available in the City Engineer's Office.

The existing street trees along Miami Valley Way meet this requirement and will be retained. There are currently no street trees along Brandt Pike. As an alternative to Brandt Pike street trees, the applicant is proposing two street trees at the corners of the Brandt Pike frontage and a significantly landscaped planning bed that accents the front entrance, main stairway and ADA ramps. The front landscaped area spans approximately 67% of the front footage. Staff supports this landscaped alternative.

STAFF RECOMMENDATION

Staff recommends approval of the combined Basic and Detailed Development Plan to construct a new Huber Heights Library Branch. Staff recommends the following conditions for approval:

- 1) The applicant shall submit a sign package consistent with Section 1189 of the Huber Heights Planning and Zoning Code when seeking a zoning permit;
- 2) The applicant will comply with all stormwater requirements, per the City Engineer;
- 3) The applicant will comply with all Fire Code requirements, per the Huber Heights Fire Department;
- 4) The applicant will submit a revised site and landscaping plan reflecting all conditions of the Planning Commission decision, if any, prior to review by City Council.

Planning Commission Action

Planning Commission may take the following actions with a motion:

- 1) Approve the Combined Basic and Detailed Development Plan;
- 2) Deny the Combined Basic and Detailed Development Plan (the Commission should state the specific reasons for denial); or
- 3) Table the application.



Planning Commission Decision Record

WHEREAS, on January 14, 2022, the applicant, LWC, Inc., requested approval of a Combined Basic and Detailed Development Plan in a PM (Planned Mixed Use) District for a new 26,617 SF branch Library for property located at 6243 Brandt Pike (Zoning Case 22-05); and

WHEREAS, on January 25, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approved the request.

moved to approve the application submitted by the applicant, LWC, Inc, requesting approval of a Combined Basic and Detailed Development Plan in a PM (Planned Mixed Use) District for the property located at 6243 Brandt Pike (Zoning Case 22-05), with the following conditions:

1. The applicant shall submit a sign package consistent with Section 1189 of the Huber heights Planning and Zoning Code when seeking a zoning permit.
2. The applicant will comply with all stormwater requirements, per the City Engineer.
3. The applicant will comply with all Fire code requirements, per the Huber Heights Fire Department.
4. The applicant will submit a revised site and landscaping plan reflecting all conditions of the Planning Commission decision, if any, prior to review by City Council.
5. In accordance with Section 1182..06 Prior to the issuance of a zoning permit, the applicant shall submit a performance bond, cash bond, or letter of credit to insure the installation of landscaping as approved. The

bond or letter of credit shall be in an amount equal to the applicant's estimate of the cost of installation as approved by the Planning Department and shall remain in effect until such time as the landscaping has been completed as determined by the Planning Department.

Seconded by _____. Roll call showed: YEAS: _____. NAYS: _____.
Motion to approve carried _____.

Terry Walton, Chair
Planning Commission

Date

ZC 22-05

Combined Basic and Detailed
Development Plan

Huber Heights Branch Library
6243 Brandt Pike



The applicant requests approval of a Combined Basic & Detailed Development Plan in a PM Planned Mixed Use District for a new 26,617 SF branch library

- ▶ Site is 4.0 acres, zoned Planned Mixed Use (PM)
- ▶ Current use is vacant land
- ▶ Adjacent lands are zoned PM
- ▶ This branch is one of the last to be constructed as part of the DML's ambitious system-wide library expansion/replacement program that started with a voter-approved \$187 million bond issue in 2012.

Proposal details:

- ▶ 26,617 SF Library
- ▶ Structure is ~ 34' at highest peak.
- ▶ Brandt Pike curb cut is eliminated, access from Miami Valley Way
- ▶ Slight building encroachment into front setback
- ▶ Alternative front landscaping is proposed





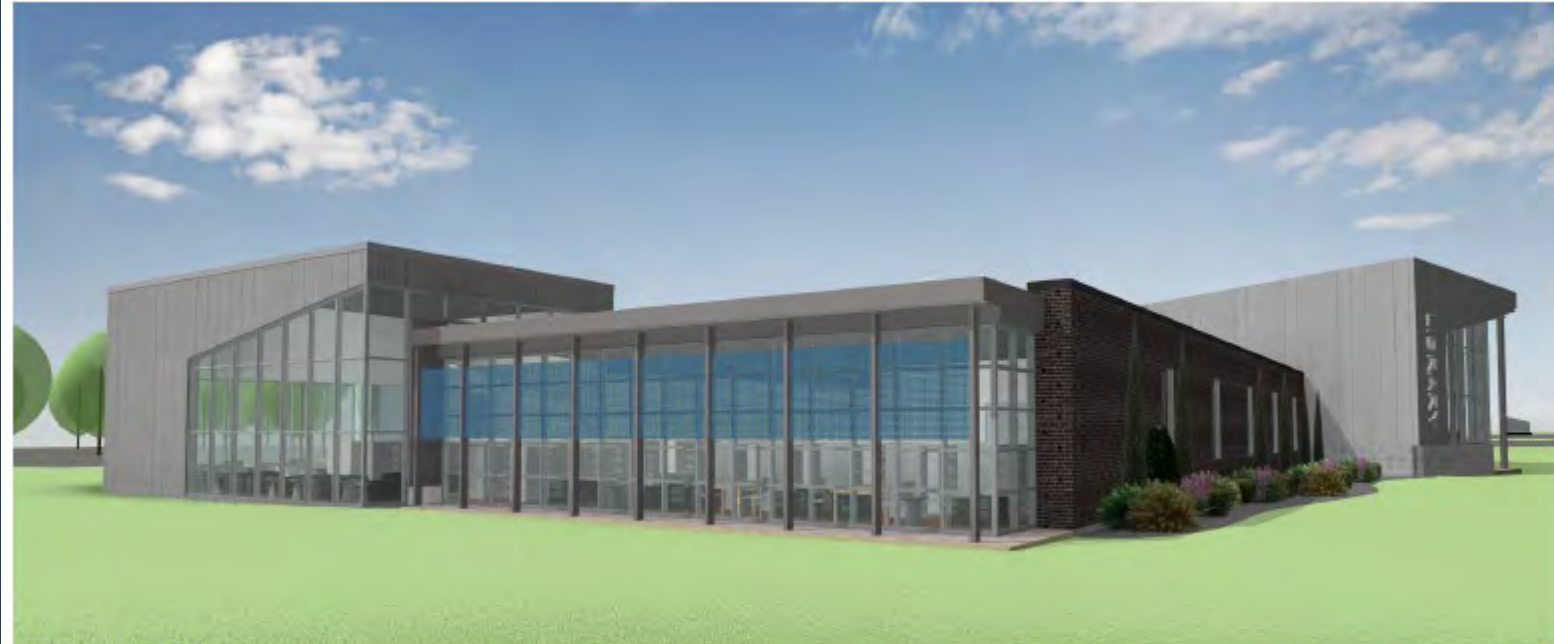
East Elevation - North Corner



West Elevation - Main Entrance



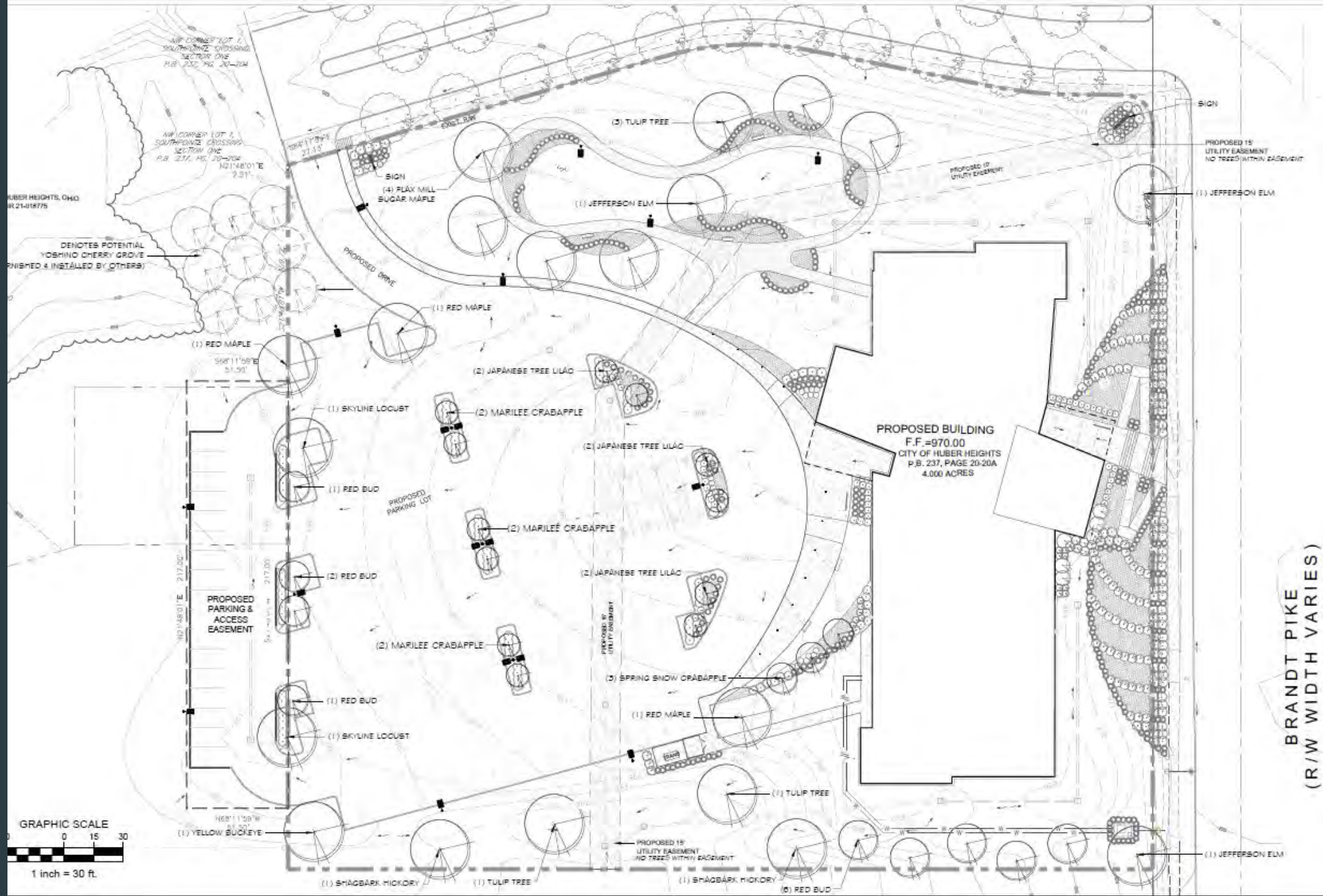
West Elevation - Northwest Corner



South Elevation



East Elevation - North Corner



Development Standards Analysis:

- The proposed development will reduce the amount of impervious surface from 2.72 acres to 2.32 acres, a reduction of 17%. Approximately 56.5% of the site is will be developed, and 43.5% is undeveloped or green space.
- The zoning code requires 122 parking spaces; applicant is proposing 143 spaces (133 spaces are unrestricted). The parking meets city standards.
- A separate pedestrian entrance is available along Brandt Pike for those patrons who may walk or utilize the RTA.
- A sign package was not submitted with the application, but the elevation drawings indicate one wall sign that is approximately 35 square feet and two ground signs.

Development Standards Analysis:

- Approximately 16% of the building frontage encroaches into the setback area. The building setback encroachment brings the pedestrian entrance closer to the sidewalk and breaks up the front building wall facade, which is nearly 270 feet long.
- Planning staff is very supportive of this minor encroachment and design element.
- The architecture of the proposed branch library is attractive, contemporary design that is consistent with the DML brand throughout Montgomery County.
- The exterior facade is a mixture of 40% standing seam metal panel, 35% storefront and curtain wall, 22% brick, 2% ACM panel.

Staff Recommendation

Staff recommends approval of the combined Basic and Detailed Development Plan to construct a new Huber Heights Library Branch.

Staff recommends the following conditions for approval:

- 1) The applicant shall submit a sign package consistent with Section 1189 of the Huber Heights Planning and Zoning Code;
- 2) The applicant will comply with all stormwater requirements, per the City Engineer;
- 3) The applicant will comply will all Fire Code requirements, per the Huber Heights Fire Department;
- 4) The applicant will submit a revised site and landscaping plan reflecting all conditions of the Planning Commission decision, if any, prior to review by City Council.

Planning Commission Action

Planning Commission recommended unanimous approval.

CITY OF HUBER HEIGHTS
STATE OF OHIO

ORDINANCE NO. 2022-O-

TO APPROVE A BASIC AND DETAILED DEVELOPMENT PLAN FOR THE PROPERTY LOCATED AT 6243 BRANDT PIKE AND ACCEPTING THE RECOMMENDATION OF THE PLANNING COMMISSION (ZONING CASE 22-05).

WHEREAS, the citizens of Huber Heights require the efficient and orderly planning of land uses within the City; and

WHEREAS, the City Planning Commission has reviewed Zoning Case 22-05 and on January 25, 2022, recommended approval by a vote of 5-0 of the Basic and Detailed Development Plan; and

WHEREAS, the City Council has considered the issue.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Huber Heights, Ohio that:

Section 1. The application requesting approval of a Basic and Detailed Development Plan (Zoning Case 22-05) is hereby approved in accordance with the Planning Commission's recommendation and the following conditions:

1. The applicant shall submit a sign package consistent with Section 1189 of the Huber Heights Planning and Zoning Code when seeking a zoning permit.
2. The applicant will comply with all stormwater requirements per the City Engineer.
3. The applicant will comply with all Fire Code requirements per the Huber Heights Fire Division.
4. The applicant will submit a revised site and landscaping plan reflecting all conditions of the Planning Commission decision, if any, prior to review by City Council.
5. In accordance with Section 1182.06, prior to the issuance of a zoning permit, the applicant shall submit a performance bond, cash bond, or letter of credit to insure the installation of landscaping as approved. The bond or letter of credit shall be in an amount equal to the applicant's estimate of the cost of installation as approved by the Planning Department and shall remain in effect until such time as the landscaping has been completed as determined by the Planning Department.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 3. This Ordinance shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the ____ day of _____, 2022;
____ Yeas; ____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

AI-8219

New Business C.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

Space Needs Assessment - LWC

Submitted By: Bryan Chodkowski

Department: Economic Development

Council Committee Review?: Council Work Session
Date(s) of Committee Review: 02/22/2022

Audio-Visual Needs: None
Emergency Legislation?: No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

A Resolution Authorizing The City Manager To Engage LWC Incorporated To Provide A Space Needs Assessment For Certain City Operations.
(first reading)

Purpose and Background

Pursuant to City Council's previous discussions, certain City buildings or facilities no longer function effectively or efficiently for City Staff and citizens. To assist Council in deciding the future configurations and locations of certain City operations, it is recommended that Council authorize this space needs assessment.

Fiscal Impact

Source of Funds: General Fund

Cost: \$30,000

Recurring Cost? (Yes/No): No

Funds Available in Current Budget? (Yes/No): Yes

Financial Implications:

The proposal associated with this legislation has a cost of \$27,500. Staff included additional funds in the event that alternative concept drawing or floor plans were requested by the City following presentation of deliverables from the proposal.

Attachments

Resolution

Exhibit A

CITY OF HUBER HEIGHTS
STATE OF OHIO

RESOLUTION NO. 2022-R-

AUTHORIZING THE CITY MANAGER TO ENGAGE LWC INCORPORATED TO PROVIDE A SPACE NEEDS ASSESSMENT FOR CERTAIN CITY OPERATIONS.

WHEREAS, the City of Huber Heights (“City”) owns numerous buildings and facilities from which it operates and provides services; and

WHEREAS, several of these buildings and facilities have reached their operational capacity or no longer functions effectively and efficiently; and

WHEREAS, the City desires to understand the best methods to address the conditions of capacity, efficiency, and effectiveness to plan for future building and facility improvements.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Huber Heights, Ohio that:

Section 1. The City Manager is hereby authorized and directed to execute an agreement with LWC Incorporated for the purposes of conducting a space needs assessment as proposed in Exhibit A as attached hereto. Said agreement shall be approved as to form and content by the Law Director prior to its execution by the City Manager.

Section 2. This legislation is adopted in accordance with Section 171.03(1) and Section 171.12(a)4 of the City Code of Huber Heights, Ohio.

Section 3. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 4. This Resolution shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____, 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

EXHIBIT A



February 8, 2022

Bryan Chodkowski
Interim City Manager
City of Huber Heights
6131 Taylorsville Road
Huber Heights, Ohio 45424

Dear Bryan:

I am following-up to the city's request to provide a fee proposal for an assessment study to site two future buildings at Southpointe Crossing, the former Marion Meadows Shopping Center.

Our scope will include the following items:

- interviews with staff and council members to determine goals and priorities
- evaluate current and future space needs of City Administration
- evaluation current and future space needs of Tax and Water divisions
- evaluate current and future space needs of the Senior Center

Deliverables will include:

- program with recommended tenants and square footages
- site studies for building locations
- square footage and footprint of buildings
- site plan rendering with buildings and associated parking
- axonometric site rendering with building elevations
- preliminary cost estimate and schedule

Our fee to complete the scope and deliverables described above is \$27,500 and can be completed within 60 days from a notice to proceed from the city.

Please call, (513) 617-0550, if you have any questions or need additional information. LWC looks forward to continuing our partnership with the city.

Sincerely,

A handwritten signature in dark ink, appearing to read "John Fabelo", written over a horizontal line.

John Fabelo, AIA
Partner

accepted on behalf of City of Huber Heights

AI-8225

New Business D.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

Municipal Services Request Letter - Carriage Trails - Phase II - Annexation

Submitted By: Bryan Chodkowski

Department: Economic Development

Council Committee Review?: Council **Date(s) of Committee Review:** 02/22/2022
Work
Session

Audio-Visual Needs: None **Emergency Legislation?:** No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

A Resolution Adopting A Statement Indicating The Services The City Of Huber Heights, Ohio Will Be Providing To The Territory Proposed To Be Annexed To The City Of Huber Heights Pursuant To A Petition Filed With The Board Of Commissioners Of Miami County By Landowners (As Defined Below) And As Provided By Ohio Revised Code Section 709.023.
(first reading)

Purpose and Background

DEC, on behalf of the various landowners listed within the legislative recitals, is requesting the City adopt the proposed legislation. The proposed legislation is associated with provisions of the Ohio Revised Code and the adoption of such is a requirement should Council desire that the pending annexation matter advance upon its filing with Miami County.

