



**AGENDA**  
**CITY PLANNING COMMISSION**

City Hall - Council Chambers  
6131 Taylorsville Road  
March 29, 2022  
6:00 P.M.

1. Call Meeting To Order
2. Roll Call
3. Opening Remarks By The Chair and Commissioners
4. Citizens Comments
5. Swearing of Witnesses
6. Pending Business
  - A. BASIC DEVELOPMENT PLAN - The applicant, AMARJIT TAKHAR, is requesting approval of a Basic Development Plan and Rezoning to Planned Commercial (PC) for 35 acres at State Route 235 for a Fueling Center, Convenience Store, truck Stop and Diesel Repair Facility (BDP 22-08).
7. New Business
  - A. COMBINED BASIC AND DETAILED DEVELOPMENT PLAN - The applicant, CAMPBELL BERLING HUBER HEIGHTS, LLC, is requesting approval of a Rezoning to Planned Residential (PR) and a Combined Basic and Detailed Development Plan (CBDP 22-11)

- B. REZONING AND BASIC DEVELOPMENT PLAN - The applicant, Horizon Line Development, is requesting approval of a Rezoning and Basic Development Plan to PM (Planned Mixed) for 197 unit Residential Town-Home Apartment Community for the Hamptons at the Heights (BDP 22-12).
- 8. Additional Business
- 9. Approval of Minutes
  - A. Planning Commission march 15, 2022
- 10. Reports and Calendar Review
  - A. REZONING AND COMBINED BASIC AND DETAILED DEVELOPMENT PLAN - Hartman I, LLC (Medical Facility)  
MAJOR CHANGE AND DETAILED DEVELOPMENT PLAN - Parveen Wadhwa (Commercial Lot)  
MAJOR CHANGE AND DETAILED DEVELOPMENT PLAN - Halle Properties, LLC (Discount Tire)
- 11. Upcoming Meetings
  - A. April 12, 2022  
April 26, 2022
- 12. Adjournment

AI-8284

6. A.

**Planning Commission**

Meeting Date: 03/29/2022

Basic Development Plan

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Information

Agenda Title

BASIC DEVELOPMENT PLAN - The applicant, AMARJIT TAKHAR, is requesting approval of a Basic Development Plan and Rezoning to Planned Commercial (PC) for 35 acres at State Route 235 for a Fueling Center, Convenience Store, truck Stop and Diesel Repair Facility (BDP 22-08).

Purpose and Background

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Attachments

Staff Report

Decision Record

Drawings

Fire Assessment

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# Memorandum

Staff Report for Meeting of March 29, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner  
Community Planning Insights

Date: March 22, 2022

Subject: Basic Development Plan and Rezoning - Takhar Oil  
(Truck Stop, Diesel Repair Shop and Convenience Store)  
Revised Site Plan Review

☐ Application dated January 27, 2022

Department of Planning and Zoning

City of Huber Heights

**APPLICANT/OWNER:** Amarjit Takhar – Applicant  
Patrick Burrowes- Owners

**DEVELOPMENT NAME:** Takhar Oil LLC

**ADDRESS/LOCATION:** East side of the intersection of SR 235 and Center Point 70 Blvd.

**ZONING/ACREAGE:** I-1 Light Industrial Mixed Use - 35 acres

**EXISTING LAND USE:** Vacant / Agricultural

**ZONING  
ADJACENT LAND:** North and South: I-1  
West: B-3 / PC  
East: Agricultural (Clark County)

**REQUEST:** The applicant requests approval of a basic development plan and rezoning to Planned Commercial to construct a fueling center, convenience store, truck stop and diesel repair facility on approximately nine (9) acres of a 35-acre parcel. Applicant seeks to rezone all 35 acres to Planned Commercial.

**ORIGINAL APPROVAL:** N/A

**APPLICABLE HHCC:** Chapter 1171, 1176, 1181,

**CORRESPONDENCE:** In Favor – None Received  
In Opposition – None Received

**STAFF ANALYSIS AND RECOMMENDATION:**

**Overview**

The applicant requests approval of a basic development plan and rezoning to Planned Commercial District to construct a fueling center, convenience store, truck stop and diesel repair facility on approximately nine (9) acres of a 35-acre parcel. The site is adjacent to the I-70 / SR 235 interchange.

This case was tabled at the March 15, 2022, to allow time to review the revised development plan that was submitted shortly before the meeting. The crux of the revision reconfigures the western access point to allow for a future extension of Center Point 70 Boulevard, and meet the development standards of the Planned Commercial District.

**On-Site Uses and Facilities**

The applicant is proposing two buildings, one 6,720 SF building containing a convenience store and restaurant, and the second 6,642 SF diesel truck repair facility. Both buildings are proposed to be clad with a mix of brick and stucco EFIS.

Fuel will be dispensed through one five-pump island in front of the convenience store, and a second five-pump island located at the rear of the property for semi-trucks and large oversized vehicles. Both fueling islands will be covered by large canopies.

Parking is provided throughout the site. The revised site plan illustrates 76 parking spaces, including 10 for semi-trucks. This is an increase from 62 automobile parking spaces.

## **Applicable Zoning Regulations**

The applicable zoning chapters include: 1171 General Provisions, 1176 Planned Commercial District, 1181 General Provisions, 1182 Landscaping and Screening, 1185 Parking and Loading, and Chapter 1193 Trailers, Trucks, Recreational Vehicles, Boats, Farm or Construction Equipment. The relevant sections are cited below:

### **Chapter 1171 General Provisions**

#### **1171.01 Purpose.**

*Planned Unit Developments Districts may be permitted as amendments to the zoning map, after application and approval of specific and detailed plans, where tracts suitable in location and character for the uses and structures proposed are to be planned and developed as units. The provisions of this chapter are adopted to unify planning and development in such districts. Applications for rezoning of land into a Planned Unit Development District shall be granted only when the basic development plan for the project is such that the public health, safety and morals shall not be jeopardized by a departure from the restrictions on corresponding uses in the standard zoning district. PUD rezonings may be approved only when a basic development plan for the area has been approved by Council. A detailed development plan shall then be approved for zoning permit to be approved for development in the District. Normally the detailed development plan shall be approved by the Planning Commission after the rezoning and basic development plan have been approved by Council. Owners shall have the option however, of submitting a combined basic and detailed development plan ("combined development plan") if they should so desire for some or all of the site.*

*(Ord. 93-O-602, Passed 3-22-93)*

#### **1171.05 Contents of basic development plan.**

- (a) *The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:*
- (1) *Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;*
  - (2) *Typical elevation views of the front and side of each type of building;*
  - (3) *Planning location and dimensions of all proposed drives, service access road, sidewalks and curb openings;*
  - (4) *Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;*
  - (5) *Landscaping plan, walls and fences;*
  - (6) *Storm water detention and surface drainage;*
  - (7) *Exterior lighting plan;*
  - (8) *Vehicular circulation pattern;*
  - (9) *Location and square footage of signs;*

- (10) Topographic survey; and*
  - (11) Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.*
  - (b) The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.*
- (Ord. 2006-O-1655, Passed 9-25-05)*

## **1176 (PC) Planned Commercial District**

### **1176.01 Principal permitted uses.**

*The following principal uses are permitted provided that they are approved as provided for in this chapter:*

- (a) Retail, office and commercial establishments;*
- (b) Personal service commercial establishments;*
- (c) Motels and hotels;*
- (d) Filling stations;*
- (e) Service stations; and*
- (f) Public garages.*
- (g) Sweepstakes cafe.*

*(Ord. 2012-O-1948, Passed 3-12-12)*

### **1176.02 Accessory uses.**

*Only the following accessory uses shall be permitted in this District:*

- (a) Uses customarily incident to all principal permitted uses; and*
- (b) Temporary buildings and uses for construction purposes, not to exceed 12 months.*

*(Ord. 89-O-339, Passed 2-6-89)*

### **1176.03 Development standards.**

*Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions" shall govern. In addition, the following development standards shall apply:*

- (a) Minimum Land Area Requirement.*
- (1) No minimum land area shall be required.*
- (b) Site Planning.*

- (1) *All yards within the development plan except those abutting a Business or Industrial District shall be maintained in landscaping and not used for parking, to the extent of a minimum of 15 feet along property lines.*
- (2) *The parking and loading facilities shall be a distance of at least 25 feet from the established right-of-way line, and the building(s) or the structure(s) at least 75 feet from the established right-of-way line per the Official Thoroughfare Plan or the recorded plat.*

*(Ord. 2006-O-1656, Passed 10-5-05)*

#### **1176.04 Parking and loading.**

*The provisions of Chapter 1185, "Parking and Loading" shall apply, except that off-street loading space shall be provided with area, location, and design appropriate to the needs of the development and specific uses within it, and the space designated for off-street loading shall not be used for off-street parking.*

*(Ord. 89-O-339, Passed 2-6-89)*

### **Chapter 1181 General Provisions**

#### **1181.17 Street trees.**

*Any property that is zoned commercial, industrial, institutional, or multi-family and that abuts a public street right-of-way and is being developed shall have one street tree per 40 feet of frontage planted at least four feet from the edge of the sidewalk on private property as determined appropriate by the City Engineer. If the location of the proposed street trees is determined inappropriate by the City Engineer, the City Engineer shall determine a location that is appropriate for the planting of the street trees. The City Engineer shall also approve the type of and the caliper of street trees that are to be planted. A list of appropriate trees and required caliper is available in the City Engineer's office.*

*(Case 389; Ord. 2001-O-1240, Passed 2-12-01)*

#### **1181.18 Screening of service structures.**

*Service structures shall be screened in all zoning districts. For the purposes of this section, service structures shall include but not be limited to loading docks, storage tanks, dumpsters, electrical transformers, utility vaults which extend above the surface, cooling towers, roof top units and other equipment or elements providing service to a nonresidential (excluding agricultural uses) or multi-family building or site. Structures may be grouped together; however, screening height shall be based upon the tallest of the structures. Service structures located in the public right-of-way or public right-of-way easement shall be exempt from these provisions.*

##### **(a) Screening Requirements.**

- (1) *Rooftop utilities screening. All mechanical equipment located on the roof or around the perimeter of the building shall be screened by the following means and with materials that are comparable and compatible with that of the exterior building materials. Roof top mechanical units must be screened to the full height of the unit and also be fully screened from view from surrounding public rights-of-way. A sight distance analysis may be required by the City to determine the necessary height or design of rooftop utilities screening. If due*

*to factors unique to the property or the project, it is physically impossible or impractical to screen these utilities, the Board of Zoning Appeals, may approve alternative solutions that render them aesthetically compatible with the principal structure, except for development within a planned unit development district for which the Planning Commission would have authority to approve any alternative solutions.*

- A. A raised parapet or other architectural feature is an integral part of the building as a method of screening for rooftop mechanical equipment or to soften rooftop view.*
- B. Screening for rooftop mechanical equipment shall incorporate similar architectural features of the building and/or be constructed of a material and color compatible with other elements of the building.*

*(2) Waste Handling Screening. All waste, recycling and related handling equipment shall be stored and kept in four-sided enclosure constructed of a brick, stone, decorative concrete material, or a material compatible with the material of the principle structure.*

- A. Curbs to protect screening material. Whenever screening materials is placed around any trash disposal unit or waste collection unit which is emptied or removed mechanically on a regularly occurring basis, a curb to contain the placement of the container shall be provided within the screening material on these sides where there is such material. The curbing shall be at least one foot from the material and shall be designed to prevent possible damage to the screening when the container is moved or emptied.*

*(3) Screening of other service structures. A continuous (having 100 percent opacity) planting, hedge, fence, wall of earth, which would enclose any service structure on all sides is required, unless such structure must be frequently moved, in which case screening on all but one side is required. The height of the screening material shall be one foot more than the height of the enclosed structure, but shall not be required to exceed 12 feet in height. Whenever a service structure is located next to a building wall or landscaping material, such walls or screening material, may fulfill the screening requirement for that side of the service structure if that wall or screening material is of sufficient height to meet the height requirement set out in this section. Plant material used to screen a service structure shall be an evergreen species which retains its needles throughout the year. Deciduous plant material cannot be used to fulfill this screening requirement. The height of the evergreen plant material at installation must be equal to, or greater than, two-thirds of the height of the service structure(s), and meet the height and opacity requirements within four years.*

### **1181.21 Lighting standards.**

- (a) Intent. This section intends to regulate outdoor lighting in order to: establish appropriate minimum levels of illumination, prevent unnecessary glare, and reduce both spill-over onto adjacent properties and unnecessary transmission of light into the night sky. It is not intended to eliminate the need for an applicant to seek professional assistance to determine appropriate lighting for the use and design proposed.*
- (b) Approved Lighting Plan. Whenever the installation or modification of outdoor lighting is proposed or, for a commercial, industrial, multi-family or special use of a site plan approval, the enforcing*

*officer shall review and approve all proposed lighting as part of the approval process. These standards shall also apply to modifications to existing lighting fixtures, whether or not site plan approval is required.*

*(1) A lighting plan submitted for review shall contain the following:*

- A. A site plan showing the location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures;*
- B. Specifications for all proposed and existing lighting fixtures. These include: photometric data, fixture height, mounting and design, glare control devices, type and color rendition of lamps, and hours of operation. A photometric plan illustrating the levels of illumination at ground level shall account for all light sources that impact the subject site, including spill-over illumination from neighboring properties; and*
- C. Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming of points of any remote fixtures.*

*(2) A proposed lighting plan shall be reviewed based upon the following considerations:*

- A. Whether the lighting is designed to minimize glare;*
- B. Whether light will be directed beyond the boundaries of the area to be illuminated or onto adjacent properties or streets;*
- C. Whether the lighting will cause negative impacts on residential districts and uses;*
- D. Whether the plan will achieve appropriate levels of illumination for the use proposed;*
- E. Whether the lighting is in harmony with the character of the surrounding area and the illumination levels of neighboring properties; and*
- F. Whether the lighting is in keeping with the city's goal of prohibiting unnecessary illumination of the night sky.*

*(c) Required Conditions. When site plan or zoning permit approval is required for the installation or modification of exterior lighting, the following conditions shall apply:*

*(1) Light fixtures shall not be mounted in excess of the maximum height limitation of the district in which they are located. Those maximum heights are listed below:*

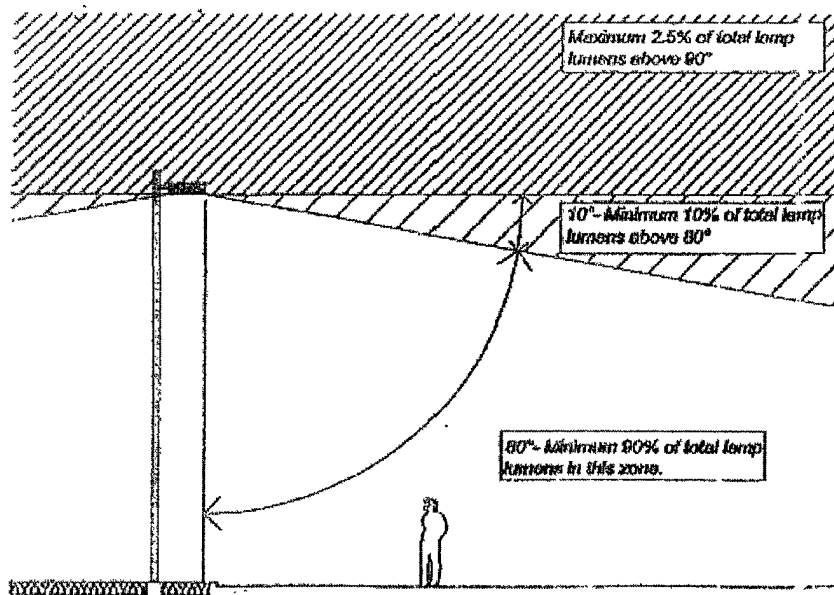
•	<i>B-1, B-2, B-3, and EP</i>	<i>25' maximum mounting height</i>
•	<i>O-1</i>	<i>20' maximum mounting height</i>
•	<i>I-1 and I-2</i>	<i>35' maximum mounting height</i>
•	<i>Planned Unit Developments</i>	<i>Established by the City at the detailed plan approval stage (if not addressed, maximum mounting height shall be 25')</i>

*Electrical service to light fixtures shall be placed underground.*

*(3) No flashing lights or intermittent illumination shall be permitted.*

*(4) Glare control shall be accomplished primarily through the proper selection and application of lighting equipment. Only after those means have been exhausted shall landscaping, fencing and similar screening methods be considered acceptable means for reducing glare.*

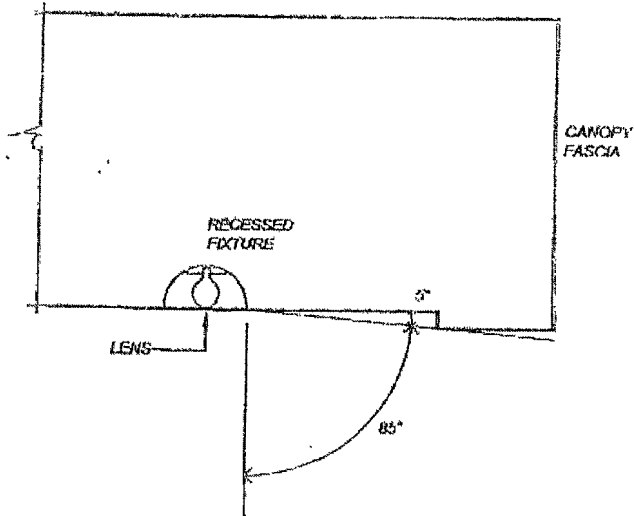
- (5) Outdoor lighting shall be designed to achieve uniform illumination levels. The ratio of the average light level of the surface being lit to the lowest light level of the surface being lit, measured in foot-candles, shall not exceed 4:1. One foot-candle is equal to the amount of light generated by one candle shining on a square foot surface one foot away. The average illumination is determined by: adding the foot-candle value of all the points in the photometric grid, and dividing the sum by the total number of points.
- (6) The use of true color rendering lamps, such as metal halide, is required instead of the utilization of high and low pressure sodium lamps.
- (7) Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.
- (8) Lighting for security purposes shall be directed only onto the area to be secured.
  - A. All fixtures shall be located, shielded and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky.
  - B. Fixtures mounted on the building and designed to illuminate the facade are preferred.
- (9) Parking lot lighting shall be designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare and direct illumination away from adjacent properties and streets. Designs that result in even levels of illumination across a parking area are preferred



*Cut-off fixture as defined by IESNA.*

- (10) The illumination of gasoline service stations and convenience stores shall be the minimum level necessary to facilitate such uses. Unnecessary lighting for the purposes of attraction and advertising shall not be permitted.

- A. Areas away from gasoline pump islands that are used for parking and vehicle storage shall be illuminated in accordance with the parking area requirements of subsection (9) above.
- B. Light fixtures mounted on canopies shall be recessed or flush with the bottom of the canopy. Where a drop-down fixture is used, the lens shall be flush with (i.e., no more than one inch beyond) the casing so that light is directed down and not sideways. All canopy lighting shall be shielded to provide a cut-off angle of 85 degrees. Fixtures shall not be mounted on the top or sides of canopies.



*This illustration provides an example of a fixture with an 85 degree cut-off. Other designs that achieve the same cut-off requirement are also acceptable.*

## **Chapter 1182 Landscaping and Screening Standards**

### **1182.01 General information.**

- (a) *Applicability. All of the requirements of this chapter of the Zoning Code are applicable to all new developments located in all zoning districts except for those located in ER, R-1, R-2, R-3, R-4, R-4B, RMV, A, WO, and C districts. For new developments located in ER, R-1, R-2, R-3, R-4, R-4B, RMV, A, WO, and C districts, only the requirements listed in the schedule of required buffers, detailed in figure 4 in Section 1182.05, shall apply. Property owners are under a continuing obligation to ensure that their property is maintained in accordance with these requirements.*
- (b) *Application Process. For PUD applications and standard zoning permit applications certain landscape information must be provided.*
  - (1) *In a PUD application, proposals in the re-zoning and basic development plan stage need to illustrate conceptual buffering and screening requirements on the basic development plan.*
  - (2) *In a PUD application in the detailed development plan stage and final plat stage, a detailed landscape plan shall be submitted as outlined in 1182.02.*

## **Chapter 1185 Parking and Loading**

### **1185.02 Off-street parking standards.**

- (a) General Standards. Off-street parking facilities shall be used solely for the parking of motor vehicles except as otherwise permitted in this chapter. Other approved accessory structures such as landscaping islands, light poles, shopping cart racks, and ATM's are considered as part of the off-street parking facilities. All motor vehicles shall be in operating condition by persons on the premises in connection with any use of the premises allowed by the Zoning Ordinance.*
- (b) Parking of motor vehicles on a residentially zoned premises shall be on a continuous hard surface, as defined by the term "hard surface driveway" in Chapter 1123.*
- (c) Garage sales may be conducted on off-street parking facilities located on a residentially zoned premises.*
- (d) Festival and fund raising activities sponsored by nonprofit organizations, as well as activities/events organized by government agencies, may be conducted on off-street parking facilities.*
- (e) Planned unit developments may be approved to permit other uses of off-street parking facilities.*

*(Case 293; Ord. 90-O-450, Passed 12-3-90; Ord. 96-O-922, Passed 10-28-96)*

### **1185.03 Size and design.**

- (a) Off-street parking spaces shall meet or exceed the minimum design standards for parking lot layouts as set forth in this chapter. The minimum size for an off-street parking space shall be 18 feet in length by ten feet wide.*
- (b) Off-street parking requirements and limitations for semis are defined in HHCO Chapter 1193.*
- (c) Minimum Design and Construction Standards.*
  - (1) Off-street parking may be open to the sky, or enclosed in a building or structure, either above or below ground. Off-street parking areas shall meet City and, as set forth by the City Engineer, Southwest Ohio Engineers Association (S.W.O.E.A) standards. Such standards shall include, but not be limited to, driveway widths, island design, curbs, barriers, grades, turning radii, vertical clearance, stacking, and waiting areas and drainage.*
  - (2) Nonresidential uses (including multi-family residential uses).*
    - A. Each off-street parking space shall open directly into an aisle or driveway of adequate width and design for safe and efficient vehicular access to the parking space. No parking space shall open directly onto any public street.*
    - B. An aisle or driveway shall not be used for parking of vehicles.*
    - C. All off-street parking areas shall be graded and have a continuous hard surface of asphalt or concrete. When approved by the City Engineer the off-street parking areas for impound lots, junked vehicle yards, dormant semi-truck parking areas, and certain storage areas may be composed of granular aggregate and a double chip seal or a fabric type pavement with aggregate base and surface stabilization or a slurry seal pavement with aggregate base as shown on the attached sketches. A chip sealed lot or a slurry seal lot or a fabric type lot shall be resealed at a minimum of five year intervals or as designated by the City Engineer.*

### **1185.06 Landscaping required.**

*All parking lots exceeding 20 parking spaces shall have interior landscaped areas in the overall design. This requirement shall be satisfied only by those landscaped areas encompassed by the perimeter of the parking lot. Required parking or paving setbacks, screening areas, or other landscaping required by this Zoning Ordinance shall not be utilized to meet any requirement of these landscaping provisions.*

- (a) Any parking lot having a capacity of at least 20 parking spaces shall be required to have not less than five percent of the interior of the parking lot landscaped.*
- (b) The landscaped area shall include at least one tree (not less than one and three-fourths inch caliper, measured at chest height of a species approved by the City Engineer or his designee) for every 100 square yards of interior landscaped area, living plantings aesthetically located and maintained.*
- (c) All landscaped areas shall be designed and located in a manner that clearly defines internal streets, traffic lanes and parking areas and to standards acceptable to the Department of Engineering, Zoning and Planning.*
  - (1) Landscaped areas shall have a minimum width of five feet.*
  - (2) A turning radius shall be constructed where a landscaped area defines an intersection of streets, traffic lanes or parking stalls.*
  - (3) Concrete curbing shall be placed around the perimeter of all landscaped areas.*
  - (4) Intersection sign distance shall be maintained at all entrance and exit points to a public street and all internal intersections of streets and traffic lanes.*

*(Ord. 90-O-450, Passed 12-3-90)*

### **1185.12 Computation.**

- (a) Number of Spaces Rounded Up. When determination of the number of off-street parking spaces required by this chapter results in a fraction that is less than a whole, such fraction shall be rounded up to a whole number and counted as one parking space.*
- (6) Road service and commercial entertainment uses.*
  - A. Automobile accessories sale or installation: two spaces for every service bay, plus one space for every 400 square feet of sales area.*
  - B. Automobile filling station and auto repair, painting, and body shop: two spaces for each service bay, plus one space for each employee on the largest shift, and also one space for each service vehicle; with a minimum of six spaces, plus one space for every 125 square feet of retail floor area if a convenience store is an accessory use.*
  - C. Automobile washing facility: one space for each employee with a minimum of four spaces, plus five off-street waiting spaces for each car-washing device or stall, or 15 off-street waiting spaces for an assembly-line type washing establishment, and two parking spaces at the end of each washing bay for drying and hand-finishing vehicles.*

## **Chapter 1193 Trailers, Trucks, Recreational Vehicles, Boats, Farm or Construction Equipment**

### **1193.01 Definitions.**

*Trailer means any receptacle or means of transport in which something is carried or conveyed or travels, moves on skids, wheels or runners, without its own motive power and is designed so that it can be drawn by other means of motive power. Trailers include, but are not limited to nonpowered recreational vehicles.*

### **1193.04 Off-street parking in commercial and office areas.**

- (a) Semis or semitrailers as defined in HHCO Chapter 1123 shall not be parked outside on properties in commercial or office zoning districts and properties being used as commercial and/or office in any industrial zoning district, except as provided below:*
  - (1) Semis or semitrailers may be parked in designated loading spaces on properties in a commercial or office zoning district and properties being used as commercial and/or office in any industrial zoning district provided the loading spaces meet the applicable requirements in HHCO Section 1185.13 and are approved by the City. Said parking of semis or semitrailers in the loading spaces shall not exceed a length of time reasonably necessary to load or unload the semis or semitrailers.*
  - (2) Semis may be parked in a parking lot on a property used for a restaurant, hotel, motel, moving service/lease company or filling station that provides fuel for semis as long as all the following conditions are met:*
    - A. A zoning certificate has been issued for the property showing the location of a designated parking space(s) for semis meeting the following requirements:*
      - 1. The designated semi parking space(s) shall be at least 15 feet in width by 80 feet in length and provide adequate area for ingress and egress;*
      - 2. The designated semi parking space(s) shall not be located in the front yard of the property;*
      - 3. The designated semi parking space(s) shall not adversely affect the traffic circulation in the parking lot;*
      - 4. The designated semi parking space(s) shall be clearly marked "FOR SEMI PARKING" and, the parking surface striped in accordance with HHCO Section 1185.05;*
      - 5. A semi(s) shall only be parked in designated semi parking space(s) and shall not be parked in any other required off-street parking as required by the parking and loading regulations in HHCO Chapter 1185.*
      - 6. Semi parking space(s) and area used as ingress and egress shall be constructed of material and base able to support the daily use of semis as approved by the city engineer;*
      - 7. A semi(s) shall only be parked in designated parking space(s) on a business property while the operator or passenger is using the facilities on the business property;*

8. *Semi parking space(s) shall only be permitted on property(s) for a restaurant, hotel, motel, moving service/lease company, or filling station that contains at least one acre. Each business property shall have no more than five semi parking spaces for each acre of the business property. In no case shall a business property have more than ten semi parking spaces. Properties shall be prorated by acreage for the number of semi parking spaces as outlined in the following scale:*

<i>Required Minimum Acres</i>	<i>Number of Semi Parking Spaces Permitted</i>
<i>1 (43,560 sq. ft.)</i>	<i>5</i>
<i>1.2 (52,272 sq. ft.)</i>	<i>6</i>
<i>1.4 (60,984 sq. ft.)</i>	<i>7</i>
<i>1.6 (69,696 sq. ft.)</i>	<i>8</i>
<i>1.8 (78,408 sq. ft.)</i>	<i>9</i>
<i>2 (87,120 sq. ft.) or greater</i>	<i>10</i>

*For the purposes of this section, all parcels in common ownership and adjacent to the property on which the business is located shall be considered one property.*

9. *A filling station that provides fuel for semis is permitted to have semi(s) parked at a semi designated fueling pump(s) or parked waiting in line for the purpose of refueling, in addition to the number of semi parking spaces permitted in subsection 8 of this chapter.*
- B. *The property must be a single tenant property. On properties with multi-tenants, including, but not limited to shopping centers or office buildings, the parking of semis shall be prohibited.*
- (3) *Semitractors may be parked in a parking lot owned by and used for a sales company as long as the semitractors are owned and are for sale or lease by the concerned sales company.*
- (b) *Vehicles that are unlicensed or inoperative shall not be parked off-street and outside on properties in any Commercial or Office Zoning District and properties being used as commercial and/or office in any industrial zoning district.*

*(Case 146, 7-10-89, Effective 8-9-89; Case 323; Ord. 89-O-363, Passed 7-10-89; Ord. 91-O-517, Passed 11-4-91; Ord. 98-O-1071, Passed 9-28-98)*

## **Standards for Approval**

### **1171.06 – General Standards For Approval**

*The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:*

- (a) *Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*
- (b) *Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*

- (c) *Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*
- (d) *Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*
- (e) *Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*
- (f) *Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*
- (g) *Shall preserve natural features such as water courses, trees and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*
- (h) *Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*
- (i) *Shall place underground all electric and telephone facilities, street light wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*
- (j) *Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*
- (k) *Shall not involve uses, activities, processes, materials, equipment and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and*
- (l) *Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

### **Staff Analysis**

The analysis below is based on the application revised by the applicant at the request of staff and based on the comments received at the commission meeting. The revisions have addressed all comments and concerns that were expressed to the applicant.

### **Conformance with Zoning Regulations:**

#### **1176 (PC) Planned Commercial District**

The proposed uses are principally permitted in the PC district. The revised plan indicates a 15-foot perimeter buffer yard, which meets the standards for this chapter. All other standards for this Chapter are met.

### Chapter 1181 General Provisions

The revision meets the requirements of Chapter 1181. The revised plans illustrate street trees placed every 40-feet. No exterior lighting plan was submitted at this time, but will be submitted at the time of detailed development review. Unless otherwise directed by the Planning Commission, parking light fixtures shall not exceed 25 feet in height.

### Chapter 1182 Landscaping and Screening Standards

The Basic Development Plan indicates potential locations for landscape islands and trees within the parking areas. Additional detail shall be provided during the detailed development plan phase.

### Chapter 1185 Parking and Loading

The revised proposal meets the requirements of Chapter 1185. The applicant is illustrating parking island landscaping. The maximum required number of parking spaces required is approximately 67 total spaces. The revised plan indicates 70 proposed spaces. The number of required parking spaces is likely to decrease once the final area of the convenience store (less storage) and restaurant are determined.

### Chapter 1193 Trailers, Trucks, Recreational Vehicles, Boats, Farm or Construction Equipment

The proposal meets the requirements of this chapter which limits the number of semi parking spaces to no more than ten spaces. The plans indicate ten spaces that are correctly dimensioned.

### **Other Considerations:**

Staff has asked the applicant to redesign the site to allow a future extension of Center Point 70 by moving the gas pumps and store further south and/or changing their alignment. The applicant has adjusted the site plan by reconfiguring the parking and circulation plan. The revised configuration will likely improve vehicle stacking at the intersection along the proposed roadway, rather than internally as was originally illustrated.

### **Additional Comments:**

**Fire:** See Attached. The applicant will comply with all fire code requirements.

**City Engineer:**

### **Recommendation**

Staff recommends approval of the rezoning from I-1 to Planned Commercial and approval of the revised basic development plan with the following conditions:

1. Applicant shall comply will all fire code requirements.

### **Planning Commission Action**

Planning Commission may take the following actions with a motion to:

- 1) Approve the rezoning and basic development plan application, with or without conditions.
- 2) Deny the basic development plan.
- 3) Table the application in order to gather additional information.



## Planning Commission Decision Record

WHEREAS, on January 27, 2022, the applicant, Amarjit Takhar, requested approval of the Basic Development Plan and Rezoning to Planned Commercial (PC) on approximately nine (9) acres of a 35-acre parcel at property located on the East side of intersection of SR 235 and Center Point 70 Blvd, Parcel Numbers P70-03903-0079 and P70-03903-0005 of the Montgomery County, Ohio Records (Case BDP 22-08); and

WHEREAS, on March 29, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

\_\_\_\_\_ moved to recommend approval of the request by the applicant, Amarjit Takhar, for the approval of the Basic Development Plan and Rezoning to Planned Commercial (PC) on approximately nine (9) acres of a 35-acre parcel at property located on the East side of intersection of SR 235 and Center Point 70 Blvd, Parcel Numbers P70-03903-0079 and P70-03903-0005 of the Montgomery County, Ohio Records (Case BDP 22-08) in accordance with the recommendation of Staff's Memorandum dated March 22, 2022, with the following conditions:

1. Applicant shall comply with all fire code requirements.

Seconded by \_\_\_\_\_. Roll call showed: YEAS: NAYS: Motion to recommend approval carried \_\_\_\_.

\_\_\_\_\_  
Terry Walton, Chair  
Planning Commission

\_\_\_\_\_  
Date

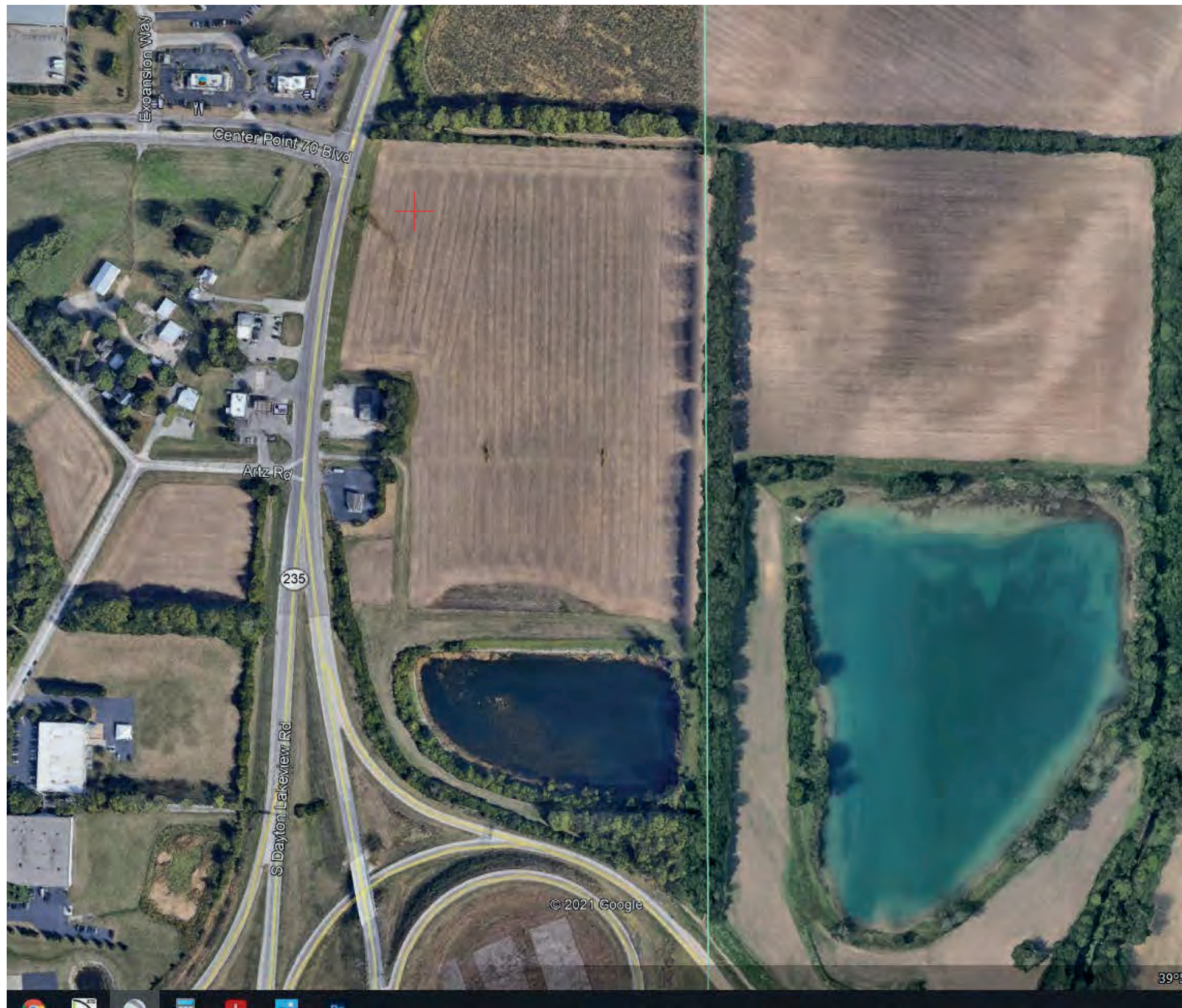
# TRUCK STOP, DIESEL REPAIR SHOP, & C-STORE

ST RT 235, HUBER HEIGHTS, OH  
BASIC DEVELOPMENT PLAN

BASIC DEVELOPMENT PLAN SUBMITTAL CHECKLIST		SHEET
1)	Basic Development site plans shall be scaled at 1" to 20', 1" to 40', or other scale acceptable to the City. Plans must show the following:	--
<input type="checkbox"/>	Property lines, right-of-way lines, and all easements of record	02,05
<input type="checkbox"/>	Location of all abutting properties within 200' and a list of owners and addresses	03
<input type="checkbox"/>	Location of all public and private utilities including local services on or adjacent to site	04
<input type="checkbox"/>	Existing physical features, including structures, drives, adjacent roads and number of lanes, ditches, trees, wells, sanitary fields, etc.	09
<input type="checkbox"/>	Sizes, grades, and type of material for all existing gravity sewers, force mains, and appurtenances	N/A
<input type="checkbox"/>	Existing elevations at property corners and other key locations (USGS datum)	09
<input type="checkbox"/>	Location of proposed structures, out buildings and/or other improvements, setback dimensions, landscaping or buffer strips, parking spaces, handicapped parking, type of ground surface, freestanding signs or lighting, underground tanks, detention ponds and approximate sizes of all facilities	06-08
<input type="checkbox"/>	One (1) foot contour lines, swales, and other natural or man-made drainage facilities either on the property or in the streets and easements adjacent to the property	10
<input type="checkbox"/>	Direction of on-site overload flow and any changes in flow after proposed development	10
<input type="checkbox"/>	Direction of drainage flow for all abutting properties together with location and direction of concentrated water volumes (downspouts, field tiles, etc.)	10
<input type="checkbox"/>	Proposed finished grades of all structures, ground elevations at all structure corners and tentative grades for all proposed driveways, swales, pipes, etc.	10
<input type="checkbox"/>	Traffic impact study prepared by a third-party professional	I/P
<input type="checkbox"/>	Dedication of street to adopted right-of-way limits when required by thoroughfare plan	C/P
<input type="checkbox"/>	Widening of roadways and inclusion of sidewalks when required by thoroughfare plan	C/P
<input type="checkbox"/>	Storm water management plan and preliminary hydraulic calculations in accordance with Montgomery County, Ohio Standards.	C/P
2)	Listing of proposed uses	01
3)	Conceptual building elevations of proposed buildings indicating true colors and materials	11-14
4)	Other information as requested by the City	--
5)	Upon receipt of final review comments from the Planning Department, applicant shall submit eight (8) copies of the revised plans required in this check list, any other revised or amended documents, and a pdf of all drawings to <a href="mailto:ghoskins@hhoh.org">ghoskins@hhoh.org</a> at least one week prior to the date of the Planning Commission meeting.	--
6)	Traffic impact studies	--

N/A NOT APPLICABLE  
I/P IN PROCESS  
C/P TO BE PERFORMED AND/OR PROVIDED BY CONTRACTOR OR OTHER PARTY PENDING  
RESULT OF REZONING AND ZONING APPROVAL STATUS

LOCATION / VICINITY MAP



PROPOSED USES

SERVICE STATION  
CONVENIENCE STORE  
DRIVE-THRU STORE  
RESTAURANT

PROPOSED REZONING

FROM I-1 (LIGHT INDUSTRIAL USE)  
TO PI (PLANNED INDUSTRIAL DISTRICT)

RENDERING OF PROPOSED DEVELOPMENT



**BERGER CONSTRUCTION SERVICES**  
50 Walnut Rd  
Medway, OH 45341  
937.727.4515

CLIENT:

**PAP OIL COMPANY LLC**  
4365 Lisa Dr  
Tipp City, OH 45371

TRUCK STOP, TRUCK REPAIR, & C-STORE HUBER HEIGHTS, OH  
COVER SHEET

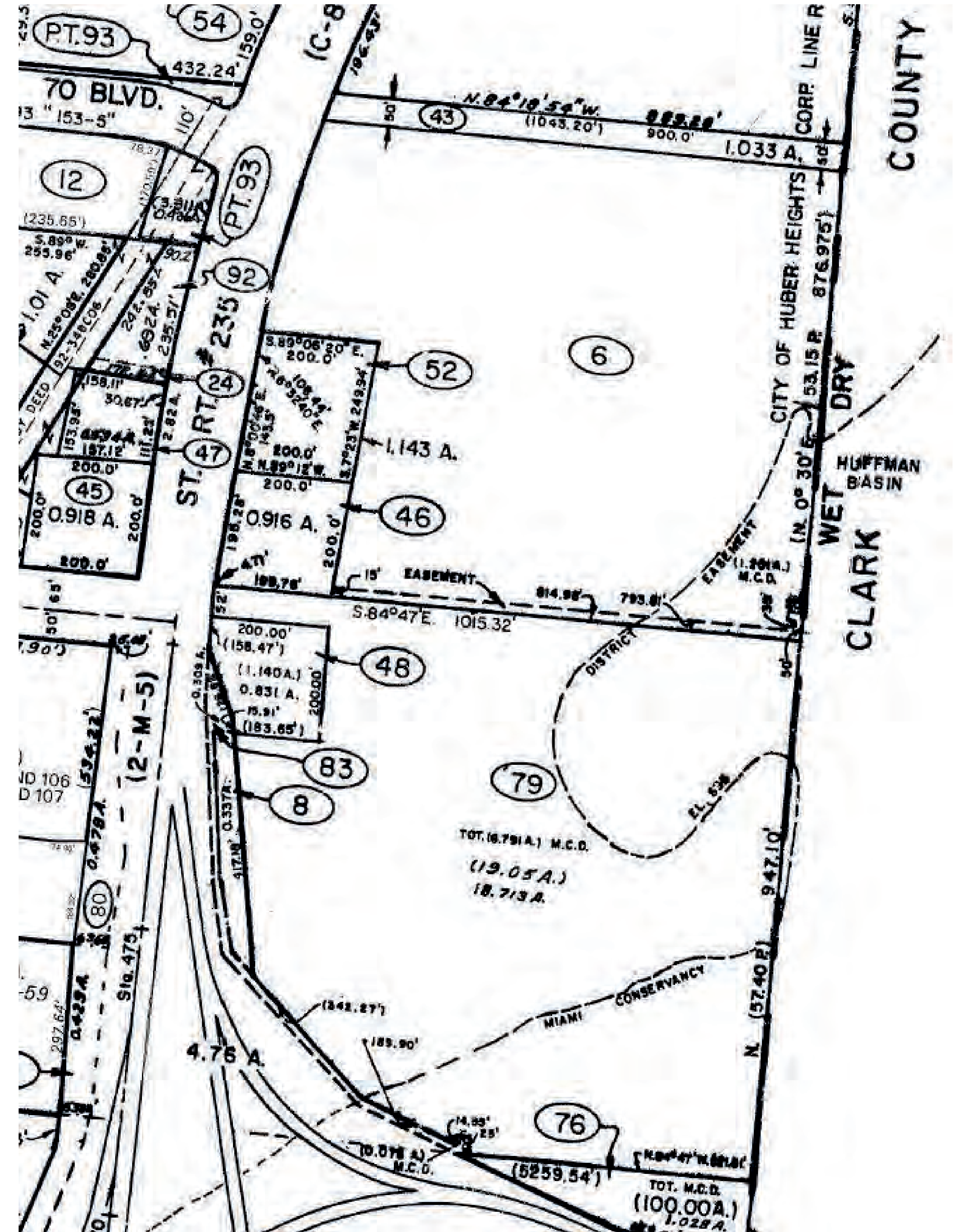
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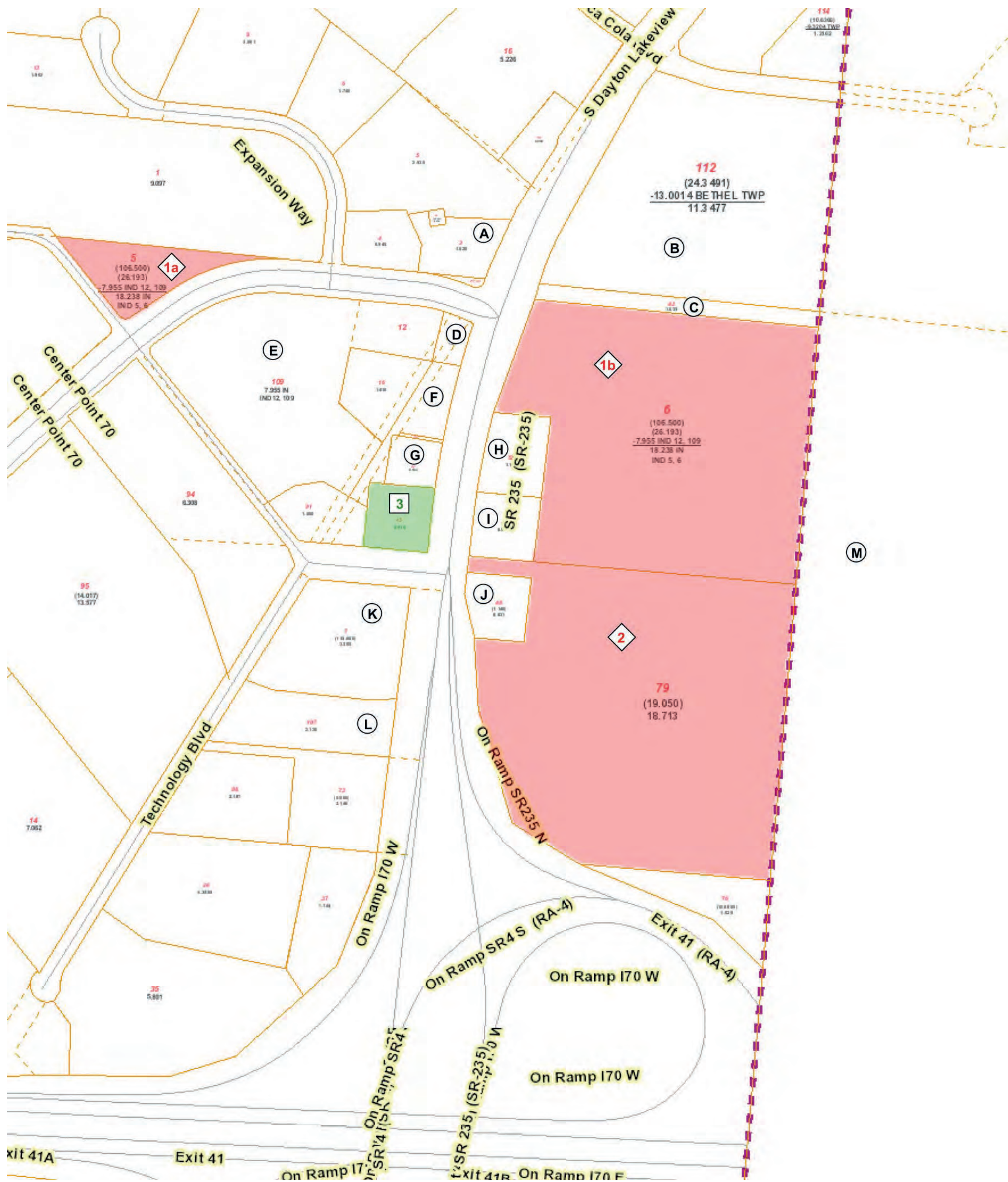
REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

DATE: 12/29/2021

SHEET: 01 of 12

## MONTGOMERY COUNTY ENGINEER'S OFFICE





	COUNTY	PAR ID	PARCEL LOCATION	OWNER	NAME	MAILING ADDRESS	CITY, STATE ZIP
1a	MONTGOMERY	P70 03903 0005	ARTZ RD	BURROWES PATRICK C TR	BURROWES PATRICK C TR	8181 S DAYTON LAKEVIEW RD	NEW CARLISLE OH 45344
1b	MONTGOMERY	P70 03903 0005	ARTZ RD	BURROWES PATRICK C TR	BURROWES PATRICK C TR	8181 S DAYTON LAKEVIEW RD	NEW CARLISLE OH 45344
2	MONTGOMERY	P70 03903 0079	I 70	BURROWES PATRICK C TR	BURROWES PATRICK C TR	8181 S DAYTON LAKEVIEW RD	NEW CARLISLE OH 45344
3	MONTGOMERY	P70 03903 0045	8007 ST RT 235	B J P INC	B J P INC	8181 S DAYTON LAKEVIEW RD	NEW CARLISLE OH 45344
A	MONTGOMERY	P70 01218 0003	8201 ST RT 235	DRIAN BRADLEY M AND TAMARA WARREN	DRIAN BRADLEY M AND TAMARA WARREN	430 FAIRWAY DR	TAHOE CITY, CA 96145
B	MONTGOMERY	P70 03903 0112	N/A	N/A	N/A	N/A	N/A
C	MONTGOMERY	P70 03903 0043	CARLISLE PIKE	NEFF NANCY E TR ET AL 4 PAMELA WEYANDT JOHN D NEFF II ROBERT NEFF	NEFF NANCY E TR ET AL 4	1912 GREENLAWN DR	ENGLEWOOD, FL 34223
D	MONTGOMERY	P70 03903 0093	8191 ARTZ RD	BURROWES AND SONS LLC	BURROWES AND SONS LLC	8181 SOUTH DAYTON LAKEVIEW RD	NEW CARLISLE OH 45344
E	MONTGOMERY	P70 03903 0012	8191 ARTZ RD	BURROWES AND SONS LLC	BURROWES AND SONS LLC	8181 SOUTH DAYTON LAKEVIEW RD	NEW CARLISLE OH 45344
F	MONTGOMERY	P70 03903 0092/0016	8181 CARLISLE PIKE	BURROWES PATRICK C DEBORAH	BURROWES PATRICK C DEBORAH	8181 S STATE ROUTE 235	NEW CARLISLE OH 45344
G	MONTGOMERY	P70 03903 0047	8011 ST RT 235	PJ VENTURES LLC	PJ VENTURES LLC	8181 S ST RTE 235	NEW CARLISLE OH 45344
H	MONTGOMERY	P70 03903 0052	8020 ST RT 235	HACKER RAY W AND ANITA	RAY W HACKER AND ANITA	590 HAVERHILL RD	BLOOMFIELD HILLS, MI 48304
I	MONTGOMERY	P70 03903 0046	8010 ST RT 235	GREIL FRED R	GREIL FRED R	9146 SHAWNEE TR	POWELL, OH 43065
J	MONTGOMERY	P70 03903 0048	CARLISLE PIKE	GREIL FRED	GREIL FRED	9146 SHAWNEE TR	POWELL, OH 43065
K	MONTGOMERY	P70 03903 0007	8080 TECHNOLOGY BLVD	DAVIS JOHN STEPHEN	DAVIS JOHN STEPHEN	224 BIRCHWOOD AVE	TRAVERSE CITY, MI 49686
L	MONTGOMERY	P70 03903 0107	8070 TECHNOLOGY BLVD	DM2 REALTY LLC	DM2 REALTY LLC	8000 TECHNOLOGY BLVD	DAYTON, OH 45424
M	CLARK	101000036000027	I-70, MEDWAY 45341	NEFF NANCY E TRUSTEE	NEFF NANCY E TRUSTEE	1912 GREENLAWN DR	ENGLEWOOD, FL 34223



**BERGER CONSTRUCTION SERVICES**  
50 Walnut Rd  
Medway, OH 45341  
937.727.4515

CLIENT:

**PAP OIL COMPANY LLC**  
4365 Lisa Dr  
Tipp City, OH 45371

**TRUCK STOP, TRUCK REPAIR, & C-STORE HUBER HEIGHTS, OH  
ABUTTING PROPERTIES**

SCALE:

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

DATE: 12/29/2021

SHEET: 03 of 12

WATER & SEWER CONNECTIONS

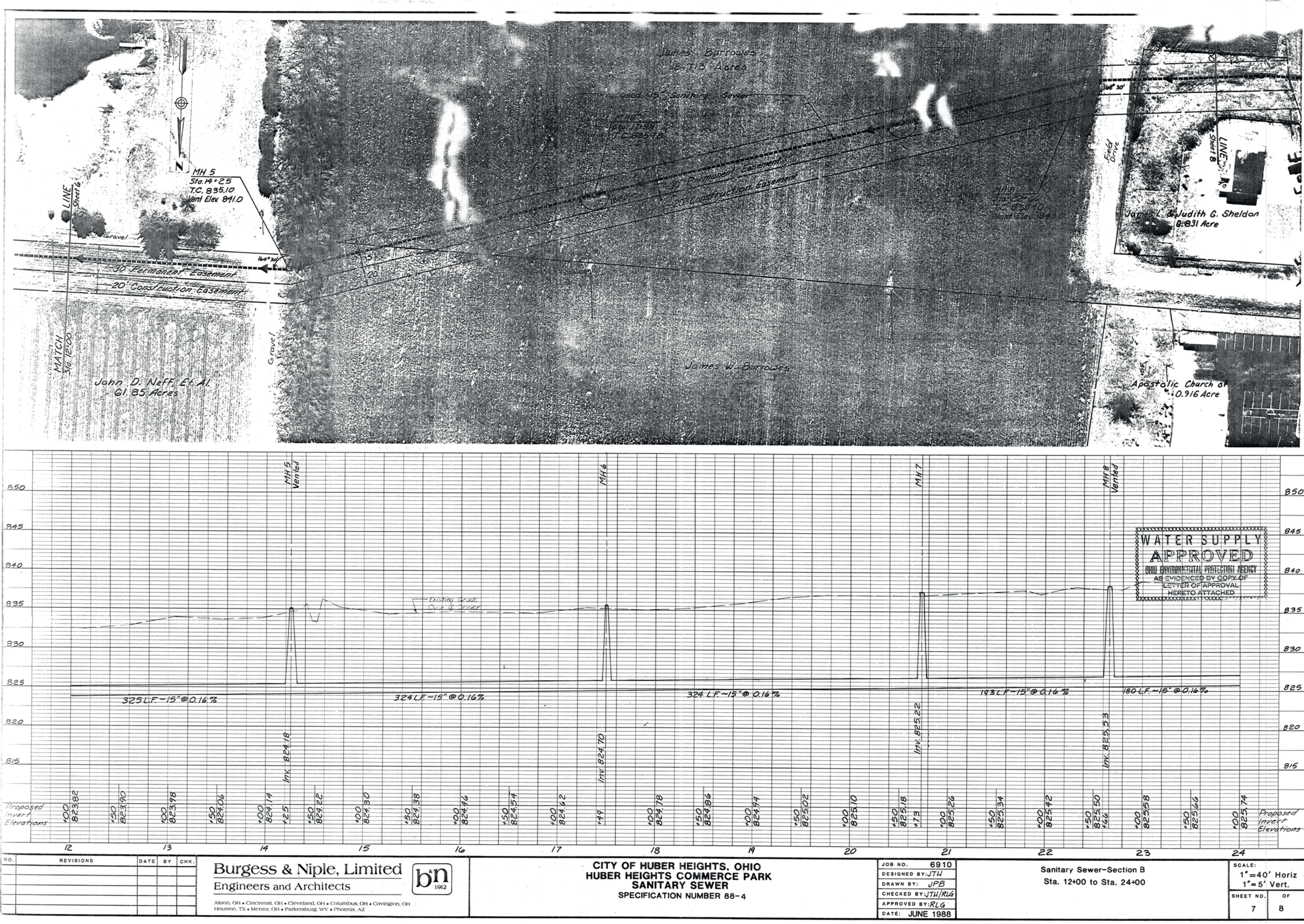
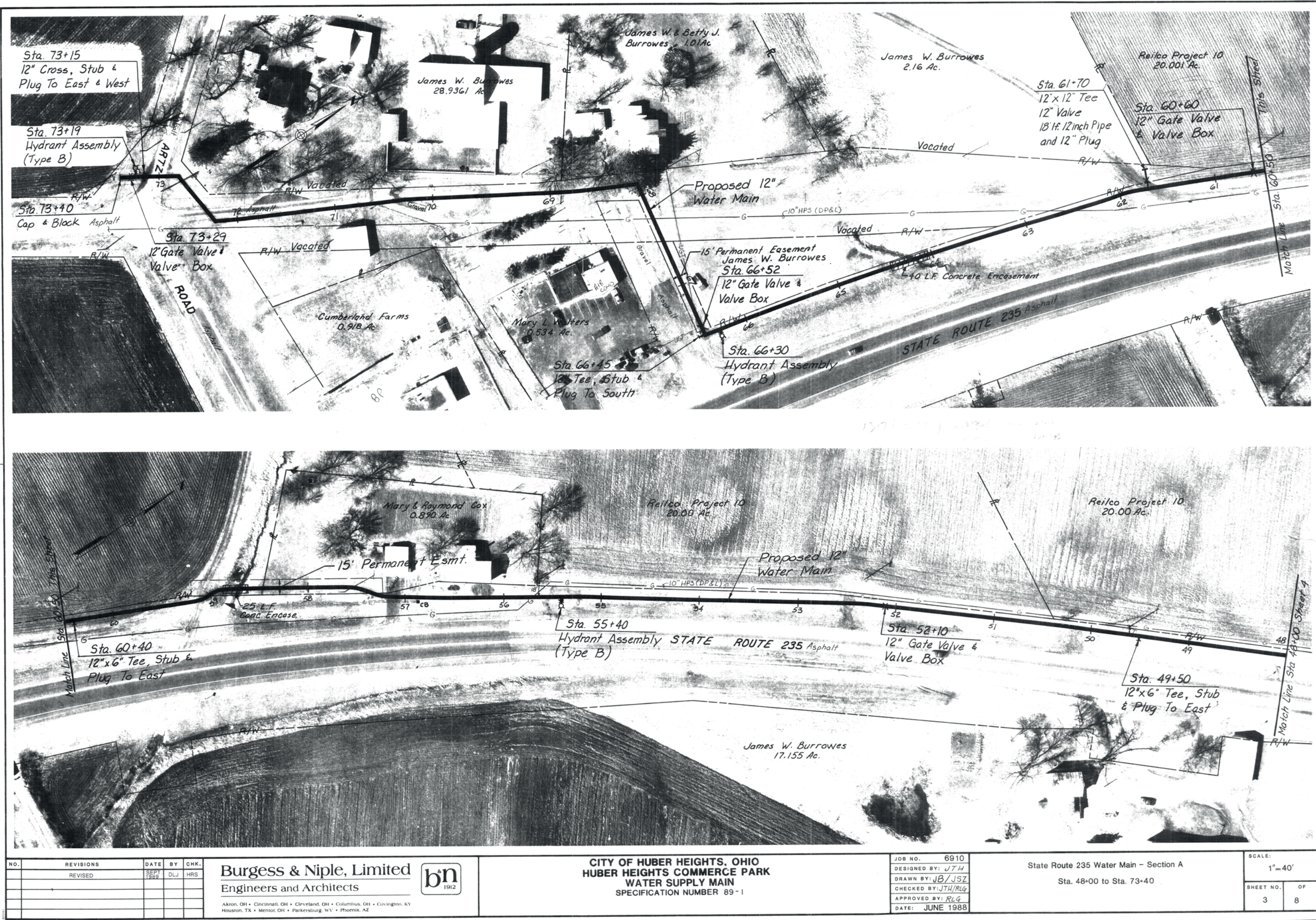
PROVIDED BY THE CITY OF HUBER HEIGHTS

water&sewer connections.JPG



CP70WaterSewerExt-01\_003.PDF

WaterSupply.PDF





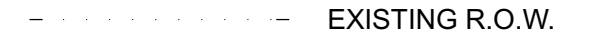


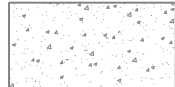


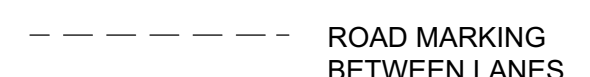
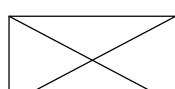
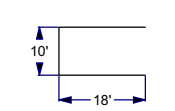


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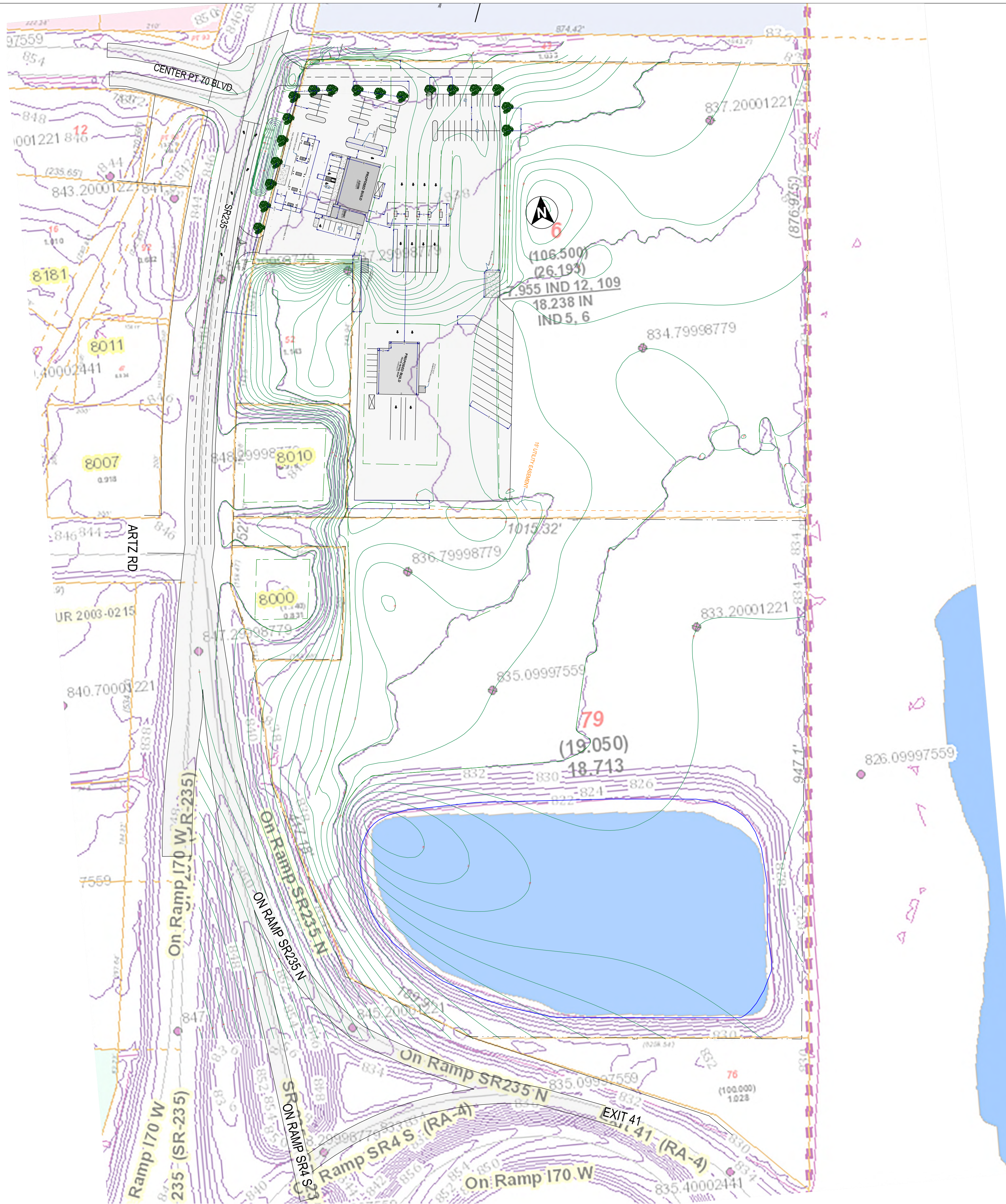
LEGEND

