



AGENDA
CITY PLANNING COMMISSION

City Hall - Council Chambers
6131 Taylorsville Road
April 12, 2022
6:00 P.M.

1. Call Meeting To Order
2. Roll Call
3. Opening Remarks By The Chair and Commissioners
4. Citizens Comments
5. Swearing of Witnesses
6. Pending Business
7. New Business
 - A. REZONING AND BASIC DEVELOPMENT PLAN - The applicant, HARTMAN I, LLC, is requesting approval of a Rezoning to PO (Planned Office) and a Basic Development Plan for a new Medical Facility (RZ BDP 22-13).
 - B. MAJOR CHANGE TO THE BASIC DEVELOPMENT PLAN AND APPROVAL OF A DETAILED DEVELOPMENT PLAN - The applicant, PARVEEN WADHWA, is requesting approval of a Major Change to the Basic Development Plan and Approval of a Detailed Development Plan for a Commercial Lot (MJC 22-14).

- C. MAJOR CHANGE TO DETAILED DEVELOPMENT PLAN - The applicant, HALLE PROPERTIES, LLC, is requesting approval of a Major Change to An Approved Detailed Development Plan for Discount Tire (MJC 22-15).

8. Additional Business

9. Approval of Minutes

A. Planning Commission March 29, 2022

10. Reports and Calendar Review

A. REZONING AND LOT SPLIT - 9416 Taylorsville Road

11. Upcoming Meetings

A. April 26, 2022
May 10, 2022

12. Adjournment

AI-8314

7. A.

Planning Commission

Meeting Date: 04/12/2022

Rezoning and Basic Development Plan

Information

Agenda Title

REZONING AND BASIC DEVELOPMENT PLAN - The applicant, HARTMAN I, LLC, is requesting approval of a Rezoning to PO (Planned Office) and a Basic Development Plan for a new Medical Facility (RZ BDP 22-13).

Purpose and Background

Attachments

Staff Report

Decision Record

Location Plan

Drawing

Sign Package

Fire Assessment

Engineering Comments

Memorandum

Staff Report for Meeting of April 12, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner
Community Planning Insights

Date: April 6, 2022

Subject: Basic Development Plan and Rezoning – Medical Facility
(7611 Old Troy Pike)

Application dated March 18, 2022

Department of Planning and Zoning		City of Huber Heights	
APPLICANT/OWNER:	Hartman I, LLC – Applicant Huber Heights ABG, LLC - Owners		
DEVELOPMENT NAME:	Huber Heights Medical Facility		
ADDRESS/LOCATION:	7611 Old Troy Pike (Currently Rural King parking/display area)		
ZONING/ACREAGE:	Planned Commercial - 1.1 acres		
EXISTING LAND USE:	Parking / Display Area		
ZONING ADJACENT LAND:	Planned Commercial		
REQUEST:	The applicant requests approval of a basic development plan and rezoning to Planned Office to construct a 10,800 SF emergency medical facility.		
ORIGINAL APPROVAL:	N/A		
APPLICABLE HHCC:	Chapter 1171, 1173, 1181,		
CORRESPONDENCE:	In Favor – None Received In Opposition – None Received		

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant requests approval of a basic development plan and rezoning from Planned Commercial to Planned Office to construct a 10,800 square foot healthcare facility for outpatient and emergency services. The applicant anticipates an initial volume of 30 – 40 patients per day, with a maximum of 50 – 60 day once the facility is established.

The site is approximately 1.1 acres and is currently used as an area for outdoor display and storage for the Rural King.

Applicable Zoning Regulations

The applicable zoning chapters include: 1171 General Provisions, 1173 Planned Office District, 1181 General Provisions, 1182 Landscaping and Screening, 1185 Parking and Loading. The relevant sections are cited below:

Chapter 1171 General Provisions

1171.01 Purpose.

Planned Unit Developments Districts may be permitted as amendments to the zoning map, after application and approval of specific and detailed plans, where tracts suitable in location and character for the uses and structures proposed are to be planned and developed as units. The provisions of this chapter are adopted to unify planning and development in such districts. Applications for rezoning of land into a Planned Unit Development District shall be granted only when the basic development plan for the project is such that the public health, safety and morals shall not be jeopardized by a departure from the restrictions on corresponding uses in the standard zoning district. PUD rezonings may be approved only when a basic development plan for the area has been approved by Council. A detailed development plan shall then be approved for zoning permit to be approved for development in the District. Normally the detailed development plan shall be approved by the Planning Commission after the rezoning and basic development plan have been approved by Council. Owners shall have the option however, of submitting a combined basic and detailed development plan ("combined development plan") if they should so desire for some or all of the site.

(Ord. 93-O-602, Passed 3-22-93)

1171.05 Contents of basic development plan.

- (a) The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:*
 - (1) Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;*

- (2) *Typical elevation views of the front and side of each type of building;*
 - (3) *Planning location and dimensions of all proposed drives, service access road, sidewalks and curb openings;*
 - (4) *Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;*
 - (5) *Landscaping plan, walls and fences;*
 - (6) *Storm water detention and surface drainage;*
 - (7) *Exterior lighting plan;*
 - (8) *Vehicular circulation pattern;*
 - (9) *Location and square footage of signs;*
 - (10) *Topographic survey; and*
 - (11) *Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.*
- (b) *The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.*

(Ord. 2006-O-1655, Passed 9-25-05)

1173 (PO) Planned Office District

1173.01 Principal permitted uses.

The following principal uses are permitted provided that they are approved as provided for in this chapter:

- (a) Business offices;
- (b) Professional offices, including medical and dental clinics and offices;
- (c) Financial offices, including banks, savings and loan associations, and finance companies;
- (d) Utility company offices;
- (e) Professional and business schools;
- (f) Schools and studios for music, arts, crafts, dance and photography; and
- (g) Mortuaries and funeral parlors with living accommodations for the owner or manager.

(Ord. 89-O-339, Passed 2-6-89)

1173.02 Accessory uses.

Only the following accessory uses shall be permitted in this District:

- (a) Uses customarily incident to all principal permitted uses; and
- (b) Pharmacies.

(Ord. 89-O-339, Passed 2-6-89)

1173.03 Development standards.

Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions" shall govern. In addition, the following development standards shall apply:

- (a) *Minimum Land Area Requirement.*
 - (1) No minimum land area shall be required.
- (b) *Site Planning.*
 - (1) All yards within the development plan except those abutting an Office or Industrial District shall be maintained in landscaping and not used for parking, to the extent of a minimum of 15 feet along property lines.
 - (2) The parking and loading facilities shall be a distance of at least 25 feet from the established right-of-way line, and the building(s) or the structure(s) at least 75 feet from the established right-of-way line per the Official Thoroughfare Plan or the recorded plat

1173.04 Parking and loading.

The provisions of Chapter 1185, "Parking and Loading" shall apply except that off-street loading space shall be provided with area, location and design appropriate to the needs of the development and specific uses within it, and the space designated for off-street loading shall not be used for off-street parking.

(Ord. 89-O-339, Passed 2-6-89)

Chapter 1181 General Provisions

1181.17 Street trees.

Any property that is zoned commercial, industrial, institutional or multi-family and that abuts a public street right-of-way and is being developed shall have one street tree per 40 feet of frontage planted at least four feet from the edge of the sidewalk on private property as determined appropriate by the City Engineer. If the location of the proposed street trees is determined inappropriate by the City Engineer, the City Engineer shall determine a location that is appropriate for the planting of the street trees. The City Engineer shall also approve the type of and the caliper of street trees that are to be planted. A list of appropriate trees and required caliper is available in the City Engineer's office.

(Case 389; Ord. 2001-O-1240, Passed 2-12-01)

1181.18 Screening of service structures.

Service structures shall be screened in all zoning districts. For the purposes of this section, service structures shall include but not be limited to loading docks, storage tanks, dumpsters, electrical transformers, utility vaults which extend above the surface, cooling towers, roof top units and other equipment or elements providing service to a nonresidential (excluding agricultural uses) or multi-family building or site. Structures may be grouped together; however, screening height shall be based upon the

tallest of the structures. Service structures located in the public right-of-way or public right-of-way easement shall be exempt from these provisions.

(a) Screening Requirements.

- (1) Rooftop utilities screening. All mechanical equipment located on the roof or around the perimeter of the building shall be screened by the following means and with materials that are comparable and compatible with that of the exterior building materials. Roof top mechanical units must be screened to the full height of the unit and also be fully screened from view from surrounding public rights-of-way. A sight distance analysis may be required by the City to determine the necessary height or design of rooftop utilities screening. If due to factors unique to the property or the project, it is physically impossible or impractical to screen these utilities, the Board of Zoning Appeals, may approve alternative solutions that render them aesthetically compatible with the principal structure, except for development within a planned unit development district for which the Planning Commission would have authority to approve any alternative solutions.*
 - A. A raised parapet or other architectural feature is an integral part of the building as a method of screening for rooftop mechanical equipment or to soften rooftop view.*
 - B. Screening for rooftop mechanical equipment shall incorporate similar architectural features of the building and/or be constructed of a material and color compatible with other elements of the building.*
- (2) Waste Handling Screening. All waste, recycling and related handling equipment shall be stored and kept in four sided enclosure constructed of a brick, stone, decorative concrete material or a material compatible with the material of the principle structure.*
 - A. Curbs to protect screening material. Whenever screening materials is placed around any trash disposal unit or waste collection unit which is emptied or removed mechanically on a regularly occurring basis, a curb to contain the placement of the container shall be provided within the screening material on these sides where there is such material. The curbing shall be at least one foot from the material and shall be designed to prevent possible damage to the screening when the container is moved or emptied.*
- (3) Screening of other service structures. A continuous (having 100 percent opacity) planting, hedge, fence, wall of earth, which would enclose any service structure on all sides is required, unless such structure must be frequently moved, in which case screening on all but one side is required. The height of the screening material shall be one foot more than the height of the enclosed structure, but shall not be required to exceed 12 feet in height. Whenever a service structure is located next to a building wall or landscaping material, such walls or screening material, may fulfill the screening requirement for that side of the service structure if that wall or screening material is of sufficient height to meet the height requirement set out in this section. Plant material used to screen a service structure shall be an evergreen species which retains its needles throughout the year. Deciduous plant material cannot be used to fulfill this screening requirement. The height of the evergreen plant material at installation must be equal to, or greater than, two-thirds of the height of the service structure(s), and meet the height and opacity requirements within four years.*

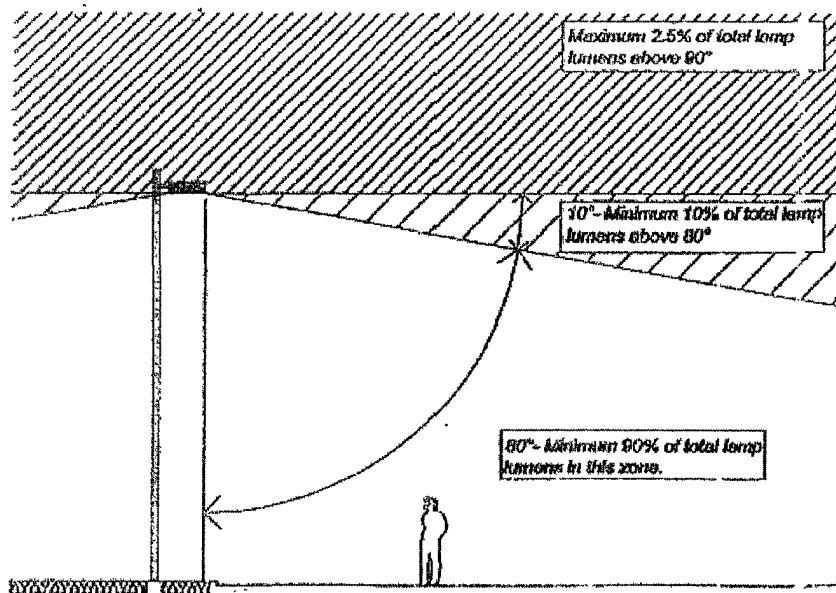
1181.21 Lighting standards.

- (a) *Intent.* This section intends to regulate outdoor lighting in order to: establish appropriate minimum levels of illumination, prevent unnecessary glare, and reduce both spill-over onto adjacent properties and unnecessary transmission of light into the night sky. It is not intended to eliminate the need for an applicant to seek professional assistance to determine appropriate lighting for the use and design proposed.
- (b) *Approved Lighting Plan.* Whenever the installation or modification of outdoor lighting is proposed or, for a commercial, industrial, multi-family or special use of a site plan approval, the enforcing officer shall review and approve all proposed lighting as part of the approval process. These standards shall also apply to modifications to existing lighting fixtures, whether or not site plan approval is required.
- (1) A lighting plan submitted for review shall contain the following:
- A. A site plan showing the location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures;
 - B. Specifications for all proposed and existing lighting fixtures. These include: photometric data, fixture height, mounting and design, glare control devices, type and color rendition of lamps, and hours of operation. A photometric plan illustrating the levels of illumination at ground level shall account for all light sources that impact the subject site, including spill-over illumination from neighboring properties; and
 - C. Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming of points of any remote fixtures.
- (2) A proposed lighting plan shall be reviewed based upon the following considerations:
- A. Whether the lighting is designed to minimize glare;
 - B. Whether light will be directed beyond the boundaries of the area to be illuminated or onto adjacent properties or streets;
 - C. Whether the lighting will cause negative impacts on residential districts and uses;
 - D. Whether the plan will achieve appropriate levels of illumination for the use proposed;
 - E. Whether the lighting is in harmony with the character of the surrounding area and the illumination levels of neighboring properties; and
 - F. Whether the lighting is in keeping with the city's goal of prohibiting unnecessary illumination of the night sky.
- (c) *Required Conditions.* When site plan or zoning permit approval is required for the installation or modification of exterior lighting, the following conditions shall apply:
- (1) Light fixtures shall not be mounted in excess of the maximum height limitation of the district in which they are located. Those maximum heights are listed below:

•	Planned Unit Developments	Established by the City at the detailed plan approval stage (if not addressed, maximum mounting height shall be 25')
---	---------------------------	--

Electrical service to light fixtures shall be placed underground.

- (3) No flashing lights or intermittent illumination shall be permitted.*
- (4) Glare control shall be accomplished primarily through the proper selection and application of lighting equipment. Only after those means have been exhausted shall landscaping, fencing and similar screening methods be considered acceptable means for reducing glare.*
- (5) Outdoor lighting shall be designed to achieve uniform illumination levels. The ratio of the average light level of the surface being lit to the lowest light level of the surface being lit, measured in foot-candles, shall not exceed 4:1. One foot-candle is equal to the amount of light generated by one candle shining on a square foot surface one foot away. The average illumination is determined by: adding the foot-candle value of all the points in the photometric grid, and dividing the sum by the total number of points.*
- (6) The use of true color rendering lamps, such as metal halide, is required instead of the utilization of high and low pressure sodium lamps.*
- (7) Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.*
- (8) Lighting for security purposes shall be directed only onto the area to be secured.*
 - A. All fixtures shall be located, shielded and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky.*
 - B. Fixtures mounted on the building and designed to illuminate the facade are preferred.*
- (9) Parking lot lighting shall be designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare and direct illumination away from adjacent properties and streets. Designs that result in even levels of illumination across a parking area are preferred*



Cut-off fixture as defined by IESNA.

Chapter 1182 Landscaping and Screening Standards

1182.01 General information.

- (a) *Applicability.* All of the requirements of this chapter of the Zoning Code are applicable to all new developments located in all zoning districts except for those located in ER, R-1, R-2, R-3, R-4, R-4B, RMV, A, WO, and C districts. For new developments located in ER, R-1, R-2, R-3, R-4, R-4B, RMV, A, WO, and C districts, only the requirements listed in the schedule of required buffers, detailed in figure 4 in Section 1182.05, shall apply. Property owners are under a continuing obligation to ensure that their property is maintained in accordance with these requirements.
- (b) *Application Process.* For PUD applications and standard zoning permit applications certain landscape information must be provided.
 - (1) *In a PUD application, proposals in the re-zoning and basic development plan stage need to illustrate conceptual buffering and screening requirements on the basic development plan.*
 - (2) *In a PUD application in the detailed development plan stage and final plat stage, a detailed landscape plan shall be submitted as outlined in 1182.02.*

Chapter 1185 Parking and Loading

1185.03 Size and design.

- (a) *Off-street parking spaces shall meet or exceed the minimum design standards for parking lot layouts as set forth in this chapter. The minimum size for an off-street parking space shall be 18 feet in length by ten feet wide.*
- (b) *Off-street parking requirements and limitations for semis are defined in HHCO Chapter 1193.*
- (c) *Minimum Design and Construction Standards.*
 - (1) *Off-street parking may be open to the sky, or enclosed in a building or structure, either above or below ground. Off-street parking areas shall meet City and, as set forth by the City Engineer, Southwest Ohio Engineers Association (S.W.O.E.A) standards. Such standards shall include, but not be limited to, driveway widths, island design, curbs, barriers, grades, turning radii, vertical clearance, stacking, and waiting areas and drainage.*
 - (2) *Nonresidential uses (including multi-family residential uses).*
 - A. *Each off-street parking space shall open directly into an aisle or driveway of adequate width and design for safe and efficient vehicular access to the parking space. No parking space shall open directly onto any public street.*
 - B. *An aisle or driveway shall not be used for parking of vehicles.*
 - C. *All off-street parking areas shall be graded and have a continuous hard surface of asphalt or concrete. When approved by the City Engineer the off-street parking areas for impound lots, junked vehicle yards, dormant semi-truck parking areas, and certain storage areas may be composed of granular aggregate and a double chip seal or a fabric type pavement with aggregate base and surface stabilization or a slurry seal pavement with aggregate base as*

shown on the attached sketches. A chip sealed lot or a slurry seal lot or a fabric type lot shall be resealed at a minimum of five year intervals or as designated by the City Engineer.

1185.06 Landscaping required.

All parking lots exceeding 20 parking spaces shall have interior landscaped areas in the overall design. This requirement shall be satisfied only by those landscaped areas encompassed by the perimeter of the parking lot. Required parking or paving setbacks, screening areas, or other landscaping required by this Zoning Ordinance shall not be utilized to meet any requirement of these landscaping provisions.

- (a) Any parking lot having a capacity of at least 20 parking spaces shall be required to have not less than five percent of the interior of the parking lot landscaped.*
- (b) The landscaped area shall include at least one tree (not less than one and three-fourths inch caliper, measured at chest height of a species approved by the City Engineer or his designee) for every 100 square yards of interior landscaped area, living plantings aesthetically located and maintained.*
- (c) All landscaped areas shall be designed and located in a manner that clearly defines internal streets, traffic lanes and parking areas and to standards acceptable to the Department of Engineering, Zoning and Planning.*
 - (1) Landscaped areas shall have a minimum width of five feet.*
 - (2) A turning radius shall be constructed where a landscaped area defines an intersection of streets, traffic lanes or parking stalls.*
 - (3) Concrete curbing shall be placed around the perimeter of all landscaped areas.*
 - (4) Intersection sign distance shall be maintained at all entrance and exit points to a public street and all internal intersections of streets and traffic lanes.*

(Ord. 90-O-450, Passed 12-3-90)

1185.12 Computation.

- (a) Number of Spaces Rounded Up. When determination of the number of off-street parking spaces required by this chapter results in a fraction that is less than a whole, such fraction shall be rounded up to a whole number and counted as one parking space.*
- (3) Institutional and recreational uses.*
 - G. Hospital or medical center: one space for every two beds, plus one space for every staff and employee on the largest work shift.*

Chapter 1189 Signs

1189.05 Types of signs.

- (i) Planned Unit Development Sign Programs. Signs which have been approved as part of a planned unit development sign program may vary from the requirements stated within this chapter. Variations permitted through a PUD sign program may include but are not limited to the*

following: total number of signs permitted, sign size, sign setback, sign height and percentage of sign area devoted to changeable copy or electronic copy. Such deviations are recognized to be primarily for safety or unique parcel configuration circumstances and are not intended to circumvent the intent of the sign code.

1189.07 Signs permitted for business, industrial or other nonresidential zoning districts.

(a) General Provisions.

- (1) All permanent signs may be illuminated. Temporary signs shall not be illuminated.
- (2) No sign shall be located in such a manner as to be primarily viewed from residential property.
- (3) Number of signs permitted. A single-business establishment shall be permitted a maximum of two types of permanent sign identification unless otherwise permitted in this chapter.
 - A. A single business shall be permitted one temporary commercial message banner sign for the following periods:
 1. Three day event twice a year.
 2. Grand opening or relocation of business for a period not to exceed 30 days.
 3. All such signs are limited to a maximum of 48 square feet.
 4. All other provisions in this chapter as they pertain to temporary signs remain in effect as written.
 5. Whoever violates or fails to comply with any provision of this subsection (a) is guilty of a minor misdemeanor. A separate offense shall be deemed to have been committed each day on which a violation or a failure to comply occurs or continues.

(b) Ground Signs.

- (1) Only one ground sign shall be permitted on a premises.
- (2) The ground sign shall not exceed 75 square feet in total sign area.
- (3) Ground signs shall not exceed six feet from ground level.
- (4) Signs shall be set back a minimum of 15 feet from the right-of-way.

(c) Wall Signs.

- (1) Single wall signs shall not exceed 75 square feet total area.
- (2) On structures with more than one visible side, a maximum of four wall signs could be allowed, providing that the total square footage of all the signs does not exceed 150 square feet.

(d) Projecting or Suspended Signs.

- (1) Only one projecting or suspended sign shall be permitted for an individual business.
- (2) The projecting or suspended sign shall not exceed 75 square feet in area.
- (3) Projecting and suspended signs shall be a maximum of 15 feet in height, and shall not extend more than three feet above the roof line of a building.

- (4) Signs suspended from any building shall not project more than 42 inches from such building, and the bottom of such sign shall not be less than 12 feet above the finished grade or sidewalk.
- (i) *Permanent Canopy Signs.*
 - (1) One or more canopy signs per street frontage shall be permitted per establishment.
 - (2) Canopy signs may not project above or below canopy facing.
 - (3) Total sign area permitted a canopy sign shall not exceed 50 percent of the total sign area allotted the primary building frontage.

Standards for Approval

1171.06 – General Standards For Approval

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*
- (b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*
- (c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*
- (d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*
- (e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*
- (f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*
- (g) Shall preserve natural features such as water courses, trees and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*
- (h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*
- (i) Shall place underground all electric and telephone facilities, street light wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*
- (j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*

- (k) Shall not involve uses, activities, processes, materials, equipment and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and*
- (l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

Staff Analysis

Conformance with Zoning Regulations:

1173 (PO) Planned Office District

The proposed use is principally permitted in the PO district.

This medical facility is being proposed within an area that is currently underutilized parking and outdoor storage area for Rural King. However, staff requested the applicant minimally disrupt and to the greatest extent possible, maintain the current parking isle orientations. Additionally, since there is an abundance of existing parking, staff requested the applicant share parking with Rural King to the extent possible.

Therefore, the basic development plan cannot fully comply with the buffer yard requirements of the Planned Office District. The current plan indicates a 30-foot perimeter buffer yard along the east property line, and a 10-foot buffer yard to the south which aligns with the current parking travel lanes. A quasi-15-foot buffer area to the north separates the emergency entrance from a travel lane. Parking is shared on the west property line, though landscape islands have been added to break up the parking area and delineate the new medical facility.

Chapter 1181 General Provisions

The proposal meets the requirements of Chapter 1181, with the exception of the following items are not in compliance or not illustrated on the Basic Development Plan:

- Street trees shall be placed every 40-feet along the public street.
- No exterior lighting plan was submitted. Unless otherwise directed by the Planning Commission, parking light fixtures shall not exceed 25 feet in height.
- Mechanical, waste, and service screening is not illustrated with great detail, but shall comply with the zoning code.

Chapter 1182 Landscaping and Screening Standards

The Basic Development Plan indicates potential locations for landscape islands and trees within the parking areas. Additional detail shall be provided during the detailed development plan phase.

Chapter 1185 Parking and Loading

The proposal generally meets the requirements of Chapter 1185. The applicant is illustrating areas for parking island landscaping. The maximum required number of parking spaces required is unknown at this time because the interior program has not been finalized. The plan indicates 41 proposed spaces that are either on-site or immediately adjacent to the facility. If significantly more parking spaces are required and joint parking agreement may be required.

Chapter 1189 Signs

The applicant is requesting a mixture of signage including one ground mounted sign, three corporate wall signs, three "Emergency" wall signs and one "Ambulance" canopy sign.

The proposed ground mounted sign is 8-feet tall with a sign area of 80 square feet. The code suggests a height limit of 6-feet and not exceed 75 square feet in sign area.

The two "Emergency" wall signs are 75 square feet each, and the three corporate wall signs are 50 square feet each, totaling 300 square feet. The code suggests single wall signs shall not exceed 75 square feet each, and a cumulative total of no more than 150 square feet. If the commission considers the "emergency" signs to be exempt, the wall signs are compliant.

The "Ambulance" canopy sign is 35 square feet and mounted above the canopy. The code suggests canopy signs are only permitted along street frontage and may not project above the canopy. While not along a street frontage, the canopy covers the ambulance entrance and a variance from the code requirements seems reasonable.

Additional Comments:

Fire: See Attached.

City Engineer:

- Construct the right-in / right-out as large as possible and install "No Left Turn" sign and curb delineators

Recommendation

Staff feels the standards of approval outlined in 1171.06 can be met and therefore staff recommends approval of the rezoning from Planned Commercial to Planned Office and approval of the basic development plan with the following conditions:

1. Street trees shall be placed every 40-feet along Taylorsville Road.

2. The applicant shall comply with Chapter 1181.18 Screening of Service Structures.
3. The applicant shall comply with Chapter 1181.21 Lighting Standards.
4. General Landscaping and Screening.
5. The applicant shall comply with Chapter 1182 Landscaping and Screening.
6. Applicant shall comply will all fire code requirements.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

- 1) Approve the rezoning and basic development plan application, with or without conditions.
- 2) Deny the basic development plan.
- 3) Table the application in order to gather additional information.



Planning Commission Decision Record

WHEREAS, on March 18, 2022, the applicant, Hartman I, LLC, requested approval of a Basic Development Plan and Rezoning to Planned Office (PO) to construct an Emergency Medical Facility at property located at 7611 Old Troy Pike, Parcel Number P70-04005-0140 of the Montgomery County, Ohio Records (Case BDP RZ 22-13); and

WHEREAS, on April 12, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to recommend approval of the request by the applicant, Hartman I, LLC, for the approval of a Basic Development Plan and Rezoning to Planned Office (PO) to construct an Emergency Medical Facility at property located at 7611 Old Troy Pike, Parcel Number P70-04005-0140 of the Montgomery County, Ohio Records (Case BDP RZ 22-13) in accordance with the recommendation of Staff's Memorandum dated April 6, 2022, with the following conditions:

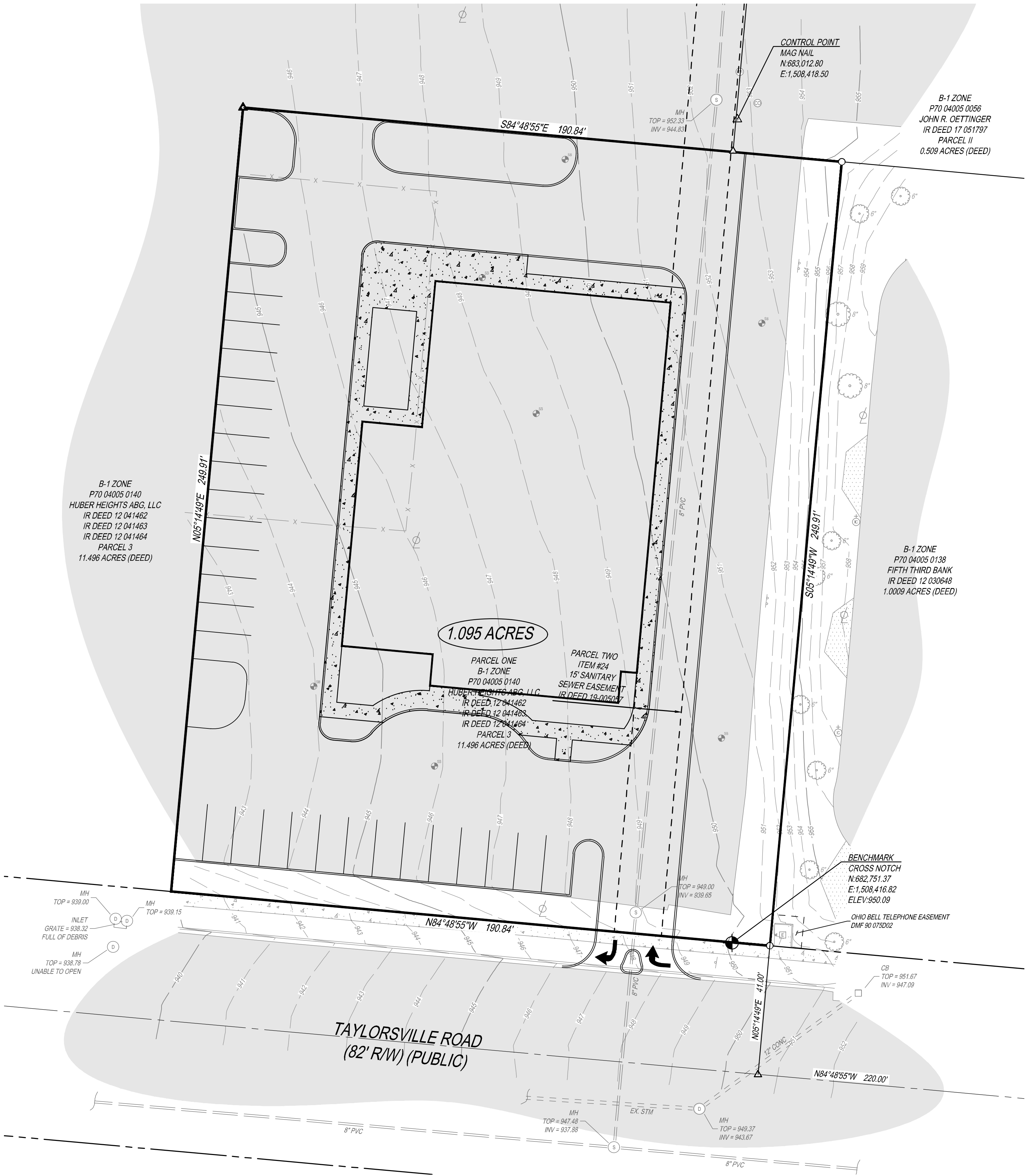
1. Street trees shall be placed every 40-feet along Taylorsville Road.
2. The applicant shall comply with Chapter 1181.18 Screening of Service Structures.
3. The applicant shall comply with Chapter 1181.21 Lighting Standards.
4. General Landscaping and Screening.
5. The applicant shall comply with Chapter 1182 Landscaping and Screening.
6. Applicant shall comply with all fire code requirements.


RZ BDP 22-13 – Decision Record

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried .