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

Attachments

Resolution

Exhibit A

CITY OF HUBER HEIGHTS
STATE OF OHIO

RESOLUTION NO. 2022-R-

ADOPTING A STATEMENT INDICATING THE SERVICES THE CITY OF HUBER HEIGHTS, OHIO WILL BE PROVIDING TO THE TERRITORY PROPOSED TO BE ANNEXED TO THE CITY OF HUBER HEIGHTS PURSUANT TO A PETITION FILED WITH THE BOARD OF COMMISSIONERS OF MIAMI COUNTY BY LANDOWNERS (AS DEFINED BELOW) AND AS PROVIDED BY OHIO REVISED CODE SECTION 709.023.

WHEREAS, Gary L. Lavy, Successor Trustee (Parcel No. A01-012200), Gessaman Family Farm, LLC (Parcel Nos. A01-012300 and A01-044400), Raymond E. and Kriss T. Haren (Parcel No. A01-015000,) and the Estate of Charles O. Stafford AKA Charles Stafford (Parcel No. A01-016400), (collectively referred to as the “Landowners”), have filed with the Board of Commissions of Miami County, a petition to annex to the City of Huber Heights approximately 260.369 +/- acres of land as shown in the legal descriptions and map attached and incorporated as Exhibit A (the “Proposed Property”); and

WHEREAS, the Landowners’ property is contiguous to the City of Huber Heights Corporation limits as shown in Exhibit A; and

WHEREAS, pursuant to Ohio Revised Code Section 709.023, in a special annexation procedure where land is not excluded from the township, the municipal corporation to which annexation is proposed shall adopt a resolution stating what services the municipal corporation will provide to the land petitioned to be annexed.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Huber Heights, Montgomery and Miami Counties, Ohio that:

Section 1. The City of Huber Heights states that within a reasonable amount of time anticipated to be approximately thirty (30) days after completion of the annexation of the Proposed Property to the City of Huber Heights, it will provide to the newly annexed territory the following services: police and fire protection; paramedic and ambulance services; professional engineering staff; park and recreation programming; maintenance of any and all public streets and alleyways falling within the jurisdiction and control of the City and keeping the same open, in repair, and free from nuisance; street lighting in accordance with any Citywide plan/policy for streetlights; planning and development services; fire inspections; and any and all other services provided at the discretion of the City of Huber Heights, which may be in addition to those services listed herein.

Section 2. If the Proposed Property is subject to zoning regulations adopted under either Chapter 303 or Chapter 519 of the Ohio Revised Code and once annexed becomes subject to City of Huber Heights zoning which permits uses in the annexed territory that the City determines are clearly incompatible with uses under current county or township zoning in the adjacent land remaining in the township, the City of Huber Heights shall require, in the zoning ordinance permitting the incompatible use, the owner of the annexed territory to provide a buffer separating the use of the annexed territory and the adjacent land remaining within the township.

Section 3. If a street or highway will be divided or segmented by the boundary line between the township and the municipal corporation as to create a road maintenance problem, the City of Huber Heights agrees to and will assume the maintenance of that street or highway or to otherwise correct the problem.

Section 4. The Clerk of Council is hereby directed to file a certified copy of this legislation with the Board of County Commissioners for Miami County, Ohio within twenty (20) days following the date that the petition was filed with the County.

Section 5. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in

such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 6. This Resolution shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the ____ day of _____, 2022.
____ Yeas; ____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

CERTIFICATE

The undersigned, Clerk of Council of the City of Huber Heights, Ohio, hereby certifies that the foregoing is a true and correct copy of Resolution No. 2022-R-_____ adopted by the Council of the City of Huber Heights, on _____, 2022.

Clerk of Council

DESCRIPTION OF 260.369 ACRES
BETHEL TOWNSHIP, MIAMI COUNTY, OHIO

Situated in the State of Ohio, County of Miami, Township of Bethel, being parts of Sections 13, 19 and 20, Township 2, Range 9, Miami Rivers Survey, being all that property described in a deed to Raymond E. & Kriss T. Haren, of record in Deed Book 616, Page 414, all of that property as described in a deed to Gary L. Lavy, Trustee, of record in Document No. 2019OR-07903 (Tract I only), all of that property as described in a deed to Gessaman Family Farm LLC, of record in Deed Book 722, Page 610 and all of that property as described in a deed to Estate of Charles O. Stafford AKA Charles Stafford Michael D. Stafford, Executor, of record in Deed Book 481, Page 662, all references herein being to the records of the Recorder's Office, Miami County, Ohio, and being more particularly described as follows:

Beginning at the common corner to Sections 13, 14, 19 and 20, said point being occupied by a utility pole and also being the southwesterly corner of that 20.933 acre tract as described in a deed to Jeannine F. Friend, of record in Deed Book 650, Page 134;

Thence South $84^{\circ}05'03''$ East, along the southerly line of said 20.933 acre tract, a distance of 809.57 feet to a 5/8" rebar found at an angle point in said southerly line at the northwesterly corner of said Stafford tract;

Thence South $84^{\circ}03'21''$ East, continuing along said southerly line and the southerly line of that 15.417 acre tract as described in a deed to Jeannine F. Friend (LE) and Diana Jones (RM), of record in Deed Book 576, Pages, 109, 111 and 113, and the southerly line of that 35.873 acre tract as described in a deed to Carol J. Marchelletta, of record in Document No. 2020OR-12550, a distance of 1,596.36 feet to a 5/8" rebar found at the northwesterly corner of that 1.637 acre tract as described in a deed to J. James Merz, Peggy J. Clendening and William J. Merz, Co-trustees, of record in Document No. 2018OR-08112;

Thence South $05^{\circ}01'23''$ West, along the westerly line of said 1.637 acre tract, a distance of 271.00 feet to an iron pin set at the southwesterly corner of said 1.637 acre tract;

Thence South $84^{\circ}03'18''$ East, along the southerly of said 1.637 acre tract, a distance of 263.13 feet to a 5/8" rebar found at the southwesterly corner of that 2.750 acre tract as described in a deed to J. James Merz, Peggy J. Clendening and William J. Merz, Co-trustees, of record in Document No. 2018OR-08112;

Thence South $84^{\circ}30'13''$ East, along the southerly line of said 2.750 acre tract, a distance of 334.94 feet to a mag nail found in the centerline of Mann Road (60.00 feet in width) at the southeasterly corner of said 2.750 acre tract;

Thence South $44^{\circ}29'47''$ West, along said centerline, a distance of 307.30 feet to a mag nail set at the northeasterly corner of that 1.388 acre tract as described in a deed to Eric Douglas Anderson, of record in Document No. 2020OR-13719;

Thence North $84^{\circ}06'13''$ West, along the northerly line of said 1.388 acre tract, a distance of 441.73 feet to a 5/8" rebar found at the northwesterly corner of said 1.388 acre tract;

Thence South $05^{\circ}53'47''$ West, along the westerly line of said 1.388 acre tract, a distance of 160.00 feet to a 5/8" rebar found at the southwesterly corner of said 1.388 acre tract in the northerly line of that 14.510 acre tract as described in a deed to Michael Seale and Eugenia Seale, of record in Document No. 2021OR-03790;

Thence North $84^{\circ}06'13''$ West, along said northerly line, a distance of 1554.77 feet to a 1" pinch top pin found at the northwesterly corner of said 14.51 acre tract;

Page 2 – 260.369 acres

Thence South 05°00'47" West, along the westerly line of said 14.510 acre tract and the westerly line of that 2.811 acre tract as described in a deed to William L. Thayer and Bobbie J. Cantrell of record in Document No. 2016OR-14842, a distance of 671.16 feet to a 5/8" rebar found at the southwesterly corner of said 2.811 acre tract;

Thence South 84°12'59" East, along the southerly line of said 2.811 acre tract, the southerly line of that 3.675 acre tract as described in a deed to William L. Thayer and Bobbie J. Cantrell of record in Document No. 2016OR-14842 and the southerly line of that 1.100 acre tract as described in a deed to Isaac B. Coppock and Michele M. Coppock of record in Deed Book 711, Page 289, a distance of 867.83 feet to a mag nail found in the centerline of Heffner Road (30 foot right of way) at the northwesterly corner of that 10.140 acre tract as described in a deed to Kerry J. Pahal, of record in Document No. 2015OR-05509;

Thence South 04°52'03" West, along the westerly line of said 10.140 acre tract, a distance of 1339.34 feet to a 5/8" rebar found at the southwesterly corner of said 10.140 acre tract and in the northerly line of that 13.3764 acre tract as described in a deed to Carriage Pointe LTD., of record in Document No. 2021OR-04394;

Thence North 84°20'09" West, along said northerly line, a distance of 1680.77 feet to a 1" pipe found at the northwesterly corner of said 13.3764 acre tract and the southeasterly corner of "Carriage Trails Section 7, Phase III", a subdivision of record in Plat Book 26, Pages 8-8A;

Thence North 05°13'29" East, along the easterly line of said Carriage Trails Section 7, Phase III and the easterly perimeter of Inlot 352 (remainder) as shown and delineated upon the plat "Carriage Trails" a subdivision of record in Plat Book 22, Page 25, a distance of 732.60 feet to an iron pin found with plastic cap inscribed "M-E Companies";

Thence North 84°54'54" West, along the northerly perimeter of said Inlot 352, a distance of 2,678.46 feet to an iron pin found with plastic cap inscribed "M-E Companies" in the easterly line of "Carriage Trails Section 9, Phase III", a subdivision of record in Plat Book 26, Pages 20-20A;

Thence North 05°06'04" East, along the easterly line of said "Carriage Trails Section 9, Phase III", and the easterly line of "Carriage Trails Section 9, Phase IV", a subdivision of record in Plat Book 26, Pages 67-67B, a distance of 614.38 feet to an iron pin found with plastic cap inscribed "M-E Companies" at the northeasterly corner of said "Carriage Trails Section 9, Phase IV";

Thence North 84°34'07" West, along the northerly line of said "Carriage Trails Section 9, Phase IV", a distance of 456.76 feet to an 1" pipe found at the southeasterly corner of that 12.982 acre tract as described in a deed to Nicholas P. Holmes Sr. and Rita T. Holmes, of record in Deed Book 675, Page 30;

Thence North 04°58'53" East, along the easterly line of said 12.982 acre tract, a distance of 1337.64 feet to an iron pin set at the northeasterly corner of said 12.982 acre tract and in the southerly line of that 1.857 acre tract as described in a deed to Nicholas P. Holmes Sr. and Rita T. Holmes, of record in Deed Book 675, Page 30;

Thence South 84°50'32" East, along the southerly line of said 1.857 acre tract and the southerly line of that 2.011 acre tract as described in a deed to Joyce A. Clifford, of record in Document No. 2015OR-13536, a distance of 333.63 feet to a 2" pipe found at the southeasterly corner of said 2.011 acre tract;

Page 3 - 260.369 acres

Thence North $04^{\circ}55'31''$ East, along the easterly line of said 2.011 acre tract, passing a $\frac{5}{8}$ " rebar found in the southerly right of way line of U.S. Route 40 (80.00 feet in width) at a distance of 304.99 feet, a total distance of 345.96 feet to a mag nail set in the centerline of U.S. Route 40;

Thence North $82^{\circ}26'45''$ East, along said centerline, a distance of 237.40 feet to a mag nail set at an angle point in said centerline;

Thence North $82^{\circ}23'02''$ East, continuing along said centerline, a distance of 8.50 feet to a mag nail set at the northwesterly corner of that 16.764 acre tract as described in a deed to Kenneth L. Hosler and Gene L. Hosler, of record in Document No. 2020OR-07836;

Thence South $04^{\circ}26'06''$ West, along the westerly line of said 16.764 acre tract, passing a 1" pipe found in the southerly right of way line of U.S. Route 40 at a distance of 40.89 feet, a total distance of 400.57 feet to a 1" pinch top pin found at the southwest corner of said 16.764 acre tract;

Thence South $85^{\circ}01'11''$ East, along the southerly line of said 16.764 acre tract and the southerly line of that 3.236 acre tract as described in a deed to Holly A. Williams and Anthony D. Williams of record in Document No. 2017OR-07099, Document No. 2017OR-07100 and Document No. 2021OR-13707, a distance of 1,523.43 feet to a 1" pinch top pin found at the southeasterly corner of said 3.236 acre tract;

Thence North $05^{\circ}07'34''$ East, along the easterly line of said 3.236 acre tract, passing a $\frac{5}{8}$ " rebar in the southerly right of way line of U.S. Route 40 at a distance of 701.25 feet a total distance of 742.26 feet to a mag nail set in the centerline of U.S. Route 40;

Thence North $82^{\circ}23'02''$ East, along said centerline, a distance of 1,065.69 feet to a mag nail set at the northwesterly corner of that aforementioned 20.933 acre tract and in the common line to Sections 14 and 20;

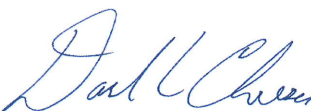
Thence South $05^{\circ}34'32''$ West, along said common line, the westerly line of said 20.933 acre tract and the westerly line of that 0.717 acre tract as described in a deed to Wilbur E. Friend and Jeannine F. Friend, of record in Deed Book 327, Page 183, a distance of 979.31 feet to the place of beginning and containing 260.369 acres of land of which 134.161 acres lies in Section 19, 22.526 acres lies in Section 20 and 103.682 acres lies in Section 13.

Bearings herein are based on the Ohio State Plane Coordinate System, North Zone, NAD 83.

Iron pins set consist of a $\frac{5}{8}$ -inch rebar, 30 inches long with an orange plastic cap stamped "IBI Group, S-6872/S-7740".

This description was prepared by IBI Group Survey, Columbus, Ohio, and is based on an actual field survey of the premises performed in May and November 2021.



By 
David L. Chiesa Date 12/21/21
Registered Surveyor No. 7740

AI-8223

New Business E.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

Water and Sewer Rate Adjustments

Submitted By: Jim Bell

Department: Finance

Division: Accounting

Council Committee Review?: Council
Work
Session

Date(s) of Committee Review: 02/22/2022

Audio-Visual Needs: None

Emergency Legislation?: No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

An Ordinance Decreasing The Sewer Rates In Section 934.03 Of The Codified Ordinances Of Huber Heights And Increasing The Water Rates In Section 934.02 Of The Codified Ordinances Of Huber Heights.
(first reading)

Purpose and Background

The final 2022 City Budget presentation and discussion included an option to increase water rates by 5% with a corresponding decrease in sewer rates by 7.5%. This plan would generate an estimated \$300,000 in additional water revenue annually.

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

Attachments

Ordinance

CITY OF HUBER HEIGHTS
STATE OF OHIO

ORDINANCE NO. 2022-O-

DECREASING THE SEWER RATES IN SECTION 934.03 OF THE CODIFIED ORDINANCES OF HUBER HEIGHTS AND INCREASING THE WATER RATES IN SECTION 934.02 OF THE CODIFIED ORDINANCES OF HUBER HEIGHTS.

WHEREAS, Section 934.02 of the Codified Ordinances of the City of Huber Heights sets forth the water distribution rates for all municipal water customers; and

WHEREAS, Section 934.03 of the Codified Ordinances of the City of Huber Heights sets forth the sanitary sewer rates for water customers; and

WHEREAS, Council has determined it is necessary to increase the water distribution rates across the board effective in April 2022 by five percent (5%) and to decrease the sanitary sewer rates across the board effective in April 2022 by seven and one half (7½%) percent.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Huber Heights, Ohio that:

Section 1. Effective with the first billing in April 2022, Section 934.02(a), (b) and (c) of Chapter 934 Rates and Fees for Water Distribution and Sanitary Sewer Services, of Title Three, Public Utilities, of Part Nine Streets and Public Services, of the Codified Ordinances of the City of Huber Heights is hereby amended to read as follows:

934.02 WATER DISTRIBUTION RATES.

(a) Except as provided elsewhere in this section, water rates for all customers, including customers that reside within the City limits that are in the Huber East Water District System shall be as follows.

- (1) The billing period shall be monthly and include estimated or actual readings.
- (2) The water rates to be charged shall be based on the volume of water consumption and the size of the water meter(s) servicing a property as follows:

Effective through the last billing in December 2018	Effective through the last billing in December 2018
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$1.7794
Over 1500 cubic feet	1.5045

Effective with the first billing in January 2019:	Effective with the first billing in January 2019:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$2.0463
Over 1500 cubic feet	1.7302

Effective with the first billing in January 2020:	Effective with the first billing in January 2020:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$2.3532
Over 1500 cubic feet	1.9897

Effective with the first billing in April 2021:	Effective with the first billing in April 2021:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$2.3817
Over 1500 cubic feet	2.0138

Effective with the first billing in April 2022:	Effective with the first billing in April 2022:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$2.5008
Over 1500 cubic feet	2.1145

(3) Monthly service charges for water distribution services shall be based on the size of the largest meter servicing a property as follows:

Effective through the last billing in December 2018	Effective through the last billing in December 2018	Effective through the last billing in December 2018
Meter Size	Residential User Service Charge	Commercial User Service Charge
5/8"	\$10.28	\$10.28
1"	25.40	25.40
1 1/2"	50.63	54.02
2"	80.86	86.27
3"	151.44	161.56
4"	255.82	272.95

Effective with the first billing in January 2019:	Effective with the first billing in January 2019:	Effective with the first billing in January 2019:
Meter Size	Residential User Service Charge	Commercial User Service Charge
5/8"	\$11.82	\$11.82
1"	29.21	29.21
1 1/2"	58.22	62.12
2"	92.99	99.21
3"	174.16	185.79
4"	294.19	313.89

Effective with the first billing in January 2020:	Effective with the first billing in January 2020:	Effective with the first billing in January 2020:
Meter Size	Residential User Service Charge	Commercial User Service Charge
5/8"	\$13.59	\$13.59
1"	33.59	33.59
1 1/2"	66.95	71.44
2"	106.94	114.09
3"	200.28	213.66
4"	338.32	360.97

Effective with the first	Effective with the first	Effective with the first
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billing in April 2021:	billing in April 2021:	billing in April 2021:
Meter Size	Residential User Service Charge	Commercial User Service Charge
5/8"	\$13.75	\$13.75
1"	33.99	33.99
1 1/2"	67.76	72.30
2"	108.23	115.47
3"	202.70	216.25
4"	342.41	365.34

Effective with the first billing in April 2022:	Effective with the first billing in April 2022:	Effective with the first billing in April 2022:
Meter Size	Residential User Service Charge	Commercial User Service Charge
5/8"	\$14.44	\$14.44
1"	35.69	35.69
1 1/2"	71.15	75.92
2"	113.64	121.24
3"	212.84	227.06
4"	359.53	383.61

Monthly service charges for water distribution for meter sizes not enumerated above shall be determined by the City Engineer in proportion to the rates for meter sizes listed above. The Citizens Water and Sewer Advisory Board shall hear appeals concerning service charge determinations by the City Engineer and provide a recommendation of final action to the City Council. The City Council shall make the final decision regarding any appeal concerning service charge determinations by the City Engineer.