\*ALL PAVEMENT DIMENSIONS REFERENCE THE FACE OF CURB WHERE CURB IS REQUIRED

\*ALL SETBACK DIMENSIONS REFERENCE THE BACK OF CURB OR THE EXTERNAL FACE OF THE BUILDING, WHERE APPLICABLE

	PROPERTY LINE		PROPOSED STRUCTURE
	EXISTING R.O.W.		CONCRETE PAVEMENT PER CITY SPEC
	PROPOSED R.O.W.		CONCRETE SIDEWALK PER CITY SPEC
	EDGE OF ROADWAY		LANDSCAPED AREA
	ROAD MARKING BETWEEN LANES		LOADING AREA
			(63) PARKING SPACES (3) HANDICAP ACCESSIBLE





BERGER CONSTRUCTION SERVICES  
50 Walnut Rd  
Medway, OH 45341  
937.727.4515

CLIENT: PAP OIL COMPANY LLC  
4365 Lisa Dr  
Tipp City, OH 45371

TRUCK STOP, TRUCK REPAIR, & C-STORE HUBER HEIGHTS, OH  
EXISTING & PROPOSED ELEVATIONS

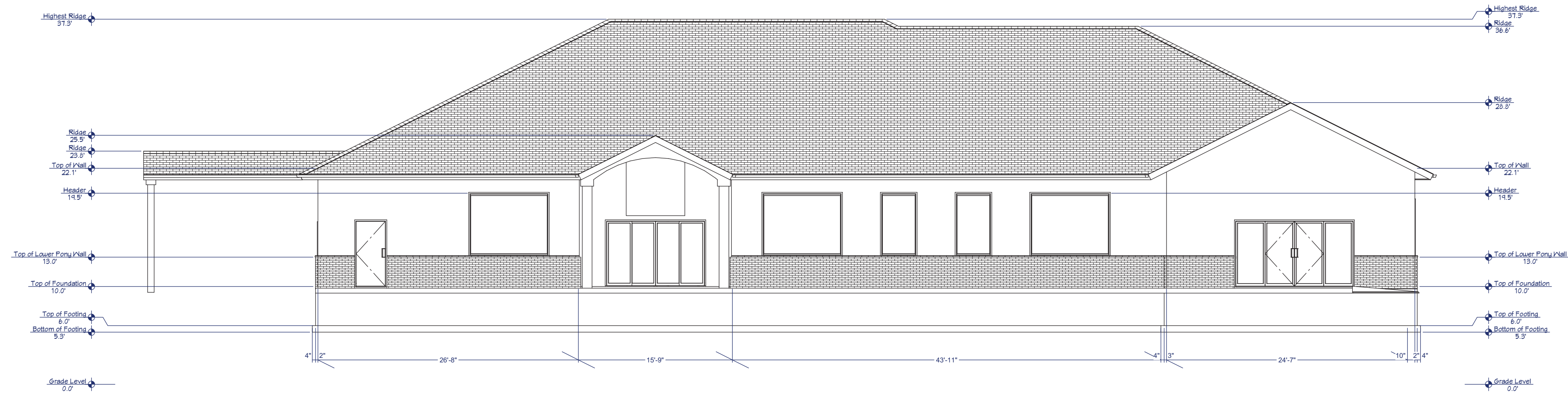
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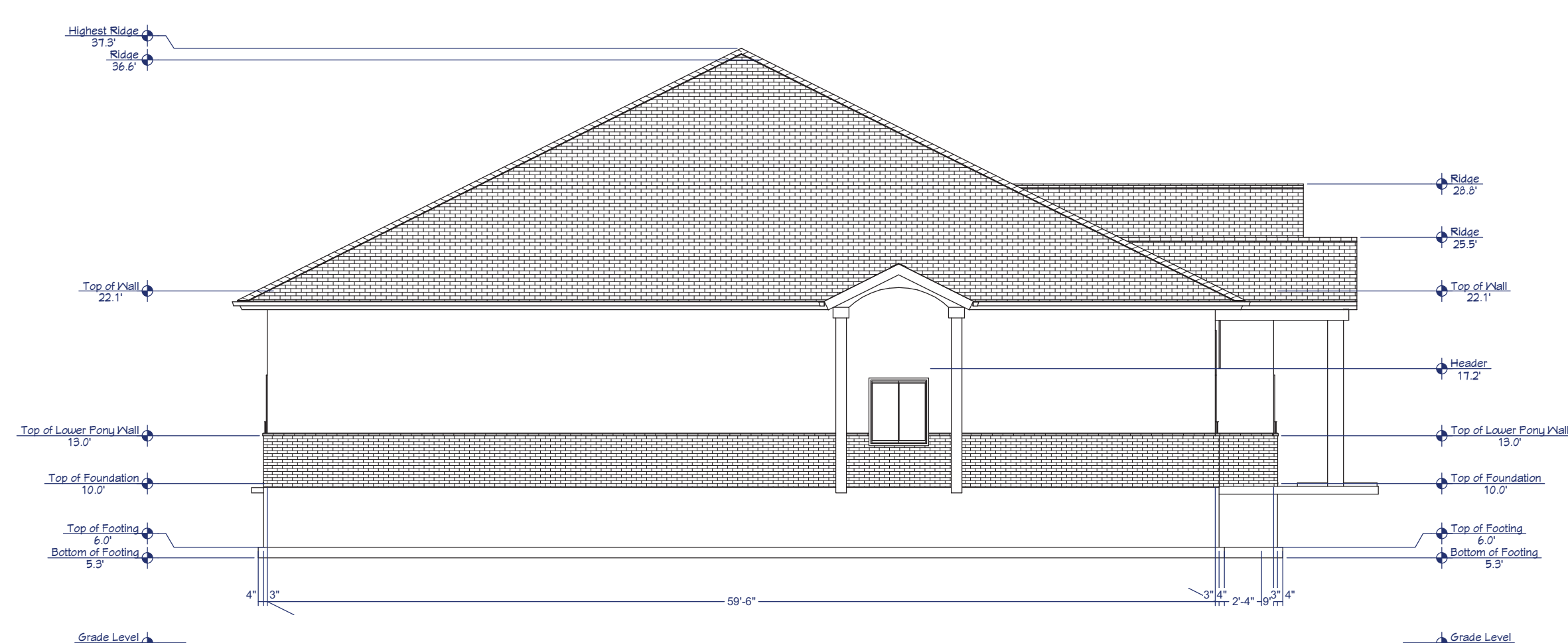
DATE: 3/18/2022  
SHEET: 07 of 12

HERE  
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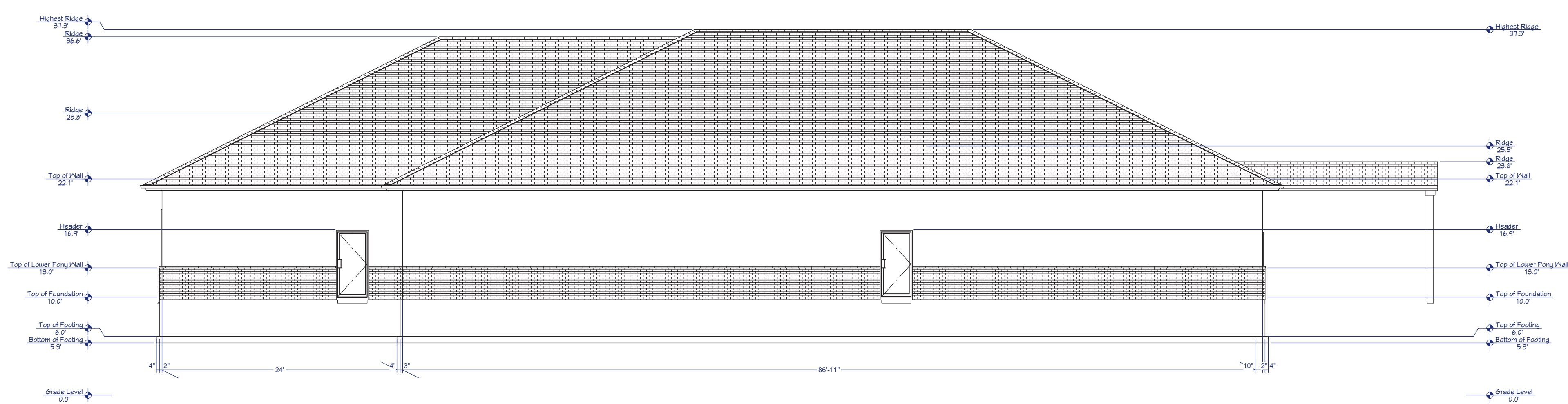




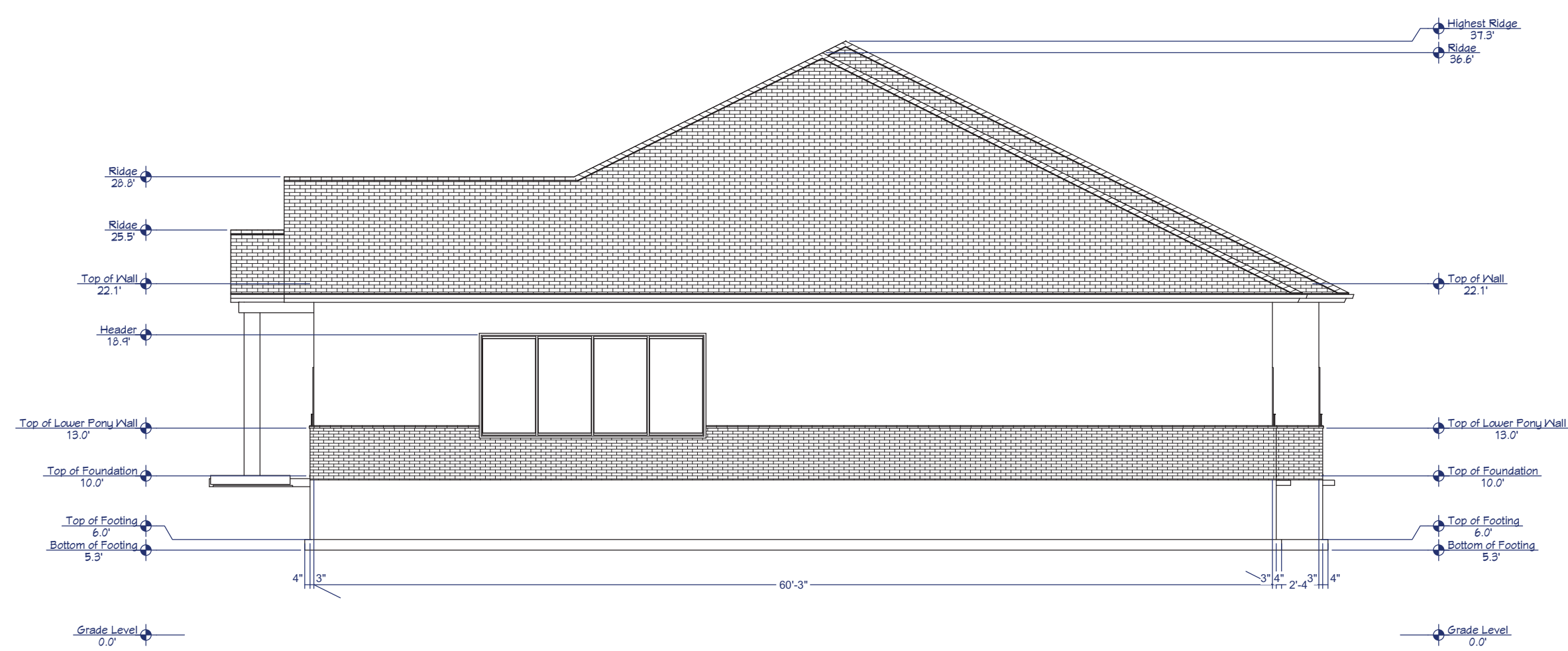
Exterior Elevation Front



Exterior Elevation Left



Exterior Elevation Back



Exterior Elevation Right



**BERGER CONSTRUCTION SERVICES**  
50 Walnut Rd  
Medway, OH 45341  
937.727.4515

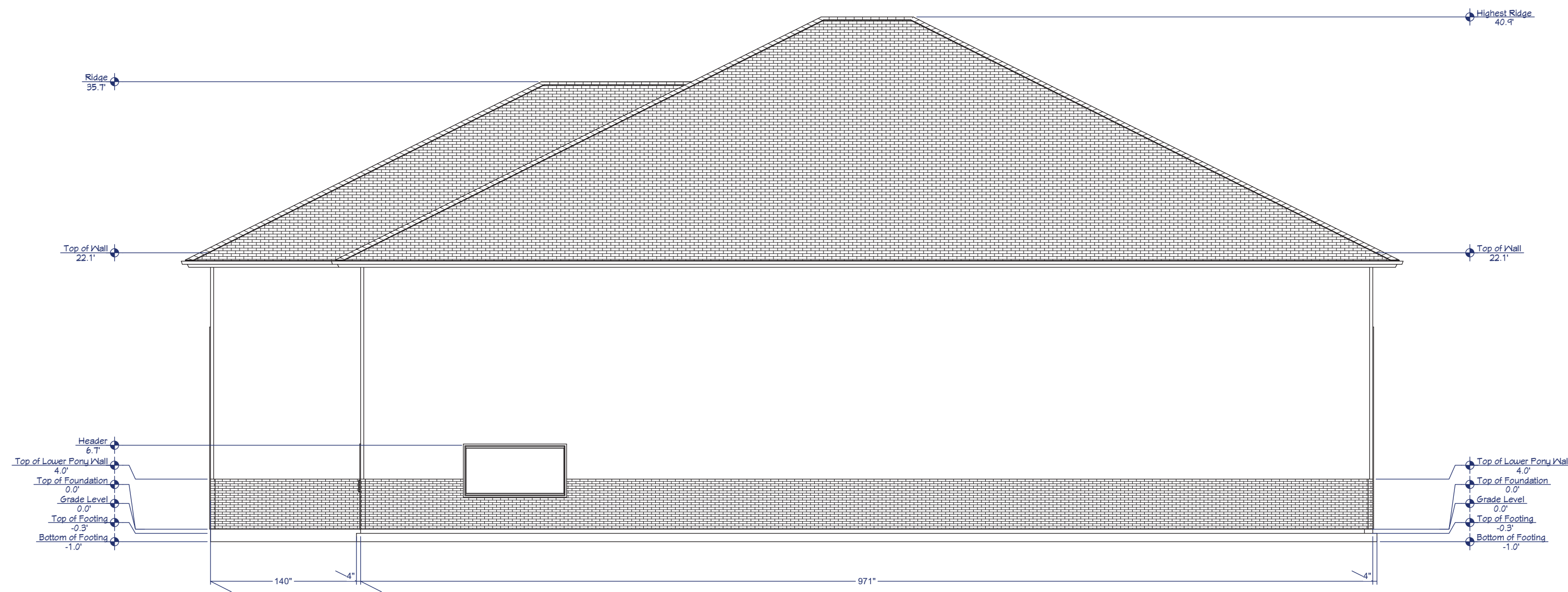
CLIENT: **PAP OIL COMPANY LLC**  
4365 Lisa Dr  
Tipp City, OH 45371

TRUCK STOP, TRUCK REPAIR, & C-STORE HUBER HEIGHTS, OH  
C-STORE ELEVATIONS

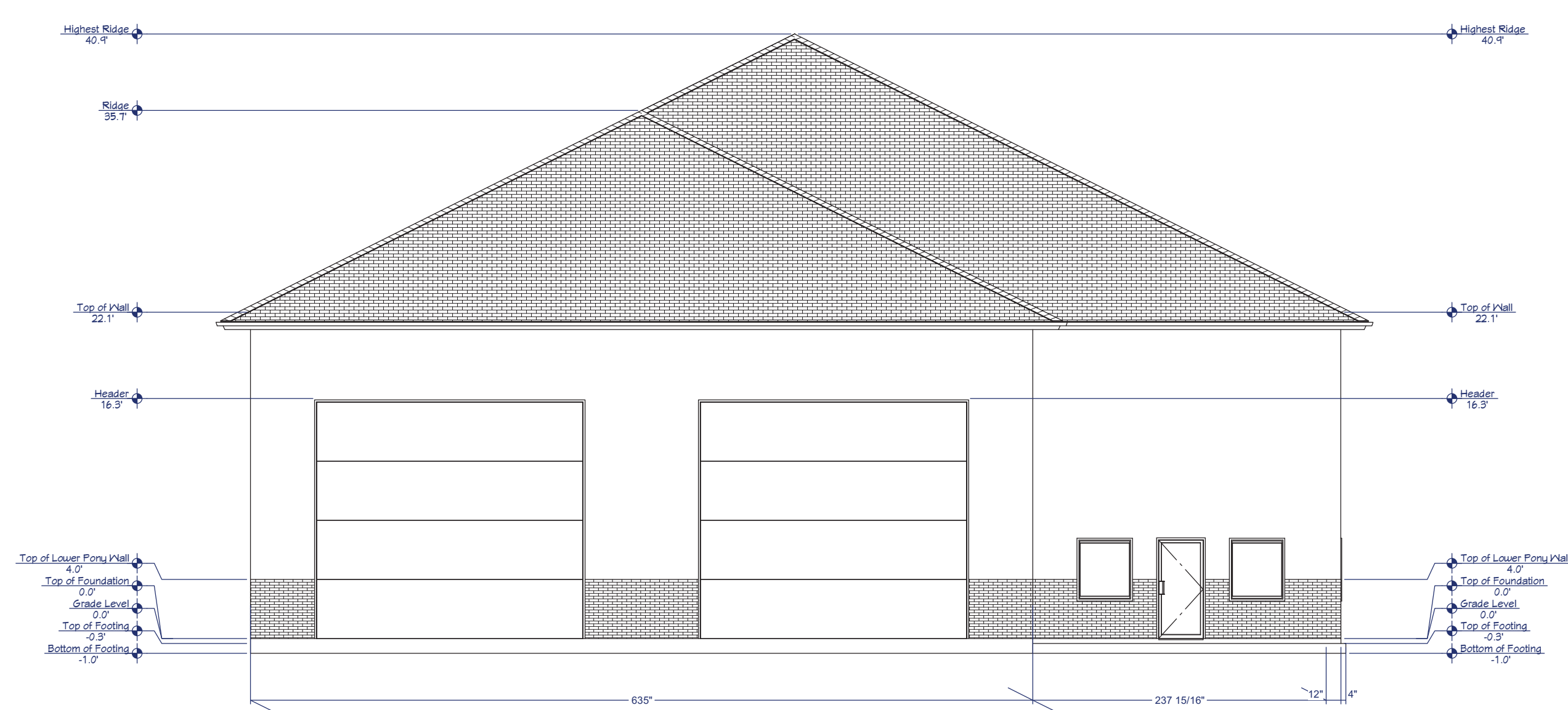
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REVISION TABLE			
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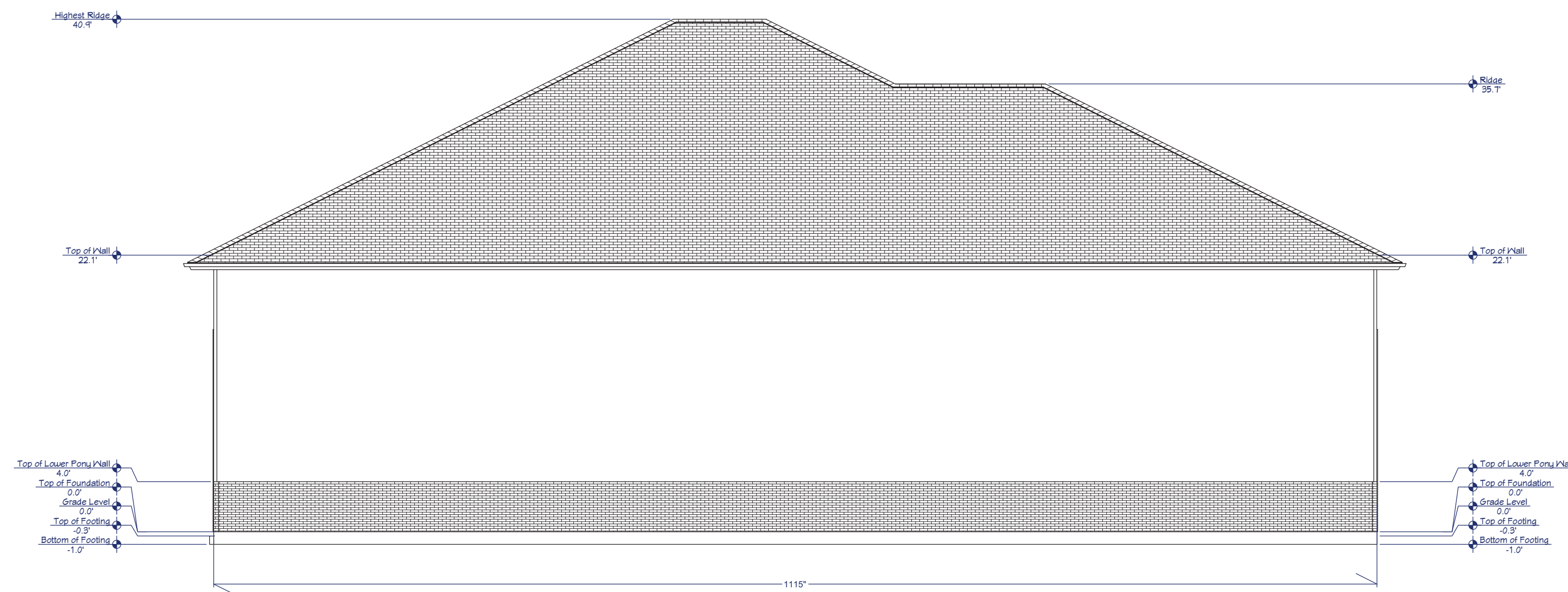
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SHEET: 09 of 12



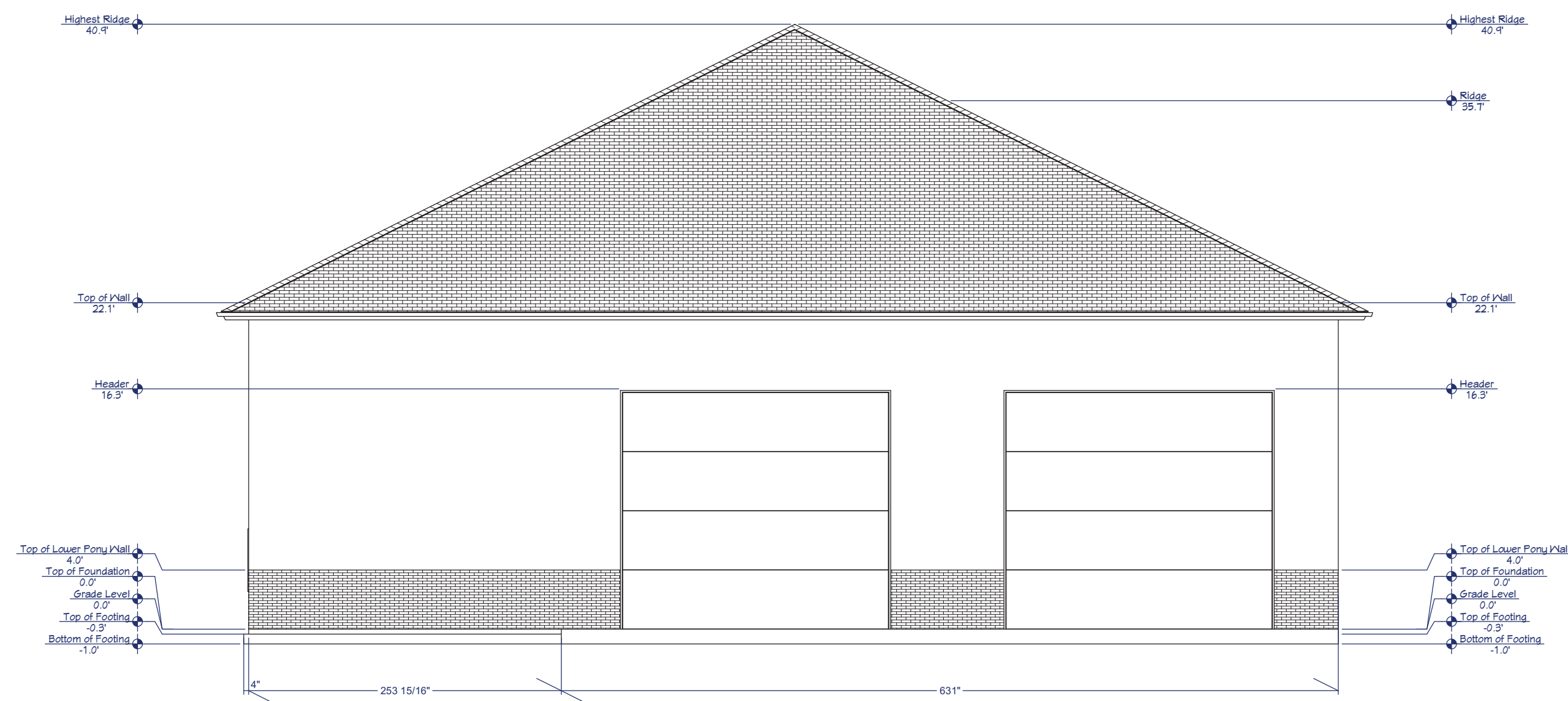
Exterior Elevation Front



Exterior Elevation Left



Exterior Elevation Back



Exterior Elevation Right



**BERGER CONSTRUCTION SERVICES**  
50 Walnut Rd  
Medway, OH 45341  
937.727.4515

CLIENT:

**PAP OIL COMPANY LLC**  
4365 Lisa Dr  
Tipp City, OH 45371

**TRUCK STOP, TRUCK REPAIR, & C-STORE HUBER HEIGHTS, OH**  
**TRUCK REPAIR SHOP ELEVATIONS**

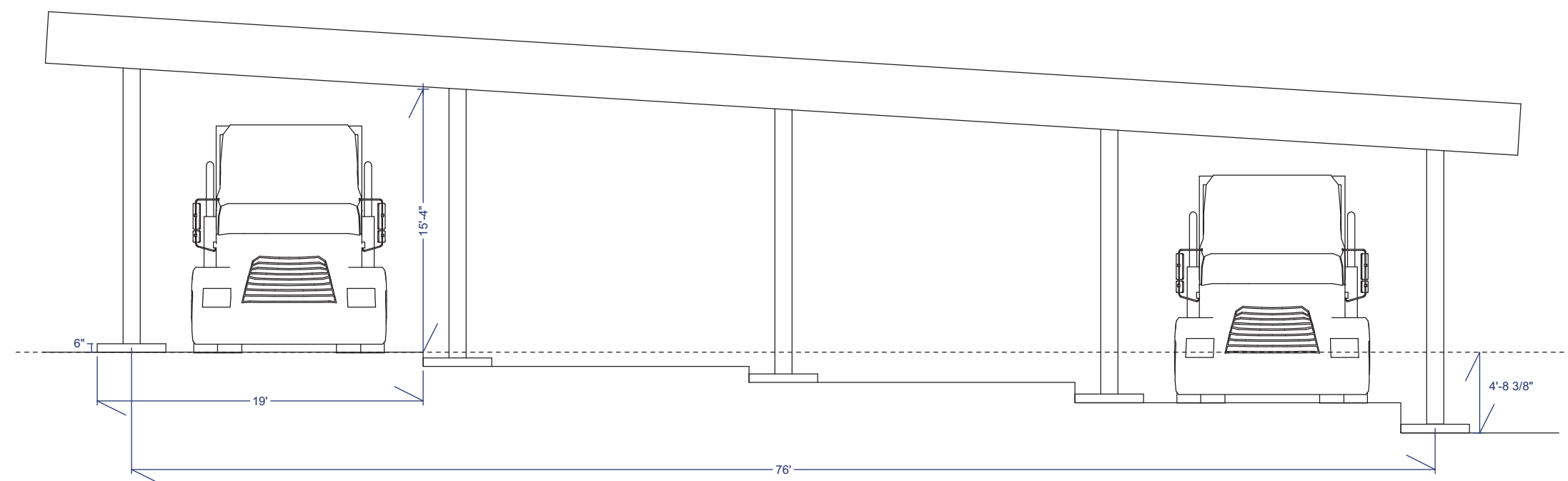
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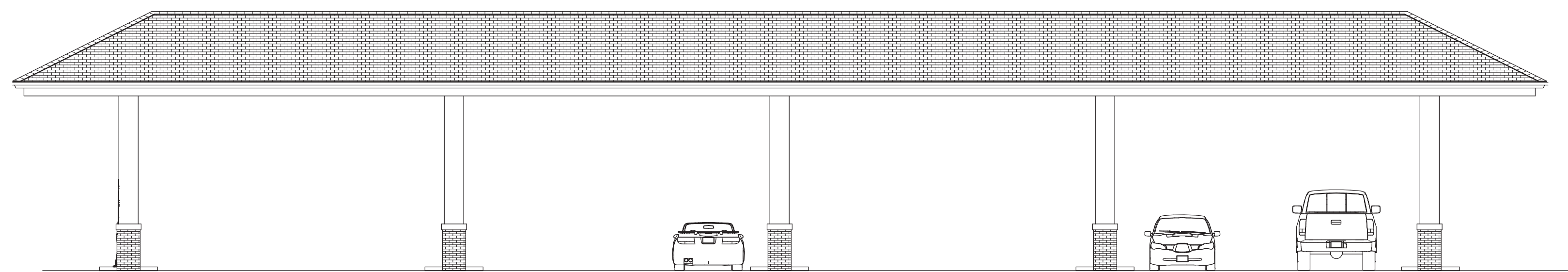
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NUMBER	DATE	REVISED BY	DESCRIPTION

DATE: 12/29/2021

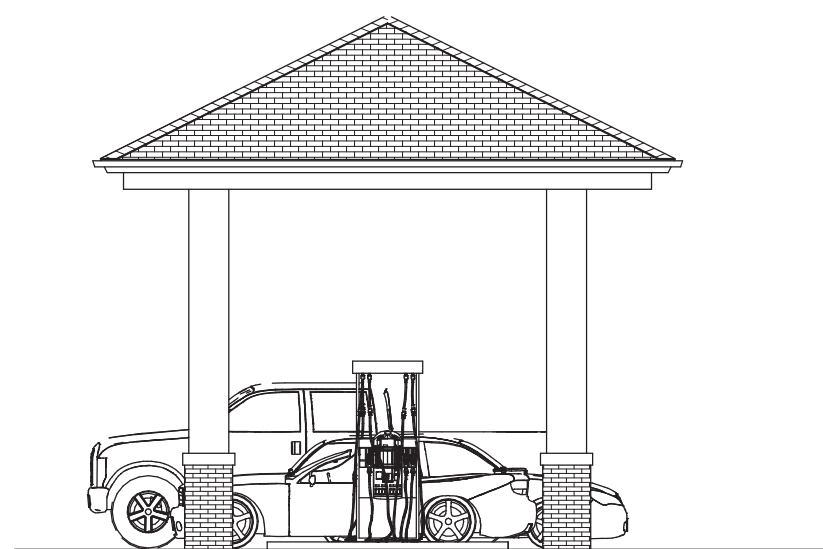
SHEET: 10 of 12



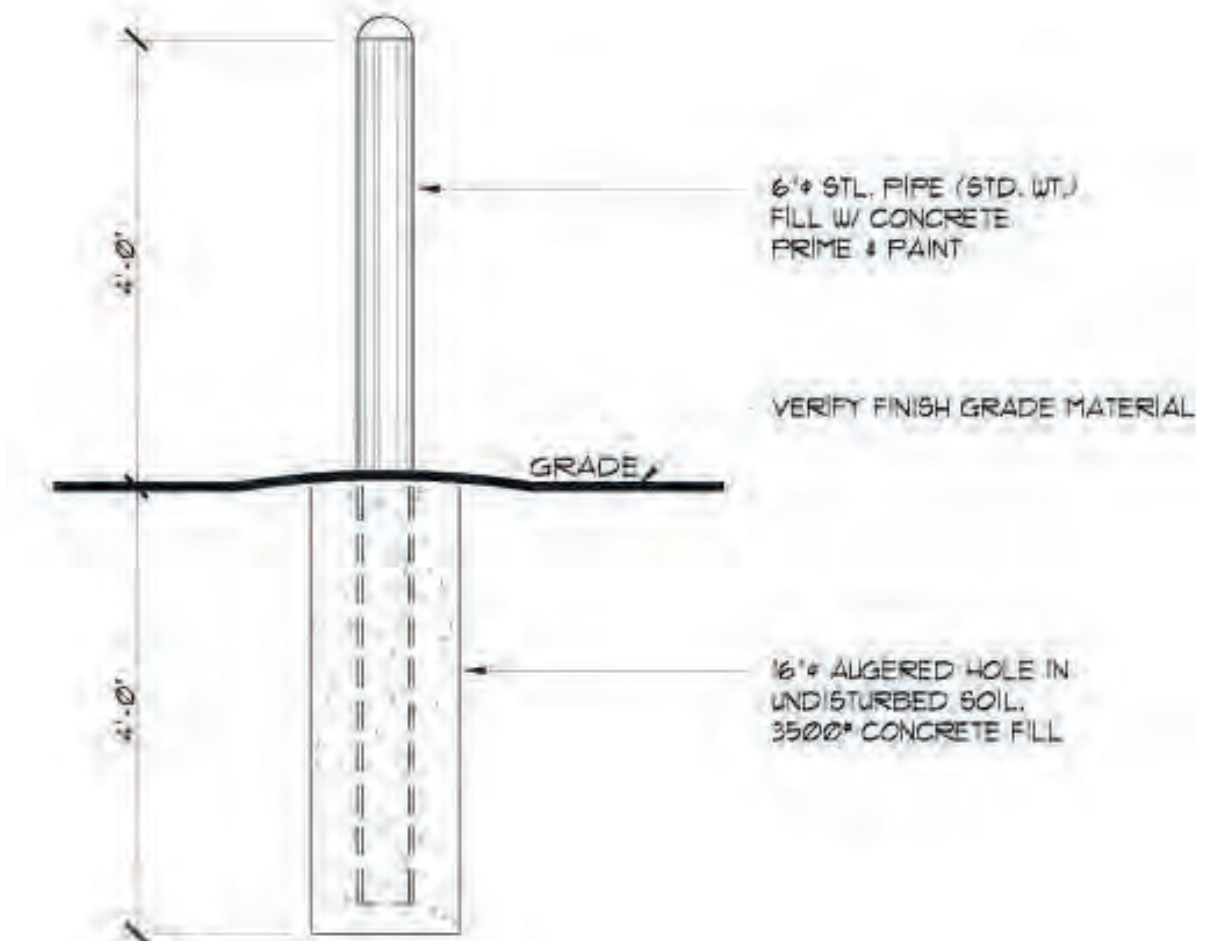
DIESEL CANOPY ELEVATION



GAS CANOPY FRONT ELEVATION

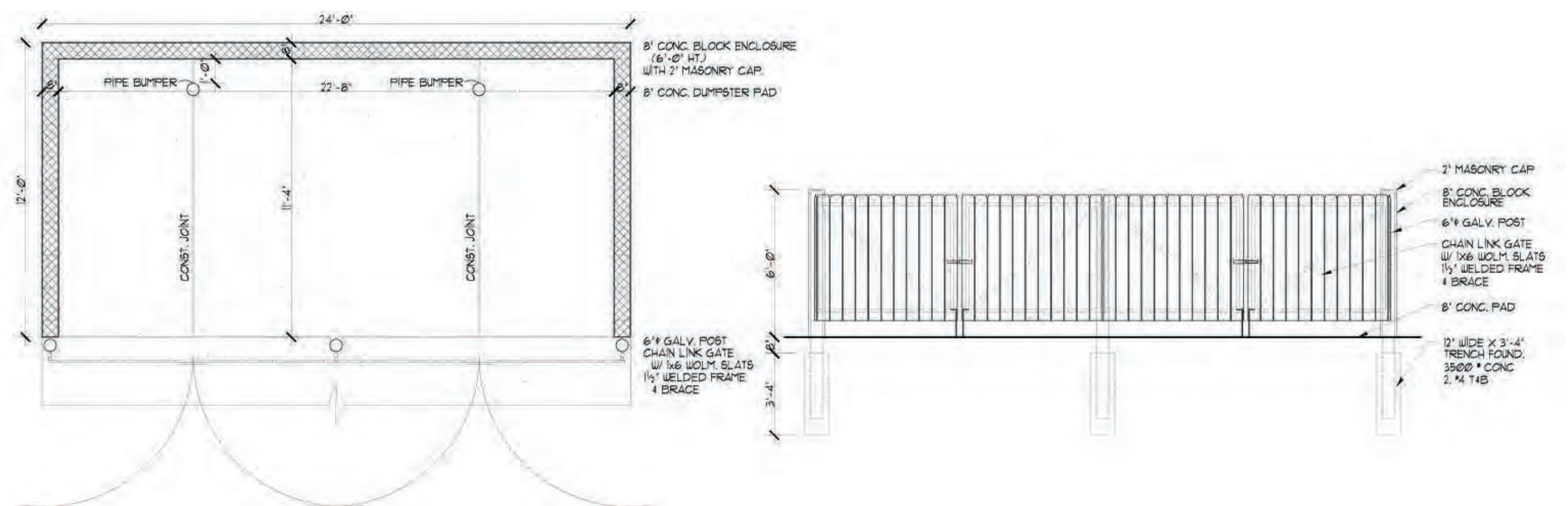


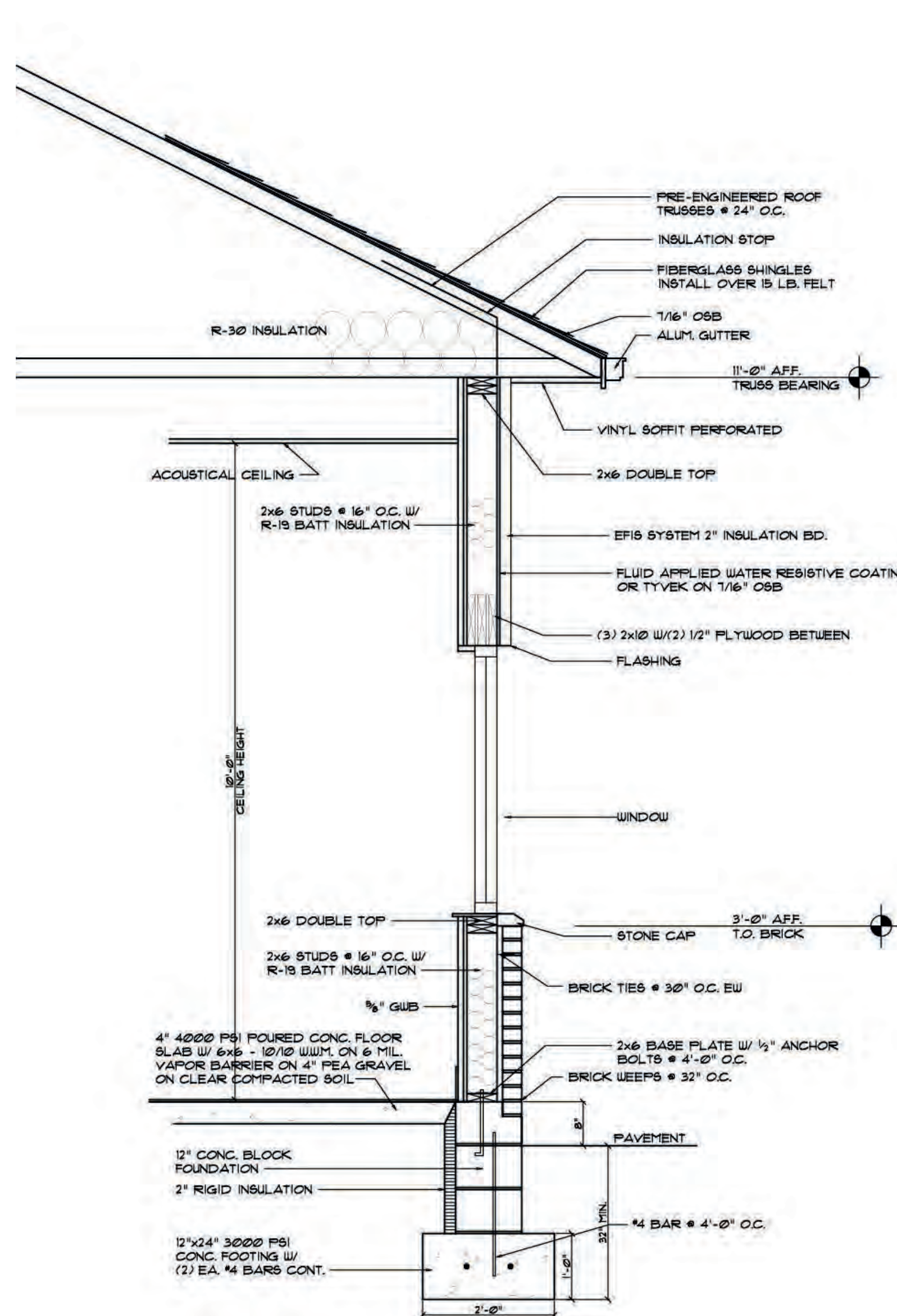
GAS CANOPY SIDE ELEVATION



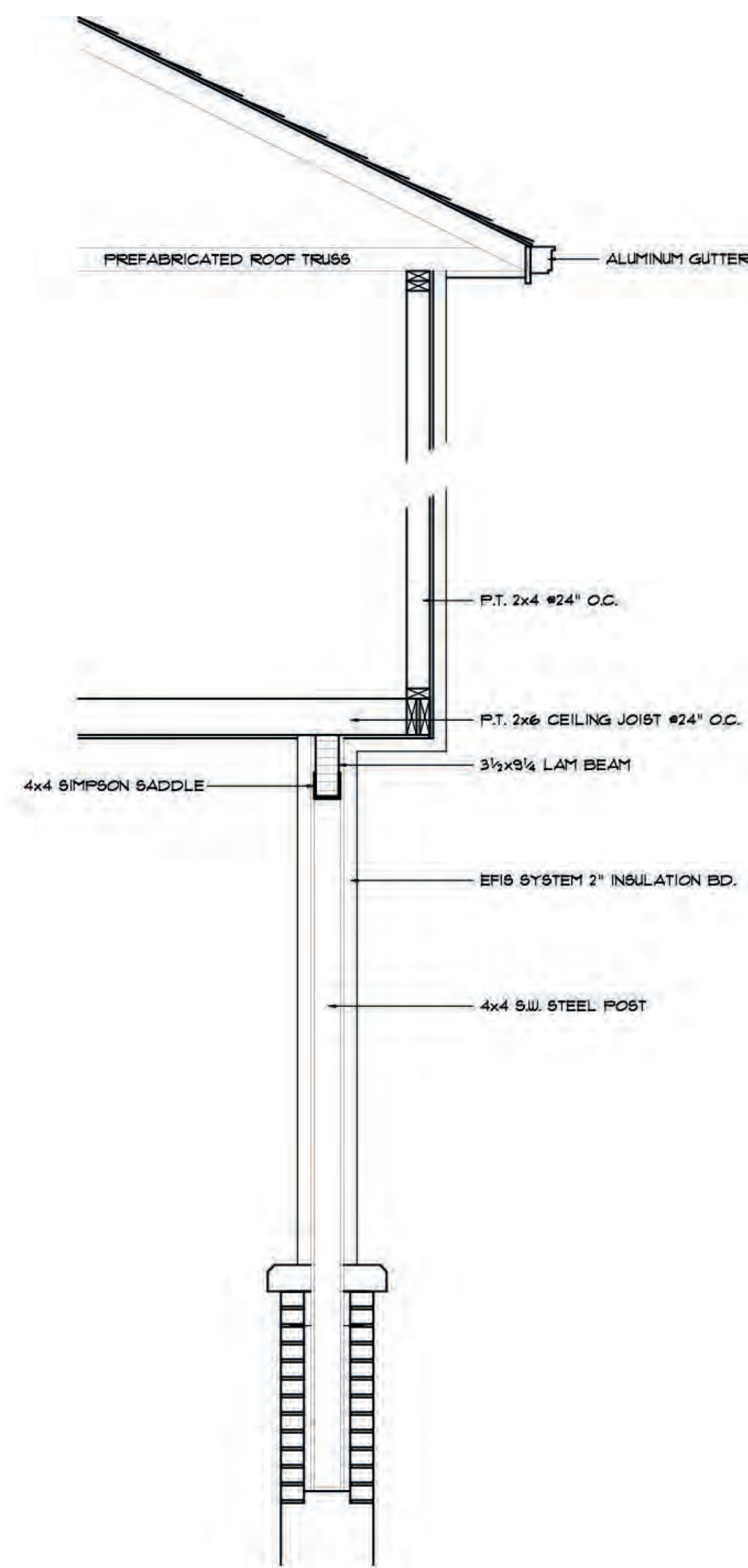
TYP. BUMPER POST (BOLLARD)

SCALE: NONE

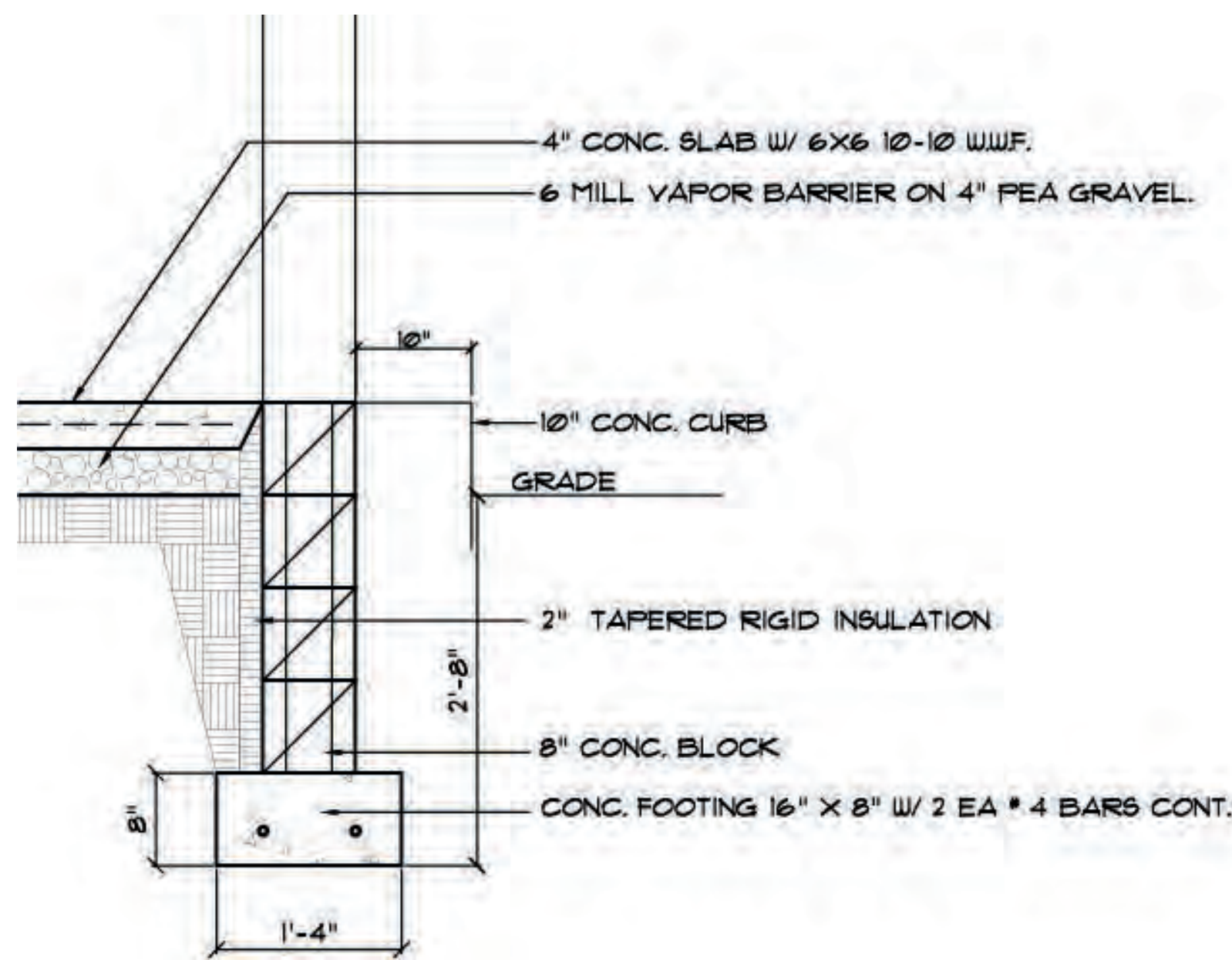




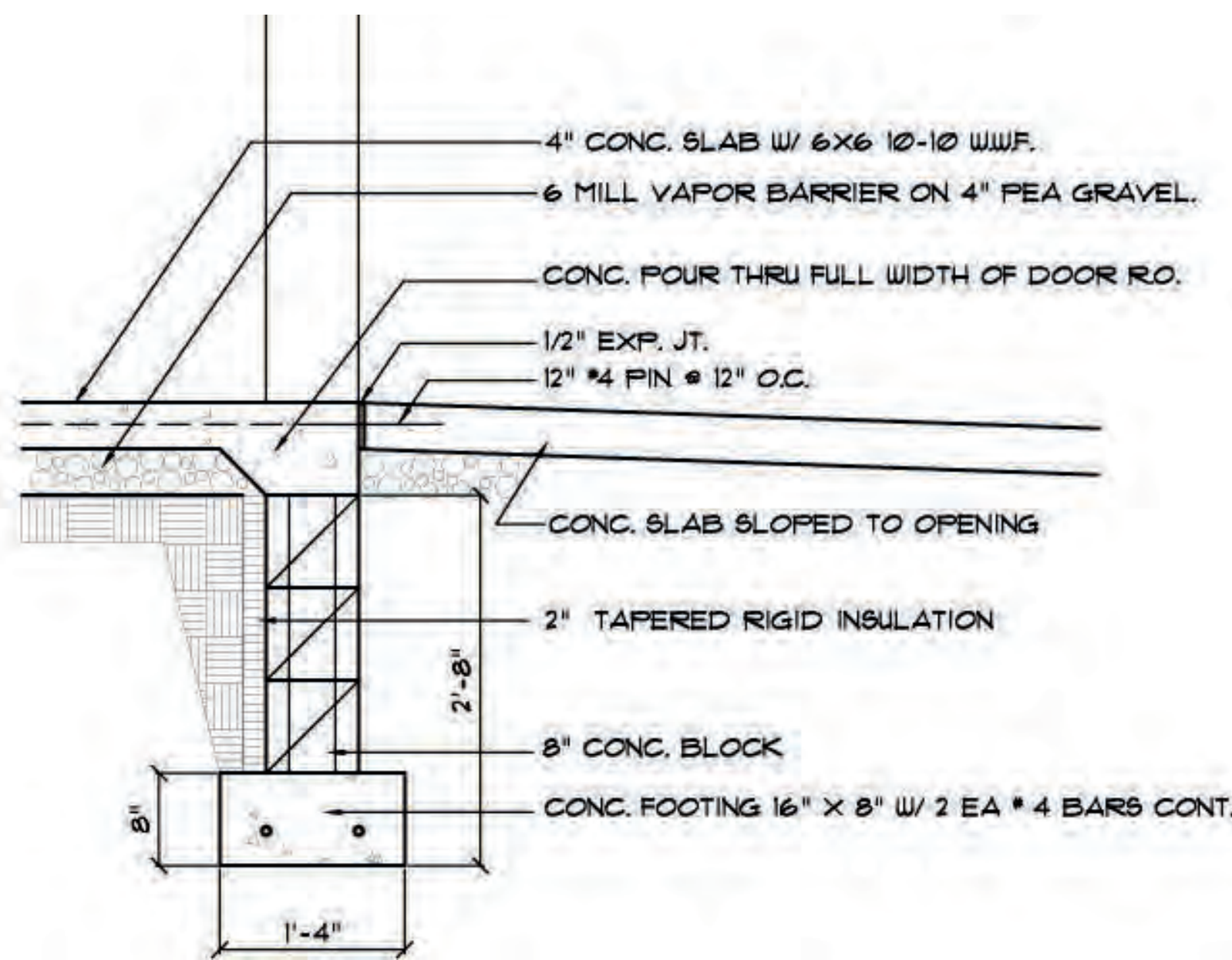
WALL SECTION



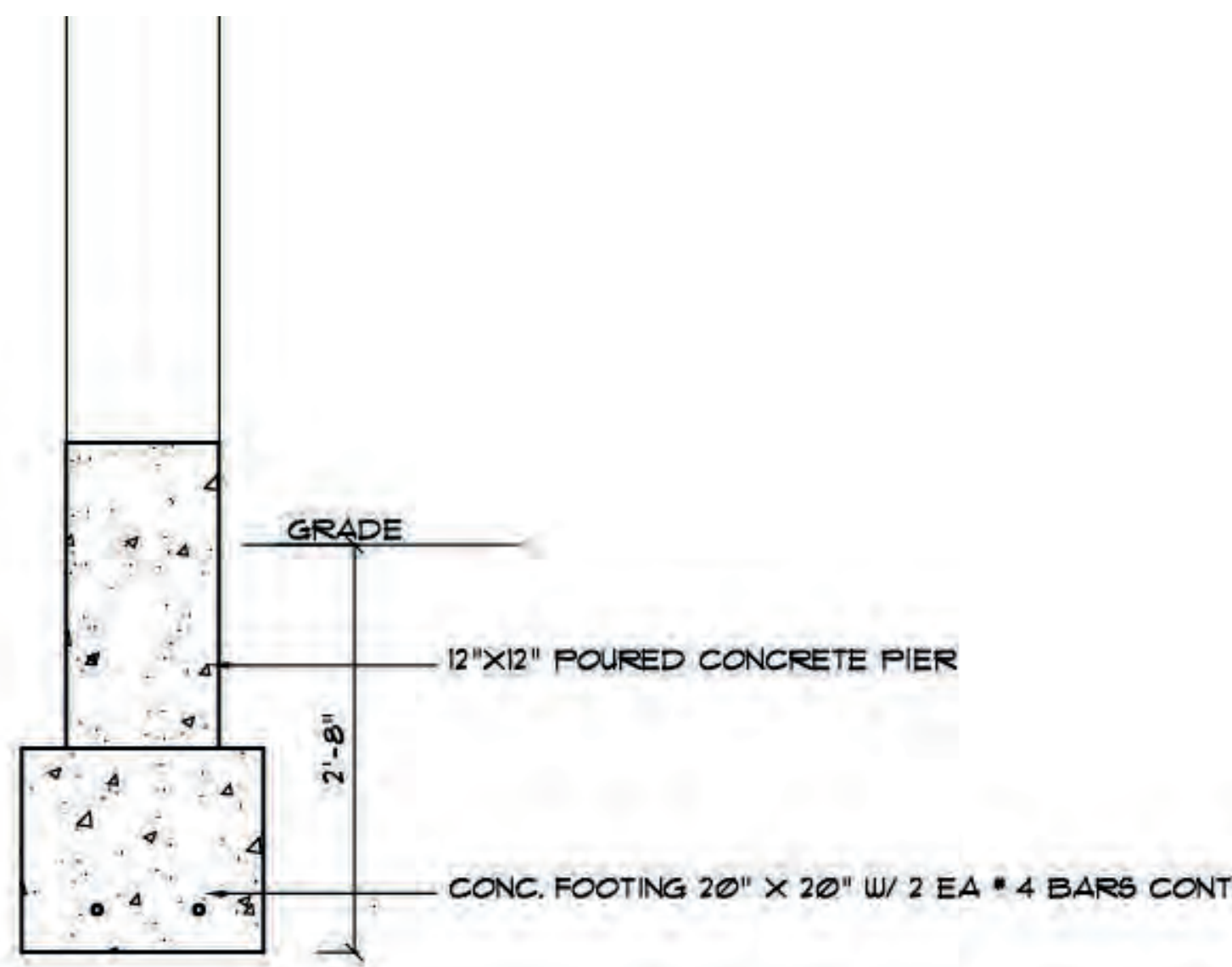
WALL SECTION



PERIMETER FOUNDATION



DOOR POUR THROUGH



COLUMN FOUNDATION



# Huber Heights Fire Division

**Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)**

Occupancy Name:	Truck Stop, Diesel Repair Shop & C-Store		
Occupancy Address:	State Route 235		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	22-031
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	3/7/2022

## **Fire Department Comments:**

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

**These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017, and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.**

### **Requirements:**

- Please review requirements for fire service features in Ohio Fire Code (OFC), Rule 5.
- Canopy clearance shall be a minimum height of 13 feet 6 inches in accordance with Ohio Fire Code 503.2.1.
- The turning radius for fire department access roads shall meet requirements for Huber Heights Fire Division (HHFD) vehicles. Contact HHFD to obtain information. OFC 503.2.4 and Appendix D103.3. ***(This applies to access to buildings as well.)***
- Fire department access roads shall not have dead ends over 150 feet without an approved turnaround. OFC 503.2.5 and Appendix D103.4. ***(This applies to access to buildings as well.)***
- The water supply for fire protection shall meet the requirements of OFC 507 and Appendix B. Calculations and findings will need to be determined

and provided. Water Main and hydrant extension sizes and spacing will also need to be shown in detail. Fire flow requirements shall be determined in accordance with Ohio Fire Code, Appendix B, Fire Flow Requirements for Buildings. Once the fire flow has been determined the minimum number of required fire hydrants can be confirmed. *(Building Construction Classification and Square Footage will need to be determined first).*

- Fire hydrant spacing shall also meet the requirements of HHCO 1521.
- Buildings provided with fire sprinkler systems will need to have a fire department connection located within 75 feet of a fire hydrant in accordance with Huber Heights Codified Ordinance 1521.01(e). The connection shall be a 4" Storz fitting with a 30-degree turn-down. *(Engineer/Architect shall determine if buildings will be required to be sprinklered.)*

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-8285

7. A.

**Planning Commission**

Meeting Date: 03/29/2022

Combined Basic and Detailed Development Plan

---

Information

Agenda Title

COMBINED BASIC AND DETAILED DEVELOPMENT PLAN - The applicant, CAMPBELL BERLING HUBER HEIGHTS, LLC, is requesting approval of a Rezoning to Planned Residential (PR) and a Combined Basic and Detailed Development Plan (CBDP 22-11)

Purpose and Background

---

Attachments

Staff Report

Decision Record

Drawings

Drawings

Concept Plan

Fire Assessment

Proposed elevations

Proposed elevations

Proposed elevations

Proposed elevations

Proposed elevations

Opposition Letters

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# Memorandum

Staff Report for Meeting of March 29, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner  
Community Planning Insights

Date: March 22, 2022

Subject: BDP 22-11 Rezoning, Combined Basic & Detailed Development Plan  
Addington Subdivision

Application dated March 4, 2022

Department of Planning and Zoning

City of Huber Heights

**APPLICANT/OWNER:** Cambell Berling Huber Heights, LLC – Applicant  
Richard and Marilyn Storck - Owner

**DEVELOPMENT NAME:** Addington

**ADDRESS/LOCATION:** Bellefontaine Road (P70 03908 0126)

**ZONING/ACREAGE:** A – Agricultural / 22.96 Acres

**EXISTING LAND USE:** Vacant / Agricultural

**ZONING  
ADJACENT LAND:** PR – West; A – North; A – East; R-1 - South

**REQUEST:** The applicant requests approval of a rezoning to Planned Residential (PR) and approval of a combined basic and detailed development plan to construct 97 units on 22.38 acres.

**ORIGINAL APPROVAL:** N/A

**APPLICABLE HHCC:** Chapter 1171, 1172

**CORRESPONDENCE:** In Favor –  
In Opposition –

## **STAFF ANALYSIS AND RECOMMENDATION:**

### **Overview:**

This case was originally ZC 21-47, which contemplated 132 units (66 2-family townhomes) on approximately 23 acres. The applicant withdrew the application and is now submitting approval for 97 units, comprised of 29 single-family lots and 34 two-family townhomes. The average density is approximately 4.33/units per acre.

### **Applicable Zoning Regulations**

The applicable zoning chapters include: 1171 General Provisions, 1172 Planned Residential District, 1181 General Provisions. The relevant sections are cited and discussed below:

#### Chapter 1171 General Provisions

##### 1171.01 Purpose.

Planned Unit Developments Districts may be permitted as amendments to the zoning map, after application and approval of specific and detailed plans, where tracts suitable in location and character for the uses and structures proposed are to be planned and developed as units. The provisions of this chapter are adopted to unify planning and development in such districts. Applications for rezoning of land into a Planned Unit Development District shall be granted only when the basic development plan for the project is such that the public health, safety and morals shall not be jeopardized by a departure from the restrictions on corresponding uses in the standard zoning district. PUD rezonings may be approved only when a basic development plan for the area has been approved by Council. A detailed development plan shall then be approved for zoning permit to be approved for development in the District. Normally the detailed development plan shall be approved by the Planning Commission after the rezoning and basic development plan have been approved by Council. Owners shall have the option however, of submitting a combined basic and detailed development plan ("combined development plan") if they should so desire for some or all of the site.

(Ord. 93-O-602, Passed 3-22-93)

##### 1171.05 Contents of basic development plan.

- (a) The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:
  - (1) Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;
  - (2) Typical elevation views of the front and side of each type of building;
  - (3) Planning location and dimensions of all proposed drives, service access road, sidewalks and curb openings;
  - (4) Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;
  - (5) Landscaping plan, walls and fences;

- (6) Storm water detention and surface drainage;
  - (7) Exterior lighting plan;
  - (8) Vehicular circulation pattern;
  - (9) Location and square footage of signs;
  - (10) Topographic survey; and
  - (11) Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.
- (b) The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.

(Ord. 2006-O-1655, Passed 9-25-05)

#### 1171.06 General standards for approval.

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;
- (b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;
- (c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;
- (d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;
- (e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;
- (f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;
- (g) Shall preserve natural features such as water courses, trees and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;
- (h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;
- (i) Shall place underground all electric and telephone facilities, streetlight wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;

- (j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;
- (k) Shall not involve uses, activities, processes, materials, equipment and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and
- (l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.