Terry Walton, Chair
Planning Commission

Date





THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com

6219 Centre Park Dr.
West Chester, OH 45069
513.779.7851

SEAL:

NO.	DATE	DESCRIPTION
-----	------	-------------

HUBER HEIGHTS

PROJECT NO: 210998.002

DATE: 2022-03-30

SCALE:

0 10 20 40

SHEET NAME:

LOCATION PLAN

SHEET NO:

C400

CHICAGO TITLE INSURANCE COMPANY
COMMITMENT FOR TITLE INSURANCE
COMMITMENT NO. CCH2105564NT
EFFECTIVE DATE: 01/06/2022
SCHEDULE B - PART I EXCEPTIONS

15. EASEMENT TO OHIO SUBURBAN WATER COMPANY, AN OHIO CORPORATION, FILED FOR RECORD JUNE 30, 1971, IN DEED MICROFICHE NO. 71-2888902, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT EASEMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
16. AGREEMENT BY AND BETWEEN GEORGE R. OBERER, GEORGE F. OBERER, PAUL FRYDMAN, R. STANLEY DYBVIC AND KM HUBER HEIGHTS ASSOCIATES, A MICHIGAN CO-PARTNERSHIP, FILED FOR RECORD DECEMBER 26, 1974, IN DEED MICROFICHE NO. 74-1082811, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT AGREEMENT PERTAINS TO SURVEYED PROPERTY. BLANKET IN NATURE - NOT PLOTTABLE)
17. EASEMENT TO THE OHIO SUBURBAN WATER CO., FILED FOR RECORD JANUARY 10, 1975, IN DEED MICROFICHE NO. 75-014803, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT EASEMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
18. EASEMENT TO THE OHIO SUBURBAN WATER COMPANY, FILED FOR RECORD MARCH 14, 1978, IN DEED MICROFICHE NO. 78-117A09, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT EASEMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
19. EASEMENT TO WAYNETOWNE ASSOCIATES, AN OHIO GENERAL PARTNERSHIP, FILED FOR RECORD DECEMBER 23, 1991, IN DEED MICROFICHE NO. 91-689C11, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT EASEMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
20. EASEMENT FOR SEWER PURPOSES TO THE CITY OF HUBER HEIGHTS, OHIO, FILED FOR RECORD JUNE 19, 1992, IN DEED MICROFICHE NO. 92-354C09, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT DOCUMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
21. EASEMENT FOR SEWER PURPOSES TO THE CITY OF HUBER HEIGHTS, OHIO, FILED FOR RECORD JUNE 19, 1992, IN DEED MICROFICHE NO. 92-354C12, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT EASEMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
22. EASEMENT FOR SEWER PURPOSES TO THE CITY OF HUBER HEIGHTS, OHIO, FILED FOR RECORD JUNE 19, 1992, IN DEED MICROFICHE NO. 92-354D03, OF THE MONTGOMERY COUNTY, OHIO RECORDS.
(SUBJECT EASEMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
23. ACCESS EASEMENT AGREEMENT BY AND BETWEEN DAVID F. DYBVIC, AS TRUSTEE OF THE MARTHA MEYER ADMINISTRATIVE TRUST, UAD DECEMBER 29, 2003 AS TO AN UNDIVIDED 1/4 INTEREST; JEFFREY ROSENBERG, THE HUSBAND OF MURIEL ROSENBERG AS TO AN UNDIVIDED 1/8 INTEREST; STEVEN ROSENBERG, THE HUSBAND OF JENNIFER ROSENBERG, AS TO AN UNDIVIDED 1/8 INTEREST; MURIEL LITT, A WIDOW, AS TO AN UNDIVIDED 1/8 INTEREST; AND MURIEL LITT AND KAREN LITT LIPES, SUCCESSOR TRUSTEES OF THE SOLOMON S. LITT LIVING TRUST, UAD DECEMBER 20, 1991, AS TO AN UNDIVIDED 1/3 INTEREST, AS TENANTS IN COMMON, AND FIFTH THIRD BANK, AN OHIO BANKING CORPORATION, FILED FOR RECORD MAY 15, 2012, IN FILE NO. 2012-00030682, OF THE MONTGOMERY COUNTY, OHIO RECORDS, AS TO EASEMENT PARCEL.]
(SUBJECT EASEMENT DOES NOT LIE ON, OVER, OR ACROSS SURVEYED SITE AND IS NOT PLOTTED)
24. TERMS AND CONDITIONS OF THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN HUBER HEIGHTS ABG, LLC, A MISSOURI LIMITED LIABILITY COMPANY AND MURIEL LITT, MURIEL LITT AND KAREN LITT LIPES, SUCCESSOR TRUSTEES TO SOLOMON S. LITT, TRUSTEE OF THE SOLOMON S. LITT DECLARATION OF LIVING TRUST DATED DECEMBER 20, 1991, JEFFREY ROSENBERG, STEVEN ROSENBERG AND DAVID DYBVIC, TRUSTEE OF THE MARTHA MEYER REVOCABLE TRUST UNDER AGREEMENT DATED DECEMBER 29, 2003, FILED FOR RECORD JULY 5, 2012, IN INSTRUMENT NO. 2012-00041467, OF THE MONTGOMERY COUNTY, OHIO RECORDS. MAINTENANCE COSTS ARE INCLUDED IN THIS EXCEPTION.
(SUBJECT DOCUMENT LIES ON, OVER, OR ACROSS SURVEYED SITE AND IS PLOTTED AND LABELED AS ITEM #24)

LEGAL DESCRIPTION

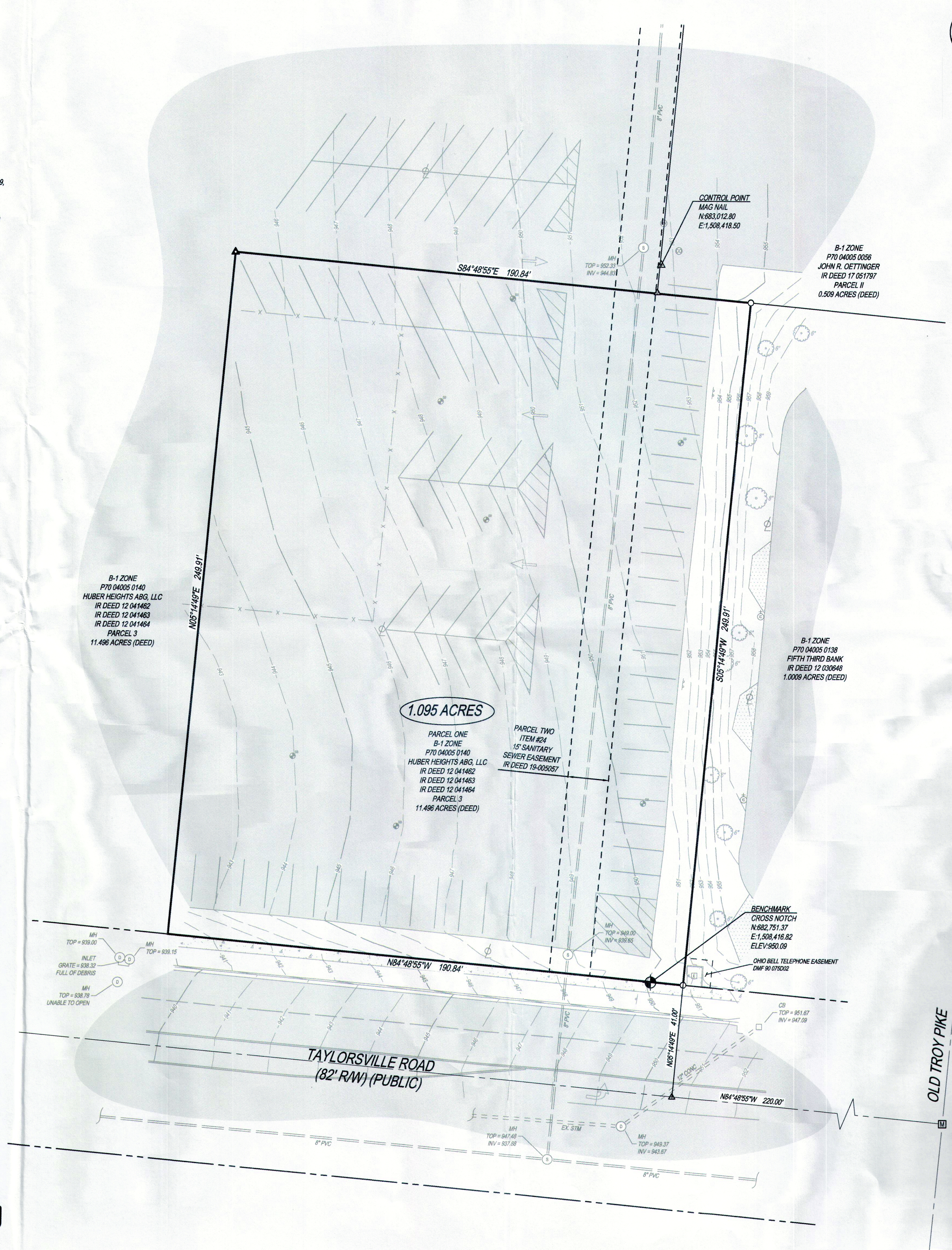
PARCEL ONE:

Situate in the Northwest quarter of Section 29, Township 2N, Range 8 MRs. City of Huber Heights, Montgomery County, Ohio and being a 1.095 acre tract of land conveyed to Huber Heights, ABG, LLC by deed recorded in IR Deed 12-041166 The deed records of said county and being more particularly described as follows:
Beginning at a monument box at the southeast corner of the northwest quarter of Section 29 said monument box is at the intersection of center lines of Old Troy Pike (State Route 202) and Taylorsville Road;
Thence, with the center line of said Taylorsville Road and the quarter section line of said Section 29 North eighty-four degrees forty-eight minutes fifty-five seconds (N84°48' 55"W) for two hundred twenty and 00/100 feet (220.00') to a mag nail found;
Thence, North five degrees fourteen minutes forty-nine seconds (N05°14'49"E) for forty-one and 00/100 feet (41.00') to an iron pin found in the north right of way line of said Taylorsville Road and being the TRUE POINT OF BEGINNING of the herein described tract;
Thence, from said true point in beginning with said north right away line North eighty-four degrees forty-eight minutes fifty-five seconds West (N84°48'55"W) for one hundred ninety and 84/100 feet (190.84') to a capped iron pin set;
Thence, with a new division line North five degrees fourteen minutes forty-nine seconds East (N05°14' 49"E) for two hundred forty-nine and 91/100 feet (249.91') to a mag nail set;
Thence, with a new division line and a portion of the southerly line of land conveyed to John R. Oettinger by IR Deed 17-051797 of the deed records of said county South eighty-four degrees forty eight minutes fifty-five seconds (S84°48'55"E) for one hundred ninety and 84/100 feet (190.84') to an iron pin found at the northwest corner of land conveyed to Fifth Third Bank by IR Deed 12-030648 of the deed records of said county;
Thence, with the west line of said Fifth Third Bank land South five degrees fourteen minutes forty nine seconds West (S05°14'49" W) for two hundred forty-nine and 91/100 feet (249.91') to the TRUE POINT OF BEGINNING containing one and 95/100 (1.095) acres more or less subject however to all covenants, conditions, restrictions, reservations, and easements contained on any instrument of record pertaining to the above described tract based on a survey completed March 22, 2022 by SESCO Group under the direction of Jeffrey T. Jones PS #6686

PARCEL TWO (Easement):

Together with Non-Exclusive Ingress and Egress Easements as set forth in the Reciprocal Easement Agreement and Restrictive Covenants between Huber Heights ABG, LLC, a Missouri limited liability company and Muriel Litt, Muriel Litt and Karen Litt Lipes, Successor Trustees to Solomon S. Litt, Trustee of The Solomon S. Litt Declaration of Living Trust dated December 20, 1991, Jeffrey Rosenberg, Steven Rosenberg and David Dybvic, Trustee of The Martha Meyer Revocable Trust under Agreement dated December 29, 2003 recorded at Instrument No. 2012-00041467, and as amended by Amendment to Reciprocal Easement Agreement and Restrictive Covenants filed for record October 20, 2016, in Instrument No. 2016-00060688, and as amended by Second Amended and Restated Reciprocal Easement Agreement and Restrictive Covenants filed for record January 29, 2019, in Instrument No. 2019-00005057, of the Montgomery County, Ohio Records.

NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2784 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



VICINITY MAP N.T.S

LEGEND

- 5/8" IRON PIN FOUND
- ▲ MAG NAIL FOUND
- CATCH BASIN
- INLET
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ CLEAN OUT
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ MONITORING WELL
- ⊙ SOIL BORING
- ⊙ SIGN (SINGLE POST)
- ⊙ SIGN (DOUBLE POST)
- ⊙ DECIDUOUS TREE
- FENCE LINE
- SANITARY SEWER
- STORM SEWER
- ASPHALT
- CONCRETE
- LANDSCAPING

NOTES:

- SOURCE DOCUMENTS AS NOTED.
- OCCUPATION IN GENERAL FITS SURVEY.
- MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- BEARINGS ARE BASED ON A SURVEY PERFORMED BY SESCO GROUP DATED 3-22-22 AND RECORDED IN VOL. ____ PAGE ____
- VERTICAL DATUM IS BASED ON NAVD 88.
- SITE BENCHMARK AS SHOWN HEREON.
- SUBJECT SITE IS LOCATED IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD, PER A GRAPHICAL INTERPRETATION OF FEMA'S FLOOD INSURANCE RATE MAP NO. 391130C157E WITH AN EFFECTIVE DATE OF 01/06/2005.
- SUBJECT SITE CONTAINS 71 PARKING SPACES OF WHICH 0 ARE DESIGNATED HANDICAP.
- AT THE TIME OF THE FIELD SURVEY, THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- AT THE TIME OF THE FIELD SURVEY, THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES.
- SUBJECT SITE HAS FRONTAGE ALONG TAYLORSVILLE ROAD.

SURVEYOR'S CERTIFICATION

TO: JSR LAND COMPANY, LLC, HUBER HEIGHTS ABG, LLC, A MISSOURI LIMITED LIABILITY COMPANY, CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 7(a), 7(b), 7(c), 8, 9, 11(a), 13, 16 AND 17 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 02/28/2022

DATE OF PLAT OR MAP 03/15/2022

Randy C. Wolfe
RANDY C. WOLFE
OHIO PROFESSIONAL SURVEYOR NO. 8033

03/28/2022
DATE



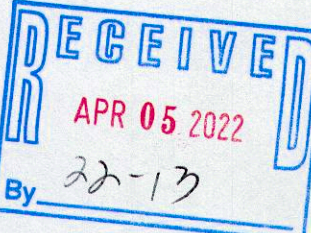
CIVIL ENGINEERING
SURVEYING
LANDSCAPE
ARCHITECTURE

www.kleingers.com
6219 Centre Park Dr.
West Chester, OH 45069
513.779.7851

SEAL:



NO.	DATE	DESCRIPTION
1	03/15/22	ALTA - KLJ



**ALTA/NSPS LAND
TITLE SURVEY
1.095 ACRES**
SECTION 29, TOWN 2, RANGE 8, MRs
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO

PROJECT NO: 210998VSD001
DATE: 03/15/2022

SCALE: 1" = 20'
0 10 20 40

SHEET NAME:

**7611 OLD TROY
PIKE**

SHEET NO.

1 OF 1

H-HB Medical Building

Taylorville & Old Troy Pike, Huber Heights



PLANIT

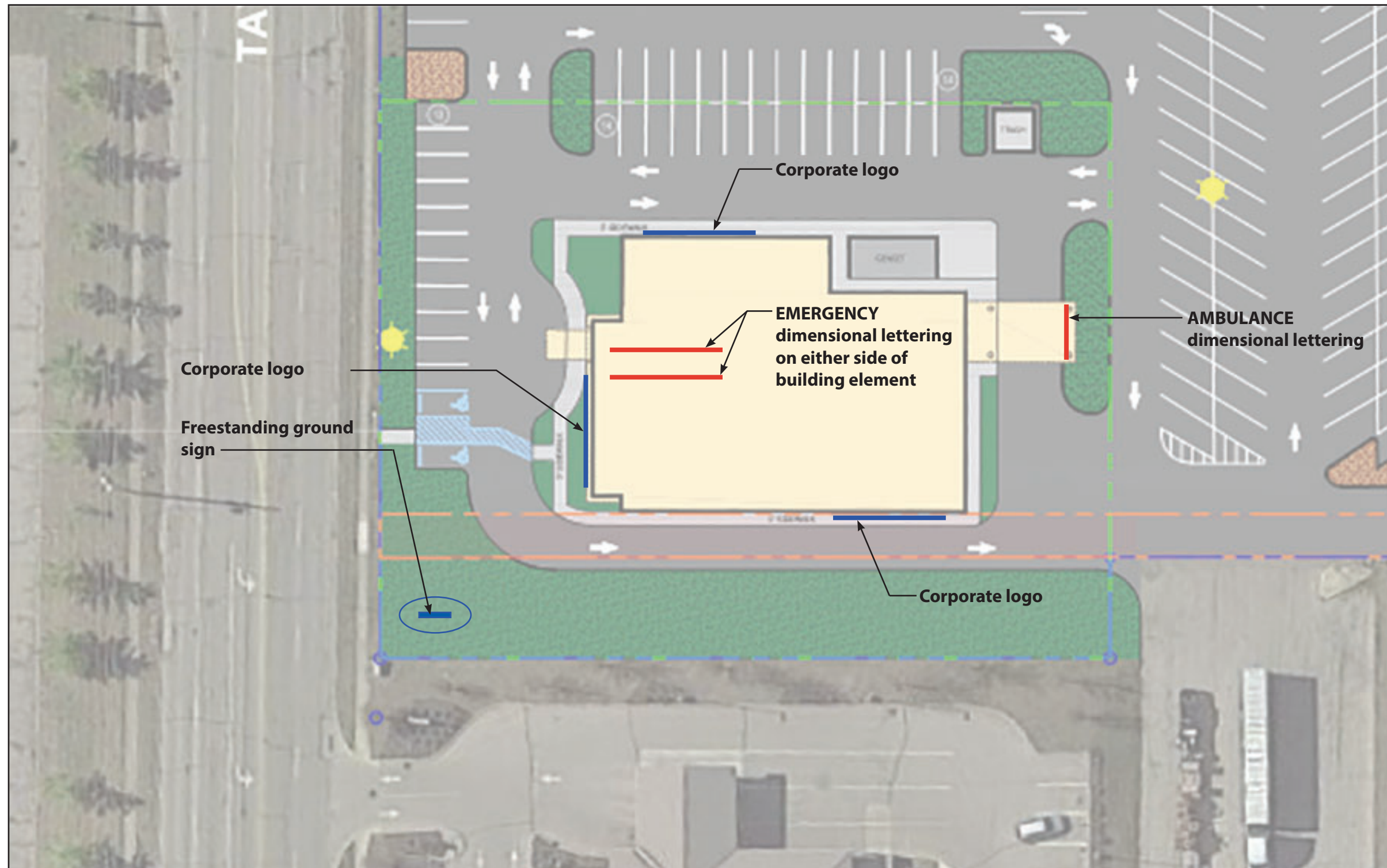
500 W Wilson Bridge Road Suite 314 Worthington OH 43085

All drawings that appear herein express design intent only and are not intended for actual fabrication. The signage Contractor is responsible for any required engineering and production of shop drawings as described in the specifications.

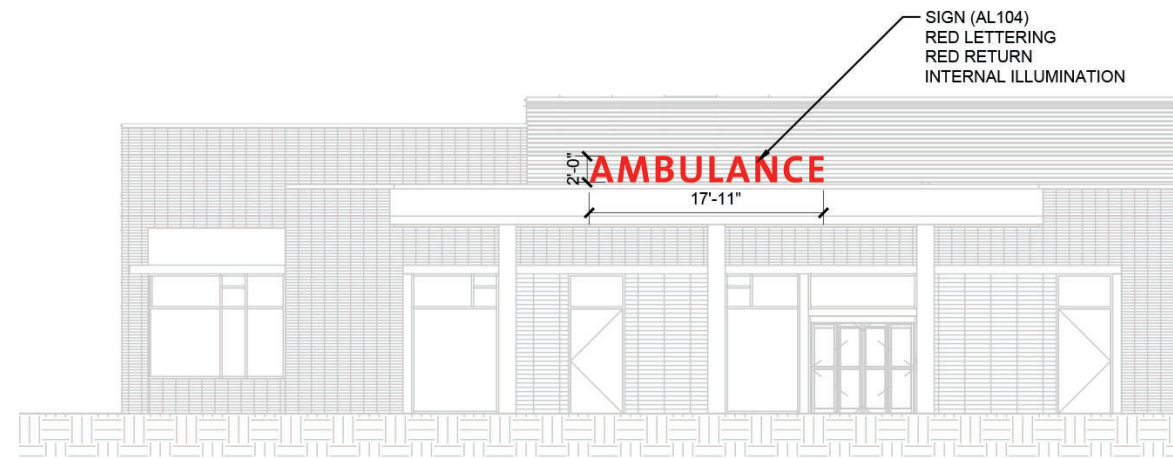
March 25, 2022

1

Exterior Signage Site Plan



Exterior Signage Summary



Example AMBULANCE signage

35 SF

Cap Height 2'-0"

Font: The Sans B7 Bold

Variance required
Signage to be considered to be
for public health emergency purposes



Example EMERGENCY signage (QTY 2)

Would be installed on both sides of building element

75 SF x 2 = 150 SF

Cap Height 3'-0"

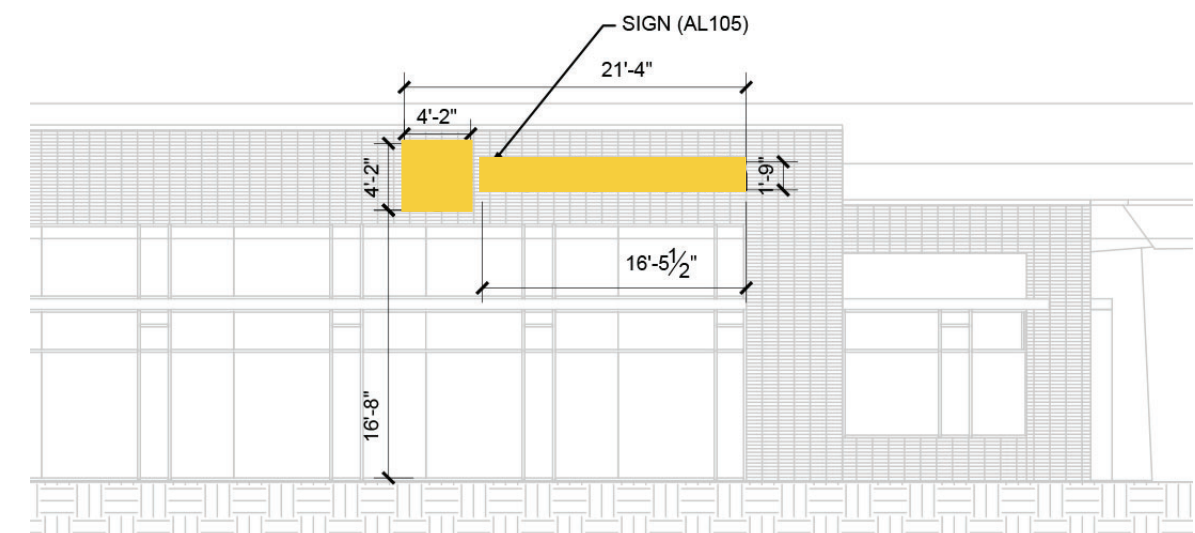
Font: The Sans B7 Bold

Variance required
Signage to be considered to be
for public health emergency purposes

1189.07 Signs permitted for businesses

Single wall signs not to exceed 75 SF.

For structures with more than one visible side, a maximum of four wall signs could be allowed, providing that the total square footage of all the signs does not exceed 150 SF.



Example placement for corporate logo signage (QTY 3)

50 SF x 3 = 150 SF

Logo 4'-2" x 4'-2"

Cap Height 1'-9"

Freestanding Ground Sign

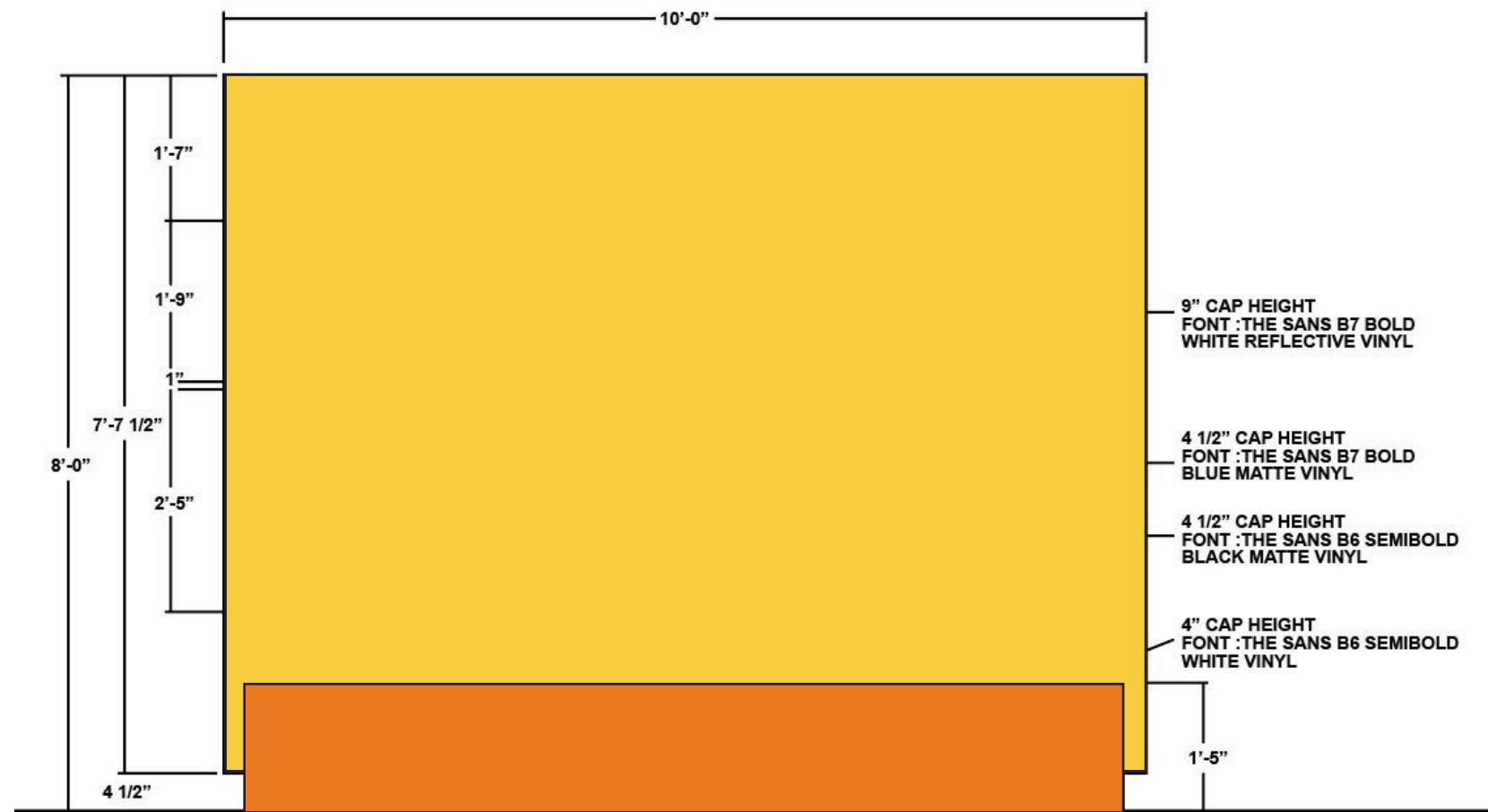
1189.07 Signs permitted for businesses

Only one ground sign permitted on a premises.

The ground sign shall not exceed 75 SF in total sign area.

Ground signs shall not exceed 6' in height.

Signs shall be setback a minimum of 15' from the right-of-way.



Example Freestanding ground sign

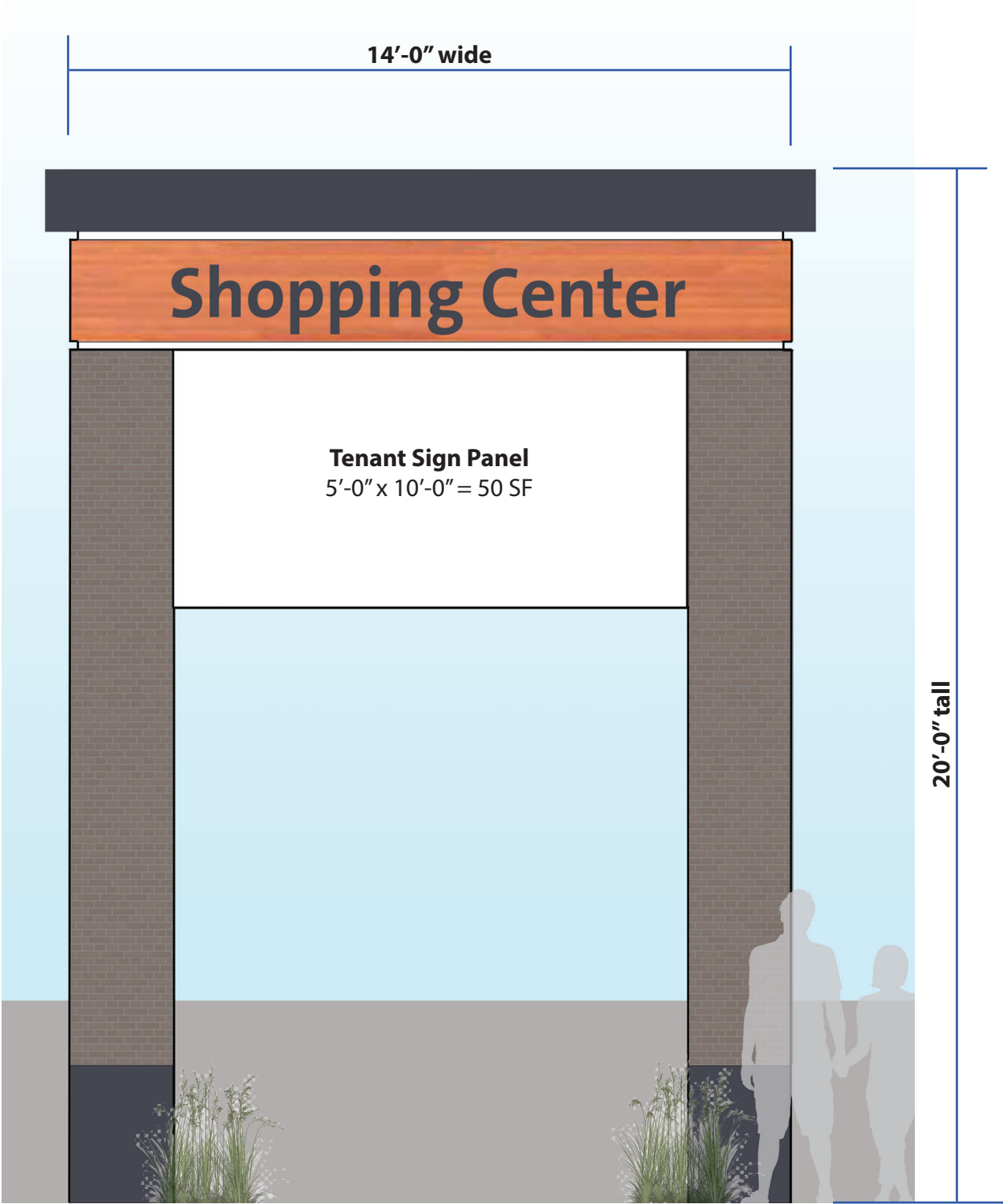
Address and building name TBD

Variance required for height to be 8' (not 6')

Variance required for sign area to be 80 SF (not 75 SF)



Proposed Pylon Sign



1189.07 Signs permitted for businesses
Only one ground sign permitted on a premises.
The ground sign shall not exceed 75 SF in total sign area.
Ground signs shall not exceed 6' in height.
Signs shall be setback a minimum of 15' from the right-of-way.