- (b) Except as otherwise provided in this section, Huber East Water District customers located outside of the City limits shall pay rates according to the following schedule:
- (1) Monthly service charge based on meter size.

Effective through the last billing in December 2018:	Effective through the last billing in December 2018:
Meter Size	Service Charge
5/8"	\$ 15.21
1"	36.53
1 1/2"	72.05
2"	114.67
3"	214.13

Effective with the first billing in January 2019:	Effective with the first billing in January 2019:
Meter Size	Service Charge
5/8"	\$17.49
1"	42.01
1 1/2"	82.86
2"	131.87
3"	246.25

Effective with the first billing in January 2020:	Effective with the first billing in January 2020:
Meter Size	Service Charge
5/8"	\$20.11
1"	48.31

1 1/2"	95.29
2"	151.65
3"	283.19

Effective with the first billing in April 2021:	Effective with the first billing in April 2021:
Meter Size	Service Charge
5/8"	\$20.35
1"	48.89
1 1/2"	96.44
2"	153.48
3"	286.62

Effective with the first billing in April 2022:	Effective with the first billing in April, 2022:
Meter Size	Service Charge
5/8"	\$21.37
1"	51.33
1 1/2"	101.26
2"	161.15
3"	300.95

(2) Volume charge based on the volume of consumption per cubic feet.

Effective through the last billing in December 2018	Effective through the last billing in December 2018
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$4.1233
Over 1500 cubic feet	3.5601

Effective with the first billing in January 2019:	Effective with the first billing in January 2019:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$4.7418
Over 1500 cubic feet	4.0941

Effective with the first billing in January 2020:	Effective with the first billing in January 2020:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$5.4531
Over 1500 cubic feet	4.7082

Effective with the first billing in April 2021:	Effective with the first billing in April, 2021:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$5.5191
Over 1500 cubic feet	4.7652
Effective with the first billing in April 2022:	Effective with the first billing in April 2022:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$5.7951
Over 1500 cubic feet	5.0035

(c) Water Rates for Commercial/Industrial Customers not Within the City Limits.

(1) Commercial/Industrial Water District customers located outside of the City limits shall pay rates according to the following schedule:

A. Monthly service charge based on meter size.

Effective through the last billing in December 2018:	Effective through the last billing in December 2018:
Meter Size	Service Charge
5/8"	\$ 18.26
1"	43.84
1 1/2"	92.26
2"	146.82
3"	274.17

Effective with the first billing in January 2019:	Effective with the first billing in January 2019:
Meter Size	Service Charge
5/8"	\$21.00
1"	50.42
1 1/2"	106.10
2"	168.84
3"	315.30

Effective with the first billing in January 2020:	Effective with the first billing in January 2020:
Meter Size	Service Charge
5/8"	\$24.15
1"	57.98
1 1/2"	122.02
2"	194.17
3"	362.60

Effective with the first billing in April 2021:	Effective with the first billing in April 2021:
Meter Size	Service Charge
5/8"	\$24.44
1"	58.68
1 1/2"	123.50
2"	196.52
3"	366.99

Effective with the first billing in April 2022:	Effective with the first billing in April 2022:
Meter Size	Service Charge
5/8"	\$25.66
1"	61.61
1 1/2"	129.68
2"	206.35
3"	385.34

B. Volume charge based on the volume of consumption per cubic feet.

Effective through the last billing in December 2018:	Effective through the last billing in December 2018:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$4.9479
Over 1500 cubic feet	4.2842

Effective with the first billing in January 2019:	Effective with the first billing in January 2019:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$5.6901
Over 1500 cubic feet	4.9268

Effective with the first billing in January 2020:	Effective with the first billing in January 2020:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$6.5436
Over 1500 cubic feet	5.6658

Effective with the first billing in April 2021:	Effective with the first billing in April 2021:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$6.6228
Over 1500 cubic feet	5.7344

Effective with the first billing in April 2022:	Effective with the first billing in April 2022:
Consumption Volume	Rate Per 100 Cubic Feet
0 to 1500 cubic feet	\$6.9539
Over 1500 cubic feet	6.0211

- (d) Customer Equivalents. When the City agrees to provide service to apartment buildings, condominiums, townhouses, mobile home parks and office buildings to which water is furnished through a single meter, for the purpose of distribution to several customers, such billings shall be determined on the following bases:
- (1) The amounts of each such billing shall be determined on the basis of the "customer equivalents" provided by the meter employed. Such customer equivalents shall be determined by comparing the size of the meter in cross section area with the cross-section area of the five-eighths inches meter, which is the size of meter most typically installed on a service line which serves a single-family dwelling or single professional or business office. Such relationship is as follows:

Meter Size	Customer Equivalent
5/8"	1 Customer Equivalent
1"	2.5 Customer Equivalent
1 1/2"	5 Customer Equivalent
2"	8 Customer Equivalent
3"	15 Customer Equivalent
4"	40 Customer Equivalent

- (2) To determine the amount of any billing for water service pursuant to such special arrangement:
- A. The total consumption through the meter during the billing period will be divided by the customer equivalent for the meter included:

B. The applicable usage rates contained in this chapter will then be applied to the quotient to determine the charge per customer equivalent; and

C. Such charge per equivalent will then be multiplied by the customer equivalent for that meter, the product of such multiplication plus the customer charge producing the total bill as to that meter for that billing period.

Section 2. Nothing herein shall affect the annual cost of living increase based on the Consumer Price Index pursuant to Ordinance No. 2018-O-2343.

Section 3. Effective with the first billing in April 2022, Section 934.02(a) and (b) of Chapter 934 Rates and Fees for Water Distribution and Sanitary Sewer Services, of Title Three, Public Utilities, of Part Nine Streets and Public Services, of the Codified Ordinances of the City of Huber Heights is hereby amended to read as follows:

934.03 – Sanitary sewer rates.

(a) Except as provided elsewhere in this section, sanitary sewer rates for all customers shall be as provided below.

(1) The billing period for sanitary sewer rates shall be monthly.

(2) The sanitary sewer rates to be charged shall be based on the volume of water consumption measured by meters servicing customers of the system, and the size of the water meter(s) servicing a property as follows:

Consumption Volume	Rate per 100 Cubic Foot
Per Cubic Foot	\$1.4202

(3) Consumption charges shall be used to pay for wastewater treatment service charges billed to the City.

(4) Residential customers with sanitary sewer service and no water service, and therefore no water meter shall be billed at a rate of \$15.66 per month plus the monthly service charge which, for these customers, shall be at the rate of the five-eighths inches meter.

(5) Monthly service charges for sanitary sewer services shall be based on the size of the largest meter servicing a property as follows:

Meter Size	Residential User Service Charge	Commercial User Service Charge
5/8"	\$8.84	\$8.84
1"	22.10	22.10
1 1/2"	44.21	46.08
2"	70.73	73.75
3"	132.61	138.28
4"	173.00	178.67

Monthly service charges for water distribution for meter sizes not enumerated above shall be determined by the City Engineer in proportion to the rates for meter sizes listed above. The Citizens Water and Sewer Advisory Board shall hear appeals concerning service charge determinations by the City Engineer and provide a recommendation of final action to the City Council. The City Council shall make the final decision regarding any appeal concerning service charge determinations by the City Engineer.

(b) Rates for the Miami Villa Sewerage District. For any lot, parcel of land, building or premises situated within the Miami Villa plat limits of the City, having any connection with the City sanitary sewer system or otherwise discharging wastewater, either directly or indirectly, into the City sanitary sewer system, a monthly charge or rental shall be based upon the number of bedrooms or occupants of the facility, or by other means acceptable to the City Manager.

(1) The rates for residential users shall be as follows:

Number of Bedrooms	Number of Residents	Monthly Billing
--------------------	---------------------	-----------------

1-3	1-3	\$16.45
4	4	21.94
5+	5+	27.42

(2) The rates for commercial users shall be as follows:

- A. Restaurants, bars, etc.\$1.57 per seat
- B. Churches and public assembly hall\$0.08 per seat
- C. Manufacturing plant\$1.57 per employee

(3) Vacant property in the Miami Villa Sewerage District shall be billed at one-half the rate stated above for occupied property, provided notification of the vacancy is given to the City.

Section 4. Section 934.03(c) shall remain in full force and effect

Section 5. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 6. This Ordinance shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____ 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

AI-8221

New Business F.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

East Water Main and Sanitary Sewer Extension Projects - Acquisition of Right Of Way

Submitted By: Hanane Eisentraut

Department: Engineering **Division:** Engineering

Council Committee Review?: Council Work Session
Date(s) of Committee Review: 02/22/2022

Audio-Visual Needs: None **Emergency Legislation?:** No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

A Resolution Authorizing The City Manager To Acquire Needed Right Of Way, Drainage, Slope, And Temporary Easements For The East Water Main And East Sanitary Sewer Extension Projects.
(first reading)

Purpose and Background

This legislation will authorize the City Manager to acquire easements and rights of way needed for the East Water and Sewer Extension Projects at a total cost not to exceed \$150,000.

Federal funds as part of the American Rescue Plan Act (ARPA) and the Sewer Capital Fund will be utilized to pay for these improvements.

Fiscal Impact

Source of Funds: American Rescue Plan Act Funds/Sewer Capital Fund

Cost: \$150,000

Recurring Cost? (Yes/No): No

Funds Available in Current Budget? (Yes/No): Yes

Financial Implications:

Attachments

Resolution

CITY OF HUBER HEIGHTS
STATE OF OHIO

RESOLUTION NO. 2022-R-

AUTHORIZING THE CITY MANAGER TO ACQUIRE NEEDED RIGHT OF WAY, DRAINAGE, SLOPE, AND TEMPORARY EASEMENTS FOR THE EAST WATER MAIN AND EAST SANITARY SEWER EXTENSION PROJECTS.

WHEREAS, it is necessary to acquire certain sections of right of way as part of the East Water Main and East Sanitary Sewer Extension Projects; and

WHEREAS, there are adequate funds available for these acquisitions.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Huber Heights, Ohio that:

Section 1. The City Manager is hereby authorized to acquire needed easements and right of way parcels for the East Water Main and East Sanitary Sewer Extension Projects at a total cost not to exceed \$150,000.00.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of this Council and all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of Ohio Revised Code.

Section 3. This Resolution shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____, 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

AI-8222

New Business G.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

Water Distribution Integrity Study - Award Contract

Submitted By: Hanane Eisentraut

Department: Engineering **Division:** Engineering

Council Committee Review?: Council Work Session
Date(s) of Committee Review: 02/22/2022

Audio-Visual Needs: None **Emergency Legislation?:** No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

A Resolution Authorizing The City Manager To Enter Into A Contract To Provide A Water Distribution System Integrity Study.
(first reading)

Purpose and Background

City Staff solicited expressions of interest and proposals from various qualified engineering firms to provide a Water Distribution System Integrity Study. City Staff analyzed these responses and selected Burgess & Niple as the most qualified firm for this study at a cost not to exceed \$85,000. The purpose of this study is to address the rising water main break rate, identify the causes, prioritize the right water mains to rehabilitate and replace, and determine the appropriate investment level to control the break rate and mitigate the risks. The Water Fund will be utilized for this study.

Fiscal Impact

Source of Funds: Water Fund

Cost: \$85,000

Recurring Cost? (Yes/No): No

Funds Available in Current Budget? (Yes/No): Yes

Financial Implications:

Attachments

Proposal Results

Burgess & Niple Water Integrity Study Proposal

Resolution



CITY OF HUBER HEIGHTS
WATER DISTRIBUTION SYSTEM INTEGRITY STUDY
PROPOSALS RESULT
BID DATE: FEBRUARY 8, 2022

CONSULTANT'S NAME	PROPOSAL AMOUNT
Burgess & Niple	\$64,600.00
Strand	\$78,000.00

PROPOSAL

Water Distribution System Integrity Study

Huber Heights, Ohio

February 8, 2022

BURGESS & NIPLE
Engineers ■ Architects ■ Planners



Hanane Eisentraut
Assistant City Engineer
City of Huber Heights
6131 Taylorsville Rd
Huber Heights, OH 45424

Re: Water Distribution System Integrity Study

Dear Mr. Eisentraut,

February 8, 2022

In 2001, the American Water Works Association published “Reinvesting in Drinking Water Infrastructure: Dawn of the Replacement Era” with a key finding that most of our nation’s water mains would come of age by 2030. Is this the cause of the recent rise in Huber Heights’ watermain break rate? Is it the result of changing pressure zones, or the change in finished water quality? Or perhaps all three factors are contributing to the spike. Untangling the interaction of these factors requires complex tools and experienced engineers to utilize them and properly interpret outputs. Our team brings the City everything they need to make the right determinations and ultimately develop a plan that will manage breaks and avoid costs.

 We Have the Right Experience	 We Know Your Water System	 We Have the Right Tools
Our team develops practical and proven watermain replacement plans for water utilities across the U.S. as far away as Anchorage, Alaska (where pipes are buried 10+ feet) and Ohio communities similar in size to Huber Heights. We know what data is needed to make accurate predictions and will limit the gathering of additional information to only what is necessary.	B&N knows the City’s water system based on a long history of working for you. Kevin Campanella and Mark Uprite developed the City’s hydraulic model, the 2018 asset management plan and the 2021 Risk and Resilience Assessment and Emergency Response Plan update.	We use the most advanced software platform designed specifically for predicting watermain breaks and developing watermain risk management plans. Developed over a decade, our sophisticated algorithms provide the analytics needed to answer the City’s questions with confidence and impressive accuracy.

Based on our team’s knowledge of your system, experience, and tools, we will develop a strategy and plans to cost-effectively address the risks of watermain breaks and provide reliable capacity to water customers.

Respectfully Submitted,



Kevin Campanella, PE
Project Manager
p. 614.459.2050 x1401
e. kevin.campanella@burgessniple.com



Robbie Cameruca, PE
Principal-in-Charge
p. 614.459.2050 x1402
e. robbie.cameruca@burgessniple.com

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BUSINESS ORGANIZATION

B&N: Water Distribution Leader for more than a Century

Founded in 1912 in Columbus, Ohio, B&N is a nationally recognized engineering, planning and architecture firm. We emphasize practical design to generate ideas that save our clients millions of dollars in capital improvement, operation and maintenance costs.

B&N excels in delivering solutions to maintain and improve our clients' water distribution systems. During the last decade, we have completed nearly 700 water distribution-related projects totaling \$32.5 million in fees and \$290 million in construction. Our staff is well versed in the inspection, evaluation, design and construction of water distribution pipelines. Our water system modeling work has ranged from spreadsheet calculations of small or partial water systems to a fully calibrated WaterCAD model. We have the diversified talent to tackle any distribution system project.

Our water distribution services include:

- Water Mains
- Booster/Pumping Stations
- Storage Reservoirs and Tanks
- Nondestructive Testing/Sampling
- Water Modeling (Hydraulic/Water Quality)
- Flushing Program
- Leak Identification
- Corrosion Protection
- Services During Construction
- O&M Assistance
- Funding Assistance
- Regulatory Assistance

Offices to Perform Services


Columbus

5085 Reed Rd
Columbus, OH 43220
614.459.2050

Cincinnati

525 Vine St., Ste 1300
Cincinnati, OH 45202
513.579.0042




 The Columbus
and Cincinnati offices
of B&N are located **an**
hour from the City.

Principal-in-Charge



Robbie Cameruca, PE

p. 614.459.2050 x1402

e. robbie.cameruca@burgessniple.com

Your Principal-in-Charge for this project will be Robbie Cameruca, PE. Robbie is an owner of B&N and the Director of Utility Infrastructure. She has over 30 years of experience in electrical engineering and project management.

SUBCONSULTANT

infraPLAN

infraPLAN is a New York-based engineering firm specialized in planning watermain replacements using advanced analytical approaches. Services provided include:

- Data review and clean up using spatial, statistical approaches and machine learning
- Thorough statistical analysis and comprehensive suite of results dashboards
- Watermain failure forecasting using advanced statistical models including machine learning
- Development of watermain aging curves, estimations of remaining useful life
- Calculation of business risk exposure due to breaks
- Definition of non-risk based criteria scores (fire flow, hydraulic capacity, water quality)
- Definition of project prioritization scores
- Simulation of rehabilitation and replacement plans, balancing yearly length and cost of rehabilitation with resulting break rate, business risk exposure, and cost

infraPLAN was created by Annie Vanrenterghem, Ph.D., in 2008 to provide utilities with advanced analytical models she had developed during 11-years at Tandon School of Engineering of New York University, where she was a Research Associate professor and principal investigator of research projects funded by the NSF and USEPA. infraPLAN has helped utilities with system lengths up to 6,000 miles. Pioneers of analytically advanced forecasting models and planning approaches, we deliver data-driven solutions. infraPLAN developed and uses the user-friendly infraSOFT platform that greatly facilitates planning. **infraPLAN is WBE-certified nationally through WBENC.**

TECHNICAL APPROACH AND SCOPE OF WORK

Overview

For a typical water distribution system, the technical approach to address a rising watermain break rate due to pipe deterioration involves a complex study of watermain attributes and break data throughout the system. The complexity of the approach for Huber Heights becomes more challenging because of recent changes in the distribution system that can have an impact on watermain break rate (i.e. changes to pressure zones and changes to the water treatment process and finished water quality). Determining the extent that each of these factors is impacting the break rate will require the right approach.



B&N has the right approach to address these challenges.

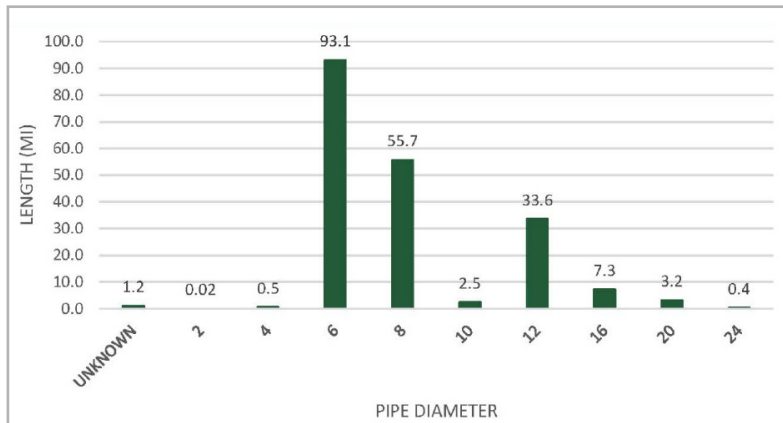
Our project team supports water utilities around the U.S. with similar approaches and has tools that are designed specifically to answer the questions posed in this RFP.