(Ord. 93-O-602, Passed 3-22-93)

#### 1171.09 Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.

(Ord. 89-O-339, Passed 2-6-89)

#### 1171.091 Planning commission/council review.

It is the purpose of the Planning Development regulations to encourage property owners to develop their land in efficient and effective ways. It is the intent of these regulations to encourage land uses which may not always meet traditional zoning rules. Inherent in these Planned Development regulations is an opportunity for property owners to develop their sites without requiring strict compliance with all zoning regulations where the overall plan is deemed to be in the best interest of the City. During review of a Basic or Detailed Development Plan by the Planning Commission or City Council, all requirements within Part 11, Title 7 of the Code are to be used as guidelines and may be varied as part of the Basic or Detailed Development Plan if it is determined that such deviation will not materially adversely affect neighboring properties or the community as a whole, any such variation of these requirements does not change the overall plan and character of the proposed development, and the variance does not have the effect of nullifying the intent and purpose of these regulations or the Zoning Ordinance. In granting variances or modifications, the Commission or Council may require such conditions as shall, in its judgement, secure substantially the objective of the standards or requirements so varied or modified.

(Case 427; Ord. 2002-O-1367, Passed 9-9-02)

### **Development Standards Analysis:**

#### 1172.03 Development standards (Planned Residential)

Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions", shall govern. In addition, the following development standards apply:

- (a) Minimum "PR" Land Area Requirement.
  - (1) A minimum of one acre shall be required.
- (b) Dwelling Unit Density—Five Dwelling Units.
  - (1) The average dwelling unit density for the entire district shall not exceed five dwelling units (DU) per acre.
  - (2) Minimum area standards such as individual lot size, frontage, setbacks, side and rear yards shall be those prescribed in the City approved detailed final development plans, except that:
    - A. Lots for detached single family dwellings shall meet each of the standards set forth in Section 1147.04.

The proposed development contains 97 dwelling units on approximately 23 acres, which yields an average density of 4.33 dwelling units per acre, which is consistent with the surrounding neighborhood character.

Section 1147.04 has the following standards:

All lots shall have an area, frontage and yard requirements as follows:

			*Front	Side Yard Widths		Rear
	Lot (square feet)	Lot Frontage (feet)	Yard Depth (feet)	Least Width (feet)	Sum of Least Width (feet)	Yard Depth (feet)
Dwellings	7,500	60	25	8	20	40

The applicant proposes the following:

			*Front	Side Yard Widths		Rear
	Lot (square feet)	Lot Frontage (feet)	Yard Depth (feet)	Least Width (feet)	Sum of Least Width (feet)	Yard Depth (feet)
1-family 60' (29 lots)	7,200	60	25	6	12	20
2-family 64' (19 lots)	5,760	64	25	7.5	14	20
2-family 72' (15 lots)	7,920	72	25	7.5	14	20

The proposed one-family lots are slightly smaller and 20-feet shallower than what is prescribed by the code. The 64-foot-wide lots are significantly smaller in square footage than prescribed by the code, however this does provide a housing product for those

households who do not want or need a larger yard. Overall, the average lot size in this development is 6,937 square feet. In staff's professional opinion the slightly smaller and shallower lots will have a negligible impact on surrounding properties and the character of the area.

#### 1172.04 Parking and loading.

- (a) The provisions of Chapter 1185, "Parking and Loading", shall apply, except that at least two permanently maintained parking spaces shall be provided for each family unit, except for detached single family dwellings.
- (b) Required parking spaces shall not be part of public thoroughfares, private roads leading to and serving the sites of the various uses in this district.

(Ord. 89-O-339, Passed 2-6-89)

Each unit, both detached and attached, will contain a two-car garage, along with driveway space for parking. The proposal complies with this standard.

#### 1172.05 Utilities.

The distribution systems for utilities are required to be underground.

(Ord. 89-O-339, Passed 2-6-89)

All utilities will be placed below ground.

### 1181 General Provisions

#### 1181.20 Building materials for dwellings.

- (a) One-Story Dwellings. All exterior walls of one-story dwellings shall be constructed of brick or other approved masonry type of material.
- (b) Dwellings Over One Story. All first-floor exterior walls of dwellings over one story shall be constructed of brick or other approved masonry type of materials. Other exterior wall areas of dwellings over one story may be constructed of other code approved building materials; provided, however, no vinyl siding shall be permitted, unless permitted under subsection (c) hereof.
- (c) Exceptions. The requirement for certain exterior walls of dwellings to be constructed of brick or other approved masonry type of material shall not apply to:
  - (1) Exterior wall areas of the dwelling where federal, state and/or local building codes prohibit the use of brick or other masonry materials such as gas fireplace inserts, cantilevers, gables, overhangs, downspouts and gutters, kitchen and other bays and other type of protrusion for which it is not reasonably practical to use the material stated above.
  - (2) Room additions, remodeling, or reconstruction, to or of, dwellings that do not comply with subsections (a) and (b) above when such dwellings were constructed prior to enactment of this Ordinance. Material that is used for additions or remodeling must be similar to the existing structure and maintain the integral look of the dwelling.

- (3) Any dwelling constructed on a lot in a subdivision whose preliminary plat was approved prior to February 1, 2007 but received final plat approval after February 1, 2007. Provided, however, all such dwellings shall have front facades with a minimum 50 percent brick or other approved masonry type of material.
- (d) Definitions. For purposes of this section, the following terms shall have the following definitions:
  - (1) "Dwelling" means any building or portion thereof occupied or intended to be occupied exclusively for residential purposes, but not including a tent, cabin, trailer or trailer coach or other temporary or transient structure or facility.
  - (2) "First floor" means the highest point at the finish grade of the proposed ground surface.
  - (3) "Other approved masonry type of material" means masonry material approved in advance by the Planning Commission so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity so that such use will not change the essential character of the same area.
  - (4) "Front Façade" means the side of the building facing the lot front as defined by Section 1123.69 (Lot, Front).

(Ord. 2011-O-1925, Passed 11-28-11)

The applicant has submitted proposed elevations that that are consistent with this requirement.

### **Additional Considerations**

While landscaping and screening is not required in the Planned Residential District, the applicant is proposing significant buffering and screening along Bellefontaine Road, and along the interior gas transmission easement.

### **Staff Analysis of Standards for approval**

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;

The comprehensive plan indicates this area should be single-family with a maximum density of six (6) units per acre. The proposed development contains 29 single-family homes and 35 duplex townhomes. The overall density of the development is 4.33 units per acre, consistent with the comprehensive plan.

- (b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;

While no phasing plan was submitted with the application, this is a relatively small subdivision for Huber Heights.

- (c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of

the proposed development shall be adequate to serve the residents or occupants of the proposed development;

The public roads are adequate for this development. Bellefontaine Road is classified as a Major Collector in the City Thoroughfare Plan.

- (d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;

The site is served by adequate utilities.

- (e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;

Draft covenants were not included in the application, however the standards set by the Planning Commission will be incorporated into the covenants before any zoning permit is issued.

- (f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;

The applicant is proposing significant landscaping and screening beyond the code requirements along Bellefontaine Road. Additional tree plantings are proposed throughout the development in the common areas.

- (g) Shall preserve natural features such as water courses, trees and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;

This site is currently used for agriculture and no natural features exist.

- (h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;

The site plan takes advantage of the natural grade and existing contours to limit grading and arrange the building sites in an efficient manner. A gas pipeline easement and the site width significantly constrain design options.

- (i) Shall place underground all electric and telephone facilities, streetlight wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;

All utilities will be placed below ground.

- (j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community.

This residential development should not create excessive additional requirements to the community.

- (k) Shall not involve uses, activities, processes, materials, equipment and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and

Only residential uses are contemplated for this site.

- (l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.

The rezoning from Agricultural to Planned Residential is consistent with previous residential developments in this area.

### **STAFF RECOMMENDATION**

It is the staff's opinion the proposal meets the standards outlined in Section 1171.06 and the intent of 1171.09. Staff recommends approval of the rezoning to Planned Residential and the combined Basic and Detailed Development Plan to construct 97 homes. Staff recommends approval with the following conditions:

- 1) The dwellings shall meet the material requirements of Section 1181.20 Building Materials for Dwellings;
- 2) The applicant will comply with all stormwater requirements, per the City Engineer;
- 3) The applicant will comply will all Fire Code requirements, per the Huber Heights Fire Department.

### **Planning Commission Action**

Planning Commission may take the following actions with a motion:

- 1) Approve the rezoning and Combined Basic and Detailed Development Plan;
- 2) Deny the Combined Basic and Detailed Development Plan (the Commission should state the specific reasons for denial); or
- 3) Table the application.



## Planning Commission Decision Record

WHEREAS, on March 4, 2022, the applicant, Campbell Berling, requested approval of a Rezoning to Planned Residential (PR) and a Combined Basic and Detailed Development Plan for 22.38 acres for property located on the East side of Bellefontaine Road and South of Chambersburg Road, further identified as Parcel Number P70 03908 0126 of the Montgomery County, Ohio Recorder's Office (Zoning Case CBDP 22-11), and;

WHEREAS, on March 29, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

\_\_\_\_\_ moved to recommend approval of the application by Campbell Berling, for a Rezoning and a Combined Basic and Detailed Development Plan for property located on the East side of Bellefontaine Road and South of Chambersburg Road, further identified as Parcel Number P70 03908 0126 of the Montgomery County, Ohio Recorder's Office (Zoning Case CBDP 22-11), in accordance with the recommendation of Staff's Memorandum dated March 22, 2022 with the following conditions:

1. The dwellings shall meet the material requirements of Section 1181.20 Building Materials for Dwellings;
2. The applicant will comply with all stormwater requirements, per the City Engineer;
3. The applicant will comply will all Fire Code requirements, per the Huber Heights Fire Department.

Seconded by. Roll call showed: YEAS:    NAYS:    Motion to recommend approval carried .

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Terry Walton, Chair  
Planning Commission

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Date

**MSP**  
DESIGN  
McGill Smith Punshon

Project Manager	RA
Drawn By	NAK
DWG	20632004-IMP-04-2022
X-Ref(s)	20632003-BAS-00

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**ADDINGTON**

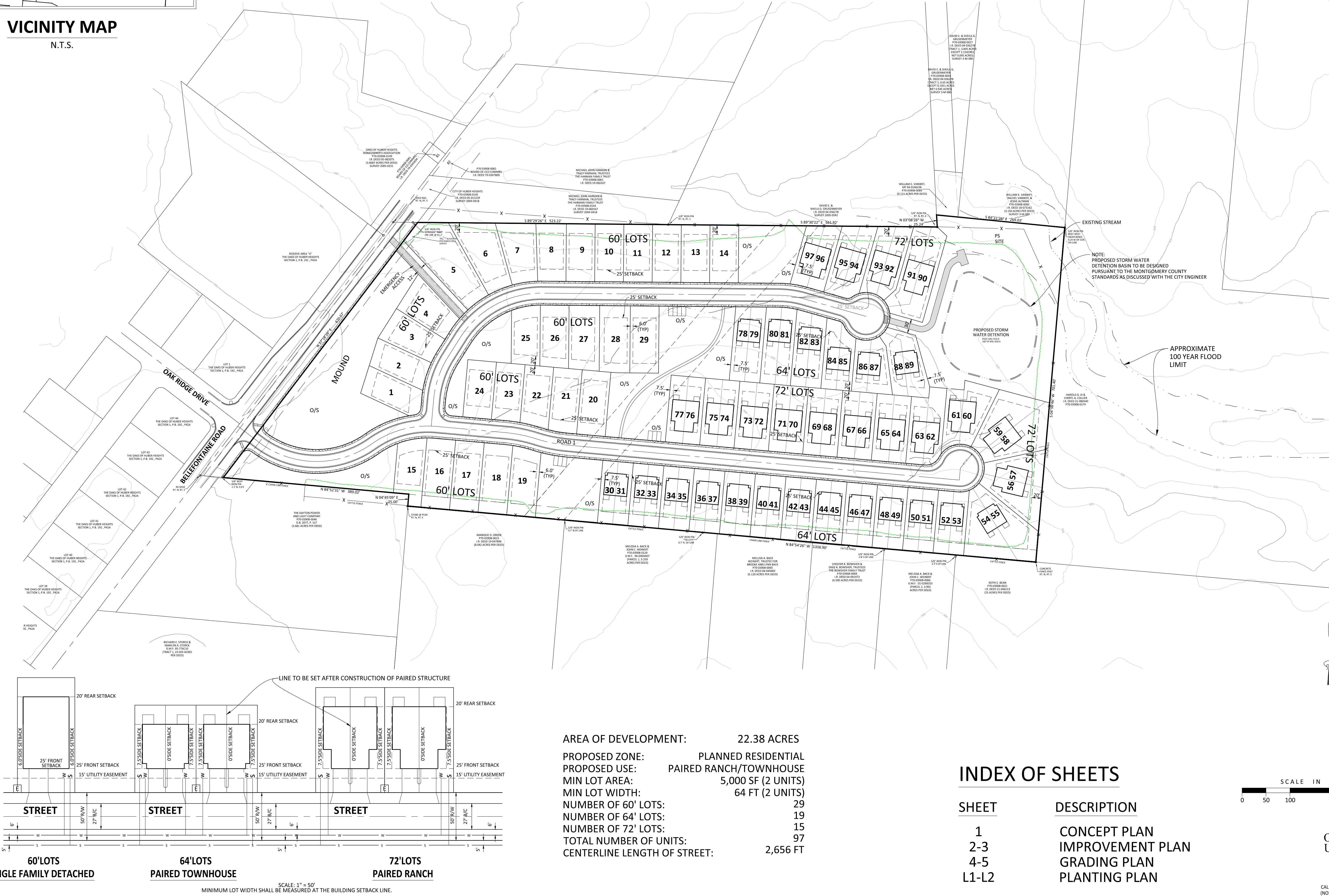
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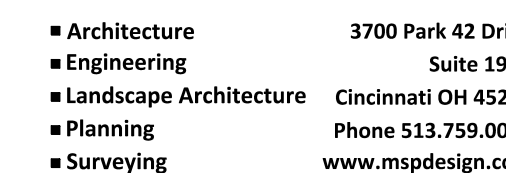
**SITUATE IN SECTION 16, TOWNSHIP 2, RANGE 8, MRS**

**MONTGOMERY, OHIO**

**CITY OF HUBER HEIGHTS  
SITUATE IN SECTION 16, TOWNSHIP 2, RANGE 8, MRS  
MONTGOMERY, OHIO**

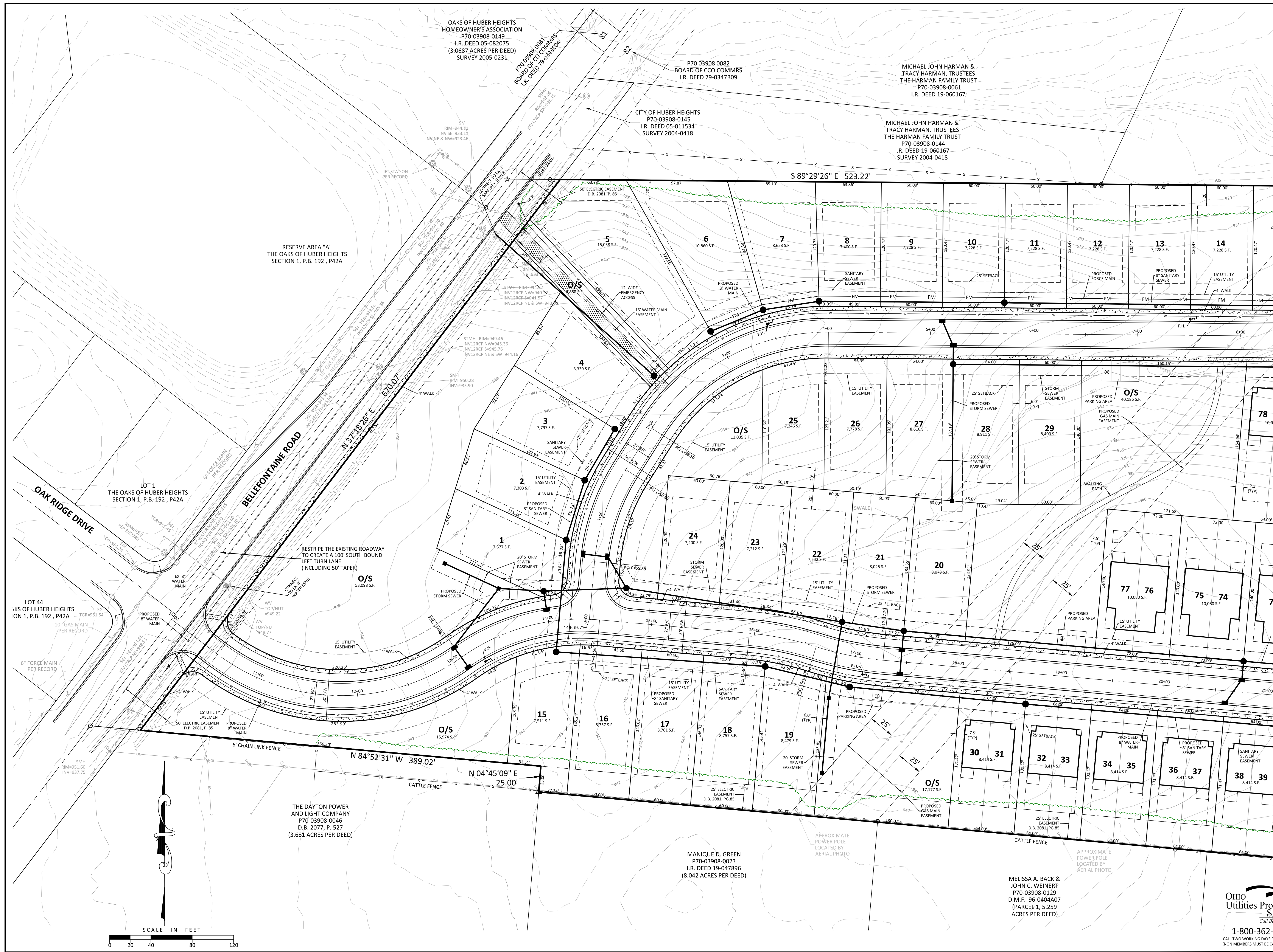
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File Number	20632

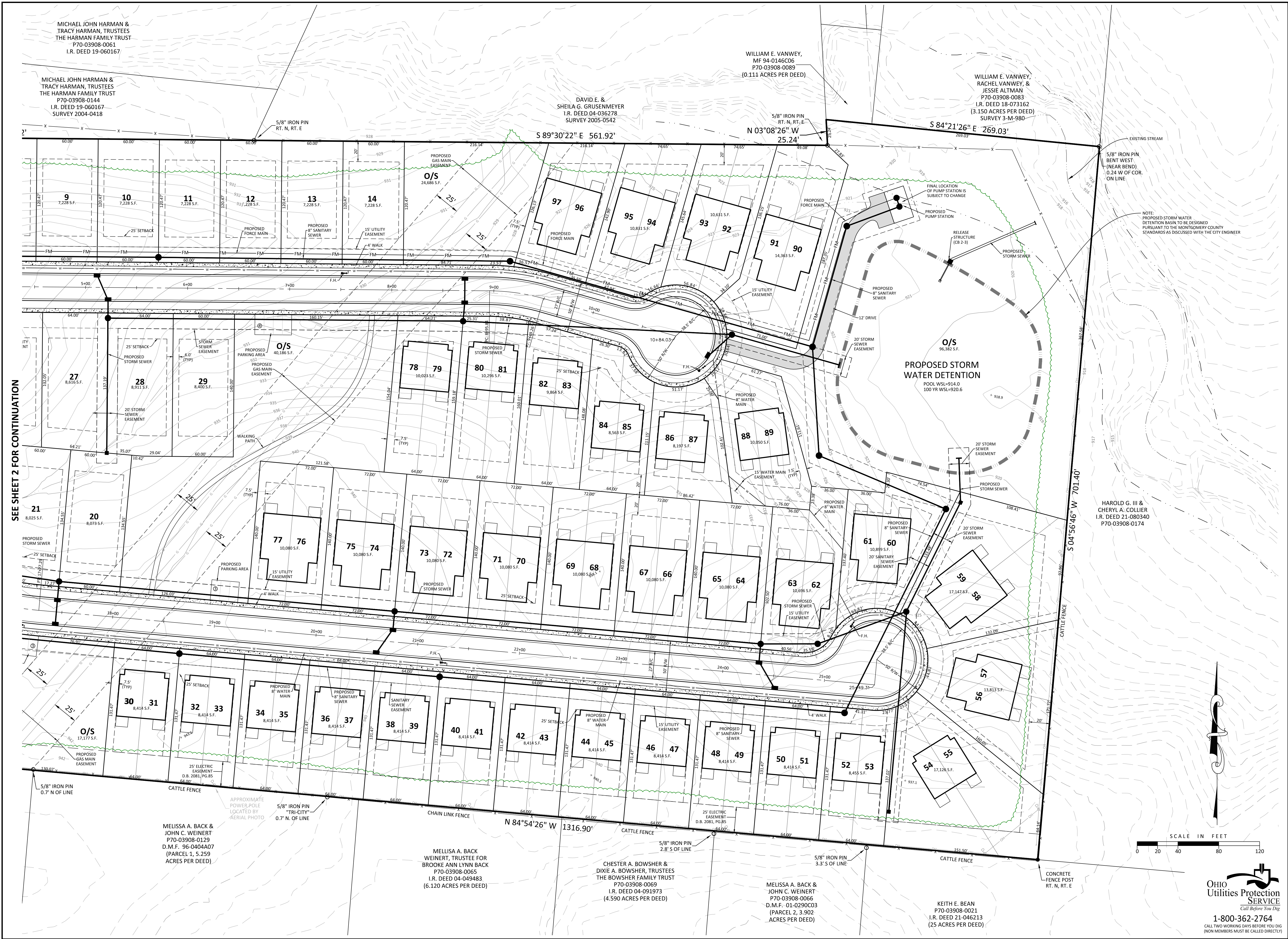


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**ADDINGTON**  
CITY OF HUBER HEIGHTS  
SITUATE IN SECTION 16, TOWNSHIP 2, RANGE 8, MRS  
MONTGOMERY OHIO

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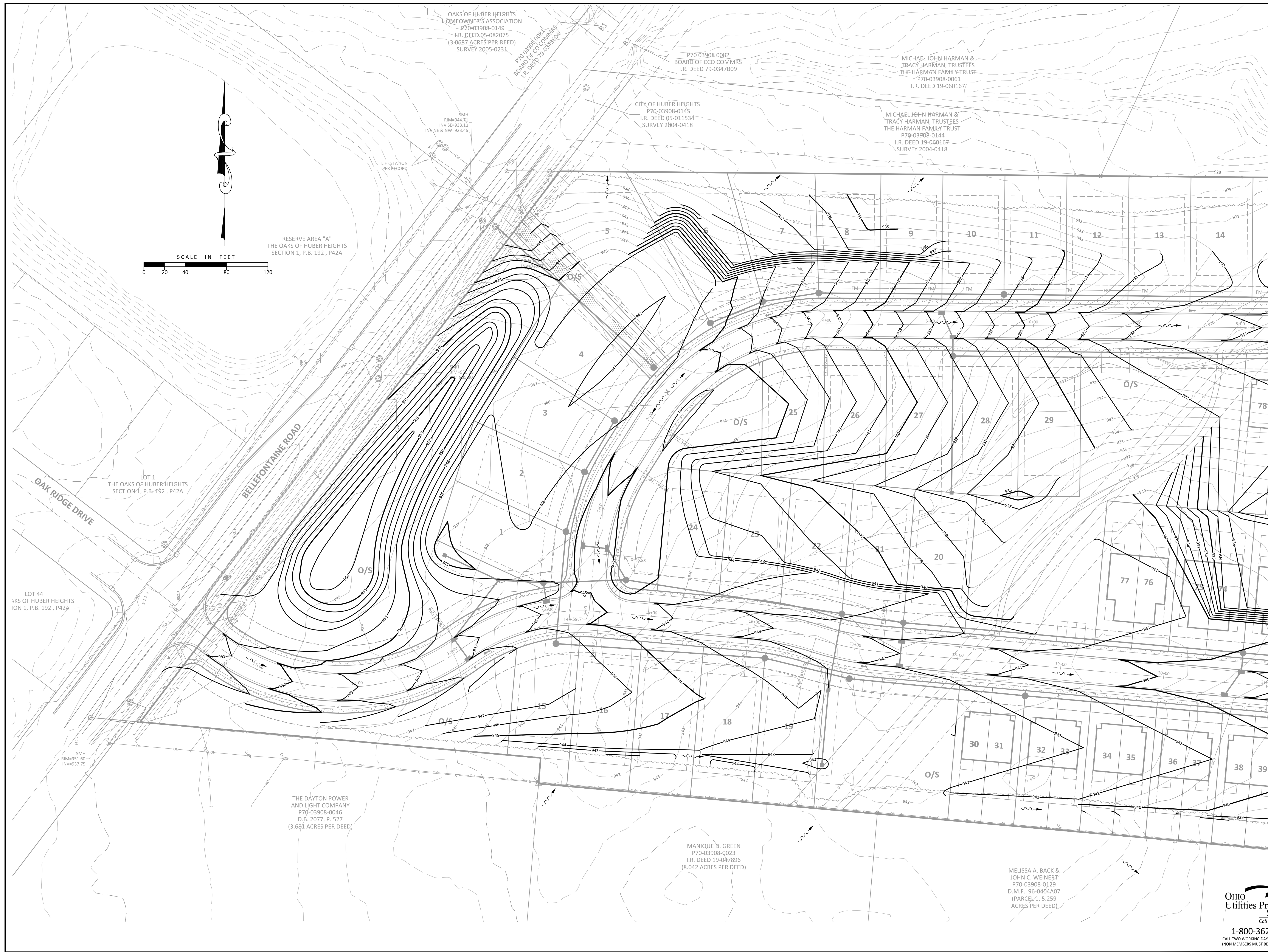


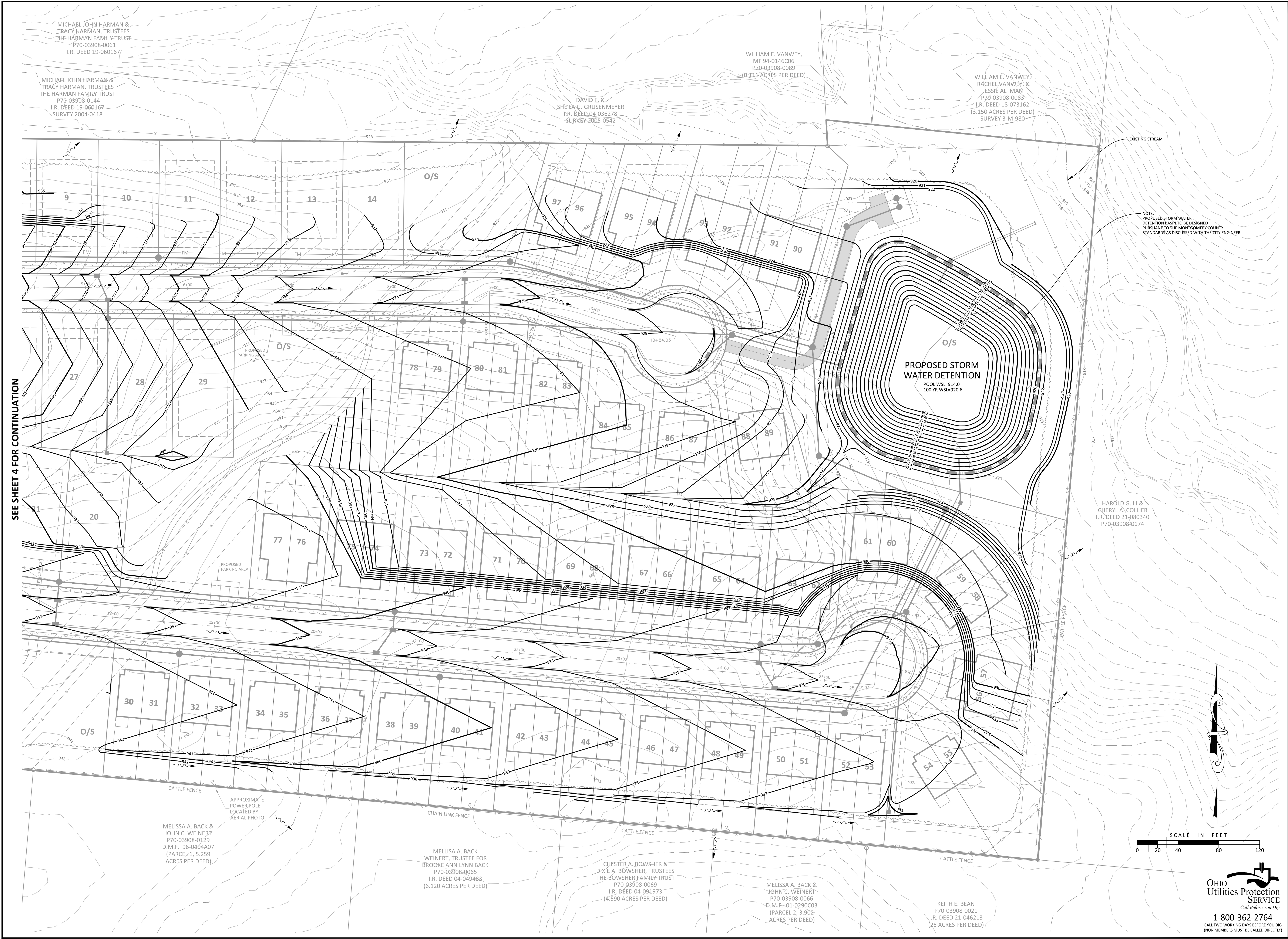


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**CITY OF HUBER HEIGHTS  
SITUATE IN SECTION 16, TOWNSHIP 2, RANGE 8, MRS  
MONTGOMERY OHIO**

Project Number	20632.0
Drawing Scale	1" = 4'
Sheet Number	1
File Number	2063





**MSP**  
DESIGN  
McGill Smith Punshon

Architecture 3700 Park 42 Drive  
Engineering Suite 190B  
Landscape Architecture Cincinnati OH 45241  
Planning Phone 513.759.0004  
Surveying www.mspsdesign.com

Project Manager RA  
Drawn By NAK  
DWG 20632004-IMP-04-2022  
X-Ref(s) 20632003-BAS-00

Issue/Revision	No.	Date

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# ADDINGTON

CITY OF HUBER HEIGHTS  
SITUATE IN SECTION 16, TOWNSHIP 2, RANGE 8, MRS  
MONTGOMERY, OHIO

Sheet Title

**GRADING PLAN**

Project Number 20632.00  
Drawing Scale 1" = 40'  
Sheet Number 5  
File Number 20632

<u>EVERGREEN TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
NS	17	Picea abies	Norway Spruce	6'-7' HI B&B
WP	20	Pinus strobus	White Pine	6'-7' HI B&B
GG	7	Thuja x 'Green Giant'	Green Giant Arborvitae	6'-7' HI B&B
<u>ORNAMENTAL TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
CC	3	Cercis canadensis	Eastern Redbud	2' CAL., B&B
PRO	3	Malus x 'Prairie Fire'	Prairie Fire Crabapple	2' CAL., B&B
SSN	5	Malus x 'Spring Snow'	Spring Snow Crabapple	2' CAL., B&B
<u>SHADE TREE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
CK	2	Acer platanoides 'Crimson King'	Crimson King Norway Maple	2' CAL., B&B
RMP	7	Acer rubrum	Red Maple	2' CAL., B&B
AC	10	Acer saccharum 'Commemoration'	Commemoration Sugar Maple	2' CAL., B&B
RB	4	Betula nigra	River Birch Multi-Trunk	2' CAL., B&B
ROK	2	Quercus rubra	Red Oak	2' CAL., B&B
ALN	7	Tilia americana	American Linden	2' CAL., B&B

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**ADDINGTON**  
CITY OF HUBER HEIGHTS  
SITUATE IN SECTION 16, TOWNSHIP 2, RANGE 8, MRS  
MONTGOMERY, OHIO

## PLANTING PLAN WEST

Project Number	20632.00
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Sheet Number	L1
File Number	20632

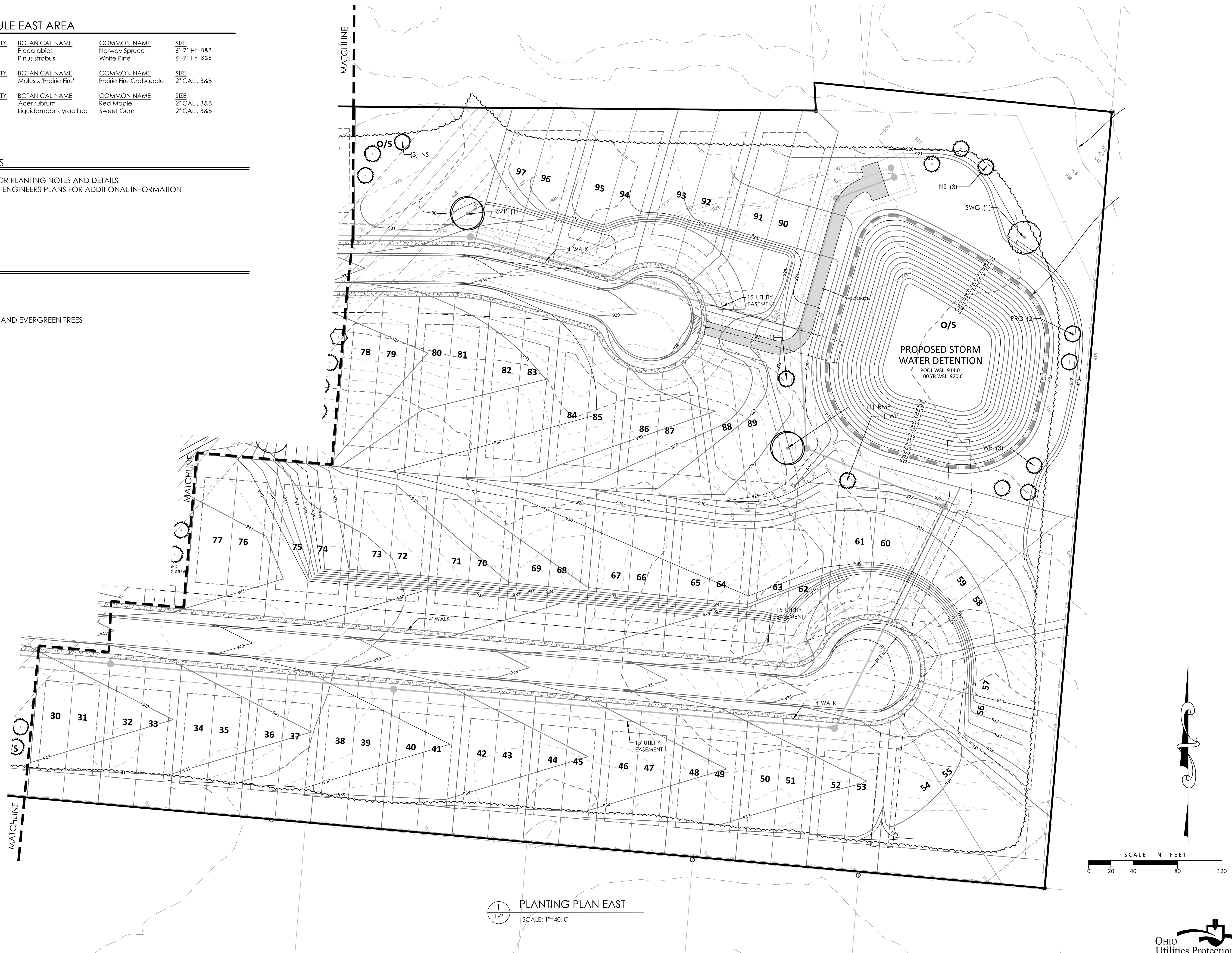


<u>EVERGREEN TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
NS	6	Picea abies	Norway Spruce	6'-7' HI B&B
WP	5	Pinus strobus	White Pine	6'-7' HI B&B
<u>ORNAMENTAL TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
PRO	2	Molus x 'Pralire Fire'	Pralire Fire Crabapple	2' CAL., B&B
<u>SHADE TREE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
RMP	2	Acer rubrum	Red Maple	2' CAL., B&B
SWG	1	Liquidambar styraciflua	Sweet Gum	2' CAL., B&B

1. SEE SHEET L3 FOR PLANTING NOTES AND DETAILS
2. REFER TO CIVIL ENGINEERS PLANS FOR ADDITIONAL INFORMATION

○ SHADE TREES

● ORNAMENTAL AND EVERGREEN TREES



1  
L-2

PLANTING PLAN EAST

SCALE: 1"=40'-0"



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**MSP**  
**DESIGN**  
**McGill Smith Punshon**

Architecture 3700 Park 42 Drive  
Engineering Suite 190B  
Landscape Architecture Cincinnati OH 45241  
Planning Phone 513.759.0004  
Surveying [www.mspdesign.com](http://www.mspdesign.com)

Project Manager	RA
Drawn By	NAK
FWG	20632006-PLA
(X-Ref(s)	20632003-BAS-00

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**ADDINGTON**  
**CITY OF HUBER HEIGHTS**  
**SITUATE IN SECTION 16, TOWNSHIP 2, RANGE 8, MRS**  
**MONTGOMERY, OHIO**

Sheet Title

## PLANTING PLAN EAST

Project Number	20632.00
Drawing Scale	1" = 40'
Sheet Number	L2
File Number	20632





**SECTION CUT LINE**

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Sheet Number	1/1
File Number	20632

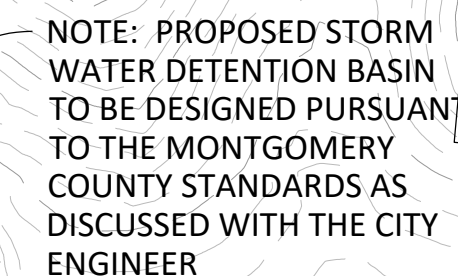


Figure 10 illustrates the typical lot dimensions and setbacks for three types of residential developments: Single Family Detached, Paired Townhouse, and Paired Ranch. The diagram shows the layout of lots, setbacks, and easements for each type.

**60' LOTS SINGLE FAMILY DETACHED:** This lot type shows a 20' rear setback, 25' front setback, 15' utility easement, 6' outside setback, and 25' front setback. The lot width is 60'.

**64' LOTS PAIRED TOWNHOUSE:** This lot type shows a 20' rear setback, 25' front setback, 15' utility easement, 7.5' side setback, 0' side setback, 7.5' side setback, 0' side setback, 7.5' side setback, and 25' front setback. The lot width is 64'.

**72' LOTS PAIRED RANCH:** This lot type shows a 20' rear setback, 25' front setback, 15' utility easement, 7.5' side setback, 0' side setback, 7.5' side setback, 0' side setback, 7.5' side setback, and 25' front setback. The lot width is 72'.

A note indicates: "LINE TO BE SET AFTER CONSTRUCTION OF PAIRED STRUCTURE".

PROPOSED ZONE:	PLANNED RESIDENTIAL
PROPOSED USE:	PAIRED RANCH/TOWNHOUSE
MIN LOT AREA:	5,000 SF (2 UNITS)
MIN LOT WIDTH:	64 FT (2 UNITS)
NUMBER OF 60' LOTS:	29
NUMBER OF 64' LOTS:	19
NUMBER OF 72' LOTS:	15
TOTAL NUMBER OF UNITS:	97
CENTERLINE LENGTH OF STREET:	2,656 FT

SCALE: 1" = 50'

MINIMUM LOT WIDTH SHALL BE MEASURED AT THE BUILDING SETBACK LINE



# Huber Heights Fire Division

**Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)**

Occupancy Name:	Addington Place – Revision 1		
Occupancy Address:	Bellefontaine Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:	Not Yet Assigned	HHFD Plan:	21-262/22-050
MCBR ELE:	Not Yet Assigned	HHFD Box:	
REVIEWER:	Susong	DATE:	3/22/2022

## **Fire Department Comments:**

*The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices*

**Approved per Review of Ohio Fire Code and adopted Life Safety Standards based on the following:**

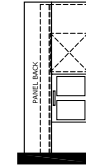
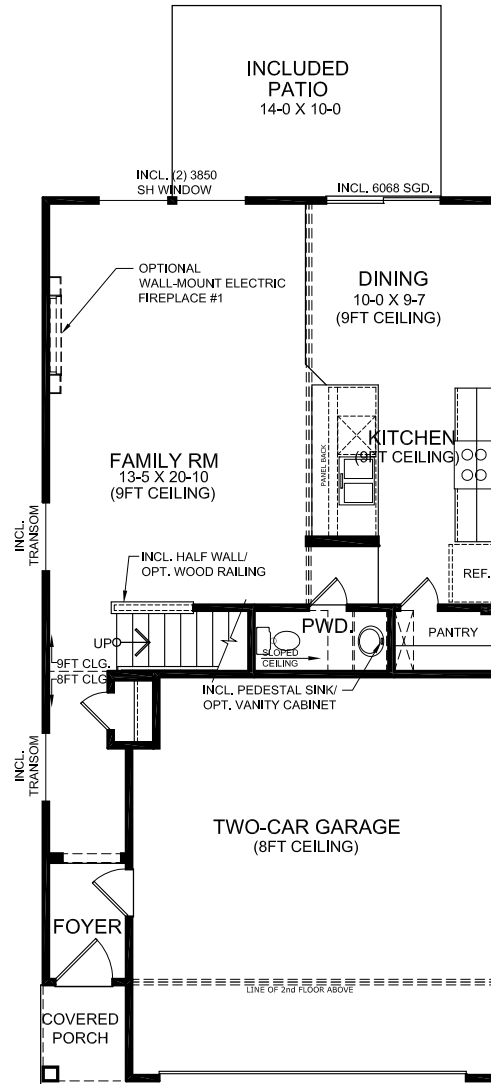
- One- or two-family residential projects having more than 30 dwelling units shall be equipped with two separate and approved fire apparatus access roads in accordance with Ohio Fire Code D106.1. A secondary access is shown connecting Bellefontaine Road and new road. This access shall comply with the following:
  - Be a minimum 20 feet wide (Ohio Fire Code 503.2.1) **Drawing shows a dimension of 12 feet, minimum width must be 20 feet.**
  - Constructed of materials capable of handling 75,000 pounds (Ohio Fire Code D102.1.) **Material has not been provided.**
- The turning radius for fire department access roads shall meet requirements for Huber Heights Fire Division (HHFD) vehicles. Contact HHFD to obtain information. Ohio Fire Code 503.2.4 and Appendix D103.3.
- Dead end fire department access roads in excess of 150 feet shall be provided with width and turnaround provisions that comply with Ohio Fire Code Appendix D103.4. Current cul de sac measurements do not appear to meet this requirement. Nor Parking signage that complies with Ohio Fire Code Appendix D103.6 shall be provided.
- Site utility plan showing fire hydrants has not been provided. **Provided.**

- Hydrants in single-family residential districts shall be placed not more than 500 feet apart, measured on the main, and no more than 400 feet from any opening in any building. Review Huber Heights Codified Ordinance 1521.06(b) for additional requirements. **Spacing appears to meet requirements.**
- All new water mains and any existing water mains that are replaced shall be eight inches in diameter or greater in all one-, two- and three-family dwelling areas and in multi-family areas or commercial areas. All water mains shall be sectionalized and looped when reasonably feasible and achievable. Dead end water mains shall only be permitted upon written approval from the Fire Official and City Engineer. Huber Heights Codified Ordinance 1519.01 - Water mains. **Drawing indicates an 8-inch water main that is looped.**
- The minimum fire-flow and flow duration requirements for one- and two-family dwellings shall comply with Ohio Fire Code B105.1. Documentation shall be provided. **Flow calculations have not been provided.**

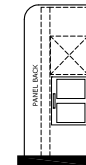
Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in ALL respects to this code, as prescribed in SECTION (D) 104.1 of the 2017 Ohio Fire Code. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with ALL applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

# HUDSON

24-201  
PAIRED PATIO



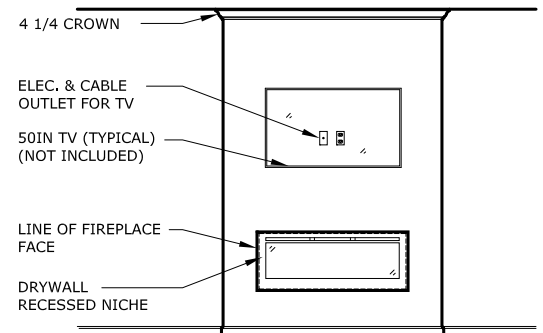
OPT. RAISED TOP ISLAND



OPT. RADIUS TOP ISLAND  
(AVAILABLE WITH GRANITE  
COUNTERTOP ONLY)

## FIRST FLOOR DESIGN

w/ INCLUDED 9FT FIRST FLOOR  
FINISHED FIRST FLOOR= 676 SQ. FT.  
FINISHED SECOND FLOOR= 981 SQ. FT.  
TOTAL FINISHED= 1,657 SQ. FT.  
GARAGE= 389 SQ. FT.  
FRONT PORCH= 20 SQ. FT.  
TOTAL UNDER ROOF= 2,066 SQ. FT.



OPTIONAL WALL-MOUNT ELECTRIC FIREPLACE #1  
SHOWN w/ INCLUDED 9FT FIRST FLR CEILING HEIGHT

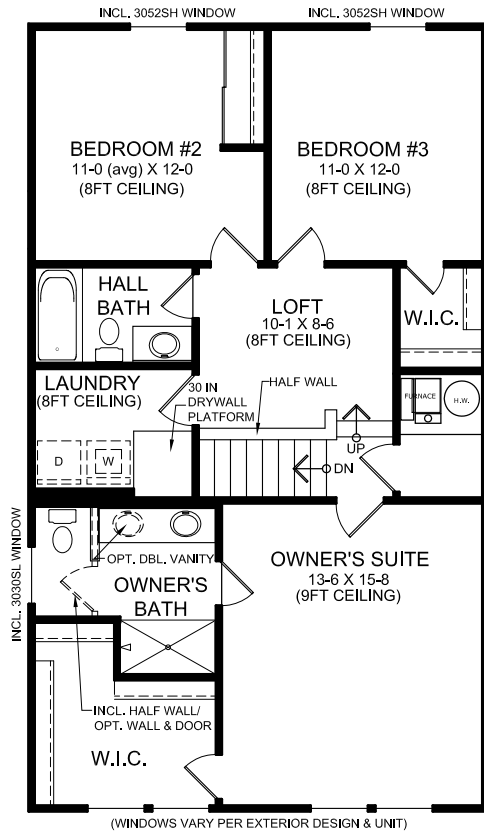


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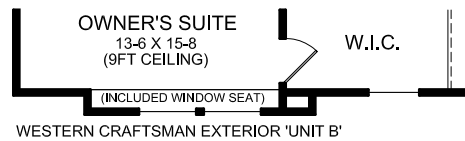
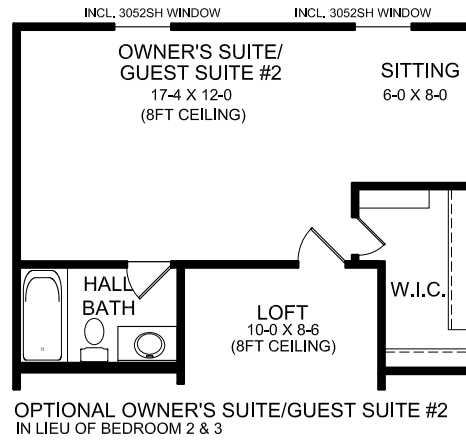
HU-1.1  
10.05.2020

# HUDSON

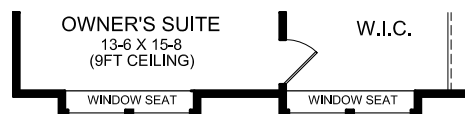
24-201  
 PAIRED PATIO



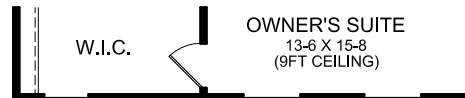
**SECOND FLOOR DESIGN**  
 (SHOWN AS WESTERN CRAFTSMAN EXTERIOR- 'UNIT A')



WESTERN CRAFTSMAN EXTERIOR 'UNIT B'



COASTAL CLASSIC EXTERIOR 'UNIT B'



COASTAL CLASSIC EXTERIOR 'UNIT A'

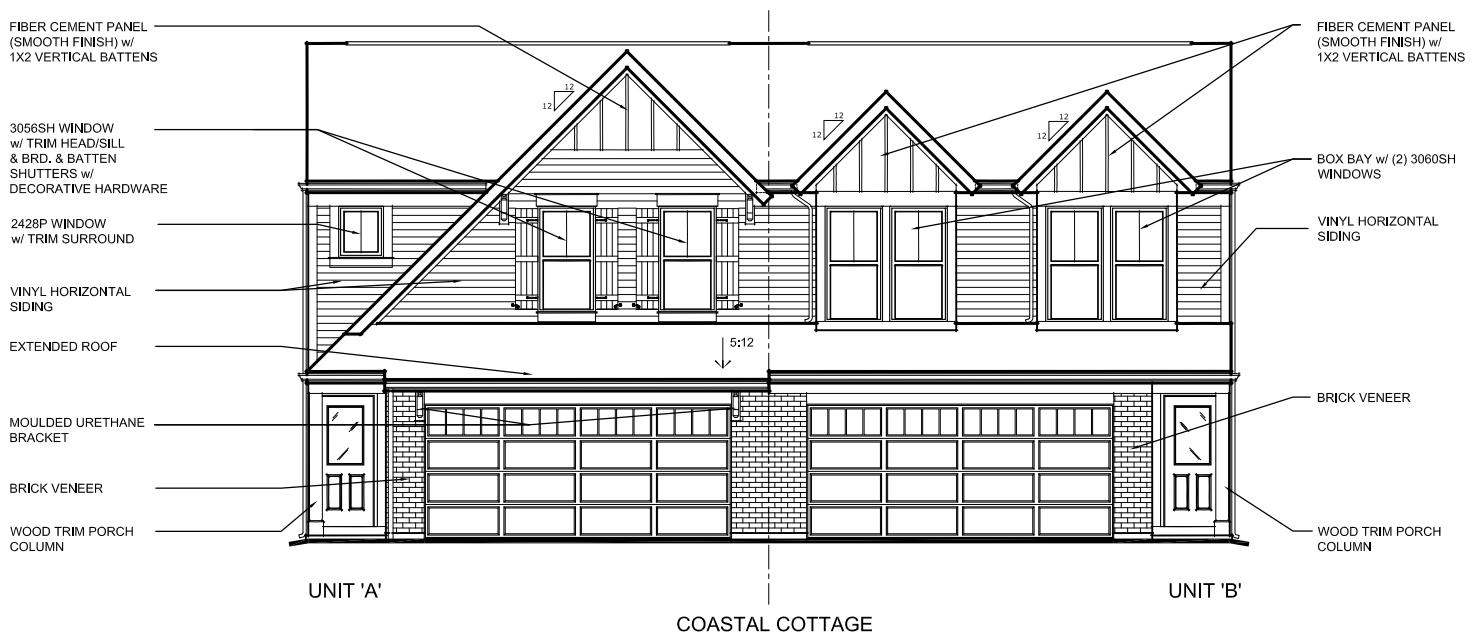


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HU-1.2  
 10.05.2020

# HUDSON

24-201  
 PAIRED PATIO



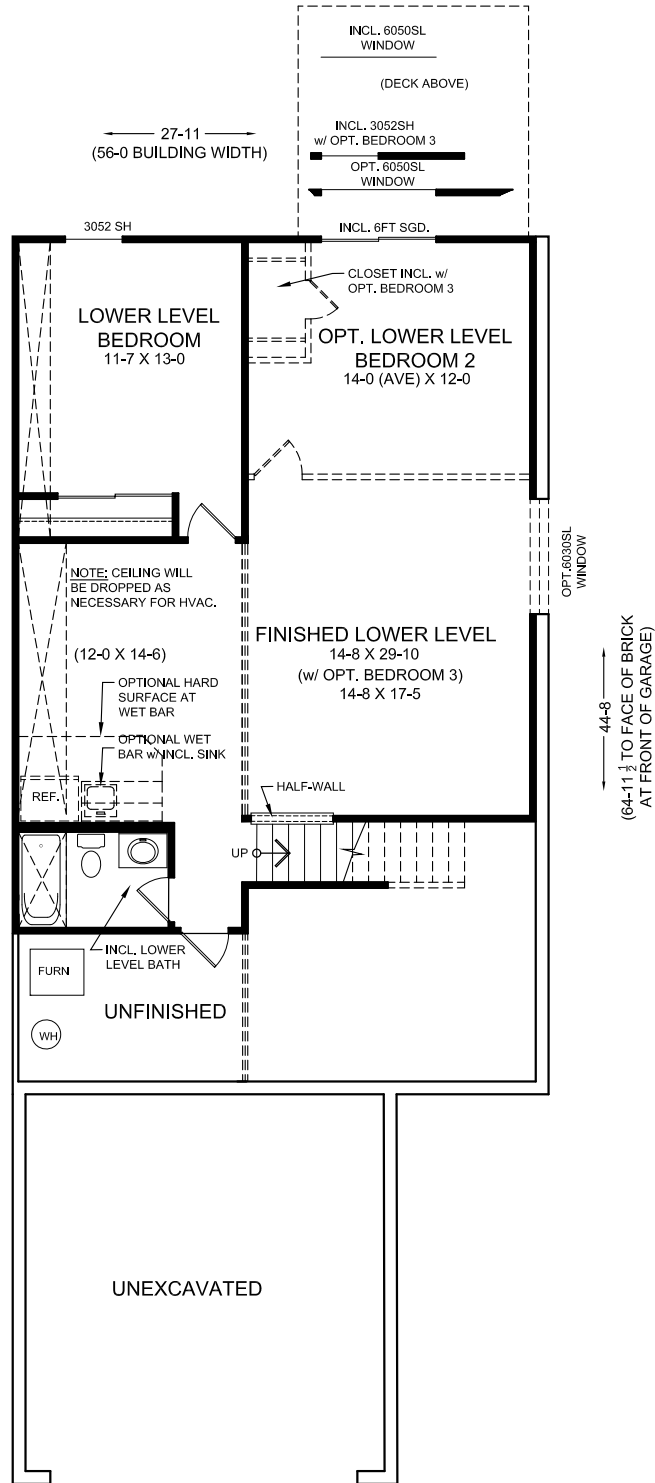
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HU-2.1  
 10.05.2020

# WEMBLEY

28-101

## PAIRED PATIO



### OPTIONAL LOWER LEVEL

w/ INCLUDED 8FT CEILING HEIGHT  
(INCLUDES FINISHED REC. RM., BEDROOM 2 & BATHROOM)

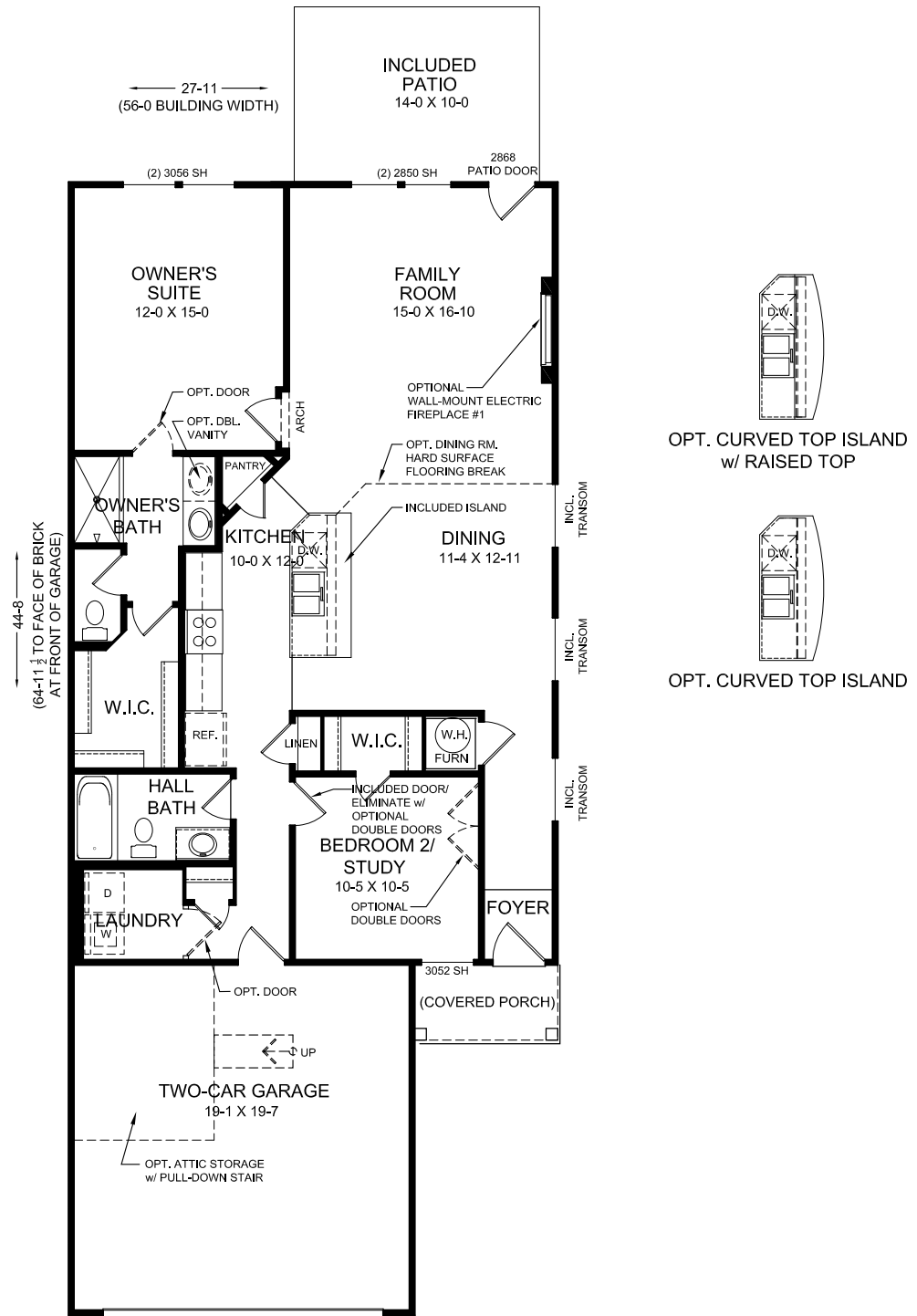


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WB-1.1  
04.06.20

# WEMBLEY

28-101  
 PAIRED PATIO



## FIRST FLOOR DESIGN w/ INCLUDED STANDARD PLAN

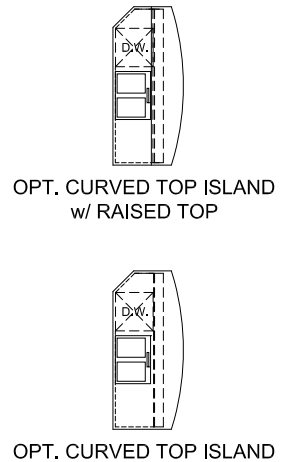
w/ INCLUDED 9FT FIRST FLOOR  
 FINISHED FIRST FLOOR= 1247 SQ. FT.  
 TOTAL FINISHED= 1,247 SQ. FT.  
 GARAGE= 393 SQ. FT.  
 FRONT PORCH= 38 SQ. FT.  
 TOTAL UNDER ROOF= 1,678 SQ. FT.



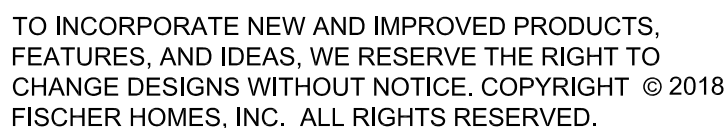
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WB-1.2  
 04.06.20

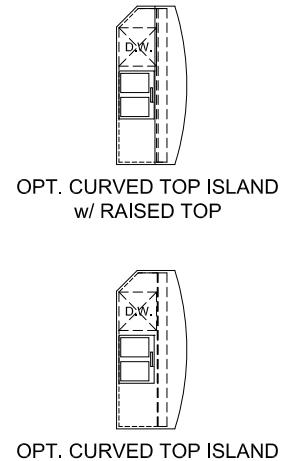
28-101  
 PAIRED PATIO



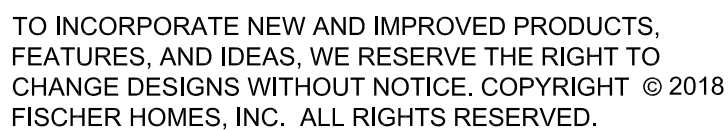
W/ INCLUDED 9FT FIRST FLOOR  
FINISHED FIRST FLOOR= 1247 SQ. FT.  
FINISHED LOWER LEVEL= 941 SQ. FT.  
TOTAL FINISHED= 2,188 SQ. FT.  
UNFINISHED LOWER LEVEL= 256 SQ. FT.  
GARAGE= 393 SQ. FT.  
FRONT PORCH= 38 SQ. FT.  
TOTAL UNDER ROOF= 2,875 SQ. FT.

WB-1.3  
04.06.20

28-101  
PAIRED PATIO



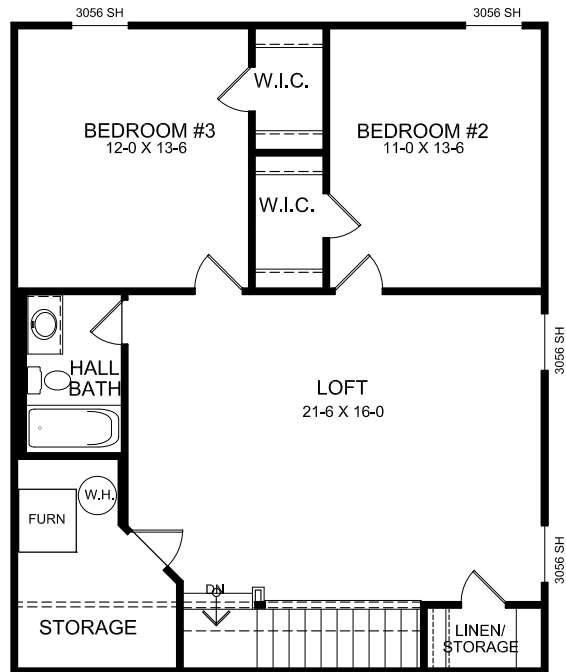
FINISHED FIRST FLOOR= 1247 SQ. FT.  
FINISHED LOFT= 947 SQ. FT.  
TOTAL FINISHED= 2,194 SQ. FT.  
GARAGE= 393 SQ. FT.  
FRONT PORCH= 38 SQ. FT.  
TOTAL UNDER ROOF= 2,625 SQ. FT.