Variance required
Proposed Pylon Sign
Address and building name TBD



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Medical Building		
Occupancy Address:	7611 Taylorsville Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	N/A	HH P&D:	
MCBR MEC:		HHFD Plan:	22-053
MCBR ELE:		HHFD Box:	14
REVIEWER:	Susong	DATE:	3/29/2022

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

Plan submittal is approved as shown on drawing, rezoning only. Proposed use of land has not been indicated on this drawing. Additional requirements regarding fire department access and fire hydrants may be forthcoming during development.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

Hoskins, GERALYN

From: Bergman, Russ
Sent: Friday, April 1, 2022 11:09 AM
To: Hoskins, GERALYN
Subject: FW: Huber Heights Medical Facility

FYI – Medical Building Comments

Russ Bergman, P.E.
City of Huber Heights
City Engineer
(937) 237-5816
rbergman@hhoh.org

From: Bergman, Russ
Sent: Thursday, March 31, 2022 8:12 AM
To: aaron.sorrell@cpi-planning.com
Subject: RE: Huber Heights Medical Facility

Aaron,

I do not like right-in/right outs but since this is an emergency room I think that it needs to be allowed. I would like them to add a detail of the concrete island on their plans showing it to be as large as possible. Also a "No Left Turn" sign needs to be placed in the island and delineators shall be placed on top of the curb at each of the 3 corners. This is similar to the island that is in front of Ray's Drive Thru that is about 1300' west of this site on Taylorsville Road. You might let them know that they are constructing this building right on the edge of a 15' sanitary easement. The building is outside the easement, so we can't make them move the building. The 10' deep sanitary line is shown 7.5' from the building. This is very close to the pipe. If they ever have to excavate that sanitary pipe it could jeopardize the structural integrity of the building. I don't think that we should require it, but I would suggest that they have a structural engineer check it.

Russ Bergman, P.E.
City of Huber Heights
City Engineer
(937) 237-5816
rbergman@hhoh.org

From: aaron.sorrell@cpi-planning.com <aaron.sorrell@cpi-planning.com>
Sent: Wednesday, March 30, 2022 3:57 PM
To: Bergman, Russ <RBergman@hhoh.org>
Subject: FW: Huber Heights Medical Facility

CAUTION EXTERNAL EMAIL: This message originated from a non Huber Heights email server. DO NOT CLICK ANY LINKS or OPEN ANY ATTACHMENTS unless you have contacted the sender to verify its legitimacy or confirmed you were expecting it. Contact the IT Department if you need assistance.

Hi Russ,

Do you have any issues with the location of the proposed right-in / right-out? This is the proposed medical building in the Rural King shopping center.

Aaron

From: Brian Dean <bdean@hammes.com>
Sent: Wednesday, March 30, 2022 3:31 PM
To: aaron.sorrell@cpi-planning.com
Cc: Dwight Young <DYoung@hammes.com>; Jerry Royce <jerry.royce@t3devpartners.com>
Subject: Huber Heights Medical Facility

Hello Aaron,

Attached are a few documents for your review.

- Updated Site Survey. This was modified slightly from the version you saw in our application.
- Proposed "Right-In, Right-Out" into our site off of Taylorsville Road.
- Updated signage standards that include a pylon sign that we would like to discuss. We understand this would require a variance so any feedback you have on the concept would be appreciated.

Please let me know if you have any questions.

Thanks!

Hammes

Brian Dean

Vice President, Hammes Healthcare

614.869.7732 Mobile

bdean@hammes.com | hammes.com

Please consider the environment before printing.

Unless specifically stated above, electronic signature of this e-mail does not create any binding agreement with or obligation by Hammes Company. Further, Hammes Company accepts no liability for the content of this e-mail, or for the consequences of any actions taken on the basis of the information provided in it, unless that content or information is subsequently confirmed by Hammes Company in a separate written document.

AI-8315

7. B.

Planning Commission

Meeting Date: 04/12/2022

Major Change and Detailed Development Plan

Information

Agenda Title

MAJOR CHANGE TO THE BASIC DEVELOPMENT PLAN AND APPROVAL OF A DETAILED DEVELOPMENT PLAN - The applicant, PARVEEN WADHWA, is requesting approval of a Major Change to the Basic Development Plan and Approval of a Detailed Development Plan for a Commercial Lot (MJC 22-14).

Purpose and Background

Attachments

Staff Report

Decision Record

Original Approved BDP

Drawings

Traffic Impact Study

Fire Assessment

Engineering Comments

Memorandum

Staff Report for Meeting of April 12, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner
Community Planning Insights

Date: April 6, 2022

Subject: MJC 22-14 Major Change to Basic Development Plan and Approval of Detailed Development Plan at 6025 Taylorsville Rd.

Application dated March 16, 2022

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Parveen Wadhwa – Applicant & Owner

DEVELOPMENT NAME:

ADDRESS/LOCATION: 6025 Taylorsville Road

ZONING/ACREAGE: Planned Commercial / 1.46 acres

EXISTING LAND USE: Vacant

**ZONING
ADJACENT LAND:** R-4 / R-6

REQUEST: The applicant requests a major change to a basic development plan and approval of a detailed development plan for a 7,200 SF retail / commercial building with drive-through

ORIGINAL APPROVAL: ZC 21-42: November 9, 2021

APPLICABLE HHCC: Chapter 1171, 1176

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

On November 9, 20 21 the Planning Commission approved a rezoning and basic development plan for a 7,200 square foot multi-tenant building housing a convenience store and laundromat. The applicant is requesting a major change to the detailed development plan to add a service bay and increase the size of the building to 7,680 square feet.

Applicable Zoning Regulations (Only relevant sections are cited below)

1171.09 Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.*

1171.11 Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) Major Changes.* Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.
- (b) Minor Changes.* The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.

Conformance with Zoning Regulations

Basic Development Plan Requirements:

The Planning Commission approved the basic development plan with the following development standards:

Setbacks:

- Front: 75' building and 25' parking setback
- Side: 50' building setback when adjoining an 'R' district
15' landscaping buffer
- Rear: 32' building setback and 19' landscape buffer

Parking:

- 1 space for 200 sq. ft. for the first 2,000 sq ft. then 1 space for every 250 sq. ft.
- Required: 31 spaces / 2 handicap spaces
- Provided: 31 spaces / 2 handicap spaces

Screening:

- 6' tall screening alongside and rear yards abutting a residential district.

Detailed Development Plan Proposal:

The detailed development plan proposal meets all of the basic development plan standards approved by the planning commission. Additionally, the detailed development plan generally meets or exceeds the following zoning requirements:

1181 General Provisions:

Street Trees: The detailed development plan exceeds the one tree per 40 feet of frontage requirement. Trees are spaced approximately every 30 feet.

Utility Screening: All utilities and service structures are appropriately screened per the zoning code.

Lighting Standards: The lighting plan indicates light fixtures are to be mounted approximately 23 feet high (25 feet is the maximum permitted). Light trespass does not exceed the 0.5 footcandle maximum at the property lines abutting the residential areas.

Commercial Building Design Standards: While not technically required in the Planned Commercial District, the building is clad in all brick, with the exception of doors, windows and sign areas.

1182 Landscaping and Screening:

The site plan and lot coverage is consistent with the basic development plan approved by Planning Commission. Screening is provided through a significant amount of dense evergreen plantings along the side and rear yards abutting the residential areas.

Additionally, the detailed development plan meets all parking lot landscaping requirements outlined in 1182.04.

1185 Parking and Loading:

The detailed development plan illustrates the 31 spaces required in the basic development plan. Additionally, all spaces are designed appropriately.

1189 Signage:

The detailed development plan indicates a signage plan will be submitted separately. Therefore, staff recommends that conformance with Chapter 1189 be a condition of approval of the major change to the basic development plan and the detailed development plan.

Standards for Approval**1171.11 Changes in the basic and detailed development plans.**

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) *Major Changes.* Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.
- (b) *Minor Changes.* The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.

1171.09 Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) *The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) *After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be*

based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.

Staff Analysis

The applicant seeks a major change to the basic development plan to broaden the approved uses to commercial, retail and office uses. Staff feels the broader spectrum of permitted uses (retail, commercial, office) are appropriate for the building design that was approved by through the rezoning and basic development plan review process.

Additionally, the applicant is requesting approval of the detailed development plan. The detailed development plan meets all requirements outlined in the basic development plan. Additionally, the detailed development plan meets or exceeds all other relevant sections of the zoning code.

Additional Comments:

Fire: See Attached.

City Engineer:

- Entrances to the site to be constructed according to the City's Commercial Drive Detail. The entrance from Taylorsville Road is to be 36' wide.
- Connect all building downspouts to catch basins
- Show the existing 10' easement on the property to the north (behind Right-of-Way) for water service.
- Sanitary service connection on property to the east (Hilltop Condominiums) requires a new easement.
- Provide location and detail (City Standard) for the 2" water meter pit. The pit shall be located behind the sidewalk within the building lot (not inside the building).
- Maintain existing sidewalk across the drive approach areas until the new drive approach is constructed.

Recommendation

Staff feels the general standards for approval are met and recommends approval of the major change basic development plan and approval of the detailed development plan subject to review and approval of the City Engineer.

Planning Commission Action

The planning commission may approve, approve with conditions or deny the major change to the basic development plan.

The planning commission may approve or deny the detailed development plan.



Planning Commission Decision Record

WHEREAS, on March 16, 2022, the applicant, Parveen Wadhwa, requested approval of a Major Change to the Basic Development Plan and approval of a Detailed Development Plan for a 7,200 square foot retail/commercial building at property located at 6025 Taylorsville Road, Parcel Number P70-04005-0006 of the Montgomery County, Ohio Records (Case MJC 22-14); and

WHEREAS, on April 12, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

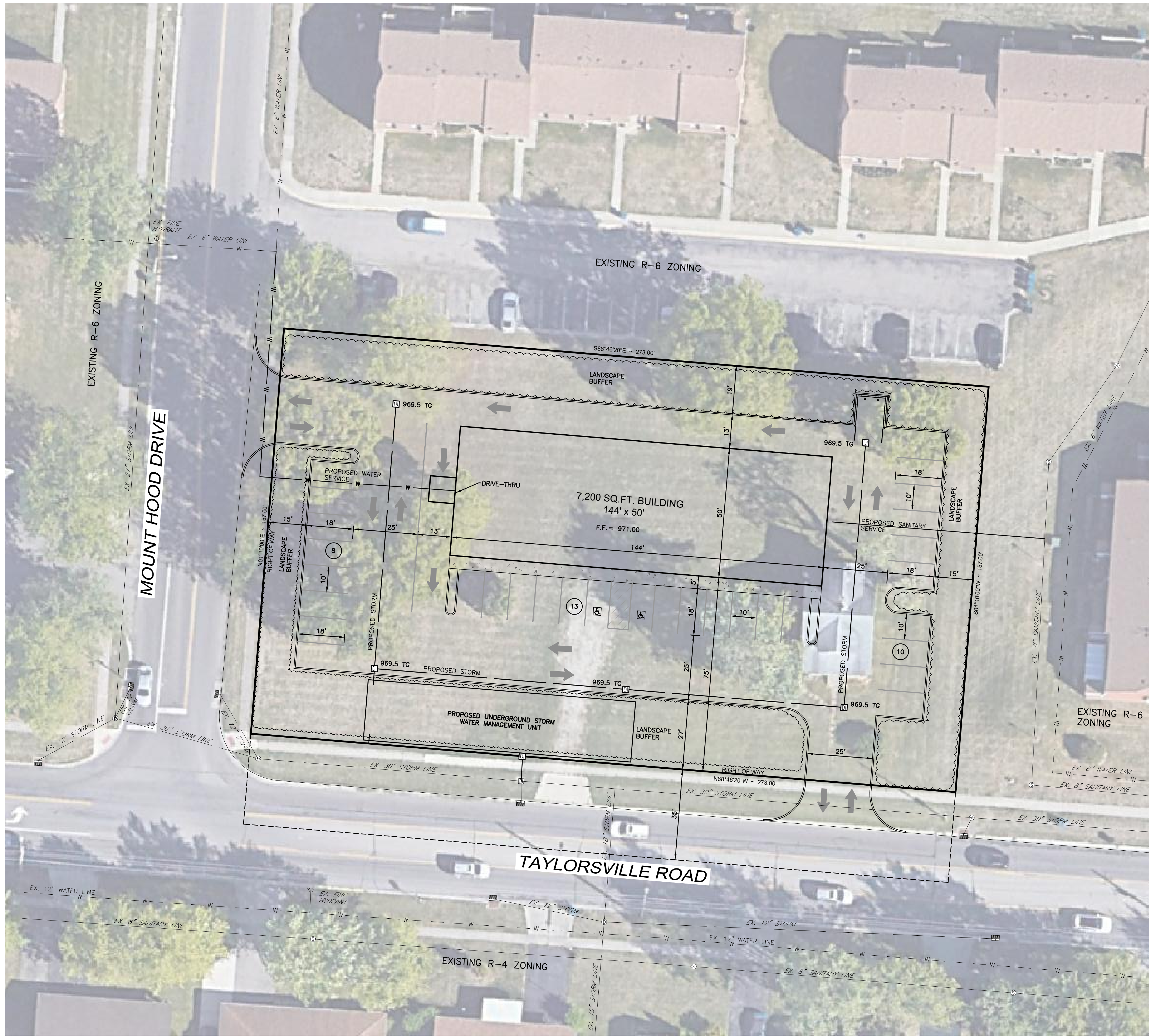
moved to recommend approval of the request by the applicant, Parveen Wadhwa, for the approval of a Major Change to the Basic Development Plan and approval of a Detailed Development Plan for a 7,200 square foot retail/commercial building at property located at 6025 Taylorsville Road, Parcel Number P70-04005-0006 of the Montgomery County, Ohio Records (Case MJC DDP 22-14) in accordance with the recommendation of Staff's Memorandum dated April 6, 2022, with the following conditions:

1. Permitted uses shall be Commercial, Retail and Office uses.
2. Applicant shall comply with all Engineering requirements.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried .

Terry Walton, Chair
Planning Commission

Date



EXISTING ZONING: R-4 RESIDENTIAL
PROPOSED ZONING: PLANNED COMMERCIAL PUD
PROPOSED USE: CONVENIENCE STORE AND LAUNDRY MAT

PROPOSED ZONING REQUIREMENTS

- Setbacks:
- Front: 75' building and 25' parking setback when across the street from an 'R' district.
 - Side: 50' building setback when adjoining an 'R' district.
15' landscape buffer
 - Rear: 32' building with 19' landscaped buffer
- Parking:
- 1 space per 200 sq. ft. for first 2,000 sq. ft. then 1 space for every 250 sq. ft
 - Required: 31 spaces / 2 handicap spaces
 - Provided: 31 spaces / 2 handicap spaces
- Screening:
- 6' tall screening required along side and rear yards abutting a residential district

BASIC DEVELOPMENT PLAN FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE
6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: HB Proj: 21-285
Draw: HB Dwg: 21.285.dwg
Check: KZ Tab: C2.0-SP

Scale: 1" = 20'

Date: 10.14.2021

Sheet:

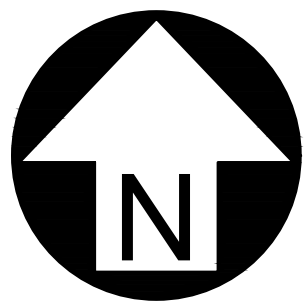
BASIC
DEVELOPMENT PLAN

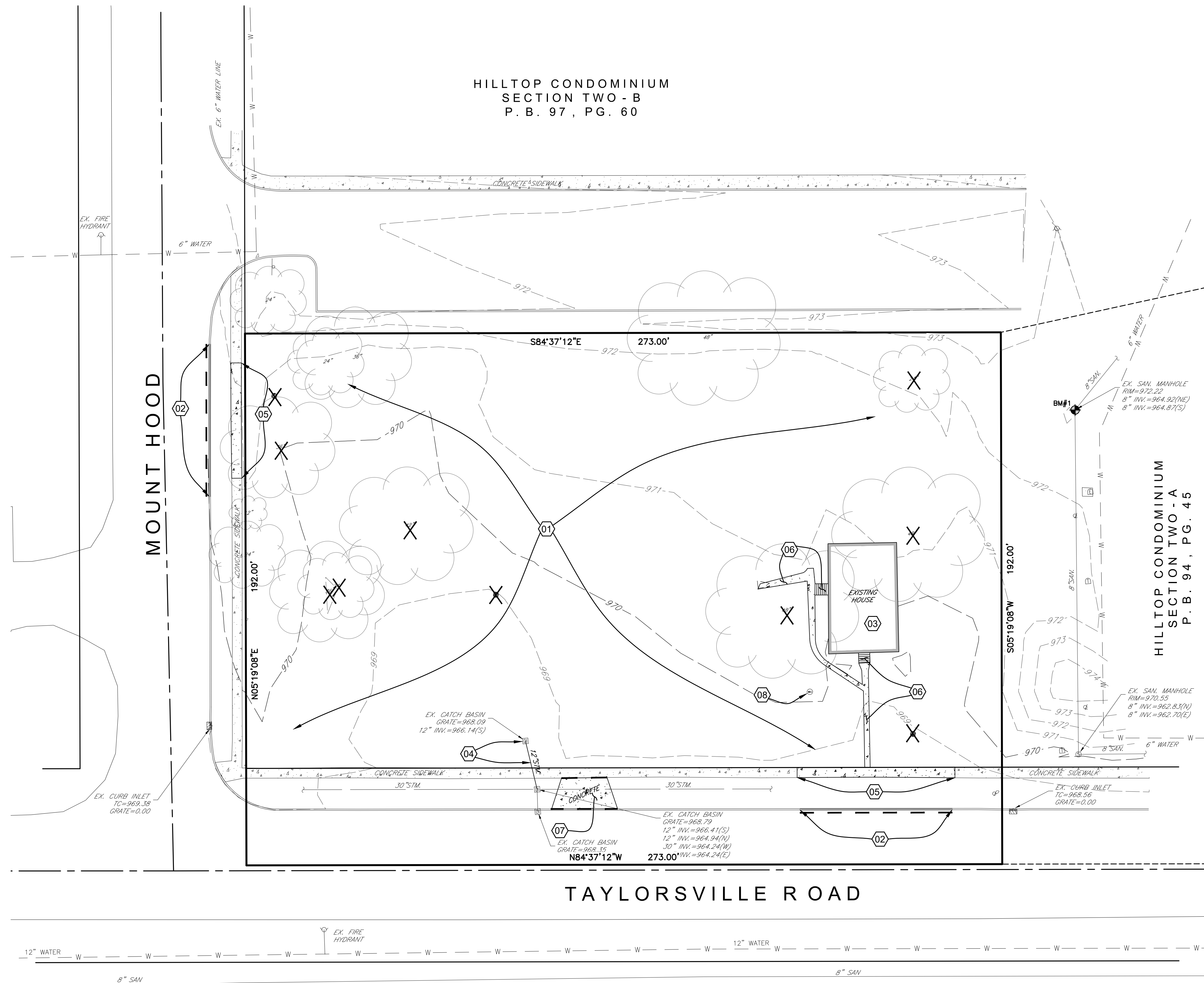
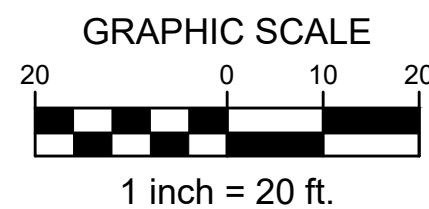
Sheet No.:

C-2.0



Know what's below.
Call before you dig.

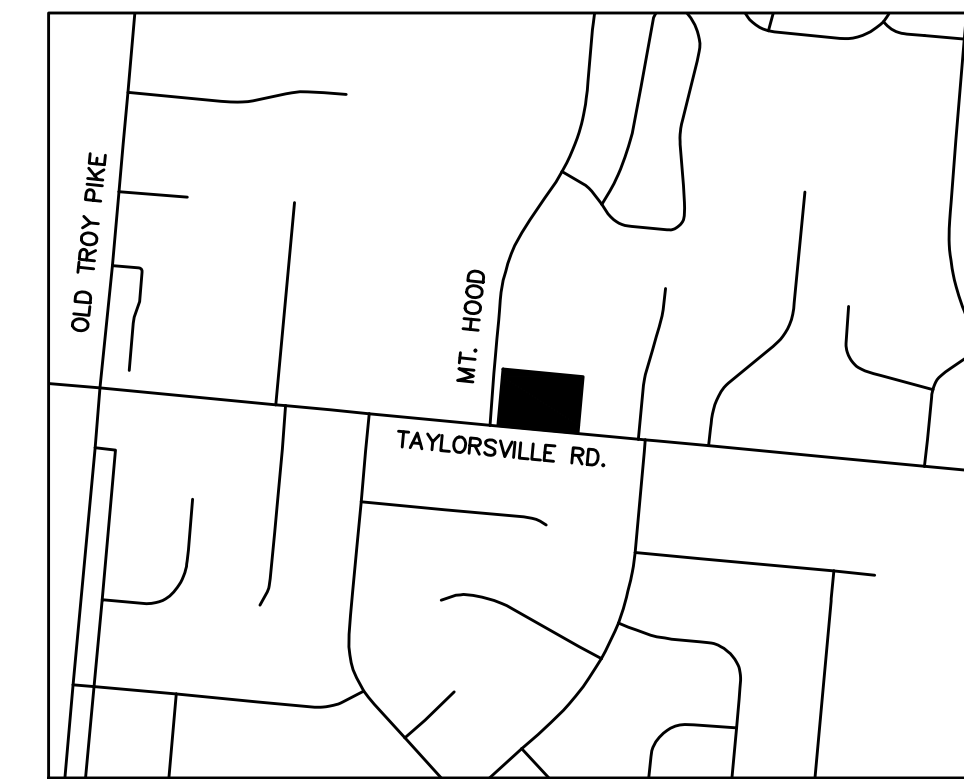




ISSUE LOG	
Description	Date
DDP Set Submittal	03-18-2

EXISTING CONDITIONS LEGEND

●	IRON PIN FOUND	Ⓢ	SANITARY MANHOLE
⊕	MAGNAL FOUND	⌚	CURB INLET
▲	IRON PIPE FOUND	⌚	DIP INLET
■	CONC. MONUMENT FOUND	Ⓢ	STORM MANHOLE
Ⓔ	ELECTRIC CABINET	Ⓢ	FIRE HYDRANT
Ⓢ	POWER POLE	Ⓢ	WATER MAIN VALVE
Ⓢ	TRAFFIC SIGNAL POLE	Ⓢ	WATER MANHOLE
Ⓢ	LIGHT POLE	<	FIRE DEPT. CONNECTION
Ⓢ	TELEPHONE MANHOLE	●	WELL
Ⓢ	TRAFFIC CONTROL BOX	●	BOLLARD
Ⓢ	CROSSWALK SIGNAL POLE	—○—	SIGN
Ⓢ	LAMPHOLE	☀	TREE W/SIZE
		☀	EVERGREEN TREE
— G —	EX. GAS MAIN		
— W —	EX. SANITARY SEWER		
— T —	EX. WATER MAIN		
— E —	EX. STORM SEWER		
— OHE —	EX. UNDERGROUND ELECTRIC LINE		
— T —	EX. OVERHEAD ELECTRIC LINE		
— — — — —	EX. TELEPHONE LINE		
— — — — —	EX. CONTOUR LINE		
— — — — —	SUBJECT PROPERTY LINE		
— — — — —	ADJACENT PROPERTY LINE		



VICINITY MAP
Not to Scale

1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
2. All items noted to be removed shall be done as part of the contract for general construction.
3. Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
5. The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
6. For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
7. The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
8. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
9. Backfill excavations resulting from demolition work to meet the requirements for fill outlined in the Geotechnical / Soils Report.

- 01 REMOVE TOPSOIL, GRASS, TREES, SHRUBS, AND ANY OTHER UNSUITABLE MATERIALS IN PROJECT AREA AND PREPARE SITE.

X REMOVE TREE/BUSH

- 02 REMOVE EXISTING CURB AND GUTTER AND SAWCUT PAVEMENT
FOR CLEAN EDGE

— — — — SAWCUT LINE

- 03 REMOVE EXISTING HOUSE
- 04 REMOVE EXISTING CATCH BASIN AND STORM SEWER
- 05 REMOVE EXISTING CONCRETE SIDEWALK
- 06 REMOVE EXISTING CONCRETE WALK AND STAIRS
- 07 REMOVE EXISTING CONCRETE DRIVEWAY
- 08 REMOVE EXISTING WELL PER OEPA REQUIREMENTS



Know what's below.
Call before you dig.

BM#1	Description: Existing Sanitary Manhole Rim Elevation: 972.22
------	---

[illegible]

**SITE DEVELOPMENT PLANS FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE**

6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0060 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: HB	Proj: 21-285
Draw: HB	Dwg: 21.285.dwg
Check: KZ	Tab: C1.0-EC

Scale: 1" = 20'

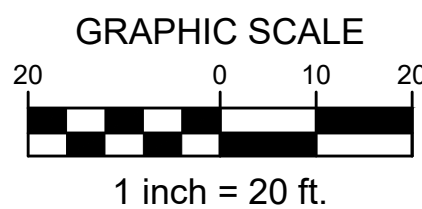
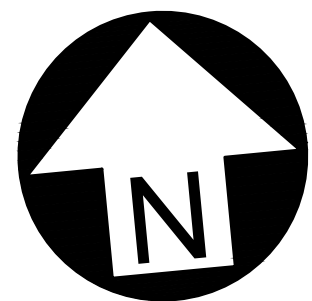
03.18.2022

Sheet:

EXISTING CONDITIONS & DEMOLITION PLAN

Sheet No.:

C-1.0



EXISTING R-6 ZONING

MOUNT HOOD

HILLTOP CONDOMINIUM
SECTION TWO - B
P. B. 97 , PG. 60

EXISTING R-6 ZONING

TAYLORSVILLE ROAD

EXISTING R-4 ZONING

HILLTOP CONDOMINIUM
SECTION TWO - A
P. B. 94 , PG. 45

EXISTING R-6
ZONING

GENERAL SITE NOTES

- Building dimensions shown on the Civil Engineering Plans are for reference purposes only.
- All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All dimensions to the building are referenced to the outside face of the structure's facade.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
- All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
- All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
- Contractor shall sawcut existing pavement and concrete to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
 - All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:
 - Curbing: 10'-0" (max) spacing.
 - Sidewalks: 5'-0" (max) spacing.
 - Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

SITE KEYNOTES

- 01 HEAVY DUTY ASPHALT PAVEMENT
- PER DETAIL / SHEET C5.0
- 02 STANDARD DUTY ASPHALT PAVEMENT
- PER DETAIL / SHEET C5.0
- 03 CONCRETE BARRIER CURB
- PER DETAIL / SHEET C5.0
- 04 CONCRETE CURB END TAPER
- PER DETAIL / SHEET C5.0
- 05 CONCRETE SIDEWALK WITH INTEGRAL CURB
- PER DETAIL / SHEET C5.0
- 06 ADA ACCESSIBLE RAMP
- PER DETAIL / SHEET C5.0
- 07 PARKING STRIPE / HATCH
- 4" WIDE PAINTED STRIPES. HATCHING TO BE AT 45° AND 2'-0" O.C.
- STRIPING ON ASPHALT PAVEMENT TO BE PAINTED WHITE.
- 08 ADA PARKING SYMBOL
- PER DETAIL / SHEET C5.0
- 09 ADA PARKING SIGNAGE
- PER DETAIL / SHEET C5.0
- 10 CONCRETE WHEEL STOP
- PER DETAIL / SHEET C5.0
- 11 TRASH ENCLOSURE ON CONCRETE PAD
- SEE ARCHITECTURAL PLANS

SITE AND PAVEMENT LEGEND

- # NUMBER OF PARKING SPACES
- ADA PARKING SYMBOL
- CONCRETE WHEEL STOP
- DIRECTION OF TRAVEL (TWO WAY)
- DIRECTION OF TRAVEL (ONE WAY)
- CONCRETE
- HEAVY-TRAFFIC PAVEMENT
- LIGHT-TRAFFIC PAVEMENT

EXISTING ZONING: R-4 RESIDENTIAL
PROPOSED ZONING: PLANNED COMMERCIAL PUD
PROPOSED USE: CONVENIENCE STORE AND RETAIL SPACE

PARKING SPACES TABLE

-31 TOTAL PARKING SPACES
-2 SPACES ARE ADA ACCESSIBLE (MINIMUM REQUIRED)

SITE BENCHMARKS

BM#1 Description: Existing Sanitary Manhole
Rim Elevation: 972.22



Know what's below.
Call before you dig.

- PRELIMINARY PLANS -
NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLANS FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE

6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: HB Proj: 21-285
Draw: HB Dwg: 21.285.dwg
Check: KZ Tab: C2.0-SP
Scale: 1" = 20'

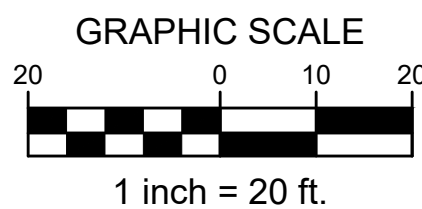
Date: 03.18.2022

Sheet:

SITE PLAN

Sheet No.:

C-2.0



EXISTING R-6 ZONING

MOUNT HOOD

EXISTING R-6 ZONING

7,200 SQ.FT. BUILDING
144' x 50'
F.F. = 971.50

LTOP CONDOMINIUM
 SECTION TWO - A
 P. B. 94, PG. 45

EXISTING R-6
ZONING

TAYLORSVILLE ROAD

EXISTING R-4 ZONING



GRADING KEYNOTES

01 ADA ACCESSIBLE RAMP
- PER DETAIL / SHEET C5.0

GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
 - Ramps - 1:12 (8.3%) max.
 - Routes - 1:20 (5.0%) max.
 - Parking - 1:50 (2.0%) max.
 - Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust topsoil/slabs/grates of all existing and proposed cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreeding and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.
17. Proposed spot elevations are provided in a truncated form to save space, add 900' to each spot elevation to convert the elevation to NAVD88 datum.
18. Refer to the Landscape Plans for finish material specifications (topsoil, seed, sod, mulch, etc.) in all landscape and open space areas.

GRADING LEGEND

INVERT	INVERT
TC	TOP-OF-CURB
GR	GRADE/RIM ELEVATION
	PROP. SHEET FLOW
+00.00	PROP. SPOT ELEVATION
<i>+00.00</i>	EXIST. SPOT ELEVATION
———— 970 ————	PROP. CONTOUR
— — — 969 — — —	EXISTING CONTOUR
	PROP. CATCH BASIN
.....	GRADE BREAK

ADD 900' TO SPOT ELEVATIONS
ALL GRADES IN PAVEMENT AREAS ARE TOP OF PAVEMENT
ELEVATIONS UNLESS OTHERWISE CALLED OUT.



Know what's below.
Call before you dig.