We developed one of the most complex software platforms dedicated to the sole purpose of identifying the causes of a rising watermain break rate, prioritizing the right watermain to rehabilitate and replace, and determining the appropriate investment level to control the break rate and mitigate risks. **This platform has been implemented and validated for over 1 million pipes with demonstrated results that are better than the industry's most commonly employed methodologies.** In some cases, predicting 75-percent of future breaks within a 5-year period has occurred, an unprecedented level of accuracy. Our approach leverages this tool to answer all the questions in the RFP regarding watermain break causes, impacts, and solutions, and to staff this project with technical experts most experienced at interpreting the results and providing you with the most practical path forward.



Insight into Huber Heights Water System

To determine the adequacy of distribution system capacity to support future growth (Task 9), we offer staff with experience modeling your system who can perform the evaluation cost-effectively. B&N is the developer and maintainer of the Huber Heights water distribution system model in WaterGEMS, an industry-leading hydraulic modeling software. We have used the model to support growth and planning of the system.



This graphic, taken from the 2018 Huber Heights Water Asset Management Plan prepared by B&N, shows the length of pipes (in miles) in the Huber Heights water system by diameter, one key parameter in predicting future breaks.

Our hydraulic modeling team includes Mark Upite, PE, who is extremely knowledgeable of the Huber Heights water distribution system based on his experience working for you both modeling the system and through his participation in developing the Huber Heights asset management plan.

There are many other approaches to this project that may appear attractive for their simplicity. In the words of Henry Louis Mencken, “Every complex problem has a solution which is simple, direct, plausible—and wrong.” Our approach has been developed over a decade by those that understand the complexities of watermain break prediction. This approach will help the City avoid significant costs in both the short- and long-term by reducing the cumulative impacts of watermain breaks to the utility and community. Every watermain replacement project is costly, and by identifying the right watermain to rehabilitate and replace at the right time, B&N will determine the best value for your investments.

Scope of Work

Task 1. Kick-off Meeting

The kick-off meeting for this project will be held either in-person or virtually to maximize participation. We will introduce project personnel from the City and B&N team. The Huber Heights project manager will review the City's goals and define success for the project. B&N will review the proposed scope and schedule and provide examples of the deliverables that will be provided, noting discussion of any desired adjustments to meet the City's success factors. We will also be prepared to review a request for information (RFI) to include watermain shapefiles, the City's watermain break database, formatting of shapefile data, and information relevant to updating the City's water distribution hydraulic model. Examples of discussion will include the possibility of the City / Suez supplementing the existing watermain break database with additional historical data. B&N will also review the process to be used for transferring large volumes of data between the City and B&N securely.

Task 2. Data Review

Producing accurate, high-quality results you can trust is our goal. One of our approach's many strengths is our investment in the high-quality data input needed to produce high-quality results. The process begins by uploading the City's GIS shapefiles containing asset IDs, install dates, diameter, length, and other pertinent data (e.g., soil type) for Huber Heights' 200 miles of watermain into infraSOFT. The software has unique, built-in quality control features that immediately analyze the data for comprehensiveness and quality. Issues are displayed in an interactive dashboard. Pre-built quality control measures flag different issues such as:

- **Watermain/Asset IDs:** Missing and duplicate asset IDs; assets without IDs
- **Install Dates:** Missing, anomalous or incoherent install dates (for example, install dates after the dates of abandonment for abandoned watermain).
- **Diameter:** Missing and anomalous diameters (e.g. zero, negative, or triple-digit values).
- **Length:** Exceedingly short or long watermain.

Issues can also be defined by the user based on utility-specific concerns. An example of the infraSOFT dashboard taken from another B&N project is displayed in on this page – that dashboard quantifies the number of issues related to all the factors mentioned above. An example of a user-defined issue is framed in green for Ductile Iron (DI, or D in the table) watermain with a year of installation (YOI) before 1970 – this community started installing DI pipe in 1970, so DI pipes with install dates before that represent a data quality issue. As shown near the bottom of graphic, the user can see that 93.45% of the watermain do not have any issue (framed in blue) and can be used in the analysis.

From input file		156,814		94.02 %	
		initial	current	initial	current
+ New filter	⊖ Pipes excluded from project	0	0	0.00%	0.00%
Pipes included in project		156,821	156,814	100.00%	100.00%
+ New Issue	⊖ Pipes with issues	10,281	10,268	6.56%	6.55%
No Pipe ID		5,834	5,833	3.72%	3.72%
I YOI > 1974		3,715	3,715	2.37%	2.37%
D YOI < 1970		880	880	0.56%	0.56%
No DOI		375	375	0.24%	0.24%
Bad DIAM		38	38	0.02%	0.02%
DUPL Pipe ID, same Life Status		24	24	0.02%	0.02%
No MAT		0	0	0.00%	0.00%
No DOA		0	0	0.00%	0.00%
DOI > DOA		0	0	0.00%	0.00%
DUPL Pipe		14	0	0.01%	0.00%
Bad Length		0	0	0.00%	0.00%
Pipes without issues		146,540	146,546	93.45%	93.45%
Pipes included in project without issues		146,540	146,546	93.45%	93.45%

Watermain break data will be also be addressed in the same manner as watermain attribute data. That data will be uploaded into infraSOFT. infraSOFT automatically performs a quality check on break data and displays the results in the break section of the software's interactive dashboard. Built-in quality control measures (issues) include:

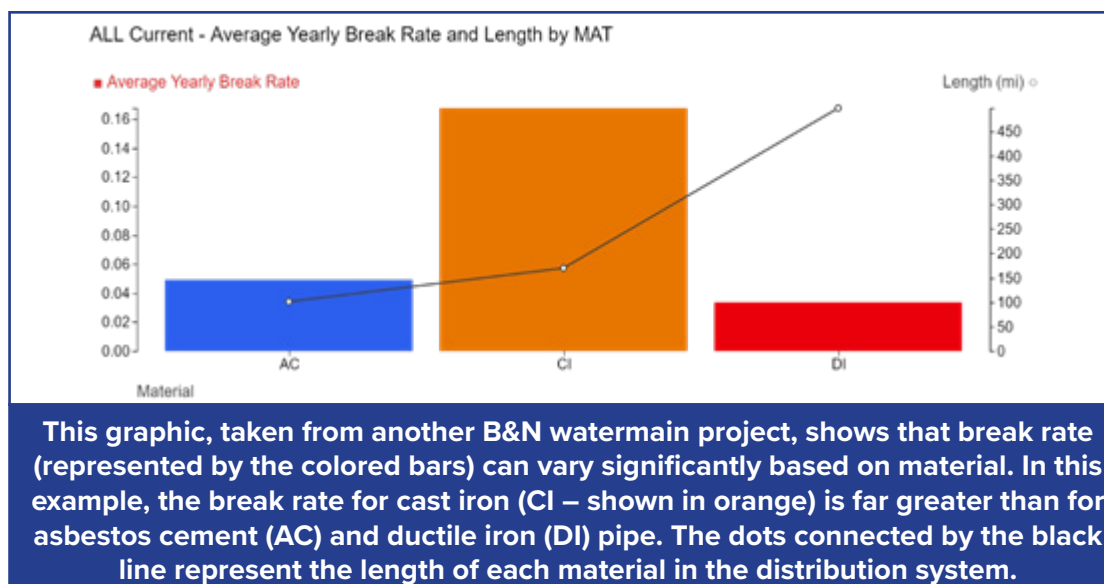
- Breaks with no date
- Multiple breaks with the same break ID
- Duplicate entry of breaks
- Date of break is after abandonment date
- Date of break is before pipe install date
- No watermain ID associated with the break
- Watermain ID associated with the break is not in the watermain database
- No break ID

This dashboard for watermain attributes and break data will help our team determine what data to utilize for the watermain break prediction analysis and where additional data may be needed.

Task 3. Review Data Gaps

Identifying data issues early in the project is essential because the accuracy of prediction of future breaks depends on comprehensive, high-quality data. Virtually no system has every piece of data that is desired. Our experience supported by our analytical tools help us determine when enough data is available for us to produce high quality predictions without further investment in closing data gaps.

The GIS data B&N analyzed when developing the City's water asset management plan in 2018 revealed that 97.3% of pipes have install dates, 99.7% have populated diameters, and 99.8% have a material. Based on this comprehensiveness, we do not expect any effort by City staff will be needed to obtain additional asset attribute data unless data is readily available. Accurate predictions of future watermain breaks will not be hindered based on comprehensiveness of data, provided data quality is high. The infraSOFT dashboard discussed above in Task 2 will alert us if quality issues are of concern, and we will discuss alternatives to address those issues with the City prior to embarking on Task 4 – Data Gap Closure .



The City's existing GIS break database has approximately 10 years of history, and the City has indicated that an additional 10-years of break data could be obtained from historical records and incorporated into the GIS system. Adding high-quality input data leads to more accurate and dependable results, so one approach is to have the City add that additional 10-years of data for analysis. If, however, that process would be burdensome or the City does not have a high degree of confidence in that data, a second approach is to perform a preliminary analysis of the first 10-years of break data to determine if high-quality predictions of future breaks can be produced.

Very importantly, our approach incorporates abandoned watermain and their breaks, provided the data is available. Including abandoned pipe data in the model calibration enhances predictive results, and this type of data is often overlooked by less-experienced planners. Imagine predicting human longevity with only data on the living population versus including additional actuarial data – clearly, additional data enhances that prediction. The same is true for watermain. We analyze abandoned watermain data the same way as active watermain data, identifying data gaps, reviewing them with the City, and determining the value of any gap closure activities, provided the City has historical data for abandoned watermain and the associated break history.

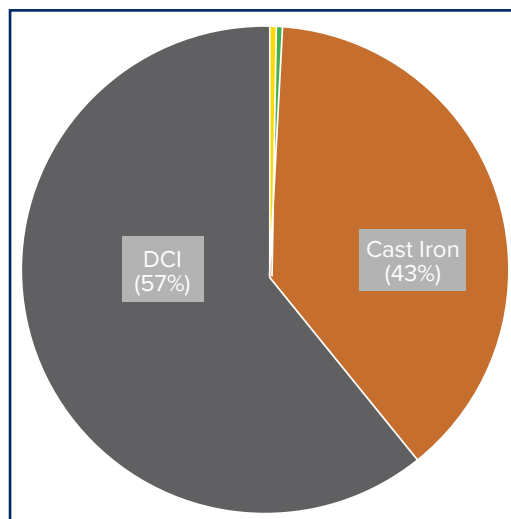


Other interactive features of the platform allow us to define filters, used to exclude some watermain and breaks from the predictive analysis. For example, because service laterals are not included in the R&R program, service connections could be excluded using a filter that removes pipes with small diameters. The software also filters out “non-natural” breaks (e.g. contractor strikes) as these breaks are not indicators of physical degradation and should not be included in failure forecasting. **These filters allow for efficient removal of inapplicable data from the analysis and enhance the accuracy of results.**

Task 4. Data Gap Closure

Resolving input data issues is fundamental to producing high-quality physical failure predictions that drive much of the watermain rehabilitation and replacement (R&R) CIP. Our approach does this transparently. Our team and the infraSOFT platform provide multiple ways of addressing gaps and improving data quality:

1. With a spatial approach by viewing a watermain in infraSOFT’s embedded map interface to determine if missing attributes can be populated based on surrounding watermain attributes
2. With a statistical approach that allows correcting one issue on many watermain at a time, such as changing the material of a watermain based on the year of installation or eliminating duplicate watermain (same ID, diameter, length, install date)
3. Using infraSOFT’s machine learning capacity; missing data is interpolated using logic and the knowledge “learned” from populated data from the entire the City dataset.



This pie chart, taken from the 2018 Water Asset Management Plan, show that nearly 100% of the Huber Heights water distribution system is comprised of ductile iron and cast iron pipes.

The software functionality to close gaps and the level of attention to data input quality are distinguishing features of our approach that result in better predictions and a more targeted CIP.

If there are data gaps populated to a low degree of confidence or if there are critical data gaps remaining after using the bullet list of methods above, B&N will consult with the City to determine if further investigation is justified (i.e. utilizing the City’s construction management data or other source data). While watermain with issues are to be excluded from the calibration of the model, accurate break predictions can still be made without a fully populated dataset.

Changing asset attribute data in infraSOFT does not automatically update GIS, a concern with some utilities that want to preserve the integrity of their source data. Original and updated data is preserved in infraSOFT, and the full change history is cataloged (who edited what and when). The

details of the change history allow the City to determine what proportion of the updated data in infraSOFT should be updated in GIS records following appropriate approval processes. InfraSOFT has an interactive feature that allows an authorized utility user to approve GIS changes in the platform.

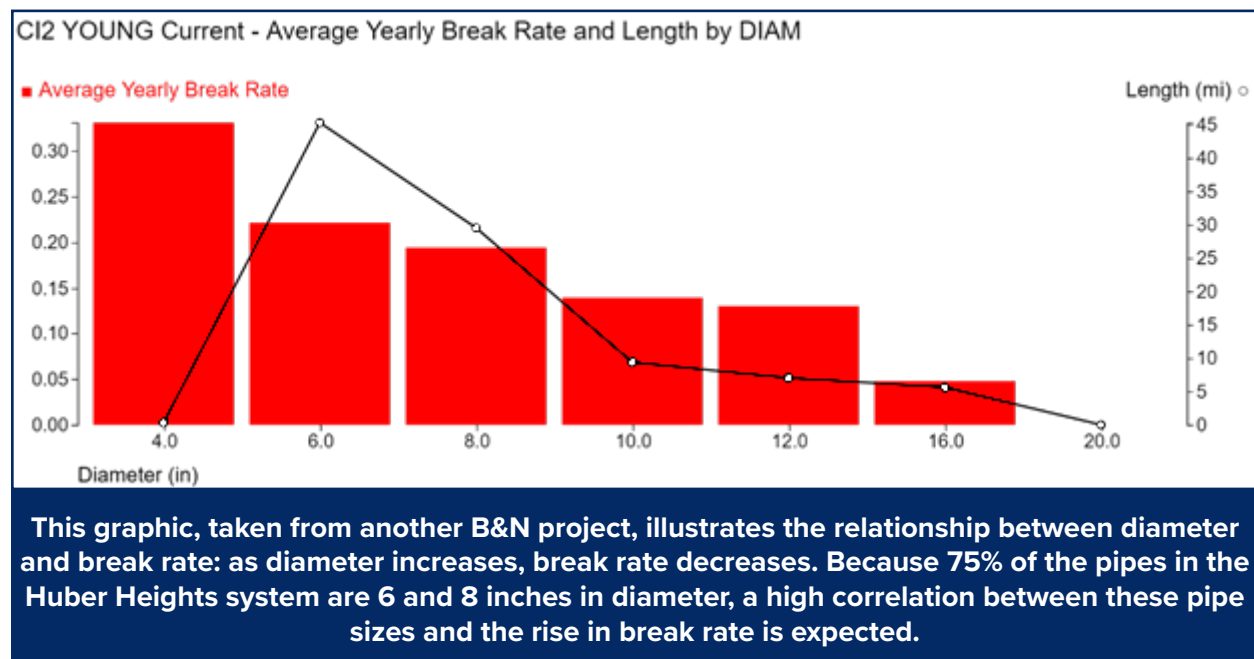
Watermain Break Risk Determination



Tasks 5 and 6. Break Data Analysis and Failure Forecasting

Our watermain break prediction tool, infraSOFT, uses watermain attribute data, break data, and any other input data (e.g., soil type, pressure data) to compute the likelihood of failure (LoF) for every watermain in the analysis. The LoF for every pipe is projected for every year in the planning horizon, understanding that LoF will increase as each pipe ages. We use that data not only to make pipe-by-pipe investment decisions, but also can project performance of the entire distribution system in each year in the planning horizon and beyond so the utility sees how the break rate progresses (i.e., aging curves as seen in Figure 2). We can project the break rate for many scenarios, including the “do nothing” alternative where system-wide break rate, overall number of breaks, and system-wide risk exposure are projected assuming no replacement. We then project those same parameters using different investment scenarios, allowing us to calculate a benefit to cost ratio, where the benefits are measured in terms of reduced impacts of breaks.

The platform uses two analytical approaches to forecast future condition and generate LoF and aging curves: (a) an advanced statistical regression model, LEYP (Linear Extended Yule Process) and (b) machine learning. These advanced statistical methods are superior to more rudimentary scoring systems that involve assigning 1-5 scores to a series of “likelihood parameters” like age, size, and material and assigning subjective weights to each of those factors. Advanced analytical approaches automatically assign weights based on analytics, removing subjectivity. These methods have been shown to make predictions far more accurate.



Calibrating survival models of this nature is complex, and our experience with calibrations will help yield the best results. The validation approach is just as important. As an example of our validation: if a utility has 20 years of break data, the model is calibrated using the first 17 years. Predictions are made using the calibrated model for the following 3 years, and model predictions are compared with actual breaks. Our experience has shown well calibrated LEYP models (something that

DID YOU KNOW?

LEYP modeling incorporates the Weibull model that takes time into account; the Proportional Hazard Model (PHM) that accounts for physical watermain characteristics and environmental risk factors (material, diameter, soil, etc.) and Yule, which takes past breaks into account (crucial because the more a watermain has broken in the past, the more likely it is to break in the future).

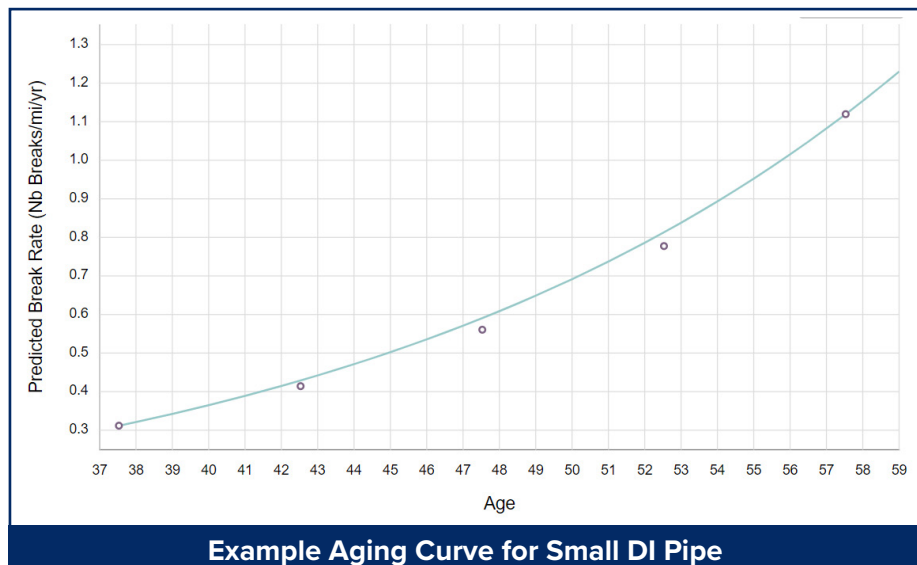
requires experience) and machine learning models yield similar validation for the highest priority watermain. Machine learning tends to perform better for the next priority tiers, and as such machine learning will be our default calibration method.