WB-1.4  
04.06.20

# WEMBLEY

28-101

PAIRED PATIO



OPTIONAL LOFT DESIGN  
w/ INCLUDED 8FT CEILING HEIGHT



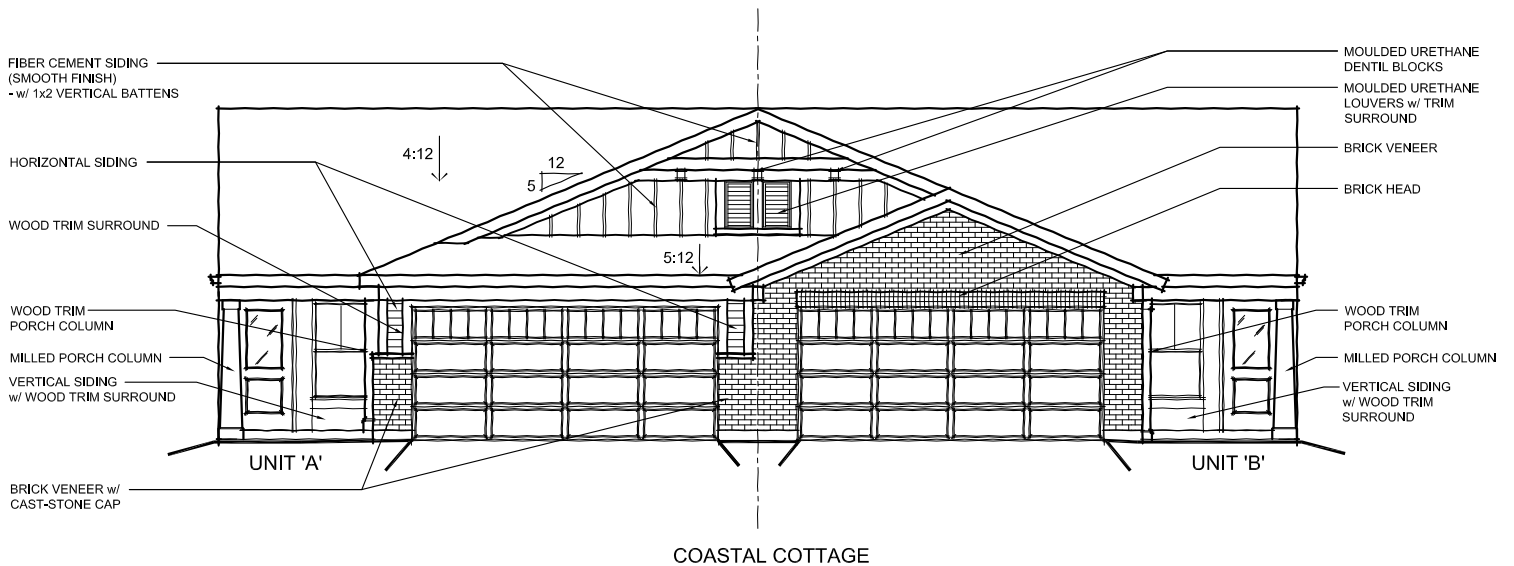
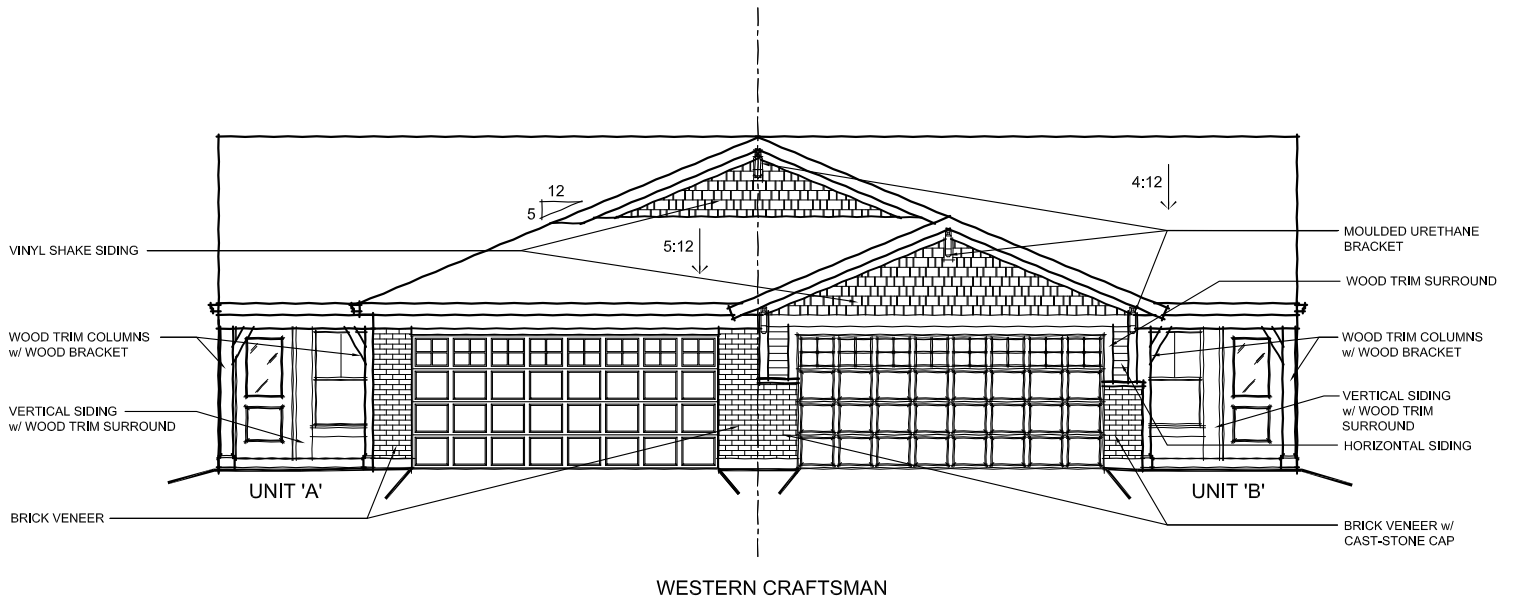
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WB-1.5  
04.06.20

# WEMBLEY

28-101

## PAIRED PATIO



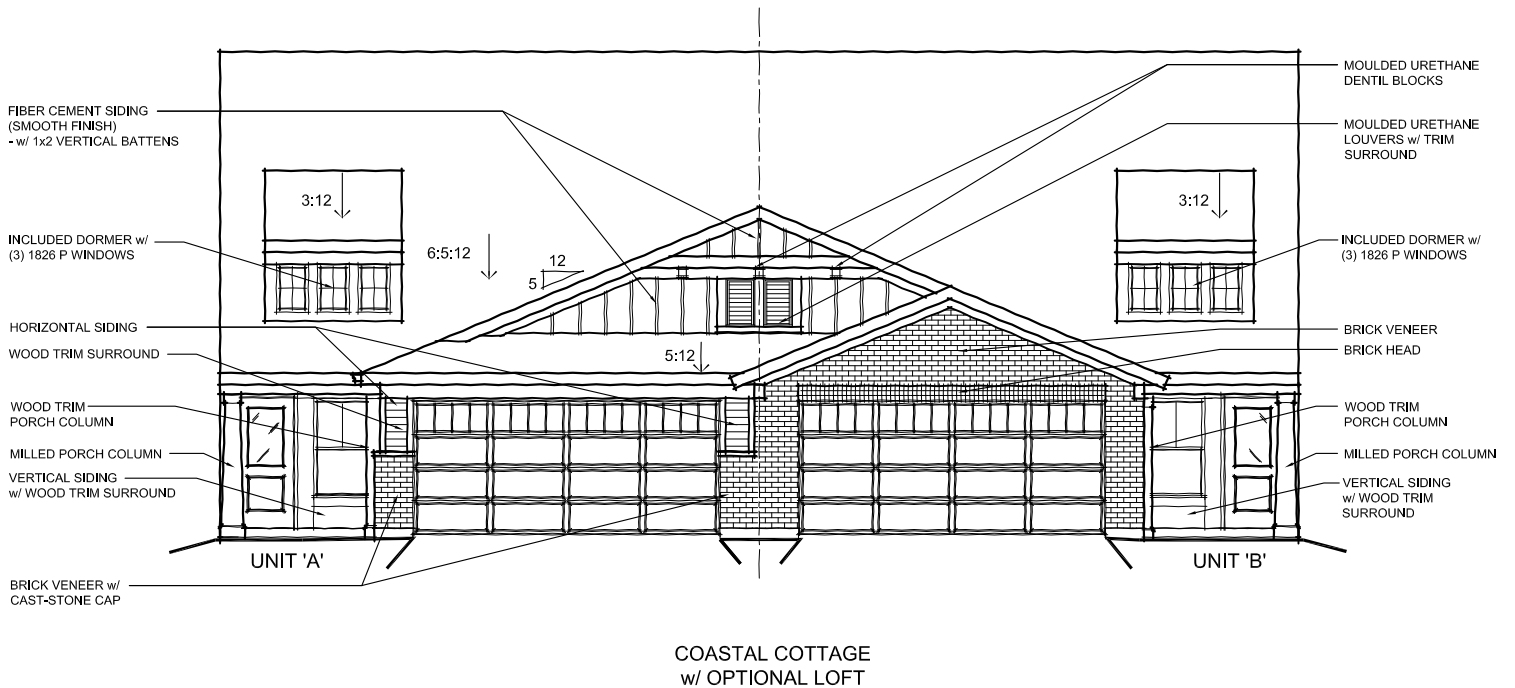
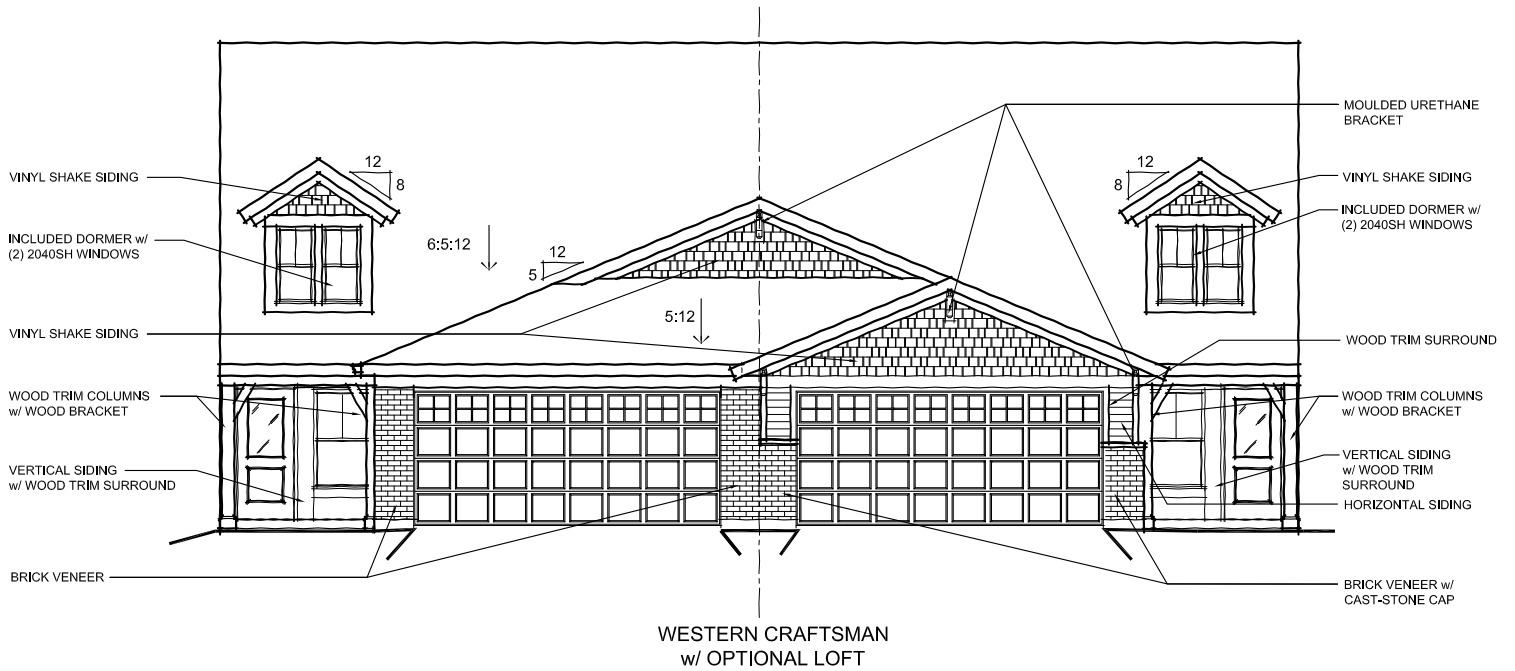
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WB-2.1  
04.06.20

# WEMBLEY

28-101

## PAIRED PATIO



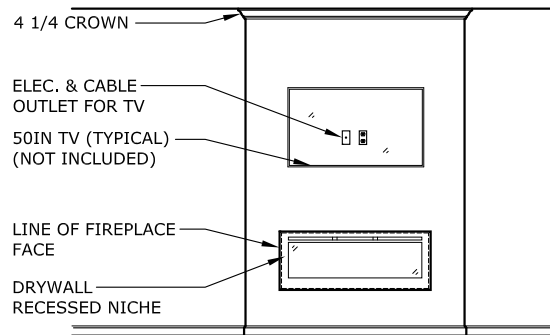
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WB-2.2  
04.06.20

# WEMBLEY

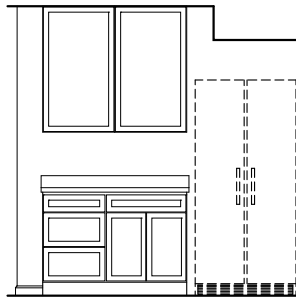
28-101

## PAIRED PATIO



### OPTIONAL WALL-MOUNT ELECTRIC FIREPLACE #1

SHOWN w/ INCLUDED 9FT FIRST FLR CEILING HEIGHT

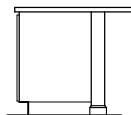
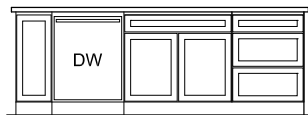


### OPTIONAL WET BAR

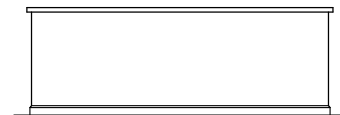
w/ INCLUDED SINK  
(REFRIGERATOR NOT INCLUDED)

### INCLUDED ISLAND

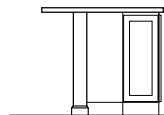
(HALF-WALL BELOW ISLAND IS DRYWALL)



(SIDE)



(REAR)



(SIDE)



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WB-3.1  
04.06.20







## Chodkowski, Bryan

---

**From:** Tressa Kneer <treskneer@aol.com>  
**Sent:** Tuesday, March 29, 2022 2:22 PM  
**To:** Chodkowski, Bryan  
**Cc:** elyons57@gmail.com; Byrge, Nancy  
**Subject:** Opposition to Case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

Dear Sir/Madam:

It is our belief that the development being proposed on Bellefontaine Road across from Oak Ridge Drive will adversely affect our property values and will not fit in with our overall neighborhood aesthetic. **\*The City's Comprehensive Plan specifically states that the use for this land be single family detached homes on medium-to-large lots.\*** This proposal does not follow the Comprehensive Plan. We acknowledge that the builder has amended the plans from the first filing (to now include some single family homes and reduce the density a bit), BUT IT IS STILL A HUGE VARIANCE FROM WHAT THE PLAN IS AND WHAT THE SURROUNDING PROPERTIES CONTAIN. The proposed buildings include duplexes and detached homes, and the lot size is not medium-to-large. The proposed minimum lot sizes are 2280sf to 7200sf. The Oaks' minimum lot size is 12,000sf.

This land is bordered by residential properties with a minimum of 3 acres, a density of 0.33. The density of the proposed development is 4.4. By comparison, The Oaks' is 2.05. This dramatic increase in density will cause issues like traffic, aesthetics, and decreased surrounding property values.

Because of these reasons, we are opposed to this development and request that the City Council deny the application. Mayor Gore even told the developer last time that he likes the idea but IN ANOTHER PART OF THE CITY, because the small lots and high density don't belong in the middle of this mainly rural area. We insist that the city stick with the Comprehensive Plan. Why is the City always bending to the wants of the developers and not the citizens? The density does not need to match that of the Oaks exactly, but putting A) duplexes and B) buildings so close together does not at all fit the LOOK and PLAN of the area!

In December, the Planning Commission, after hearing from multiple residents opposed to the developer's first plan, still voted unanimously to NOT follow the Comprehensive Plan and recommended the development be allowed. A member of the Planning Commission, during the December meeting to discuss this topic, said that if a resident didn't like what was proposed, he/she could always buy the land him/herself. Really, that is the City's solution??? The answer should be that the City is following the Comprehensive Plan, especially when the people whom the variance would affect are opposed.

Thank you for your attention to this matter.

Sincerely,  
Jon and Tressa Kneer

## Chodkowski, Bryan

---

**From:** Warren Taldo <wtaldo@gmail.com>  
**Sent:** Saturday, March 26, 2022 9:20 AM  
**To:** Lyons, Ed; orgnbyrge@hhoh.org; Chodkowski, Bryan  
**Cc:** Brad Smith  
**Subject:** Opposition to Case 22-11

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Members of the Planning Committee:

As a long time resident of the Oaks of Huber Heights, I would like you all to know that the vast majority of the people living in the Oaks are vehemently opposed to the recent application that this planning committee is about to review.

It is our belief that the development being proposed will adversely affect our property values as well as not fit in with our overall neighborhood aesthetic. The City's Comprehensive Plan specifically states that the use for this land be single family detached homes on medium to large lots. It does not follow the Comprehensive Plan. They are duplexes, not detached homes and the lot size is not medium to large. Their minimum lot size is 2500sf. The Oaks minimum lot size is 12,000sf.

It is bordered by residential properties with a minimum of 3 acres, with a density of 0.33. The density of the proposed development is 5.7. By comparison, The Oaks is 2.05. This dramatic increase in density will cause many issues, primarily traffic-related.

We here in the Oaks are hoping that the City Council will use common sense when they make decision that truly affect other residents in the said area, and deny this application.

Thank You,  
Warren & Catherine Taldo  
5921 Oak Creek Trail,  
Huber Heights, Ohio 45424

## Chodkowski, Bryan

---

**From:** William <skimarks@hotmail.com>  
**Sent:** Monday, March 28, 2022 12:14 PM  
**To:** Chodkowski, Bryan  
**Subject:** FW: Opposition to Case 22-11

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Resending email message below to you.

---

**From:** William  
**Sent:** Monday, March 28, 2022 12:07 PM  
**To:** elyons@hhoh.org; nbyrge@hhoh.org; bchodkowski@hhoh.org  
**Cc:** BTGeek@aol.com  
**Subject:** Opposition to Case 22-11

Huber Heights City Leaders:

I respectfully provide this email for your attention and action as appropriate.

Consistent with my prior opposition to Case ZC 21-47, I have reservations against case 22-11 on the same grounds. Namely it is not similar with the housing sizes and density associated with the Oaks of Huber Heights and therefore will look more and more like a hodge-podge of mixed housing concepts for this section of Huber Heights. People will ask, "who planned these neighborhoods?" This ultimately results in lower home values and less trust and interaction among neighbors. The question I have is, why can't Huber Heights provide a similar housing concept like the Oaks of Huber Heights, for more than just a few blocks? Why would we divert from the original Oaks of Huber Heights concept for this area? We should not be in a hurry to accept a developer's pleas that he will lose money if he can't build smaller homes in higher density neighborhoods. Frankly, I would like to see an expansion of the Callamere Farms home styles on the east side of Bellefontaine Rd. Wouldn't it be nice to have at least a few more homes of the styles used by the Oaks of Huber Heights or even Callamere farms,... or does Huber Heights want to be known as the small home capital of OH?

Let's expand on a good concept. Thanks for your continued support.

William Marks

## Chodkowski, Bryan

---

**From:** Mellanie Toles <tolesm@clarkstate.edu>  
**Sent:** Monday, March 28, 2022 8:54 AM  
**To:** Chodkowski, Bryan  
**Cc:** Lyons, Ed; Byrge, Nancy  
**Subject:** Opposition to Case 22-11

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Dear City Council Members:

We are writing in opposition to the proposed Zoning Case 22-11, which would be located directly across from The Oaks of Huber Heights entrance and specifically, our home.

It is our belief that the development being proposed will adversely affect our property values and it will not fit in with our overall neighborhood aesthetic. The City's Comprehensive Plan specifically states that the use for this land be single family DETACHED homes on medium to large lots. This proposed development does not follow the Comprehensive Plan. They are duplexes, not detached homes, and the lot size is not medium to large. Their minimum lot size is 2,500 sf, while The Oaks' minimum lot size is 12,000 sf.

The property is bordered by residential properties with a minimum of 3 acres, with a density of 0.33. The density of the proposed development is 4.4. By comparison, The Oaks is 2.05. This dramatic increase in density will cause many issues, primarily traffic-related.

Because of these and other reasons, we are opposed to this development and request that the City Council deny the application. We respectfully ask that you act to protect the property values we have worked hard to maintain by voting down this proposed development.

Thank you for your time and consideration!

Gene Bell and Mellanie Toles  
6131 Oak Ridge Drive  
Dayton, OH 45424



### **Mellanie Toles**

*Executive Assistant to the President and Coordinator of Special Projects*  
Clark State College | [www.clarkstate.edu](http://www.clarkstate.edu)  
937.328.6002 | [tolesm@clarkstate.edu](mailto:tolesm@clarkstate.edu)

## Chodkowski, Bryan

---

**From:** Nick Winner <nickandcarol88@yahoo.com>  
**Sent:** Monday, March 28, 2022 8:00 AM  
**To:** Chodkowski, Bryan  
**Subject:** Case 22-11

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This does not comply with the city's comprehensive plan which calls for single family detached homes on medium to large lots Sent from my iPhone

## Chodkowski, Bryan

---

**From:** Bailey Reid <reidb3@udayton.edu>  
**Sent:** Monday, March 28, 2022 12:27 AM  
**To:** Chodkowski, Bryan  
**Cc:** Lyons, Ed; Byrge, Nancy  
**Subject:** Opposition to Case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

Good evening, today I'm writing to you to oppose Case 22-11.

As a resident of The Oaks, I am concerned with how this project does not comply with the city's Comprehensive Plan which outlines single-family detached homes on the lot sizes described in the project. I am not only concerned with the potential effects on the property values of the residents of The Oaks, but also with the potential for increased crime near or within our development which could come from these duplexes.

We've dealt with this same developer before and it is clear to me that they do not have the existing community's best interest at heart. Packing as many residences as possible into a small area like this before, and attempting to push another plan through like prior shows to me that their primary motivator is money with no concern with potential ill-effects.

--

**Bailey Reid**

*Mechanical Engineering Student*

*University of Dayton - 2022*

[reidb3@udayton.edu](mailto:reidb3@udayton.edu) | (937)-546-2259

## Chodkowski, Bryan

---

**From:** Ron Hinds <ronshinds@aol.com>  
**Sent:** Sunday, March 27, 2022 7:33 PM  
**To:** Chodkowski, Bryan  
**Cc:** Lyons, Ed; Byrge, Nancy  
**Subject:** Opposition to Case 22-11

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Dear Council Members,

In reference to Zoning Case 22-11. I am in opposition to this project. This application is for 97 homes (instead of the previous 132) with 29 single family detached homes and 68 duplex (attached) homes. This plan has reduced their density to 4.4 (The Oaks is 2.05). By comparison, the same density as The Oaks would limit the development to 47 homes.

According to the Staff Report written by the Interim City Planner: Lot sizes range from 2,280sf to 7,200sf. The minimum lot size for The Oaks is 12,000 sf. The smallest lot that physically borders the project is 4 acres.

Lot frontages range from 60 feet to less than 32. Minimum frontage for The Oaks is 85 feet. The frontages for the lots that physically border the project are all in excess of 85 feet. Side yard depth ranges from 6 to 7.5 feet. Minimum side yard for The Oaks is 10 feet. The side yards for the lots that physically border the project are all in excess of 10 feet. Rear yard depth is 20 feet. Minimum rear yard depth for The Oaks is 40 feet. The rear yards for the lots that physically border the project are all in excess of 40 feet.

It's obvious that this project does not comply with the City's Comprehensive Plan which calls for single-family DETACHED homes on medium to large lots.

This project does not fit the aesthetics of our overall neighborhood and I believe it will adversely affect our property values. As a Realtor I understand firsthand what this type of development will do to the property values of our homes in The Oaks as well as the properties to the north and east of this proposed development. With traffic increasing significantly this will affect all of the surrounding neighbors and of course the value of our homes.

The neighbors to the north and east have purchased their properties with the intent to enjoy the benefits of having homes on large lots with acreage. This project will affect many of the amenities they currently enjoy.

Thanks for your consideration.

Sincerely,

Ron

Ron Hinds  
6265 White Oak Way

## Chodkowski, Bryan

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**From:** tadrjd <tadrjd@woh.rr.com>  
**Sent:** Sunday, March 27, 2022 10:51 AM  
**To:** Chodkowski, Bryan; Lyons, Ed; Byrge, Nancy  
**Cc:** Cindy Smith  
**Subject:** Zoning 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

I am writing this on the above case that is planned to come up before the planning committee.

This is the second time and is still totally lacking in justification for a rezoning change. First i want to say thank you to the developer that took time out of his schedule to discuss the project. I will be unable to come as i will be in Florida for business and a little pleasure. The area is currently zonss as multiacre with agriculture. The plots are at least 3 to 5 acres. The density of the area proposed is almost 5 units per acre. The setbacks are against the current ordinances the back yard and distances between the unit are also. I have asked during the last design proposal to see the calculations of the storm run off pond. I again asked the developer and seemed hesitant to provide. He indicated that the city engineer has it also. Who all i wsnt os to see the calculations as the old design did not put much thought into the size and now what i look at is much more thought many times larger but nothing even from the telcon i had with the developer. What is being hidden. Is there something that you do not want me to see? That is where my thought is right now. Would not yours. Especially when the new current design has more grass area than the last. Density if you omit the gas easement is much denser than the previous. Why...i will say it in a moment as it is what the developer said to me. The two cul-de-sac is terrible design. Too many units on a dead end. As in the area across the road it was determined that per city you can have no more than 30 units this has over 50. What if there is a fire response accident or anything else and many families cannot get to ther own home. These are just a few. Mrs smith and i have spoken and has the rest of my concerns and will speak on my behalf. The next issue is the memo from your city planner as it is written totally insufficient. The memo as i understand is to guide the planning committee on what the project is and what the rules are and what of the ordinances zoning are met and not. Me smith will go through at least 19 items that are incorrect. How does someone expect the committee and council to do their jobs if they get incorrect and inadequate information to look at and evaluate. I believe the memo was just whipped together due to lack of leadership as guidance as you had under schommer and falcokowski. The jib is to evaluate and do whatvis right under the rules and ordinances of the city. The job is to give impartial and correct guidance to the developer the residents the committee and council to had good dialogue and allow good decision process information. The job is not to have a solution for the developer to do what they propose that is TOTALLY DRIVEN BY COST. That is what was spoken to me directly from the developer. Totally wrong way. As i said before ms smith has my in depth concerns and will discuss on tuesday. Please vote to reject this zoning chnage as it is driven based on cost and not what is correct and redo the city memo so it is correct. Do jot make a decision on what a developer wants but what is right for the city and the residents. Regards ron deak 5908 oak creek trail 7816989177

Sent from my T-Mobile 4G LTE Device

## Chodkowski, Bryan

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**From:** William <skimarks@hotmail.com>  
**Sent:** Monday, March 28, 2022 12:14 PM  
**To:** Chodkowski, Bryan  
**Subject:** FW: Opposition to Case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

Resending email message below to you.

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**From:** William  
**Sent:** Monday, March 28, 2022 12:07 PM  
**To:** elyons@hhoh.org; nbyrge@hhoh.org; bchodkowski@hhoh.org  
**Cc:** BTGeek@aol.com  
**Subject:** Opposition to Case 22-11

Huber Heights City Leaders:  
I respectfully provide this email for your attention and action as appropriate.

Consistent with my prior opposition to Case ZC 21-47, I have reservations against case 22-11 on the same grounds. Namely it is not similar with the housing sizes and density associated with the Oaks of Huber Heights and therefore will look more and more like a hodge-podge of mixed housing concepts for this section of Huber Heights. People will ask, "who planned these neighborhoods?" This ultimately results in lower home values and less trust and interaction among neighbors. The question I have is, why can't Huber Heights provide a similar housing concept like the Oaks of Huber Heights, for more than just a few blocks? Why would we divert from the original Oaks of Huber Heights concept for this area? We should not be in a hurry to accept a developer's pleas that he will lose money if he can't build smaller homes in higher density neighborhoods. Frankly, I would like to see an expansion of the Callamere Farms home styles on the east side of Bellefontaine Rd. Wouldn't it be nice to have at least a few more homes of the styles used by the Oaks of Huber Heights or even Callamere farms,... or does Huber Heights want to be known as the small home capital of OH?

Let's expand on a good concept. Thanks for your continued support.

William Marks

## Chodkowski, Bryan

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**From:** Brad Smith <BTGeek@aol.com>  
**Sent:** Monday, March 28, 2022 2:23 PM  
**To:** Chodkowski, Bryan  
**Cc:** Byrge, Nancy; Lyons, Ed  
**Subject:** Case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

This letter is in opposition Case 22-11.

While there are slight changes from the previous case, it still does not comply with the Comprehensive Plan, nor do any lots comply with Ordinance 1147.04 which is cited in the Staff Report. The density of 4.4 far exceeds the density of any of the bordering properties which all have a density of less than one.

The Comprehensive Plan, on Page 19, calls for these lots to be single family DETACHED homes on medium to large lots. There are still duplex (attached) homes in this plan. Also, not one of the lots complies with the lot requirements from Ordinance 1147.04 which calls for 20 feet between homes and 40 foot backyards. The only explanation we have heard for these excessive exceptions is developer profitability. In conversation with the developer, he stated that this is the plan he needs to make his project work. Our question is: Why should City standards be compromised to support developer profitability when these exceptions will have a negative effect on the existing neighbors?

The Staff Report details Ordinance 1147.04 which calls for 20 feet between houses and 40 feet backyards. Staff Report states "Overall, the average lot size in this development is 6,937 square feet. In staff's professional opinion the slightly smaller and shallower lots will have a negligible impact on surrounding properties and the character of the area." Our calculations show that the average lot size is 4,506; the number that Staff identifies fails to take into account that the "64 and 72 foot lots" are duplexes, which are actually 2 lots each. The statement that this project, as designed, will have a negligible impact on the surrounding properties and the character of the area is highly objectionable. In the previous case, there was significant discussion of the impact of putting such a dense, urban product in a rural area. The surrounding homes are on lots from 4 to 25 acres. These homeowners made a decision to live in a rural setting with few neighbors. In one case, a homeowner who recently moved from a subdivision lifestyle will end up with more neighbors than he had before. To say it will have negligible impact and will not affect the character of the area is to totally disrespect and dismiss the objections raised by these citizens of Huber Heights.

For these and other reasons, we respectfully request the Planning Commission deny this application.

Cindy and Brad Smith

## Chodkowski, Bryan

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**From:** Sherry Herstine <sharelda@aol.com>  
**Sent:** Monday, March 28, 2022 10:59 PM  
**To:** Chodkowski, Bryan  
**Cc:** Lyons, Ed; Byrge, Nancy  
**Subject:** Opposition to case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

Good afternoon,

While I am not opposed to development of the property across from the Oaks on Bellefontaine, I do believe that the density proposed is still not in line with the character of the existing neighborhood. In addition, I believe the home density proposed would change the traffic to an undesirable amount, particularly at the entrances to the developments on both sides of road. As the pandemic subsides, more and more people will be heading back to work and Bellefontaine is not a super-wide thoroughfare. Adding a much more densely populated development on the other side of Bellefontaine does not seem prudent at this time.

The increased development on 202 and 201 is already making travel increasingly congested throughout our community. I feel that Bellefontaine now provides a safer alternative for residents to avoid this ever increasing situation, also alleviating some of the traffic in the business areas.

Sherry Herstine  
4215 Silver Oak Way

## Chodkowski, Bryan

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**From:** Sherry Herstine <sharelda@aol.com>  
**Sent:** Monday, March 28, 2022 10:59 PM  
**To:** Chodkowski, Bryan  
**Cc:** Lyons, Ed; Byrge, Nancy  
**Subject:** Opposition to case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

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The increased development on 202 and 201 is already making travel increasingly congested throughout our community. I feel that Bellefontaine now provides a safer alternative for residents to avoid this ever increasing situation, also alleviating some of the traffic in the business areas.

Sherry Herstine  
4215 Silver Oak Way

## Chodkowski, Bryan

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**From:** Matt Preissler <siuecu2@att.net>  
**Sent:** Monday, March 28, 2022 8:35 PM  
**To:** Chodkowski, Bryan  
**Cc:** Lyons, Ed; Byrge, Nancy  
**Subject:** Opposition to Case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

To Whom It May Concern,

We are writing in opposition to the request for rezoning of the land on Bellefontaine Road directly across from the entry to The Oaks subdivision. This project does not comply with the city's Comprehensive Plan which calls for single-family DETACHED homes on medium to large lots. This project does not fit with the aesthetics of our overall neighborhood and believe it will not only increase traffic on Bellefontaine Road, but also adversely affect our property value.

We encourage you to vote in opposition of this rezoning request.

Thank you for your time and consideration of this matter.

Matt and Kelli Preissler

6114 White Oak Way

Lot #70

## Chodkowski, Bryan

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**From:** Roger Zambile <rogerzambile@email.com>  
**Sent:** Monday, March 28, 2022 5:43 PM  
**To:** Chodkowski, Bryan; Lyons, Ed; nnyrge@hhoh.org  
**Subject:** Opposition to Zoning Case 22-11

**CAUTION EXTERNAL EMAIL:** This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

I oppose the rezoning for the New Development going in across from The Oaks on Bellefontaine Rd. This property is mostly bordered by single family residences on at least 3 acres of land, which would have a maximum density of 0.33. The Oaks is across the street, adjacent to the property and our density is 2.05. This project does not comply with the City's Comprehensive Plan which calls for single-family DETACHED homes on medium to large lots. This project does not fit the aesthetics of our overall neighborhood and we believe it will adversely affect our property values.

Thank You  
Roger Zambile

AI-8286

7. B.

**Planning Commission**

Meeting Date: 03/29/2022

Basic Development Plan

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Information

Agenda Title

REZONING AND BASIC DEVELOPMENT PLAN - The applicant, Horizon Line Development, is requesting approval of a Rezoning and Basic Development Plan to PM (Planned Mixed) for 197 unit Residential Town-Home Apartment Community for the Hamptons at the Heights (BDP 22-12).

Purpose and Background

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Attachments

Staff Report

Decision Record

Drawings

Traffic Aanalysis

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# Memorandum

Staff Report for Meeting of March 29, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner  
Community Planning Insights

Date: March 22, 2022

Subject: BDP 22-12 "Hamptons at the Heights"  
Rezoning and Basic Development Plan

Application dated March 15, 2022

Department of Planning and Zoning

City of Huber Heights

**APPLICANT/OWNER:** Horizon Line Development - Applicant  
City of Huber Heights - Owner

**DEVELOPMENT NAME:** Hamptons at the Heights

**ADDRESS/LOCATION:** 7125 Executive Boulevard

**ZONING/ACREAGE:** PEP - Planned Employment Park / ~43 Acres

**EXISTING LAND USE:** Vacant land / Agriculture

**ZONING**

**ADJACENT LAND:** A & PM – North; PM – South; A – East;  
R-7 & PEP - West

**REQUEST:** The applicant requests approval of a rezoning from  
Planned Employment Park to Planned Mixed Use;  
and approval of a Basic Development Plan containing  
a mix of residential and commercial uses.

**ORIGINAL APPROVAL:** N/A

**APPLICABLE HHCC:** Chapter 1171, 1179

**CORRESPONDENCE:** In Favor – None received  
In Opposition – None received

## **STAFF ANALYSIS AND RECOMMENDATION:**

### **Overview:**

The applicant is requesting approval for a rezoning of approximately 43 acres from Planned Employment Park to Planned Mixed Use, to facilitate the construction of 197 residential townhome apartments and five commercial out lots.

### **Applicable Zoning Regulations**

The applicable zoning chapters include: 1171 General Provisions, 1179 Planned Mixed Use District, 1181 General Provisions, 1189 Signs. The relevant sections are cited and discussed below:

## Chapter 1171 General Provisions

### 1171.01 Purpose.

Planned Unit Developments Districts may be permitted as amendments to the zoning map, after application and approval of specific and detailed plans, where tracts suitable in location and character for the uses and structures proposed are to be planned and developed as units. The provisions of this chapter are adopted to unify planning and development in such districts. Applications for rezoning of land into a Planned Unit Development District shall be granted only when the basic development plan for the project is such that the public health, safety and morals shall not be jeopardized by a departure from the restrictions on corresponding uses in the standard zoning district. PUD rezonings may be approved only when a basic development plan for the area has been approved by Council. A detailed development plan shall then be approved for zoning permit to be approved for development in the District. Normally the detailed development plan shall be approved by the Planning Commission after the rezoning and basic development plan have been approved by Council. Owners shall have the option however, of submitting a combined basic and detailed development plan ("combined development plan") if they should so desire for some or all of the site.

(Ord. 93-O-602, Passed 3-22-93)

### 1171.05 Contents of basic development plan.

- (a) The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:
  - (1) Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;
  - (2) Typical elevation views of the front and side of each type of building;
  - (3) Planning location and dimensions of all proposed drives, service access road, sidewalks and curb openings;
  - (4) Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;
  - (5) Landscaping plan, walls and fences;
  - (6) Storm water detention and surface drainage;

- (7) Exterior lighting plan;
  - (8) Vehicular circulation pattern;
  - (9) Location and square footage of signs;
  - (10) Topographic survey; and
  - (11) Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.
- (b) The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.

(Ord. 2006-O-1655, Passed 9-25-05)

### **Development Standards Analysis:**

#### **1179.06 Development standards.**

*Except when specifically modified herein, the provisions of the Planning and Zoning Code shall govern. The following development standards apply to a PM development:*

- (a) *Minimum Land Area Requirement. A minimum of 20 acres shall be required.*

The area proposed to be rezoned to PM is approximately 35 acres.

- (b) *Covenants. The developer of a PM development shall be required to submit a set of covenants or deed restrictions with the Basic Development Plan application that will outline, at a minimum, development standards and guidelines established in this chapter and any other requirements the developer and/or Planning Commission deems necessary. The Planning Commission may require additional or amended covenants as it deems necessary to ensure compliance with the Planning and Zoning Code and the Planned Mixed-Use District.*

The applicant has proposed development and use standards that are generally consistent with the applicable zoning regulations. Staff would like to see the following revisions:

- Residential garage openings shall be set back at least 20-feet from the back of the sidewalk. (It appears this is the case in most instances; however, the drawings are not dimensioned and to the greatest extent possible staff desire to limit the overhang of vehicles into the sidewalk pathways).
- The following proposed permitted non-residential uses should be eliminated from permitted use list:
  - Filling stations
  - Sweepstakes cafes
  - Convenience store
  - Self-Storage – Indoor Climate Controlled
  - Car Wash

*(c) Required Mix of Land Uses. A developer shall be required to provide a mix of land uses in a PM Development. At a minimum, at least two of the following uses are required in a PM Development: residential, commercial, office, institutional, and/or industrial.*

The area contains a mixture of residential, commercial and office uses.

*(d) Site Planning.*

*(1) The combination of different uses, whether as part of one building or as part of the overall development, shall be designed and developed so as not to create a nuisance by excessive noise, light, vibration, odor or any other annoyances for any uses within the development or neighboring properties.*

This site is located along a well-traveled thoroughfare, surrounded by residential uses to the north and west, commercial uses to the south, and Carriage Hill MetroPark to the east. The vast majority of the proposed land uses are residential and are located adjacent to other residential uses. The proposed commercial out lots, which will likely have more intensive uses, are appropriated located to front Executive Boulevard.

*(2) A PM development is to be designed so that buildings and structures are clustered and open space areas are preserved and maintained. Special care shall be given to protect preexisting natural features including, but not limited to, woodlands, ravines, streams, lakes, ponds, and/or flood plains. Impervious surface coverage, including, but not limited to, buildings, parking area, and accessways, shall not exceed 75 percent of the total development area. Therefore, 25 percent of the development area shall be reserved for green space.*

Commodity crop production is the current use of the site, and few natural features exist. There is a small drainage stream that bisects the site near the southwest corner, which crosses under Executive Boulevard and ultimately into Drylick Run Creek. The proposed development plan appears to limit the impact on the drainage stream.

In general, the site slopes west to east. Two onsite and one offsite stormwater basins will provide for stormwater management. The stormwater basins are designed to be wet basins, which will provide an attractive landscape amenity.

*(3) The number of ingress and egress points onto the public streets shall be limited in order to reduce the number of traffic conflict points. Adequate and properly arranged facilities for internal pedestrian and traffic circulations shall be provided. The street and thoroughfare network shall be designed to minimize truck traffic through residential areas of the development.*

This development will have two entrances from Executive Boulevard that are aligned and spaced in a manner where little traffic conflict points should exist. Interior sidewalks and walking trails are proposed for pedestrian circulation. As the commercial spaces are developed sidewalks along the north side of Executive Boulevard should be constructed to provide pedestrian connections to the amenities near and along Executive Boulevard.

*(4) Parking systems shall be designed so as to discourage single large unbroken paved lots for off-street parking and shall encourage smaller defined parking areas within the total parking system. Underground parking facilities are encouraged.*

Parking for the residential units is provided by what appears to be a mixture of one-and two-car garages, along with driveway space. The applicant is providing at least two spaces per unit for the residential development, including the driveway space. As previously stated, the setback from the garage face to the back of sidewalk for the residential units should be a minimum 20-feet.

*(5) The development shall be designed to tie all the uses into one overall community and encourage walking, biking, running, and alternative modes of transportation. Developers are encouraged to incorporate bus stops, bikeways, walkways, and crosswalks into an overall thematic scheme for pedestrian traffic. Sidewalks shall be required except, in the case of a golf course or specific open space development, the Planning Commission may determine them to be unnecessary.*

The proposal provides interior sidewalks and walking paths. Additional sidewalks should be constructed as the commercial lots are developed along Executive Boulevard to provide pedestrian access to the surrounding amenities.

*(6) Any signs as proposed within this district, shall comply with Chapter 1189 "Signs". Additionally, a developer of a PM development shall develop and submit with the Detailed Development Plan application, a comprehensive set of graphic design criteria for signage in the development. This set of graphic design criteria for signage shall be approved by the Planning Commission and shall apply to all signage requests within the development. The criteria shall include, at a minimum, the sizes permitted (if different from Chapter 1189), colors permitted, materials permitted, typefaces permitted, type size permitted, and permitted illumination. Compliance with the on-site comprehensive graphics shall be verified by the Zoning Administrator during the sign permit review process.*

A sign package was not submitted with the application; however, two monument signs are indicated on the landscaping plan. Signs shall comply with Chapter 1189.

*(7) Minimum lot area, frontage and setback requirements may be varied to allow greater flexibility in design. However, the following shall be used as a guideline for development:*

*A. With multiple buildings on a single property, entirely residential buildings shall be at least 15 feet from another entirely residential building and at least 50 feet from nonresidential or mixed-use buildings.*

*B. With multiple buildings on a single property, nonresidential buildings or mixed-use buildings shall be at least 20 feet or one-half the height of the taller building apart, whichever is greater from another nonresidential or mixed-use building.*

*C. All nonresidential buildings or mixed-use buildings shall be set back at least 50 feet or the height of the structure, whichever is greater, from any residential property or residential building, whichever is closer, and from the public right-of-way. This setback applies to multiple buildings on a single property, to development within a PM development, and where it abuts to adjacent property.*

The residential buildings are set back 15-feet from each residential building. While the commercial out lots illustrate generic building footprints, plenty of land area exists to meet these setback requirements.

*(8) No maximum height restriction shall apply, except that the proposed development meets all Federal Aviation Administration (FAA), Dayton International Airport or Wright Patterson Air Force Base height or abatement requirements.*

The residential buildings are approximately 20-feet tall.

*(9) Common parking areas and accessways shall be lighted adequately with light fixtures that shall be designed to reflect light away from adjoining properties. Special attention will be given to protect entirely residential structures from light emitted from nonresidential land uses.*

The plans and renderings indicate a mixture of decorative light poles and wall sconce lighting throughout the residential development. A lighting plan will be required at the detailed development plan phase.

*(10) Nonresidential uses shall have trash containers and/or receptacles (including recycling containers) placed to the rear of all structures and shall be screened or enclosed on four sides with opening doors for the purpose of trash removal. The placement of trash containers and/or receptacles in multi-family residential developments shall be as inconspicuous as possible. The use of a wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent and a height of 12 inches above the top of the largest container is required.*

The site plan indicates the trash receptacles will be fully enclosed where provided.

*(11) The architecture of nonresidential structures is encouraged to be unique yet similar in certain sections of the PM.*

The architecture of the commercial structures is not indicated in the application, but will be reviewed at the time of the detailed development plan submission for each out building.

*(12) The distribution systems for utilities are required to be underground.*

All utilities will be placed underground.

(13) The use of privately owned open space and public dedicated park land is encouraged as part of a PM development. Privately owned open space shall be maintained by the developer or by a duly authorized owner's association.

The residential open space will be owned by the apartment development owner.

*(14) The use of chain link fencing is prohibited. Additionally, on an entirely residential property, no fencing shall be permitted in the front yard, and, in the case of a corner lot, no fencing shall be permitted in the side yard with frontage to a public right-of-way. The covenants submitted by the developer shall establish the height requirements for fencing in the development. Fencing in a development shall be uniform in height in related use areas. On an entirely residential property, fence height shall not exceed six feet.*

No on-site fencing is proposed

*(15) With the submission of a Basic Development Plan application, the applicant is required to submit a phasing plan that details when certain sections of the development will commence construction and when the sections will be complete.*

A phasing plan was not submitted.

#### **1179.07 Landscaping.**

*To protect and promote a harmonious development that ensures a functional and logical arrangement of mixed uses, the effective and efficient use of landscaping and buffering is required. Therefore, a PM development shall include the following landscaping and buffering:*

*(a) Development Landscaping. Within the PM development that is proposed, entirely residential buildings shall be screened from nonresidential and mixed-use buildings with a 20-foot-wide buffer strip that includes a six-foot-high earth mound, wooden or vinyl fence, wall, landscaping and/or mixture thereof that shall maintain an opaqueness of at least 80 percent year around. Parking areas, accessways, or any impervious surfaces are prohibited within this buffer strip. If planted materials are used, the screen must achieve the required height, width, and opaqueness within two years of planting. The use of pre-existing trees, natural features or amenities as part of this buffer is encouraged. The Planning Commission may approve some other arrangement of buffering if it determines that such an arrangement meets the intent of this requirement.*

*(b) Perimeter Landscaping. In a section of a PM development that contains nonresidential, mixed use, or multi-family buildings that abut a neighboring property with a single-family residential zoning designation or in a PM development section that contains an entirely residential section that abuts a neighboring property with a commercial, office, or multi-family zoning designation, the perimeter of the section of the PM development shall be screened with a 25 foot wide buffer strip that includes a six foot high earth mound, wooden or vinyl fence, wall, landscaping and/or mixture thereof that shall maintain an opaqueness of at least 80 percent year-round. Parking areas,*

*accessways or an impervious surfaces are prohibited within this buffer strip. If planted materials are used, the screen must achieve the required height, width, and opaqueness within two years of planting. The use of pre-existing trees, natural features or amenities as part of this buffer is encouraged. The Planning Commission may approve some other arrangement of buffering if it determines that such an arrangement meets the intent of this requirement.*

The applicant proposes to retain the existing trees along the north property line as a buffer, and the closest structure is approximately 80-feet from the property line. Staff does not feel a 6-foot-high landscaping mound is warranted and would require the removal of existing trees.

Along the west property line, the screening will be a mixture of evergreen and ornamental trees. No mounding or fencing is proposed or required.

*(c) Parking Lot Landscaping. All parking lots are required to have interior landscaped areas as outlined in Chapter 1185, "Parking and Loading".*

The commercial out lots will be reviewed at the detailed development plan phase; however, the covenants indicate the commercial developments will comply with Chapter 1185.

*(d) Street Tree Requirement. All frontage property within a PM development that abuts public rights-of-way and is developed with nonresidential, mixed use, and/or multi-family buildings is required to have one street tree per 40 feet of frontage planted just outside of the street right-of-way. Unless determined to be inappropriate by the City Engineer, street trees shall be planted at least four feet from the edge of the sidewalk on private property. All frontage property within a PM development along a major collector or better as defined by the Huber Heights Thoroughfare Plan, no matter what use, shall meet this requirement. The type of tree and size shall be proposed by the developer at the Detailed Development Plan application stage and approved by the Planning Commission. A list of appropriate trees with required caliper is available in the City Engineer's Office.*

Street trees are indicated throughout the development. Street trees will be required along Executive Boulevard as those sites are developed.

### **STAFF RECOMMENDATION**

Staff recommend approval of the rezoning and Basic Development Plan to construct 197 residential units and five commercial out lots. Staff recommend the following conditions for approval:

- 1) The setback for the residential units shall be a minimum of 20-feet between the garage face and the back of the sidewalk.
- 2) The permitted uses shall exclude those recommended by staff.

- 3) The water mains and sanitary sewers shall be built to city standards and in easements.
- 4) The applicant shall submit a sign package consistent with Section 1189.
- 5) The applicant will comply will all Fire Code requirements, per the Huber Heights Fire Department;

### **Planning Commission Action**

Planning Commission may take the following actions with a motion:

- 1) Approve the rezoning and basic development plan with or without conditions;
- 2) Deny the rezoning and basic development plan (the Commission should state the specific reasons for denial); or
- 3) Table the application.



## Planning Commission Decision Record

WHEREAS, on March 04, 2022, the applicant, Horizon Line Development, requested approval of a Rezoning and Basic Development Plan to Planned Mixed (PM) for 35 acres at 7125 Executive Boulevard, Parcel Number P70-03910-0005 of the Montgomery County, Ohio Records (Case BDP 22-12); and

WHEREAS, on March 29, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

\_\_\_\_\_ moved to recommend approval of the request by the applicant, Horizon Line Development, of a Rezoning and Basic Development Plan to Planned Mixed (PM) for 35 acres at 7125 Executive Boulevard, Parcel Number P70-03910-0005 of the Montgomery County, Ohio Records (Case BDP 22-12) in accordance with the recommendation of Staff's Memorandum dated \_\_\_\_\_ 2022, with the following conditions:

1. The setback for the residential units shall be a minimum of 20-feet between the garage face and the back of the sidewalk.
2. The permitted uses shall exclude those recommended by staff.
3. The water mains and sanitary sewers shall be built to city standards and in easements.
4. The applicant shall submit a sign package consistent with Section 1189.
5. The applicant will comply will all Fire Code requirements, per the Huber Heights Fire Department;


BDP 22-12 – Decision Record

Seconded by \_\_\_\_\_. Roll call showed: YEAS: NAYS: Motion to recommend approval carried \_\_\_\_.

\_\_\_\_\_  
Terry Walton, Chair  
Planning Commission

\_\_\_\_\_  
Date





SIDNEY, OHIO 937.497.0200  
LOVELAND, OHIO 513.239.8554  
www.CHOICEONEENGINEERING.com

**EXECUTIVE BOULEVARD-PRIDE ONE**  
**CITY OF HUBER HEIGHTS**  
**SCHEMATIC PLAN RENDERING**

REVISIONS:

FILE NAME  
RENDERING

DRAWN BY  
KMM

CHECKED BY  
MLS

PROJECT No.  
MOT-HHE-2015

DATE  
02-09-2022

SHEET NUMBER  
1 OF 1













GENERAL NOTES - ELEVATIONS

1. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT FOR CLARIFICATION.
2. COORDINATE ALL EXTERIOR FINISH MATERIALS, STYLES, AND COLORS WITH OWNER.
3. REFER TO STRUCTURAL DETAILS FOR TYPICAL EXPANSION AND CONTROL JOINT CONSTRUCTION.

SYMBOL LEGEND

- TYPICAL SECTION AND DETAIL FLAGS:  
REFERS TO SECTION OR ELEVATION NUMBER  
REFERS TO DRAWING SHEET NUMBER
- 101-1 INDICATES DOOR TYPE - REFER TO SHEET A6.1 FOR DOOR SCHEDULE & DOOR/FRAME MATERIALS & ELEVATIONS
- (A) INDICATES WINDOW TYPE, REFER TO SHEET A6.3 FOR WINDOW ELEVATIONS
- DATUM POINT, INDICATES ELEVATION
- DS DOWNSPOUT, SEE DETAILS

FLAG NOTES - EXTERIOR ELEVATIONS

- 1 APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS
- 2 PREFINISHED ALUMINUM GUTTER; K-STYLE, TYP. SLOPE 1/16" PER 12" MINIMUM TO DOWNSPOUTS.
- 3 3x4 PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE DOWNSPOUT.
- 4 TYPICAL FASCIA TRIM - ALUM CLAD 2x6 WITH ALUM DRIP EDGE, TYP UNO.
- 5 ARCHITECTURAL FIBERGLASS SHINGLE ROOF PER ASSEMBLY AND SPECS.
- 6 VINYL TRIM BAND, SIZE AS INDICATED.
- 7 FIBER CEMENT PANEL (PRE-ROCK AT ELECTRICAL GEAR); LOCATE JOINTS BEHIND BRACKETS AND/OR TRIM AND FLASH ALL HORIZONTAL JOINTS IN PANEL SIDING PER MFR. TEXTURE TO BE APPROVED BY OWNER. GC TO COORDINATE LOCATIONS IN FIELD PRIOR TO ROUGH-IN.
- 9 CONTINUOUS RIDGE VENT TO MATCH ROOF SHINGLES, TYP.
- 10 WINDOW PER SCHEDULE, TYP. SEE PLANS. PROVIDE 4" NOMINAL TRIM AROUND ALL FRONT AND HIGH PROFILE (HP) LOCATIONS.
- 11 DOOR PER SCHEDULE, TYP. SEE PLANS.
- 12 DECORATIVE LIGHT FIXTURE, TYP. REFER TO ELECTRICAL DRAWINGS.
- 13 PREMIUM VINYL DUTCH LAP SIDING - 5" EXPOSURE. COORDINATE FINAL COLOR(S) WITH OWNER.
- 14 VINYL BOARD ON BATTEN: 2" BATTEN AT 12" O.C., COLOR(S) BY OWNER.
- 15 PREMIUM VINYL SHAKE SIDING. COORDINATE FINAL STYLE & COLOR(S) WITH OWNER.
- 16 MANUFACTURED STONE VENEER, REFER TO DETAILS FOR MORE INFORMATION. COORDINATE FINAL COLOR, SIZE, AND STYLE WITH OWNER.
- 17 NO OPENINGS OR PENETRATIONS WITHIN MIN. 4'-0" OF EITHER SIDE OF 2-HOUR FIRE RATED WALL, TYP.
- 18 4" NOMINAL VINYL CORNER TRIM, COLOR(S) BY OWNER.
- 20 OVERHEAD DOOR, COLOR BY OWNER. REFER TO SCHEDULE.
- 21 A/C UNIT, TYP. REFER TO PLANS AND MECHANICAL DRAWINGS.
- 23 DECORATIVE COLUMN OVER WOOD POST/COLUMN, COLOR AND STYLE BY OWNER.
- 24 STANDING SEAM METAL ROOF ACCENT, COLOR AND STYLE BY OWNER.
- 25 DECORATIVE VENT AND BRACKETS, COLOR AND STYLE BY OWNER.

PRELIMINARY

NOTE!!!  
THIS DRAWING IS NOT  
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REVISIONS

phone 330.666.5770  
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Fairlawn, OH 44333  
mpg-architects.com

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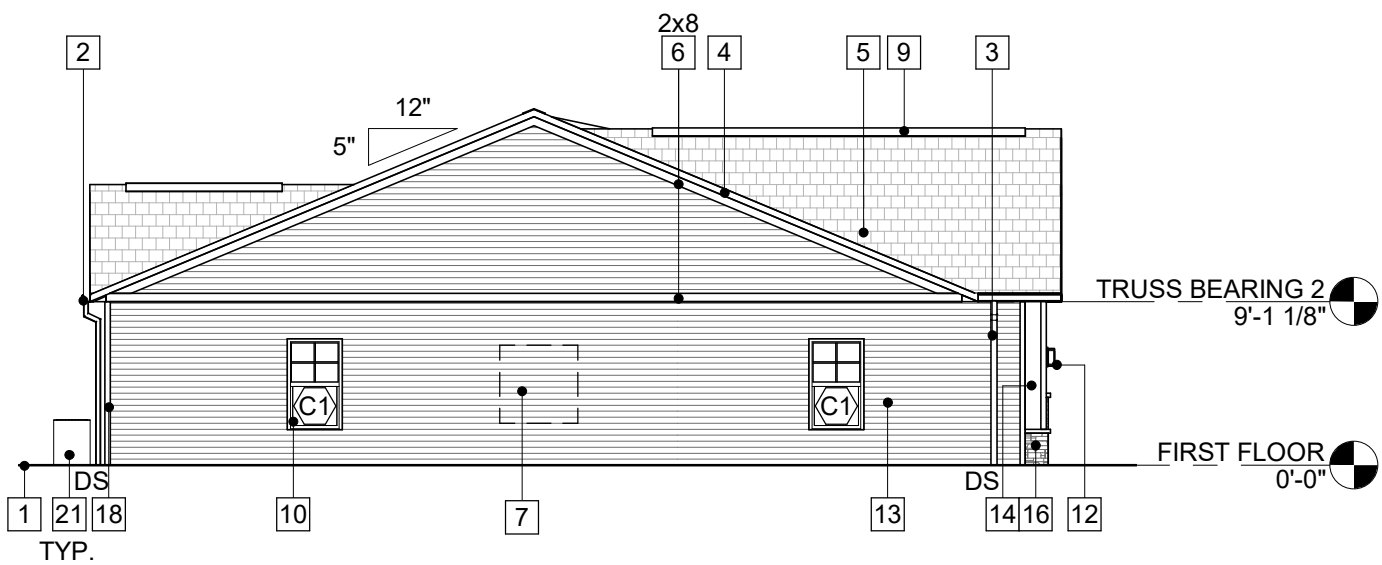
EXTERIOR ELEVATIONS - BUILDINGS A1, A13, B4, & B5

PROJECT #: 1322 DATE: MARCH 2, 2022

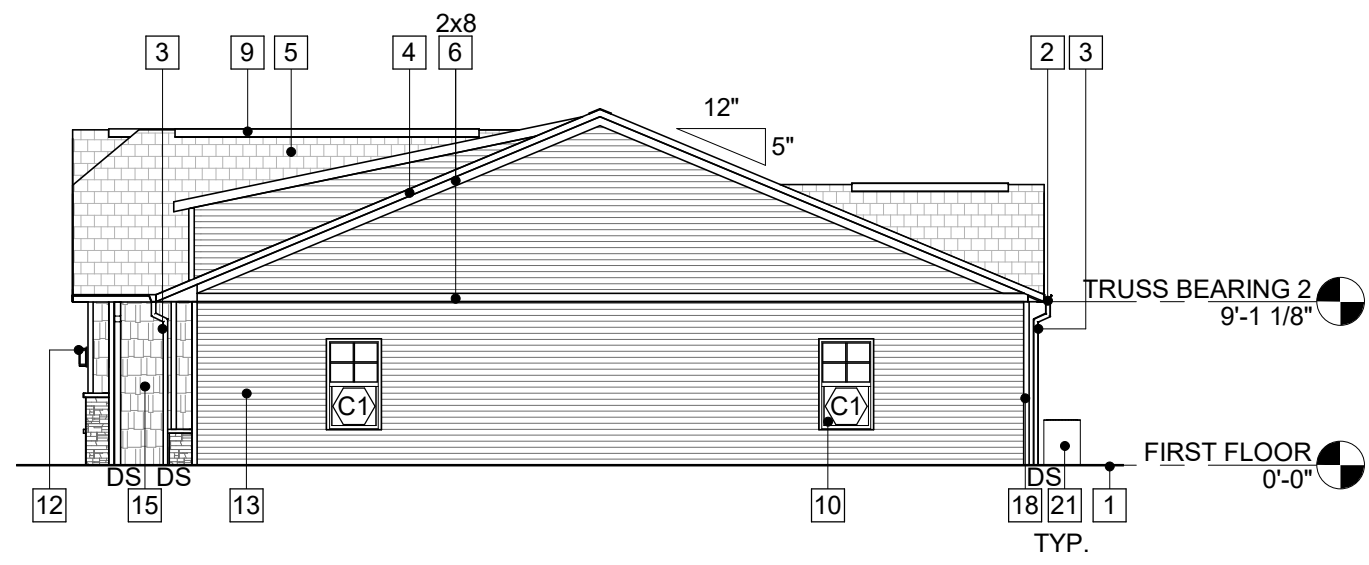
THE HAMPTONS AT THE HEIGHTS

EXECUTIVE BOULEVARD  
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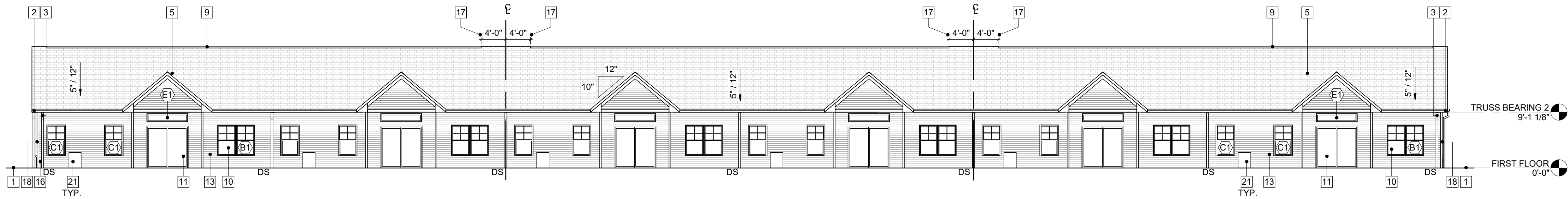
A2.01



4 ELEVATION BUILDINGS 'A1', 'A13', 'B4', & 'B5' - LEFT  
3/32" = 1'-0"



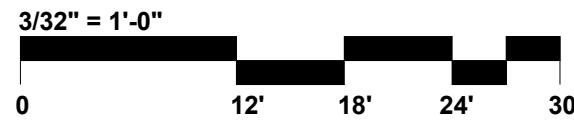
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3/32" = 1'-0"



2 ELEVATION BUILDINGS 'A1', 'A13', 'B4', & 'B5' - REAR  
3/32" = 1'-0"



1 ELEVATION BUILDINGS 'A1', 'A13', 'B4', & 'B5' - FRONT  
3/32" = 1'-0"



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A

INDICATES WINDOW TYPE, REFER TO SHEET A6.3 FOR WINDOW ELEVATIONS

DATUM POINT, INDICATES ELEVATION

DS

DOWNSPOUT, SEE DETAILS
- FLAG NOTES - EXTERIOR ELEVATIONS
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APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS

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TYPICAL FASCIA TRIM - ALUM CLAD 2x6 WITH ALUM DRIP EDGE, TYP UNO.

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ARCHITECTURAL FIBERGLASS SHINGLE ROOF PER ASSEMBLY AND SPECS.

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VINYL TRIM BAND, SIZE AS INDICATED.

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18

4" NOMINAL VINYL CORNER TRIM, COLOR(S) BY OWNER.

20

OVERHEAD DOOR, COLOR BY OWNER. REFER TO SCHEDULE.

21

A/C UNIT, TYP. REFER TO PLANS AND MECHANICAL DRAWINGS.

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DECORATIVE COLUMN OVER WOOD POST/COLUMN, COLOR AND STYLE BY OWNER.

24

STANDING SEAM METAL ROOF ACCENT, COLOR AND STYLE BY OWNER.