SITE BENCHMARKS

BM#1	Description: Existing Sanitary Manhole
	Rim Elevation: 972.22

- PRELIMINARY PLANS -
NOT FOR CONSTRUCTION

**SITE DEVELOPMENT PLANS FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE**

6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO


BURKHARDT

38 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-389-0060 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Design: HB	Proj: 21-285
Draw: HB	Dwg: 21.285.dwg
Check: KZ	Tab: C3.0-GP
Scale: 1" = 20'	

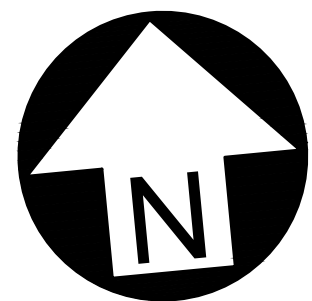
Date: 03.18.2021

Sheet:

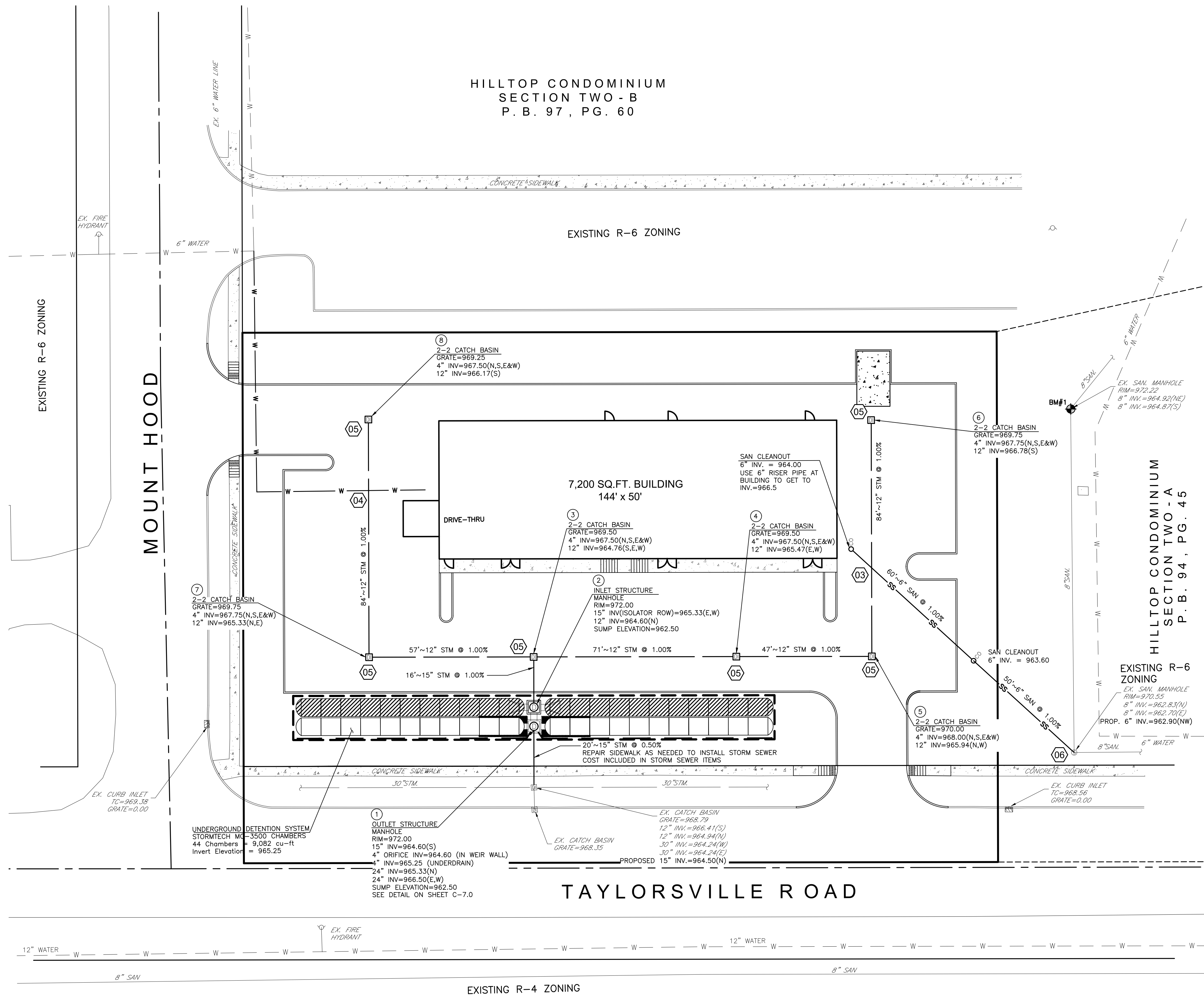
GRADING PLAN

Sheet No.:

C-3.0



GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.



GENERAL UTILITY NOTES:

- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
- Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
- The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
- The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
- This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
- All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
- The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
- All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
- All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
- Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
- Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.

STORM SEWER NOTES:

All storm sewer shall be reinforced concrete pipe (RCP, ASTM C76 - Class III, minimum) or high-density polyethylene pipe (ADS N-12 or equivalent), unless otherwise noted on plans. All pipe shall be installed according to Local, State, and manufacturer's specifications.

Contractor to provide downspout collection system to connect building downspouts / roof drains to storm sewer system. See architectural/plumbing plans for downspout locations and connection details.

Downspout collection pipe (DCP) may be HDPE (ADS N-12 or equivalent) or Schedule 40 PVC pipe. All downspout collector pipes to be at 2.00% minimum slope. All pipe shall be installed according to Local, State, and manufacturer's specifications. Provide cleanouts at all bends, angles, and junctions. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars, per detail / Sheet C-5.0.

Storm sewer connection, permit and construction to be coordinated with City of Huber Heights.

GAS NOTES:

Coordinate gas service lines, meter, and connections with mechanical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

ELECTRIC NOTES:

Coordinate electric service lines, transformer, meter, and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

Coordinate site lighting, signage wiring, conduit locations, connections, etc. with electrical plans. Notify Engineers of any potential conflicts.

TELECOM NOTES:

Coordinate telecommunication service lines and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction.

SANITARY SEWER NOTES:

Contractor to provide 6" sanitary sewer line from building to end of service. Install tap, cleanouts and other appurtenances as required by City of Huber Heights. Coordinate building connection with plumbing plans.

All 6" sanitary sewer pipe shall be P.V.C. SDR-26 with joints conforming to ASTM 3212. All sanitary lines shall be installed in accordance with the manufacturer's recommended procedures. 6" lines shall maintain a minimum slope of 1.00%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Cleanouts Per detail on Sheet C-5.0.

Sanitary sewer service connection, permit and construction to be coordinated with City of Huber Heights.

WATER NOTES:

Contractor to provide a water service line to building to end of service line. Install connection, valves, backflow preventer, meters and other appurtenances as required by the City of Huber Heights. Coordinate building connection with plumbing plans.

Water lines shall be per City of Huber Heights & Montgomery County requirements, installed per manufacturer's recommended procedures. >2" waterlines to be Class 52 Ductile Iron. 2" and smaller service lines to be K Copper with Ford Meter Valves and a curb stop valve in a box in front of meter pit. Tapping Sleeve to be Stainless Steel or Ductile Iron. Main line valves to be Mueller. Lines shall be installed with a minimum cover of 48" or below frost line, whichever is greater.

Water service connection, meter, permit and construction to be coordinated with City of Huber Heights.

UTILITY KEYNOTES

- PROPOSED 2" WATER SERVICE. VERIFY SIZE AND LOCATION WITH PLUMBING PLANS.
- PROPOSED 6" SANITARY SERVICE. VERIFY SIZE AND LOCATION WITH PLUMBING PLANS.
- MAINTAIN 1.5' VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND STORM SEWER. SANITARY SERVICE WILL BE BELOW STORM SEWER.
- MAINTAIN 1.5' VERTICAL CLEARANCE BETWEEN WATER SERVICE AND STORM SEWER. WATER SERVICE WILL BE BELOW STORM SEWER.
- STORM STRUCTURES IN PAVEMENT AREAS ARE TO HAVE 4" UNDERDRAINS INSTALLED PER DETAIL ON SHEET C-5.0.
- CORE NEW 6" SANITARY SERVICE INTO EXISTING SANITARY MANHOLE PER CITY REQUIREMENTS.

UTILITY LEGEND

	PROP. INLET/MANHOLE/CLEANOUT
	PROP. DOWNSPOUT
	PROP. SANITARY SEWER SERVICE
	PROP. WATER SERVICE
	PROP. STORM SEWER

SITE BENCHMARKS

BM#1 Description: Existing Sanitary Manhole
Rim Elevation: 972.22



- PRELIMINARY PLANS -
NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLANS FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE
6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: HB Proj: 21-285
Draw: HB Dwg: 21.285.dwg
Check: KZ Tab: C4.0-UP
Scale: 1" = 20'

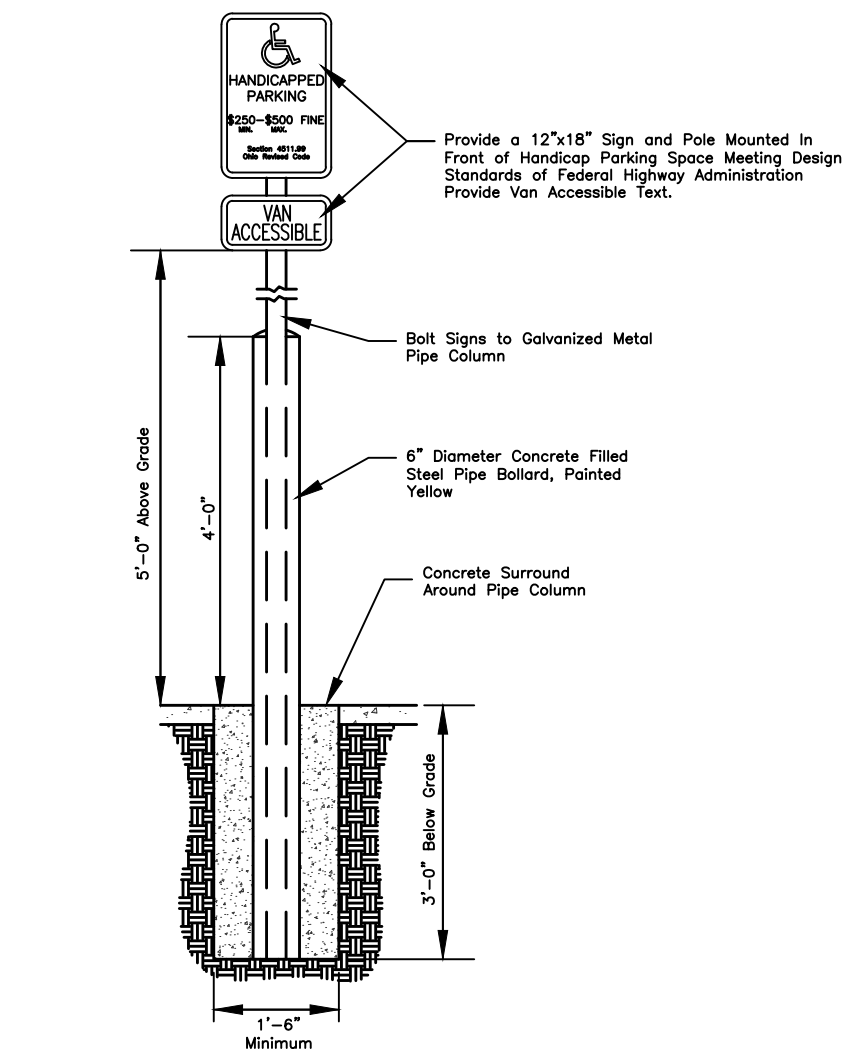
Date: 03.18.2022

Sheet:

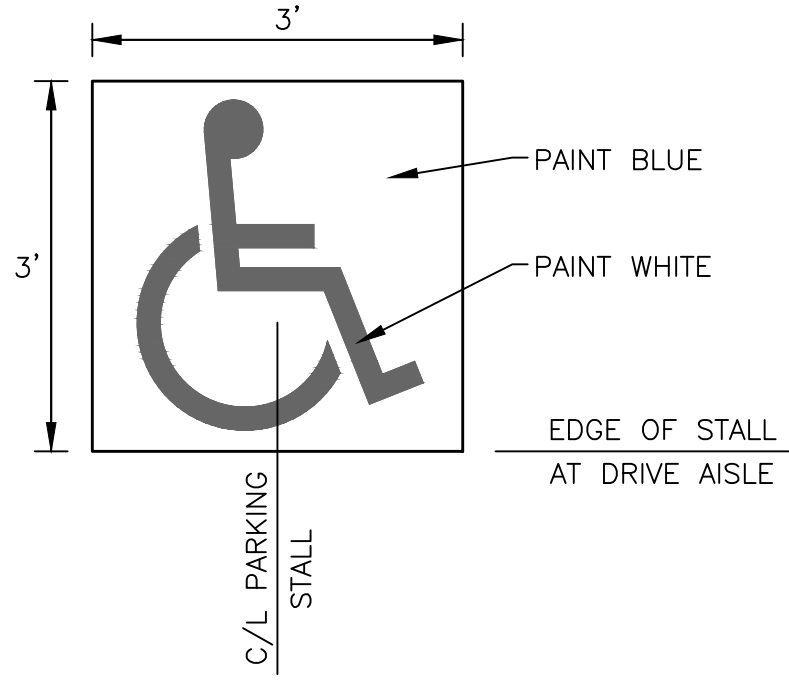
UTILITY PLAN

Sheet No.:

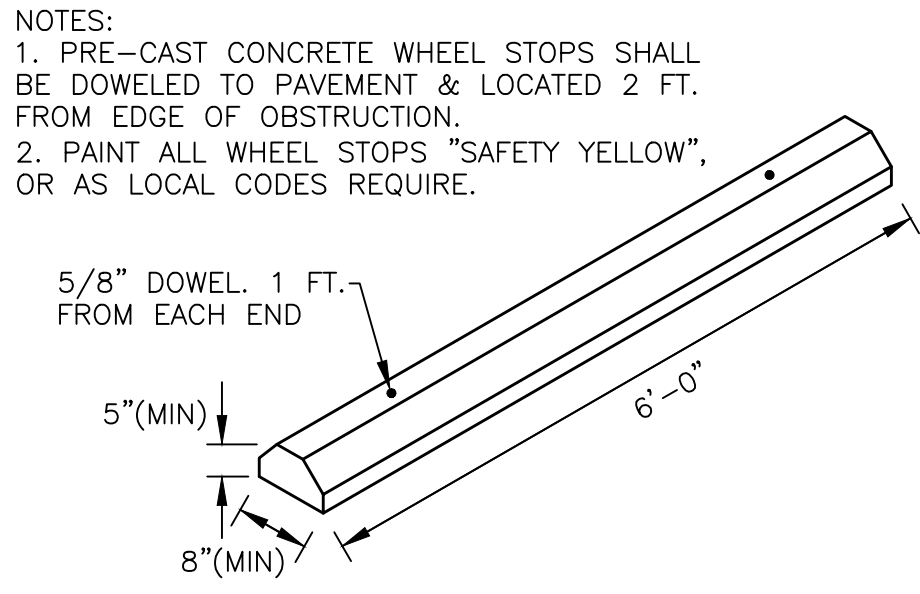
C-4.0



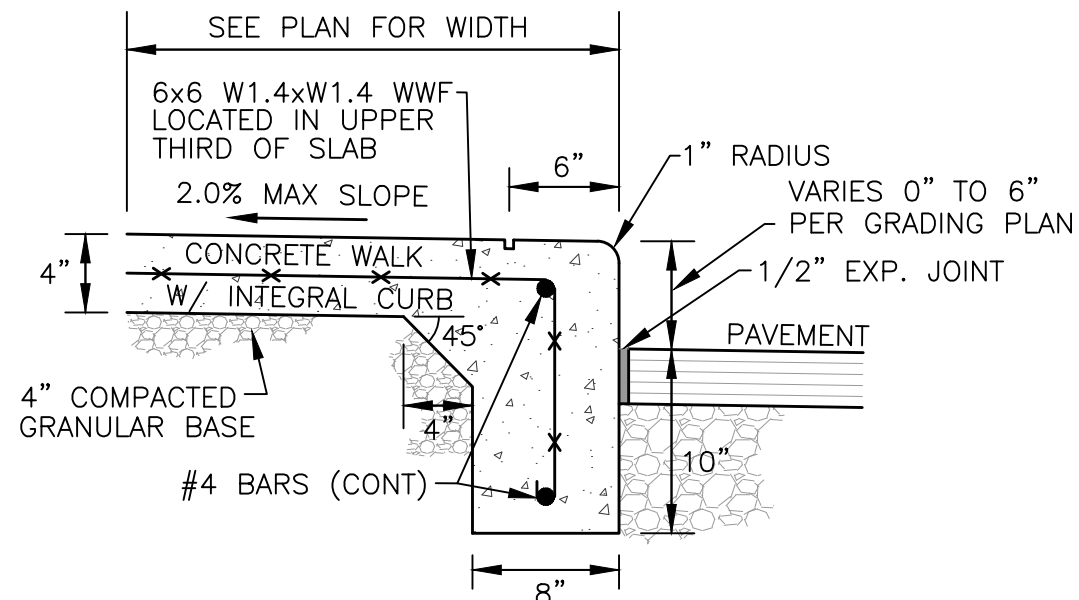
ADA PARKING SIGNAGE
NOT TO SCALE



ADA PARKING SYMBOL
NOT TO SCALE

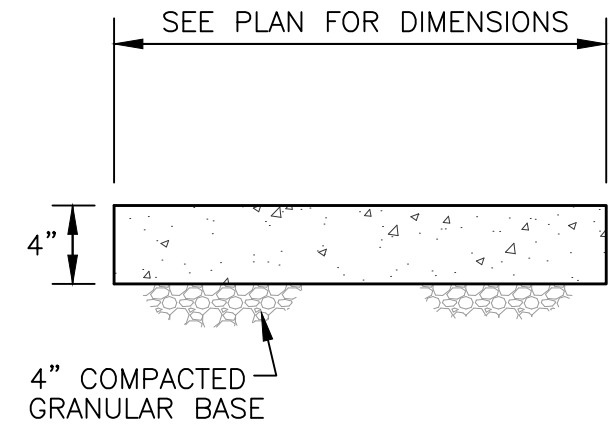


CONCRETE WHEEL STOP
NOT TO SCALE



NOTES:
1. SIDEWALK WITH INTEGRAL CURB TO BE CONSTRUCTED OF 4000 PSI CONCRETE (MIN.).
2. SIDEWALK TO HAVE JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

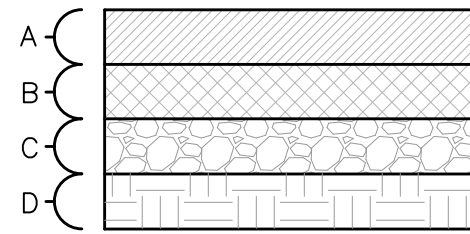
CONCRETE SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



NOTES:
1. SIDEWALK TO BE CONSTRUCTED USING 4000 PSI CONCRETE.
2. SIDEWALK TO HAVE TOOLED CONTROL JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

CONCRETE SIDEWALK PAVEMENT SECTION
NOT TO SCALE

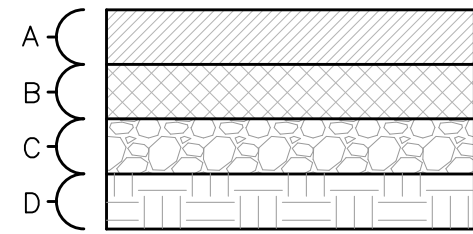
KEY
A - 1.5" ODOT ITEM 441 ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448) PG64-22
B - 2.5" ODOT ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (448)
C - 6" ODOT ITEM 304, AGGREGATE BASE
D - ODOT ITEM 204 SUBGRADE COMPACTION



PAVEMENT SECTION TO BE OWNER APPROVED. NO TESTING OR DESIGN WAS PERFORMED BY CIVIL ENGINEER IN SELECTING THIS SECTION.

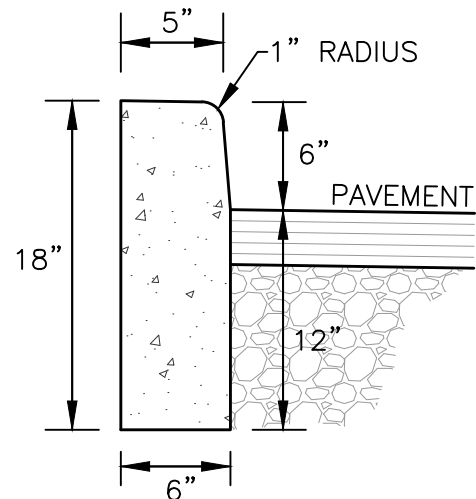
STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

KEY
A - 1.5" ODOT ITEM 441 ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448) PG64-22
B - 3.5" ODOT ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (448)
C - 8" ODOT ITEM 304, AGGREGATE BASE
D - ODOT ITEM 204 SUBGRADE COMPACTION



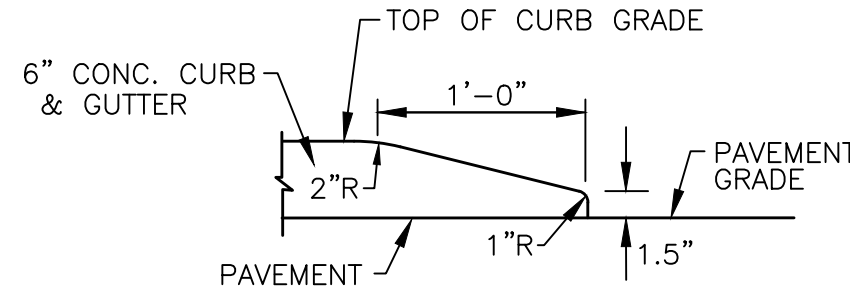
PAVEMENT SECTION TO BE OWNER APPROVED. NO TESTING OR DESIGN WAS PERFORMED BY CIVIL ENGINEER IN SELECTING THIS SECTION.

HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

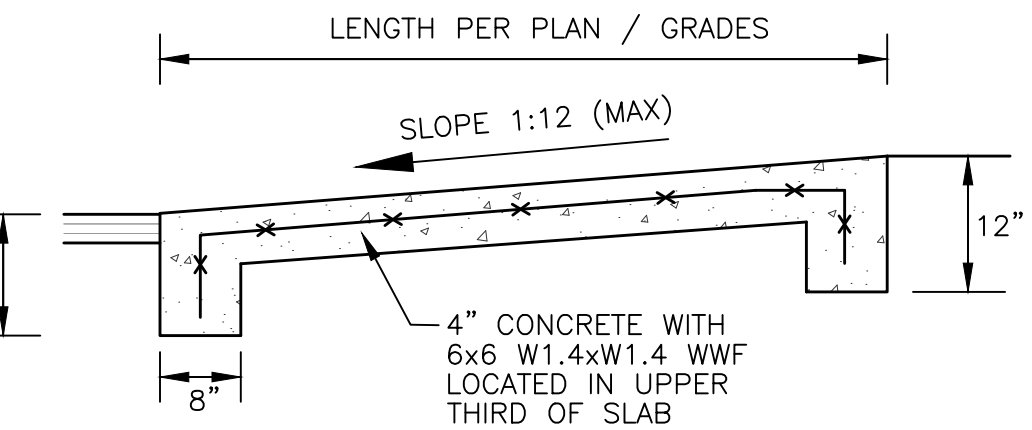
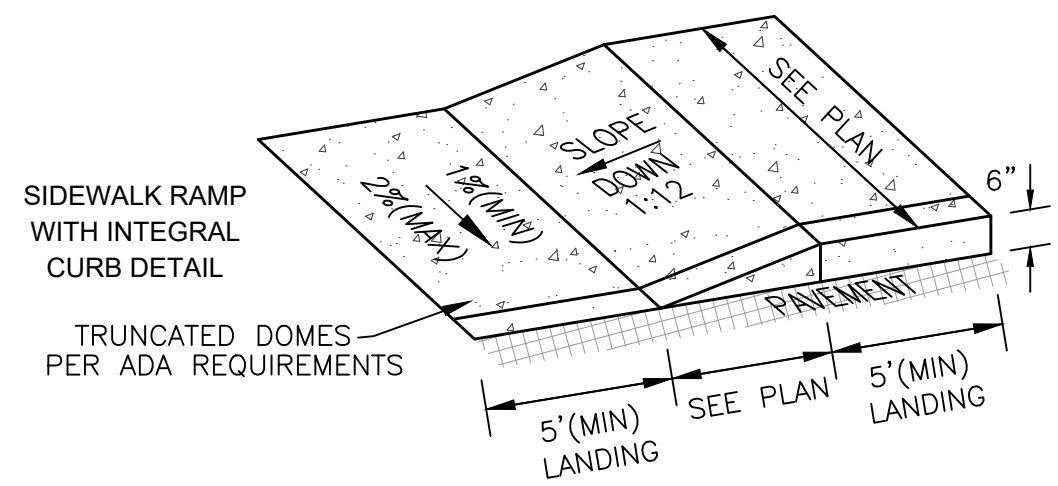


NOTES:
1. CURB TO BE CONSTRUCTED OF 4000 PSI CONCRETE.
2. PROVIDE A SMOOTH AND EVEN FINISH PLUS ROUNDED EDGING TO ALL EXPOSED SURFACES.

BARRIER CURB DETAIL
NOT TO SCALE

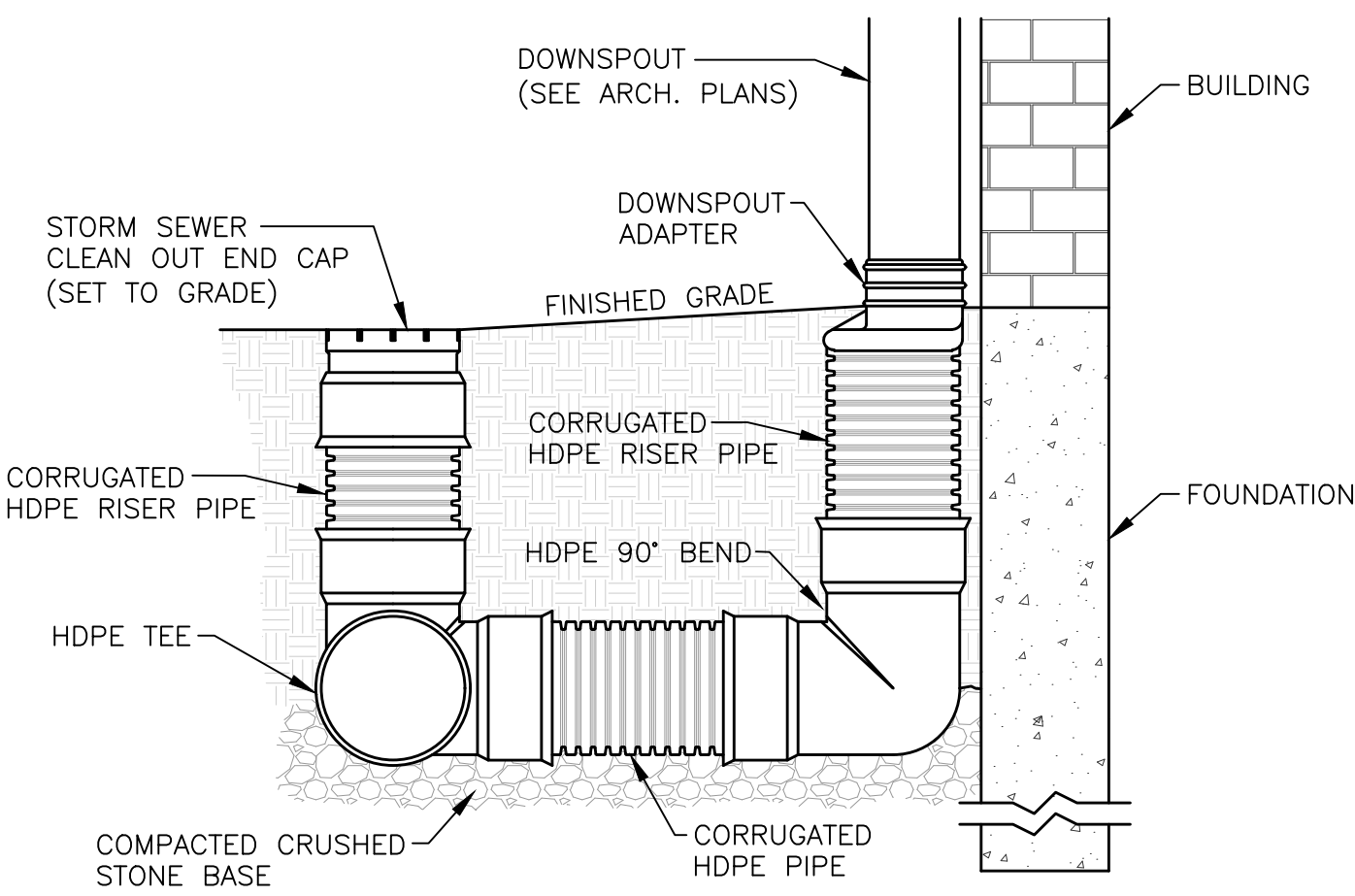


CURB END TAPER DETAIL
NOT TO SCALE



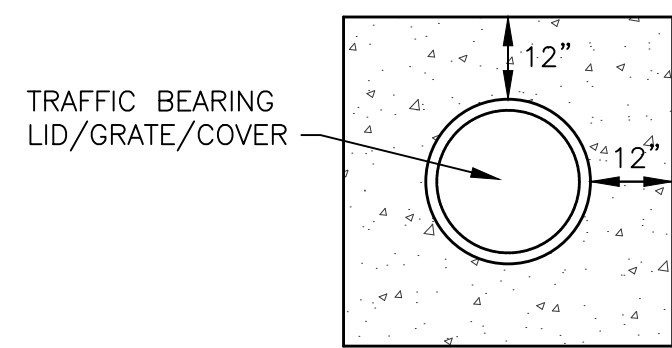
NOTES:
1. SEE SITE PLAN AND GRADING PLAN FOR LAYOUT AND ELEVATIONS
2. RAMPS TO COMPLY WITH ACCESSIBILITY/ADA STANDARDS

CONCRETE RAMP DETAILS
NOT TO SCALE



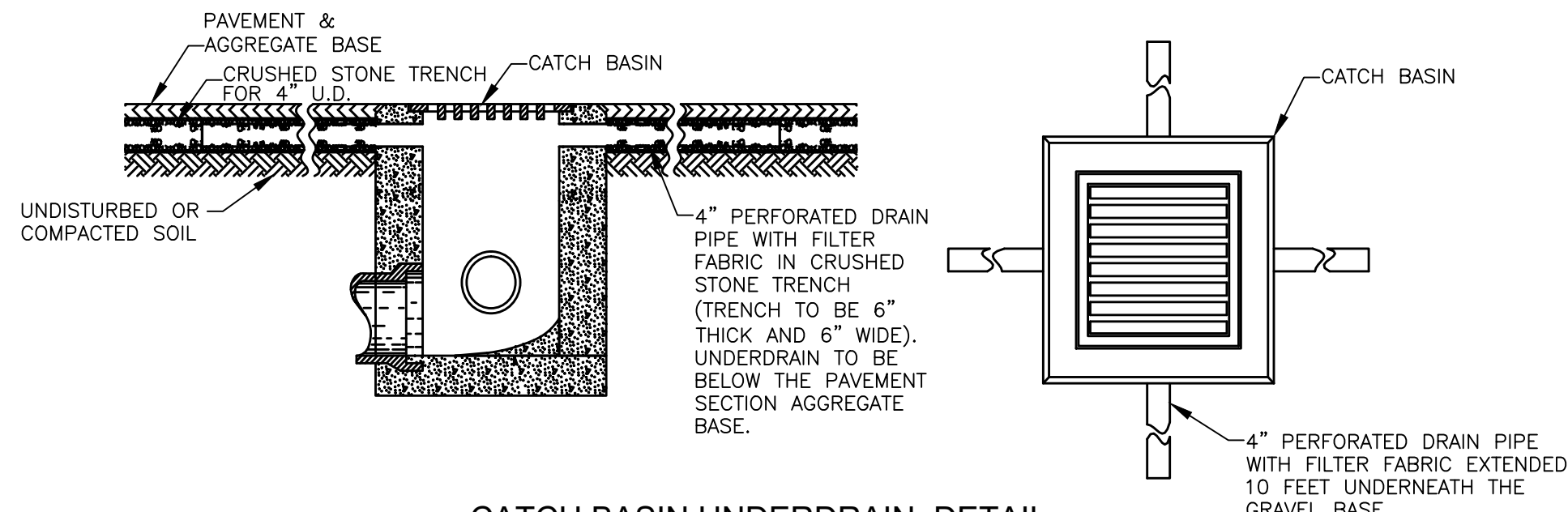
NOTES:
1. HDPE PIPE MAY BE SUBSTITUTED WITH PVC PIPE.
2. ALL JOINTS ARE TO BE WATERTIGHT.
3. CLEAN OUT TO HAVE TRAFFIC BEARING LID AND CONCRETE COLLAR IF INSTALLED IN PAVEMENT AREAS.