Evaluating the Impacts of Corrosive Soils. The calibrated model predicts the impacts of expected deterioration of pipes due to corrosion, accounting for the influence of age, size, material, and soil properties. For soil properties, our approach will be to review existing data (e.g. USGS soil maps) to determine which pipes are in aggressive / corrosive soils and which are not. infraPLAN can then compare the performance of pipes in corrosive soils versus those that are not by examining their respective break rates. This analysis is conducted on a material-by-material basis, understanding that corrosive soils may have different impacts on pipes based on materials. Almost the entire existing Huber Heights distribution system was constructed beginning in 1956 and is therefore almost entirely cast iron and ductile iron pipe. Higher break rates are

expected for iron pipes in corrosive soils. We do not recommend soil borings to determine soil characteristics until the desktop calibration and verification are complete. We will discuss the results of the desktop investigation described above with the City before determining if borings are needed, and if so, we will use the model to limit the number of borings needed by doing area-by-area analysis .

Evaluating the impacts of changes in pressure zones.

The water distribution system consists of 4 pressure districts: Northwest, Huber East, Fishburg Road/Aaron Lane, and Huber West . These pressures zones were established in the year 2019 with the commissioning of the US 40, Emeraldgate, and Wildcat pump stations. These booster stations increase pressure to an industrial zone and may contribute to an increase in the break rate for that zone.



While it remains to be seen whether the change in zones has impacted break rates, the approach to making that determination is greatly simplified by our analytics software, infraSOFT. Aging curves (graphs that show how the break rate changes over time as pipe age), will be created for each zone using data from before the change in pressure zones was implemented. These aging curves will be used to estimate what the break rate in each of the zones should have been in recent years if the pressure zone changes had not taken place. That data will be compared to actual break rate in each zone after the zone changes to measure impacts of the changes.

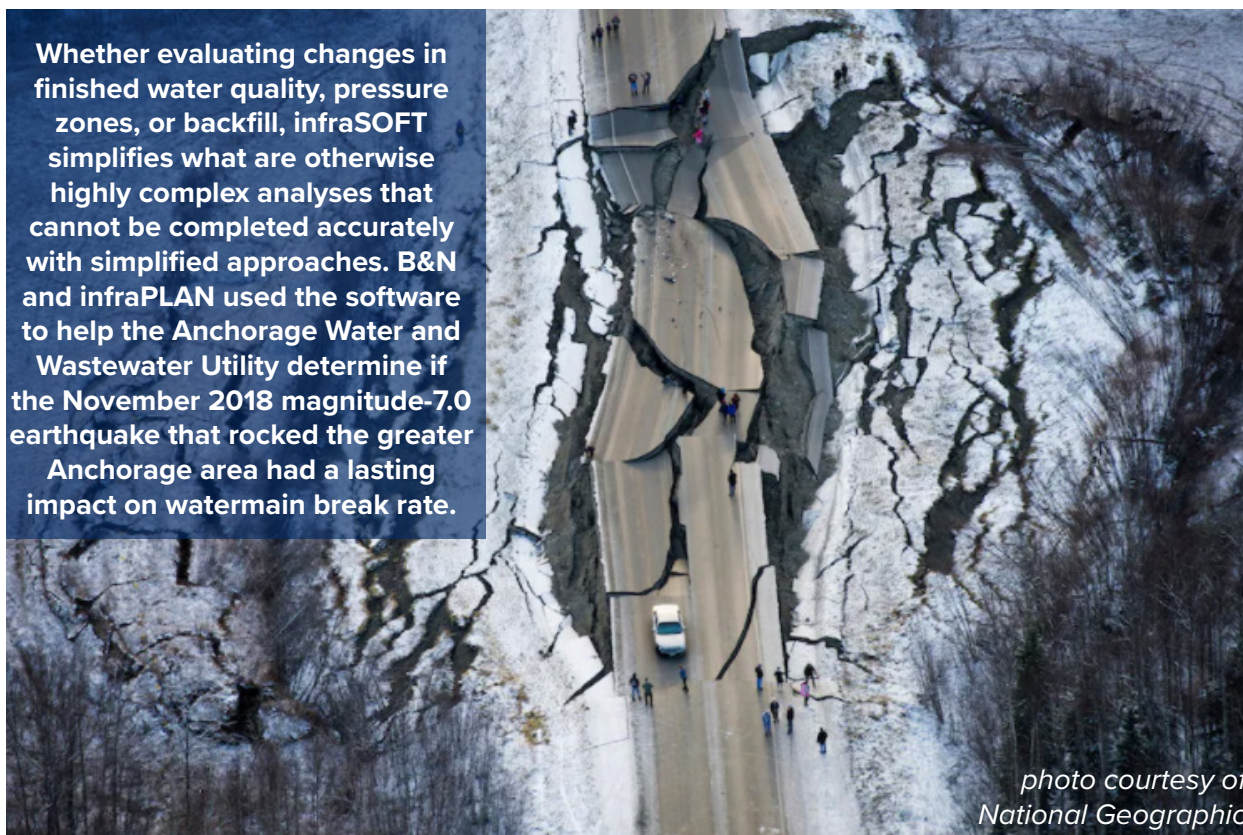
Evaluating the impacts of changes in the water treatment process and finished water quality.

This approach to this evaluation is similar to the approach for pressure zones. Because finished water quality may impact break rate in the entire system, a prediction for the system-wide break

rate for the entire distribution system is made using data prior to changes in the treatment process which occurred in 2020. Those predictions are compared to actual system-wide break rate to determine if there was an increase in breaks compared to what was expected.

Changes in pressure zones and the water treatment process were both made recently, and decoupling their impacts is important. Our approach to that challenge is to perform the water quality impact analysis first. If areas not impacted by the pressure zone changes show a rise in break rate, they are likely to be attributed to finished water quality. Breaks that can be attributed to the change in finished water quality should be removed from the analysis of pressure zones so that the impact of pressure zones is not overestimated.

Evaluating Changes in watermain construction techniques. Our approach to evaluating the impacts of changes in watermain construction technique (i.e. a change in the type of backfill used beginning in roughly 1980), is also simplified considerably using infraSOFT. Aging curves will be developed for two cohorts of pipes, one cohort of pipes installed prior to backfill changes and one for pipes installed after backfill changes. The curves for each will be compared to determine if either is experiencing a higher deterioration rate.



Task 7. Consequence of Failure Estimation

B&N has been at the forefront of watermain break consequence of failure (CoF) work for a decade. We were one of the most significant contributors to the Water Research Foundation's Project #4451 (<https://www.waterrf.org/research/projects/managing-infrastructure-risk-consequence-failure-buried-assets>), in which the full triple-bottom-line costs of watermain breaks were assessed and monetized. Our work showed indirect social costs (e.g. property damage, outages, traffic) can be up to 5 times higher than direct financial costs to the utility. Our approach embeds that research to determine the full monetized CoF of breaks to the City and its customers, which significantly supports appropriate investment decision making, discussed in future tasks.

We understand from our participation in the WRF study and similar project work that breaks on small watermain generally have minimal impacts, with financial consequences representing half to two-thirds of the overall impacts. For larger watermain breaks, costs vary widely and the sum of social costs (surface damage, property damage and traffic) is half to two-thirds of overall costs. We have researched the monetary impacts to hospitals, restaurants, grocers, hotels, schools and non-wet businesses (e.g., clothing stores, bike shops) when water service is interrupted by a break itself or the subsequent repair work, and will use this knowledge to support the assignment of CoF to every watermain in the system.

Our approach to evaluating CoF incorporates both (a) proximity factors using GIS and (b) hydraulic consequences (interruption in service) using data from the distribution hydraulic model. If a watermain is in close proximity to a major road, railroad, waterbody, or other structure, the potential for property damage rises along with the cost of the repair.

Depending on data available from the City's hydraulic model, B&N develops highly sophisticated calculations of the hydraulic impacts of pipe breaks. We recently completed a project for Fort Wayne where a break was simulated in the hydraulic model on every watermain in the system; the resulting hydraulic impacts such as pressure drops and customers without water were determined. A hydraulic CoF score was assigned to every watermain using this technique. This hydraulic criticality work will be conducted if the model supports this analysis, which is conducted in WaterGEMS, provided that the model is fully populated with distribution system isolation valves. Otherwise, B&N will associate critical customer and large users to watermain using GIS functionality to develop hydraulic consequence scores .

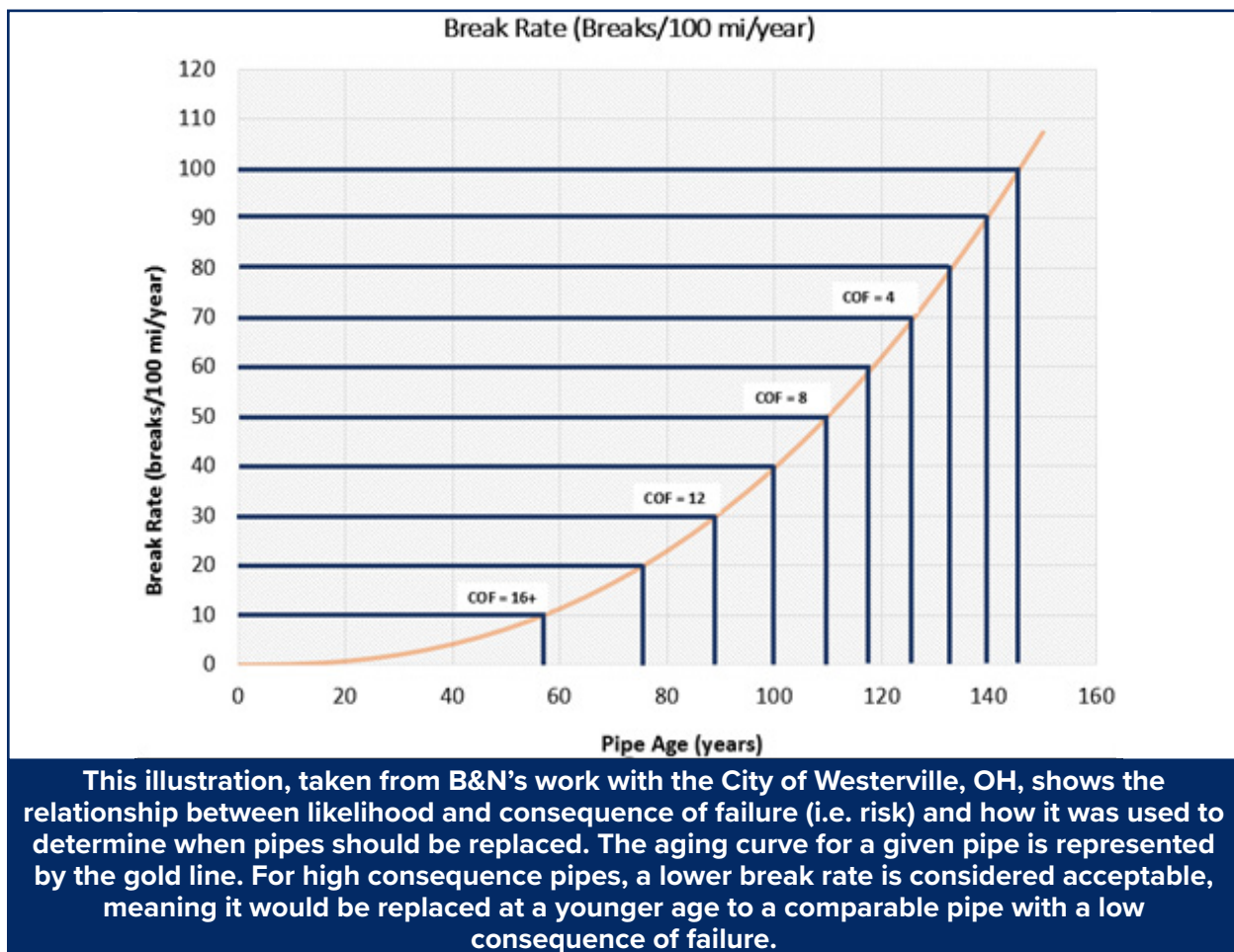
The following table, developed for a project B&N conducted for the City of Fort Wayne, IN, summarizes the factors that contribute to watermain criticality (consequence of failure) and how they can be rated. An advantage to our approach is that in place of the 1 to 5 scoring shown in the table, each level of consequence is associated with dollar value that represents both financial impacts as well as impacts to customers and the community.

Criteria	1	2	3	4	5
Pipe diameter (inches)	< 8	8 - 10	12 - 16	18 - 24	> 24
Adjacency to Body of Water	N/A	N/A	Within 20 ft.	Intersecting	N/A
Adjacency to Railroads	N/A	Within 5 ft.	Intersecting	N/A	N/A
Adjacency to Roads	Collector	Arterial	Highway	N/A	N/A
Critical Customers	< 100 residential	100 - 500 residential	School OR > 500 residential	2 schools OR 1 assisted living/nursing home/prison	Hospitals/dialysis centers OR 3+ schools OR 1 assisted living/nursing home/prison PLUS any other critical customer
Critical Consumption (Monthly average in CCF)	< 1,000	1,000 - 3,999	4,000 - 7,499	7,500 - 10,000	> 10,000
Unbalanced Model					Yes

Task 8 Identify Risks

Determining the risk of watermain involves multiplying LoF times CoF. Because our predictive model produces an annual probability of failure (the LoF component) and our CoF approach produces a monetized value, our risk values are determined in USD per year, an extraordinary advantage over the 1-5 scoring used in other approaches. This monetized risk-cost allows for direct benefit-to-cost ratios (BCR) to be calculated so the City can determine when investments will produce an acceptable BCR. This information will be valuable in determine appropriate investment levels over time to manage the break rate.

Identification of risks on a pipe-by-pipe basis is crucial because the replacement of watermain should be made based on risk. For example, if a watermain has a high break rate, the City may choose not to replace it if the consequence of failure is very low. Conversely, even if a pipe has a lower break rate, replacement may be a good investment if the consequence of failure of that pipe is very high. Our approach to risk quantification has been applied for over a decade with great success in constructing watermain replacement plans that have significantly reduced break rates.



Address Distribution Capacity Risks

Task 9. Identify Capacity Issues

Once calibrated, the model will be used to determine if there are locations in the distribution system that may experience shortfalls by the end of the planning horizon (25 years). Based on assumptions of growth provided by the City, those locations will be identified with a description of the impacted areas.

NOTE: The task labeled **Task 9a** is necessary for this project, but it will be completed under a separate project with Suez. The task labeled as **Task 9b** is optional and will be determined after any capacity issues are identified.

Task 9a. Update and Calibrate the Hydraulic Model (To be Performed Under a Separate Project)

Review Existing Information. B&N has maintained and utilized the Huber Heights hydraulic model using Bentley WaterGEMS® software to support the City with various planning efforts in the past. Our approach is to leverage that experience to update the model efficiently to produce the best results.

It has been several years since the hydraulic model has been updated, and additional data will need to be reviewed to update the model configuration. We will review the following data provided by the city to perform the update: recent water production and consumption records, pump curves and pump operating records for booster stations and the Rip Rap Road treatment plant, and historic tank level records. Ground contour data, factory pump curves and tank operating levels obtained from SCADA data will also be utilized to build the model capable of accurately assessing capacity and predicting flows and pressures.

B&N will also meet with the City to confirm our understanding of updates to the physical configuration of the pipe network. A variety of other updates will improve the model accuracy and functionality.

Steady-State Calibration. Given the potential investments that may be considered to address future growth in the City, it is important that the hydraulic model used to inform those investments is as accurate as possible through proper calibration. B&N will use watermain asset data and operational data to calibrate the model. The model will first be calibrated to run at steady-state (SS) simulation. SS calibration will utilize hydrant flow test data along with SCADA data for tank levels and pump status at the time of the hydrant tests.

Calibration is an iterative process. Because pipes deteriorate over time, their roughness can increase, changing system hydraulics. Calibration involves incrementally adjusting roughness coefficients to achieve the best match with actual hydraulics. Pump efficiency also degrades, and the model can be adjusted to reflect this, though the pumps in the Huber Heights booster stations are relatively new. In addition, unexpectedly closed valves can often be found, and unknown pipe sizes can be estimated.

The goals of calibration will be to model pressures to within 4-psi of actual conditions at maximum flow and to model tank level fluctuations to within 5 feet or less. The quality and comprehensiveness of data obtained from the City will determine the potential accuracy of the calibration. We will work with the City to limit their effort in gathering data will gathering enough data to produce accurate evaluations of the system.

Extended Period Simulation (EPS) Calibration. EPS calibration tends to incrementally enhance the accuracy of the model. Based on our knowledge of Huber Heights distribution system operations, we recommend consideration of EPS calibration. EPS will be beneficial in determining if water age is a concern in the future as the City grows.

All of the data used in the SS simulation would be used in the EPS calibration with additional data needed to describe how demands, pumps, valves, and tank levels change over a specific time range, commonly 24 hours. Operational controls and set points would be used to control the operation of pumps, valves, and pipes in the model to simulate actual system operational changes over time.

Task 9b. Model Future Projects (If Authorized)

The calibrated model will be used to model system performance under a variety of future scenarios. For future flows, demands will be forecasted for an agreed-upon planning horizon (25 years). Average day demand (ADD), maximum day demand (MDD), and peak hour demand (PHD) factors will be calculated using historic flow data and these factors, coupled with growth estimates provided by the City, will support the modeling of future conditions.

Known or expected expansions of the system to support development will be modeled to determine what additional infrastructure may be needed. The model can be used to determine which areas would be better for growth than others based on predicted hydraulic performance.

Where hydraulic issues exist, the model will be used to simulate high-level options to resolve them through the planning horizon. Issues could include areas of low pressure, inadequate fire flow, undersized mains, closed valves, poor tank turnover, and high water-age. If operational solutions are possible, they will be explored to avoid costs. For example, increasing pumping and system pressures operationally (rather than adding pumps or raising the elevation of storage) may allow additional flow to be pushed to extremes of the system, where pressure and flow tend to be lowest. Decreasing pressure near tanks may allow for higher tank turnover rates and decreasing water age, as opposed to potentially adding jockey pumps to circulate tanks.