25

DECORATIVE VENT AND BRACKETS, COLOR AND STYLE BY OWNER.
- PRELIMINARY
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- phone 330.666.5770

fax 330.666.8812

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Fairlawn, OH 44333

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mpg-architects.com
- 4

ELEVATION

BUILDINGS 'A2', 'A6', 'A8', & 'B2' - LEFT  
3/32" = 1'-0"

BUILDINGS 'D5' & 'D9' SIM.
- 3

ELEVATION

BUILDINGS 'A2', 'A6', 'A8', & 'B2' - RIGHT  
3/32" = 1'-0"

BUILDINGS 'D5' & 'D9' SIM.
- 2

ELEVATION

BUILDINGS 'A2', 'A6', 'A8', & 'B2' - REAR  
3/32" = 1'-0"

BUILDINGS 'D5' & 'D9' SIM.
- 1

ELEVATION

BUILDINGS 'A2', 'A6', 'A8', & 'B2' - FRONT  
3/32" = 1'-0"

BUILDINGS 'D5' & 'D9' SIM.
- 3/32" = 1'-0"

0 12' 18' 24' 30'
- EXTERIOR ELEVATIONS - BUILDINGS A2, A6, A8, & B2
- PROJECT #: 1322 DATE: MARCH 2, 2022
- THE HAMPTONS AT THE HEIGHTS  
EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424
- A2.02
- BUILDINGS 'D5' & 'D9' SIM.

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SYMBOL LEGEND

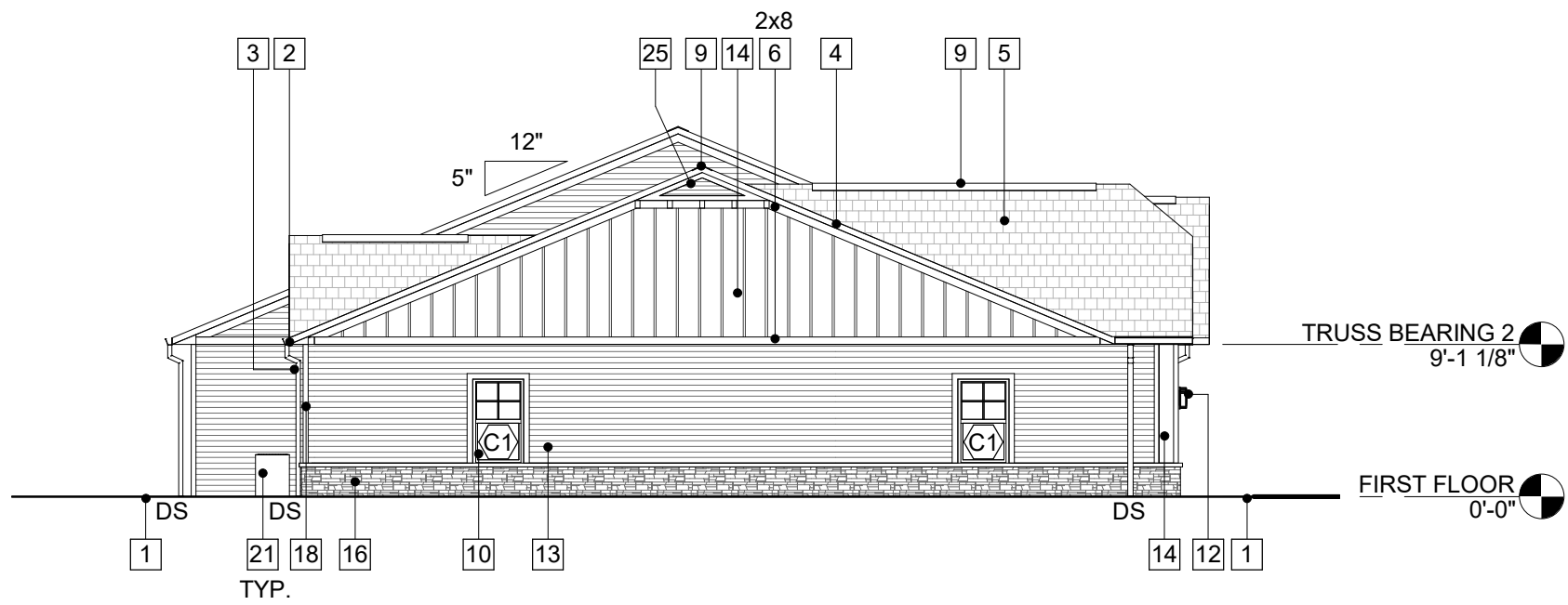
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- DS DOWNSPOUT, SEE DETAILS

FLAG NOTES - EXTERIOR ELEVATIONS

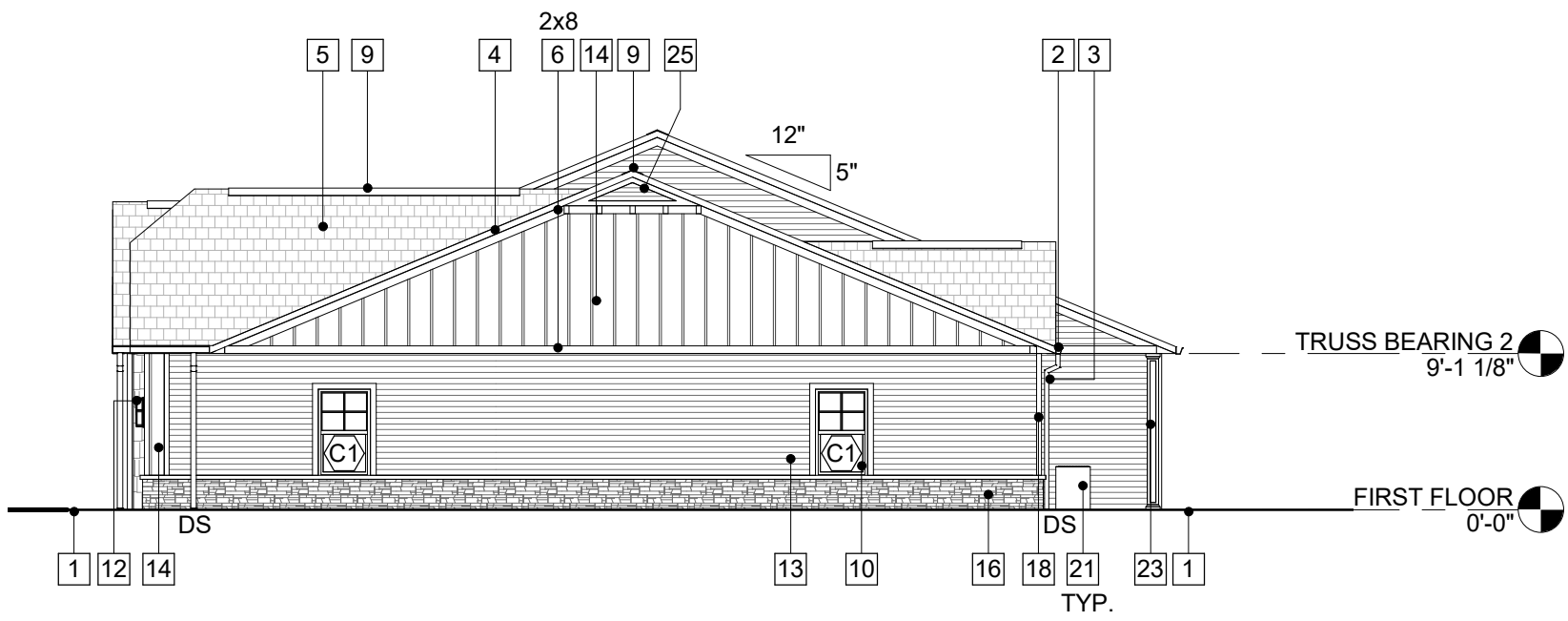
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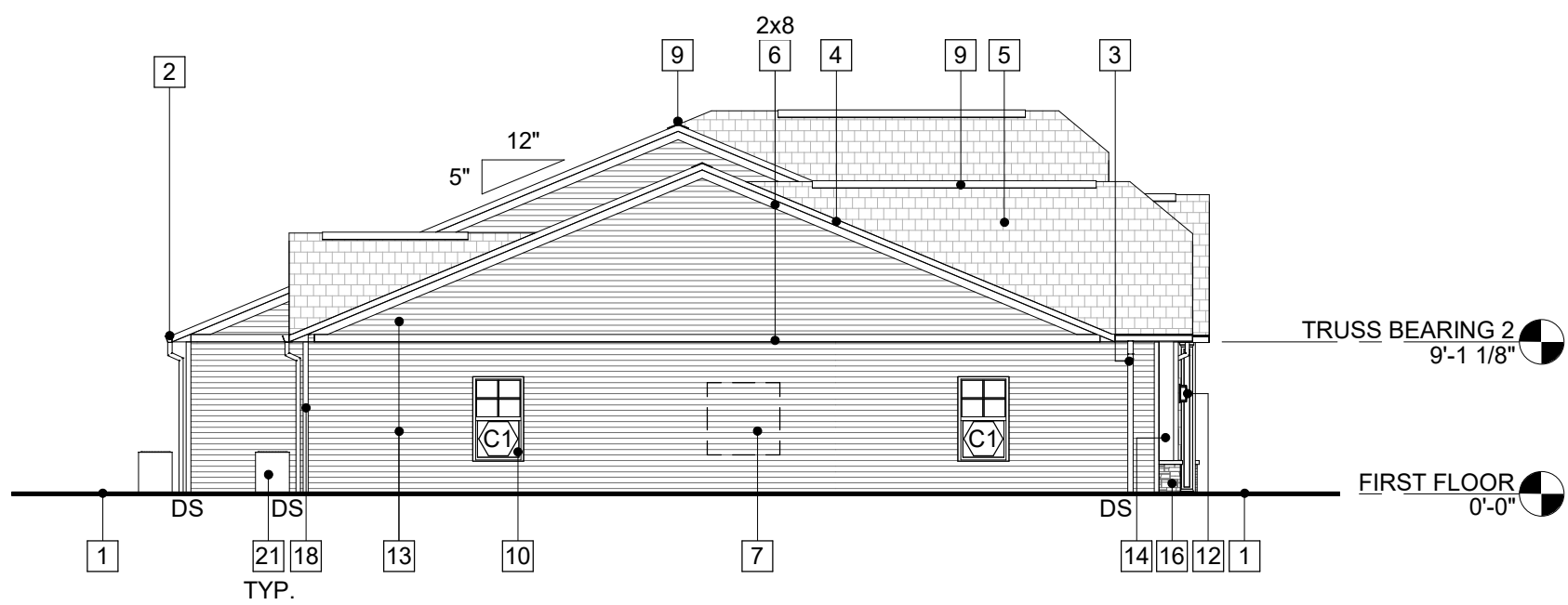
EXTERIOR ELEV. - BLDGS. A5, A7, B3, B12, B13, & C1  
PROJECT #: 1322  
DATE: MARCH 2, 2022  
THE HAMPTONS AT THE HEIGHTS  
EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424



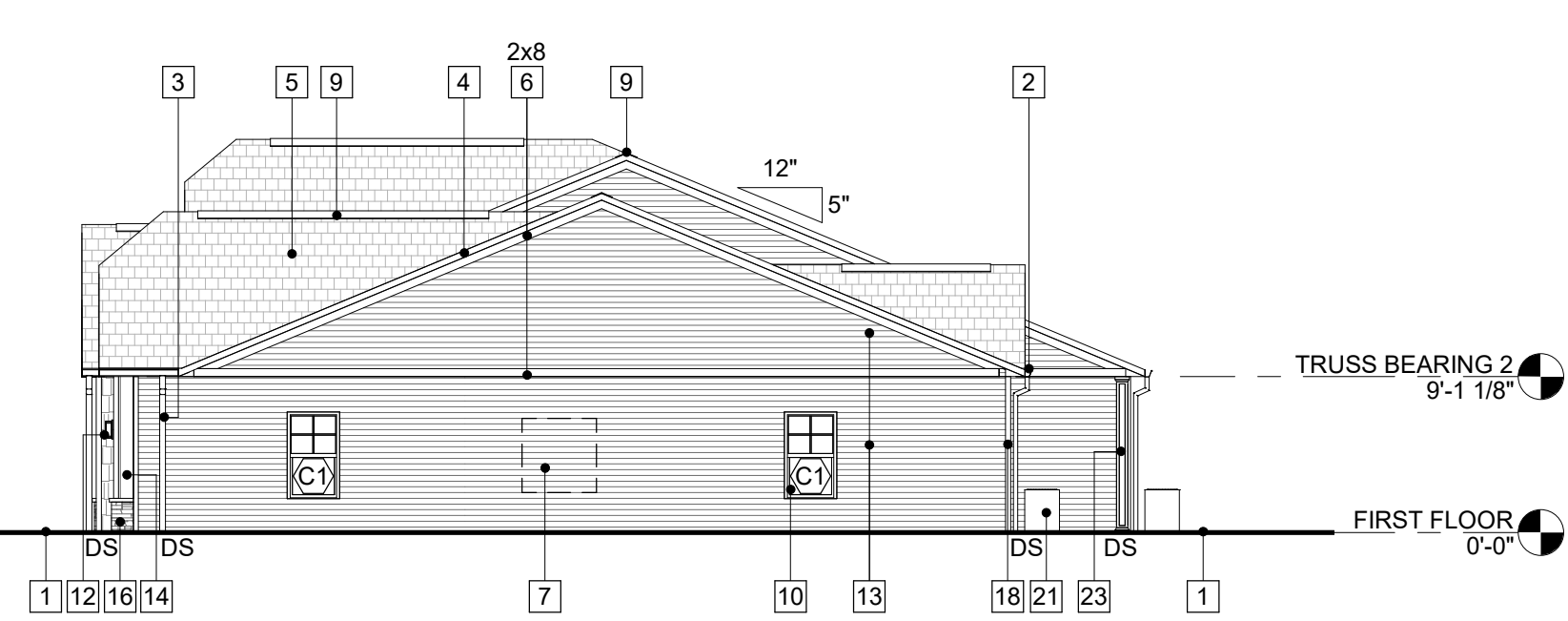
6 ELEVATION BUILDINGS 'C1' - LEFT - HP  
3/32" = 1'-0"



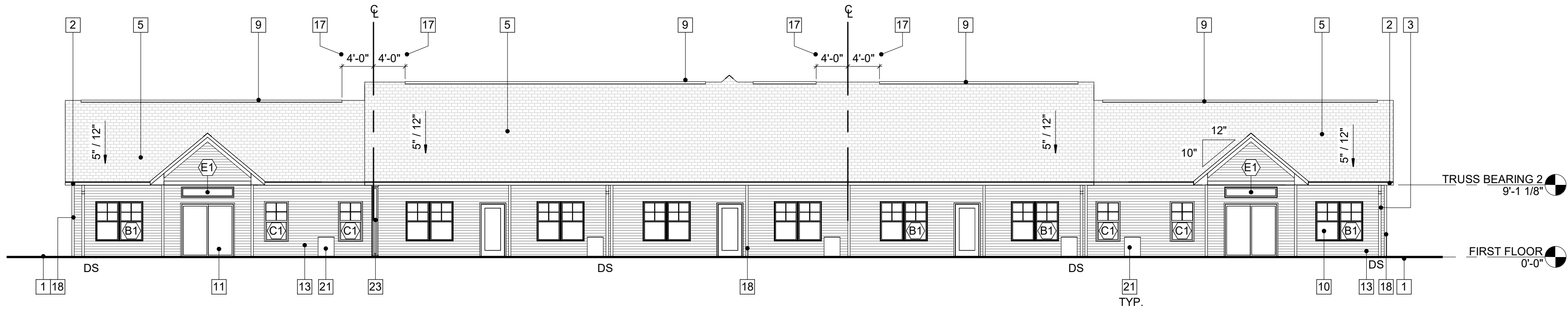
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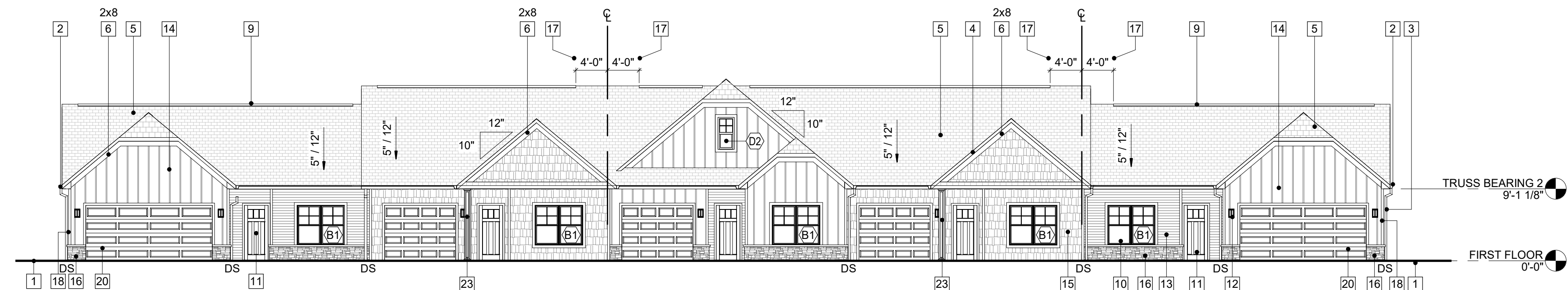
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3/32" = 1'-0"



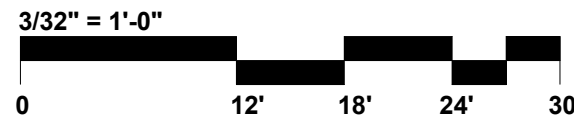
3 ELEVATION BUILDINGS 'A5', 'A7', 'B3', 'B12', & 'C1' - RIGHT  
3/32" = 1'-0"



2 ELEVATION BUILDINGS 'A5', 'A7', 'B3', 'B12', 'B13', & 'C1' - REAR  
3/32" = 1'-0"



1 ELEVATION BUILDINGS 'A5', 'A7', 'B3', 'B12', 'B13', & 'C1' - FRONT  
3/32" = 1'-0"



GENERAL NOTES - ELEVATIONS

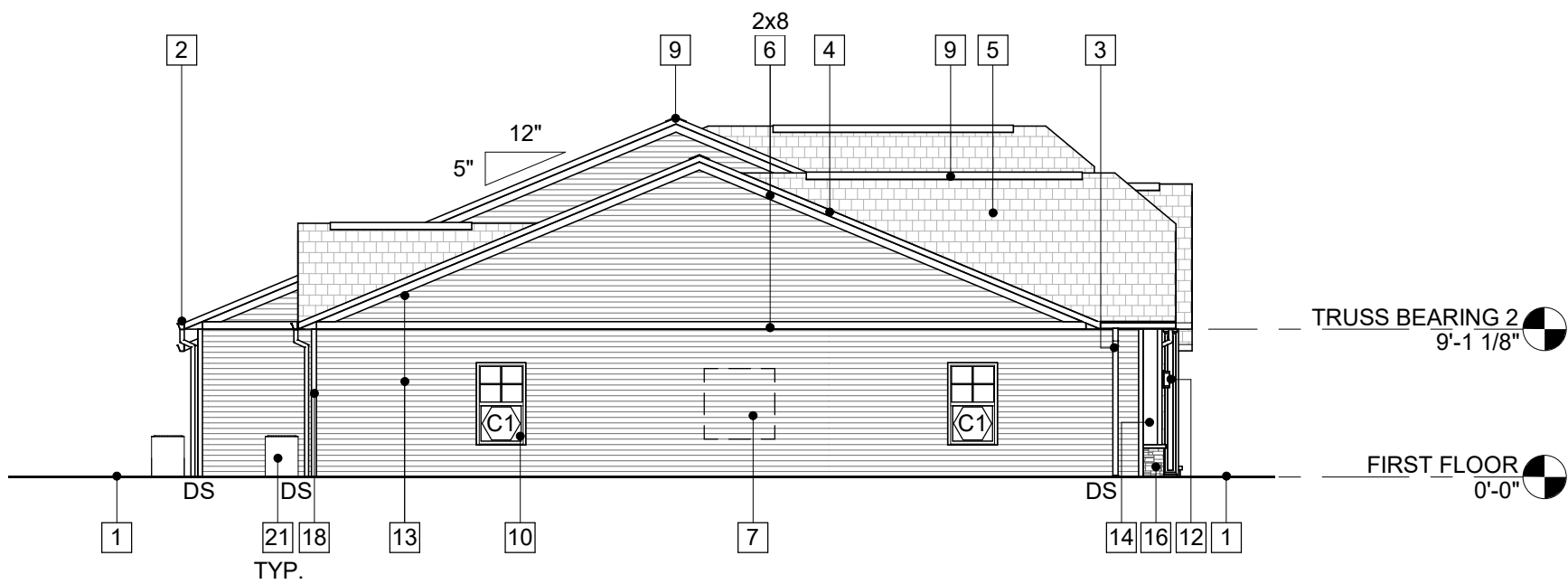
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SYMBOL LEGEND

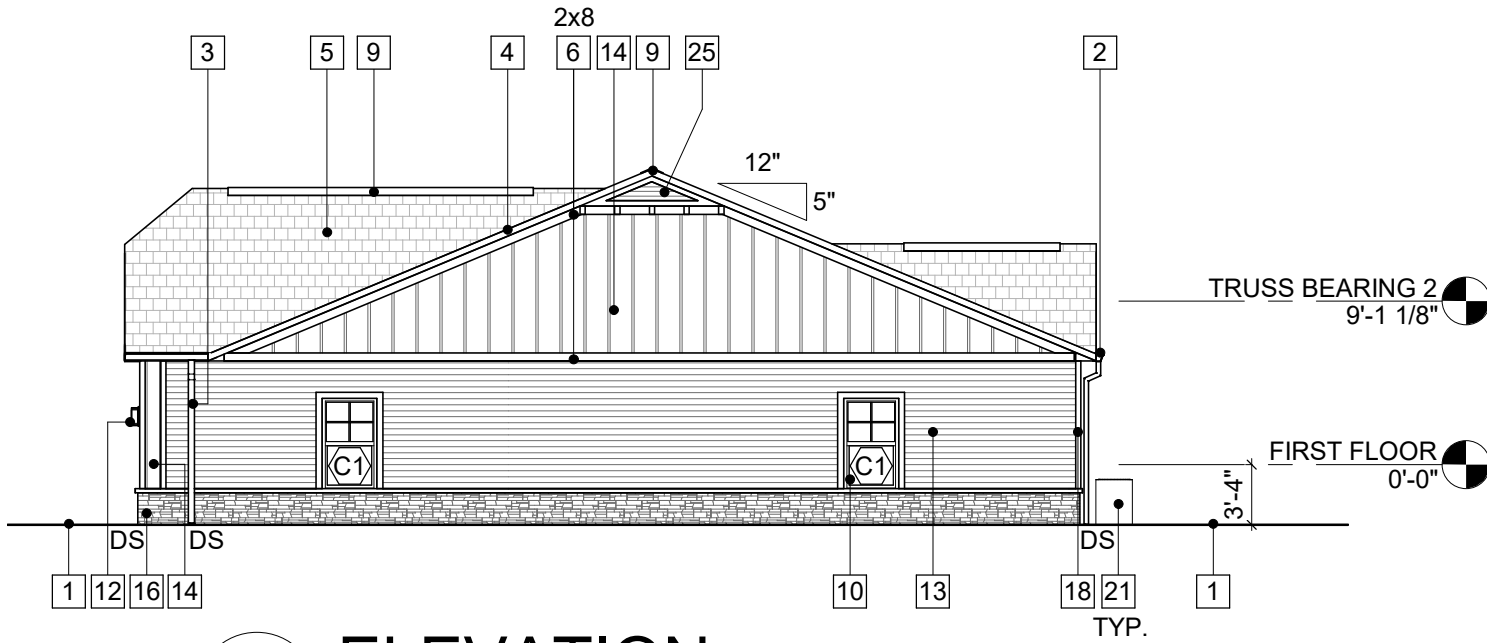
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FLAG NOTES - EXTERIOR ELEVATIONS

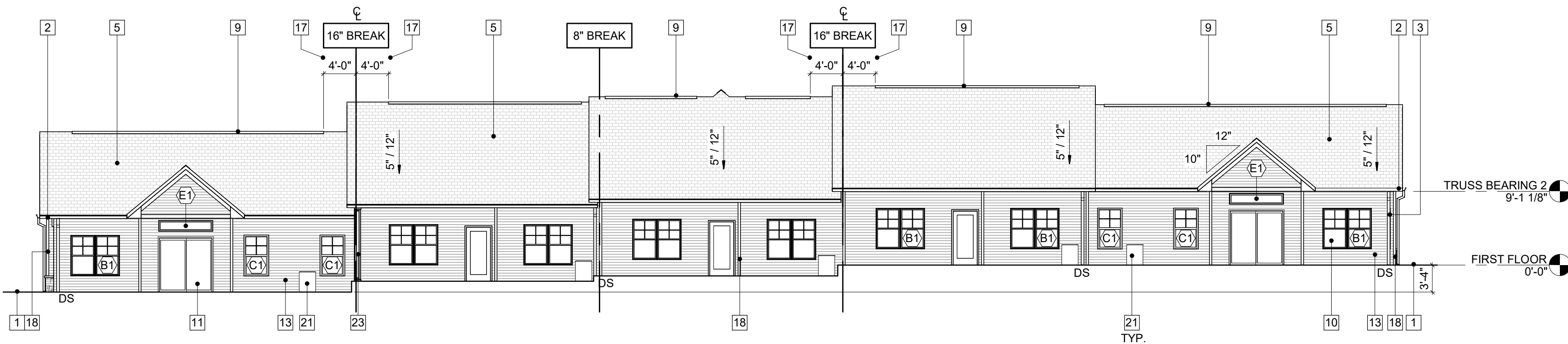
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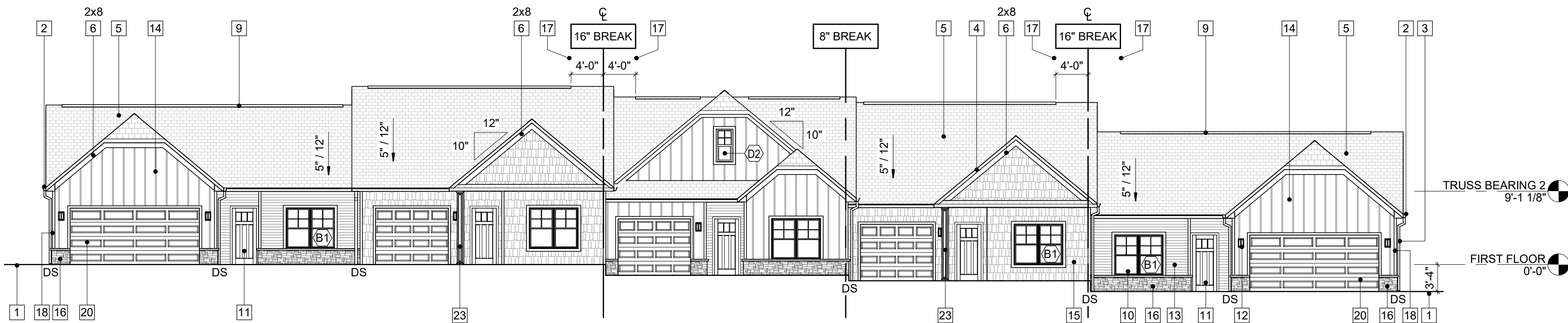
4 ELEVATION BUILDING 'A9' - LEFT  
3/32" = 1'-0"



3 ELEVATION BUILDING 'A9' - RIGHT  
3/32" = 1'-0"



2 ELEVATION BUILDING 'A9' - REAR  
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1 ELEVATION BUILDING 'A9' - FRONT  
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PRELIMINARY

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ARCHITECTS

EXTERIOR ELEVATIONS - BUILDING A9

PROJECT #: 1322 DATE: MARCH 2, 2022

THE HAMPTONS AT THE HEIGHTS  
EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

A2.06

GENERAL NOTES - ELEVATIONS

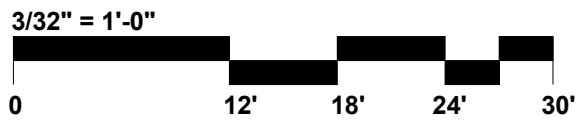
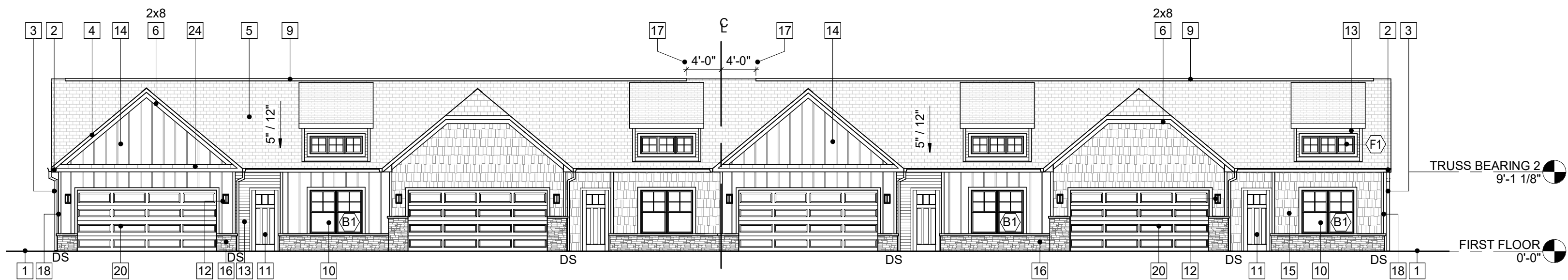
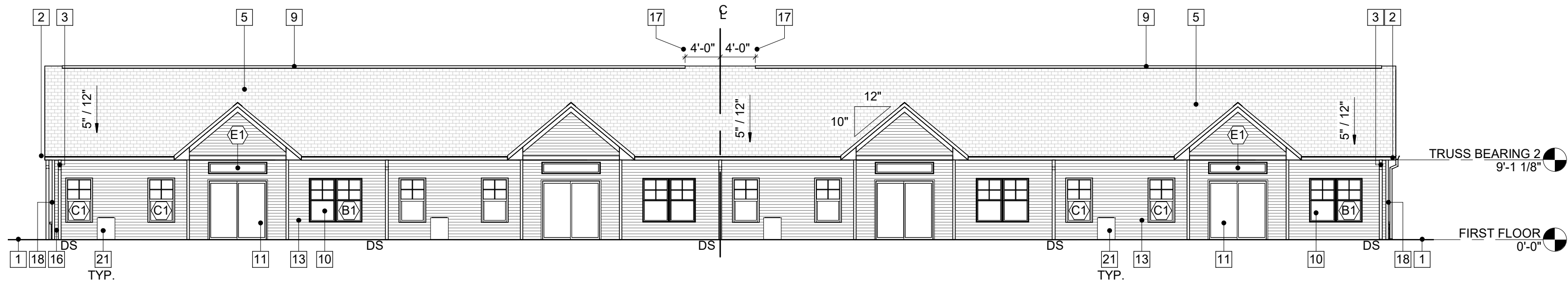
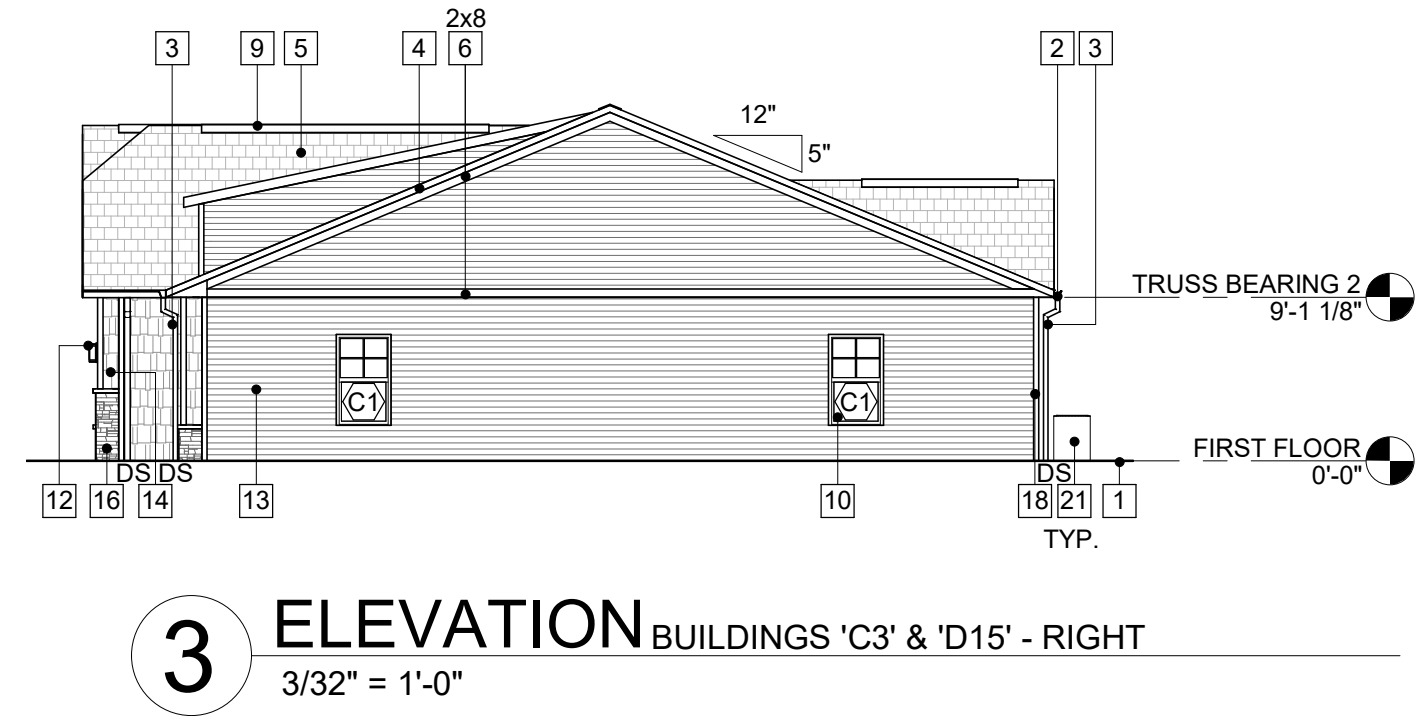
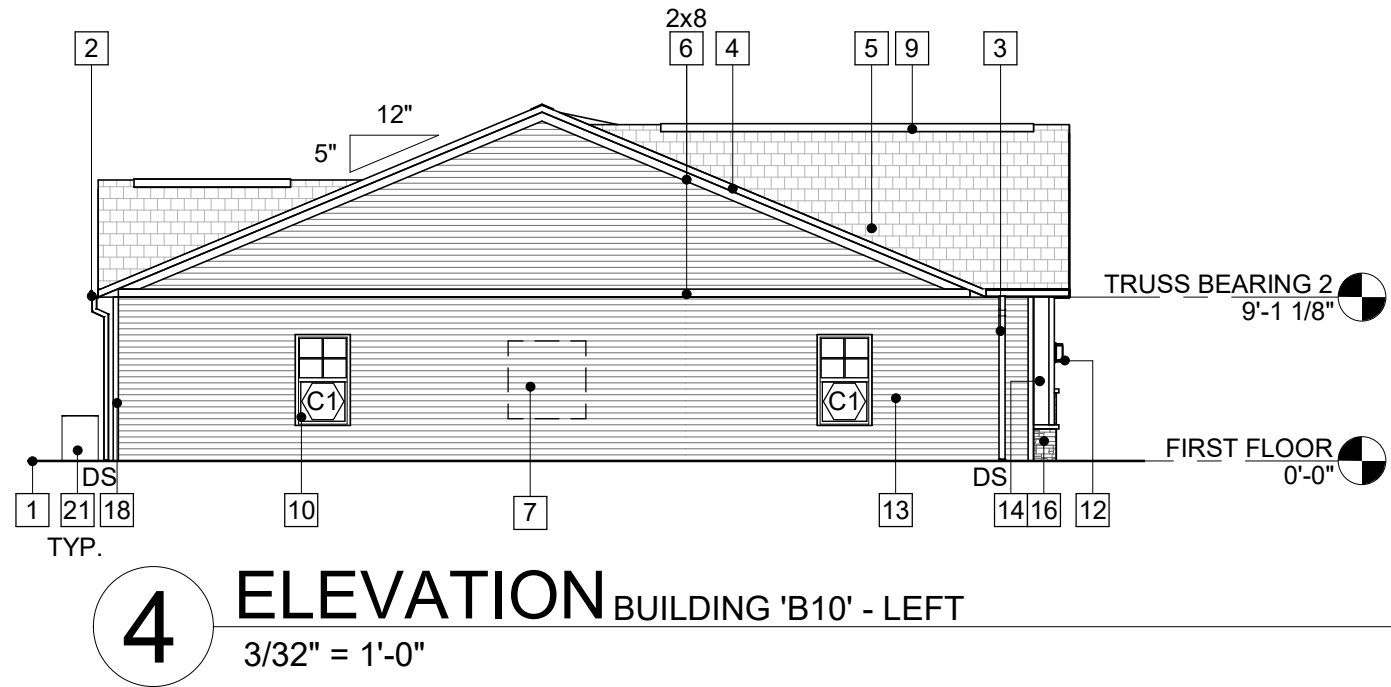
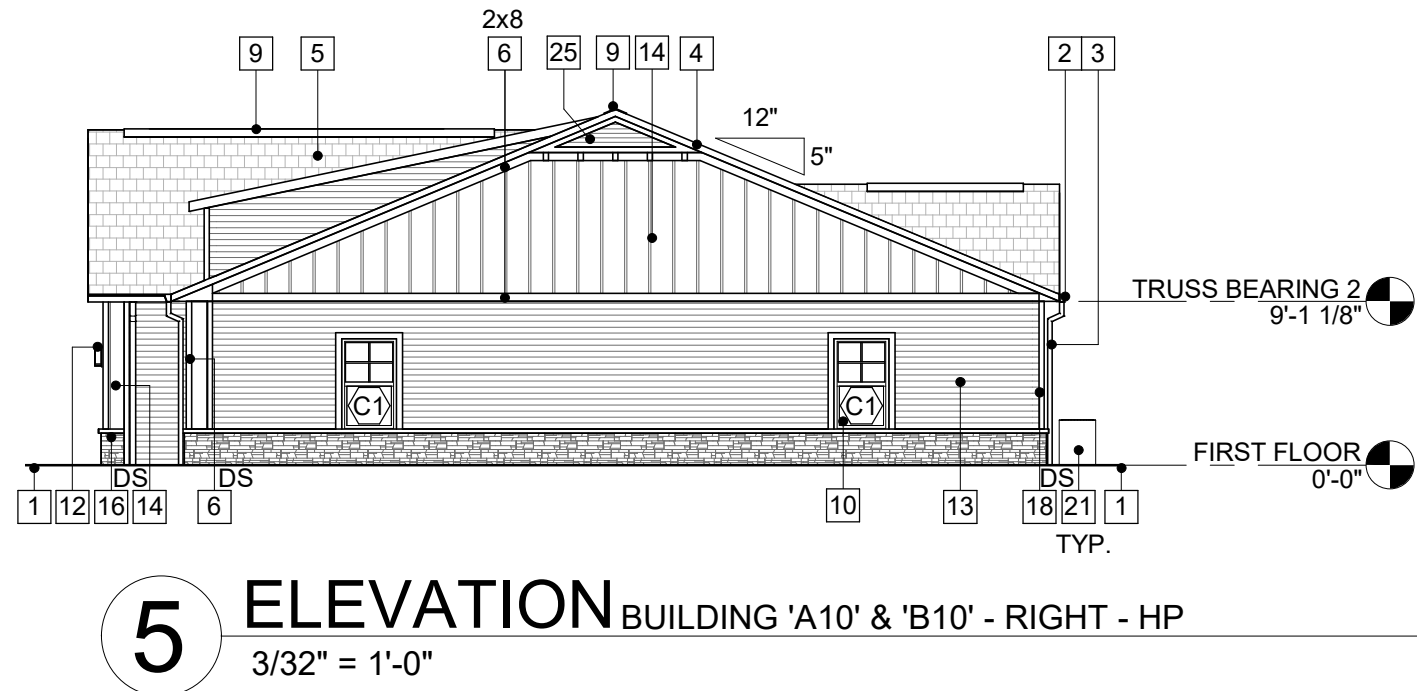
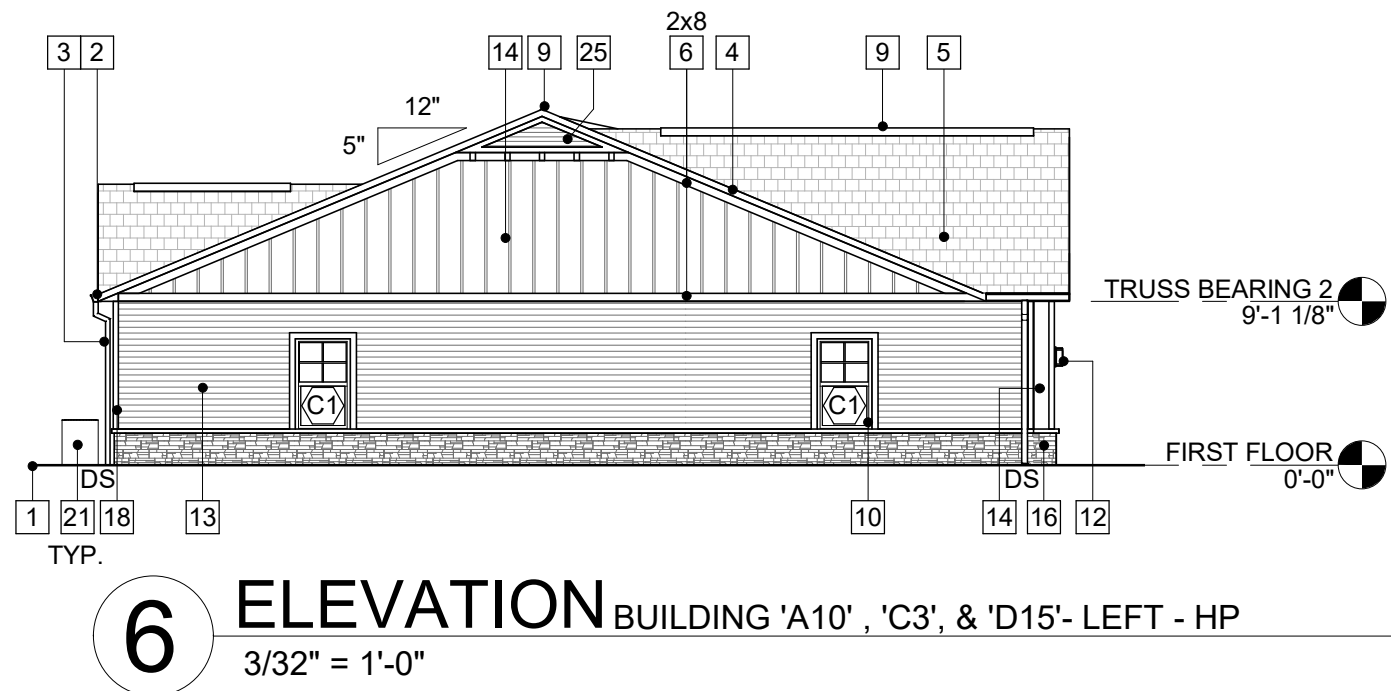
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- 2 PREFINISHED ALUMINUM GUTTER; K-STYLE, TYP. SLOPE 1/16" PER 12" MINIMUM TO DOWNSPOUTS.
- 3 3x4 PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE DOWNSPOUT.
- 4 TYPICAL FASCIA TRIM - ALUM CLAD 2x6 WITH ALUM DRIP EDGE, TYP UNO.
- 5 ARCHITECTURAL FIBERGLASS SHINGLE ROOF PER ASSEMBLY AND SPECS.
- 6 VINYL TRIM BAND, SIZE AS INDICATED.
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- 25 DECORATIVE VENT AND BRACKETS, COLOR AND STYLE BY OWNER.



EXTERIOR ELEVATIONS - BUILDINGS A10, B10, C3, & D15

PROJECT #: 1322 DATE: MARCH 2, 2022

THE HAMPTONS AT THE HEIGHTS

EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

**MPG**  
ARCHITECTS  
MANN • PARSONS • GRAY  
3660 Embassy Parkway  
Fairlawn, OH 44333  
phone 330.666.5770  
fax 330.666.8812  
mpg-architects.com

GENERAL NOTES - ELEVATIONS

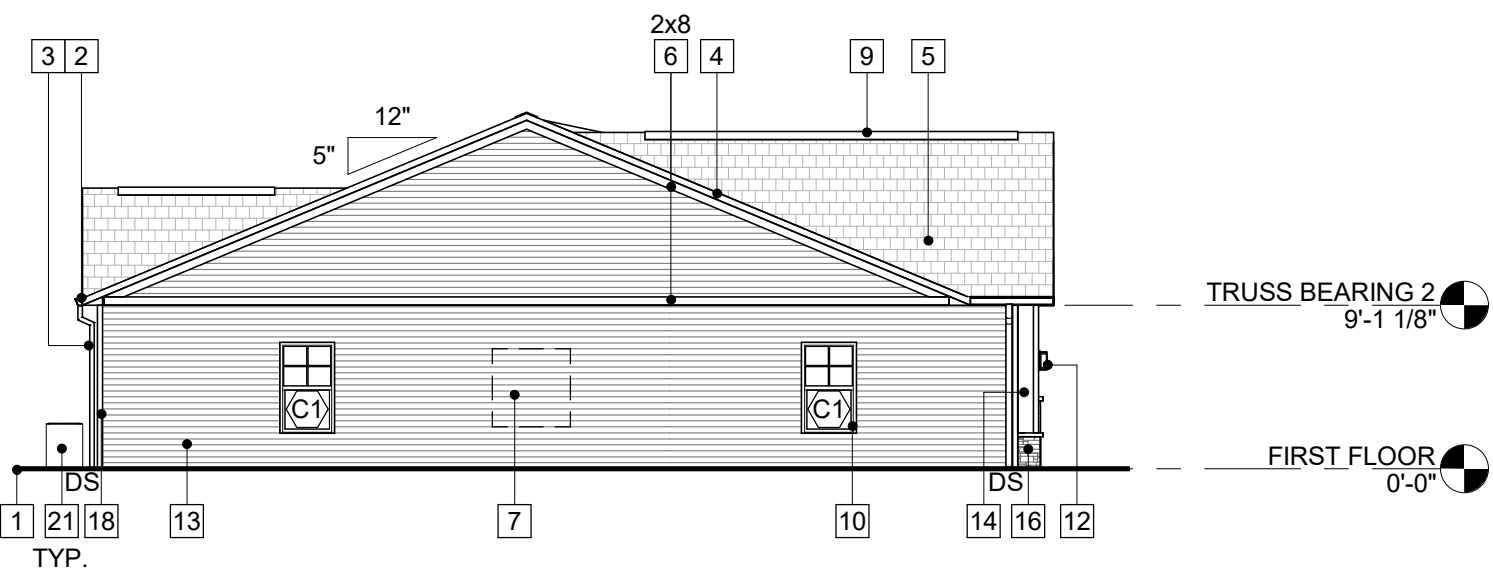
1. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT FOR CLARIFICATION.
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3. REFER TO STRUCTURAL DETAILS FOR TYPICAL EXPANSION AND CONTROL JOINT CONSTRUCTION.

SYMBOL LEGEND

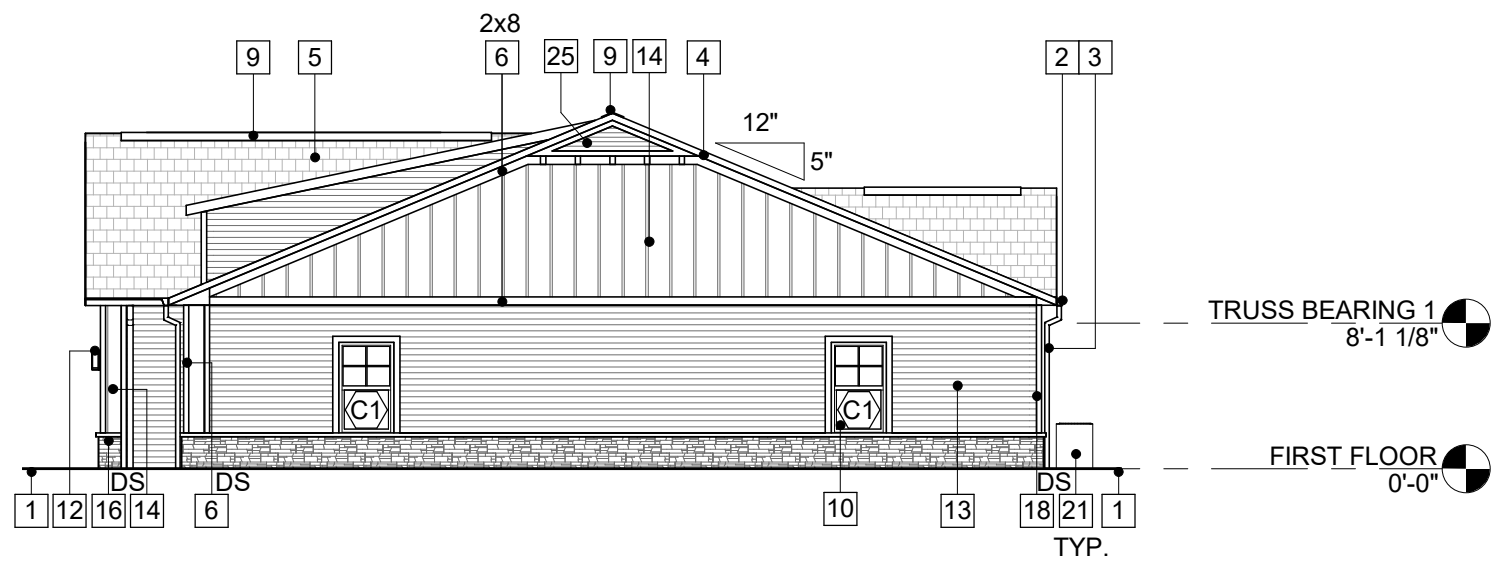
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REFERS TO DRAWING SHEET NUMBER
- 101-1 INDICATES DOOR TYPE - REFER TO SHEET A6.1 FOR DOOR SCHEDULE & DOOR/FRAME MATERIALS & ELEVATIONS
- (A) INDICATES WINDOW TYPE, REFER TO SHEET A6.3 FOR WINDOW ELEVATIONS
- DATUM POINT, INDICATES ELEVATION
- DS DOWNSPOUT, SEE DETAILS

FLAG NOTES - EXTERIOR ELEVATIONS

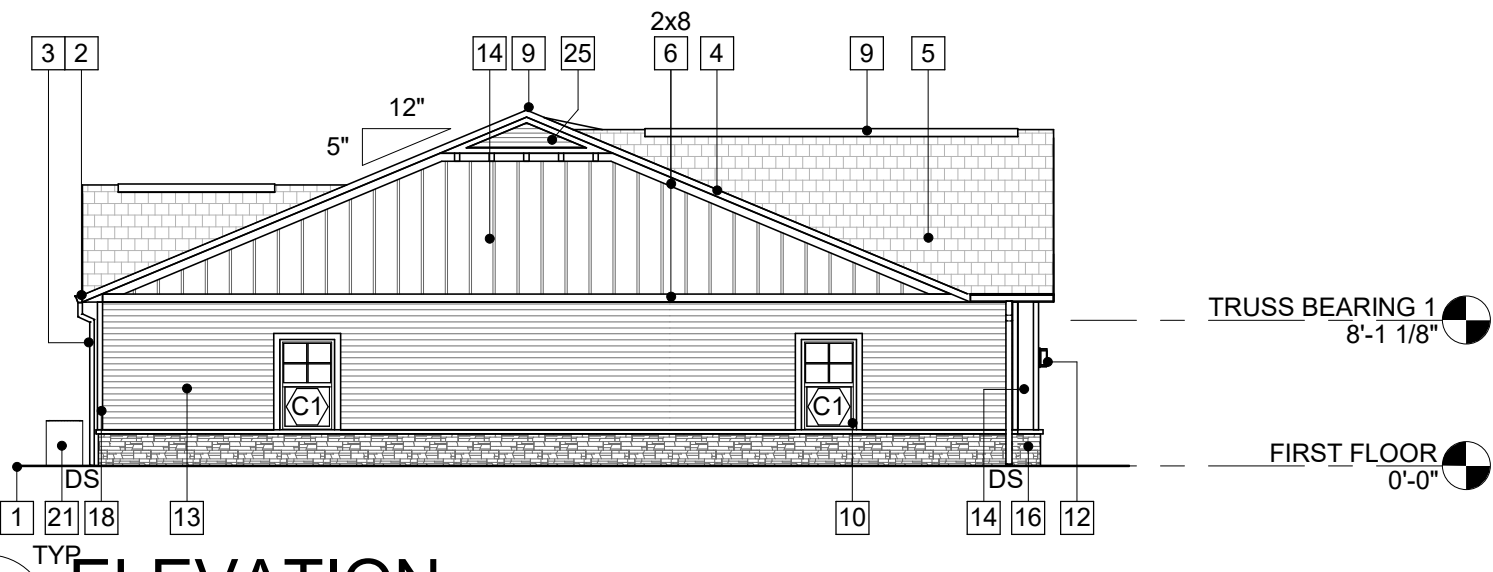
1. APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS
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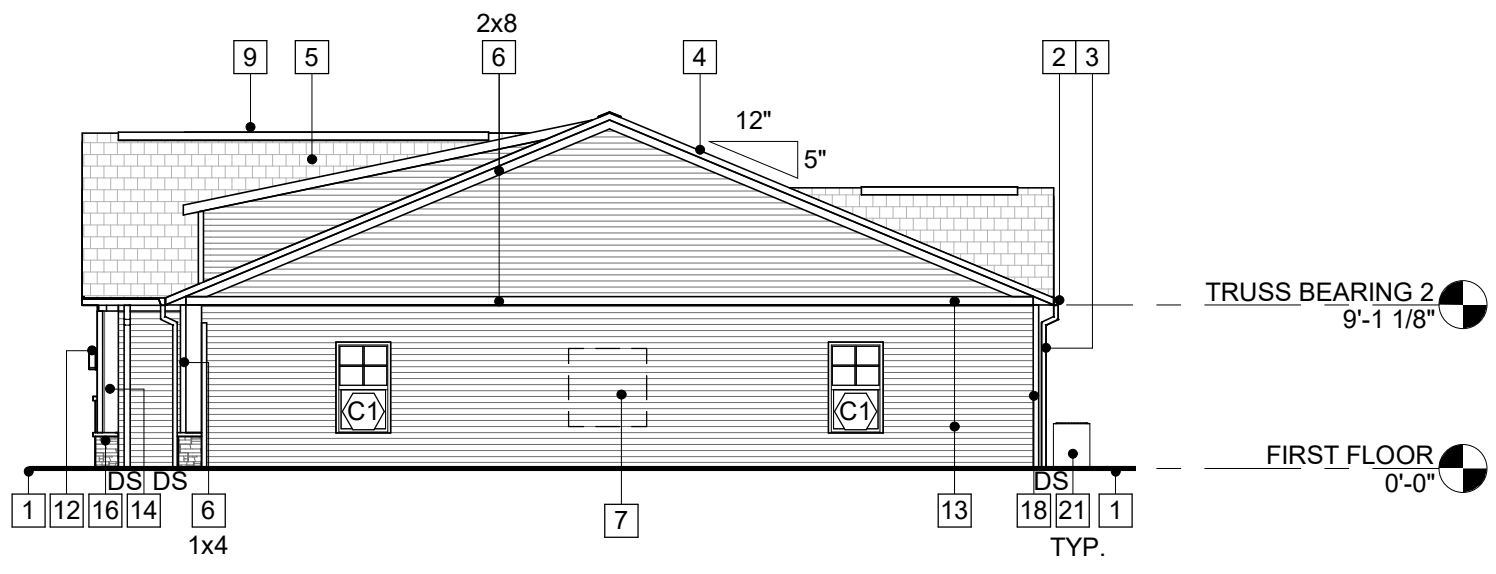
6 ELEVATION BUILDINGS 'C4', 'D10', & 'D14' - LEFT  
3/32" = 1'-0"



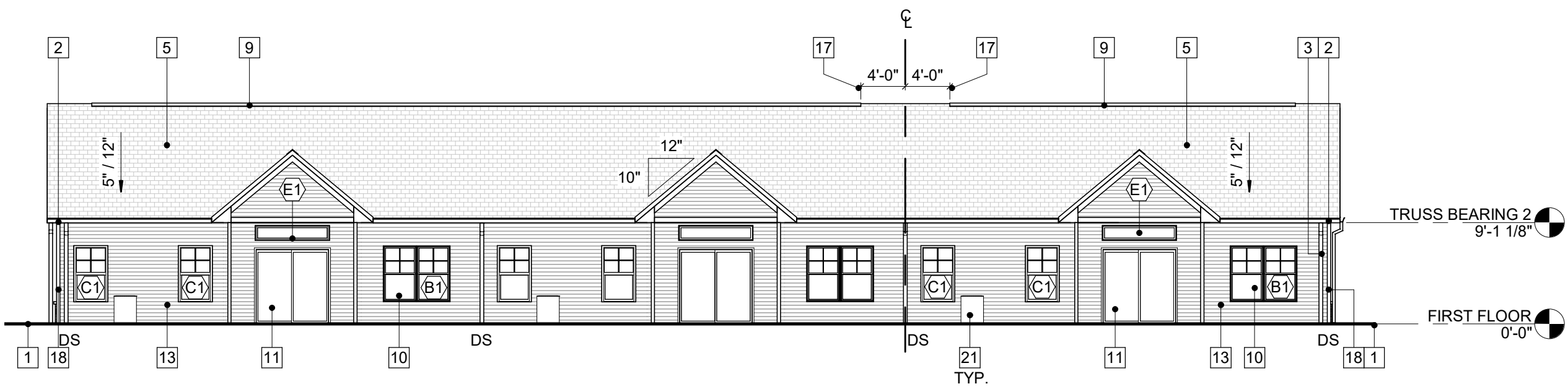
5 ELEVATION BUILDINGS 'C4' & 'D14' - RIGHT - HP  
3/32" = 1'-0"



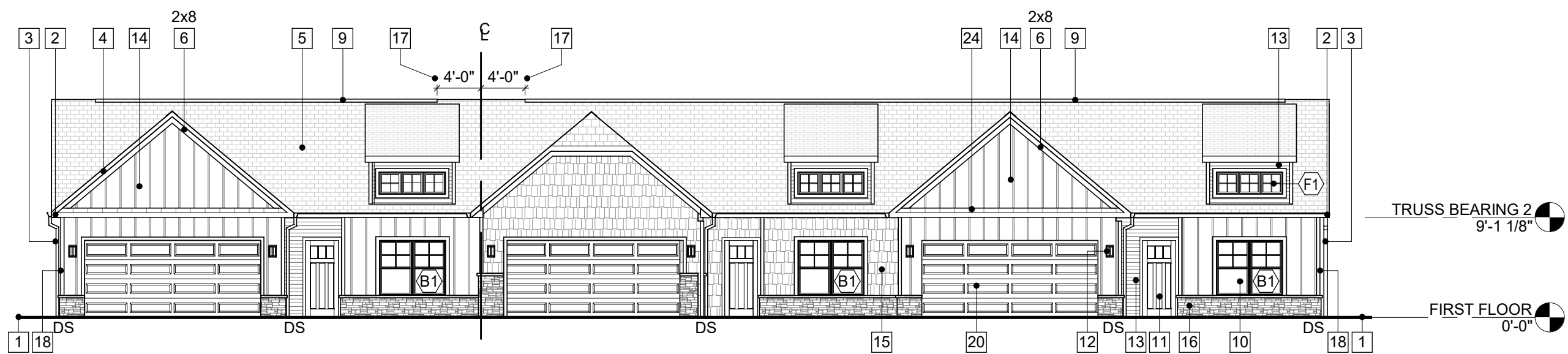
4 ELEVATION BUILDINGS 'A11' & 'B11' - LEFT - HP  
3/32" = 1'-0"



3 ELEVATION BUILDINGS 'A11', 'B11', & 'D10' - RIGHT  
3/32" = 1'-0"



2 ELEVATION BUILDINGS 'A11', 'B11', 'C4', 'D10', & 'D14' - REAR  
3/32" = 1'-0"



1 ELEVATION BUILDINGS 'A11', 'B11', 'C4', 'D10', & 'D14' - FRONT  
3/32" = 1'-0"



GENERAL NOTES - ELEVATIONS

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PRELIMINARY

NOTE!!!  
THIS DRAWING IS NOT  
FOR CONSTRUCTION

REVISIONS

phone 330.666.5770  
fax 330.666.8812  
3660 Embassy Parkway  
Fairlawn, OH 44333  
mpg-architects.com