DOWNSPOUT COLLECTION DETAIL
NOT TO SCALE



NOTE: COLLAR TO BE INSTALLED AROUND ALL STORM INLETS, MANHOLES, CLEANOUTS, PULL BOXES, VALVES, ETC. WHICH ARE LOCATED IN PAVEMENT AREAS.

CONCRETE COLLAR
NOT TO SCALE



CATCH BASIN UNDERDRAIN DETAIL
NOT TO SCALE
TO BE USED FOR CATCH BASINS IN PAVEMENT AREAS

- PRELIMINARY PLANS -
NOT FOR CONSTRUCTION

Date	
Description	
Item	

SITE DEVELOPMENT PLANS FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE
6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: HB	Proj: 21-285
Draw: HB	Dwg: 21.285.dwg
Check: KZ	Tab: C5.0-DET
Scale: N/A	

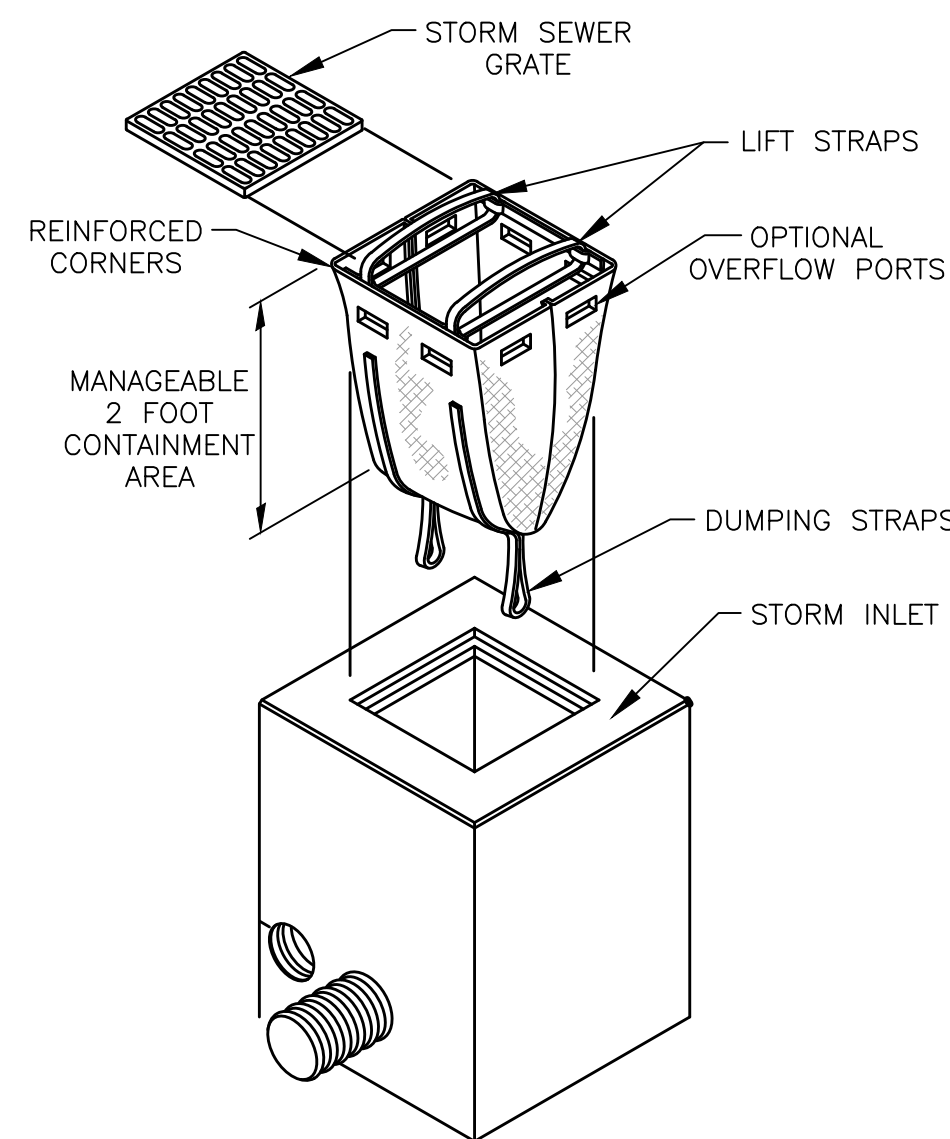
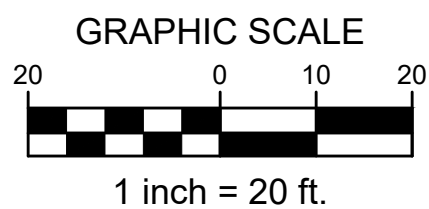
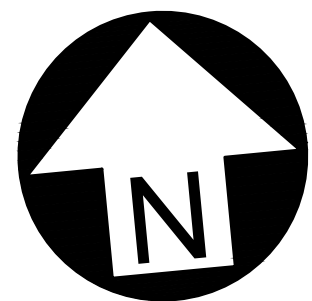
Date: 03.18.2022

Sheet: DETAILS

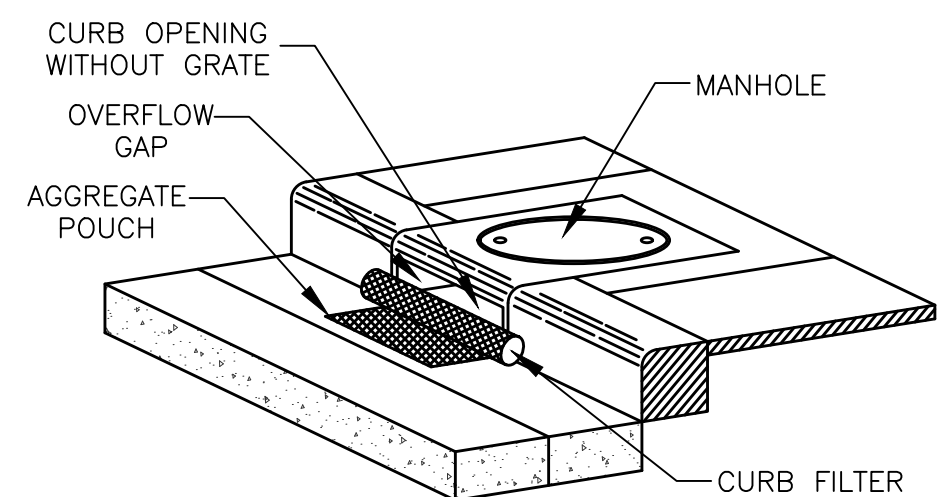
Sheet No.: C-5.0



Know what's below.
Call before you dig.

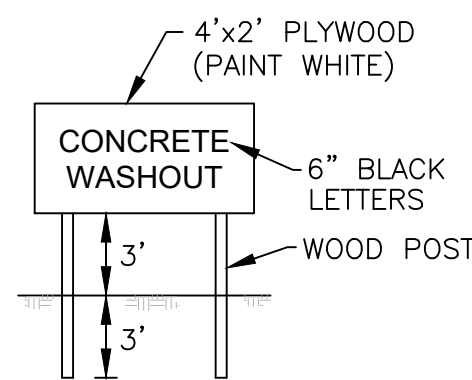


DANDY SACK™ DETAIL
NOT TO SCALE



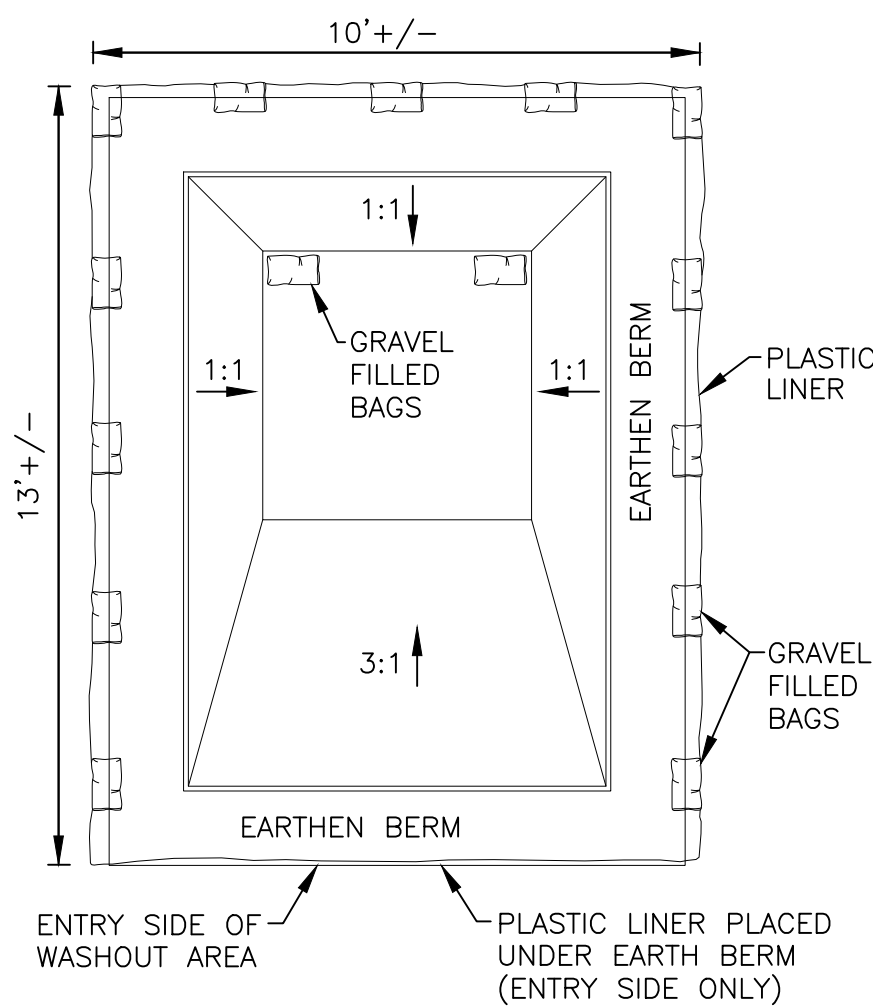
NOTES:
1. INLET SEDIMENT CONTROL DEVICE WITH CURB FILTER TO BE INSTALLED ON EXISTING PAVEMENT

DANDY CURB™ DETAIL
NOT TO SCALE



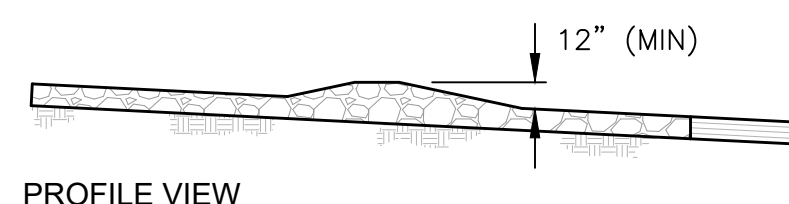
CONCRETE WASHOUT SIGN
NOT TO SCALE

◆ SITE BENCHMARKS
BM#1 Description: Existing Sanitary Manhole
Rim Elevation: 972.22

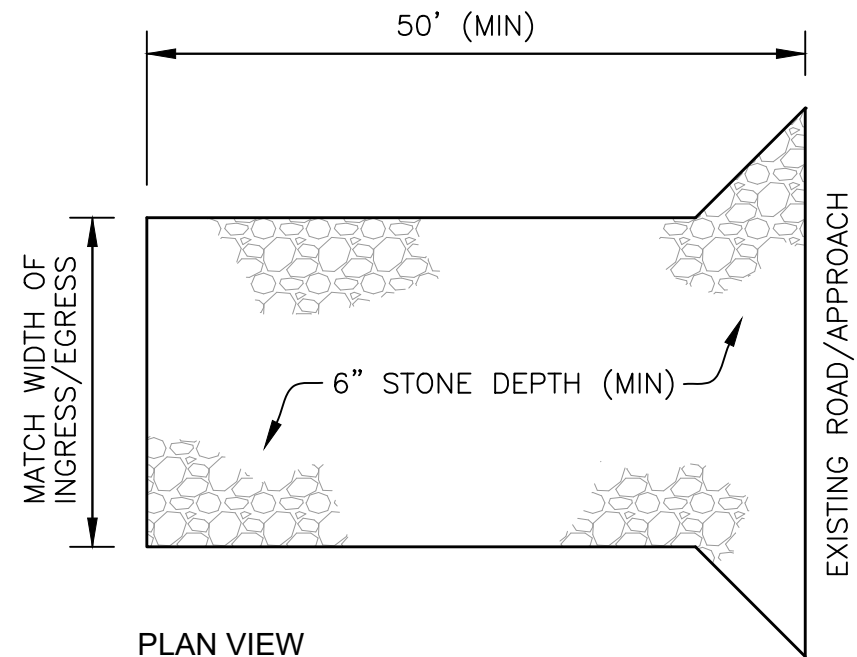


NOTES:
1. PLASTIC LINER SHALL BE ANCHORED WITH GRAVEL-FILLED BAGS.
2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE CONCRETE WASHOUT AREA.

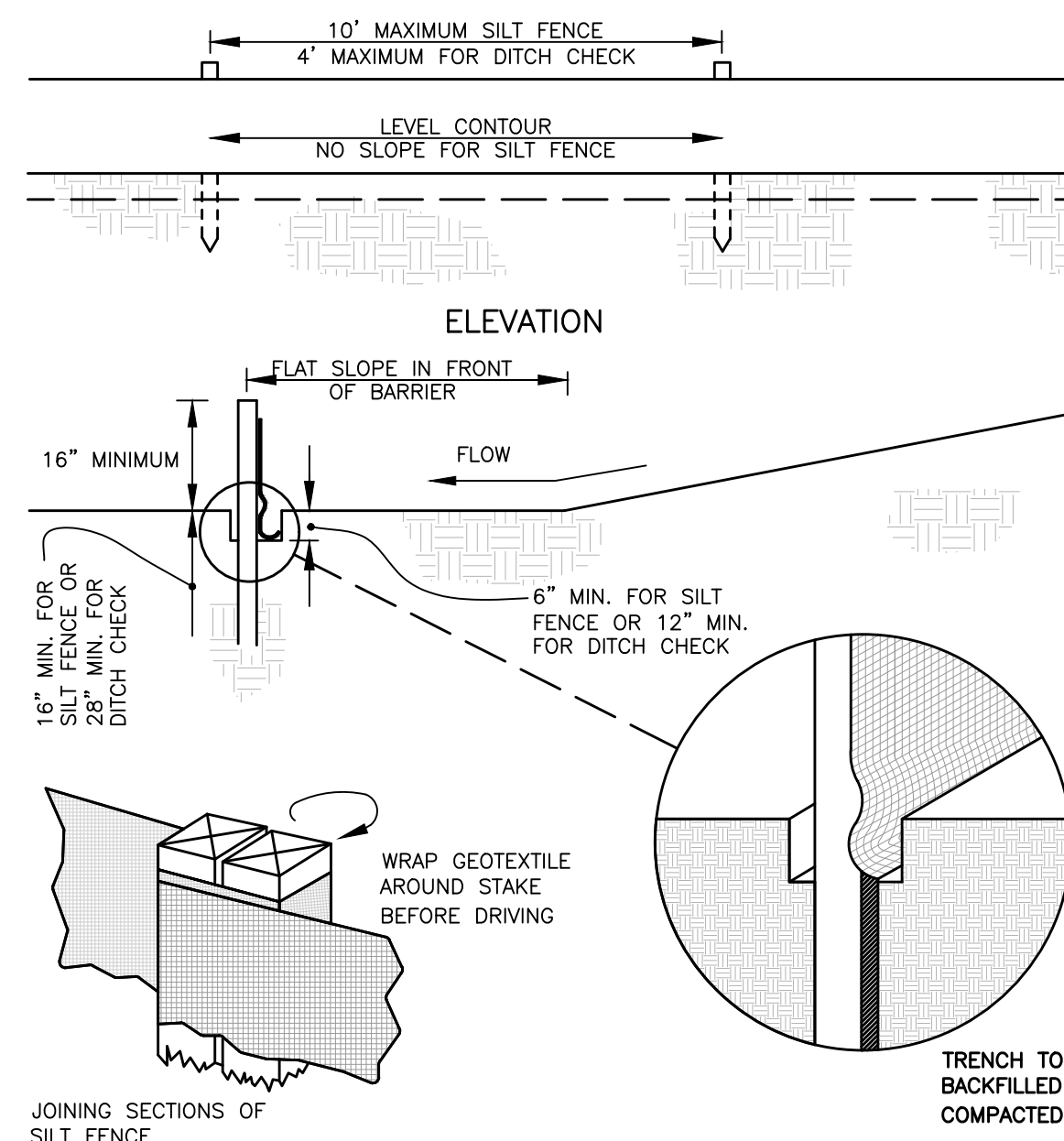
CONCRETE WASHOUT AREA
NOT TO SCALE
CONTRACTOR TO PLACE AS NEEDED



NOTES:
1. STONE SHALL BE 1.5"-2.5" IN DIAMETER
2. GEOTEXTILE FABRIC SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. (US 200 OR EQUIV.)



CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE
PLACE AS NEEDED ON SITE,
COORDINATE LOCATION WITH OWNER



SILT FENCE & SILT DITCH CHECK DETAIL
NOT TO SCALE

GENERAL STORMWATER POLLUTION PREVENTION NOTES

- All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
- Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
- Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
- Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
- The soil erosion controls are to be inspected once a week and within 24 hours of a 0.25 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
- Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 21 days. Any disturbed area that is not going to be worked for 21 days or more must be seeded and mulched.
- Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 21 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
- Soil stockpiles shall be stabilized or protected to prevent soil loss.
- All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
- Silt fence to be 2' minimum from property lines in areas where work is near adjacent properties.
- The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
- Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
- No solid or liquid waste shall be discharged into storm water runoff.
- Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
- Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
- If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
- No fuel storage is permitted on-site.
- All disturbed areas shall be cleared of construction sediment upon completion of construction.
- The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the OEPA.

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

- Stone tracking pad atop geotextile liner.
- Install silt fence and protection fencing.
- Initial clearing, grubbing, and demolition.
- Strip and stockpile top soil.
- Rough grade and balance site.
- Install underground utilities (i.e. Sanitary, Storm & Water)
- Place inlet filters on all storm inlets.
- Install franchise utilities (i.e. Gas, Electric, Telephone & Cable TV).
- Final grade site.
- Install pavement, curb, and other hardscape structures/surfaces.
- Stabilize ditches, swales, common areas and slopes.
- Establish permanent vegetation for all disturbed areas.
- Erosion and sediment control devices to be removed after inspection approval from the city that permanent vegetation is sufficient and site is adequately stabilized.
- Clean out storm sewer system and disturbed areas upon completion.

SOIL EROSION CONTROL MAINTENANCE

- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.
- Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrance shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way.
- Sediment from the detention area shall be removed as necessary to maintain proper functionality.

SOIL EROSION CONTROL NOTES

All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent).

SOIL EROSION CONTROL LEGEND

- SF SILT FENCE
- CONSTRUCTION ENTRANCE
PLACE IF NEEDED TO KEEP DIRT OFF ROADS.
- INLET PROTECTION / DANDY SACK
- STABILIZE ALL AREAS AS NECESSARY

SITE DEVELOPMENT PLANS FOR TAYLORSVILLE ROAD COMMERCIAL SITE

6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: HB Proj: 21-285
Draw: HB Dwg: 21.285.dwg
Check: KZ Tab: C6.0-SWPPP

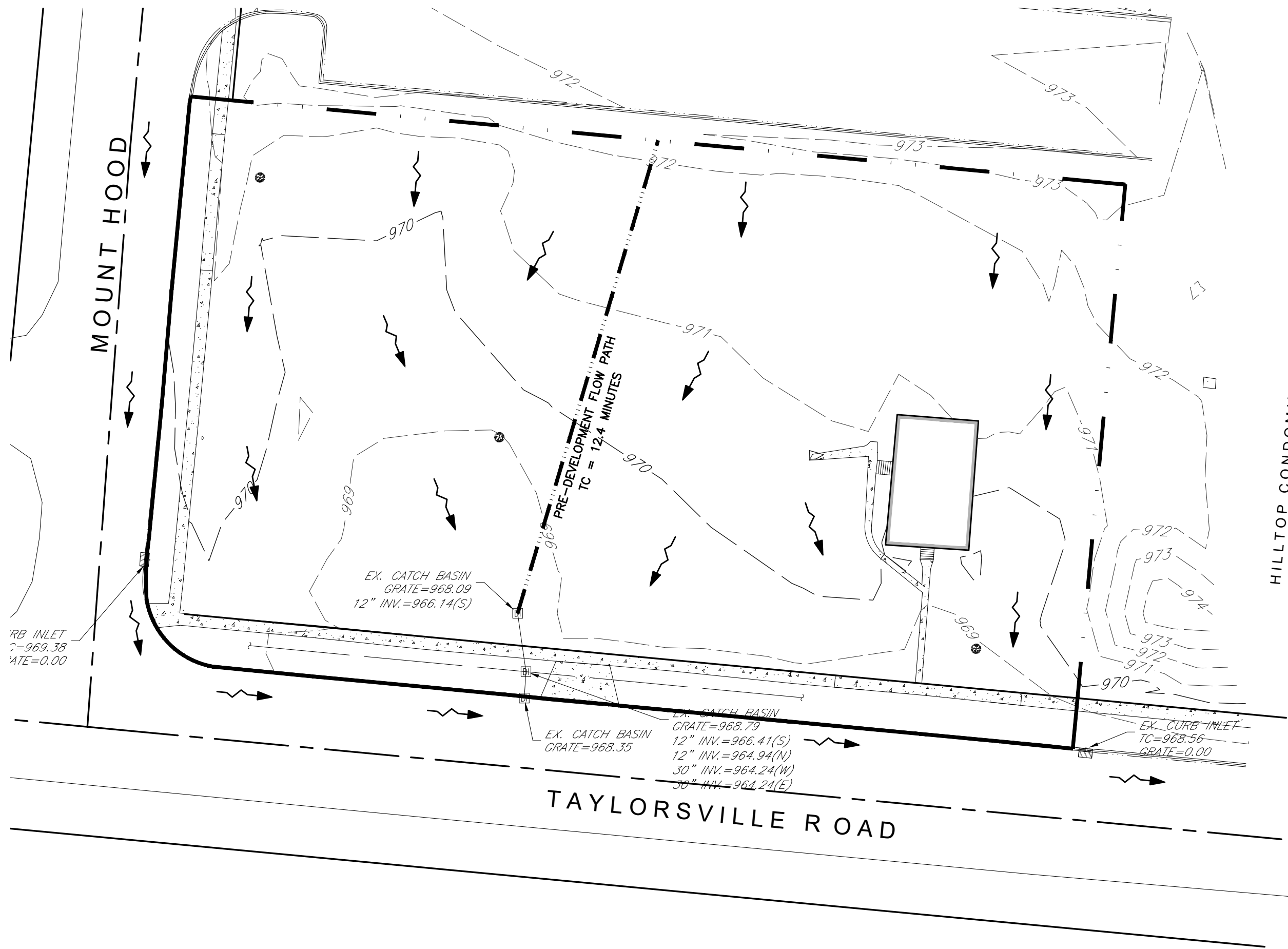
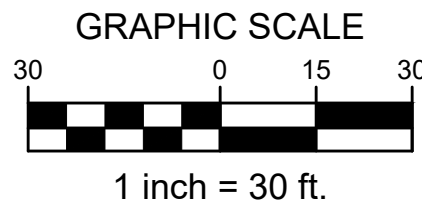
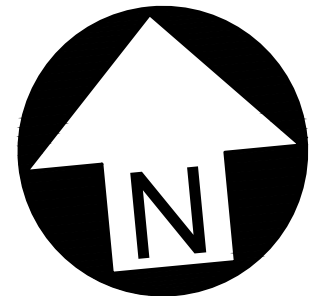
Scale: 1" = 20'
Date: 03.18.2022

Sheet:
EROSION CONTROL
PLAN

Sheet No.:
C-6.0



Know what's below.
Call before you dig.



EXISTING CONDITIONS

EXISTING CONDITIONS

The existing site is partially developed with a house at the southeast corner of the lot and a gravel drive near the center of the lot. There are no existing detention areas on the site. The site drains overland from north to south toward Taylorsville Road and into inlets that discharge into the City of Huber Heights storm sewer system at the south edge of the site.

PROPOSED CONDITIONS

The proposed improvements will include removing the existing house and constructing a new 7,200 square foot building with a drive through and associated parking lot in the center of the site. An underground detention basin will be constructed on the south side of the new parking lot. Runoff from the new parking lot will be collected by inlets within the parking lot that lead to the underground detention basin. The underground detention basin will connect to City of Huber Heights storm sewer system on the south side of the site.

On-Site Soils:

-MsA - Milton Silt Loam, 0 to 2 % slopes, Hydrologic Soil Group C (52% of site)
-MsB - Milton Silt Loam, 2 to 6 % slopes, Hydrologic Soil Group C (48% of site)

24-hour Storm Event

Huber Heights, Ohio Rainfall Depths:

1 year - 2.26"
2 year - 2.71"
5 year - 3.32"
10 year - 3.79"
25 year - 4.44"
50 year - 4.95"
100 year - 5.47"

STORMWATER MANAGEMENT

Reference Materials and Methodology for Calculations:

USDA - Urban Hydrology for Small Watersheds - Technical Release 55

USDA - Web Soil Survey

City of Huber Heights Stormwater Regulations

Ohio EPA Permit No. OHC000005

ODNR Rainwater and Land Development Manual

NOAA Atlas 14, Volume 2, Version 3

Runoff Control Requirements:

Provide detention as necessary to reduce post-construction runoff rates to pre-development rates in accordance with the Critical Storm Method.

Critical Storm Method Calculations

Pre-Development Conditions

Area = 1.13 acres
Composite CN = 76
1.06 acres of Open Space in Good Condition (CN=74)
0.07 acres of Pavement/Building (CN=98)
Tc = 12.4 minutes

Post-Development Conditions

Area = 1.13 acres
Composite CN = 89
0.70 acres of Open Space in Good Condition (CN=74)
0.43 acres of Pavement/Building (CN=98)
Tc = 6.0 minutes

Pre-developed 1 year storm runoff volume = 2,273 cu-ft
Post-developed 1 year storm runoff volume = 5,275 cu-ft
132% increase in runoff volume
Critical Storm = 25 year

WATER QUALITY FLOW

Required:

WQF = C * i * A

C = 0.95

i = 2.37 inches/hour

A = 1.13 acres

WQF = 2.544 cfs

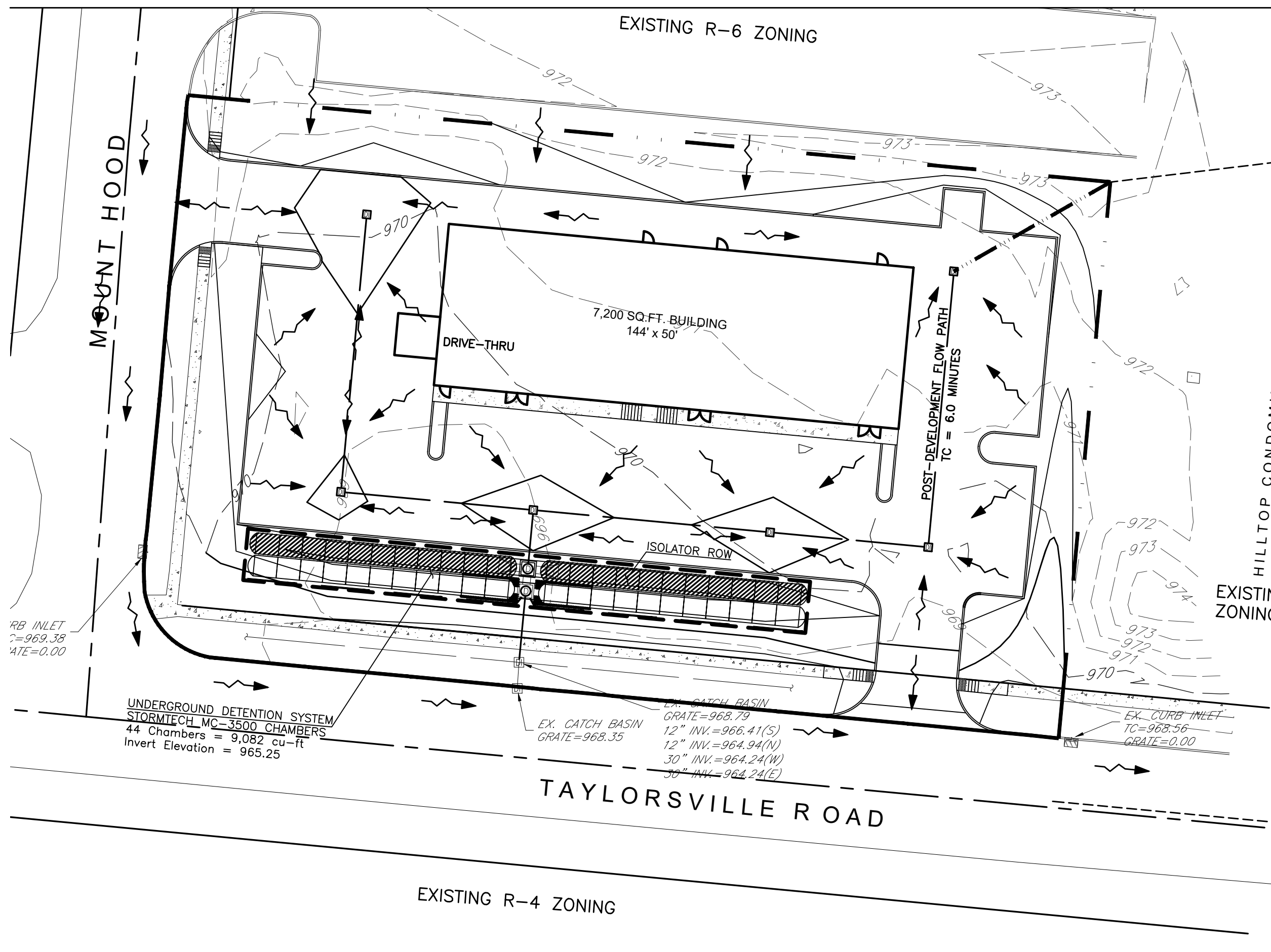
Provided:

Water quality will be provided by the Isolator Row in Stormtech system. There are 22 units of the Stormtech MC-3500 in the Isolator Row. Each unit will treat 0.24 cfs of flow for a total flow of 0.24 cfs x 22 = 5.28 cfs.