Summary of Task 9b Results. If the City approves the scope involving investigation of potential solutions, recommendations to support development will also be presented. Recommendations will be prioritized, and planning-level cost estimates for recommendations will be provided.

Recommendations

Task 10. Operational Changes

Determining whether operational change to the system are appropriate to manage the rising break rate will involve considerable discussion with the City regarding the service levels it wants to provide its customers. For example, the additional pressure provided by the City's three recently constructed booster stations improve service levels and may potentially alleviate fire flow issues related to future development in the industrial areas of the City, but they are not necessary to maintain service. It may be possible to change the operation of the booster stations to balance the need to provide a higher level of service with the desire to reduce break rates, if break rates in the industrial zone are problematic. Similarly, tweaks to finished water quality may be possible to address the rising break rate, but this must be balanced with the desire to continue to produce excellent water quality. Our approach will be to meet with the City and determine their desired service levels, then evaluate potential operational changes to estimate the benefits of reducing the break rate.

Task 11. Project Prioritization and Sizing

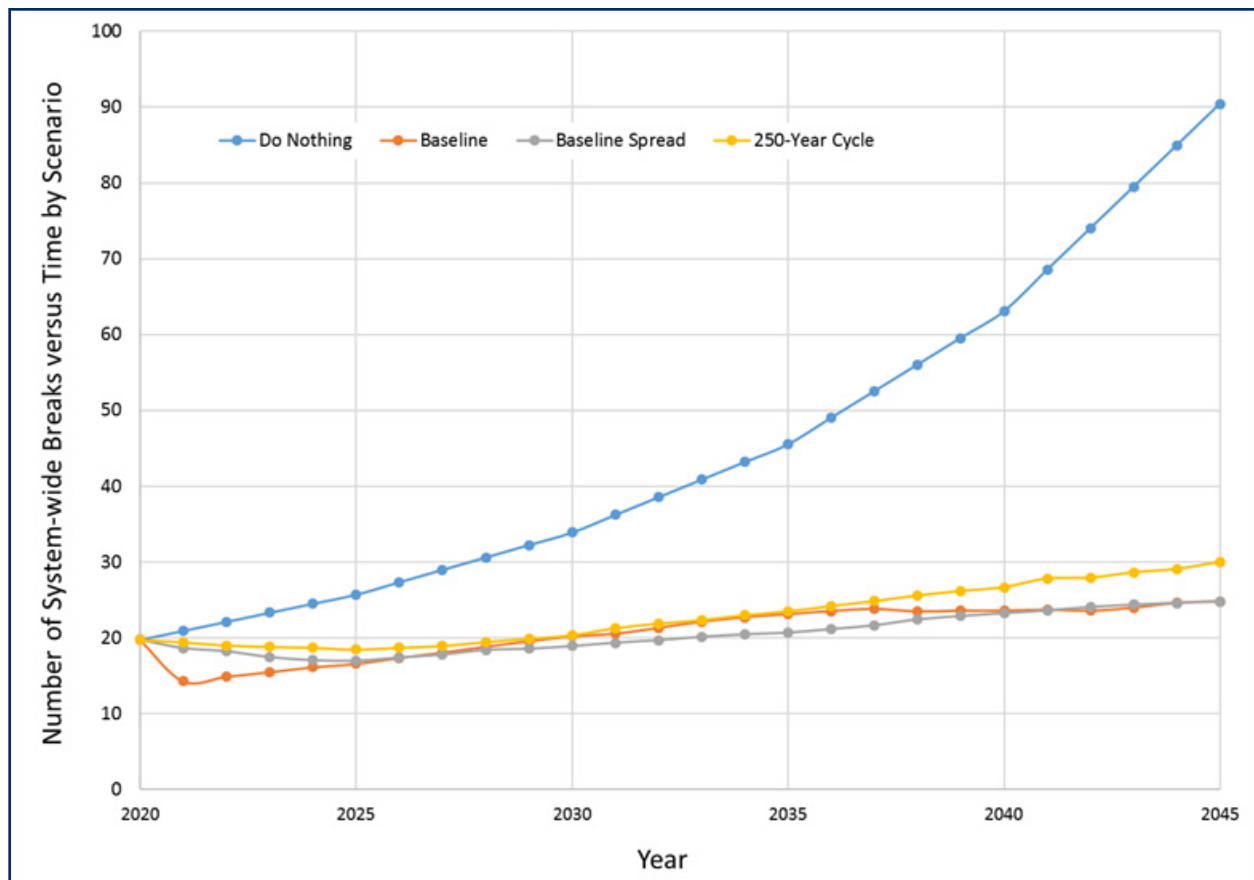
Projects will be prioritized based on their benefit-to-cost ratio. For a watermain rehabilitation or replacement (R&R), the benefit is the reduction in risk, and the cost is based on the estimate of costs to perform the R&R. Cost estimating for replacements are based on the City's construction cost database, supplemented if necessary, with our team's local knowledge. If the City is aware of any upcoming street resurfacing or reconstruction projects, additional benefits of timing pipe R&R with those projects can be assigned to pipe projects.

Our approach is to assign a BCR for every pipe in the system and rank replacements. Understanding constraints and/or preferences for project sizes will help support the bundling of replacements into projects of acceptable size / investment.

Watermain Rehabilitation versus Replacement. Both rehabilitation (i.e. pipe lining) and replacement are viable methods to reduce pipe risk. In our experience, replacement is generally the most cost-effective risk reduction method for all but the most difficult pipe to access, when lining may offer a better price point. Lining involves its own set of complicating risk factors during installation. For the purposes of this analysis, our approach assumed replacement over lining, but our subject matter expert, Tim Antos, will perform an evaluation of both methods for the City based on recent supply chain issues, accessibility and applicability per individual watermain for both methods and shall include that analysis for consideration. Ultimately, these methods will need to be evaluated on a project-by-project basis over the course of the entire CIP and may change year to year.

Task 12. Replacement Planning Analysis

infraSOFT allows us to determine the benefits of R&R projects well beyond the 25-year planning horizon referenced in the RFP. Our approach is to evaluate multiple funding levels and the associated impacts on system-wide break rate, number of breaks, and risk. The graphic below, taken from our work with another community, illustrates how the number of annual system-wide breaks would be impacted by various funding levels. We will explore funding levels based on monetary constraints, as well as evaluate what funding levels would be needed to achieve a desired level of risk or break rate.



Task 13. Draft and Final Reports, Presentations and Data

B&N prepares draft and final documents to address all items requested in the RFP as part of its standard project deliverables for watermain evaluation projects. Many of the illustrations in this proposal come from reports we prepared for other water systems, and these illustrations greatly enhance understanding of the information presented. Presentation of the results to the City will assemble many of these charts, graphs, and tables into a PowerPoint that can be used not only for the project team but subsequent communication to City Council and the public.

Task 14. Project Management

Our project manager (PM) leads all communications and tracks the progress of each task against budgeted costs and schedule. Our project management software updates cost daily, and time charged weekly. Our PM monitors progress weekly to see that our team meets expectations and takes immediate corrective actions if needed. The City will be informed along the way. Monthly progress reports will be submitted with our invoices.

RELATED TECHNICAL EXPERIENCE

Westerville Water Main Replacement Plan

CITY OF WESTERVILLE

Westerville, Ohio

RELEVANT FEATURES

- ➔ Watermain Replacement Planning
- ➔ Risk Assessment

Using utility-specific GIS and watermain break data, B&N used state-of-the-art predictive software to estimate the failure probability of every watermain in the water distribution system. B&N worked with the City to compile 15 years of historical break data from work orders and associated breaks with pipes in GIS. B&N also performed extensive quality checks on pipe and break data to ensure output would be as accurate as possible. Pipes were divided into cohorts based on material, diameter, and installation data, and the performance of pipes in each cohort was modeled to develop predictions of performance for each pipe.

Additionally, pipe attribute data and spatial information in GIS was used to estimate the consequence of watermain failures based on proximity to roads, structures, waterbodies, and critical customers.

Probability and consequence data were used to determine which pipes posed the greatest risks, and these pipes were prioritized for proactive replacement. B&N used cost estimates for replacements and modeled three different investment scenarios and their associated impacts on breaks and risks. Recommendations for investment and a 5-year CIP were provided.

PROJECT DATA

Key Staff: Kevin Campanella - Project Manager
I Kris Popovich - GIS

Contract Amount: \$37,980

Reference: Kevin Weaver | 614.901.6746 |
kevin.weaver@westerville.org

Schedule: December 2018 - April 2020

Springboro Water Master Plan

CITY OF SPRINGBORO

Springboro, Ohio

RELEVANT FEATURES

- ➔ Utility and Capital Planning
- ➔ Asset Management
- ➔ Distribution System Modeling

B&N developed a new water distribution system model using WaterGEMS modeling software, including steady state and extended period calibration and simulations. Future growth was incorporated into the model, and the system was evaluated for capacity, fire-flow, pressure, and water age. B&N also performed the water system Risk and Resilience Assessment and assessed the condition of all critical facilities. For all aspects of the project, B&N developed a 20-year CIP, reviewed and approved by the City.

PROJECT DATA

Key Staff: Kevin Campanella - Project Manager

Contract Amount: \$75,000

Reference: Elmer Dudas | 937.748.4365

Schedule: January 2021 - February 2022

Westerville Hydraulic Model

CITY OF WESTERVILLE

Westerville, Ohio

RELEVANT FEATURES

- ➔ WaterGEMS Hydraulic Modeling
- ➔ Distribution System Evaluation

B&N developed a new hydraulic model for the City of Westerville to replace the existing model that was developed in 2001. The City's current GIS database was used to build the new model in WaterGEMS® modeling software, which consists of 205 miles of pipeline, two pressure zones, three storage tanks, one booster station, and four high-service pumps. The new model was used to evaluate the hydraulic performance of the system, including a water age and fire flow evaluation. In addition to the model update, B&N has utilized the current model to assist the City with the hydraulic evaluation of proposed water main improvements on an as-needed basis.

PROJECT DATA

Key Staff: Kevin Campanella - Project Manager
Kris Popovich - GIS Designer

Contract Amount: \$29,100

Reference: Kevin Weaver | 614.901.6746 |
kevin.weaver@westerville.org

Schedule: December 2017 - July 2019

Asset Management

ANCHORAGE WATER & WASTEWATER
UTILITY (AWWU)

Anchorage, Alaska



RELEVANT FEATURES

- ➔ Asset Management
- ➔ Capital Planning
- ➔ Watermain Replacement Planning

Since 2015, B&N has served AWWU through an asset management (AM) term contract. In addition to 15 other asset management task orders, the B&N team (which includes a partner in this proposal, infraPLAN) has assisted extensively with AWWU's watermain replacement planning program, evaluating asset inventory and break data from GIS, identifying cohorts of similarly performing pipes, determining the correlation between pipe age, size, material, and surrounding soils on break rate, and developing break performance predictions at the pipe level using a state-of-the-art software platform developed by infraPLAN. We also assisted AWWU in determining the impacts of the 2018 magnitude-7.0 earthquake on the water distribution system break rate. **B&N, with infraPLAN, has been AWWU's "go-to" team for watermain replacement planning services for 6 years.**

PROJECT DATA

Key Staff: Kevin Campanella - Project Manager
Kris Popovich - GIS Designer

Contract Amount: \$600,000

Reference: Jacques Annandale | 907.786.5611 |
Jacques.Annandale@awwu.biz

Schedule: April 2019 - Present

Risk and Resilience Assessment and Emergency Preparedness Plan Update

CITY OF HUBER HEIGHTS

Huber Heights, Ohio



RELEVANT FEATURES

- ➔ Risk and Resilience Assessment
- ➔ Critical Infrastructure
- ➔ Public Water Systems

B&N performed a risk and resilience assessment (RRA) for the City of Huber Heights to identify potential vulnerabilities to their public water system in early 2021. Critical facilities, including source water wells, the Rip Rap Road treatment facility, three booster stations and four elevated storage tanks, were inspected to determine the presence of physical security countermeasures. Cybersecurity was also assessed. Recommendations for were made for potential capital, operational, and IT-based security improvements. In addition, contingency plan improvements were recommended for any significant risks that could not be addressed cost-effectively. Under contract with Suez, B&N developed an updated Contingency / Emergency Preparedness Plan (ERP) update with specific incident action checklists that meet not only federal AWIA 2018 requirements but also Ohio Administrative Code requirements for contingency plans. B&N and partner Launch! Consulting facilitated a collaborative session between Huber Heights and Suez water staff, other city staff that would be involved in emergency response, and the county emergency management agency to modify emergency action plans to reflect a unified response to emergencies.

PROJECT DATA

Key Staff: Kevin Campanella - Project Manager
I Mark Upite - Project Engineer

Contract Amount: \$48,000

Reference: Russ Bergman, Huber Heights City Engineer | 937.237.5816 | rbergman@hhoh.org

Schedule: January 2021 - January 2022

Asset Management Plan Development

CITY OF HUBER HEIGHTS

Huber Heights, Ohio



RELEVANT FEATURES

- ➔ Asset Management
- ➔ Public Water Systems
- ➔ Water System Improvements

B&N assisted the Huber Heights water utility with preparation of an asset management plan (AMP) to address Ohio EPA legislation requiring all public water systems to prepare written AMPs by October 1, 2018. This involved an extensive document review process and interviews with Huber Heights and Suez staff in many disciplines to document existing AM processes. B&N uses a hybrid of the WRF® SAM-GAP tool and international benchmarking frameworks to rate AM practices and identify opportunities to improve. B&N also led the City through a “drivers exercise” to determine top priorities to align and prioritize AM opportunities. The AMP contained a series of improvement opportunities and was completed in time to comply with regulatory deadlines.

PROJECT DATA

Key Staff: Kevin Campanella - Project Manager
I Mark Upite - Project Engineer

Contract Amount: \$22,000

Reference: Russ Bergman, Huber Heights City Engineer | 937.237.5816 | rbergman@hhoh.org

Schedule: March 2018 - October 2018

Water System Model

CITY OF HUBER HEIGHTS

Huber Heights, Ohio



RELEVANT FEATURES

- ➔ Water Distribution System Modeling
- ➔ Water Systems

The City of Huber Heights is served by over 182 miles of water mains. In 2006, the City expanded its Rip Rap Road Water Treatment Plant (RRRWTP) from 1.4 to 7.0-MGD. With this expansion, the City shifted primary production to RRRWTP; however, the nearly fivefold increase in pumping rates from RRRWTP significantly increased system pressures in the high service main and adjacent branches to unacceptable levels. This, coupled with other system needs, prompted the City to authorize the development of a distribution system model.

B&N created a steady-state model representation of the existing distribution system using WaterCAD software. Three water demand scenarios (average day, peak day, peak hour) were created and used as a baseline comparison to the actual operation of the distribution system.

B&N is the firm the City hires to update the City's distribution system model when the need arises.

PROJECT DATA

Key Staff: Mark Upite - Project Engineer

Contract Amount: \$40,800

Reference: Russ Bergman, PE | 937.237.5816 | rbergman@hhoh.org

Schedule: 2007

Akron Steel Transmission Force Main Corrosion Study

AKRON WATER SUPPLY BUREAU

Kent, Ohio



RELEVANT FEATURES

- ➔ Non-Destructive Testing
- ➔ Soils Analysis
- ➔ Extreme Values Analysis
- ➔ Direct Examination
- ➔ Corrosion Study

The purpose of this study was to assess the condition of existing 24-inch, 36-inch, and 48-inch steel potable water forcemain for the City of Akron. The forcemains were excavated in select locations and non-destructive testing procedures were conducted to measure the thickness of remaining pipe and depth of pitting due to corrosion. Soils analysis, DC and AC readings, stray current analysis, and extreme values analysis were performed at each location to determine contributing factors to corrosion of the pipe. Mapping was created with recommended repair items, and corresponding construction estimates.

PROJECT DATA

Key Staff: Tim Antos - Project Manager

Contract Amount: \$499,600

Reference: William Marchand, PE | 330.375.2796

Schedule: April 2021 - February 2022

Pikewood Manor 30" Water Transmission Main Rehabilitation Design

CITY OF ELYRIA

Elyria, Ohio



RELEVANT FEATURES

- ➔ Watermain Replacement
- ➔ Soils Analysis
- ➔ Trenchless Rehab Slip-Lining

When a 30-inch steel transmission main installed in 1937 began to fail, the City of Elyria turned to B&N for assistance with the rehabilitation of the 2,100-foot line. The location of the water main would make addressing the issue difficult, expensive, and inconvenient to residents if the repair was performed using traditional open-cut replacement methods.

B&N worked with the City's Engineering Department to select a trenchless method to renew the failing main. Slip-lining with HDPE pipe was evaluated, along with cured-in-place rehabilitation options. It was determined that slip-lining with 24-inch Fusible C-905® pipe was the best rehabilitation solution. The entire process of fusing the new 24-inch pipe and pulling it back into the 30-inch host pipe took approximately 3 weeks.

Installation transitioned to conventional construction using bell-and-spigot PVC pipe just beyond the developed areas of the project site. The open-cut and slip-line sections were connected using standard mechanical joint fittings.

PROJECT DATA

Key Staff: Tim Antos - Project Manager

Contract Amount: \$220,701

Reference: Dave Rothgery | 440.346.9699

Schedule: November 2013 - October 2015

Sugarcreek WTP and Wellfield Improvements

CANTON WATER DEPARTMENT

Canton, Ohio



RELEVANT FEATURES

- ➔ New 20" - 30" Raw Watermains
- ➔ Rehab 20"-36" Raw Watermains
- ➔ Cleaning/CCTV/Condition Assessment
- ➔ Rehabilitation Options Feasibility

B&N assisted the City to complete a Capital Improvement Plan and Design for their 22.1-MGD Sugar Creek WTP and wellfield. The design includes rehabilitation of the existing 10 wells and existing PCCP 20-inch to 36-inch raw water main and design of a new redundant 20-inch to 30-inch raw water main. For the rehabilitation of the existing main, the following options were explored: cementitious re-lining; Cured-In-Place-Pipe (CIPP) lining with either mechanical or chemical bond; Spray-In-Place-Pipe (SIPP) with either polyurea or polyurethane; cleaning, CCTV and condition assessment.

PROJECT DATA

Key Staff: Tim Antos - Project Manager

Contract Amount: \$30,000,000 (est.)

Reference: Brent Burrier, PE | 330.438.6569

Schedule: June 2022 - December 2022 (est.)