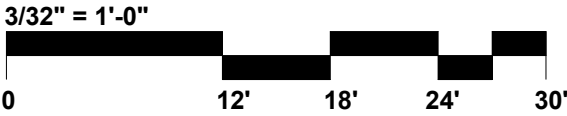
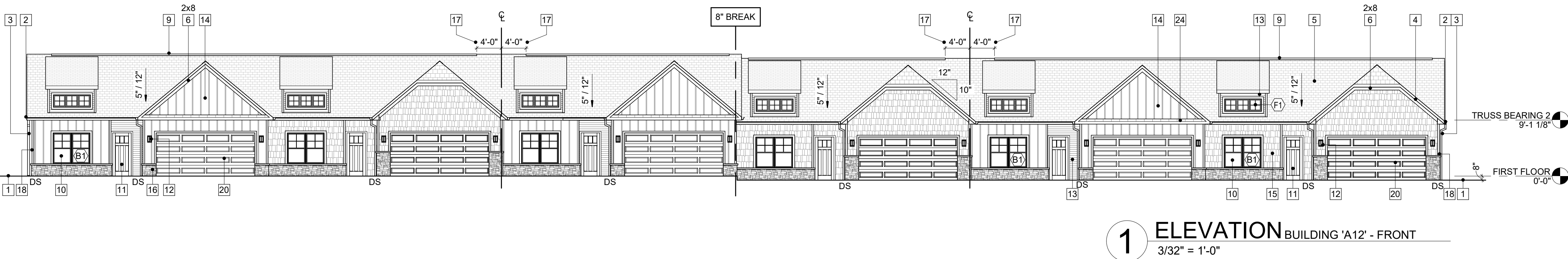
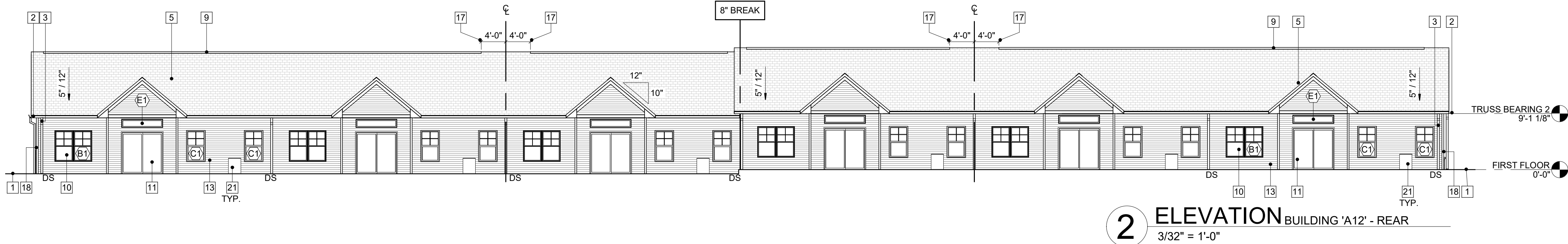
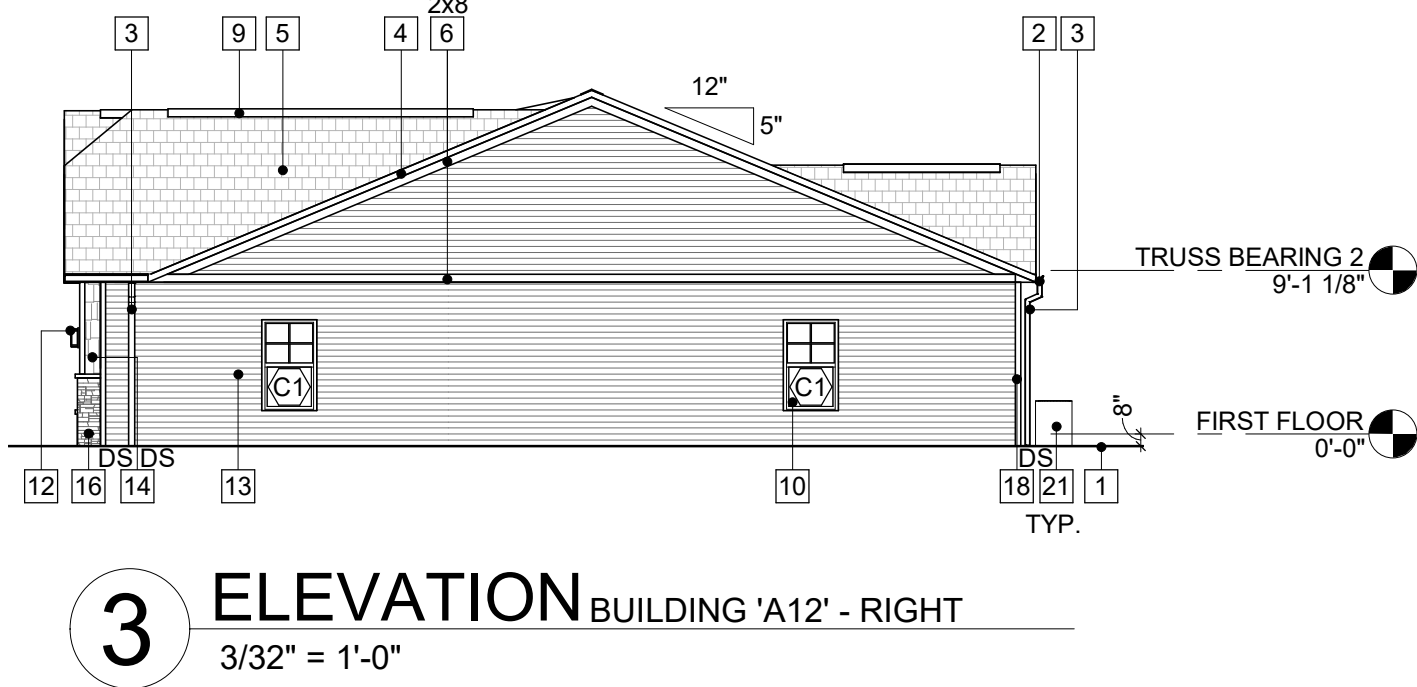
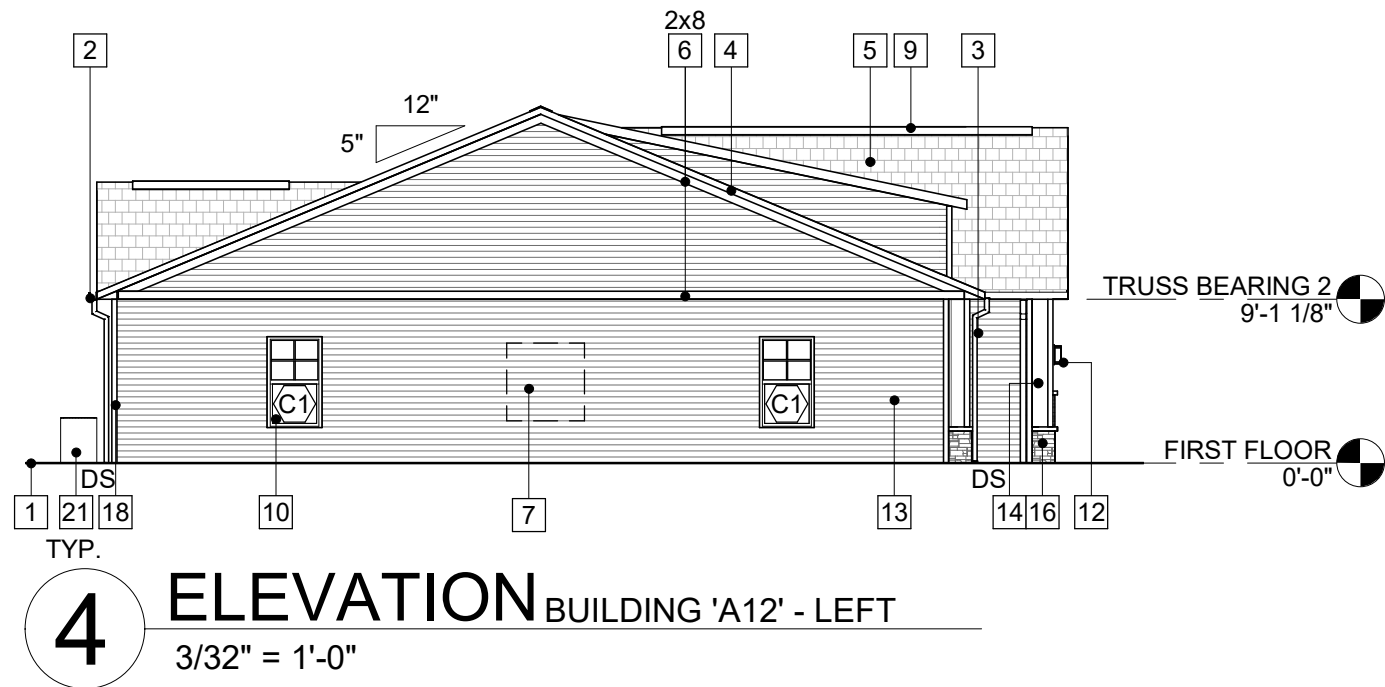
MPG  
MANN • PARSONS • GRAY  
ARCHITECTS

EXTERIOR ELEVATIONS - BUILDING A12

PROJECT #: 1322 DATE: MARCH 2, 2022

THE HAMPTONS AT THE HEIGHTS  
EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

A2.09



GENERAL NOTES - ELEVATIONS

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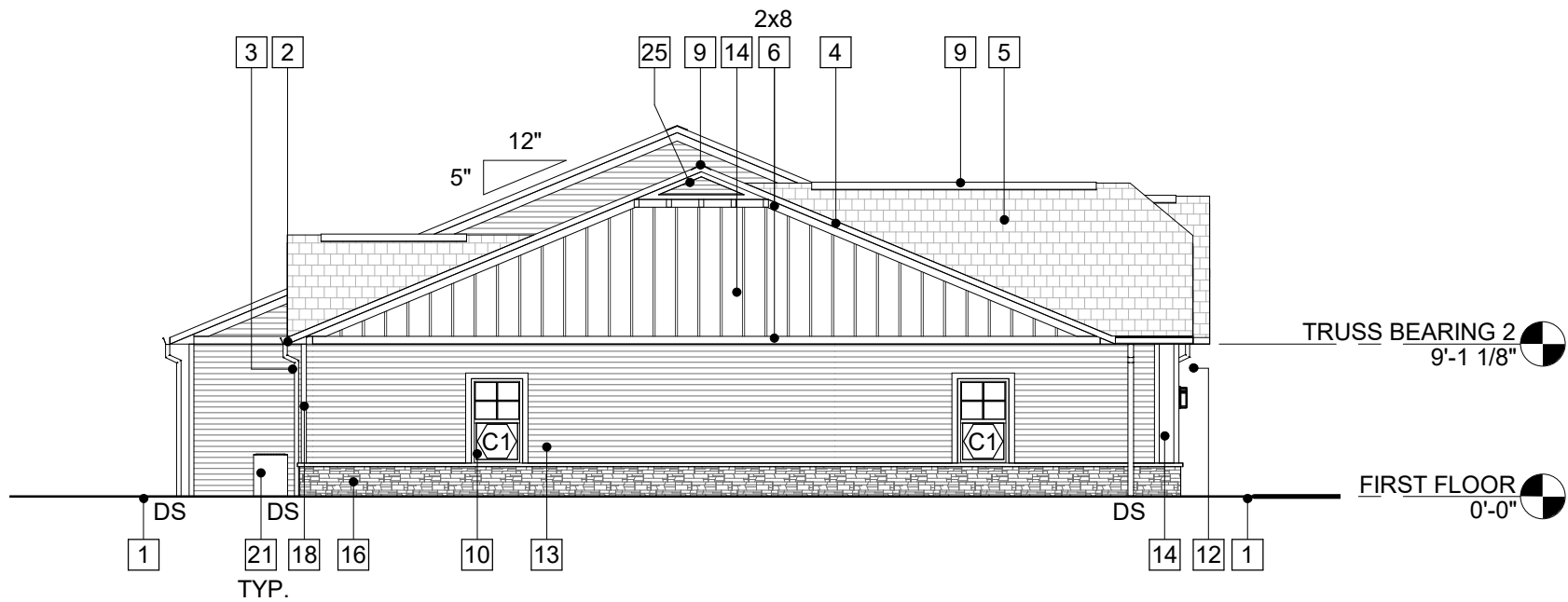
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REFERS TO DRAWING SHEET NUMBER

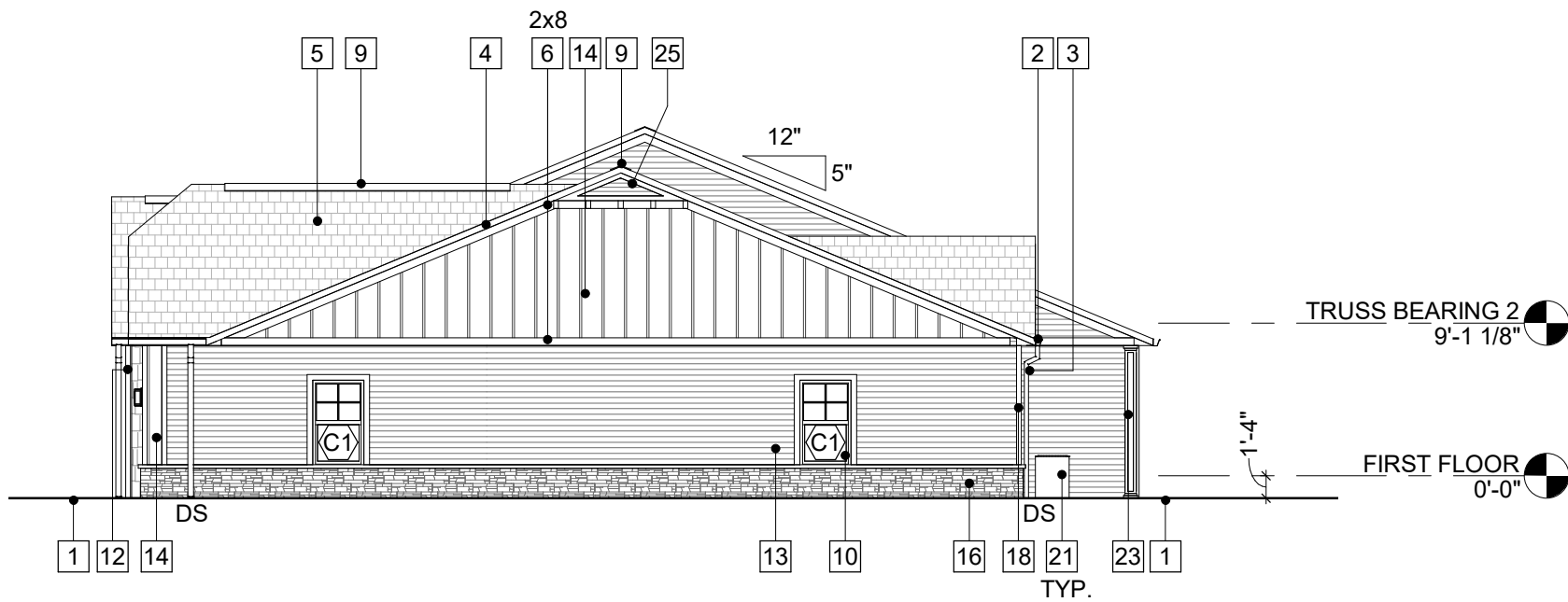
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FLAG NOTES - EXTERIOR ELEVATIONS

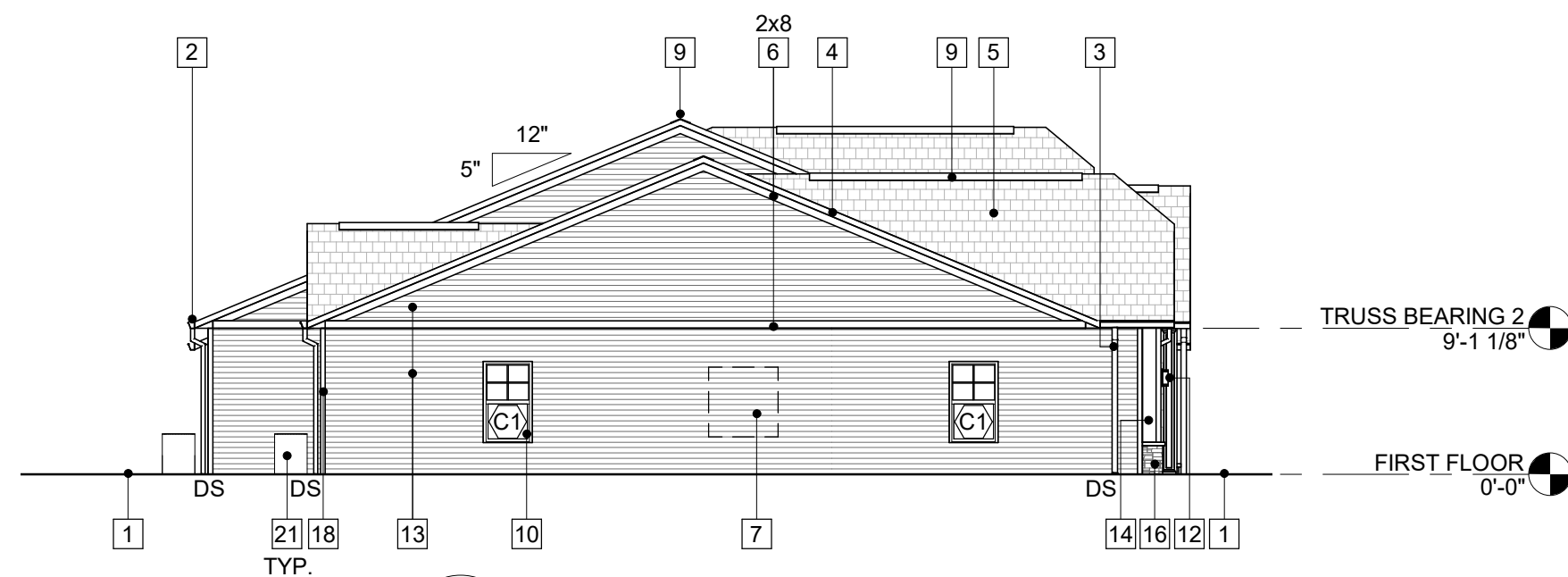
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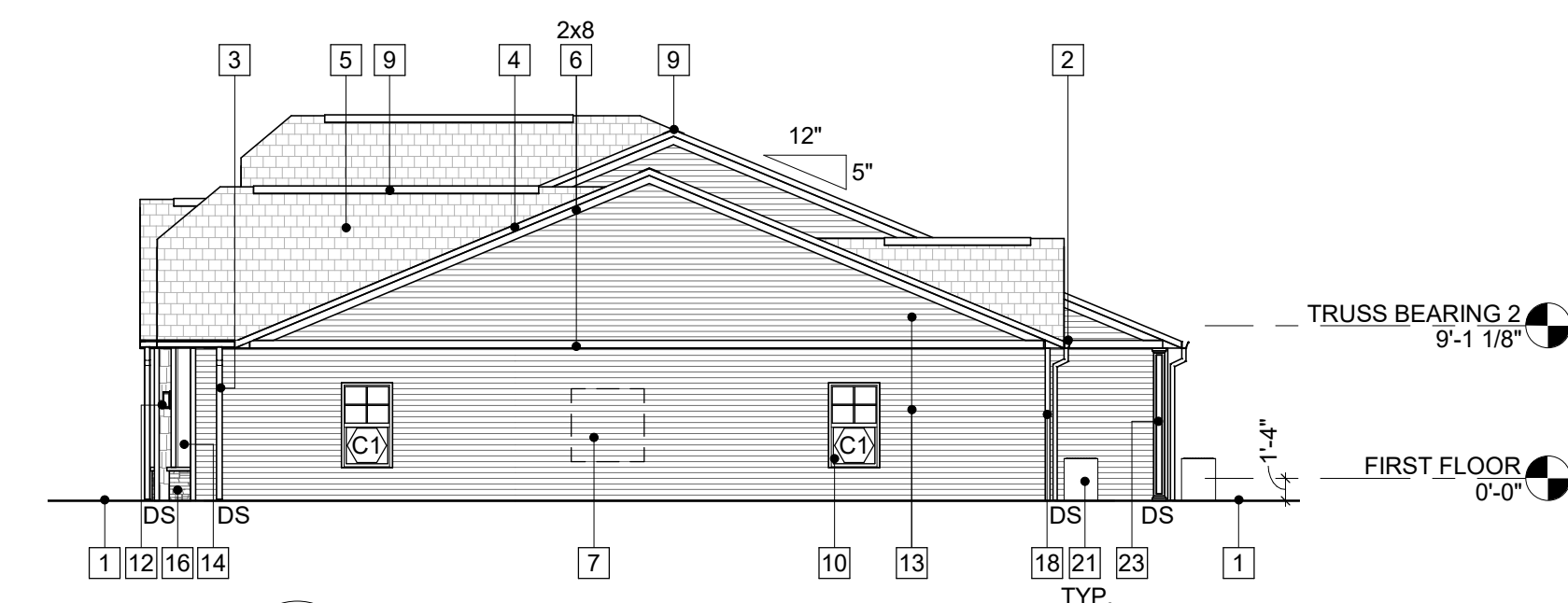
6 ELEVATION BUILDINGS 'B14' - LEFT - HP  
3/32" = 1'-0"



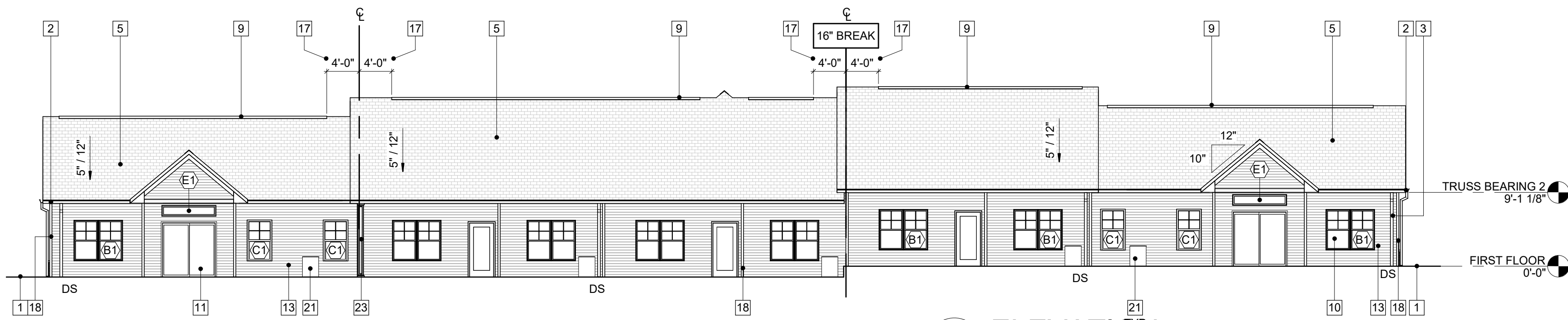
5 ELEVATION BUILDING 'B1' - RIGHT - HP  
3/32" = 1'-0"



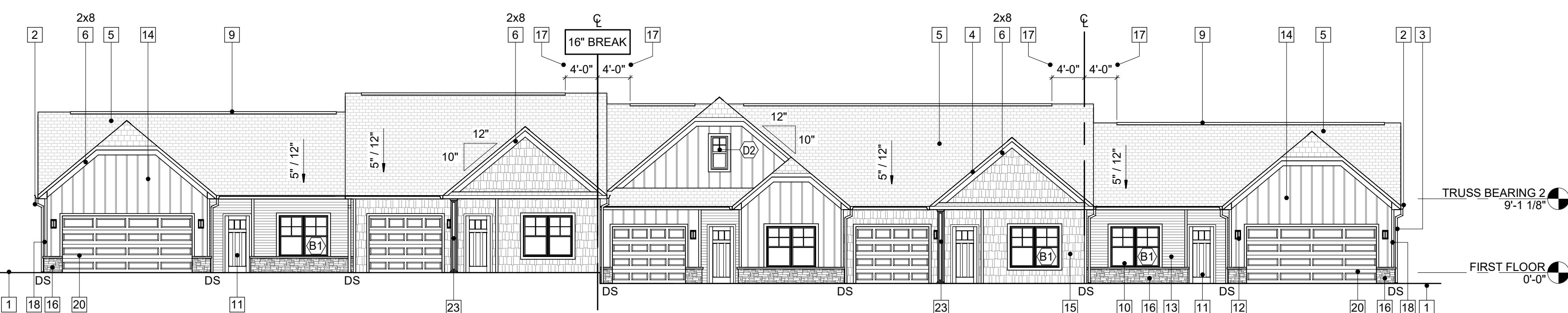
4 ELEVATION BUILDING 'B1' - LEFT  
3/32" = 1'-0" BUILDINGS 'A3', 'A4', & 'D6' SIM.



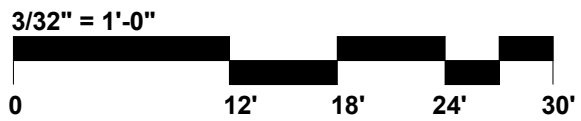
3 ELEVATION BUILDING 'B14' - RIGHT  
3/32" = 1'-0" BUILDINGS 'A3', 'A4', & 'D6' SIM.



2 ELEVATION BUILDING 'B1' & 'B14' - REAR  
3/32" = 1'-0" BUILDINGS 'A3', 'A4', & 'D6' SIM.



1 ELEVATION BUILDING 'B1' & 'B14' - FRONT  
3/32" = 1'-0" BUILDINGS 'A3', 'A4', & 'D6' SIM.



EXTERIOR ELEVATIONS - BUILDINGS B1 & B14

PROJECT #: 1322

DATE: MARCH 2, 2022

THE HAMPTONS AT THE HEIGHTS

EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

A2.10

BUILDINGS 'A3', 'A4', & 'D6'  
SIM.

phone 330.666.5770  
fax 330.666.8812  
3660 Embassy Parkway  
Fairlawn, OH 44333  
MANN • PARSONS • GRAY  
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GENERAL NOTES - ELEVATIONS

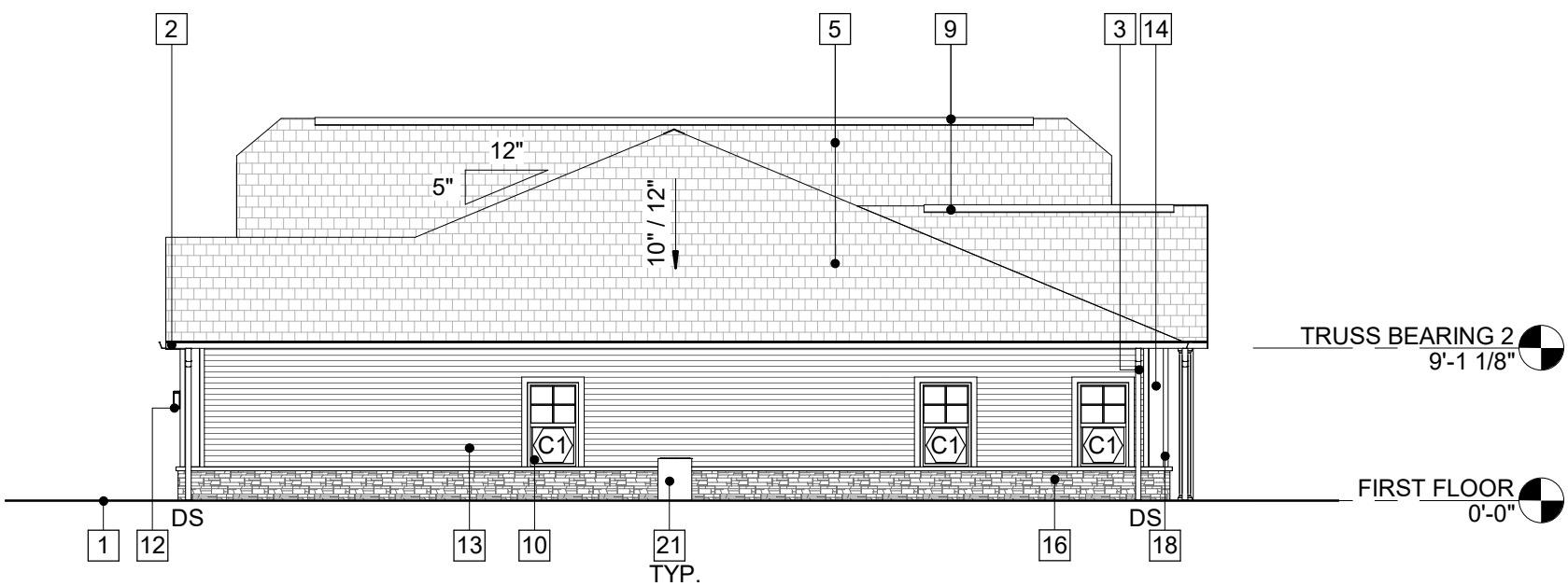
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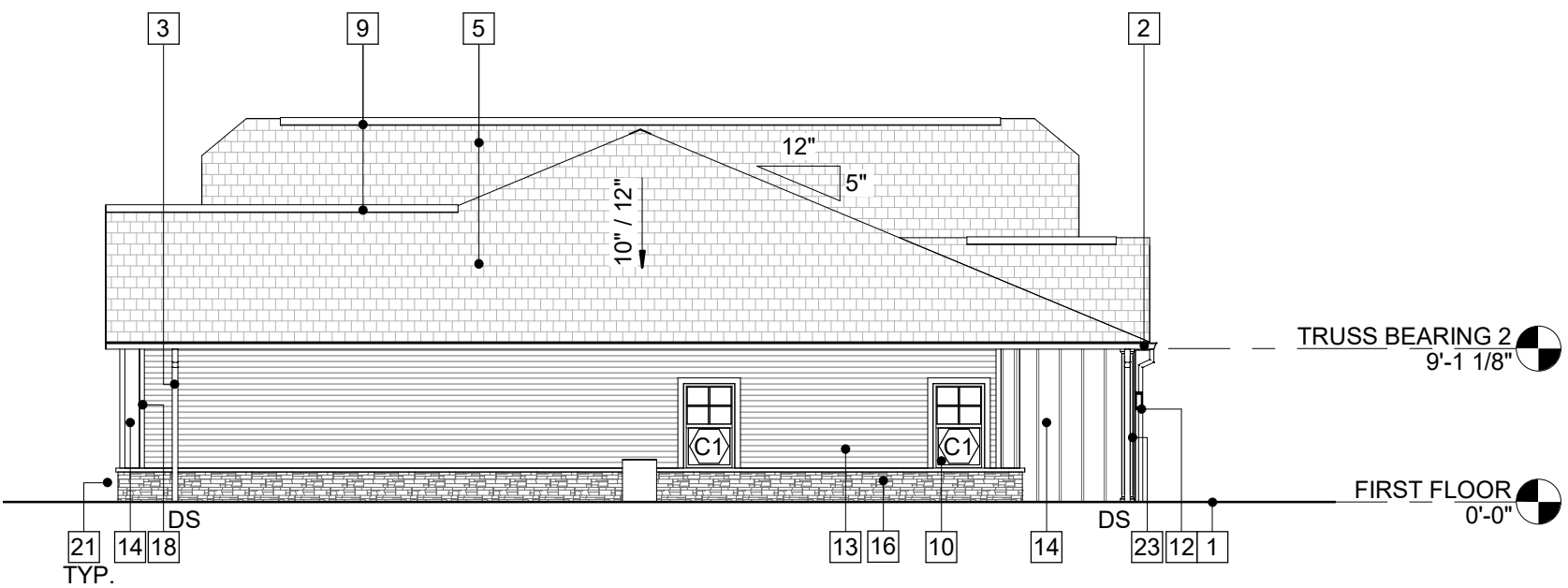
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FLAG NOTES - EXTERIOR ELEVATIONS

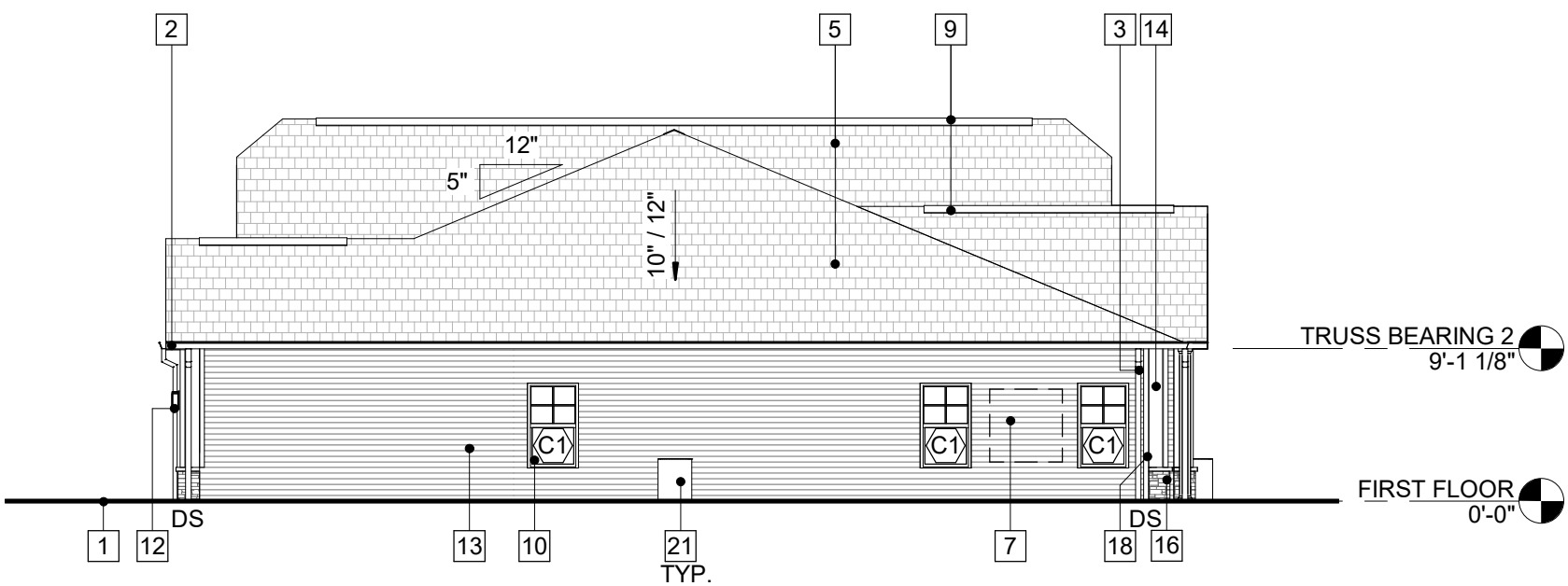
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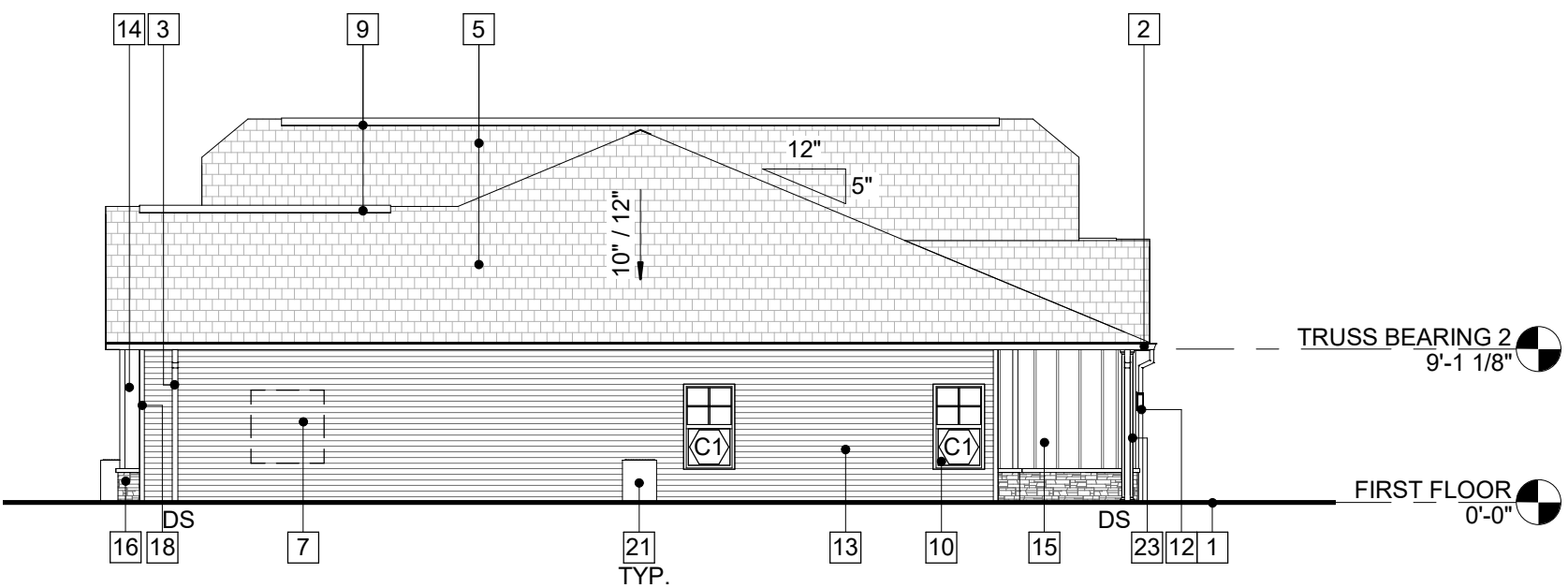
6 ELEVATION BUILDINGS 'B9' - LEFT - HP  
3/32" = 1'-0"



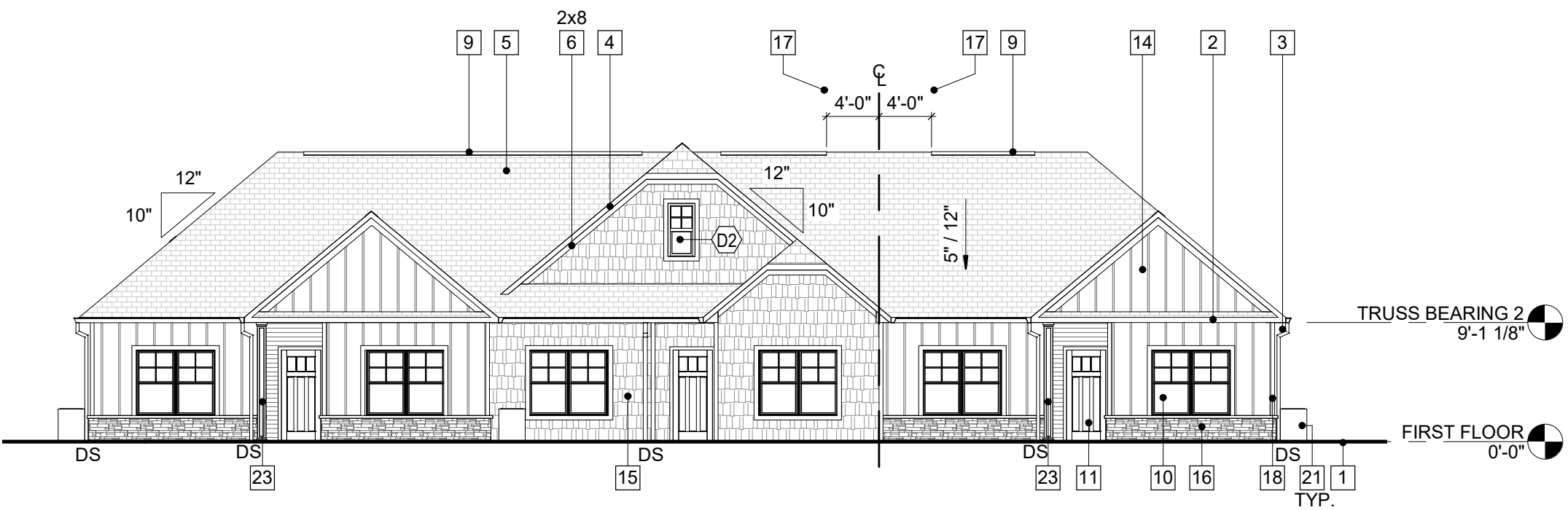
5 ELEVATION BUILDING 'D1' - RIGHT - HP  
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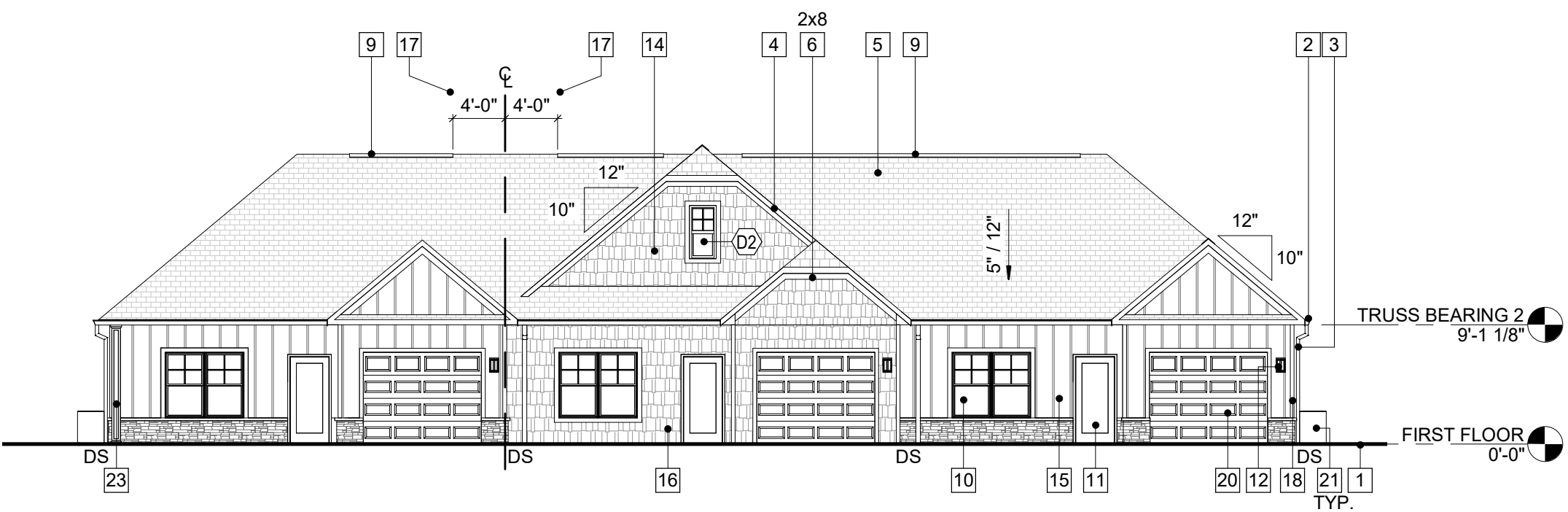
4 ELEVATION BUILDINGS 'B6', 'D1', 'D2', 'D3', & 'D4' - LEFT, 'B7', 'B8', & 'B9' (MIRR.)  
3/32" = 1'-0"



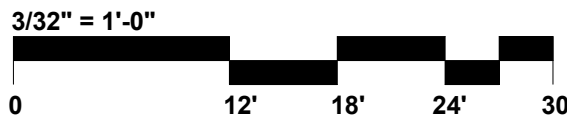
3 ELEVATION BUILDINGS 'B6', 'D2', 'D3', & 'D4' - RIGHT, 'B7', & 'B8' (MIRR.)  
3/32" = 1'-0"



2 ELEVATION BUILDINGS 'B6', 'D1', 'D2', 'D3', & 'D4' - REAR HP, 'B7', 'B8', & 'B9' (MIRR.)  
3/32" = 1'-0"



1 ELEVATION BUILDINGS 'B6', 'D1', 'D2', 'D3', & 'D4' - FRONT, 'B7', 'B8', & 'B9' (MIRR.)  
3/32" = 1'-0"



EXT. ELEV. - BLDGS. B6, D1, D2, D3, & D4, B7, B8, & B9 (MIRR.)

PROJECT #: 1322

DATE: MARCH 2, 2022

THE HAMPTONS AT THE HEIGHTS

EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

phone 330.666.5770  
fax 330.666.8812  
3660 Embassy Parkway  
Fairlawn, OH 44333  
MANN • PARSONS • GRAY  
ARCHITECTS  
mpg-architects.com

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ARCHITECTS

GENERAL NOTES - ELEVATIONS

1. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT FOR CLARIFICATION.
2. COORDINATE ALL EXTERIOR FINISH MATERIALS, STYLES, AND COLORS WITH OWNER.
3. REFER TO STRUCTURAL DETAILS FOR TYPICAL EXPANSION AND CONTROL JOINT CONSTRUCTION.

SYMBOL LEGEND

- TYPICAL SECTION AND DETAIL FLAGS:  
REFERS TO SECTION OR ELEVATION NUMBER  
REFERS TO DRAWING SHEET NUMBER
- 101-1 INDICATES DOOR TYPE - REFER TO SHEET A6.1 FOR DOOR SCHEDULE & DOOR/FRAME MATERIALS & ELEVATIONS
- (A) INDICATES WINDOW TYPE, REFER TO SHEET A6.3 FOR WINDOW ELEVATIONS
- DATUM POINT, INDICATES ELEVATION
- DS DOWNSPOUT, SEE DETAILS

FLAG NOTES - EXTERIOR ELEVATIONS

- 1 APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS
- 2 PREFINISHED ALUMINUM GUTTER; K-STYLE, TYP. SLOPE 1/16" PER 12" MINIMUM TO DOWNSPOUTS.
- 3 3x4 PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE DOWNSPOUT.
- 4 TYPICAL FASCIA TRIM - ALUM CLAD 2x6 WITH ALUM DRIP EDGE, TYP UNO.
- 5 ARCHITECTURAL FIBERGLASS SHINGLE ROOF PER ASSEMBLY AND SPECS.
- 6 VINYL TRIM BAND, SIZE AS INDICATED.
- 7 FIBER CEMENT PANEL (PRE-ROCK AT ELECTRICAL GEAR); LOCATE JOINTS BEHIND BRACKETS AND/OR TRIM AND FLASH ALL HORIZONTAL JOINTS IN PANEL SIDING PER MFR. TEXTURE TO BE APPROVED BY OWNER. GC TO COORDINATE LOCATIONS IN FIELD PRIOR TO ROUGH-IN.
- 9 CONTINUOUS RIDGE VENT TO MATCH ROOF SHINGLES, TYP.
- 10 WINDOW PER SCHEDULE, TYP. SEE PLANS. PROVIDE 4" NOMINAL TRIM AROUND ALL FRONT AND HIGH PROFILE (HP) LOCATIONS.
- 11 DOOR PER SCHEDULE, TYP. SEE PLANS.
- 12 DECORATIVE LIGHT FIXTURE, TYP. REFER TO ELECTRICAL DRAWINGS.
- 13 PREMIUM VINYL DUTCH LAP SIDING - 5" EXPOSURE. COORDINATE FINAL COLOR(S) WITH OWNER.
- 14 VINYL BOARD ON BATTEN: 2" BATTEN AT 12" O.C., COLOR(S) BY OWNER.
- 15 PREMIUM VINYL SHAKE SIDING. COORDINATE FINAL STYLE & COLOR(S) WITH OWNER.
- 16 MANUFACTURED STONE VENEER, REFER TO DETAILS FOR MORE INFORMATION. COORDINATE FINAL COLOR, SIZE, AND STYLE WITH OWNER.
- 17 NO OPENINGS OR PENETRATIONS WITHIN MIN. 4'-0" OF EITHER SIDE OF 2-HOUR FIRE RATED WALL, TYP.
- 18 4" NOMINAL VINYL CORNER TRIM, COLOR(S) BY OWNER.
- 20 OVERHEAD DOOR, COLOR BY OWNER. REFER TO SCHEDULE.
- 21 A/C UNIT, TYP. REFER TO PLANS AND MECHANICAL DRAWINGS.
- 23 DECORATIVE COLUMN OVER WOOD POST/COLUMN, COLOR AND STYLE BY OWNER.
- 24 STANDING SEAM METAL ROOF ACCENT, COLOR AND STYLE BY OWNER.
- 25 DECORATIVE VENT AND BRACKETS, COLOR AND STYLE BY OWNER.

PRELIMINARY

NOTE!!!  
THIS DRAWING IS NOT  
FOR CONSTRUCTION

REVISIONS

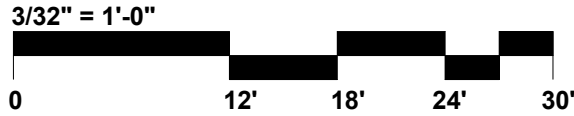
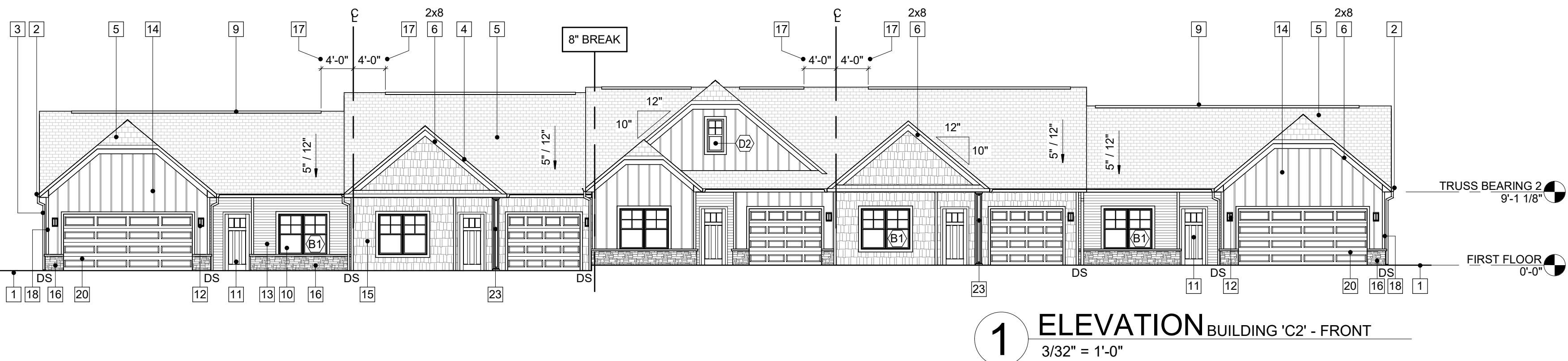
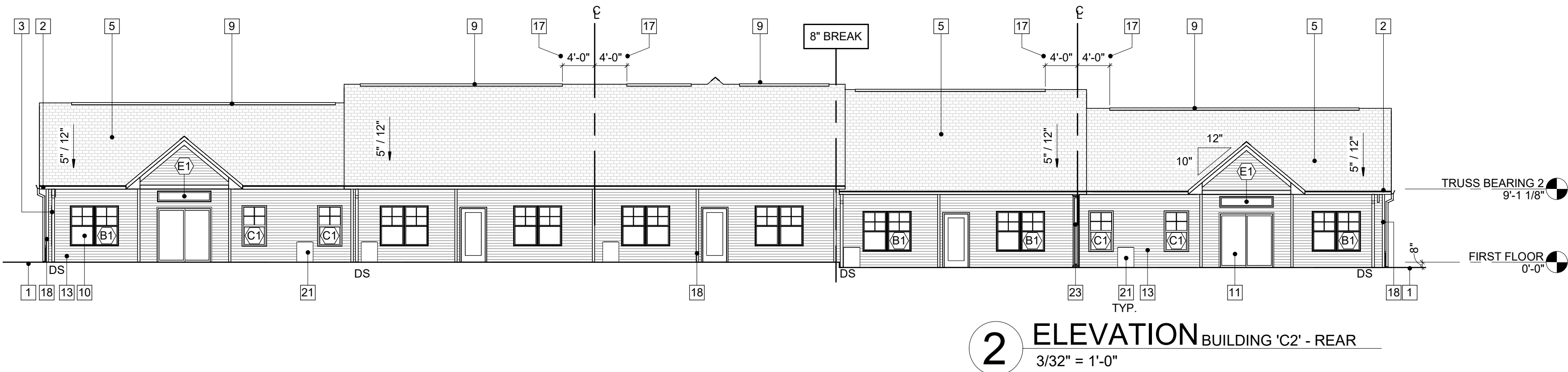
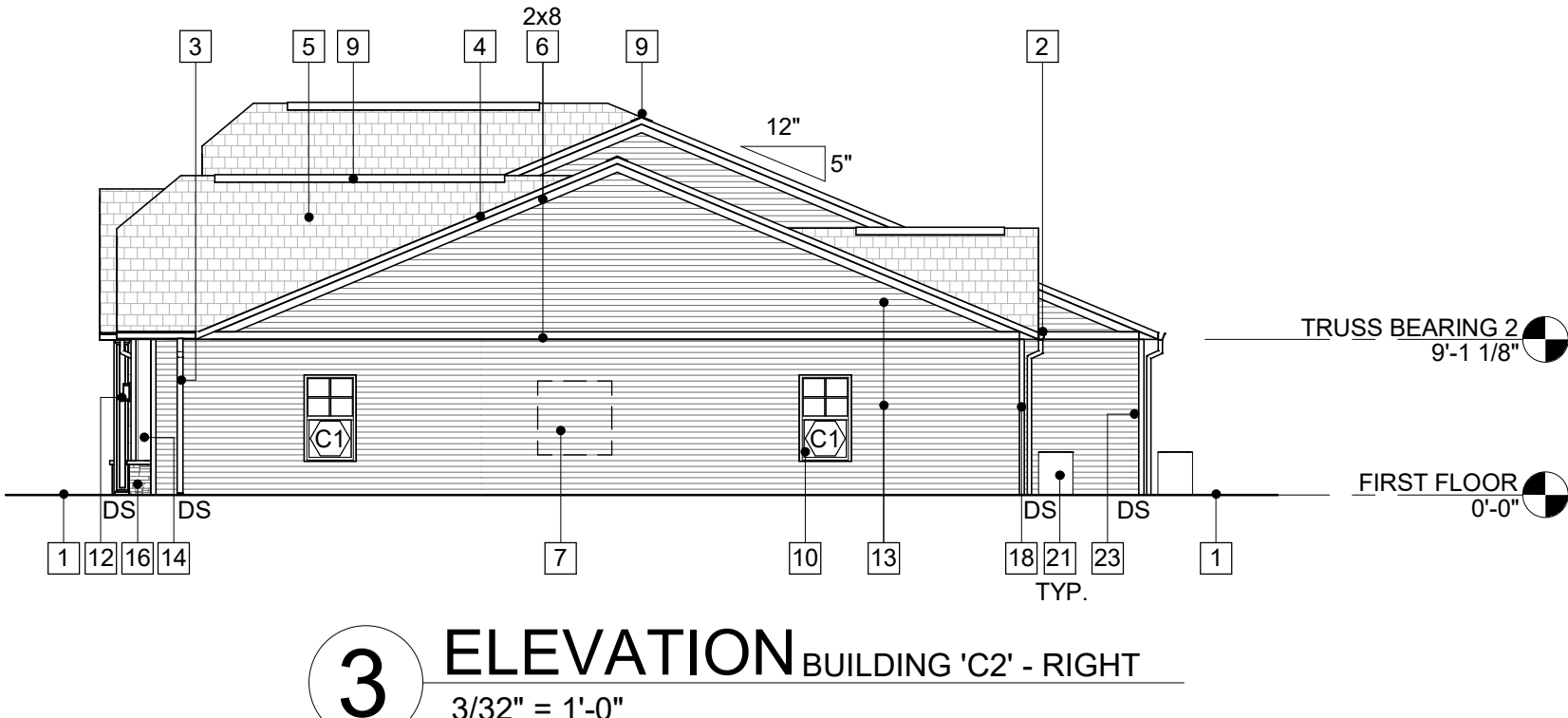
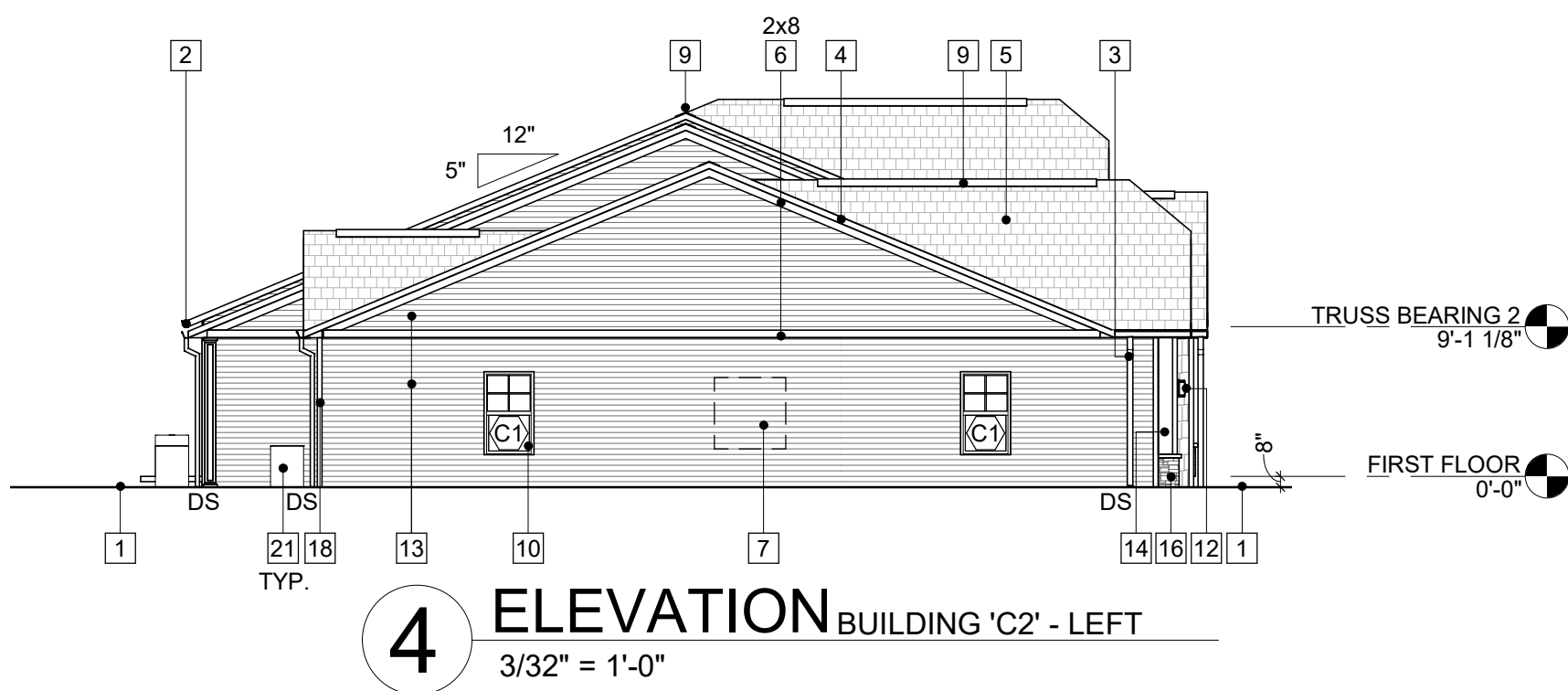
phone 330.666.5770  
fax 330.666.8812  
3660 Embassy Parkway  
Fairlawn, OH 44333  
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EXTERIOR ELEVATIONS - BUILDING C2

PROJECT #: 1322 DATE: MARCH 2, 2022

THE HAMPTONS AT THE HEIGHTS  
EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

A2.12



GENERAL NOTES - ELEVATIONS

1. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT FOR CLARIFICATION.
2. COORDINATE ALL EXTERIOR FINISH MATERIALS, STYLES, AND COLORS WITH OWNER.
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SYMBOL LEGEND

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REFERS TO DRAWING SHEET NUMBER
- 101-1 INDICATES DOOR TYPE - REFER TO SHEET A6.1 FOR DOOR SCHEDULE & DOOR/FRAME MATERIALS & ELEVATIONS
- (A) INDICATES WINDOW TYPE, REFER TO SHEET A6.3 FOR WINDOW ELEVATIONS
- DATUM POINT, INDICATES ELEVATION
- DS DOWNSPOUT, SEE DETAILS

FLAG NOTES - EXTERIOR ELEVATIONS

1. APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS
2. PREFINISHED ALUMINUM GUTTER; K-STYLE, TYP. SLOPE 1/16" PER 12" MINIMUM TO DOWNSPOUTS.
3. 3x4 PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE DOWNSPOUT.
4. TYPICAL FASCIA TRIM - ALUM CLAD 2x6 WITH ALUM DRIP EDGE, TYP UNO.
5. ARCHITECTURAL FIBERGLASS SHINGLE ROOF PER ASSEMBLY AND SPECS.
6. VINYL TRIM BAND, SIZE AS INDICATED.
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phone 330.666.5770  
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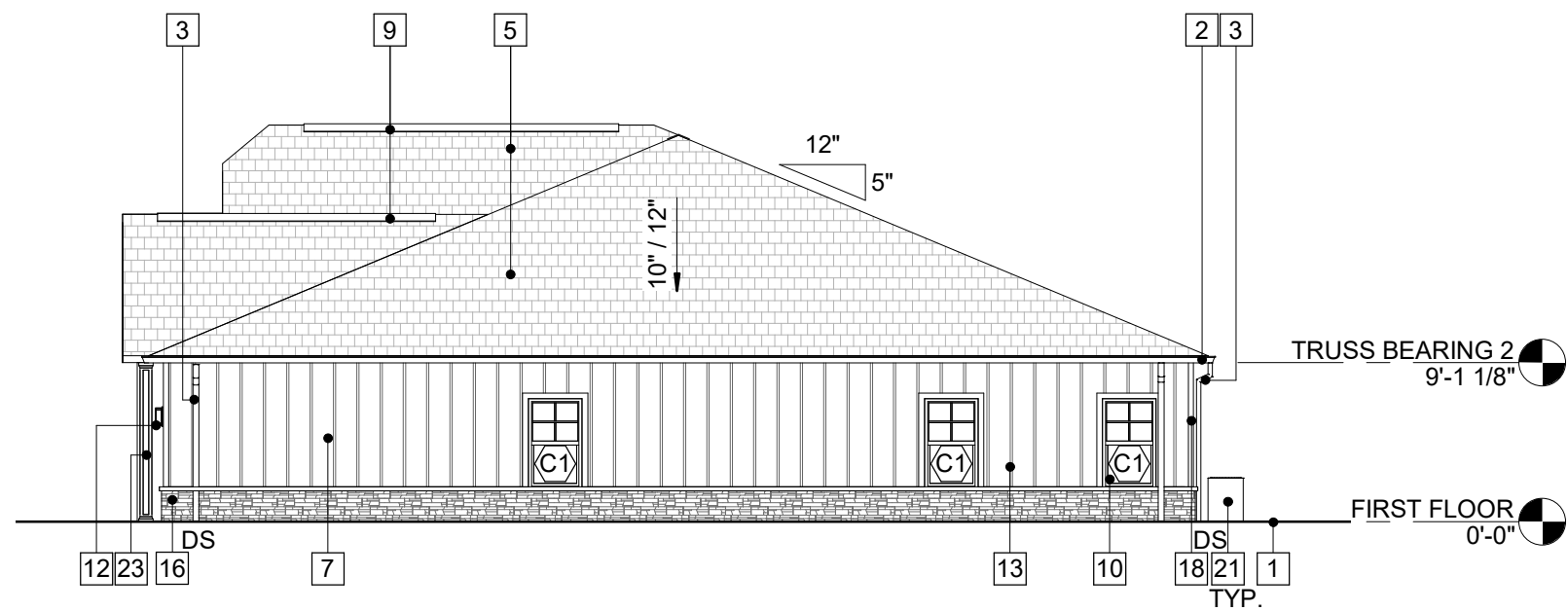
EXTERIOR ELEVATIONS - BLDGS. D7, D8, D11, D12