Detention Areas - Storage - Discharge Table

Event (YR)	Pre-Developed Discharge (CFS)	Post-Developed Discharge (CFS)	Allowable Peak Discharge (CFS)	Basin Discharge (CFS)	Basin Elevation (FT)	Basin Volume (Cu-Ft)
1	0.82	2.59	0.82	0.41	965.85	2,158
2	1.27	3.37	0.82	0.47	966.18	2,898
5	1.95	4.45	0.82	0.55	966.68	3,949
10	2.51	5.28	0.82	0.61	967.19	4,795
25	3.33	6.43	0.82	0.69	967.72	6,006
50	3.99	7.34	3.99	2.02	968.02	6,554
100	4.68	8.25	4.68	2.97	968.34	7,081

Critical Storm = 25 year storm

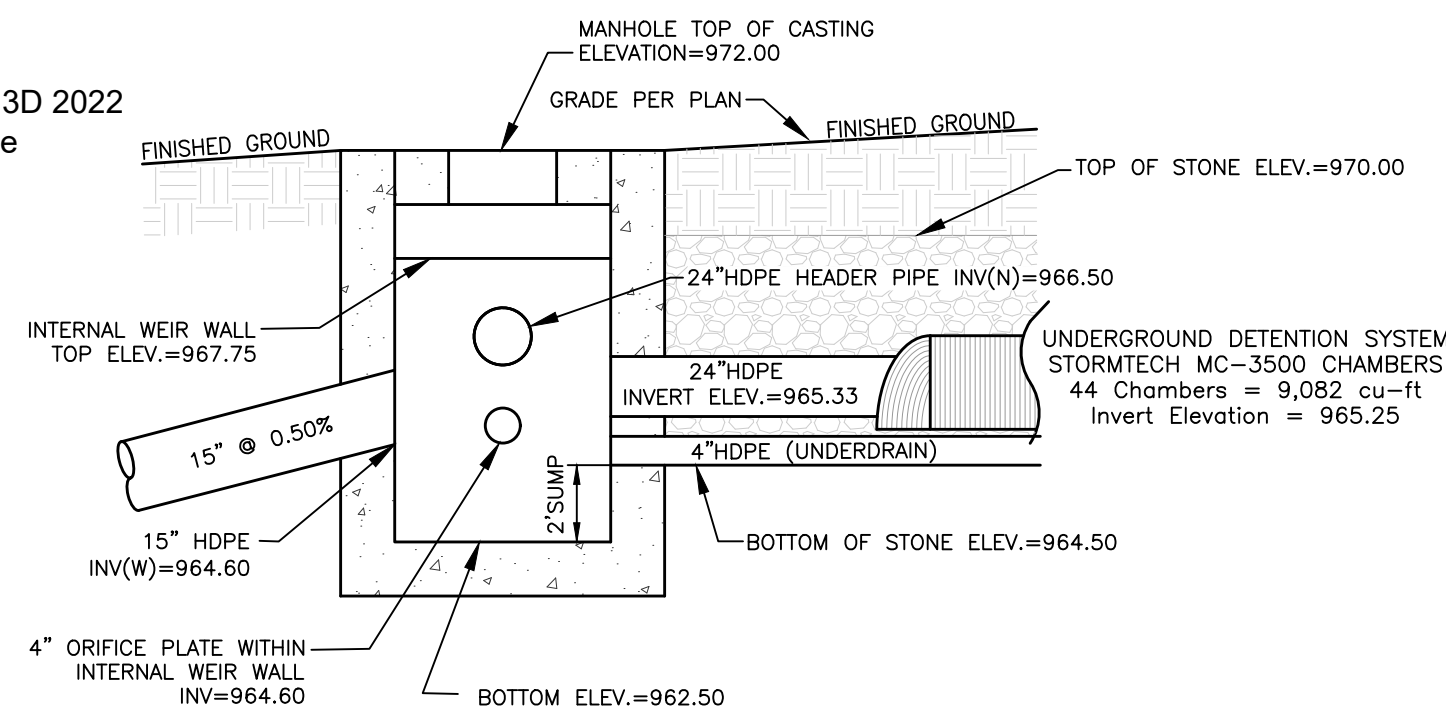
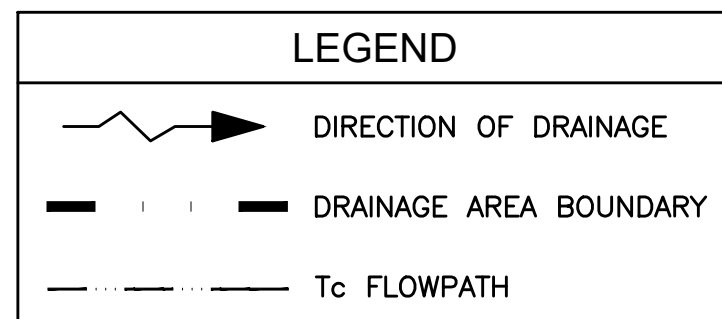


PROPOSED CONDITIONS

DETENTION BASIN STAGE-STORAGE-DISCHARGE

Elevation (ft)	Volume (cu-ft)	Discharge (cfs)
964.50	0	0.000
965.00	555	0.182
965.50	1,394	0.325
966.00	2,500	0.428
966.50	3,578	0.513
967.00	4,618	0.587
967.50	5,608	0.654
968.00	6,528	1.887
968.50	7,344	3.274
969.00	7,971	4.061
969.50	8,526	4.706
970.00	9,082	5.260

*Hydraflow Hydrograph for AutoCAD Civil 3D 2022 computer program used for storage volume calculations and storm routing.



OUTLET STRUCTURE DETAIL
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR TAYLORSVILLE ROAD COMMERCIAL SITE

6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: HB Proj: 21-285

Draw: HB Dwg: 21.285.dwg

Check: KZ Tab: C7.0-STM

Scale: 1" = 30'

Date:

03.18.2022

Sheet:

STORM WATER
MANAGEMENT PLAN

Sheet No.:

C-7.0



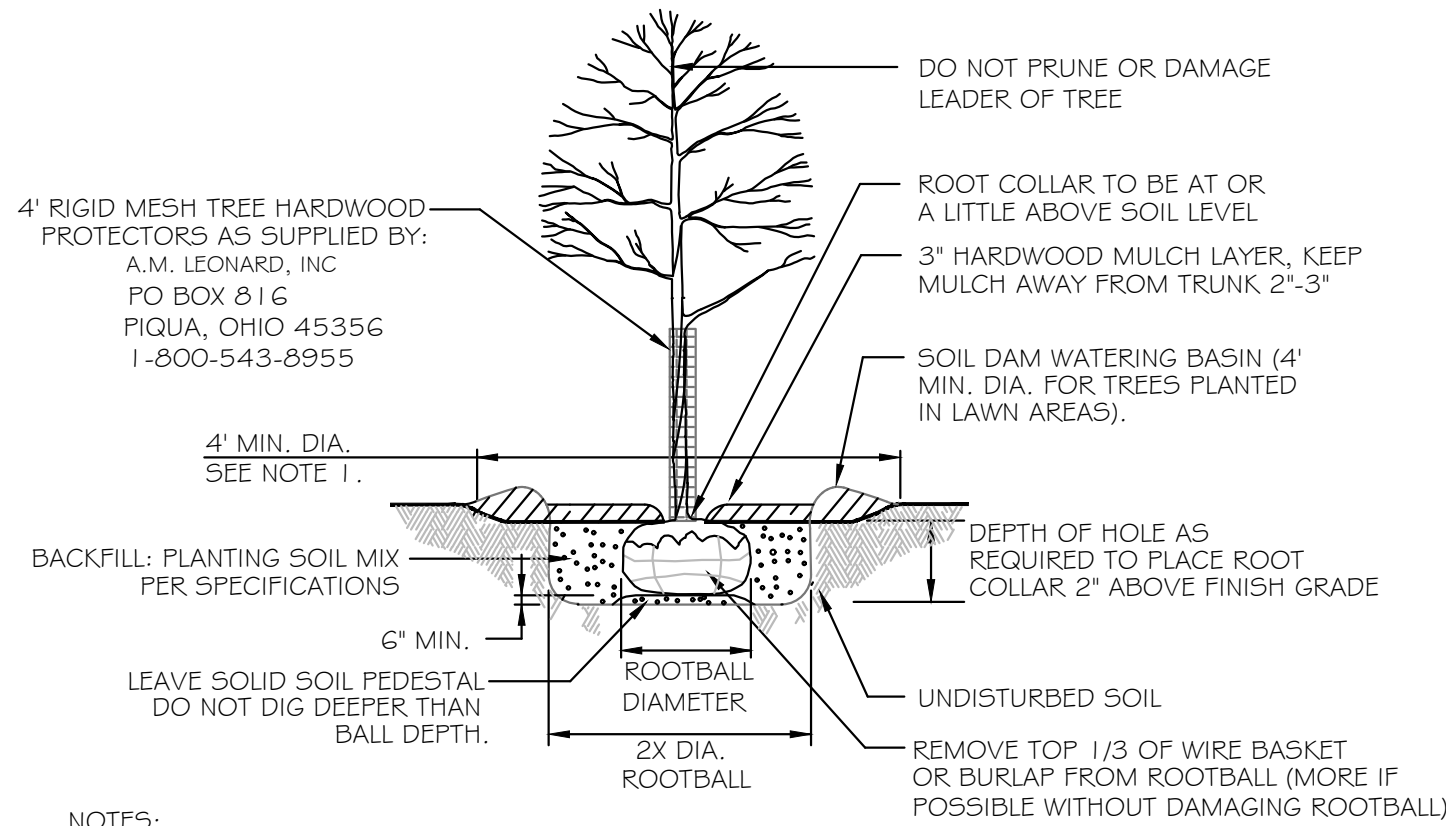
Know what's below.
Call before you dig.

SITE BENCHMARKS

BM#1 Description: Existing Sanitary Manhole
Rim Elevation: 972.22

LANDSCAPE REQUIREMENTS

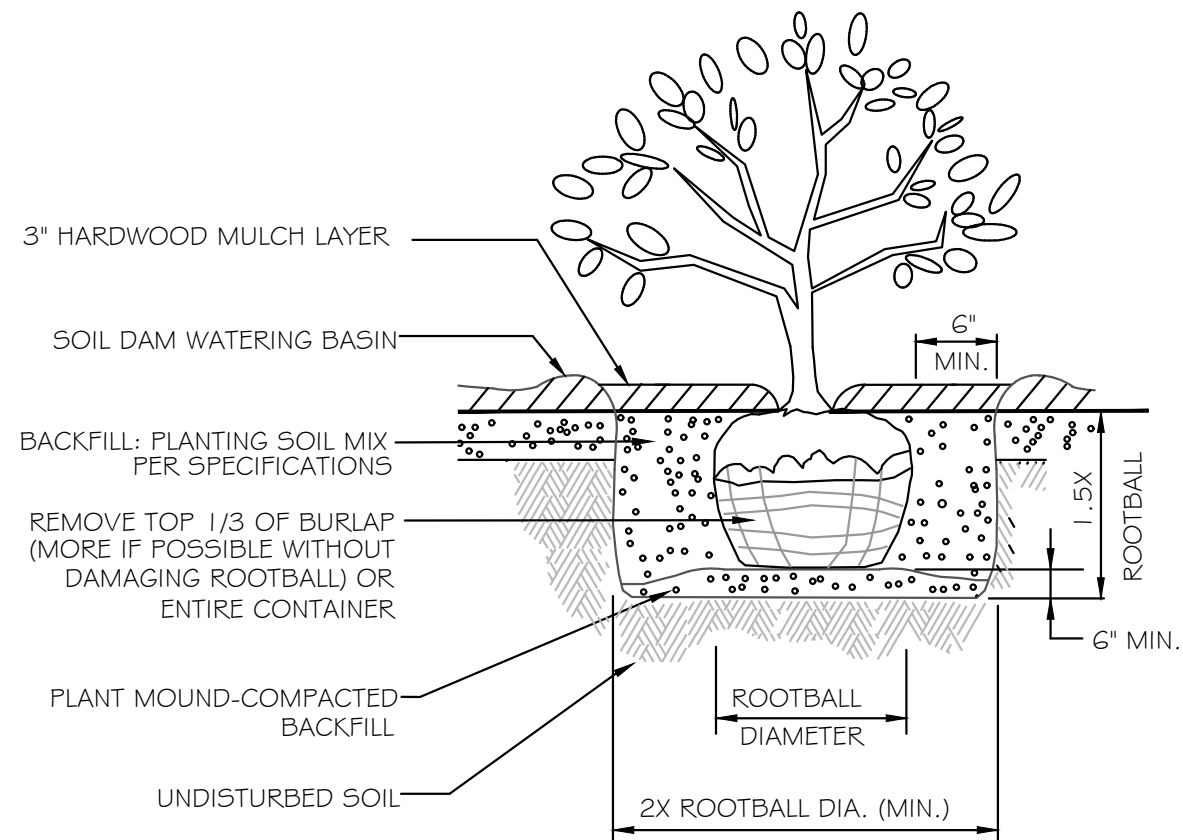
1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. TREES AND SHRUBS SHALL BE NURSERY GROWN AND BE HEALTHY AND VIGOROUS PLANTS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD, INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATIONS OF OBJECTIONABLE DISFIGUREMENTS. PLANTS SHALL BE IN ACCORDANCE WITH THE CURRENT "AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS" AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
4. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE ARCHITECT'S REPRESENTATIVE BEFORE ADJUSTMENTS ARE MADE.
5. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
6. A MINIMUM OF 6" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH ONE PART BACKFILL MIX TO ONE PART COMPOST.
7. MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH OF SHREDDED HARDWOOD MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, CURBS, OR OTHER PLANT BED LIMITS. ALL BED EDGES SHALL BE SPADE-CUT AND CLOSELY ALIGN AS POSSIBLE WITH EDGES AS SHOWN ON DRAWING. KEEP MULCH A MIN. 1/2" BELOW ADJACENT PAVED SURFACES.
8. SOD ALL LAWN DISTURBED AREAS WITHIN PROJECT LIMITS AS NOTED ON CIVIL DRAWINGS; INCLUDING OUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT WITH PROJECT ARCHITECT'S REPRESENTATIVE.
9. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF OF ACCEPTANCE. ALL DEAD PLANT MATERIALS SHALL BE PROMPTLY REMOVED AND REPLACED WITH NEW MATERIAL. OWNER SHALL BE RESPONSIBLE FOR ANY FURTHER REPLACEMENTS AFTER THE ONE-YEAR PERIOD.



- NOTES:
1. INDIVIDUAL TREES IN LAWN AREAS SHALL RECEIVE A 4" MINIMUM DIAMETER MULCHED CIRCLE
 2. STAKE AND WRAP ONLY IF NECESSARY AND REMOVE AS SOON AS ROOTS ARE ESTABLISHED (USUALLY ONE YEAR).

SHADE TREE PLANTING DETAIL

NTS



SHRUB PLANTING DETAIL

NTS

LANDSCAPE ARCHITECT:

YELLOW SPRINGS DESIGN

PO Box 472 205 PARK MEADOWS DR.
YELLOW SPRINGS, OHIO 45387

(O) 937.767.8199 (M) 937.654.8199
yellowspringsdesign@bizwoh.rr.com

LICENSED IN: OH, KY, PA, IN, IL, MS,
MI, VA, TX, OK, KS, AZ, CO & UT

PLANT MATERIALS LIST

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE	MATURE HT./SPD.
<i>DECIDUOUS TREES</i>			
5	ARMSTRONG MAPLE - <i>Acer rubrum</i> 'Armstrong'	2-1/2' cal. B/B	50'/ 20'
2	RED MAPLE - <i>Acer rubrum</i> 'October Glory'	2-1/2' cal. B/B	50'/ 40'
5	PATRIOT ELM - <i>Ulmus x 'Patnot'</i>	2-1/2' cal. B/B 5' Clear Trunk	50'/ 40'
<i>EVERGREEN TREES</i>			
19	WHITE PINE - <i>Pinus strobus</i>	6' ht. B/B	60'/ 20'
12	GREEN GIANT - <i>Thuja plicata x standishii</i> 'Green Giant'	6' ht. B/B	40'/ 18'
<i>SHRUBS & GRASSES</i>			
10	RUBY SLIPPERS HYDRANGEA - <i>Hydrangea quercifolia</i> 'Ruby Slippers'	# 3 cont.	4'/ 4'
6	SAYBROOK GOLD JUNIPER - <i>Juniperus x pfitzeniana</i> 'Saybrook Gold'	# 3 cont.	3'/ 5'
11	BROADMOOR JUNIPER - <i>Juniperus sabina</i> 'Broadmoor'	# 3 cont.	2'/ 5'
76	GREY OWL JUNIPER - <i>Juniperus virginiana</i> 'Grey Owl'	24" ht. B/B or Cont.	3'/ 6"
6	NEON FLASH SPIREA - <i>Spirea bumalda</i> 'Neon Flash'	# 3 cont.	3'/ 4'
19	DWARF FOUNTAIN GRASS - <i>Pennisetum alopecuroides</i> 'Hameln'	# 2 cont.	2'/ 3'
<i>PERENNIALS</i>			
30	PARDON ME DAYLILIES - <i>Hemerocallis x 'Pardon Me'</i>	# 1 cont.	3'/ 3'
3	AUTUMN JOY SEDUM - <i>Sedum spectabile</i> 'Autumn Joy'	# 2 cont.	2'/ 3'

LANDSCAPE CODE REQUIREMENTS & CALCULATIONS

PARKING LOT REQUIREMENTS:

PARKING LOT INTERIOR: IN CALCULATING THE TOTAL AREA OF ANY PARKING LOT, ALL AREAS WITHIN THE PERIMETER OF THE PARKING LOT SHALL BE COUNTED, INCLUDING PLANTING ISLANDS, CURBED AREAS, CORNER AREAS, PARKING SPACES, AND ALL INTERIOR DRIVEWAYS AND AISLES *EXCEPT THOSE WITH NO PARKING SPACES LOCATED ON EITHER SIDE*. A MINIMUM OF FOUR PERCENT PERVIOUS AREA OF THE TOTAL VEHICULAR USE AREA IS REQUIRED FOR PARKING LOT INTERIORS. AT LEAST TWO TREES SHALL BE LOCATED WITHIN 60 FEET OF EVERY PARKING SPACE, MEASURED FROM THE TRUNK OF THE TREE TO THE CENTER OF THE PARKING SPACE.

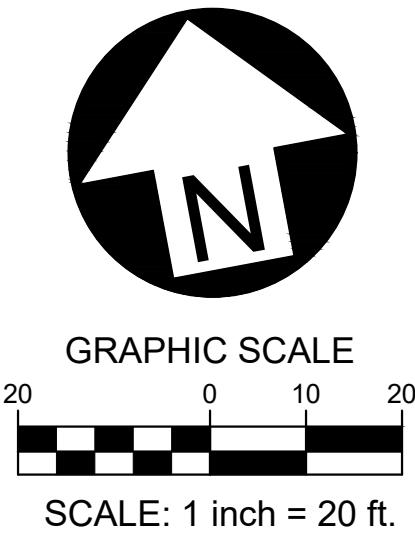
17,770 SF PARKING AREA @ 4% = 670.8 SF REQUIRED 728 SF AS SHOWN or 4.1% LANDSCAPE AREA
ALL ISLANDS WITH LANDSCAPING MEETS REQUIREMENT AS SHOWN
TWO SHADE TREES WITHIN 60 FT OF EVERY PARKING SPACE MEETS REQUIREMENT AS SHOWN

LANDSCAPE STRIP: WHEN A PARKING LOT IN ANY ZONE IS LOCATED ADJACENT TO A PUBLIC RIGHT-OF-WAY OR PRIVATE ROAD, A LANDSCAPED STRIP SHALL BE PROVIDED ON THE PROPERTY BETWEEN THE PARKING LOT AND THE RIGHT-OF-WAY. THE LANDSCAPE STRIP MAY NOT INCLUDE ANY PAVED AREA EXCEPT PEDESTRIAN SIDEWALKS OR TRAILS PERPENDICULAR TO THE ROADWAY, THAT CROSS THE LANDSCAPED STRIP. PROVIDE A MINIMUM TEN-FOOT WIDE LANDSCAPED STRIP BETWEEN THE RIGHT-OF-WAY AND THE PARKING LOT TO BE PLANTED WITH A MINIMUM OF ONE SHADE TREE AND TEN SHRUBS PER 35 LINEAR FEET OF FRONTAGE, EXCLUDING DRIVEWAY OPENINGS.

TAYLORSVILLE ROAD PARKING LOT - 21.8 LF /35 = 6.22 OR 7 TREES AND 62.2 OR 63 SHRUBS REQUIRED
8 TREE AND 69 SHRUBS AS SHOWN
MOUNT HOOD PARKING LOT- 80 LF /35 = 2.28 OR 3 TREES AND 22.8 OR 23 SHRUBS REQUIRED
3 TREE AND 24 SHRUBS AS SHOWN

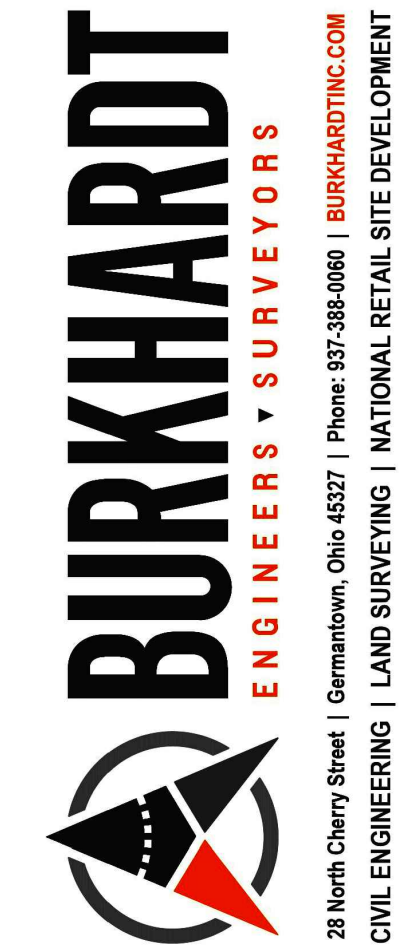
GENERAL SCREENING REQUIREMENTS: SIDE AND REAR YARD REQUIREMENTS FOR NONRESIDENTIAL USES ADJUTING RESIDENTIAL DISTRICTS. SUCH SCREENING SHALL HAVE A MINIMUM HEIGHT OF SIX FEET AND BE OF SUFFICIENT DENSITY OR OPAQUENESS TO ACCOMPLISH THE ABOVE STATED PURPOSES.
CONTINUOUS 6' EVERGREEN TREES ADDED AS SHOWN

OVERALL TREE REQUIREMENTS: ONE SHADE TREE IS REQUIRED PER 2,000 SQUARE FEET OR FRACTION OF OPEN SPACE PROVIDED.
12,830± SF OF OPEN SPACE PROVIDED/ 2,000 = 6.4 or 7 TREES REQUIRED
12 SHADE TREES AS SHOWN
+ EVERGREEN TREES



BASIC DEVELOPMENT PLAN FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE

6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: REB Proj:

Draw: REB Dwg:

Check: REB Tab:

Scale: 1"=20'

Date: 03.11.2021






Sheet:
**LANDSDCAPE
PLAN**

Sheet No.:

L-1.0

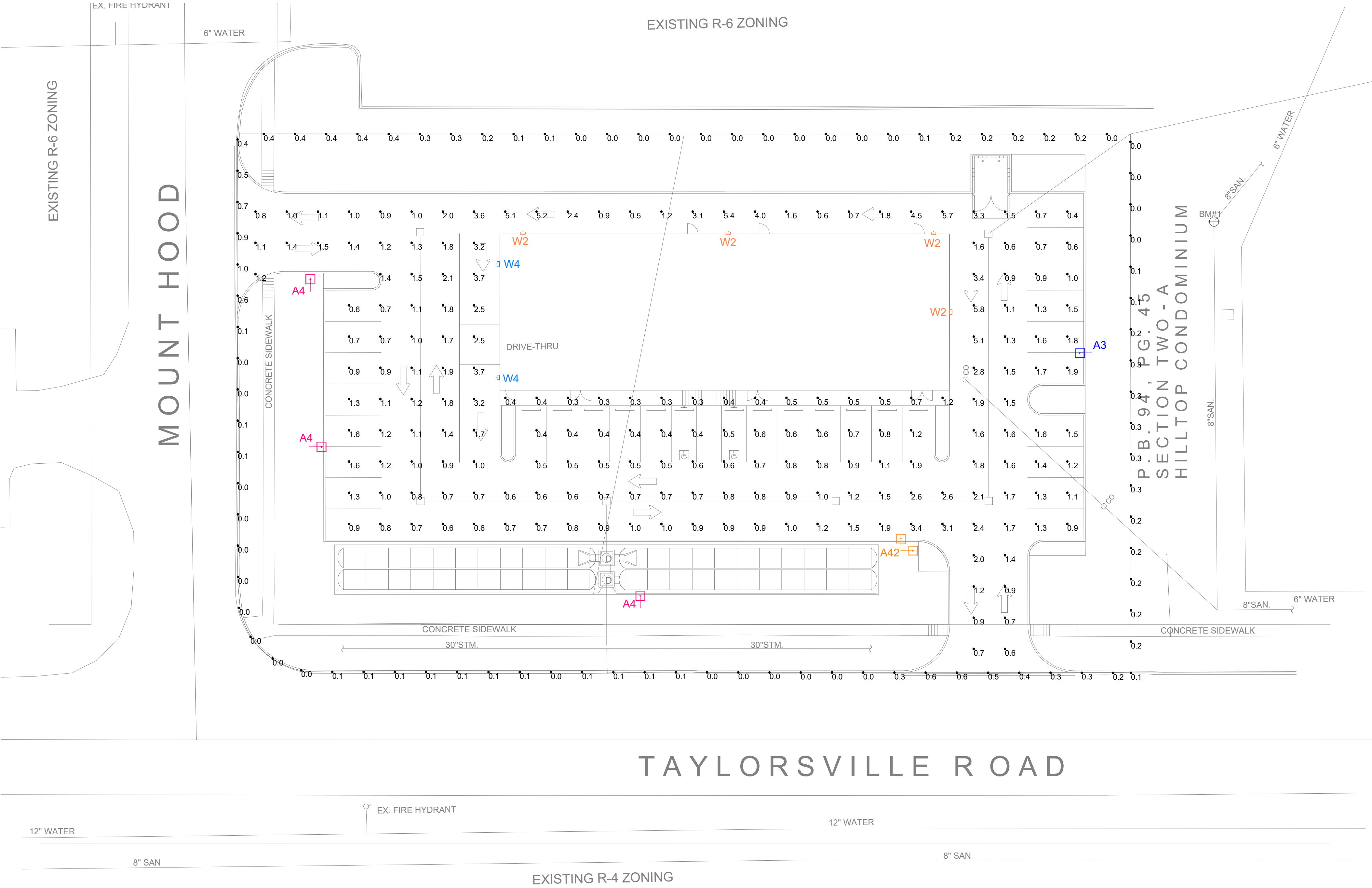
- PRELIMINARY PLANS -
NOT FOR CONSTRUCTION

Date	
Description	
Item	

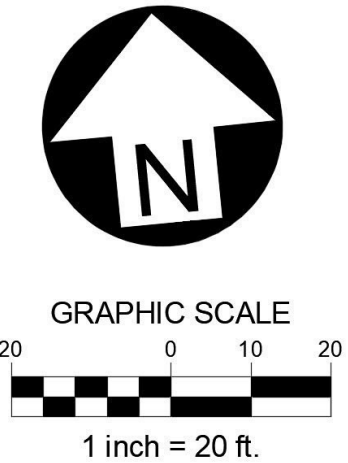
Luminaire Schedule							
Symbol	Label	Qty	LLF	Lum. Lumens	Manufacturer	Series	Lum. W
	A3	1	0.900	5873	Gardco	ECF-S-32L-530-CW-G2-3-HIS; 23 FT AFG (20 FT POLE, 3 FT BASE)	56
	A4	3	0.900	6048	Gardco	ECF-S-32L-530-CW-G2-4-HIS; 23 FT AFG (20 FT POLE, 3 FT BASE)	56
	A42	1	0.900	6048	Gardco	ECF-S-32L-530-CW-G2-4-HIS; 23 FT AFG (20 FT POLE, 3 FT BASE)	56
	W2	4	0.900	2944	SIGNIFY GARDCO	101L-16L-530-NW-G1-2; 10 FT AFG WALL MTD	28
	W4	2	0.900	2747	SIGNIFY GARDCO	101L-16L-530-NW-G1-4; 10 FT AFG WALL MTD	28

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Front Walkway	Illuminance	Fc	0.47	1.2	0.3	1.57	4.00	
Proposed Property Boundary	Illuminance	Fc	0.17	1.0	0.0	N.A.	N.A.	
Proposed Site	Illuminance	Fc	1.43	5.8	0.4	3.58	14.50	

CALCULATION NOTES:
A. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
B. THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS.
C. CALCULATIONS SHOWN ARE MAINTAINED ILLUMINANCE UNLESS NOTED OTHERWISE.
D. CALCULATIONS ARE TAKEN AT GRADE UNLESS NOTED OTHERWISE.
E. PHOTOMETRIC ANALYSIS COMPLETED BASED ON REQUIREMENTS STATED IN HUBER HEIGHTS, OH CODE OF ORDINANCES, 1181.21 LIGHTING STANDARDS (11): MAXIMUM LIGHTING WILL BE GOVERNED BY THE 4:1 RATIO OF AVERAGE TO MINIMUM ILLUMINATION OF THE SURFACE BEING LIT.



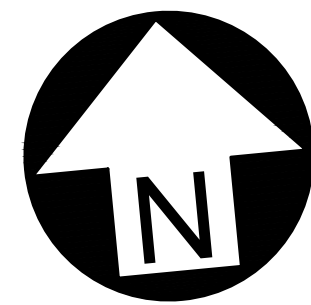
PROPOSED PHOTOMETRIC PLAN
Scale: 1 inch= 20 Ft.