Water Research Foundation Project #4451

CITY OF COLUMBUS

Columbus, Ohio

RELEVANT FEATURES

- ➔ Watermain Break Analysis
- ➔ Watermain Replacement
- ➔ Utility Infrastructure

As a subconsultant of Abt Associates, Inc., B&N investigated the triple bottom line impacts of watermain breaks throughout the City of Columbus to determine overall impacts, including traffic, water disruptions on businesses and residents, overall financial costs to the utility and public safety departments, property damage and environmental impacts. Impacts were characterized and market externalities (i.e. non-monetary factors) were monetized based on literature research and experience working Columbus DPU planners and customers. Developed processes for utilities to predict watermain break impacts to make datadriven watermain replacement decisions.

PROJECT DATA

Key Staff: Kevin Campanella - Contributing Investigator

Contract Amount: \$10,000

Reference: Frank Blaha | 303.347.6244 | fblaha@waterrf.org

Schedule: 2015

Hydraulic Consequences of Watermain Failures

CITY OF FORT WAYNE

Fort Wayne, Indiana

RELEVANT FEATURES

- ➔ Water Distribution System Modeling
- ➔ Watermain Break Analysis
- ➔ Utility Infrastructure

B&N developed and applied a methodology to identify the criticality of every watermain and valve in the distribution system based on asset attributes and water consumption data. For pipe and valve criticality, the process involved the model “breaking” each pipe and valve in the system iteratively and running the hydraulic model with the broken asset isolated. The model is run with the isolation in place, and results include a list of impacted customers. Areas that had demand or pressure reductions were also reported. This process iterated until the failure impacts are determined for every asset.

B&N monetized the impacts of lost service and low pressure based on research B&N conducted, which documents the overall costs of watermain breaks, including direct costs to utilities, impacts on traffic, property damage, the cost of lost water service to different customer types. These values were used to develop a criticality score for every asset.

PROJECT DATA

Key Staff: Kevin Campanella - Project Manager
| Kris Popovich - GIS

Contract Amount: \$40,000

Reference: Ben Groeneweg | 260.427.1365 | ben.groeneweg@cityoffortwayne.org

Schedule: November 2016 - January 2021

Watermain Replacement Plan

AQUARION WATER COMPANY

Bridgeport, Connecticut

infraPLAN



RELEVANT FEATURES

- ➔ **infraSOFT Platform**
- ➔ **Watermain Failure Forecasting**

Watermain asset attribute data and watermain break data clean up; watermain failure forecasting; development of pipe ageing curves and remaining useful life estimates; long-term watermain rehabilitation plan; project completed using the infraSOFT platform for 3,190 miles of pipe.

PROJECT DATA

Key Staff: Annie Vanrenterghem Raven

Contract Amount: \$65,000

Reference: Daniel R. Lawrence, P.E., Director of Engineering and Planning | 203.362.3055 | 203.223.0607 | dlawrence@aquarionwater.com

Schedule: 2019

Watermain Replacement Plan

LIBERTY UTILITIES

Los Angeles, California

infraPLAN



RELEVANT FEATURES

- ➔ **Watermain Failure Analysis**
- ➔ **Long Term Watermain Rehabilitation**

Watermain failure analysis; development of ageing curves and service lives for each pipe; and long-term watermain rehabilitation plan for two water systems: Apple Valley Rancho, (510 miles of watermain) and Park Water (257 miles of watermain).

PROJECT DATA

Key Staff: Annie Vanrenterghem Raven

Contract Amount: \$130,000

Reference: Rick Dalton, Senior Director, Engineering | 562.805.2013 | 310.710.1618 | Rick.Dalton@libertyutilities.com

Schedule: May 2020

Asset Management

ANCHORAGE WATER & WASTEWATER UTILITY (AWWU)

Anchorage, Alaska

infraPLAN



RELEVANT FEATURES

- ➔ **infraSOFT Platform**
- ➔ **Watermain Failure Analysis**

As a subconsultant to Burgess & Niple, infraPLAN performed data quality checks and clean-up; failure analysis; development of aging curves and remaining useful life estimates; and training for multiple iterations of the watermain replacement plan in 2015, 2017 and 2019 for 900 miles of watermain.

PROJECT DATA

Key Staff: Annie Vanrenterghem Raven

Contract Amount: \$250,000 (total contract value for three task orders)

Reference: Edward Sorenson | 907.564.2724 | edward.sorenson@awwu.biz

Schedule: 2015, 2017, 2019

PROJECT STAFFING AND ORGANIZATION



Understanding watermain performance and investigating the causes of watermain breaks is a differentiating strength of our team.

Our project manager, **Kevin Campanella**, was a leader in establishing the Columbus Department of Public Utilities (DPU) watermain replacement planning program as DPU's AM program director from 2008-2015.

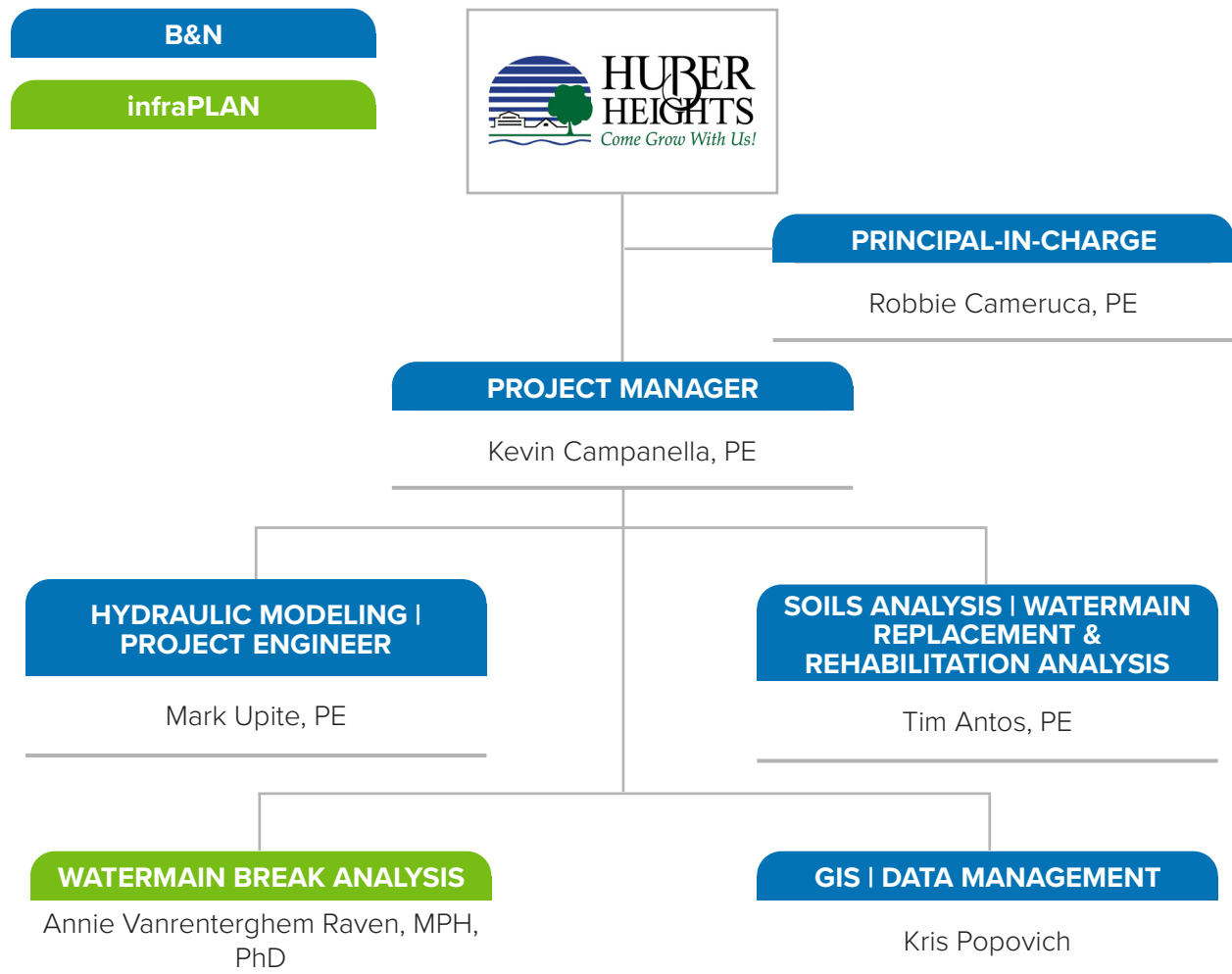
The same contractor that provided the approach and platform supporting Kevin at DPU is B&N's teaming partner for this project, infraPLAN, led by **Dr. Annie Vanrenterghem**. Since 2015 when Kevin joined B&N, he and Dr. Annie have been providing innovative project approaches with well-thought out deliverables based on your utilities goals.

Mark Upite provides not only outstanding water distribution system modeling experience to evaluate the capacity of your system, but also has worked with Huber Heights on modeling and asset management projects.

B&N's **Tim Antos** has helped communities throughout Ohio with evaluating pipe rehabilitation and replacement (R&R) options. As our expert in both physical condition assessment of pipes and exploration of the pros and cons of alternative solutions like pipe lining and replacements, Tim will play a vital role in helping us construct the recommendations for managing the distribution system break rate.

We pride ourselves on teaming with you and welcome the Huber Heights / Suez staff to work with us: brainstorming, listening and thinking together to take advantage of collective experience to solve issues and serve the City.

Organizational Chart



Resumes

Kevin Campanella, PE

Project Manager

Availability: 35%



BURGESS & NIPLE

Years with Current Firm: **6**

Total Years of Experience: **28**

Education: **BS, Civil Engineering – Cornell University | ME, Cornell University**

Background

Mr. Campanella joined Burgess & Niple in 2015 as the firm's Utility Planning Leader. For 7 years prior, he was an Assistant Director and leader of the comprehensive Asset Management (AM) Program for the City of Columbus, Department of Public Utilities. He has 23 years of experience supporting utilities with planning functions throughout their organizations, including strategic planning, capital plan prioritization and capital project evaluations, R&R planning, maintenance and reliability program advancement, and business support systems enhancements. He chairs the AWWA AM Committee's "Progress in Asset Management Survey" subcommittee, is incoming Chair of the Ohio AWWA AM Committee, and is active on the New England Water Environment Association's AM Committee.

Kevin leads B&N watermain replacement planning projects, including projects in Anchorage, AK and in Ohio for communities similar in size to Huber Heights (e.g. Westerville, OH). Kevin has also led distribution system master plans for similar Ohio water systems (Springboro, OH).

Relevant Experience

- **City of Springboro - Water Master Plan:** Project Manager
- **AWWU - Asset Management:** Project Manager
- **City of Columbus - The Consequence of Failure for Buried Assets, Water Research Foundation Project #4451:** Contributing Investigator
- **City of Westerville - Watermain Replacement Plan:** Project Manager
- **City of Fort Wayne - Hydraulic Consequences of Watermain Failures:** Project Manager
- **MSDGC - Asset Management System Implementation:** Utility Planning Leader

Current Commitments

- **AWWU:** On-call Asset Management Services
- **Aqua Texas:** Development of Emergency Preparedness Plans
- **Parkersburg Utility Board:** Emergency Response Plan Development
- **City of Columbus:** Wastewater Solids Portfolio Disposal Model Update
- **City of Chillicothe:** Asset Management Plan

Robbie Cameruca, PE
Principal-in-Charge
 Availability: 20%



BURGESS & NIPLE

Years with Current Firm: **36**
 Total Years of Experience: **36**
 Education: **BS, Electrical Engineering – The Ohio State University**

Background

Driving teams to deliver top-quality projects.

Robbie has many years of electrical engineering and project management experience. She is a skilled leader who excels at moving projects to successful completion while advocating for client needs. Robbie's project portfolio includes water and wastewater treatment plants, collection and distribution systems, green infrastructure and roadway and highway lighting design. She currently directs a team of engineers to deliver top-quality projects with a focus on efficiency and cost-effective solutions.

Robbie is the Director of the Utility Infrastructure Division of B&N. As an owner of the firm, she will oversee all of your projects and approve contractual decisions on the firm's behalf. She will ensure that the project has sufficient resources for on-time and on-budget completion.

Relevant Experience

- **City of Springboro - WTP Water Softening Alternatives Analysis:** PIC
- **AWWU - Asset Management Plan:** PIC
- **City of Huber Heights - RRA and ERP Update:** PIC
- **City of Springboro - Water Master Plan:** PIC

Current Commitments

- **Utilities Division Management**
- **Board of Directors Service**
- **Electrical and Controls Project QA/QC**
- **Business Development and Proposal Management**

Mark Upite, PE
Hydraulic Modeling | Project Engineer
 Availability: 25%



BURGESS & NIPLE

Years with Current Firm: **15**
 Total Years of Experience: **15**
 Education: **BS, Civil Engineering – The Ohio State University**

Background

Designing and modeling top-quality utility infrastructure.

Mark's experience in water and wastewater includes evaluating existing facilities; developing preliminary engineering reports; and detailed design and plan production for force mains, gravity sewers, waterlines, pump stations, and water/wastewater treatment plants. He has constructed, calibrated, and evaluated numerous water distribution system models and has developed master plans and CIPs for several water utilities. He has completed designs for 64 pump station projects since 2005.

Mark has expertise in hydraulic modeling and pump system evaluations, including diagnosing operational problems of existing pumping systems. His water distribution system modeling experience includes preparation of detailed water distribution studies using extensive modeling with WaterCAD and Water GEMS computer software.

Relevant Experience

- **City of Huber Heights - Water System Model:** Sanitary Engineer
- **Western Water Company - Water Model Water Systems:** Project Engineer
- **City of Huber Heights - System Model Update and Fire Flow Evaluation:** Project Engineer
- **City of Florence - Water Model Water Systems:** Project Engineer
- **City of Huber Heights - North Pressure Zone Model:** Project Engineer
- **City of Wyoming - Wyoming, Ohio Water Model:** Project Engineer
- **Village of Indian Hill - Water Model Water Systems:** Project Manager

Current Commitments

- **City of Lebanon:** Glosser Road Pump Station and EQ Improvements
- **Warren County:** Fosters Lift Station and Gravity Sewers Improvements

Tim Antos, PE
**Soils Analysis | Watermain
 Replacement and Rehabilitation
 Analysis**

Availability: 20%



BURGESS & NIPLE

Years with Current Firm: **21**

Total Years of Experience: **21**

Education: **BS, Civil Engineering –
 Cleveland State University | MS, Civil
 Engineering – Cleveland State University**

Background

**Delivering thorough, detailed analyses
 that produce results.**

Tim's background includes the evaluation and rehabilitation of underground water and sanitary utilities. He specializes in trenchless technologies for pipelines, including cleaning and inspection and non-destructive testing for condition assessment. Tim serves as a technical advisor for projects involving small- and large-diameter water mains and sanitary force mains.

He has been involved in the detailed design of the expansion, upgrade and rehabilitation of water distribution systems, and utility assets such as water lines, transmission mains, pump stations, and elevated water storage tanks. His career experience has had an emphasis on such trenchless technologies as horizontal directional drilling (HDD), cured-in-place pipe (CIPP) lining, slip-lining, and pipe bursting.

Tim is a member of the OAWWA Distribution Committee.

Relevant Experience

- **City of Elyria - Non-Destructive PCCP Watermain Testing:** Project Engineer
- **City of Elyria - Pikewood Manor 30" Water Transmission Main Slip-Lining Rehabilitation Design:** Project Manager
- **City of Akron - Steel Transmission Main Condition Study:** Project Manager
- **Trumbull County - Blueprint Waterline Improvements:** Project Manager
- **City of Canton - Market Avenue North Waterline Replacement:** Project Manager
- **City of Canton - Harvard Avenue Waterline Replacement:** Project Manager
- **City of Aurora - SR 43 Force Main Replacement:** Project Manager

Current Commitments

- **Trumbull County:** Meadowbrook Sewer Improvements
- **City of Niles:** Bellvue Storm Sewer Improvements
- **City of Niles:** Detention Pump Stations Condition Assessments
- **City of Solon:** Miles Road Waterline Replacement

Kris Popovich
GIS | Data Management
Availability: 15%



BURGESS & NIPLE

Years with Current Firm: **17**
Total Years of Experience: **20**
Education: **BS, Geography – The Ohio State University**

Background
Leading the way in GIS, data analysis and mapping expertise.

Kris joined B&N in 2003 as a cartographer / designer, with specialization in Cartography and GIS. He has 10 years of experience with water/ wastewater planning projects. Recently for a water master plan project for the Anchorage Water and Wastewater Utility in Anchorage, AK, Kris used Survey123, an extension of ArcGIS, to build a cloud-based tool allows B&N's condition assessment tool to be installed on mobile devices for more efficient field data acquisition. He designed dropdown menus that eliminated data entry errors and increased data collection and processing efficiency. Kris has assisted with asset characterization for AM plans based on review of asset register data in GIS and CADD.

Relevant Experience

- **AWWU - Asset Management Plan:** Built a cloud-based tool allowing for B&N's condition assessment data collection
- **City of Westerville - Westerville Hydraulic Model:** GIS Designer and support with condition assessment tools
- **City of Westerville - Water Main Replacement Plan:** GIS assessment tools
- **City of Fort Wayne - Hydraulic Consequences of Watermain Failure:** GIS assessment tools

Current Commitments

- **Aqua Texas:** Development of Emergency Preparedness Plans

Annie Vanrenterghem Raven, MPH,
PhD

Watermain Break Analysis

Availability: 25%



infraPLAN

Years with Current Firm: **14**

Total Years of Experience: **25**

Education: **Mathématiques Supérieures and Mathématiques Spéciales – Lycée Faidherbe, Lille, France | MS, Civil Engineering – Ecole Spéciale des Travaux Publics, Paris, France | MPH – Columbia University | PhD, Civil Engineering – New York University Tandon School of Engineering,**

Background

Curating comprehensive asset management plans.