PROJECT #: 1322 DATE: MARCH 2, 2022

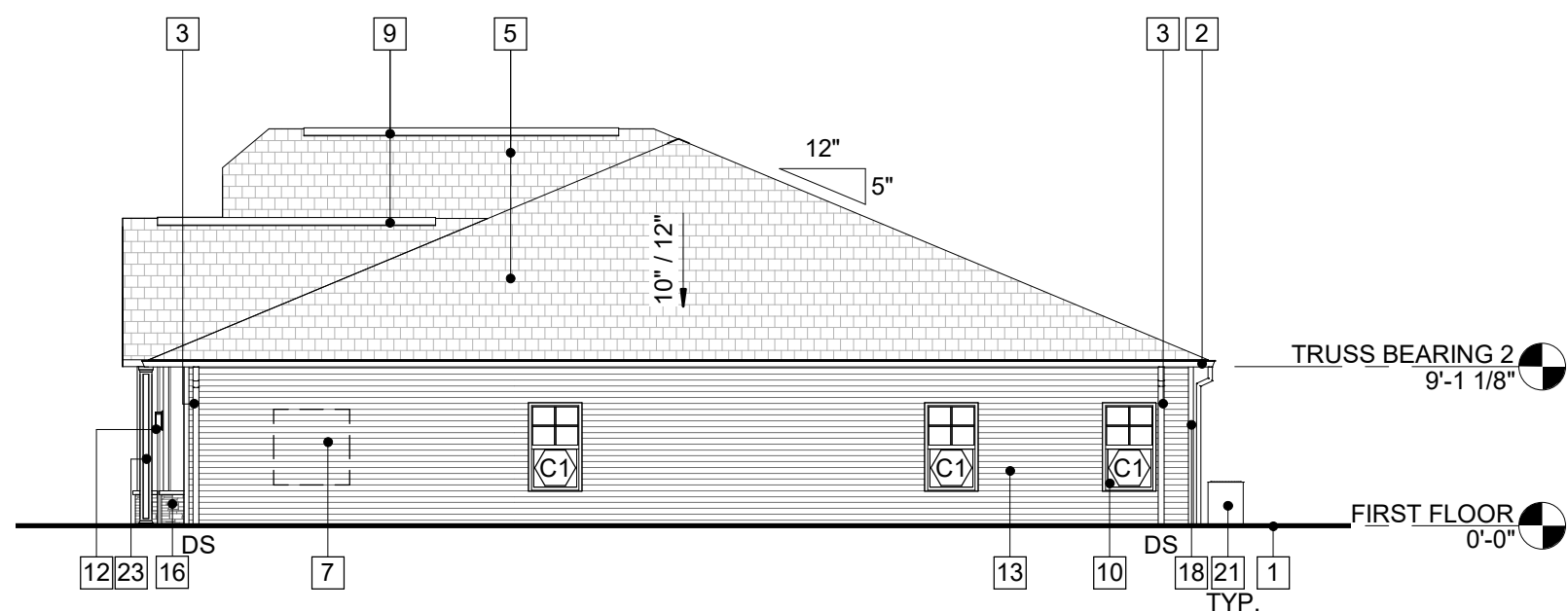
THE HAMPTONS AT THE HEIGHTS

EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

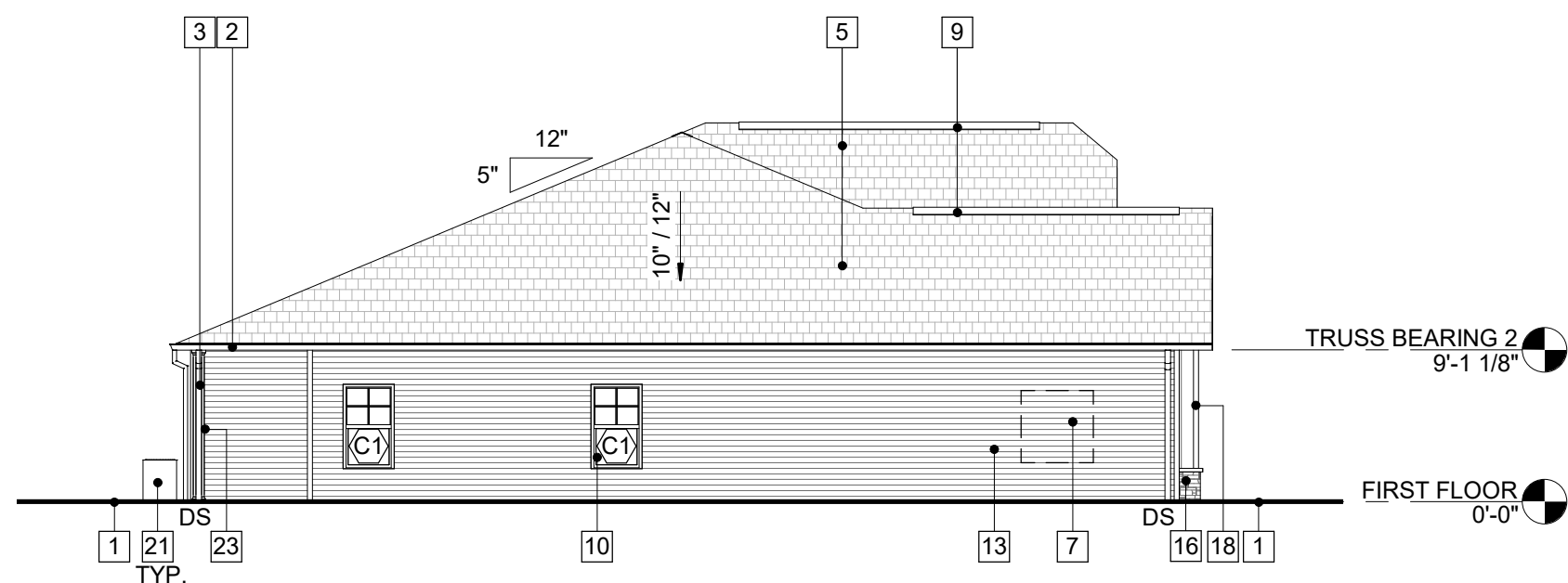
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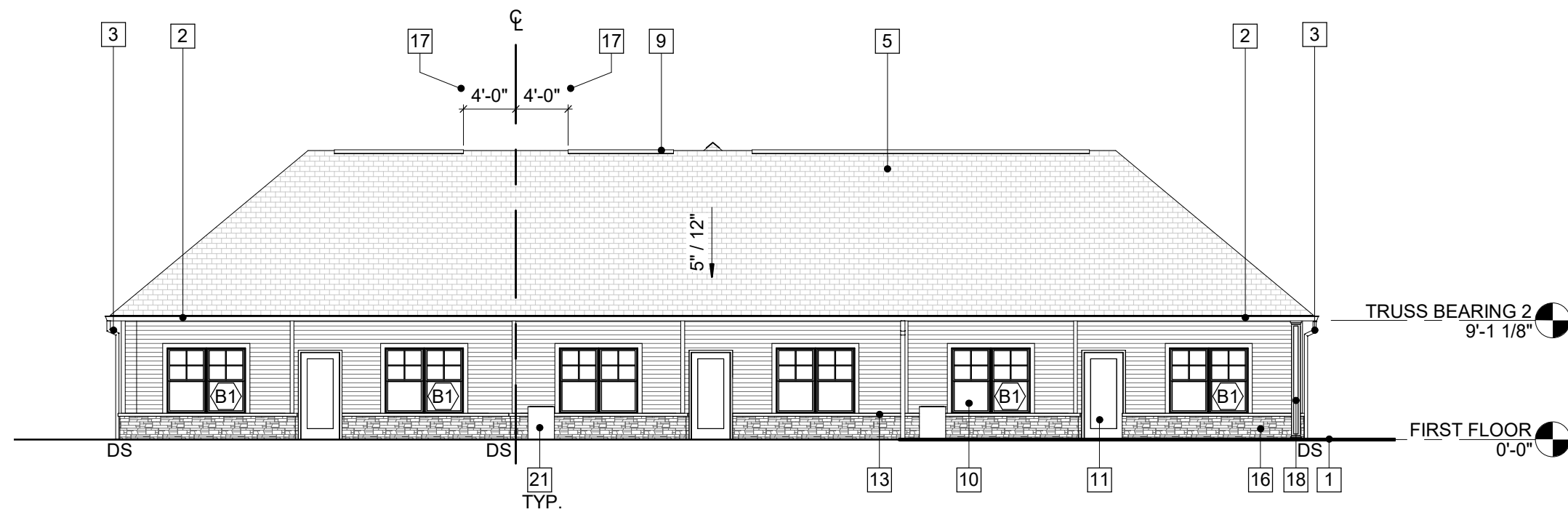
6 ELEVATION BUILDING 'D11' - RIGHT - HP  
3/32" = 1'-0"



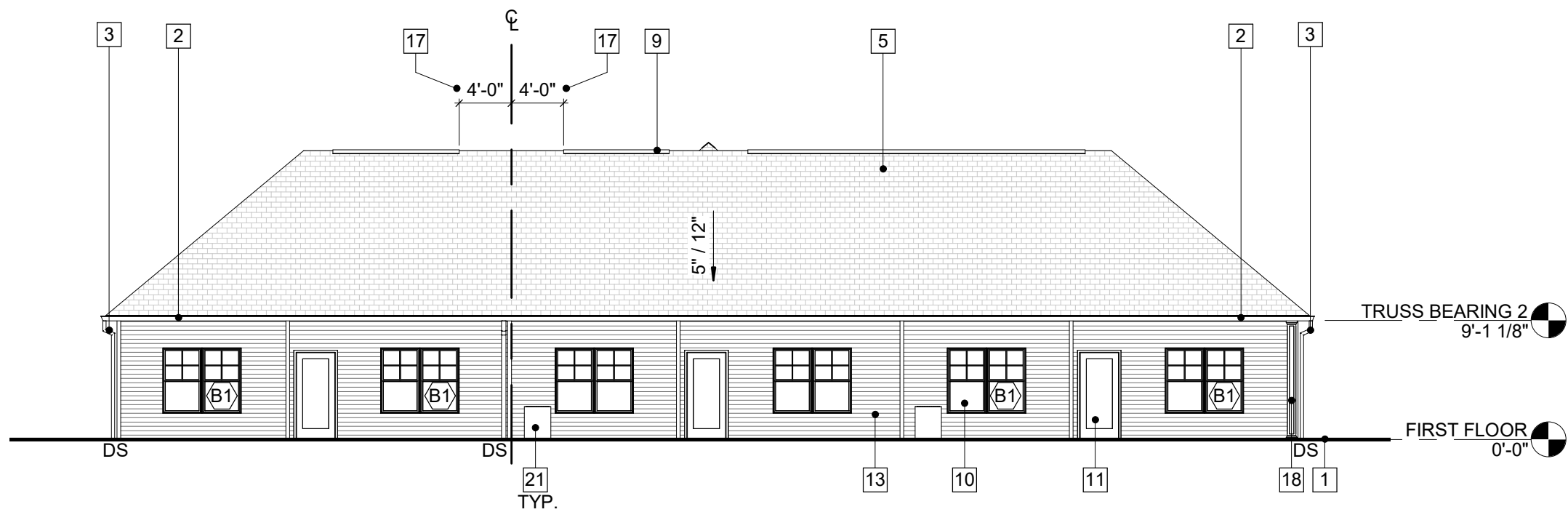
4 ELEVATION BUILDINGS 'D7', 'D8', & 'D12' - RIGHT  
3/32" = 1'-0"



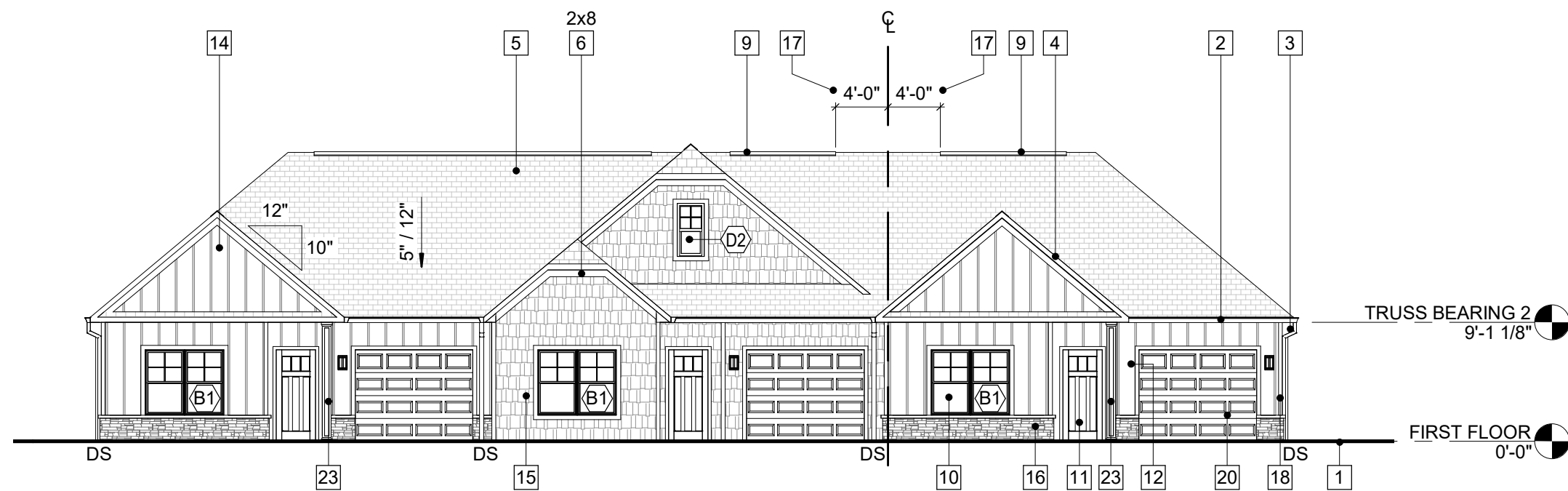
5 ELEVATION BUILDINGS 'D7', 'D8', 'D11' & 'D12' - LEFT  
3/32" = 1'-0"



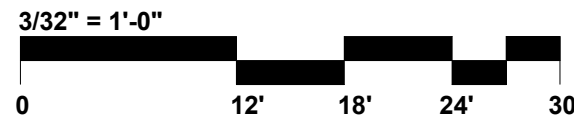
2 ELEVATION BUILDINGS 'D7' & 'D8' - REAR - HP  
3/32" = 1'-0"



3 ELEVATION BUILDINGS 'D11' & 'D12' - REAR  
3/32" = 1'-0"



1 ELEVATION BUILDINGS 'D7', 'D8', 'D11' & 'D12' - FRONT  
3/32" = 1'-0"



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REVISIONS

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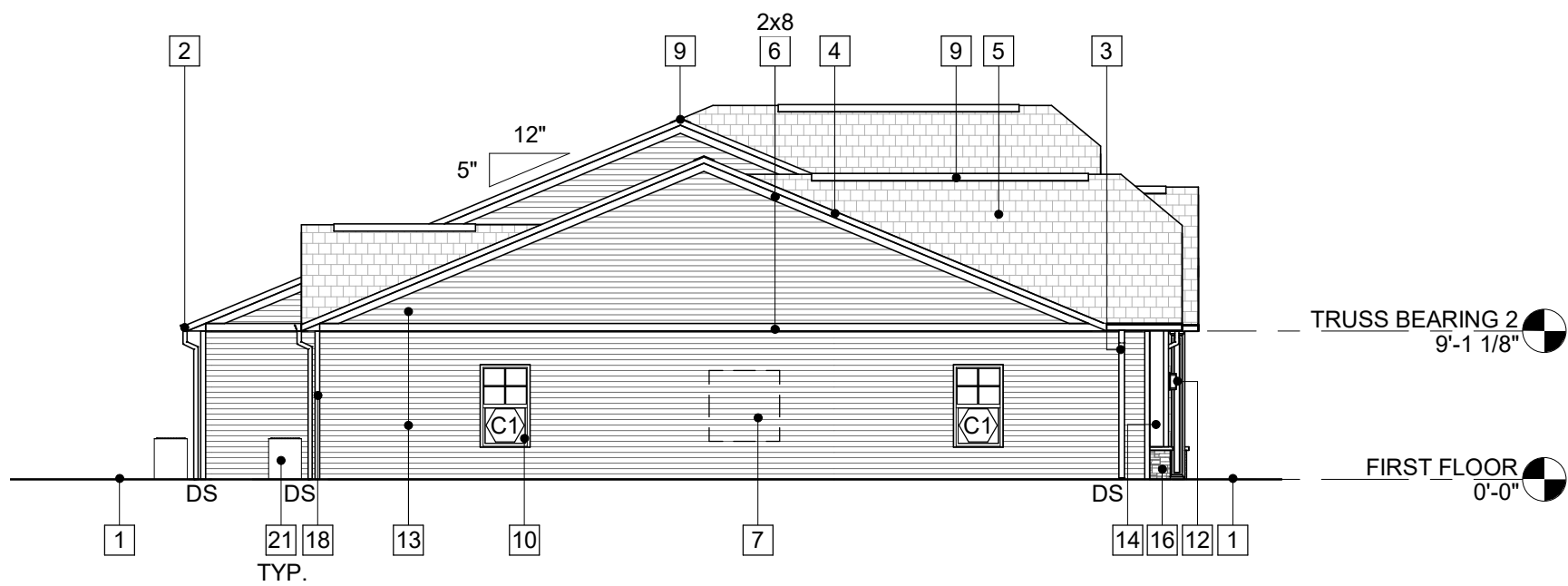
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EXTERIOR ELEVATIONS - BUILDING D13

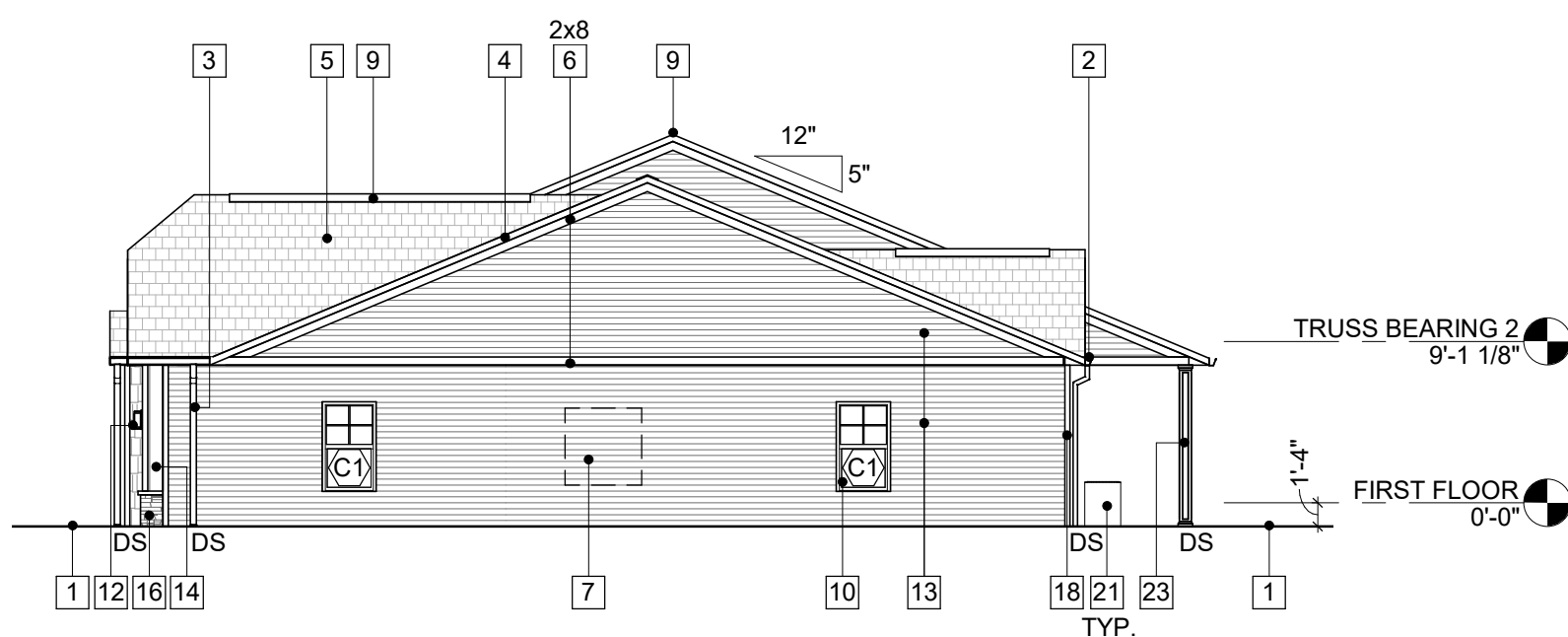
PROJECT #: 1322 DATE: MARCH 2, 2022

THE HAMPTONS AT THE HEIGHTS  
EXECUTIVE BOULEVARD  
HUBER HEIGHTS, OHIO 45424

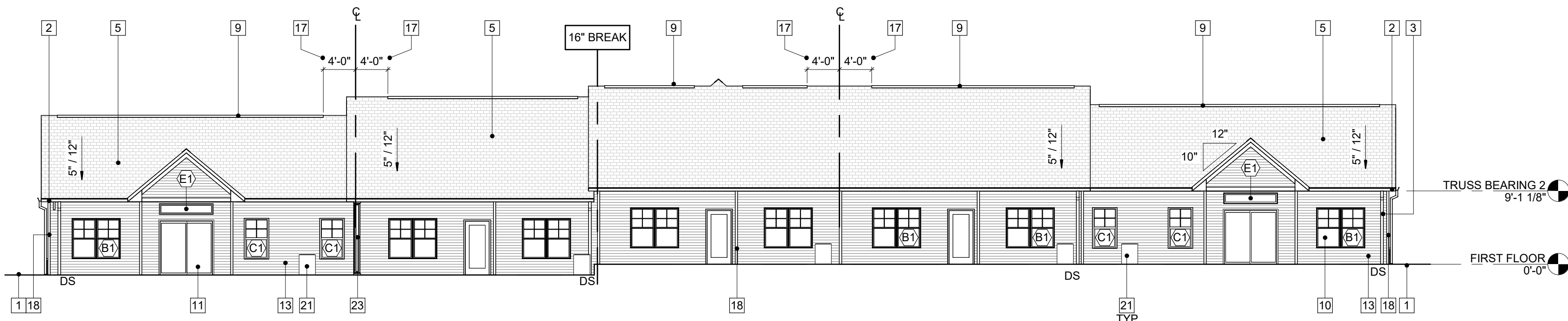
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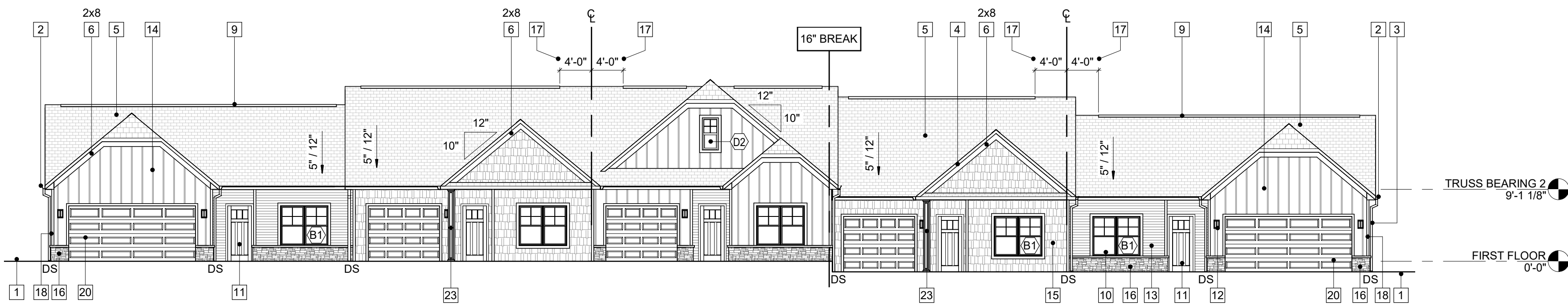
4 ELEVATION BUILDING 'D13' - LEFT  
3/32" = 1'-0"



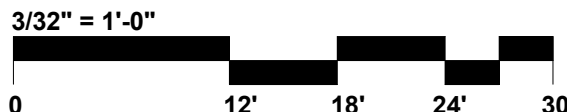
3 ELEVATION BUILDING 'D13' - RIGHT  
3/32" = 1'-0"

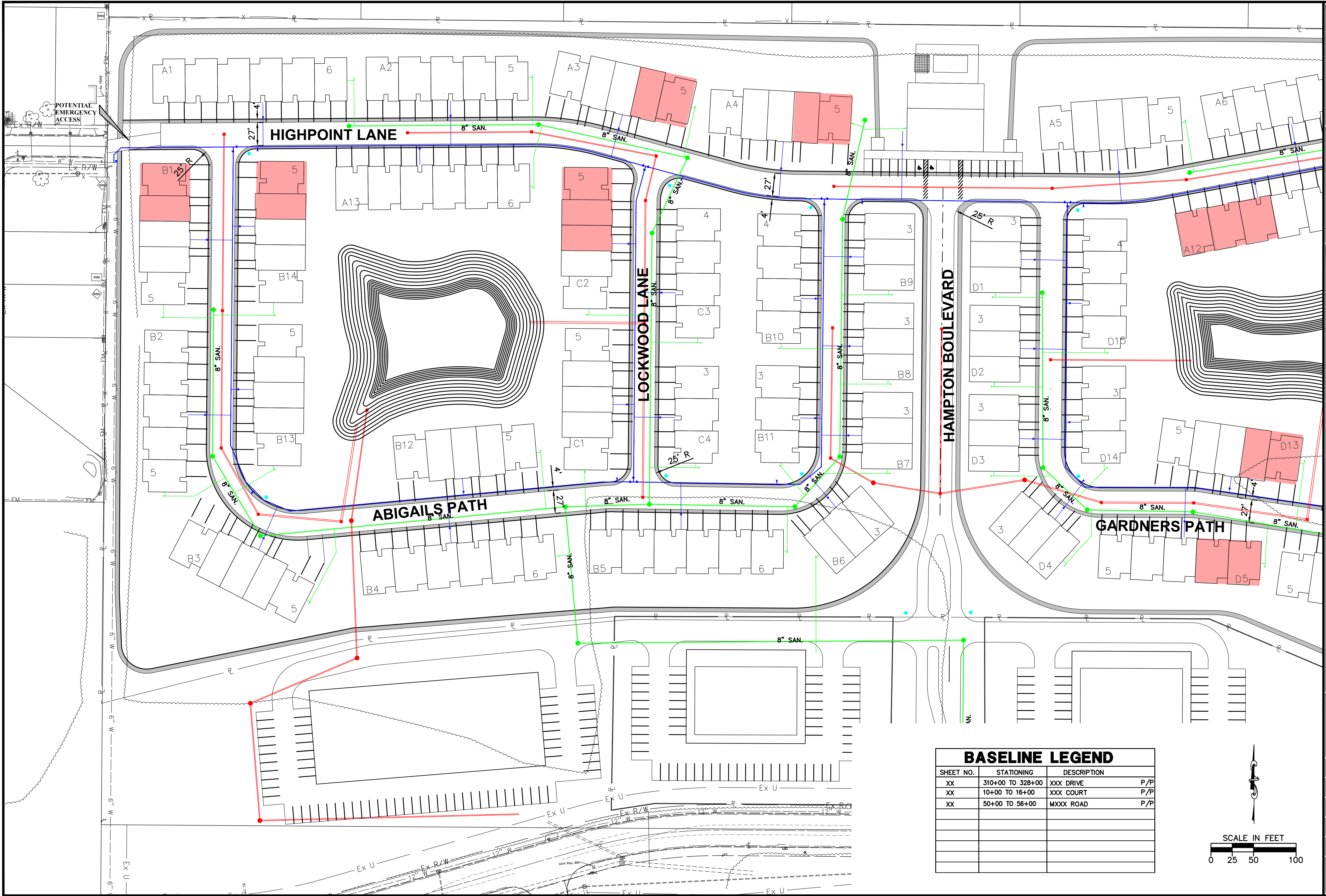


2 ELEVATION BUILDING 'D13' - REAR  
3/32" = 1'-0"

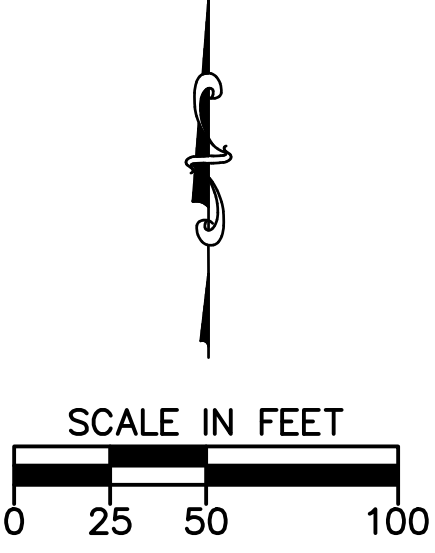


1 ELEVATION BUILDING 'D13' - FRONT  
3/32" = 1'-0"





BASELINE LEGEND			
SHEET NO.	STATIONING	DESCRIPTION	
XX	310+00 TO 328+00	XXX DRIVE	P/P
XX	10+00 TO 16+00	XXX COURT	P/P
XX	50+00 TO 56+00	MXXX ROAD	P/P



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**HAMPTONS AT THE HEIGHTS**  
**CITY OF HUBER HEIGHTS**  
**WEST SCHEMATIC PLAN**

REVISIONS:

FILE NAME  
Schematic Plan

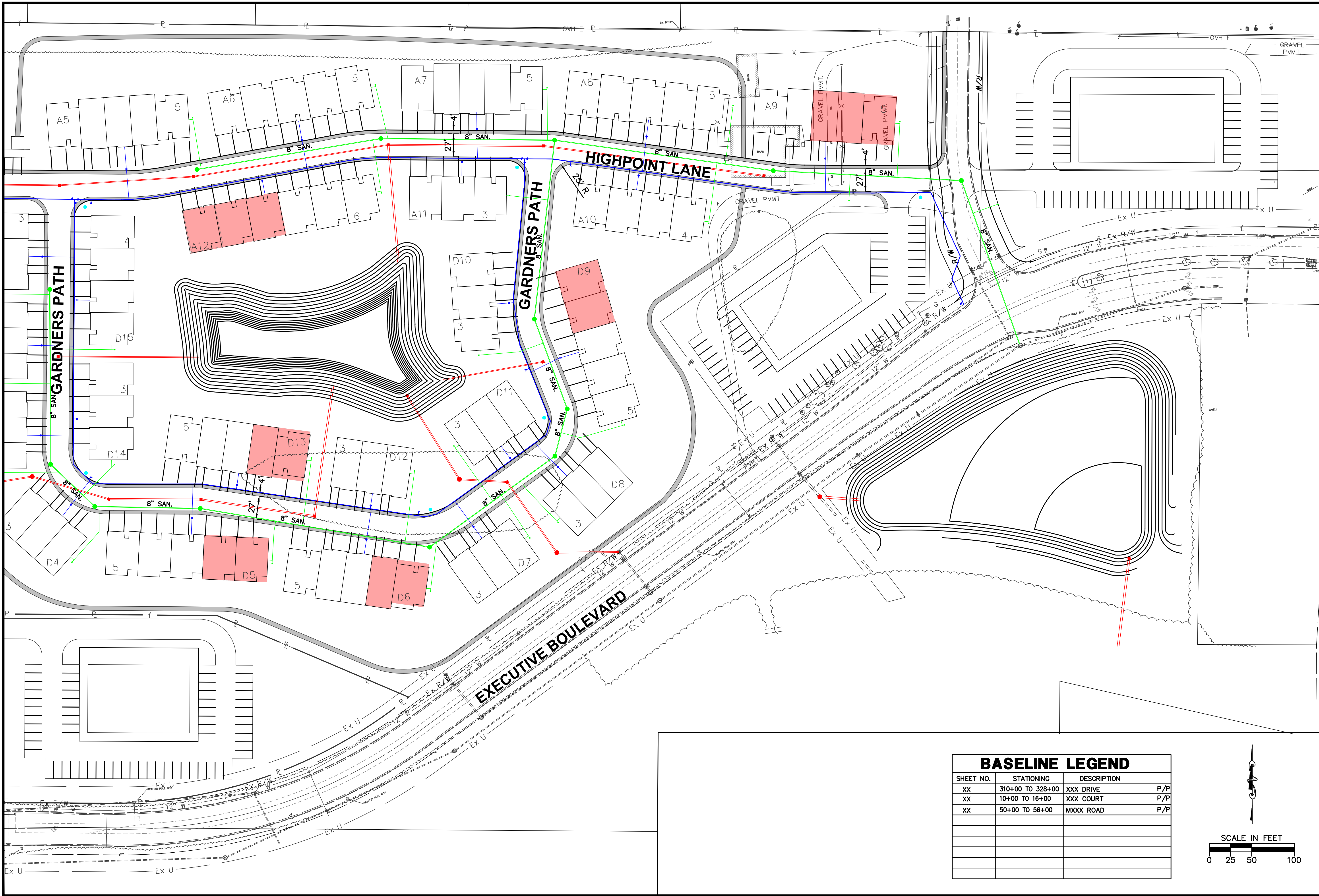
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KMM

CHECKED BY  
MLS

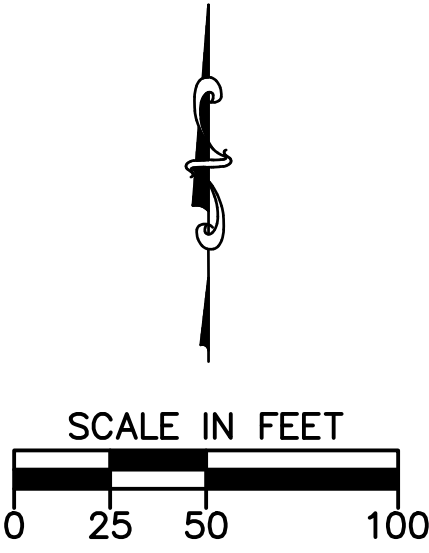
PROJECT No.  
MOT-HHE-2105


DATE  
02-09-2022

SHEET NUMBER  
1 OF 8



BASELINE LEGEND			
SHEET NO.	STATIONING	DESCRIPTION	
XX	310+00 TO 328+00	XXX DRIVE	P/P
XX	10+00 TO 16+00	XXX COURT	P/P
XX	50+00 TO 56+00	MXXX ROAD	P/P



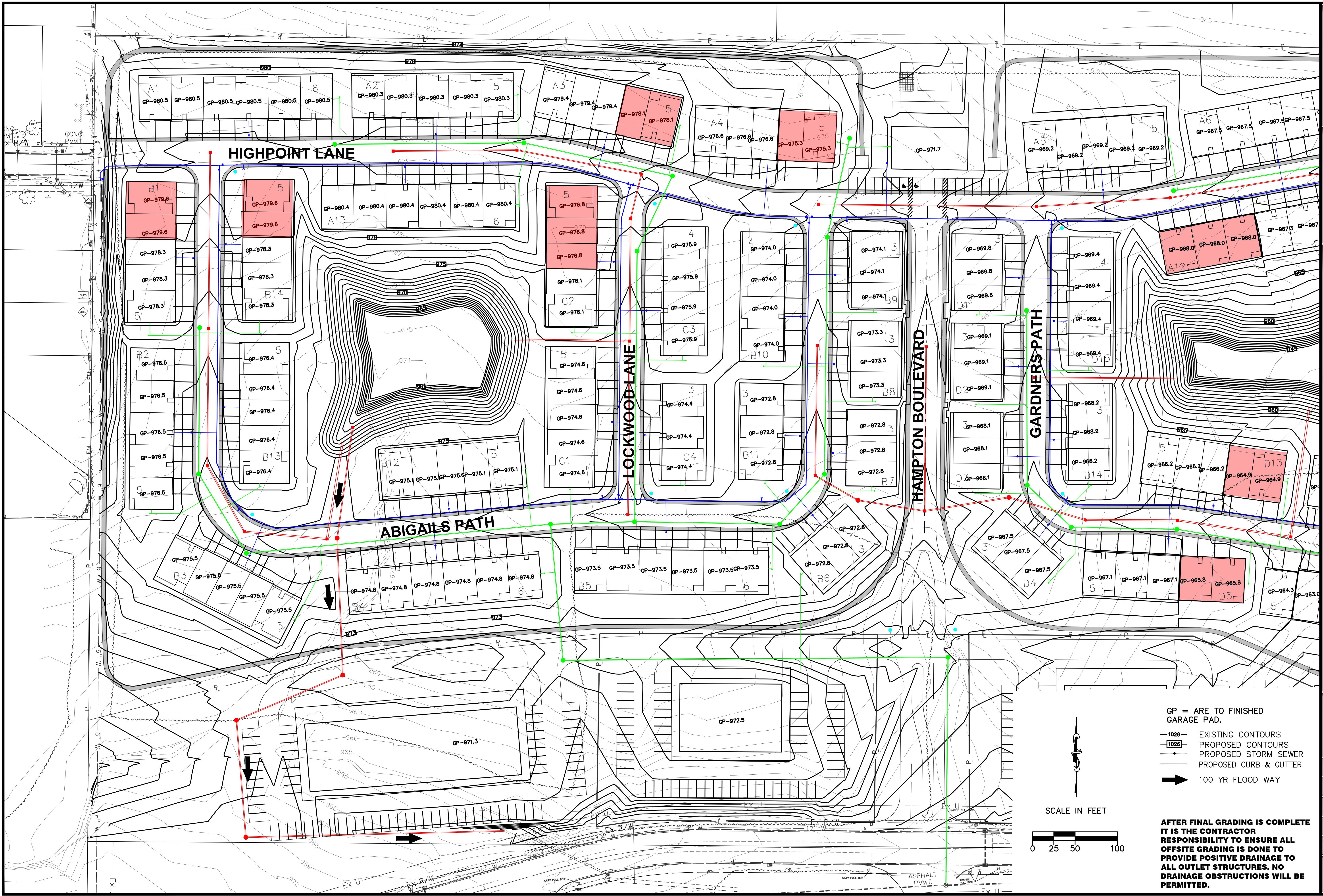



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**HAMPTONS AT THE HEIGHTS**  
**CITY OF HUBER HEIGHTS**  
**EAST SCHEMATIC PLAN**

REVISIONS:

FILE NAME	Schematic Plan 2
DRAWN BY	KMM
CHECKED BY	MLS
PROJECT No.	MOT-HHE-2105
DATE	02-09-2022
SHEET NUMBER	2 OF 8





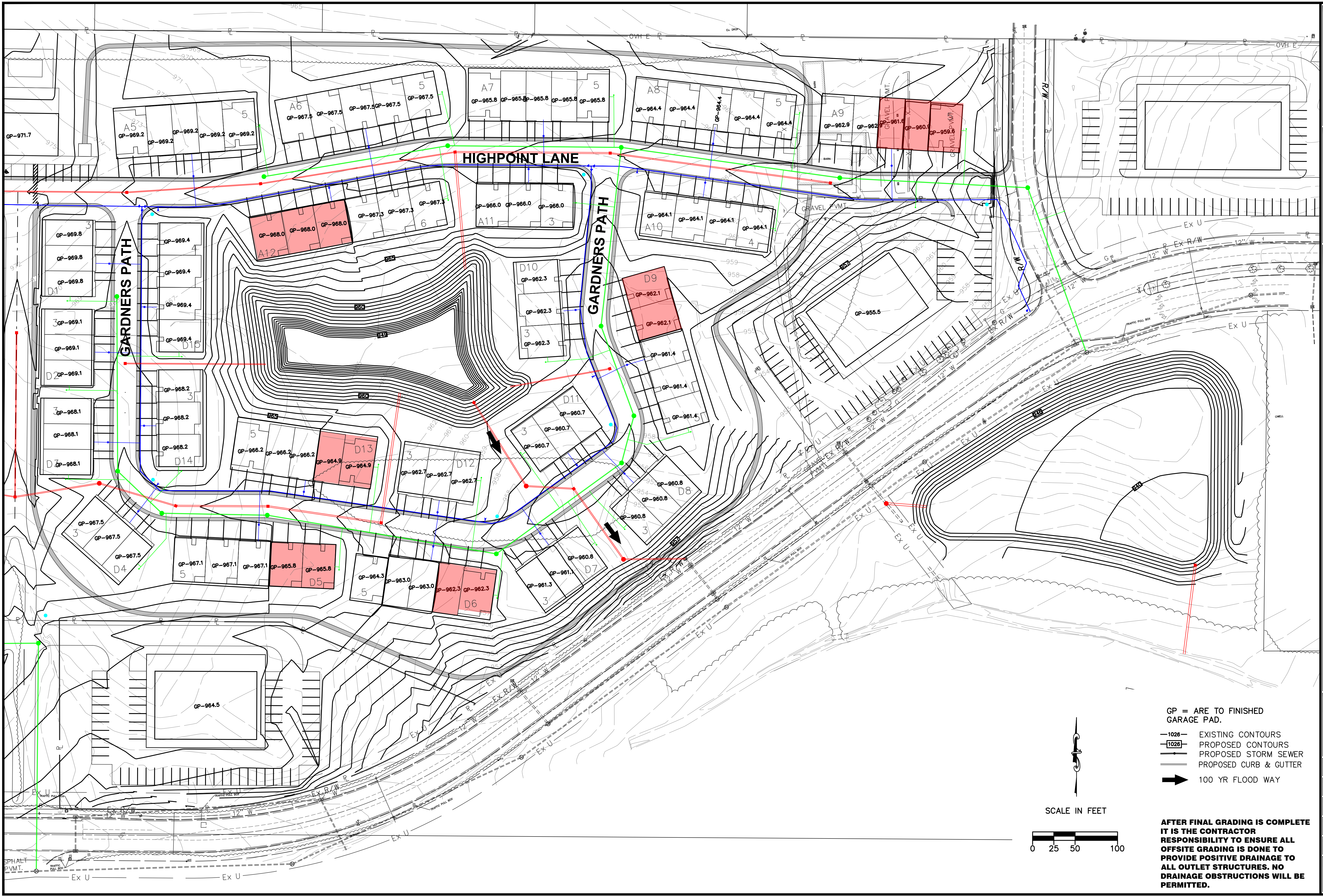
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LOVELAND, OHIO 513.239.8554  
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**HAMPTONS AT THE HEIGHTS**  
**CITY OF HUBER HEIGHTS**  
**PRELIMINARY WEST GRADING PLAN**

REVISIONS:

FILE NAME	DRAWN BY	CHECKED BY	PROJECT No.	DATE	SHEET NUMBER
GRADING	KMM	MLS	MOT-HHE-2105	02-09-2022	

3 OF 8

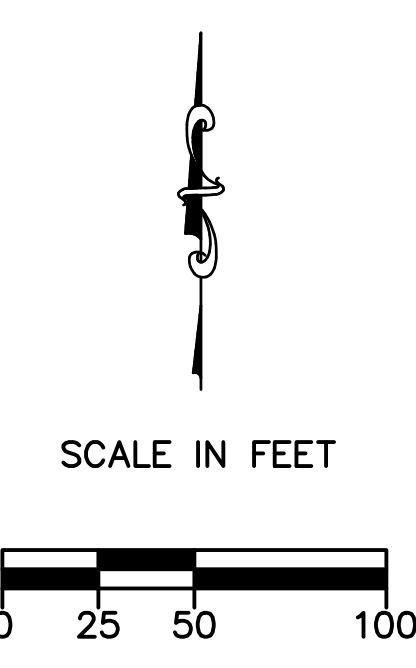


**HAMPTONS AT THE HEIGHTS  
CITY OF HUBER HEIGHTS  
PRELIMINARY EAST GRADING PLAN**

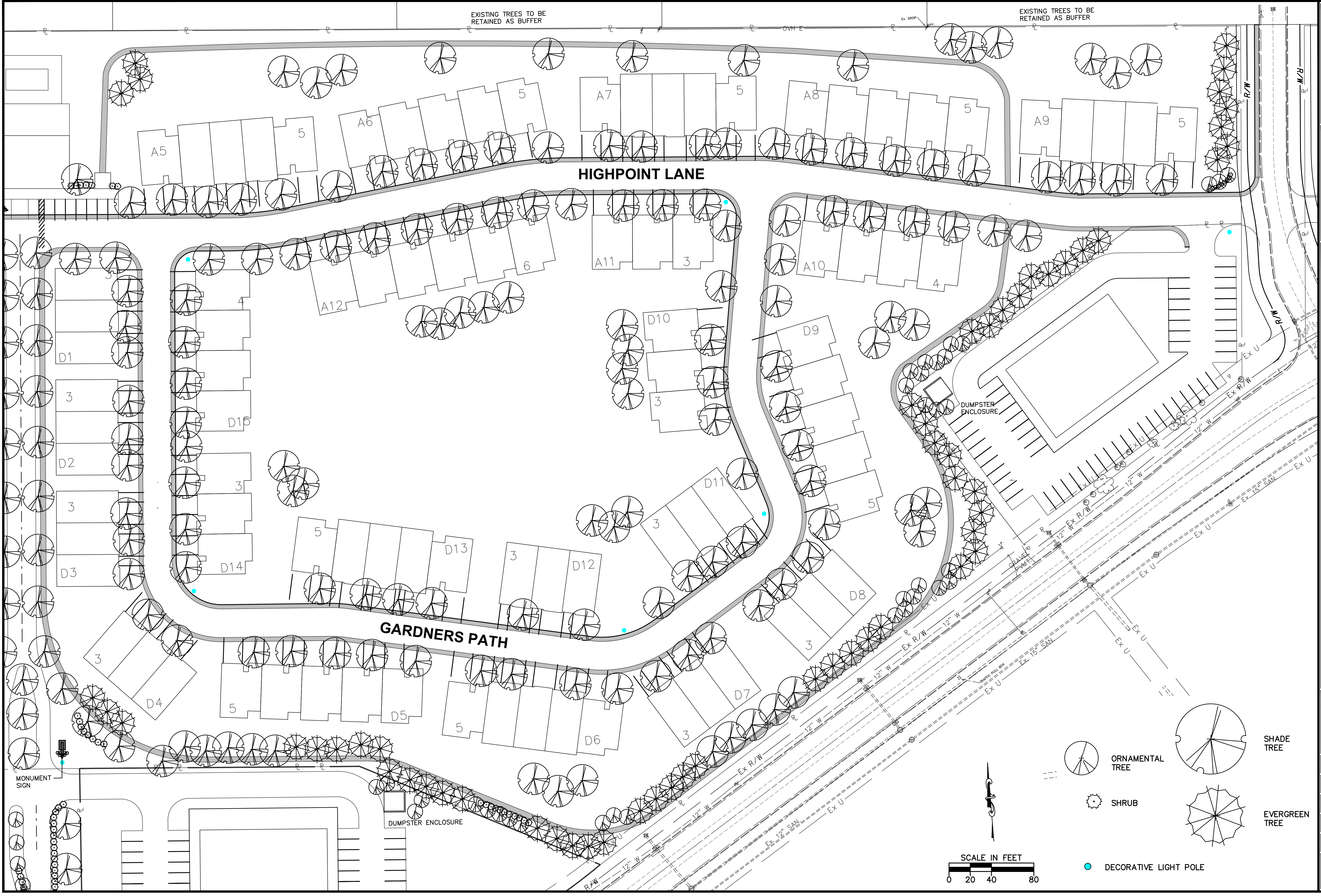
REVISIONS:
FILE NAME GRADING (2)
DRAWN BY KMM
CHECKED BY MLS
PROJECT No. MOT-HHE-2105
DATE 02-09-2022
SHEET NUMBER 4 OF 8

- GP = ARE TO FINISHED GARAGE PAD.
- 1026— EXISTING CONTOURS
  - 1026— PROPOSED CONTOURS
  - PROPOSED STORM SEWER
  - PROPOSED CURB & GUTTER
  - ➔ 100 YR FLOOD WAY

**AFTER FINAL GRADING IS COMPLETE  
IT IS THE CONTRACTOR  
RESPONSIBILITY TO ENSURE ALL  
OFFSITE GRADING IS DONE TO  
PROVIDE POSITIVE DRAINAGE TO  
ALL OUTLET STRUCTURES. NO  
DRAINAGE OBSTRUCTIONS WILL BE  
PERMITTED.**







ChoiceOne Engineering

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**HAMPTONS AT THE HEIGHTS**  
**CITY OF HUBER HEIGHTS**  
**LANDSCAPE EAST**

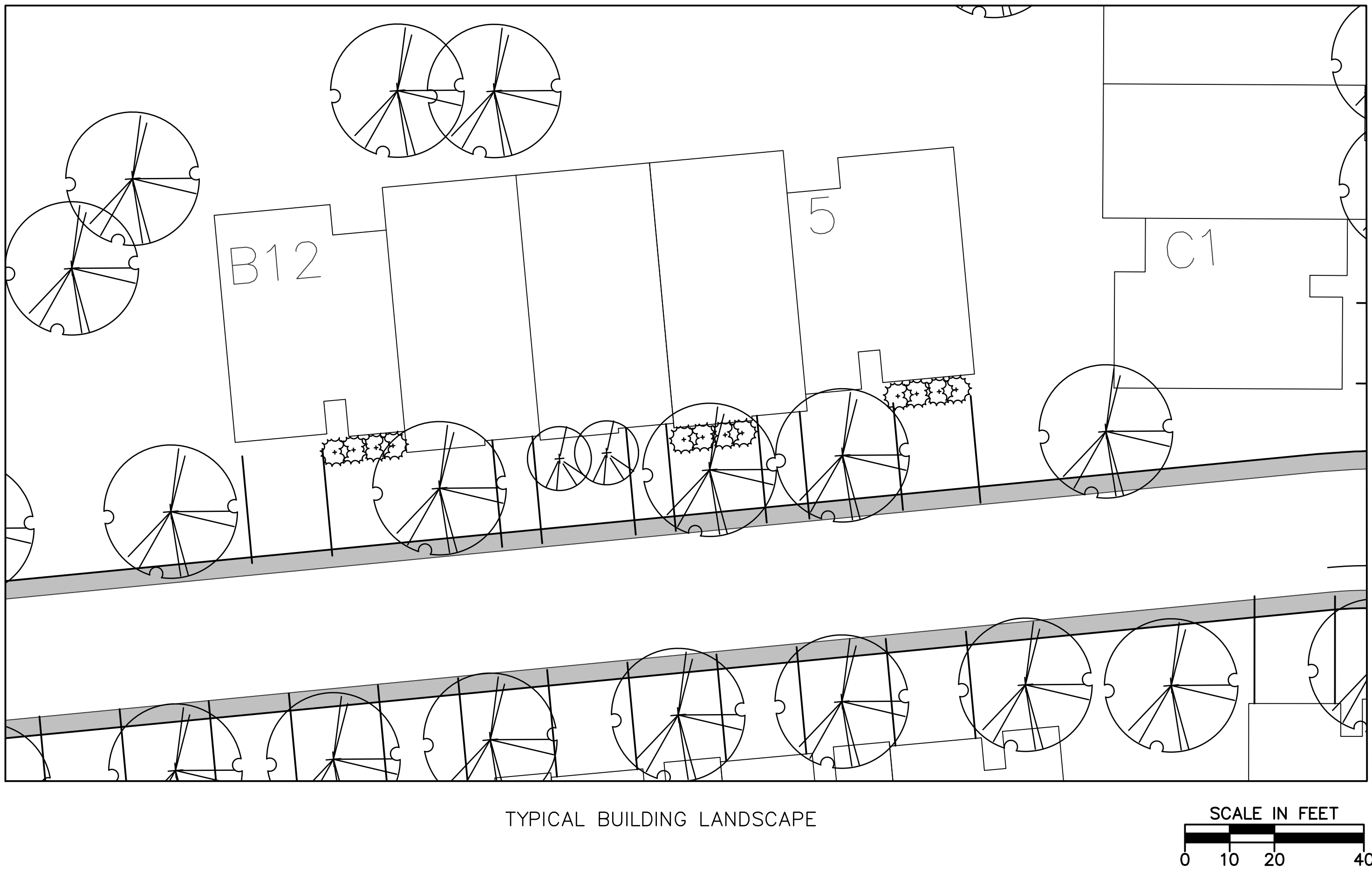
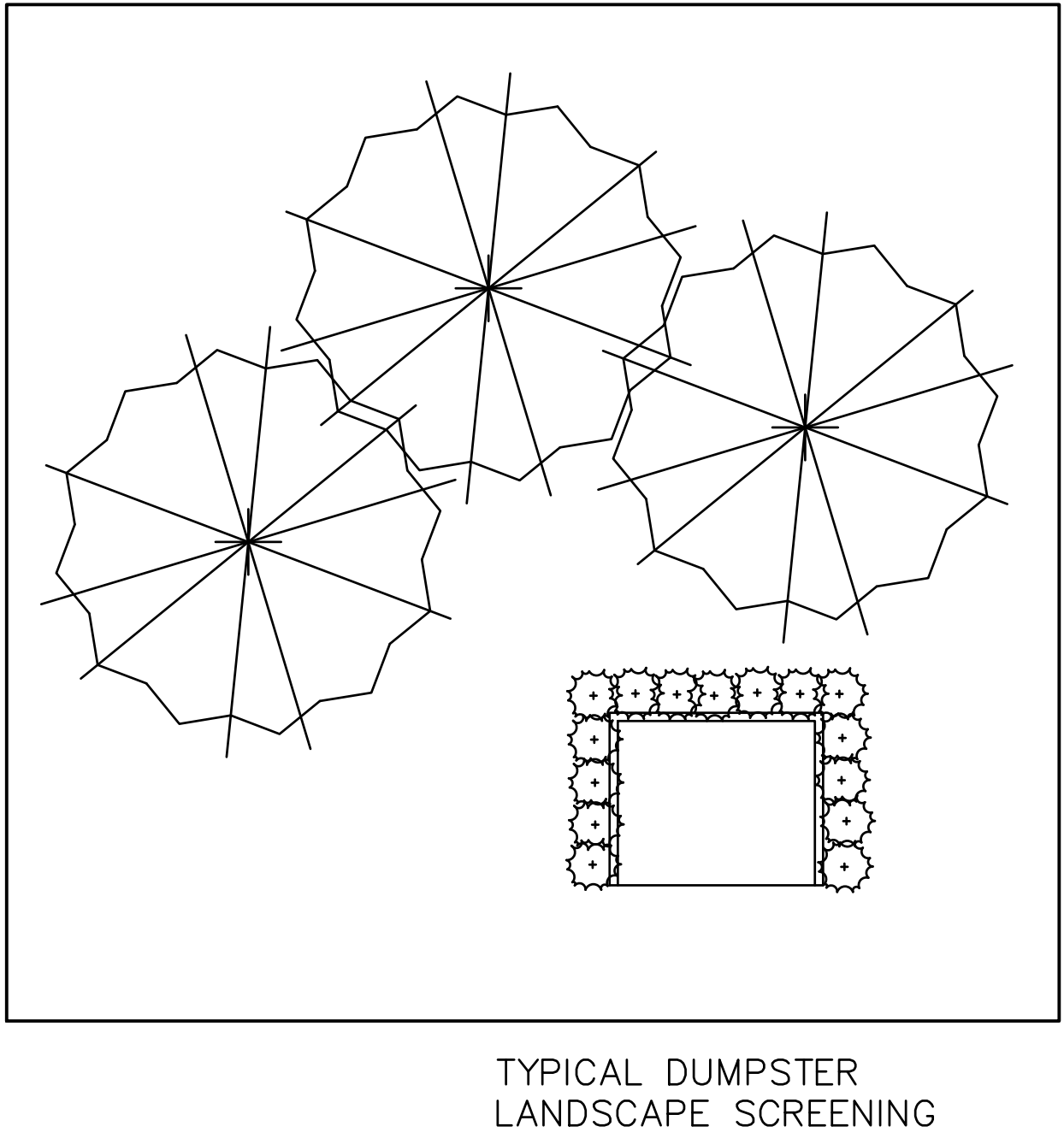
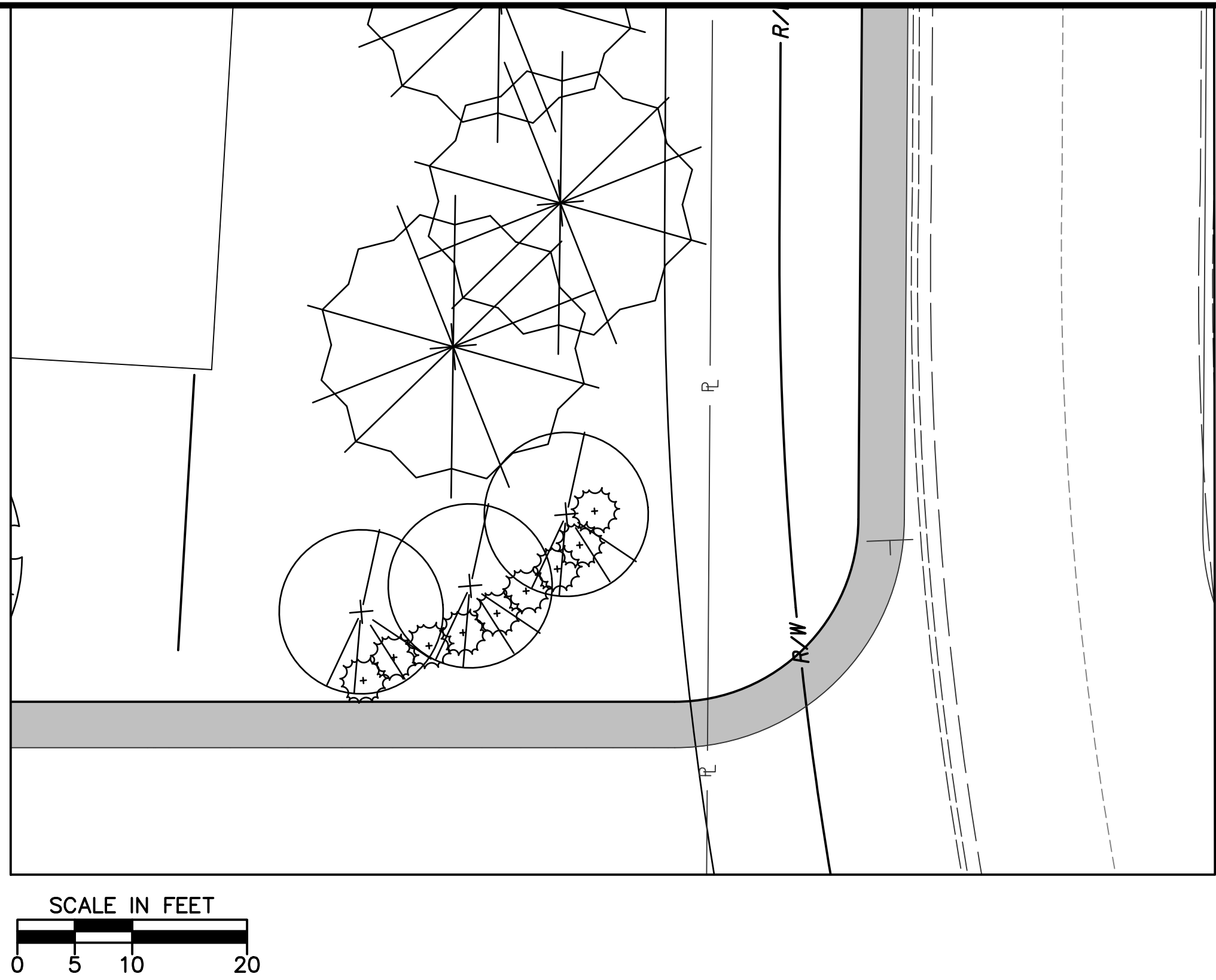
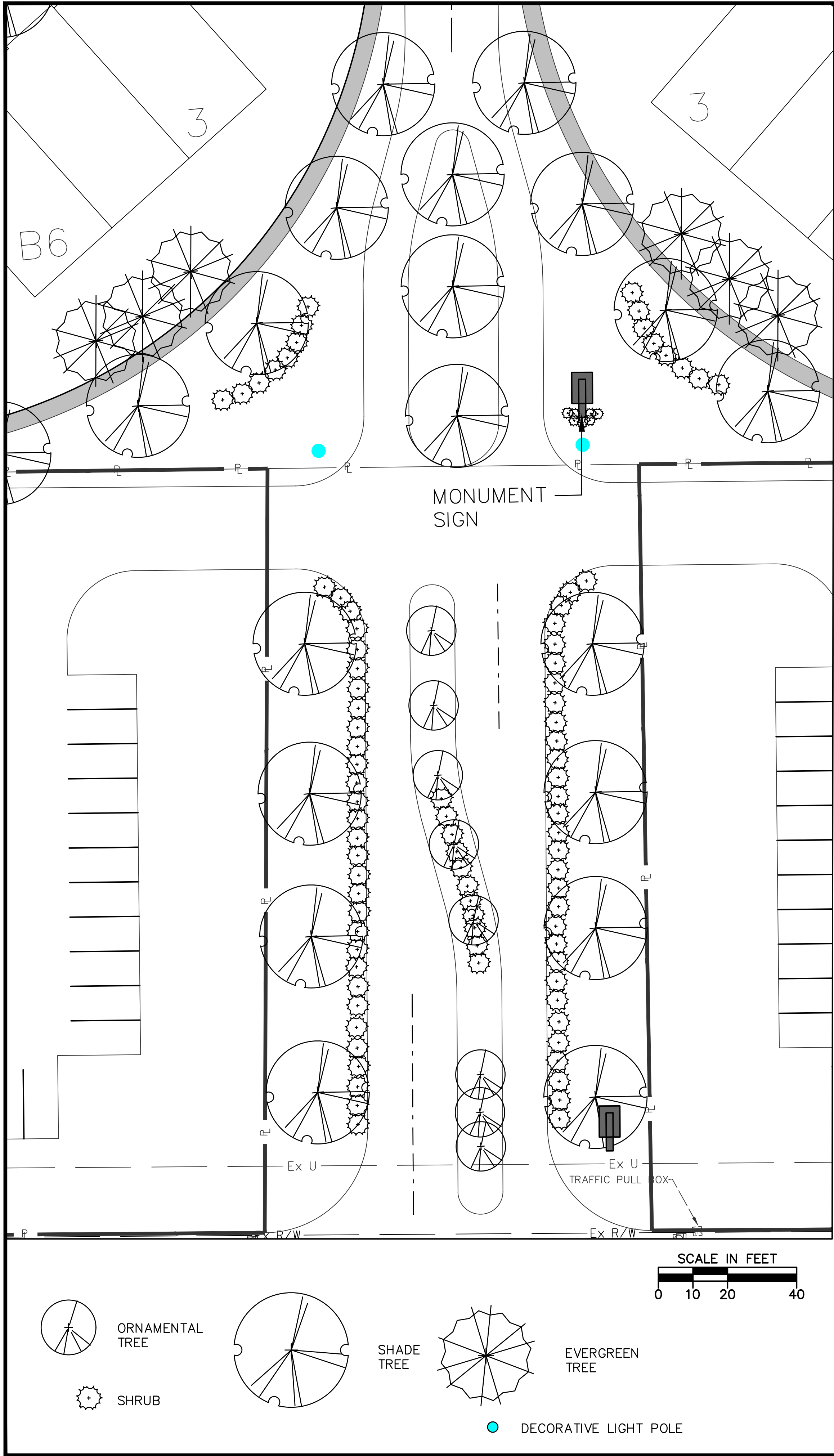
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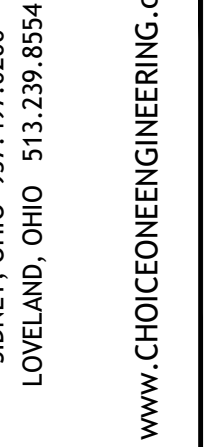
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DRAWN BY	KMM
CHECKED BY	MLS
PROJECT No.	MOT-HHE-2105
DATE	02-09-2022
SHEET NUMBER	6 OF 8