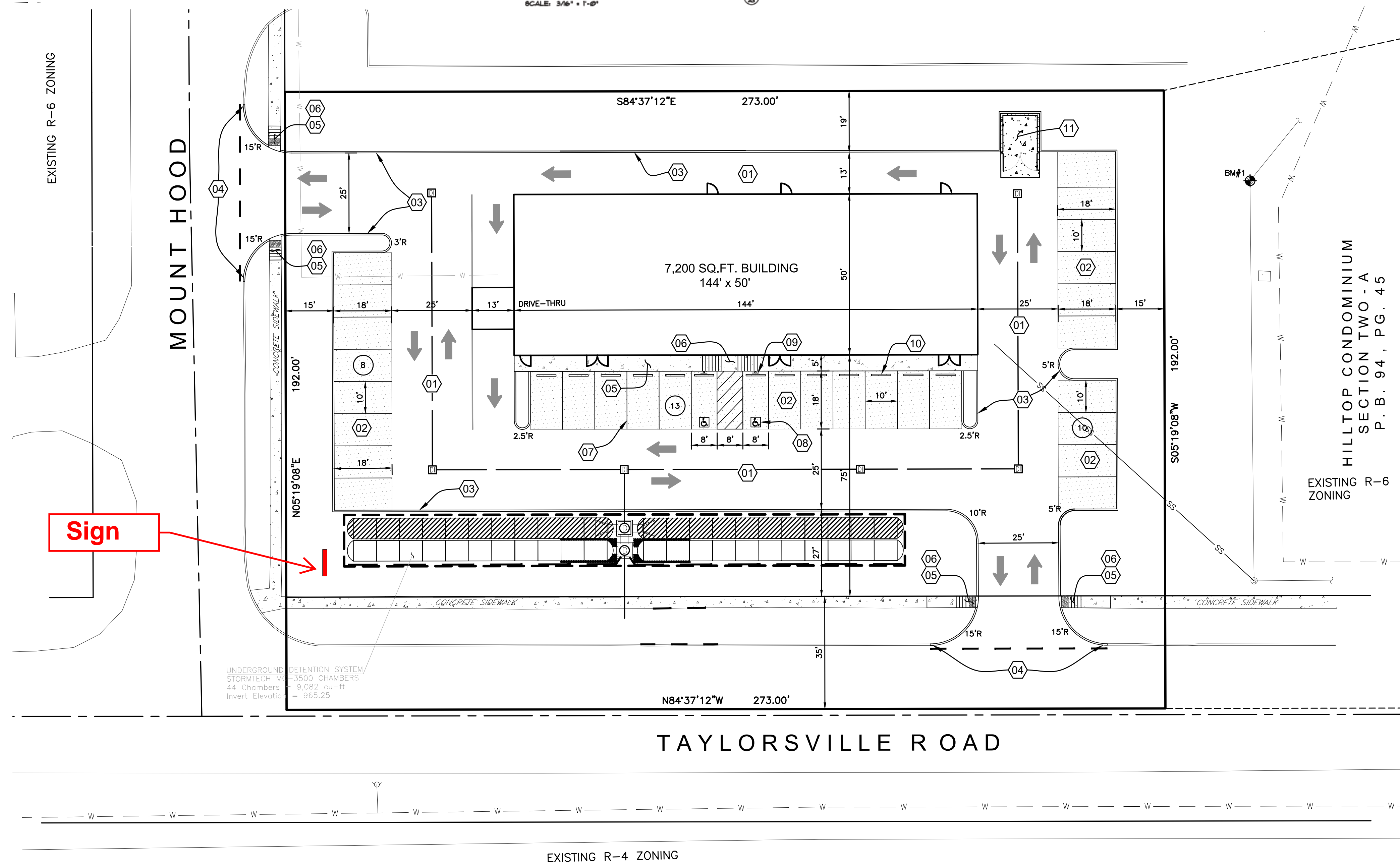
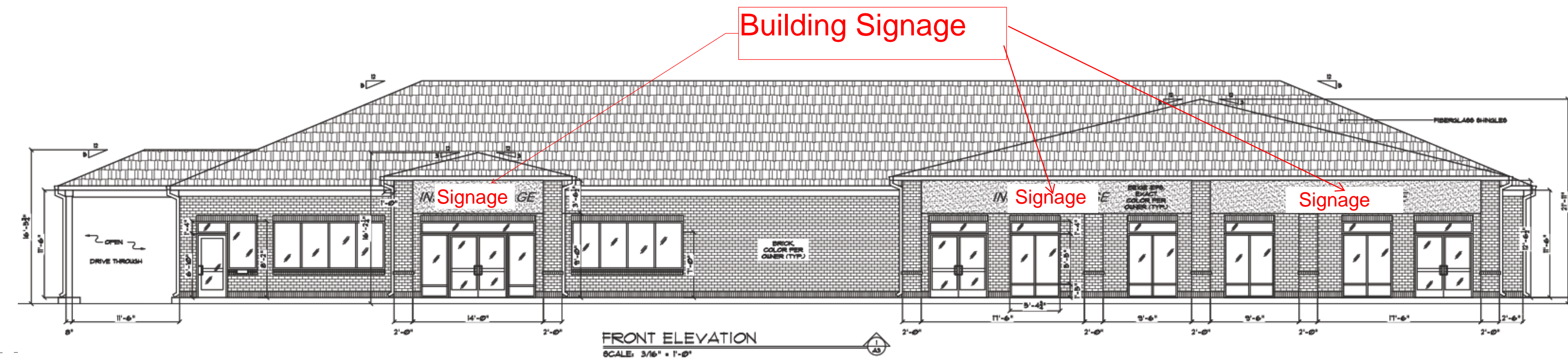
11785 HIGHWAY DR.
CINCINNATI, OH 45241
513-761-6360

LIGHTING PROPOSAL: BRLC22-012
SITE DEVELOPMENT PLANS FOR
TAYLORSVILLE ROAD COMMERCIAL SITE
6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

By: C.B.	Date: 3/7/2022	Scale: AS NOTED	REV:	SHEET 1 OF 1
----------	----------------	-----------------	------	--------------



GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.



Signage Plan

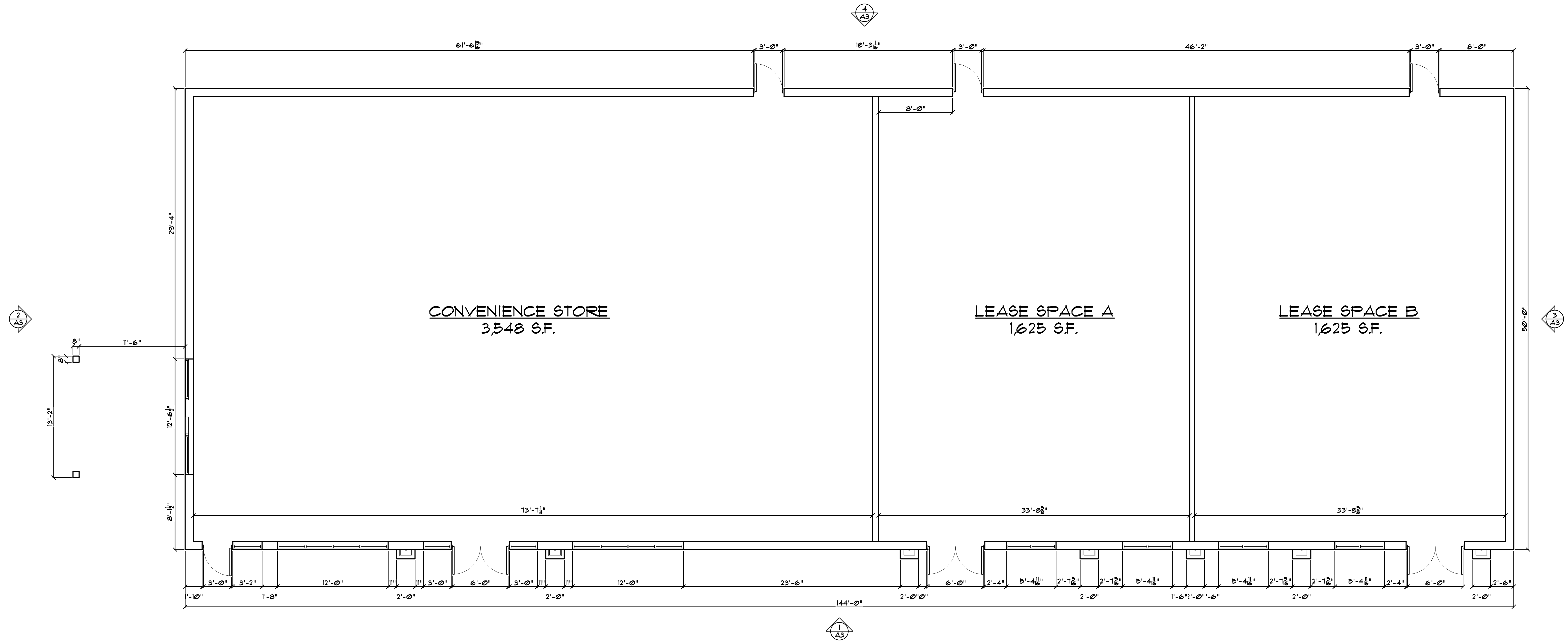
Signage Requires Separate Permit



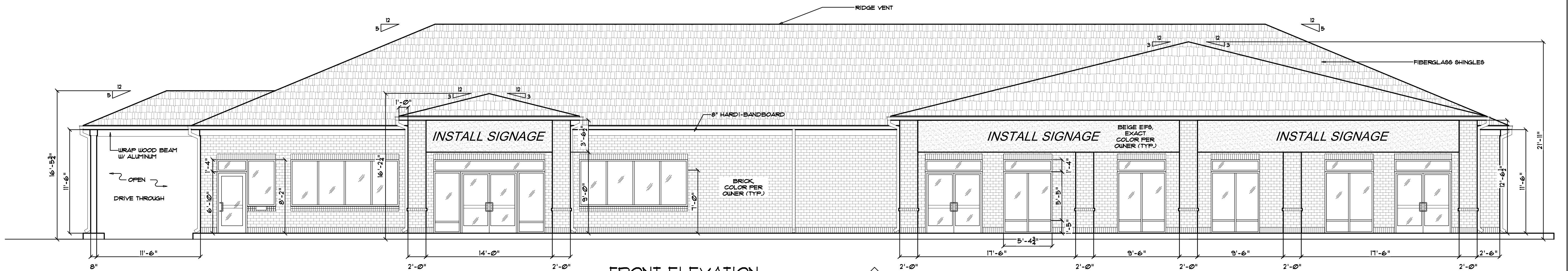
Know what's below.
Call before you dig.

SITE BENCHMARKS
BM#1 Description: Existing Sanitary Manhole
Rim Elevation: 972.22

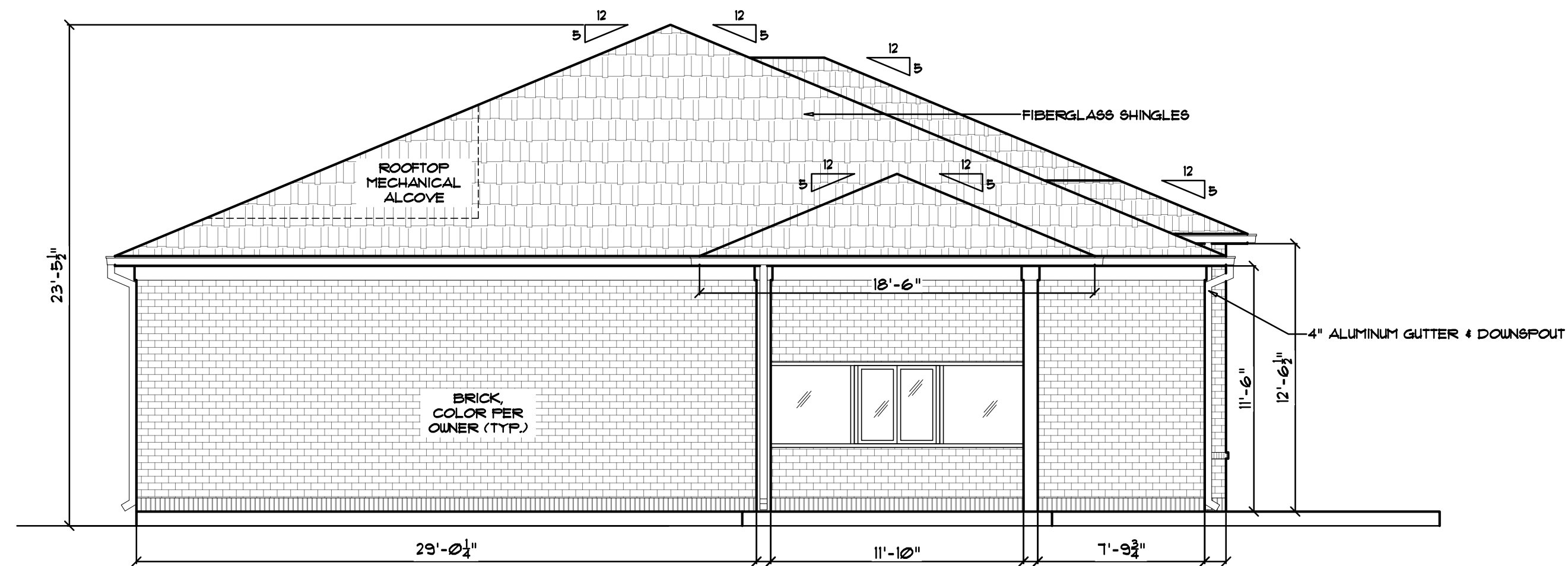




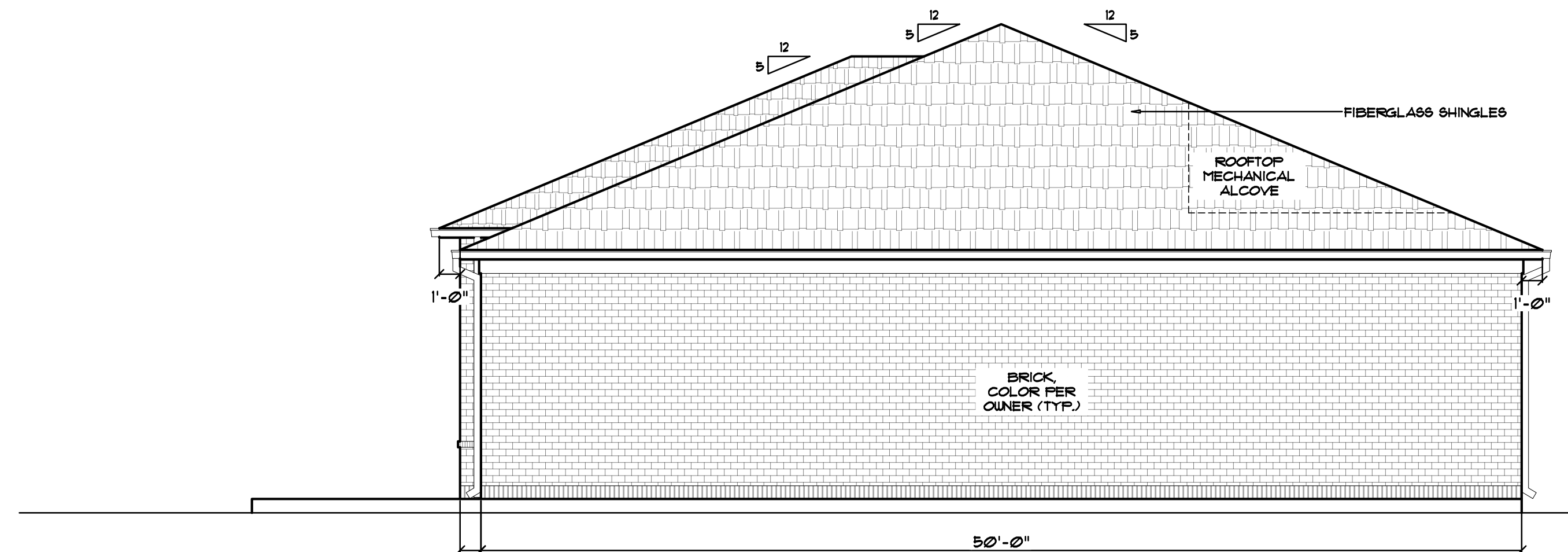
WHOLE BUILDING - PRELIMINARY FLOOR PLAN
SCALE: 3/16" = 1'-0"



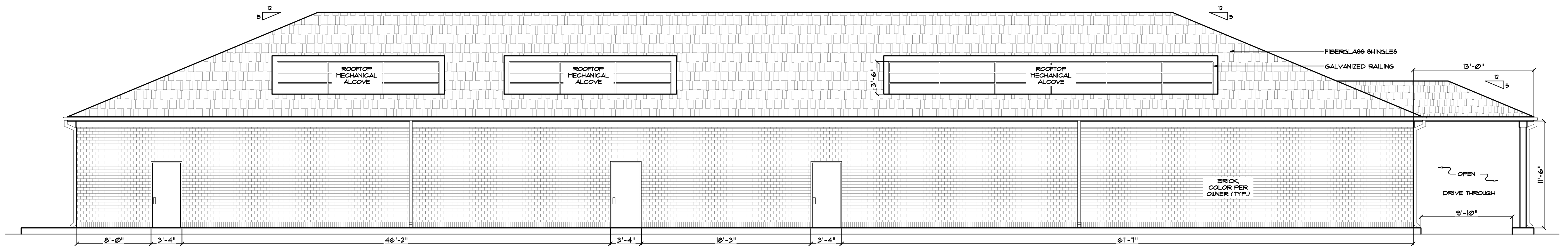
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



SIDE ELEVATION
SCALE: 3/16" = 1'-0"



SIDE ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

D.A.E.
Designs

DATE: 03/02/22
SCALE: 3/16" = 1'-0"
DRAWN BY: ZAM
CHECKED BY: DAE

6025 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
EXTERIOR ELEVATIONS

REVISIONS:

DAVID A. EATON
ARCHITECT #9824
EXP. DATE: 12/31/2023

THIS DOCUMENT IS THE EXCLUSIVE
PROPERTY OF D.A.E. DESIGNS. ANY
REPRODUCTION, REDISTRIBUTION
OR REUSE OF THIS DOCUMENT,
WITHOUT THE EXPRESSED WRITTEN
CONSENT OF D.A.E. DESIGNS, IS
PROHIBITED BY LAW.

D.A.E. Designs

LIBERTY TOWER
120 W. SECOND STREET, SUITE #401
DAYTON, OH 45402
PHONE (937) 299-3213

A=3



City of Huber Heights, Montgomery County

Taylorville Road Retail Development Traffic Impact Study

October 2021

W. Central Ohio/E. Indiana
440 E. Hoewisher Rd.
Sidney, OH 45365
937.497.0200 Phone

S. Ohio/N. Kentucky
8956 Glendale Milford Rd., Suite 1
Loveland, OH 45140
513.239.8554 Phone

www.CHOICEONEENGINEERING.com

**Date**

October 29, 2021

Attention

Parveen Wadhwa

Address

2946 Idaho Falls Drive
Beavercreek, Ohio 45431

Subject

Traffic Impact Study Submittal
Taylorsville Road Retail Development TIS
MOT-HHE-2111

Dear Mr. Wadhwa:

Enclosed is a Traffic Impact Study for the Taylorsville Road Retail Development. The results of the study indicate the following recommendations:

Taylorsville Road & Proposed Drive

- Construct the proposed drive along Taylorsville Road approximately 250 feet east of Mount Hood.
- The eastbound two-way left-turn lane should remain.

Mount Hood & Proposed Drive

- Construct the proposed drive along Mount Hood approximately 150 feet north of Taylorsville Road.

If you have any questions, feel free to contact our office.

Sincerely,

A handwritten signature in blue ink, reading "Michael K. Goettemoeller".

Michael K. Goettemoeller, P.E. PTOE
Project Manager

W. Central Ohio/E. Indiana
440 E. Hoewisher Rd.
Sidney, OH 45365
937.497.0200 Phone

S. Ohio/N. Kentucky
8956 Glendale Milford Rd., Suite 1
Loveland, OH 45140
513.239.8554 Phone

www.CHOICEONEENGINEERING.com



Table of Contents

Traffic Impact Study	2
Analysis Snapshot.....	2
Existing Conditions.....	2
Existing Traffic Volumes.....	2
Proposed Access Points.....	2
Trip Generation.....	2
Directional Distribution.....	3
2022 Opening Year Build Traffic Volumes.....	3
Growth Rate.....	3
Capacity Analysis.....	3
Turn Lane Analysis.....	4
Recommendations.....	4
APPENDIX	6
APPENDIX A - Turning Movement Counts.....	7
APPENDIX B - Concept Plan.....	8
APPENDIX C - Build Traffic Volumes.....	9
APPENDIX D – Growth Rate.....	10
APPENDIX E – 2022 Opening Year Capacity Analysis.....	11
APPENDIX F – Turn Lane Analysis.....	12

Traffic Impact Study

Analysis Snapshot

Choice One Engineering Corporation (COEC) was retained by HRI Commercial Realty to analyze the traffic impact of a proposed retail development to be submitted to the City of Huber Heights. The retail development is proposed to be in the northeast quadrant of Taylorsville Road and Mount Hood in the City of Huber Heights, Montgomery County, Ohio. The proposed development is expected to consist of a 7,200 square foot shopping center. The purpose of this study is to identify the traffic-related impacts of the proposed development during typical weekday AM and PM Peak Hours. This study anticipates one access point along Taylorsville Road approximately 250 feet east of Mount Hood and one access point along Mount Hood approximately 150 feet north of Taylorsville Road.

This traffic impact study includes: Existing Conditions, Existing Traffic Volumes, Proposed Access Points, Trip Generation, Directional Distribution, 2022 Opening Year Build Traffic Volumes, Growth Rate, Capacity Analysis, Turn Lane Analysis, and Recommendations.

Existing Conditions

Taylorsville Road is a three-lane roadway segment (1 eastbound lane, 1 westbound lane, and 1 two-way left-turn lane) and is classified as a "Major Collector" in ODOT's Functional Classification system. The speed limit on Taylorsville Road is 35 mph and has a 2019 ADT of 8,020 east of Mount Hood.

Mount Hood is a two-lane segment (1 northbound lane, 1 southbound lane) and is classified as a "Local Road" in ODOT's Functional Classification system. The speed limit on Mount Hood is 25 mph.

Existing Traffic Volumes

Video turning movement counts were collected by Choice One Engineering From 6:00 AM to 7:00 PM Thursday, October 14, 2021 at the intersection of Taylorsville Road & Mount Hood. The 2021 existing traffic volumes are attached in [Appendix A](#). The peak hours for the intersection of Taylorsville Road & Mount Hood were found to be from 8:45 to 9:45 AM and 3:15 to 4:15 PM.

Proposed Access Points

The proposed site plan has two (2) proposed access points. One (1) full access drive along Taylorsville Road, that is approximately 250 feet east of the Taylorsville Road & Mount Hood intersection. The site also has one (1) full access drive along Mount Hood, that is approximately 150 feet north of the Taylorsville Road & Mount Hood intersection. The proposed site plan is attached in [Appendix B](#).

Trip Generation

Using the average trip-generation rates given in the *Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition*, the inbound and outbound trips for the proposed Retail Development were calculated. The proposed development is expected to consist of a 7,200 square foot shopping center.

Using the average trip-generation rates given in the *Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition*, the inbound and outbound trips for the proposed development were calculated. The site generated trips were estimated using 7,200 square feet of shopping center (Land Use Code 820). According to the *ITE Trip Generation Manual, 10th Edition*, the proposed development is estimated to generate 1,005 Vehicular Trips during a typical weekday, 155 Trips during the AM peak hour (96 inbound and 59 outbound) and 78 trips during the PM peak hour (37 inbound and 41 outbound). The forecasted generated trips are attached in [Appendix C](#).

Directional Distribution

COEC analyzed the existing traffic volumes at the intersection of Taylorsville Road & Mount Hood along with the roadway ADTs to formulate the directional distribution. The directional distributions are attached in [Appendix C](#); a summary is below.

Directional Distribution

Route	Approach/Departure Distribution
To/From the East on Taylorsville Road	50% / 50%
To/From the West on Taylorsville Road	50% / 50%
Total	100% / 100%

2022 Opening Year Build Traffic Volumes

The 2022 Opening Year Build Traffic Volumes were calculated from the Existing Traffic Volumes increased by an annual growth rate for one year and then adding the trips generated by the proposed development to each of the entering and exiting movements. The 2022 Opening Year Build Traffic Volumes are attached in [Appendix C](#).

Growth Rate

According to ODOT's Transportation Mapping System, Brandt Pike (SR 201) and Old Troy Pike (SR 202) have an annual linear growth rate of 0.0%. Therefore, no growth rates were used for this study and no design year scenario was analyzed.

Capacity Analysis

Utilizing the 2022 Opening Year No-Build and Build Traffic Volumes, capacity calculations were performed for the studied intersections. The calculations employed procedures documented in the Highway Capacity Manual (Transportation Research Board, Sixth Edition, Updated 2016). The capacity of an intersection (signalized or un-signalized) can best be described by its corresponding Level of Service (LOS). The LOS of an intersection is a qualitative measure of the various attributes of an intersection. There are six LOS ranging from "ideal" free flow conditions at LOS "A," to forced or "breakdown" conditions at LOS "F." The LOS for un-signalized intersections is based upon total delay. Total delay is defined in the Highway Capacity Manual as the total elapsed time from when a vehicle stops at the end of the queue until the vehicle departs from the stop line; this time includes the time required for the vehicle to travel from the last-in-queue position to the first-in-queue position.

Capacity calculations were performed in Synchro 10 for the studied intersections analyzing the 2022 Opening Year No-Build and 2022 Opening Year Build Traffic Volumes. The tables below show a summary of the AM and PM Peak Hour Capacity Analysis. **All approaches during the Opening Year 2022 No-Build/Build traffic scenarios operate at an acceptable level of service.** The 2022 Opening Year Capacity Analysis is attached in [Appendix E](#).

Summary of Peak Hour Capacity Analysis

Direction	AM Peak Hour		PM Peak Hour	
	2022 No-Build	2022 Build	2022 No-Build	2022 Build
1 – Taylorsville Road & Mount Hood				
Eastbound Approach	A(1)	A(1)	A(2)	A(2)
Westbound Approach	A(0)	A(0)	A(0)	A(0)
Southbound Approach	B(13)	B(13)	C(16)	C(17)
Total Intersection LOS (Delay)	A(3)	A(3)	A(3)	A(3)
2 – Taylorsville Road & Proposed Drive				
Eastbound Approach	-	A(1)	-	A(1)
Westbound Approach	-	A(0)	-	A(0)
Southbound Approach	-	B(14)	-	C(15)
Total Intersection LOS (Delay)	-	A(1)	-	A(1)
3 – Mount Hood & Proposed Drive				
Westbound Approach	-	B(10)	-	B(11)
Northbound Approach	-	A(0)	-	A(0)
Southbound Approach	-	A(0)	-	A(0)
Total Intersection LOS (Delay)	-	A(1)	-	A(1)

Turn Lane Analysis

Turn Lane Analysis were completed for the free flow movements along Taylorsville Road at the Proposed Drive using the 2022 Opening Year Build Traffic Volumes. The proposed development is not expected to significantly increase turning traffic at the intersection of Taylorsville Road & Mount Hood so the warrants were not evaluated. Turn lane warrants were checked against the 2-Lane Highway Left (or Right) Turn Lane Warrants figures for a ≤ 40 MPH roadway in the ODOT Access Management Manual.

Based on the analyses, an eastbound left turn lane is warranted for the Proposed Drive along Taylorsville Road. Choice One recommends that the eastbound two-way left-turn lane remain as is for eastbound left turners. The turn lane analyses are attached in [Appendix F](#).

Recommendations

Based on the results of the analysis, the following recommendations are made for the surrounding roadway network:

Taylorsville Road & Proposed Drive

- Construct the proposed drive along Taylorsville Road approximately 250 feet east of Mount Hood.
- The eastbound two-way left-turn lane should remain.

Mount Hood & Proposed Drive

- Construct the proposed drive along Mount Hood approximately 150 feet north of Taylorsville Road.

The following included attachments detail the findings of Choice One:

- A. [Turning Movement Counts](#)
- B. [Concept Plan](#)
- C. [Build Traffic Volumes](#)
- D. [Growth Rate Correspondence](#)
- E. [2022 Opening Year Capacity Analysis](#)
- F. [Turn Lane Analysis](#)

APPENDIX

APPENDIX A - Turning Movement Counts

Study Name Taylorsville Road & Mount Hood
Start Date Thursday, October 14, 2021 6:00 AM
End Date Thursday, October 14, 2021 7:00 PM
Site Code

Report Summary

Time Period	Class.	Southbound				Westbound				Eastbound				Total
		R	L	I	O	R	T	I	O	T	L	I	O	
Peak 1	Lights	65	67	132	95	49	326	375	297	230	46	276	391	783
Specified Period	%	100%	99%	99%	98%	96%	97%	97%	94%	93%	100%	94%	97%	96%
6:00 AM - 12:00 PM	Other Vehicle:	0	1	1	2	2	11	13	19	18	0	18	11	32
One Hour Peak	%	0%	1%	1%	2%	4%	3%	3%	6%	7%	0%	6%	3%	4%
8:45 AM - 9:45 AM	Total	65	68	133	97	51	337	388	316	248	46	294	402	815
	PHF	0.9	0.57	0.69	0.81	0.71	0.84	0.82	0.82	0.94	0.77	0.95	0.86	0.87
	Approach %			16%	12%			48%	39%			36%	49%	
Peak 2	Lights	77	57	135	206	82	451	533	491	434	123	557	528	1225
Specified Period	%	95%	97%	96%	97%	93%	98%	97%	97%	97%	100%	97%	97%	97%
12:00 PM - 7:00 PM	Other Vehicle:	4	2	6	6	6	10	16	17	15	0	15	14	37
One Hour Peak	%	5%	3%	4%	3%	7%	2%	3%	3%	3%	0%	3%	3%	3%
3:15 PM - 4:15 PM	Total	81	59	141	212	88	461	549	508	449	123	572	542	1262
	PHF	0.75	0.74	0.8	0.88	0.65	0.84	0.85	0.91	0.94	0.88	0.94	0.89	0.96
	Approach %			11%	17%			44%	40%			45%	43%	

APPENDIX B - Concept Plan



EXISTING ZONING: R-4 RESIDENTIAL
PROPOSED ZONING: B-1 WITH VARIANCES OR PUD

B-1 ZONING REQUIREMENTS

Setbacks:
Front: 75' building and 25' parking setback when across the street from and 'R' district.
Side: 50' building setback when adjoining an 'R' district.
15' landscape buffer
Rear: 40' with landscaped buffer when adjoining an 'R' district

Parking:
1 space per 200 sq. ft. for first 2,000 sq. ft. then 1 space for every 250 sq. ft.
Required: 31 spaces / 2 handicap spaces
Provided: 31 spaces / 2 handicap spaces

Screening:
6' tall screening required along side and rear yards abutting a residential district

REZONING SITE PLAN FOR
TAYLORSVILLE ROAD
COMMERCIAL SITE
6025 TAYLORSVILLE ROAD
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



Design: AFD Proj: 21-285
Draw: AFD Dwg: 21.285.dwg
Check: KZ Tab: C2.0-SP
Scale: 1" = 20'

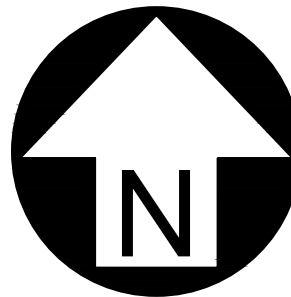
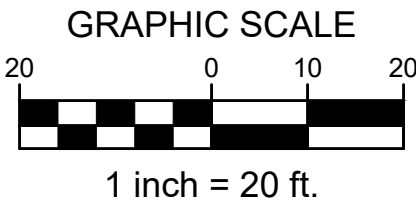
Date: 09.30.2021

Sheet: REZONING
SITE PLAN
7,200 SF BUILDING

Sheet No.: C-2.0



Know what's below.
Call before you dig.