For the last 24 years, Dr. Vanrenterghem's research and consulting work has focused on water and waste water infrastructure, addressing the optimal planning of short- and long-term rehabilitation projects. She is now the Managing Director of infraPLAN, a firm she created in 2008 that develops analytical models translated in functional software, and provides consulting and training. The goal is to help utilities create comprehensive and advanced analytical asset management programs, and, ultimately, identify and justify their long-term investments, and short-term projects selection. More specifically, infraPLAN models and software focus on:

- Data clean up
- Pipes and breaks statistical analyses
- Physical degradation and failure forecasting
- Aging curve and service life development
- Inspection prioritization plan
- Hydraulic criticality
- Long-term rehabilitation plan
- Multi Criteria Decision Support Systems (MCDSS) for short-term prioritization of rehabilitation projects

infraPLAN has developed a web-based platform, infraSOFT, that greatly facilitates the cleanup and statistical analysis of pipe and break data, and the calibration of failure forecasting models

Relevant Experience

- **Liberty Utilities:** Watermain Replacement Plan - including watermain failure analysis and long-term watermain rehabilitation for 767 miles of pipe
- **Aquarion Water Company:** Watermain Replacement Plan - including watermain attribute data and watermain break data for 3,190 miles of pipe
- **AWWU:** Asset Management - including 3 task orders to develop an updated watermain replacement plan and investigation into the impact of the 2018 earthquake on watermain break rates for 900 miles of pipe

Current Commitments

- **Washington Suburban Sanitary Commission:** Watermain Replacement Planning
- **American Water Company:** Watermain Replacement Planning
- **Carollo, Inc.:** Watermain Replacement Planning Support

TIMELY COMPLETION OF THE PROJECT

As stated in the RFP, all work on this project must be completed prior by September 1, 2022. A schedule to complete the work is shown below, with an anticipated kick-off meeting in the first week of March. After selection and contract approval, we will prepare a data request. To complete the work on schedule, the City must provide the data needed for the analysis in a timely manner, and data quality must be sufficient to support analysis. Our expectation is that the City will deliver all data by the second week in March, with the exception of watermain break data prior to 2012 (that data should be transmitted no later than April 1) and hydrant test data for the hydraulic model update (also expected by early April). For tasks related to the watermain rehabilitation and replacement study, key milestones include: closing data gaps by early April and the ability to leverage the hydraulic model by mid-June to support hydraulic consequence of watermain failures. For Task 9, we expect to have the model calibrated by mid-to-late June under a separate project in time to evaluate capacity by July. The calibrated model will be needed for the Task 7 as noted above.

City of Huber Heights Water Master Plan Update		2022																											
		March				April				May				June				July				August							
		1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4
1	Kick-off Meeting																												
2	Data Review																												
3	Review Data Gaps																												
4	Data Gap Closure																												
5	Break Data Analysis																												
6	Failure Forecasting																												
7	Consequence of Failure Estimation																												
8	Identify Risks																												
9a	Update and Calibrate the Model (separate project)																												
9	Identify Capacity Issues																												
9b	Model Future Projects (if authorized)																												
10	Operational Changes																												
11	Project Prioritization and Sizing																												
12	Replacement Planning Analysis																												
13	Draft and Final Reports, Presentations, and Data																												
14	Project Management																												

ADDITIONAL INFORMATION



Quality Assurance/Quality Control


Quality is measured by your satisfaction with our ability to meet project goals, including the thoroughness of our work and schedule compliance. A complete check of calculations is made at key progress milestones eliminating errors, and the tools that we employ have pre-built QA/QC features that have been employed on similar projects prior to this one. An independent review team reviews all deliverables before submittal so they meet your goals.

COVID-19 Provisions

It is B&N's priority to protect the health of our clients, teaming partners, and employees while continuing to provide high-quality services. Our staff is encouraged to work both in-person and remotely depending on what is best for everyone. While we are optimistic that our workdays will return to "normal" soon, we realize there have been lasting changes, many of which benefit our clients. Flexibility and adaptability are key. At all times, we comply with Ohio's COVID-19 checklist and local policies for facial coverings and social distancing as well as suggested contract tracing guidance. Measures we have taken to ensure connectivity of service will remain in place and include:

- **Connectivity.** Our existing "virtual office" allows all employees to work from any device or location, including their homes. This means that our staff will continue to seamlessly use technology with social distancing and remote work standards in place.
- **Collaboration.** We will leverage our conferencing platforms to conduct meetings and keep this project on track. We have various software for meetings and other collaboration efforts to provide an experience that is like in-person meetings, optimizing the results and discussion. These packages have no charge to the City.
- **Project Delivery Schedules.** Our project managers will communicate frequently with our clients to ensure deadlines are met. With Work-from-Home becoming routine, project schedules have proceeded as if all were normal.
- **Communication.** Our communication strategies remain unchanged; our platform has simply become virtual instead of in-person to ensure all parties safety. When necessary to meet in-person, our staff is following the established City and state social distancing and mask protocols.

COVID-19 UPDATE:
Staying Connected.



The health of our clients, teaming partners and employees is our top priority. For full details and updates, please contact us or visit our website.

COST

The lump sum cost for the work proposed by B&N is shown below, based on the following assumptions:

- The quality of watermain attribute data, watermain break data, and USGS soils data is high and the data does not require extensive clean-up.
- The City will provide 10 years of watermain break data and, if practical, an additional 10 years of comprehensive break data believed by the City to be available in historical records.
- The City will provide comprehensive, updated data for appropriate assets and asset attributes including GIS and other data for watermain, isolation valves, tanks, pumps, and pressure zones in the distribution system.
- An updated and calibrated model, developed under a separate project with Suez, will be available for use for this project by mid-June.
- The City will provide growth assumptions to allow for hydraulic modeling of future system demands.

PROJECT COMPONENT	LUMP SUM FEE
Distribution System Study, Replacement Planning, and Identification of Capacity Issues (Tasks 1 - 14, excluding tasks 9a and 9b described below)	\$64,600

Tasks to update and calibrate the hydraulic model will be performed under a separate project. Modeling future alternatives to address any capacity issues found in the distribution system during the update of the hydraulic model (Task 9b) assumes the following:

- If Task 9b is authorized, B&N will develop and model concept-level alternatives to address issues related to distribution system hydraulics, including issues related to: capacity, water age, pressure and fire-flow. Concept-level cost estimates will accompany these alternatives.

PROJECT COMPONENT	LUMP SUM FEE
Task 9a. Update and Calibrate Model	N/A (separate project)
Task 9b. Model Future Projects (If Authorized)	TBD*

* The fee for Task 9b will depend on whether hydraulic deficiencies are predicted by the end of the planning horizon (25 years). We estimated \$10,000 for the investigation of two concept-level alternatives to address hydraulic deficiencies. This fee estimate would be adjusted if necessary after identification of capacity issues.



Kevin Campanella, PE

p. 614.459.2050 x1401

e. kevin.campanella@burgessniple.com

BURGESS & NIPLE

Engineers ■ Architects ■ Planners

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Columbus, OH 43220
614.459.2050

burgessniple.com

CITY OF HUBER HEIGHTS
STATE OF OHIO

RESOLUTION NO. 2022-R-

AUTHORIZING THE CITY MANAGER TO ENTER INTO A CONTRACT TO PROVIDE A WATER DISTRIBUTION SYSTEM INTEGRITY STUDY.

WHEREAS, it is necessary to obtain outside engineering services to study the integrity of the City’s water distribution system; and

WHEREAS, Council has determined to proceed with this project; and

WHEREAS, Burgess & Niple, Inc. has been determined to be the most qualified firm for this study; and

WHEREAS, the Water Fund is available to cover the cost of this work.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Huber Heights, Ohio, that:

Section 1. The City Manager is hereby authorized to enter into a contract with Burgess & Niple, Inc. for a Water Distribution System Integrity Study at a cost not to exceed \$85,000.00.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of this Council and all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 3. This Resolution shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____, 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date

AI-8224

New Business H.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

Massage Therapy Establishments

Submitted By: Anthony Rodgers

Department: City Council

Council Committee Review?: Council Work Session
Date(s) of Committee Review: 02/22/2022

Audio-Visual Needs: None **Emergency Legislation?:** No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

An Ordinance Amending Chapter 738 – Massage Therapy Establishments, Sections 738.01, 738.02, And 738.03 Of The Huber Heights Codified Ordinances To Permit Certain Certified Massage Practitioners.
(first reading)

Purpose and Background

This legislation provides for proposed amendments to Chapter 738 - Massage Therapy Establishments of the Huber Heights Codified Ordinances. The City Council enacted Ordinance No. 2018-O-2350 on October 22, 2018 providing that all massage establishments in the City must be operated by a State licensed massage therapist. Since that time, it has been determined that massage practitioners certified for Ayurveda massage should also be able to operate a massage establishment and perform massages in the City. This proposed ordinance has been reviewed by the Police Chief and the Law Director.

Fiscal Impact

Source of Funds: N/A

Cost: N/A

Recurring Cost? (Yes/No): N/A

Funds Available in Current Budget? (Yes/No): N/A

Financial Implications:

Attachments

Ordinance

CITY OF HUBER HEIGHTS
STATE OF OHIO

ORDINANCE NO. 2022-O-

AMENDING CHAPTER 738 – MASSAGE THERAPY ESTABLISHMENTS, SECTIONS 738.01, 738.02, AND 738.03 OF THE HUBER HEIGHTS CODIFIED ORDINANCES TO PERMIT CERTAIN CERTIFIED MASSAGE PRACTITIONERS.

WHEREAS, City Council enacted Ordinance No. 2018-O-2350 on October 22, 2018 providing that all massage establishments in the City must be operated by a State licensed massage therapist; and

WHEREAS, since that time, it has been determined that massage practitioners certified for Ayurveda massage should also be able to operate a massage establishment and perform massages in the City.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Huber Heights, Ohio that:

Section 1. Chapter 738 – Massage Therapy Establishments, Section 738.01 – Definitions is hereby amended as follows:

738.01 - Definitions.

For purposes of this chapter the following definitions shall apply:

Applicant means a person who has applied for a permit to operate a Massage Therapy Establishment in the City of Huber Heights.

Licensed massage therapist means a person who is licensed under Ohio R.C. Chapter 4731 to practice Massage Therapy in the State of Ohio.

Certified massage practitioner means a person who has received a certification for Ayurveda massage from a regional, state or nationally recognized certification body.

Massage service means any method of exerting pressure on, stroking, kneading, rubbing, tapping, pounding, vibrating, or stimulating the external soft tissue of the body with the hands, or with the aid of any mechanical or electrical apparatus or appliance in exchange for anything of value. Massage Services shall also include the treatment of disorders of the human body by the manipulation of soft tissue through the systematic external application of massage techniques including touch, stroking, friction, vibration, percussion, kneading, stretching, compression, and joint movements within the normal physiologic range of motion; and adjunctive thereto, the external application of water, heat, cold, topical preparations, and mechanical devices in exchange for anything of value.

Massage therapy establishment means a fixed place of business where Massage Services are provided in exchange for anything of value.

Section 2. Chapter 738 – Massage Therapy Establishments, Section 738.02 – Permit Required; Prohibited Conduct; Exemptions is hereby amended as follows:

738.02 - Permit required; prohibited conduct; exemptions.

(a) After the effective date of this chapter all Licensed Massage Therapists, Certified Massage Practitioners and Massage Therapy Establishments operating in the City of Huber Heights shall obtain a permit pursuant to this chapter to operate.

(b) It shall be unlawful for any person to offer or perform Massage Services in the City of Huber Heights unless that person is a Licensed Massage Therapist with the State of Ohio, or a Certified Massage Practitioner. This provision applies to all Massage Services

including but not limited to those performed at a Day Spa as defined under Section 1123.31 of the Huber Heights Zoning Code.

(c) It shall be unlawful for any person to operate a Massage Therapy Establishment in the City of Huber Heights unless both of the following applies:

(1) The owner or manager is a Licensed Massage Therapist in the State of Ohio, or a Certified Massage Practitioner;

(2) Massage Services provided in the Massage Therapy Establishment are performed exclusively by a Licensed Massage Therapist in the State of Ohio, or a Certified Massage Practitioner.

(d) It shall be unlawful to employ a person to perform Massage Services in a Massage Therapy Establishment in the City of Huber Heights unless that person is a Licensed Massage Therapist in the State of Ohio, or Certified Massage Practitioner.

(e) It shall be unlawful for a person to operate a Massage Therapy Establishment in the City of Huber Heights without obtaining a Certificate of Zoning Compliance to operate a Massage Therapy Establishment from the City of Huber Heights.

(f) Prohibited Conduct. No person that is providing Massage Services in the City of Huber Heights shall knowingly do any of the following at, upon or within a Massage Therapy Establishment or elsewhere:

(1) Place his or her hand upon, touch with any part of his or her body, fondle in any manner, or massage the sexual or genital area of any other person;

(2) Perform, offer, or agree to perform any act which would require the touching of the sexual or genital area of any other person;

(3) Touch, offer or agree to touch the sexual or genital area of any other person with any mechanical or electrical apparatus or appliance;

(4) Wear unclean clothing, no clothing, transparent clothing, or clothing that otherwise reveals the sexual or genital areas of the masseur or masseuse;

(5) Uncover or allow the sexual or genital area of any other person to be uncovered while providing a massage;

(6) Perform, offer or agree to perform a massage with or without compensation to any individual less than 18 years of age without the full consent and permission of a parent or guardian.

(g) Exceptions. The permit requirement provisions of this chapter shall not apply to the following:

(1) Hospitals, medical facilities and public health centers (all as defined in Ohio R.C. 3701.01);

(2) A person licensed or registered by the State of Ohio Medical Board (other than a Massage Therapist) while performing his/her licensed or registered profession;

(3) A licensed cosmetologist, registered barber, registered barber apprentice, in which massages are administered only to the scalp, the face, the neck or the shoulder;

(4) A licensed chiropractor, licensed podiatrist, licensed nurse, or any other licensed health professional while performing his/her licensed or registered profession;

(5) A trainer for any amateur, semiprofessional or professional athlete or athletic team or school athletic program;

(6) A person working under the direct supervision of individuals or establishments mentioned in this subsection (g) while performing his/her licensed or registered profession;

(7) A person undertaking the required course work to become a licensed massage therapist while working under the direct supervision of a licensed massage therapist;

(8) As used in this subsection (g) "licensed" means licensed, certified, or registered to practice in the State of Ohio.

Section 3. Chapter 738 – Massage Therapy Establishments, Section 738.03 – Permit Application Process is hereby amended as follows:

738.03 - Permit application process.

(a) Permit for Massage Therapy Establishments. The Chief of Police, or his or her designee is responsible for granting, denying, revoking, and renewing Massage Therapy Establishment permits. A person who wishes to provide Massage Services in the City of Huber Heights must submit a current valid Certificate of Zoning Compliance to the City of Huber Heights Chief of Police or his/her designee and an Application for the Massage Therapy Establishment. The Application for Massage Therapy Establishment shall be accompanied by the following information:

- (1) Full legal name and current residential address of the applicant(s);
- (2) The address of the proposed Massage Therapy Establishment;
- (3) The names of any persons who will perform Massage Therapy at the Massage Therapy Establishment and copies of all licenses/certifications of those persons;
- (4) A list of other services to be offered at the Massage Therapy Establishment;
- (5) The website of the Massage Therapy Establishment, if applicable;
- (6) All felony and misdemeanor convictions, of the applicant excluding those for traffic offenses;
- (7) A copy of the license provided by the State Medical Board of Ohio for the owner and/or manager (if applicable);
- (8) A printed form, signed the owner of the parcel of real property which is the proposed location of the Massage Therapy Establishment, whereby each such owner certifies that he/she/it understands and acknowledges that a Massage Therapy Establishment will be located on said parcel of real property; and
- (9) Any other information requested at the time of application.

(b) Each individual that performs Massage Services in the City shall be required to obtain a permit from the Chief of Police or his/her designee. Such permits are nontransferable. Before any individual may be issued a permit, he or she shall submit on a form to be provided by the City the following information:

- (1) The individual's name and a personal or business address where mail may be delivered.
- (2) The address where Massage Services will be performed.

(3) A copy of the license provided by the State Medical Board of Ohio or certification for Ayurveda massage practice.

(4) For renewals, a statement that the applicant has not violated and provision of this chapter.

(c) A permit granted pursuant to this section shall be subject to annual renewal by the Chief of Police upon the written permit application of the individual and a finding by the Chief of Police that the individual has not committed any act during the existence of the previous permit period which would be grounds to deny the initial permit application.

(d) Applications shall be submitted and approved before a Massage Therapy Establishment can be operated and Massage Services offered.

(e) Establishments and individuals performing Massage Services that were in operation prior to the effective date of this section must submit an application not later than 90 days after the effective date of this section.

(f) Once an application is submitted, the applicant shall receive a response in writing no later than 30 days after the date of submission.

(g) In the event that an application is denied, the applicant may submit a new application.

Section 4. All other provisions of Chapter 738 not expressly amended herein shall remain in full force and effect.

Section 5. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 6. This Ordinance shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____, 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

_____	_____
Clerk of Council	Mayor

_____	_____
Date	Date

AI-8220

New Business I.
City Manager

City Council Meeting

Meeting Date: 02/28/2022

Mowing/Maintenance/Revitalization - Specified City Properties - Award Contract

Submitted By: Linda Garrett

Department: Public Works **Division:** Public Works

Council Committee Review?: Council Work Session
Date(s) of Committee Review: 02/22/2022

Audio-Visual Needs: None **Emergency Legislation?:** No

**Motion/Ordinance/
Resolution No.:**

Agenda Item Description or Legislation Title

A Resolution Authorizing The City Manager To Award A Contract For Services Related To The Mowing And Maintenance Of Specified City Properties.
(first reading)

Purpose and Background

The Public Works Division requests the authorization to award a contract for the mowing and maintenance of specified City properties.

Fiscal Impact

Source of Funds: Public Works Division Budget

Cost: \$260,000

Recurring Cost? (Yes/No): No

Funds Available in Current Budget? (Yes/No): Yes

Financial Implications:

Attachments

Resolution

CITY OF HUBER HEIGHTS
STATE OF OHIO

RESOLUTION NO. 2022-R-

AUTHORIZING THE CITY MANAGER TO AWARD A CONTRACT FOR SERVICES RELATED TO THE MOWING AND MAINTENANCE OF SPECIFIED CITY PROPERTIES.

WHEREAS, throughout the course of a four-year period, the City of Huber Heights will require the mowing and maintenance of specified City properties; and

WHEREAS, the City Council under Resolution No. 2021-R-7057 authorized the solicitation of bids for the mowing and maintenance of specified City properties on November 8, 2021; and

WHEREAS, bids for the mowing and maintenance of specified City properties were received by the City on February 11, 2022; and

WHEREAS, the costs for such services are estimated to exceed \$25,000.00.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Huber Heights, Ohio that:

Section 1. The City Manager is hereby authorized to award a contract for services related to the mowing and maintenance of specific properties in the City of Huber Heights to Greentech Lawn and Irrigation, 2985 Fenner Road, Troy, Ohio 45373 for a four-year period for 2022-2025 in an amount not to exceed \$230,000.00 annually, subject to the availability of funds.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of this Council and that all deliberations of this Council and of any of its Committees that resulted in such formal action were in meetings open to the public and in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 3. This Resolution shall go into effect upon its passage as provided by law and the Charter of the City of Huber Heights.

Passed by Council on the _____ day of _____, 2022;
_____ Yeas; _____ Nays.

Effective Date:

AUTHENTICATION:

Clerk of Council

Mayor

Date

Date