SHADE TREE  
 ORNAMENTAL TREE  
 SHRUB  
 EVERGREEN TREE  
 DECORATIVE LIGHT POLE

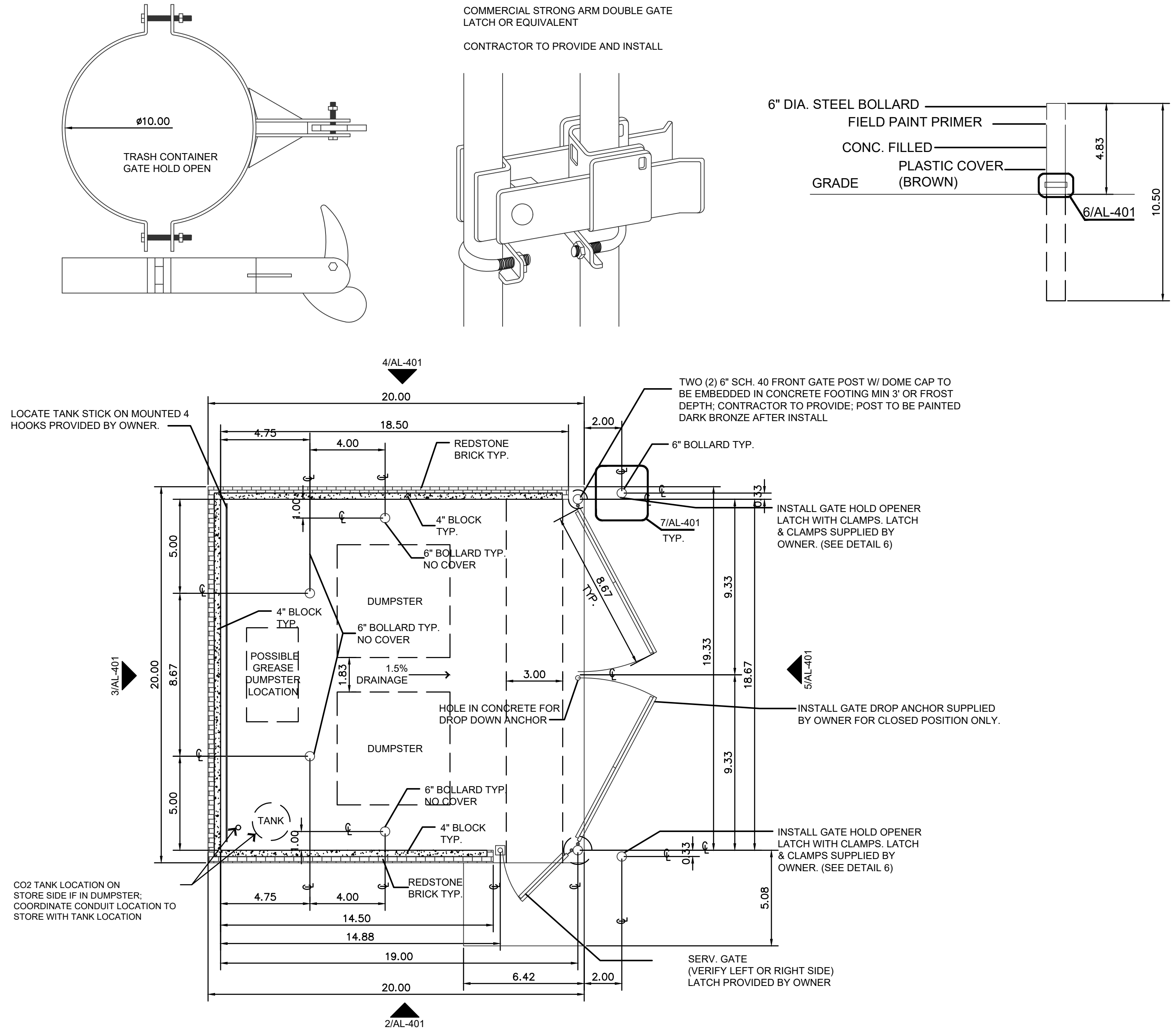
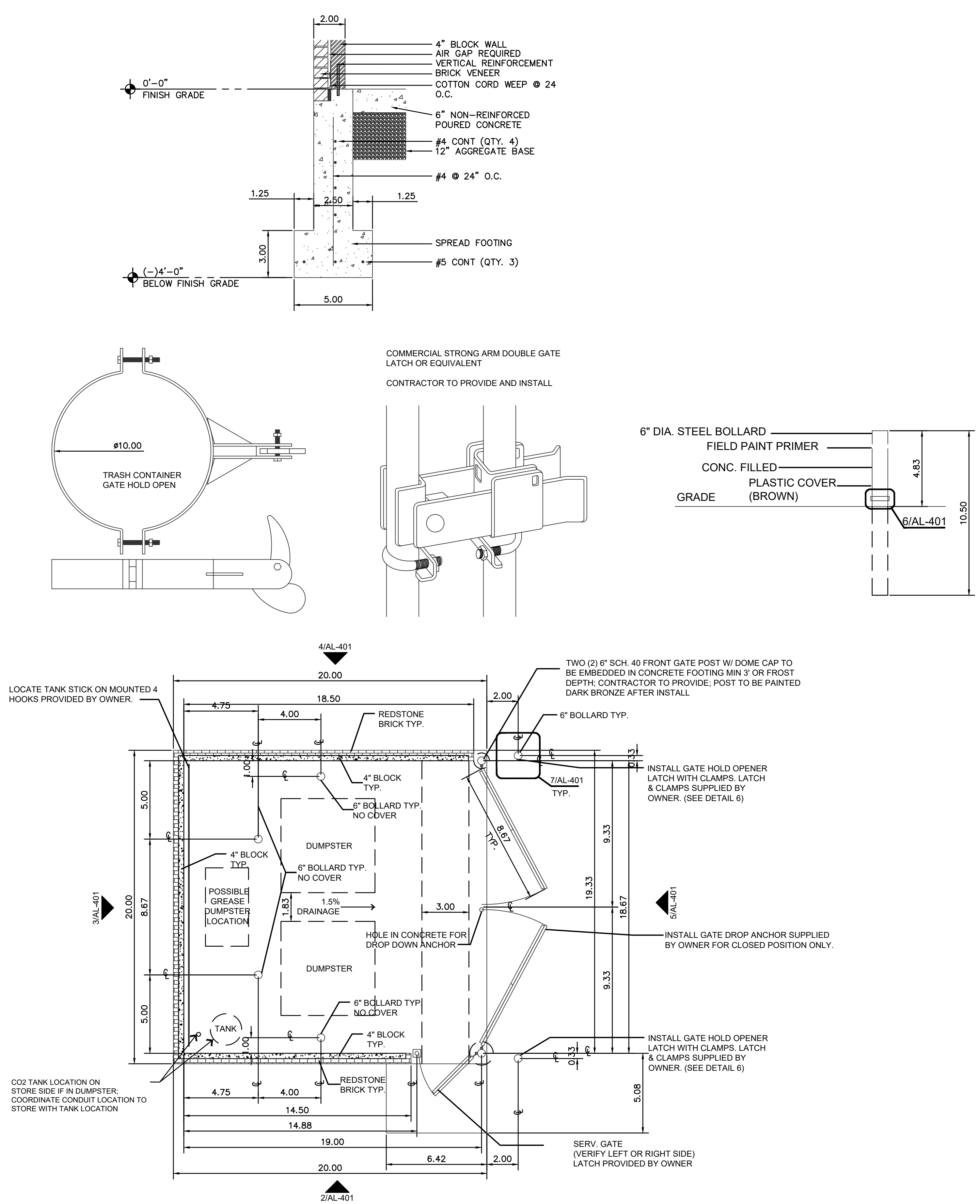
SCALE IN FEET

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REVISIONS:
FILE NAME DUMPSTER
DRAWN BY KMM
CHECKED BY MLS
PROJECT No. OT-HHE-2105
DATE 2-09-2022
SHEET NUMBER 8 OF 8



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CH DIST	CH BEARING
C1	325.00'	61.22'	10°47'34"	61.13'	S00°06'03"E
C2	200.00'	26.08'	07°28'16"	26.06'	N01°45'42"W
C3	75.00'	29.16'	22°16'39"	28.98'	S09°09'53"E
C4	25.00'	35.80'	82°03'19"	32.82'	N20°43'27"E
C5	560.00'	52.45'	05°22'00"	52.43'	S59°04'07"W
C6	582.67'	21.51'	02°06'53"	21.50'	N57°26'34"E
C7	552.67'	353.90'	36°41'21"	347.88'	N76°50'40"E
C8	612.67'	175.81'	16°26'28"	175.20'	S86°58'07"W
C9	275.00'	122.87'	25°35'56"	121.85'	S07°30'14"E
C10	25.00'	37.92'	86°53'57"	34.39'	S63°45'11"E
C11	560.00'	107.96'	11°02'43"	107.79'	S67°16'29"W
C12	560.00'	220.80'	22°35'28"	219.37'	S84°05'34"W
C13	300.00'	134.04'	25°35'56"	132.92'	S07°30'14"E

LINE TABLE		
LINE	LENGTH	BEARING
L1	24.81'	S01°58'26"W
L2	33.47'	S20°18'12"E
L3	21.76'	N20°18'12"W
L4	127.66'	S56°23'07"W
L5	13.28'	S78°44'53"W
L6	140.57'	N84°36'42"W
L7	225.92'	S05°23'18"W

# RECORD PLAN

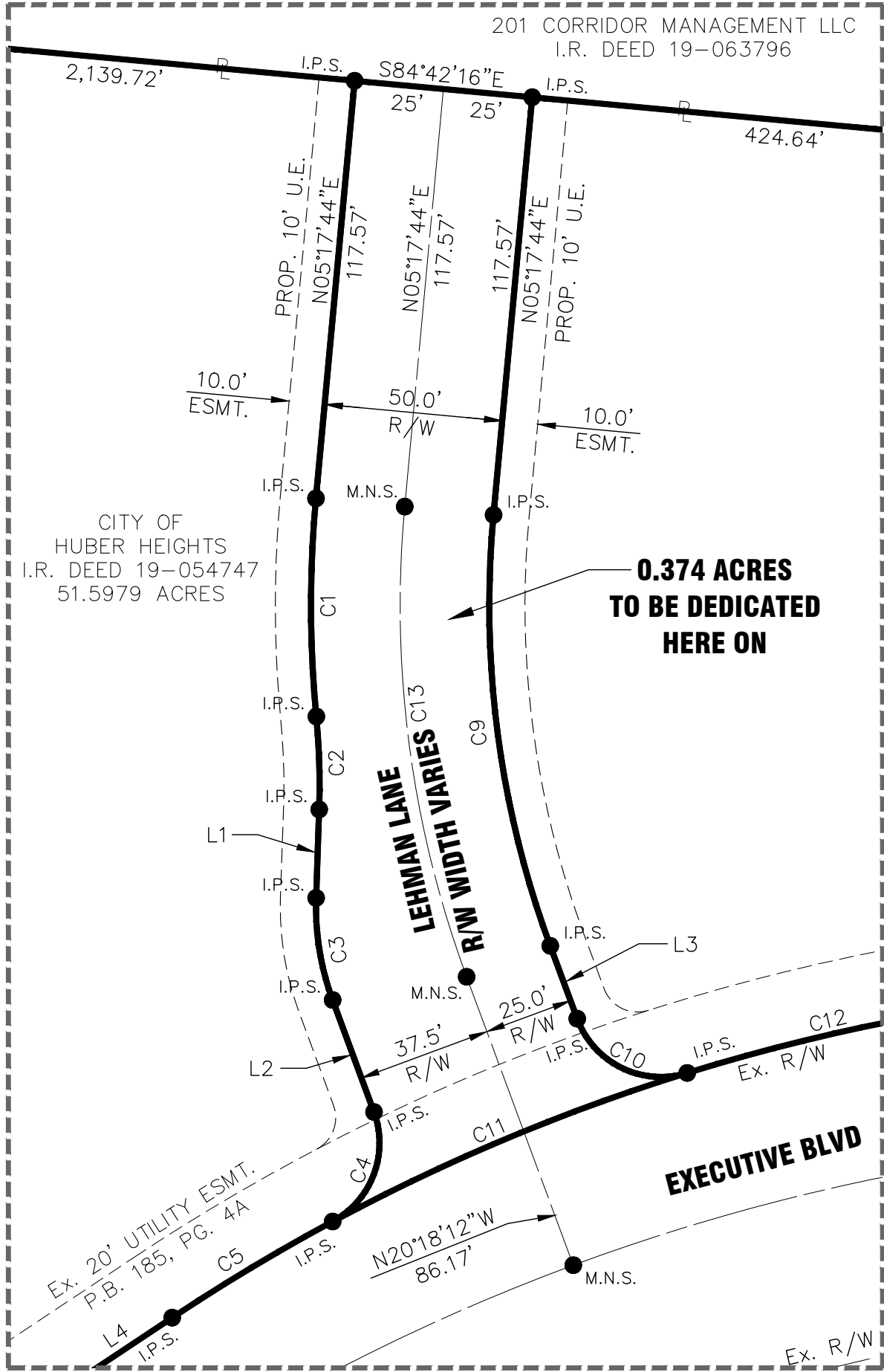
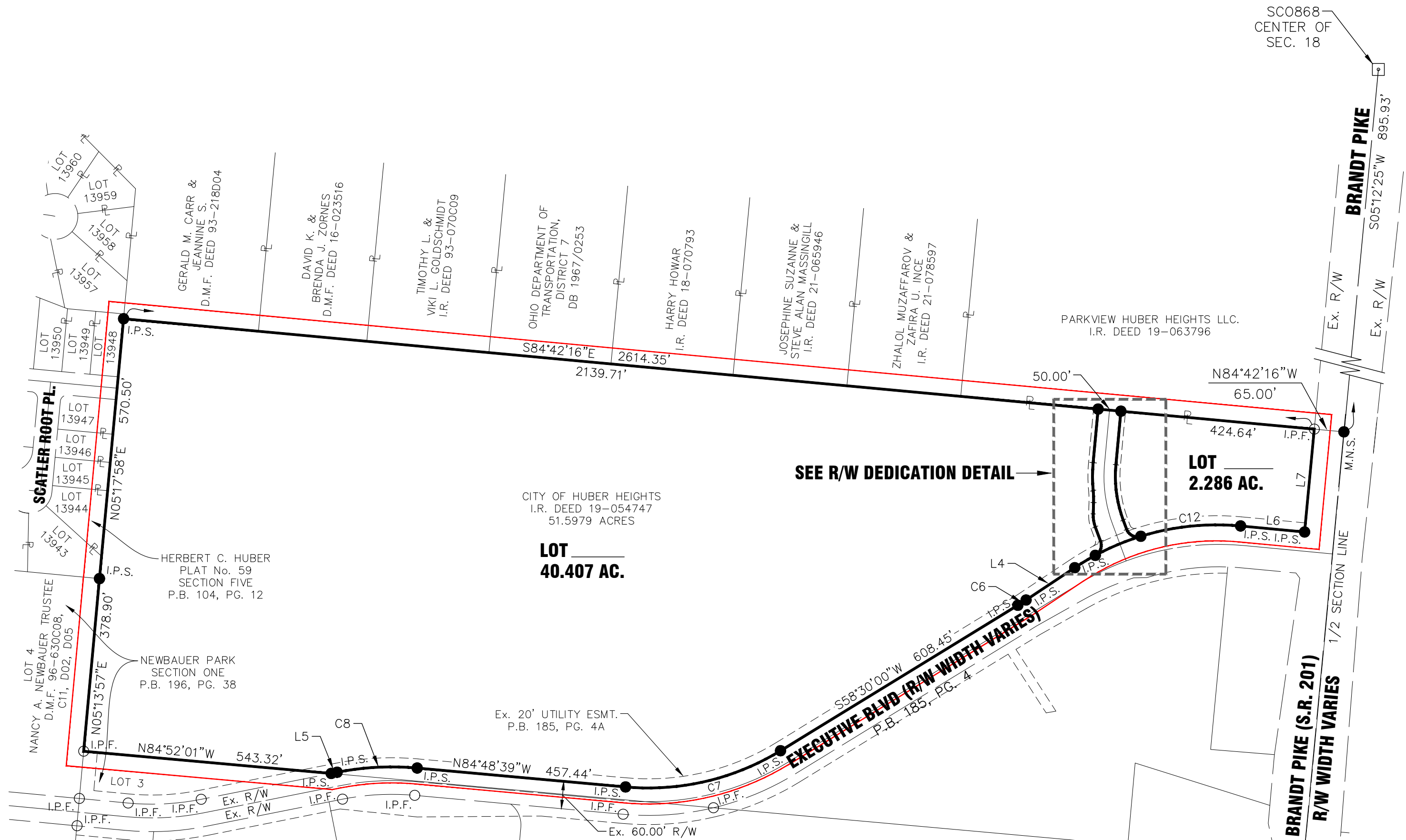
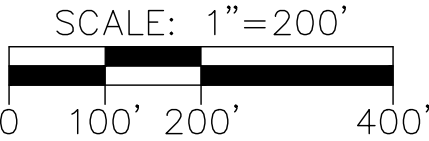
## LEHMAN PLAT

LOCATED IN SECTION 18, TOWN 2, RANGE 8 M.Rs.,  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO  
43.067 ACRES TOTAL

### ACREAGE SUMMARY

LOT \_\_\_\_\_ 40.407 ACRES  
LOT \_\_\_\_\_ 2.286 ACRES  
R/W DEDICATION 0.374 ACRES  
TOTAL 43.067 ACRES

THE BEARING OF S05°-12'-25"W  
ALONG THE 1/2 SECTION LINE WAS  
BASED ON NAD 83 CORS 2011  
ADJUSTMENT, OHIO SOUTH ZONE,  
ODOT VRS CORS NETWORK



### LEGEND

- I.P.S. 5/8" X 30" REBAR W/CAP SET
- I.P.F. 5/8" I.R.ON PIN FOUND
- M.N.S. MAG NAIL SET
- MONUMENT BOX W/IP FOUND

### PERTINENT INFORMATION

SUR. 87-42  
LAND SURVEY 2019-0011  
PLAT BOOK 185, PAGE 4A

ALLEN J. BERTKE, P.S. #8629

DATE

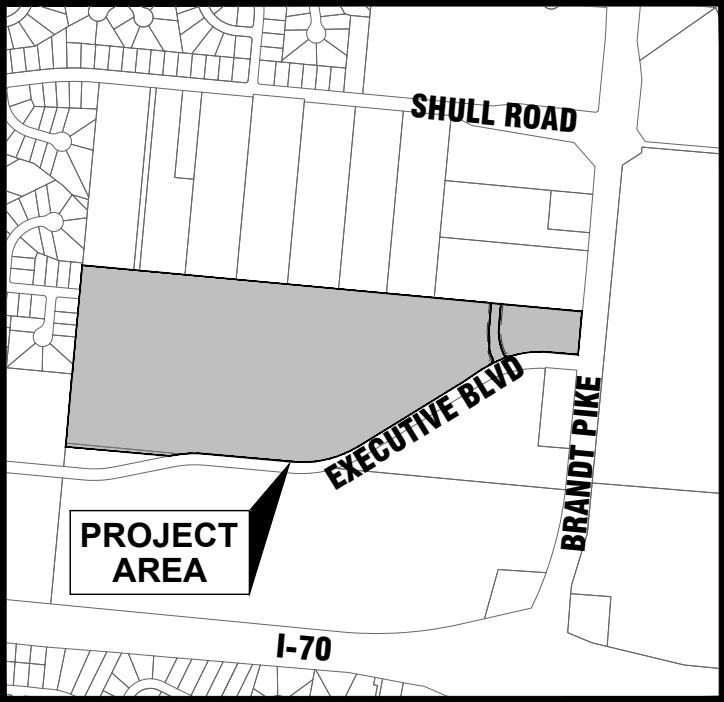
PREPARED BY:

**ChoiceOne**  
Engineering

SIDNEY, OHIO 937.497.0200  
LOVELAND, OHIO 513.239.8554

www.CHOICEONEENGINEERING.com

DATE:  
11-5-2021  
DRAWN BY:  
R.D.J.  
JOB NUMBER:  
MOT-HHE-2107  
SHEET NUMBER  
1 OF 2



VICINITY MAP

# RECORD PLAN LEHMAN PLAT

LOCATED IN SECTION 18, TOWN 2, RANGE 8 M.Rs.,  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO  
43.067 ACRES TOTAL

## APPROVALS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE PLANNING COMMISSION OF THE CITY OF HUBER HEIGHTS, OHIO

\_\_\_\_\_  
CHAI.R.MAN

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE COUNCIL OF THE CITY OF HUBER HEIGHTS, OHIO

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

## OCCUPATION STATEMENT

LINES OF OCCUPATION (WHERE EXISTING) IN  
GENERAL AGREE WITH PROPERTY LINES.

PROPERTY LINES CALCULATED FROM EXISTING  
MONUMENTATION AND SURVEYS OF RECORD.

## DESCRIPTION

BEING 43.067 ACRES OUT OF A 51.5979 ACRE TRACT, SITUATE IN  
SECTION 18, TOWN 2, RANGE 8 M.Rs., CITY OF HUBER HEIGHTS,  
MONTGOMERY COUNTY, OHIO, OWNED BY THE CITY OF HUBER HEIGHTS AS  
CONVEYED IN I.R. DEED 19-054747 OF THE MONTGOMERY COUNTY DEED RECORDS.

## CERTIFICATION

I HEREBY CERTIFY THIS PLAT WAS PREPARED IN ACCORDANCE WITH  
O.A.C, CHAPTER 4733.37 STANDARDS OF PLAT OF SURVEYS AND  
ALSO CONFORMS TO THE O.R.C. CHAPTER 711 FOR RECORD PLANS  
AND WAS CONDUCTED UNDER MY DI.R.ECT SUPERVISION AND BASED  
ON ACTUAL FIELDWORK PERFORMED IN SEPTEMBER 2021.  
ALL MEASUREMENTS ARE CORRECT AND MONUMENTS  
ARE SET OR TO BE SET AS SHOWN. CURVE DISTANCES ARE  
MEASURED ON THE ARC.

## PLAT AUTHORIZATION AND DEDICATION

CITY OF HUBER HEIGHTS, THE OWNER OF THE LAND INCLUDED WITHIN  
THIS PLAT HAVE CAUSED THE AREA LOCATED IN THE CITY OF HUBER  
HEIGHTS, OHIO, ENCOMPASSED BY THIS PLAT, TO BE SURVEYED,  
PLATTED, AND KNOWN AS LEHMAN PLAT. FURTHERMORE, CITY OF HUBER  
HEIGHTS DEDICATES THE ROAD RIGHT-OF-WAY AND RESERVES THE  
EASEMENTS AS SHOWN ON THIS PLAT TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION,  
OPERATION, MAINTENANCE, REPAI.R., REPLACEMENT OR REMOVAL OF  
WATER, GAS, SEWER, ELECTRIC, TELEPHONE, OR OTHER UTILITIES OR  
SERVICES, AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL  
TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES  
AND FOR PROVIDING OF INGRESS AND EGRESS TO THE PROPERTY FOR  
SAID PURPOSES, AND ARE TO BE MAINTAINED AS SUCH FOREVER.

BY: \_\_\_\_\_,      DATE: \_\_\_\_\_,  
CITY OF HUBER HEIGHTS

CITY OF HUBER HEIGHTS, BEING AFFI.R.MED, SAYS THAT ALL PERSONS  
AND CORPORATIONS, TO THE BEST OF HIS KNOWLEDGE, INTERESTED IN  
THIS DEDICATION, EITHER AS OWNERS OR AS LIEN HOLDERS, HAVE  
UNITED IN ITS EXECUTION.

SIGNED AND ACKNOWLEDGED  
OWNER: CITY OF HUBER HEIGHTS IN THE PRESENCE OF:

\_\_\_\_\_  
CITY OF HUBER HEIGHTS

STATE OF OHIO  
COUNTY OF MONTGOMERY, SS

BE IT REMEMBERED,  
THAT ON THE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY,  
PERSONALLY CAME CITY OF HUBER HEIGHTS, OWNER, AND  
ACKNOWLEDGED THE SIGNING OF THIS INSTRUMENT TO BE HIS  
VOLUNTARY ACT AND DEED AS OWNER AND THE VOLUNTARY ACT AND  
DEED OF SAID OWNER.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL  
SEAL ON THE DAY AND YEAR ABOVE WRITTEN.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
MY COMMISSION EXPI.R.ES

## APPROVED FOR DESCRIPTION ONLY

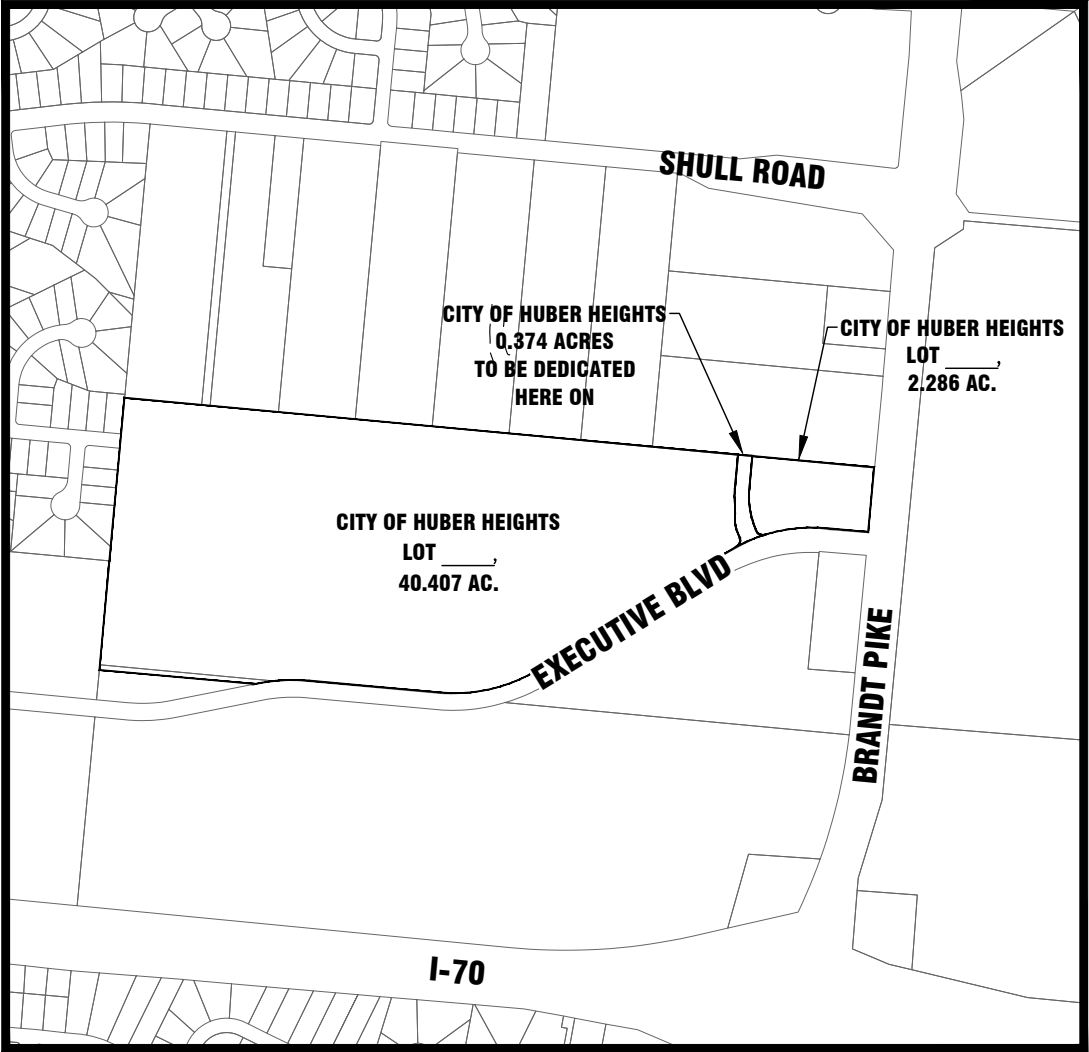
FILE # 2021-0332,

\_\_\_\_\_  
MONTGOMERY COUNTY ENGINEER

\_\_\_\_\_  
DATE

\_\_\_\_\_  
CHECKED BY

\_\_\_\_\_  
DATE



## SUPERIMPOSED AREA NOTE:

ALL OF THE LANDS OF THE DEDICATOR  
ARE CONTAINED WITHIN SURVEY.

\_\_\_\_\_  
ALLEN J. BERTKE, P.S. #8629

\_\_\_\_\_  
DATE

PREPARED BY:

**ChoiceOne**  
Engineering

SIDNEY, OHIO 937.497.0200  
LOVELAND, OHIO 513.239.8554

www.CHOICEONEENGINEERING.com

DATE:

11-5-2021

DRAWN BY:

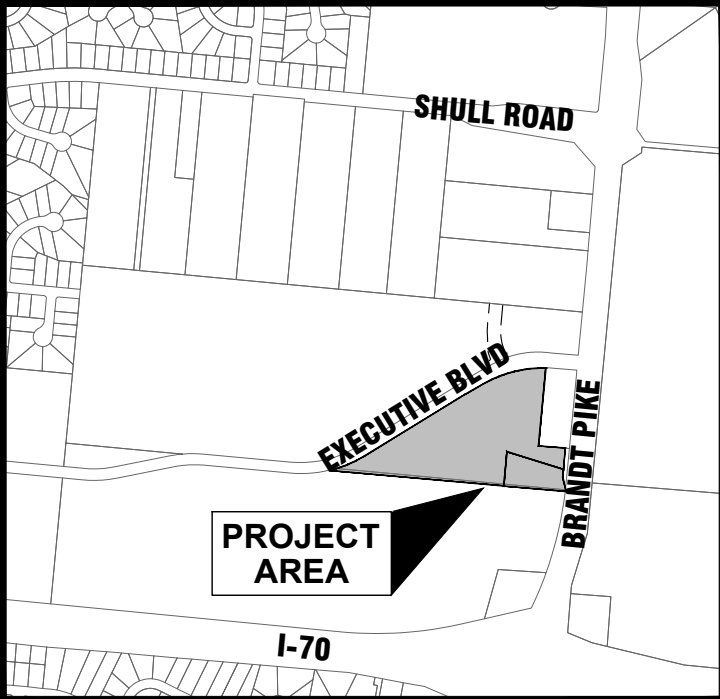
R.D.J.

JOB NUMBER:

MOT-HHE-2107

SHEET NUMBER

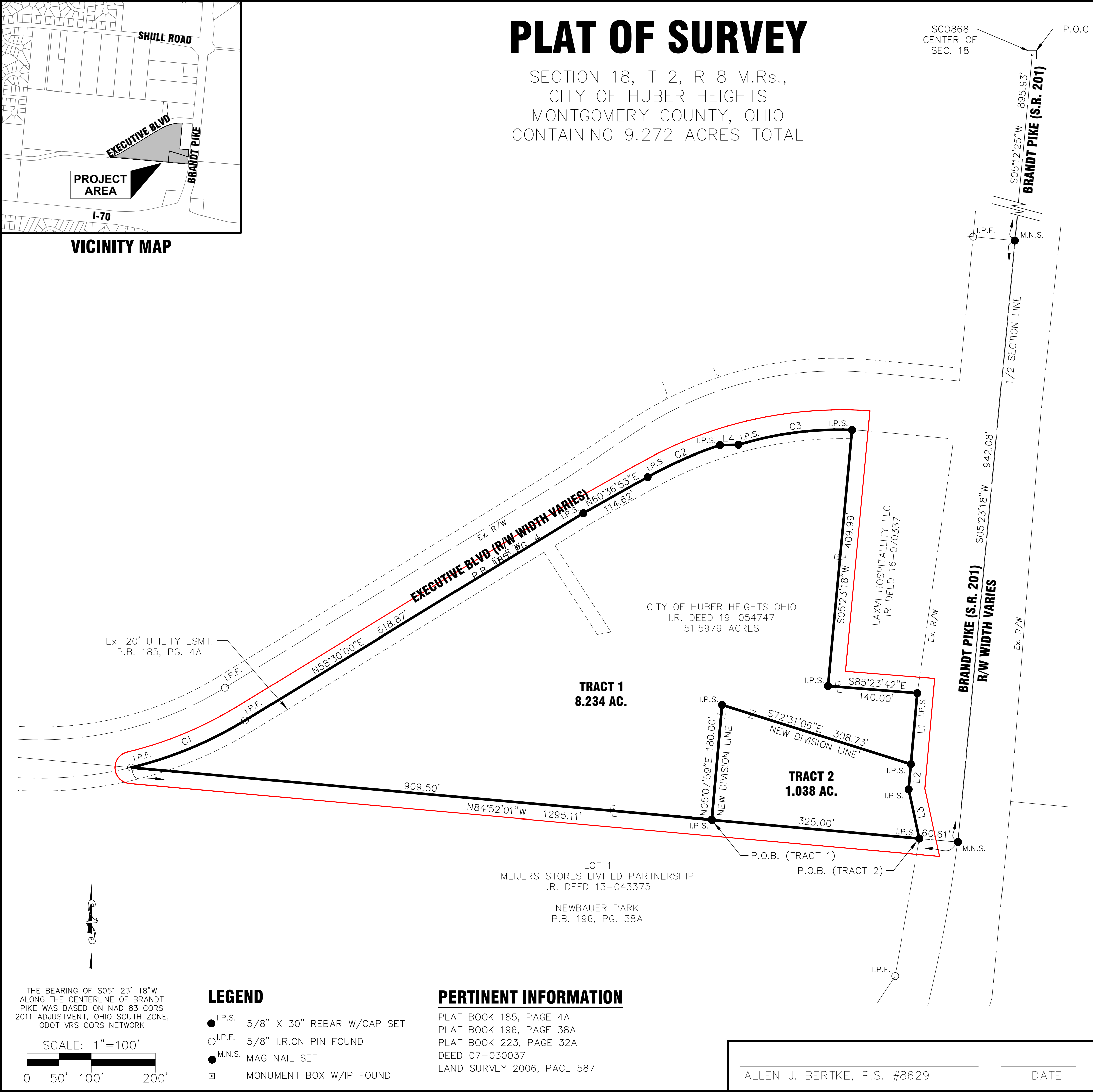
2 OF 2



VICINITY MAP

# PLAT OF SURVEY

SECTION 18, T 2, R 8 M.Rs.,  
CITY OF HUBER HEIGHTS  
MONTGOMERY COUNTY, OHIO  
CONTAINING 9.272 ACRES TOTAL



**CITY OF HUBER HEIGHTS ADMINISTRATOR**

THIS PLAT WAS INSPECTED AND ACCEPTED BY  
ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CITY MANAGER  
SCOTT FALKOWSKI

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CH DIST	CH BEARING
C1	612.67'	193.40'	18°05'09"	192.59'	N67°32'35"E
C2	533.67'	179.34'	19°15'15"	178.50'	N82°31'25"E
C3	620.00'	123.63'	11°25'30"	123.43'	N66°19'29"E

LINE TABLE		
LINE	LENGTH	BEARING
L1	111.54'	S05°09'13"W
L2	39.28'	S05°09'13"W
L3	78.28'	S12°17'02"E
L4	28.97'	N89°03'01"E

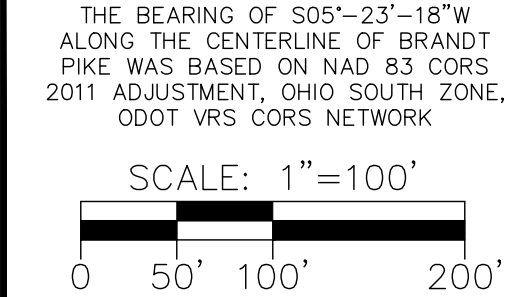
**OCCUPATION STATEMENT**

Lines of Occupation (where existing) in  
General Agree with Property Lines.

Property Lines Calculated from Existing  
Monumentation and Surveys of Record.

**CERTIFICATION**

I CERTIFY THAT THE BOUNDARY SURVEY OF THIS SURVEY  
WAS PREPARED IN ACCORDANCE WITH O.A.C. 4733-37.  
ALL MONUMENTATION IS OR TO BE SET AS SHOWN.



- LEGEND**
- I.P.S. 5/8" X 30" REBAR W/CAP SET
  - I.P.F. 5/8" I.R.ON PIN FOUND
  - M.N.S. MAG NAIL SET
  - ▣ MONUMENT BOX W/IP FOUND

**PERTINENT INFORMATION**

PLAT BOOK 185, PAGE 4A  
PLAT BOOK 196, PAGE 38A  
PLAT BOOK 223, PAGE 32A  
DEED 07-030037  
LAND SURVEY 2006, PAGE 587

ALLEN J. BERTKE, P.S. #8629

DATE

PREPARED BY:

**ChoiceOne**  
Engineering

SIDNEY, OHIO 937.497.0200  
LOVELAND, OHIO 513.239.8554  
www.CHOICEONEENGINEERING.com

DATE:  
10-29-2021

DRAWN BY:  
R.D.J.

JOB NUMBER:  
MOT-HHE-2107

SHEET NUMBER  
1 OF 1

# Preliminary Traffic Analysis

## Analysis Snapshot

Choice One Engineering Corporation (COEC) was retained by Pride One Construction to analyze the traffic impact of a proposed mixed-use development to be submitted to the City of Huber Heights. The Enterprise Parkway-Pride One development is proposed to be situated on the north side of Executive Boulevard between Rose Music Center and Brandt Pike in the City of Huber Heights. The purpose of this study is to identify the traffic-related impacts of the proposed development during typical weekday AM and PM Peak Hours. This study anticipates two access points for the proposed development from Executive Drive and one access point which will tie into to the existing Parkview Apartments to the north. This study also assumes that the proposed gas station has one right in/right out drive along Brandt Pike.

## Existing Conditions

Executive Boulevard is a two-lane roadway segment (1 eastbound lane, 1 westbound lane) and is classified as a "Major Collector" in ODOT's Functional Classification system. The speed limit on Executive Boulevard is 35 mph.

Brandt Pike is a four-lane roadway segment (2 northbound lanes, 2 southbound lanes) and is classified as a "Minor Arterial" in ODOT's Functional Classification system. Brandt Pike has an ADT of 19,704 and a speed limit on Brandt Pike is 35 mph.

## Existing Traffic Volumes

Video turning movement counts were collected by Choice One Engineering From 12:00 AM Wednesday, September 29, 2021, to 11:59 PM Thursday, September 30, 2021, at the intersections of Executive Boulevard & Brandt Pike, Executive Boulevard & Lehman Lane, and Executive Boulevard and the Meijer Store Drive. Of the 48 hours of video data, it was determined to process the hours of 6:00 AM to 7:00 PM. A summary of the peak hours are shown in the table below. The 2022 existing traffic volumes are attached in [Appendix A](#).

Intersection	A.M. Peak	P.M. Peak
Executive Drive & Brandt Pike	7:00-8:00 A.M.	4:30-5:30 P.M.
Executive Drive & Lehman Lane	8:00-9:00 A.M.	4:45-5:45 P.M.
Executive Drive & Meijer Store Drive	9:00-10:00 A.M.	4:30-5:30 P.M.

## Proposed Access Points

The proposed site plan has one full access point along Executive Boulevard at Lehman Lane (approximately 450 feet west of Brandt Pike) and a second full access point along Executive Boulevard which will tie into the existing traffic signal at the Meijer Store Drive. This study also assumes that the proposed gas station has one right in/right out drive along Brandt Pike, approximately 115' north of Executive Drive. The development will also tie into the existing Parkview Apartments on the north side of Lehman Lane. The proposed site plan is attached in [Appendix B](#).

## Preliminary Analysis Recommendations

Preliminary trip generation and directional distributions calculations were completed to arrive at the build traffic volumes. Utilizing the build traffic volumes, preliminary capacity analysis, turn lane analysis, and queue analysis were completed at the study intersections. Based on the results of the preliminary traffic analysis, the following recommendations are made for the surrounding roadway network:

### **Executive Boulevard & Meijer Drive**

- Construct the proposed drive along Executive Drive situated directly across from Meijer Drive.
- Restripe the existing roadway to include a 125 foot (including 50' taper) westbound left turn lane.

### **Executive Boulevard & Lehman Lane**

- Restripe the existing roadway to include a 125 foot (including 50' taper) westbound left turn lane.

### **Brandt Pike & Executive Boulevard**

- No improvements.

### **Brandt Pike & Proposed Right-In/Right-Out**

- While the gas station was included with this analysis it should be studied further once more details are known. This analysis does not present any recommendations for the proposed right-in/right-out along Brandt Pike.

## Appendix A-Turning Movement Counts

Study Name Executive Boulevard & Meijer Drive  
 Start Date Wednesday, September 29, 2021 6:00 AM  
 End Date Wednesday, September 29, 2021 6:00 PM  
 Site Code

## Report Summary

Time Period	Class.	Westbound				Northbound				Eastbound				Total		
		T	L	I	O	R	RoR	L	I	O	R	RoR	T		I	O
Peak 1	Lights	109	16	125	126	9	19	20	48	47	25	6	98	129	129	302
Specified Period	%	92%	80%	90%	82%	90%	83%	100%	91%	87%	89%	100%	81%	83%	93%	87%
	Other Vehicle:	10	4	14	28	1	4	0	5	7	3	0	23	26	10	45
One Hour Peak	%	8%	20%	10%	18%	10%	17%	0%	9%	13%	11%	0%	19%	17%	7%	13%
9:00 AM - 10:00 AM	Total	119	20	139	154	10	23	20	53	54	28	6	121	155	139	347
	PHF	0.8	0.62	0.87	0.9	0.42	0.82	0.56	0.7	0.84	0.7	0.5	0.92	0.84	0.87	0.89
	Approach %			40%	44%				15%	16%				45%	40%	
Peak 2	Lights	187	23	210	375	31	78	55	164	83	51	9	266	326	242	700
Specified Period	%	92%	85%	91%	96%	97%	95%	100%	97%	95%	100%	100%	96%	97%	93%	95%
	Other Vehicle:	17	4	21	15	1	4	0	5	4	0	0	10	10	17	36
One Hour Peak	%	8%	15%	9%	4%	3%	5%	0%	3%	5%	0%	0%	4%	3%	7%	5%
4:30 PM - 5:30 PM	Total	204	27	231	390	32	82	55	169	87	51	9	276	336	259	736
	PHF	0.84	0.61	0.92	0.96	0.62	0.85	0.65	0.88	0.87	0.85	0.56	0.97	0.95	0.84	0.95
	Approach %			31%	53%				23%	12%				46%	35%	

Study Name Executive Boulevard & Lehman Lane  
 Start Date Wednesday, September 29, 2021 6:00 AM  
 End Date Wednesday, September 29, 2021 6:00 PM  
 Site Code

## Report Summary

Time Period	Class.	Southbound				Southwestbound				Northeastbound			
		BR	HL	I	O	HR	T	I	O	T	BL	I	O
<b>Peak 1</b>	Lights	8	10	18	10	7	118	125	133	123	3	126	126
Specified Period	%	100%	91%	95%	83%	88%	89%	89%	83%	82%	75%	82%	89%
6:00 AM - 10:00 AM	Other Vehicle:	0	1	1	2	1	15	16	28	27	1	28	15
One Hour Peak	%	0%	9%	5%	17%	13%	11%	11%	17%	18%	25%	18%	11%
9:00 AM - 10:00 AM	<b>Total</b>	<b>8</b>	<b>11</b>	<b>19</b>	<b>12</b>	<b>8</b>	<b>133</b>	<b>141</b>	<b>161</b>	<b>150</b>	<b>4</b>	<b>154</b>	<b>141</b>
	PHF	0.5	0.46	0.68	0.43	0.33	0.85	0.88	0.91	0.87	0.5	0.9	0.88
	Approach %			6%	4%			45%	51%			49%	45%
<b>Peak 2</b>	Lights	8	10	18	32	20	220	242	365	353	12	365	228
Specified Period	%	100%	100%	100%	100%	100%	91%	91%	97%	96%	100%	97%	91%
2:00 PM - 6:00 PM	Other Vehicle:	0	0	0	0	0	23	23	13	13	0	13	23
One Hour Peak	%	0%	0%	0%	0%	0%	9%	9%	3%	4%	0%	3%	9%
4:45 PM - 5:45 PM	<b>Total</b>	<b>8</b>	<b>10</b>	<b>18</b>	<b>32</b>	<b>20</b>	<b>243</b>	<b>265</b>	<b>378</b>	<b>366</b>	<b>12</b>	<b>378</b>	<b>251</b>
	PHF	0.67	0.5	0.56	0.8	0.62	0.93	0.93	0.96	0.94	0.6	0.95	0.92
	Approach %			3%	5%			40%	57%			57%	38%

Study Name Brandt Pike and Executive Boulevard  
 Start Date Wednesday, October 06, 2021 6:00 AM  
 End Date Wednesday, October 06, 2021 7:00 PM  
 Site Code

## Report Summary

Time Period	Class.	Southbound					Northbound					Eastbound				
		R	RoR	T	I	O	T	L	I	O	R	RoR	L	I	O	Total
<b>Peak 1</b>	Lights	25	2	913	940	353	329	72	401	971	30	28	24	82	99	1423
Specified Period	%	96%	100%	98%	98%	95%	96%	87%	94%	96%	70%	80%	89%	78%	89%	95%
6:00 AM - 10:00 AM	Other Vehicle:	1	0	21	22	17	14	11	25	41	13	7	3	23	12	70
One Hour Peak	%	4%	0%	2%	2%	5%	4%	13%	6%	4%	30%	20%	11%	22%	11%	5%
7:00 AM - 8:00 AM	<b>Total</b>	<b>26</b>	<b>2</b>	<b>934</b>	<b>962</b>	<b>370</b>	<b>343</b>	<b>83</b>	<b>426</b>	<b>1012</b>	<b>43</b>	<b>35</b>	<b>27</b>	<b>105</b>	<b>111</b>	<b>1493</b>
	PHF	0.5	0.5	0.91	0.92	0.62	0.63	0.69	0.64	0.91	0.77	0.73	0.61	0.77	0.63	0.88
	Approach %				64%	25%			29%	68%				7%	7%	
<b>Peak 2</b>	Lights	54	1	726	781	1157	1021	168	1189	942	109	107	136	352	223	2322
Specified Period	%	100%	50%	99%	99%	99%	100%	92%	98%	99%	98%	94%	97%	96%	93%	98%
2:00 PM - 7:00 PM	Other Vehicle:	0	1	5	6	8	4	15	19	14	2	7	4	13	16	38
One Hour Peak	%	0%	50%	1%	1%	1%	0%	8%	2%	1%	2%	6%	3%	4%	7%	2%
4:30 PM - 5:30 PM	<b>Total</b>	<b>54</b>	<b>2</b>	<b>731</b>	<b>787</b>	<b>1165</b>	<b>1025</b>	<b>183</b>	<b>1208</b>	<b>956</b>	<b>111</b>	<b>114</b>	<b>140</b>	<b>365</b>	<b>239</b>	<b>2360</b>
	PHF	0.71	0.25	0.88	0.87	0.97	0.94	0.88	0.95	0.89	0.77	0.79	0.85	0.94	0.91	0.93
	Approach %				33%	49%			51%	41%				15%	10%	

AI-8287

9. A.

**Planning Commission**

Meeting Date: 03/29/2022

Minutes

---

Information

Agenda Title

Planning Commission march 15, 2022

Purpose and Background

---

Attachments

Minutes

---

**Planning Commission  
March 15, 2022, Meeting  
City of Huber Heights**

- I. Chair Terry Walton called the meeting to order at approximately 6:01 p.m.
- II. Present at the meeting: Mr. Jeffries, Ms. Thomas, Ms. Vargo and Mr. Walton.

Members absent: Ms. Opp

Staff Present: Aaron K. Sorrell, Interim City Planner, and Geri Hoskins, Planning & Zoning Administrative Secretary.

**III. Opening Remarks by the Chairman and Commissioners**

**IV. Citizens Comments**

None.

**V. Swearing of Witnesses**

Mr. Walton explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

**VI. Pending Business**

- 1. MAJOR CHANGE – The applicant, Kirmon Khalilov, is requesting approval of a Major Change to the Basic and Detailed Development Plan in a Planned Commercial District for 2.55 acres at 5840 Old Troy Pike (ZC 21-45).**

Mr. Sorrell stated that this application was heard and tabled at the December 14, 2021, Planning Commission meeting. Based on the minutes, there was discussion about whether vehicles would be serviced on site, existing buffering between the adjacent funeral home, and moving the parking setback significantly closer to Old Troy Pike.

The applicant has submitted a revised plan which:

- Includes auto sales and service as the primary use;
- Added a masonry dumpster enclosure to the rear of the lot;
- Added a 42-inch hedge as screening between the front parking area and the funeral home parking area;
- Illustrates possible building expansion for garage bays and/or possible office; and
- Added three 25-foot light poles (two in front, one at the rear).

No other substantial changes were submitted.

**STAFF ANALYSIS AND RECOMMENDATION:**

This analysis will focus on the changes to the proposal since the application was tabled at the December 14, 2021, meeting:

**Vehicle Display and Landscaping**

The revised plan includes a 42" hedge, 60-feet long, between the display area and the property line. While this does help buffer the display area from the adjoining property, the proposed plan reduces the existing required yard buffer from 15-feet (required in the PC District) to approximately 7-feet.

The code states:

1176.03 (b)(1): All yards within the development plan except those abutting a Business or Industrial District shall be maintained in landscaping and not used for parking, to the extent of a minimum of 15 feet along property lines.

Both the original and revised plan locate the vehicle display area 25-feet from the right-of-way. While this meets the zoning standards for a parking area, the proposed plan shows three tightly packed display rows. This will have a greater visual impact along Old Troy Pike than a traditional parking area with one row of parked vehicles, separated by a 20-foot drive aisle. Additionally, parking areas of this size would be required to have interior parking landscaping to break up the mass of the vehicles and reduce storm water runoff. There are little to no recently developed uses within the vicinity that have such concentrated vehicular display or parking areas.

**Conformance with Zoning Regulations**

The proposed vehicle sales and service uses are permitted uses within the Planned Commercial district, if the Planning Commission approves such uses. At this time, there are no vehicle sales uses in this area of Old Troy Pike.

The proposed site plan brings the site out of conformance with the yard standards set in 1176.03(b)(1), described above.

If the Planning Commission deems the vehicle display area as a parking area, the site plan is not in conformance with the parking requirements found in Chapter 1185.

**Staff Analysis**

As proposed, it is the staff's opinion that the site becomes less conforming to the zoning code than it currently exists. This includes yard standards, and parking layout and design.

#5 in the Decision Record would read the only use approved is the sale and service automobiles.

Strike # 7 from the Decision Record.

Revise to March 15, 2022.

Chad spoke on behalf of the applicant.

**Action**

Ms. Thomas moved to approve the request by the applicant Kirmon Khalilov, for approval of a Major Change to the Basic and Detailed Plan in a Planned Commercial District for 2.55 acres at 5840 Old Troy Pike (ZC 21-45).

Seconded by Ms. Vargo. Roll call showed: YEAS: Ms. Vargo. NAYS: Mr. Jeffries, Ms. Thomas, and Mr. Walton. Motion to approve denied 3-1.

All three Nays stated no similar uses in the area.  
Case moves to City Council

**VII. New Business**

- 1. MINOR CHANGE - The applicant, Atlantic Sign Company, is requesting approval of a Minor Change for Signage at Camping World located at 8001 Old Troy Pike (MC 22-09).**

Mr. Sorrell stated that the applicant requests approval to replace existing wall signs due to the acquisition of Gander Outdoors by Camping World. The net effect of the change is an overall reduction in wall sign area.

**Original Approval**

As you can see below, the amount of approved and/or installed wall sign area has changed over the years:

September 2004	962 SF
July 2012	666 SF
September 2018	562 SF

**Current Application**

The applicant seeks a minor change to replace one internally illuminated wall sign and remove one existing internally illuminated wall sign. Two existing wall signs remain unchanged. The total wall sign area will be reduced from approximately 562 SF to approximately 429 SF.

The applicant seeks a minor change to replace one internally illuminated wall sign and remove one existing internally illuminated wall sign. Total wall sign area will be reduced from approximately 562 SF to approximately 429 SF, a reduction of approximately 23%.

Brooke Alini from Atlantic Sign Company was there for any questions.

**Action**

Ms. Vargo moved to approve the request by the applicant Atlantic Sign Company for approval of a Minor Change for Signage at Camping World located at 8001 Old Troy Pike (MC 22-09) in accordance with the recommendation of Staff's

Memorandum dated March 8, 2022, and the Planning Commission Decision Record attached thereto.

Seconded by Mr. Jeffries. Roll call showed: YEAS: Mr. Jeffries, Ms. Thomas, Ms. Vargo, and Mr. Walton. NAYS: None. Motion to approve carried 4-0.

**2. BASIC DEVELOPMENT PLAN - The applicant, Charles V. Simms Development, is requesting approval of a Basic Development Plan for the Gables of Huber Heights, located on Brandt Pike North of the Reserves at the Fairways (BDP 22-07).**

Mr. Sorrell stated that the applicant requests approval of a basic development plan to construct 74 condominiums in 11 buildings on 15.93 acres, which yields an average density of 4.64 units/acre. Approximately 64% of the site is open space (10.20 acres).

This land was originally approved as part of The Reserves at the Fairways, a similar condominium development immediately south of the project site.

**Conformance with Zoning Regulations**

The proposal largely conforms to the regulations outlined in Chapter 1179, Planned Mixed Use District (PM):

- Residential uses are permitted in the district and the buildings meet the setback requirement of 15-feet between residential buildings.
- Buildings are clustered and a large, usable greenspace area is proposed in the development. Approximately 64% of the site is open space, including detention areas.
- Walking paths are included throughout the development.
- Site access is limited to one private drive from Brandt Pike. A secondary emergency exit is proposed at the cul-de-sac terminus and connects to an existing private street (Salon Circle).
- Parking will be provided through a mixture of garage and driveway spaces and various guest parking areas. A total of 334 spaces are provided, 222 are required.
- A six-foot high landscaping mound is provided to buffer the open space area from the existing development to the south.
- Lighting will be provided through a combination of exterior building lights and lamp posts along walking and parking areas.
- Proposed building elevations indicate substantial use of masonry products on the front elevations of the buildings.

**Other Considerations**

- The applicant has agreed to enlarge the private street width to 27 feet, as required by 1111.04 of the subdivision regulations.

**Staff Analysis**

As outlined above, this land was originally envisioned and approved as a condominium development and has sat fallow for nearly 20-years. Staff feels the proposed basic development plan meets the requirements of the PM District and the general standards for approval outlined in Section 1171.06.

**Additional Comments:**

**Fire:** See Attached. The applicant will comply will all fire code requirements.

**City Engineer:**

- The water and sanitary sewer lines are to be public lines made of City standard materials and they are to be in easements.
- The entrance off of Brandt Pike should be a minimum 36' wide with one lane in and two lanes out.

**Recommendation**

Staff recommends approval of the basic development plan submitted on January 28, 2022, with the following conditions:

- Applicant shall comply will all fire code requirements.
- The minimum private street pavement width shall be 27 feet.
- The water and sanitary sewer lines are to be public lines made of City standard materials and they are to be in easements.
- The entrance off of Brandt Pike should be a minimum 36' wide with one lane in and two lanes out.

**Planning Commission Action**

Planning Commission may take the following actions with a motion to:

- 1) Approve the basic development plan application, with or without conditions.
- 2) Deny the basic development plan.
- 3) Table the application in order to gather additional information.

Robert Simms  
John Moore  
Barry Payne  
James Moore  
Christine Olinsky

Amended Decision Record to add #5, Brandt Pike road improvements may be needed subject to approval by the City Engineer for changing stripping and painting of future left lane.

**Action**

Mr. Jeffries moved to approve the request by the applicant Charles V. Simms Development, for approval of a Basic Development Plan for the Gables of Huber Heights, P70 03910 0057 of the Montgomery County Records Map (BDP 22-07) in accordance with the recommendation of Staff's Memorandum dated March 7, 2022, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Thomas. Roll call showed: YEAS: Ms. Vargo, Mr. Jeffries, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 4-0.

Move to City Council

**3. BASIC DEVELOPMENT PLAN - The applicant, Amarjit Takhar, is requesting approval of a Basic Development Plan and Rezoning to (Planned Commercial) PC for 35 acres at State Route 35 for a Service Station (BDP 22-08).**

Mr. Sorrell stated that the applicant has provided some preliminary revised plans. The applicant requests approval of a basic development plan and rezoning to Planned Commercial District to construct a fueling center, convenience store, truck stop and diesel repair facility on approximately nine (9) acres of a 35-acre parcel. The site is adjacent to the I-70 / SR 235 interchange.

The land is currently zoned "I-1" Light Industrial and Mixed-Use District. The surrounding lands are predominantly zoned I-1 and used for manufacturing or logistics purposes. There is a significant amount of agricultural / vacant land immediately east of this site in Clark County that has development potential but limited access to SR 235 and I-70.

The proposed service station and diesel repair facilities are Special Uses within the existing I-1 zoning district. The convenience store is not a principally permitted use in the existing I-1 zoning district.

There is an existing service station with convenience store adjacent to this site zoned Planned Commercial.

**On-Site Uses and Facilities**

The applicant is proposing two buildings, one 6,720 SF building containing a convenience store and restaurant, and the second 6,642 SF diesel truck repair facility. Both buildings are proposed to be clad with a mix of brick and stucco EFIS.

Fuel will be dispensed through one five-pump island in front of the convenience store, and a second five-pump island located at the rear of the property for semi-trucks and large oversized vehicles. Both fueling islands will be covered by large canopies.

Parking is provided throughout the site. The applicant is proposing 62 parking spaces, including 10 for semi-trucks.

**Applicable Zoning Regulations**

The applicable zoning chapters include: 1171 General Provisions, 1176 Planned Commercial District, 1181 General Provisions, 1182 Landscaping and Screening, 1185 Parking and Loading. The relevant sections are cited below:

**Staff Analysis**

The analysis below is based on the application and drawings originally submitted as a Planned Industrial District. Staff realized this application was in error, but not in time to enable the applicant to revise the drawings for this meeting. Additionally, staff has been in discussion with the applicant to reconfigure the site plan to allow for a future extension of Center Point 70 Blvd. The applicant has agreed to make these accommodations and is working on these revisions.

**Conformance with Zoning Regulations:**

1176 (PC) Planned Commercial District

The proposed uses are principally permitted in the PC district. The current plan indicates a 10-foot perimeter buffer yard, which must be 15-feet. All other standards for this Chapter are met.

Chapter 1181 General Provisions

The proposal meets the requirements of Chapter 1181, with the exception of the following items are not in compliance or not illustrated on the Basic Development Plan:

- Street trees shall be placed every 40-feet along the public street.
- No exterior lighting plan was submitted. Unless otherwise directed by the Planning Commission, parking light fixtures shall not exceed 25 feet in height.

Chapter 1182 Landscaping and Screening Standards

The Basic Development Plan indicates potential locations for landscape islands and trees within the parking areas. Additional detail shall be provided during the detailed development plan phase.

Chapter 1185 Parking and Loading

The proposal generally meets the requirements of Chapter 1185. The applicant is illustrating parking island landscaping. The maximum required number of parking spaces required is approximately 67 total spaces. The plan indicates 62 proposed spaces. The number of required parking spaces is likely to decrease once the final area of the convenience store (less storage) and restaurant are determined.

Chapter 1193 Trailers, Trucks, Recreational Vehicles, Boats, Farm or Construction Equipment

The proposal meets the requirements of this chapter which limits the number of semi parking spaces to no more than ten spaces. The plans indicate ten spaces that are correctly dimensioned.

**Other Considerations:**

The original submission illustrates a driveway that aligns with Center Point 70 Boulevard. This alignment would severely limit any future expansion of the roadway to the east. Staff has asked the applicant to redesign the site to allow a future extension of Center Point 70 by moving the gas pumps and store further south and/or changing their alignment. This will enable the roadway to be extended in the future with less disruption to the business. This extension would also provide hundreds of acres of potential development lands with better access to I-70. The applicant has agreed, and is currently working on these revisions.

**Additional Comments:**

**Fire:** See Attached. The applicant will comply with all fire code requirements.

**City Engineer:**

**Recommendation**

Staff recommends approval of the rezoning from I-1 to Planned Commercial and approval of the basic development plan with the following conditions:

- A 15-foot buffer yard shall be illustrated on the basic development plan
- Street trees shall be placed every 40-feet
- The applicant shall revise the alignment and location of the gas pumps and convenience store to allow for a future extension of Center Point 70 Boulevard.
- Applicant shall comply with all fire code requirements.
- Prior to submission to City Council for review and approval, applicant shall resubmit a basic development plan that conforms with the conditions above.

**Planning Commission Action**

Planning Commission may take the following actions with a motion to:

- 4) Approve the rezoning and basic development plan application, with or without conditions.
- 5) Deny the basic development plan.
- 6) Table the application in order to gather additional information.

Chris Besecker

**Action**

Mr. Jeffries moved to table the request by the applicant Amarjit Takhar, for approval of a Basic Development Plan and Rezoning to Planned Commercial (PC) to construct a fueling center, convenience store, truck stop and diesel repair facility on approximately nine (9) acres of a 35-acre parcel located on the East side of intersection of SR 235 and Center Point 70 Blvd, Parcel Numbers P70-03903-0079 and P70-03903-0005 of the Montgomery County Records Map (BDP 22-08) in accordance with the recommendation of Staff's Memorandum dated March 10, 2022, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Thomas. Roll call showed: YEAS: Ms. Vargo, Mr. Jeffries, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to table carried 4-0.

4. **BASIC DEVELOPMENT PLAN - The applicant, DEC Land Co., I LLC, is requesting approval of a Detailed Development Plan and Final Plat for Section 7, Phase 5 of the Carriage Trails Development (DDP 22-10).**

Mr. Sorrell stated that the applicant requests approval of the detailed development plan and final plat for section seven, phase five of the Carriage Trails subdivision. This phase contains 65 lots on approximately 17.34 acres.

**Conformance with Zoning Regulations**

The detailed development plan conforms to the regulations outlined in Chapter 1179, Planned Mixed Use District and the basic development plan approved by City Council.

The mixture of lot sizes (approximately) are:

60 feet x 130 feet: 53 lots  
66 feet x 130 feet: 3 lots  
70 feet x 130 feet: 3 lots  
77 feet x 130 feet: 6 lots

Minimum yard setbacks:

Front & Rear: 25 feet  
Side: 5 feet

The HOA covenants have the following applicable requirements and restrictions:

- Uses: Limited to a single-family residence
- Building material: The covenants require a minimum of 50% of the single-family homes within each subareas shall have front façade of no less than 25% masonry materials.
- Accessory Buildings: No larger than 10' x 10' shed.
- Fences: Limited to the rear yard, no higher than 4-feet. Chain link fencing is prohibited.

The HOA will be responsible for the care and maintenance of all common areas.

**Staff Analysis**

The applicant requests approval of the detailed development plan and final plat for section seven, phase five of the Carriage Trails subdivision. This phase contains 65 lots on approximately 17.34 acres, which is approximately 3.7 units per acre.

It is important to note that the current municipal boundary bisects lots 1 – 36 because the annexation has not yet been completed. The developer plans to build out the street infrastructure, but not fully plat lots 1 - 36 until the annexation is complete. Staff is supportive of this approach on the condition that no zoning permit shall be issued for lots 1 – 36 until such time as these lots are fully platted and recorded within the City of Huber Heights.

**Additional Comments:**

**Fire:** See attached

**City Engineer:**

- The temporary cul-de-sac near the intersection of Arrowwood Street and Woodmint Drive is not required and can be removed if desired.

**Recommendation**

Staff recommends approval of the detailed development plan submitted on February 18, 2022, with the condition that that no zoning permit shall be issued for lots 1 – 36 until such time as these lots are fully platted and recorded within the City of Huber Heights.

**Planning Commission Action**

Planning Commission may take the following actions with a motion to:

- 7) Approve the Detailed Development Plan; or,
- 8) Deny the Detailed Development Plan.

Ken Conaway

**Action**

Mr. Jeffries moved to approve the request by the applicant DEC Land Co. I LLC, for approval of the Detailed Development Plan and Final Plat for section 7, Phase 5 of the Carriage Trails subdivision (DDP 22-10) in accordance with the recommendation of Staff's Memorandum dated March 8, 2022, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Thomas. Roll call showed: YEAS: Ms. Vargo, Mr. Jeffries, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 4-0.

**VIII. Additional Business**

1. **Proposed Change to an Existing Ordinance for Planning Commission Recommendation for Sidewalks and Curb Associated with all New Development within the City (ORD 22-16).**

**Action**

Ms. Vargo moved to approve the request by the applicant The City of Huber Heights, for a proposed change to an Existing Ordinance for Sidewalks and Curb Associated with all New Development within the City (ORD 22-16).

Seconded by Ms. Thomas. Roll call showed: YEAS: Ms. Vargo, Mr. Jeffries, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 4-0.

**IX. Approval of the Minutes**

Without objection, the minutes of the January 25, 2022, and February 15, 2022, Planning Commission meeting are approved.

**X. Reports and Calendar Review**

Rezoning State Route 235  
Basic Development Plan Brandt Pike, North of the Reserves  
Comprehensive Plan Mid-April, Yard, Inc.

**XI. Upcoming Meetings**

March 15, 2022  
March 29, 2022

**XII. Adjournment**

There being no further business to come before the Commission, the meeting was adjourned at approximately 8:05 p.m.

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**Terry Walton, Chair**

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**Date**

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**Geri Hoskins, Administrative Secretary**

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**Date**