APPENDIX C - Build Traffic Volumes

RETAIL DEVELOPMENT CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

Proposed Trips

Land Use Description	ITE Code	Size	Unit	Weekday				AM Peak Hour				PM Peak Hour			
				Total Trips	Primary Trips			Total Trips	Primary Trips			Total Trips	Primary Trips		
					Total	Entering	Exiting		Total	Entering	Exiting		Total	Entering	Exiting
Shopping Center	820	7,200	Dwelling Units	1,005	1,005	502	503	155	155	96	59	78	78	37	41
<i>Directional Distributions</i>						50%	50%			62%	38%			48%	52%
Totals				1,005	1,005	502	503	155	155	96	59	78	78	37	41

TRIP ASSIGNMENT ROUTINGS

ORIGIN		TRIP ROUTINGS O-D PERCENT		ROUTE SPLIT		AFFECTED MOVEMENTS BY TRIPS		AM TRIPS	PM TRIPS
<u>Entering Trips</u>									
Taylorsville Road (East)	2	50%	100%	2WBR				48	19
Taylorsville Road (West)	2	50%	100%	1EBT 2EBL				48	19
TOTAL ENTERING TRIPS								96	38
<u>Exiting Trips</u>									
2	Taylorsville Road (East)	50%	100%	2SBL				30	20
2	Taylorsville Road (West)	50%	50%	2SBR 1WBT				15	10
3	Taylorsville Road (West)	50%	50%	3WBL 1SBR				15	10
TOTAL EXITING TRIPS								60	40

Intersection Legend
1-Taylorsville Road & Mount Hood
2-Taylorsville Road & Proposed Drive
3-Mount Hood & Proposed Drive

TRAFFIC PROJECTIONS - AM PEAK HOUR

Int. #	Movement		2021	2022	Trips		2022	2032	2032
		Annual Growth Rate	Existing Counts	Opening Year No-Build Volumes	Primary Trips IN	Primary Trips OUT	Opening Year Build Volumes	Design Year No-Build Volumes	Design Year Build Volumes
1	EBL	0.00%	46	46			46	46	46
1	EBT	0.00%	248	248	48		296	248	296
1	WBT	0.00%	337	337		15	352	337	352
1	WBR	0.00%	51	51			51	51	51
1	SBL	0.00%	68	68			68	68	68
1	SBR	0.00%	65	65		15	80	65	80
2	EBL	0.00%	0	0	48		48	0	48
2	EBT	0.00%	316	316			316	316	316
2	WBT	0.00%	388	388			388	388	388
2	WBR	0.00%	0	0	48		48	0	48
2	SBL	0.00%	0	0		30	30	0	30
2	SBR	0.00%	0	0		15	15	0	15
3	WBL	0.00%	0	0		15	15	0	15
3	WBR	0.00%	0	0			0	0	0
3	NBT	0.00%	97	97			97	97	97
3	NBR	0.00%	0	0			0	0	0
3	SBL	0.00%	0	0			0	0	0
3	SBT	0.00%	133	133			133	133	133

Intersection Legend

1-Taylorsville Road & Mount Hood

2-Taylorsville Road & Proposed Drive

3-Mount Hood & Proposed Drive

TRAFFIC PROJECTIONS - PM PEAK HOUR

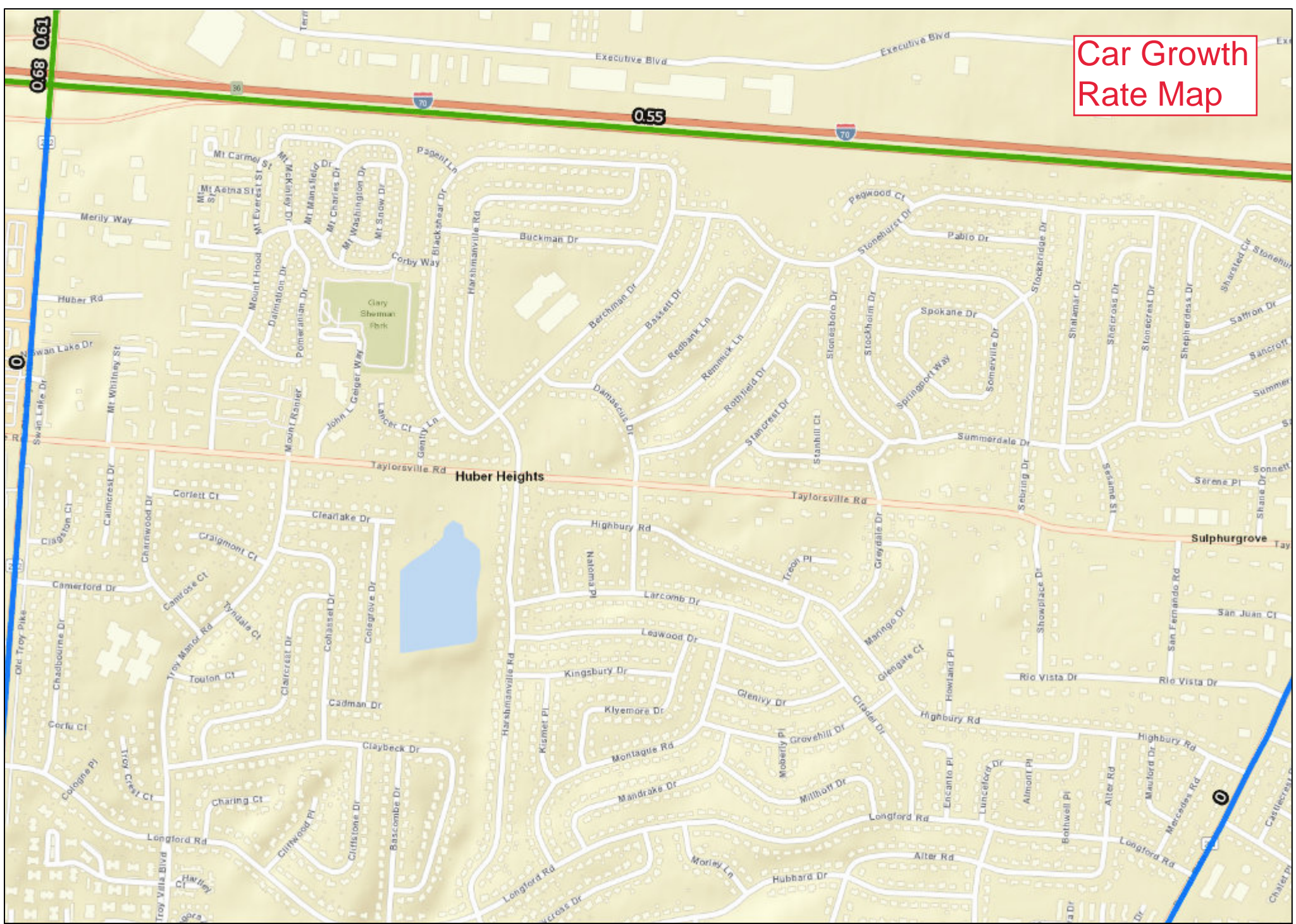
Int. #	Movement		2021	2022	Trips		2022	2032	2032
		Annual Growth Rate	Existing Counts	Opening Year No-Build Volumes	Primary Trips IN	Primary Trips OUT	Opening Year Build Volumes	Design Year No-Build Volumes	Design Year Build Volumes
1	EBL	0.00%	123	123			123	123	123
1	EBT	0.00%	449	449	19		468	449	468
1	WBT	0.00%	461	461		10	471	461	471
1	WBR	0.00%	88	88			88	88	88
1	SBL	0.00%	59	59			59	59	59
1	SBR	0.00%	81	81		10	91	81	91
2	EBL	0.00%	0	0	19		19	0	19
2	EBT	0.00%	508	508			508	508	508
2	WBT	0.00%	549	549			549	549	549
2	WBR	0.00%	0	0	19		19	0	19
2	SBL	0.00%	0	0		20	20	0	20
2	SBR	0.00%	0	0		10	10	0	10
3	WBL	0.00%	0	0		10	10	0	10
3	WBR	0.00%	0	0			0	0	0
3	NBT	0.00%	211	211			211	211	211
3	NBR	0.00%	0	0			0	0	0
3	SBL	0.00%	0	0			0	0	0
3	SBT	0.00%	140	140			140	140	140

Intersection Legend

- 1-Taylorsville Road & Mount Hood
- 2-Taylorsville Road & Proposed Drive
- 3-Mount Hood & Proposed Drive

APPENDIX D – Growth Rate

Car Growth Rate Map








APPENDIX E – 2022 Opening Year Capacity Analysis

HCM 6th TWSC
1: Taylorsville Road & Mount Hood

10/27/2021

Intersection

Int Delay, s/veh 2.5

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	46	248	337	51	68	65
Future Vol, veh/h	46	248	337	51	68	65
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	75
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	50	270	366	55	74	71

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	421	0	0 764 394
Stage 1	-	-	- - 394 -
Stage 2	-	-	- - 370 -
Critical Hdwy	4.12	-	- - 6.42 6.22
Critical Hdwy Stg 1	-	-	- - 5.42 -
Critical Hdwy Stg 2	-	-	- - 5.42 -
Follow-up Hdwy	2.218	-	- - 3.518 3.318
Pot Cap-1 Maneuver	1138	-	- - 372 655
Stage 1	-	-	- - 681 -
Stage 2	-	-	- - 699 -
Platoon blocked, %		-	- -
Mov Cap-1 Maneuver	1138	-	- - 356 655
Mov Cap-2 Maneuver	-	-	- - 470 -
Stage 1	-	-	- - 651 -
Stage 2	-	-	- - 699 -

Approach	EB	WB	SB
HCM Control Delay, s	1.3	0	12.7
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	1138	-	-	-	470	655
HCM Lane V/C Ratio	0.044	-	-	-	0.157	0.108
HCM Control Delay (s)	8.3	-	-	-	14.1	11.2
HCM Lane LOS	A	-	-	-	B	B
HCM 95th %tile Q(veh)	0.1	-	-	-	0.6	0.4






HCM 6th TWSC

1: Taylorsville Road & Mount Hood

10/27/2021

Intersection

Int Delay, s/veh 2.6

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	46	296	352	51	68	80
Future Vol, veh/h	46	296	352	51	68	80
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	75
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	50	322	383	55	74	87

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	438	0	0 833 411
Stage 1	-	-	- 411 -
Stage 2	-	-	- 422 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	1122	-	- 339 641
Stage 1	-	-	- 669 -
Stage 2	-	-	- 662 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1122	-	- 324 641
Mov Cap-2 Maneuver	-	-	- 445 -
Stage 1	-	-	- 639 -
Stage 2	-	-	- 662 -





Approach	EB	WB	SB
HCM Control Delay, s	1.1	0	13
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	1122	-	-	-	445	641
HCM Lane V/C Ratio	0.045	-	-	-	0.166	0.136
HCM Control Delay (s)	8.4	-	-	-	14.7	11.5
HCM Lane LOS	A	-	-	-	B	B
HCM 95th %tile Q(veh)	0.1	-	-	-	0.6	0.5

HCM 6th TWSC

2: Taylorsville Road & Proposed Drive




10/27/2021

Intersection						
Int Delay, s/veh	1.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	48	316	388	48	30	15
Future Vol, veh/h	48	316	388	48	30	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	52	343	422	52	33	16
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	474	0	-	0	895	448
Stage 1	-	-	-	-	448	-
Stage 2	-	-	-	-	447	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1088	-	-	-	311	611
Stage 1	-	-	-	-	644	-
Stage 2	-	-	-	-	644	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1088	-	-	-	296	611
Mov Cap-2 Maneuver	-	-	-	-	422	-
Stage 1	-	-	-	-	613	-
Stage 2	-	-	-	-	644	-
Approach	EB	WB		SB		
HCM Control Delay, s	1.1	0		13.5		
HCM LOS	B					
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1088	-	-	-	471	
HCM Lane V/C Ratio	0.048	-	-	-	0.104	
HCM Control Delay (s)	8.5	-	-	-	13.5	
HCM Lane LOS	A	-	-	-	B	
HCM 95th %tile Q(veh)	0.2	-	-	-	0.3	

HCM 6th TWSC

3: Mount Hood & Proposed Drive

10/27/2021






Intersection						
Int Delay, s/veh	0.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	15	0	97	0	0	133
Future Vol, veh/h	15	0	97	0	0	133
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	0	105	0	0	145
Major/Minor	Minor1	Major1		Major2		
Conflicting Flow All	250	105	0	0	105	0
Stage 1	105	-	-	-	-	-
Stage 2	145	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	739	949	-	-	1486	-
Stage 1	919	-	-	-	-	-
Stage 2	882	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	739	949	-	-	1486	-
Mov Cap-2 Maneuver	739	-	-	-	-	-
Stage 1	919	-	-	-	-	-
Stage 2	882	-	-	-	-	-
Approach	WB	NB		SB		
HCM Control Delay, s	10	0		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBT	NBRWBLn1		SBL	SBT	
Capacity (veh/h)	-	- 739		1486	-	
HCM Lane V/C Ratio	-	- 0.022		-	-	
HCM Control Delay (s)	-	- 10		0	-	
HCM Lane LOS	-	- B		A	-	
HCM 95th %tile Q(veh)	-	- 0.1		0	-	

HCM 6th TWSC
1: Taylorsville Road & Mount Hood

10/27/2021

Intersection

Int Delay, s/veh 2.7

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	123	449	461	88	59	81
Future Vol, veh/h	123	449	461	88	59	81
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	75
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	134	488	501	96	64	88

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	597	0	0 1305 549
Stage 1	-	-	- 549 -
Stage 2	-	-	- 756 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	980	-	- 177 535
Stage 1	-	-	- 579 -
Stage 2	-	-	- 464 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	980	-	- 153 535
Mov Cap-2 Maneuver	-	-	- 289 -
Stage 1	-	-	- 500 -
Stage 2	-	-	- 464 -

Approach	EB	WB	SB
HCM Control Delay, s	2	0	16.4
HCM LOS			C






Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	980	-	-	-	289	535
HCM Lane V/C Ratio	0.136	-	-	-	0.222	0.165
HCM Control Delay (s)	9.3	-	-	-	21	13.1
HCM Lane LOS	A	-	-	-	C	B
HCM 95th %tile Q(veh)	0.5	-	-	-	0.8	0.6

HCM 6th TWSC
1: Taylorsville Road & Mount Hood

10/27/2021

Intersection

Int Delay, s/veh 2.8

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	123	468	471	88	59	91
Future Vol, veh/h	123	468	471	88	59	91
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	75
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	134	509	512	96	64	99

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	608	0	0 1337 560
Stage 1	-	-	- 560 -
Stage 2	-	-	- 777 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	970	-	- 169 528
Stage 1	-	-	- 572 -
Stage 2	-	-	- 453 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	970	-	- 146 528
Mov Cap-2 Maneuver	-	-	- 282 -
Stage 1	-	-	- 493 -
Stage 2	-	-	- 453 -

Approach	EB	WB	SB
HCM Control Delay, s	1.9	0	16.6
HCM LOS			C

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	970	-	-	-	282	528
HCM Lane V/C Ratio	0.138	-	-	-	0.227	0.187
HCM Control Delay (s)	9.3	-	-	-	21.5	13.4
HCM Lane LOS	A	-	-	-	C	B
HCM 95th %tile Q(veh)	0.5	-	-	-	0.9	0.7





HCM 6th TWSC

2: Taylorsville Road & Proposed Drive

10/27/2021

Intersection

Int Delay, s/veh 0.6

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	19	508	549	19	20	10
Future Vol, veh/h	19	508	549	19	20	10
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	21	552	597	21	22	11

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	618	0	0 1202 608
Stage 1	-	-	- 608 -
Stage 2	-	-	- 594 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	962	-	- 204 496
Stage 1	-	-	- 543 -
Stage 2	-	-	- 552 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	962	-	- 200 496
Mov Cap-2 Maneuver	-	-	- 338 -
Stage 1	-	-	- 531 -
Stage 2	-	-	- 552 -

Approach	EB	WB	SB
HCM Control Delay, s	0.3	0	15.4
HCM LOS			C

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	962	-	-	-	378
HCM Lane V/C Ratio	0.021	-	-	-	0.086
HCM Control Delay (s)	8.8	-	-	-	15.4
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0.1	-	-	-	0.3




HCM 6th TWSC

3: Mount Hood & Proposed Drive

10/27/2021

Intersection

Int Delay, s/veh 0.3

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	10	0	211	0	0	140
Future Vol, veh/h	10	0	211	0	0	140
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	0	229	0	0	152

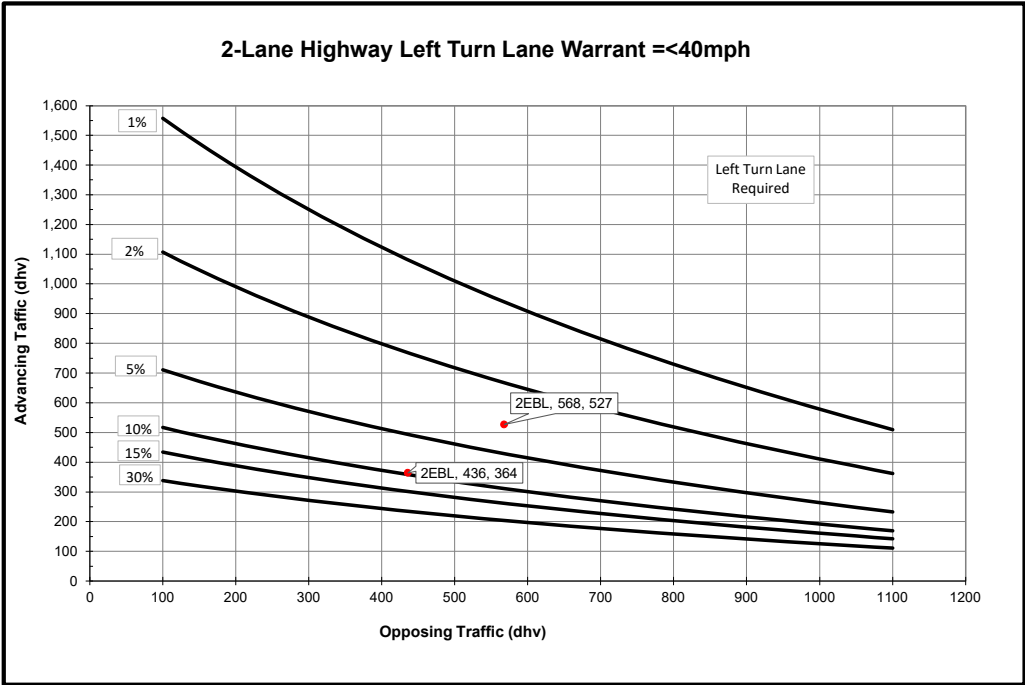
Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	381	229	0
Stage 1	229	-	-
Stage 2	152	-	-
Critical Hdwy	6.42	6.22	4.12
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	2.218
Pot Cap-1 Maneuver	621	810	1339
Stage 1	809	-	-
Stage 2	876	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	621	810	1339
Mov Cap-2 Maneuver	621	-	-
Stage 1	809	-	-
Stage 2	876	-	-

Approach	WB	NB	SB
HCM Control Delay, s	10.9	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	621	1339
HCM Lane V/C Ratio	-	-	0.018	-
HCM Control Delay (s)	-	-	10.9	0
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.1	0

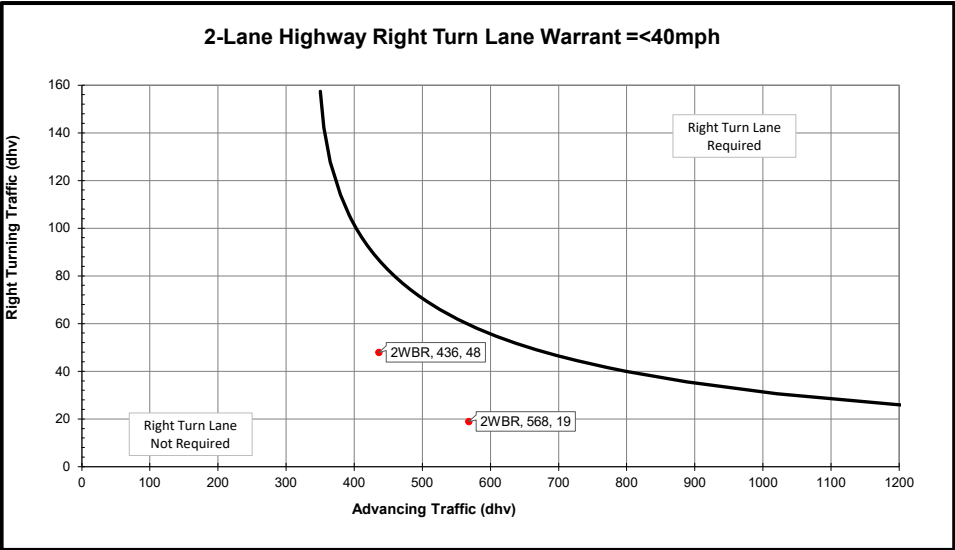
APPENDIX F – Turn Lane Analysis

Left Turn Lane Warrant				
Opening Year Build Volumes				
PM Peak Hour				
Intersection	Left Turning Vol	Advancing Vol	Opposing Vol	Left Turn %
2EBL	19	527	568	4%
AM Peak Hour				
Intersection	Left Turning Vol	Advancing Vol	Opposing Vol	Left Turn %
2EBL	48	364	436	13%



Intersection Legend
1-Taylorsville Road & Mount Hood
2-Taylorsville Road & Proposed Drive
3-Mount Hood & Proposed Drive

Right Turn Lane Warrant		
Opening Year Build Volumes		
PM Peak Hour		
Intersection	Right Turning Vol	Advancing Vol
2WBR	19	568
AM Peak Hour		
Intersection	Right Turning Vol	Advancing Vol
2WBR	48	436



Intersection Legend
1-Taylorsville Road & Mount Hood
2-Taylorsville Road & Proposed Drive
3-Mount Hood & Proposed Drive

Turn Lane Lengths

Movement	Scenario	Turning Vol. (AM)	Turning Vol. (PM)	Cycles/ Hour	Veh/Cycle (AM)	Veh/Cycle (PM)	Avg. Veh/Hour	Storage Length (ft.)	Condition "A"	Existing Length (ft.)	Recommended Length
2EBL	2031 Build	19	48	60	0.317	0.800	0.8	50	100	TWLT	No Change



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Mini Mart		
Occupancy Address:	6025 Taylorsville Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	21-221/22-052
MCBR ELE:		HHFD Box:	25
REVIEWER:	Susong	DATE:	3/29/2022

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted for permit. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017 and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.

Requirements: (Site Plan)

- **Proposed driveways are acceptable and appear to meet Ohio Fire Code requirements for turn radius.**
- **If building will be equipped with a fire sprinkler system at least one fire hydrant will be required within 75 feet of the Fire Department Connection for the sprinkler system. (Huber Heights Codified Ordinance 1521.01)**
- **A permit shall be obtained for construction from Montgomery County Building Regulations.**

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

Hoskins, Geralyn

From: Bergman, Russ
Sent: Friday, April 1, 2022 12:31 PM
To: aaron.sorrell@cp-planning.com
Cc: Hoskins, Geralyn
Subject: Taylorsville Road Commercial Site

Aaron,

The comments for the Taylorsville Road Commercial Site are as follows:

- Entrances to the site to be constructed according to the City's Commercial Drive Detail. The entrance from Taylorsville Road is to be 36' wide.
- Connect all building downspouts to catch basins
- The width of the drive lane behind the building to be approved by the Fire Department.
- Show the existing 10' easement on the property to the north (behind Right-of-Way) for water service.
- Sanitary service connection on property to the east (Hilltop Condominiums) requires a new easement.
- Provide stormwater detention calculations.
- Provide location and detail (City Standard) for the 2" water meter pit. The pit shall be located behind the sidewalk within the building lot (not inside the building).
- Maintain existing sidewalk across the drive approach areas until the new drive approach is constructed.
- Site to be reviewed and approved by the Fire Department.

Russ Bergman, P.E.
City of Huber Heights
City Engineer
(937) 237-5816
rbergman@hhoh.org

AI-8316

7. C.

Planning Commission

Meeting Date: 04/12/2022

Major Change and Detailed Development Plan

Information

Agenda Title

MAJOR CHANGE TO DETAILED DEVELOPMENT PLAN - The applicant, HALLE PROPERTIES, LLC, is requesting approval of a Major Change to An Approved Detailed Development Plan for Discount Tire (MJC 22-15).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Elevations

Floor Plan

Fire Assessment

Engineering Comments

Memorandum

Staff Report for Meeting of April 12, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner
Community Planning Insights

Date: April 4, 2022

Subject: MJC 22-15 Major Change to Detailed Development Plan for Discount Tire

Application dated March 18, 2022

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Halle Properties, LLC – Applicant
Broad Reach Retail Partners - Owner

DEVELOPMENT NAME: Huber Heights Crossing

ADDRESS/LOCATION: 7578 Old Troy Pike

ZONING/ACREAGE: Planned Mixed Use / 1.15 acres

EXISTING LAND USE: Vacant / Under Construction

**ZONING
ADJACENT LAND:** Planned Commercial / R-6

REQUEST: The applicant requests a Major Change to an
Approved Detailed Development Plan to increase the
building size from 7,020 SF to 7,680 SF

ORIGINAL APPROVAL: ZC 21-29: September 28, 2021

APPLICABLE HHCC: Chapter 1171

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

On September 28, 2021, the Planning Commission approved the detailed development plan for a 7,020 square foot Discount Tire retail store. The applicant is requesting a major change to the detailed development plan to add a service bay and increase the size of the building to 7,680 square feet.

Applicable Zoning Regulations (Only relevant sections are cited below)

1171.09 Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.*

1171.11 Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) Major Changes.* Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.
- (b) Minor Changes.* The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.

Conformance with Zoning Regulations

The revised proposal is very similar to the concept originally approved by the Planning Commission. In addition to the larger building, parking has been reduced from 39 spaces to 30 spaces. Only nine spaces are required under the zoning code.

The proposed landscaping plan is very similar to the originally approved plans and meet the landscaping requirements.

It does not appear that signs were included in the original review and approval by the Zoning Commission. Three internally illuminated wall signs are proposed. The largest, facing Old Troy Pike is approximately 85 square feet and the two smaller wall signs are approximately 66 square feet each, which is a total of 217 square feet of wall sign area.

The zoning code gives the Planning Commission great flexibility in approving signage in planned development districts. The code guidance for wall signs in commercial districts is a total of 150 square feet and no sign should exceed 75 square feet. The two recent sign approvals (Popeyes and Dunkin Donuts) met these standards. However, those buildings are significantly smaller (3,200 SF and 2,030 SF) than what is proposed in this application. Given the larger building size, larger wall signs may be warranted.

Standards for Approval

1171.11 Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) *Major Changes.* Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.
- (b) *Minor Changes.* The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.

Staff Analysis

The applicant seeks a major change to increase the building size of a previously approved detailed development plan and approval of the sign package. Aside from the change of building size, the plans are very similar to the previous approval and meet the requirements of the Basic Development Plan.

Additional Comments:

Fire: None received

City Engineer:

- Provide location of closest fire hydrant – distance needs to be checked by the Fire Department.
- Connect all building downspouts to catch basins.
- Provide location and details of the water meter pit.
- Provide detail for Right in/Right out island unless that is part of a different contract.

Recommendation

Staff recommends approval of the major change to the detailed development plan as submitted.

Planning Commission Action

The planning commission may approve, approve with conditions or deny the major change to the detailed development plan.



Planning Commission Decision Record

WHEREAS, on March 18, 2022, the applicant, Halle Properties, LLC, requested approval of a Major Change to the Detailed Development Plan to increase the building size from 7,020 square feet to 7,680 square feet for Discount Tire at property located at 7578 Old Troy Pike, Parcel Numbers P70-04005-0015 and P70-04005 0043 of the Montgomery County, Ohio Records (Case MJC 22-15); and

WHEREAS, on April 12, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

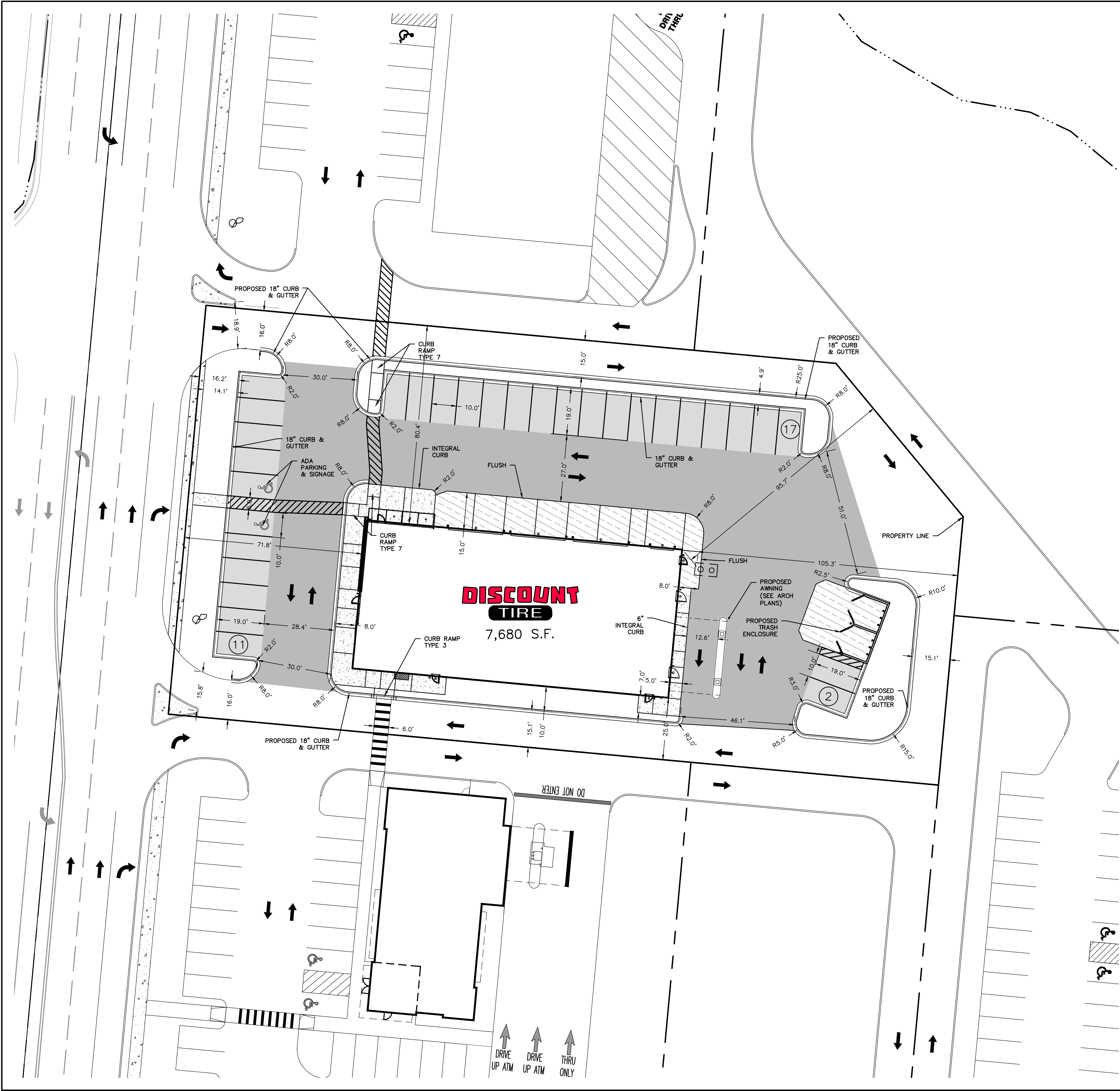
moved to recommend approval of the request by the applicant, Halle Properties, LLC, for the approval of a Major Change to the a Detailed Development Plan to increase the building size from 7,020 square feet to 7,680 square feet for Discount Tire at property located at 7578 Old Troy Pike, Parcel Numbers P70-04005-0015 and P70-04005-0043 of the Montgomery County, Ohio Records (Case MJC 22-15) in accordance with the recommendation of Staff's Memorandum dated April 4, 2022, with the following conditions:

1. Applicant shall comply with all Engineering requirements.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried .

Terry Walton, Chair
Planning Commission

Date



LEGEND

- PROPERTY LINE
- PROPOSED 18" CURB & GUTTER
- PROPOSED THICKENED CURB & GUTTER
- HEAVY-DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- PROPOSED ACCESSIBLE PAVEMENT MARKING
- VAN ACCESSIBLE STALL
- STALL PARKING COUNT
- PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)

GRAPHIC SCALE

10 0 10 20 40

(IN FEET)

PARKING CALCULATIONS

PROVIDED STANDARD SPACES	28		
PROVIDED ACCESSIBLE SPACES	2		
PROVIDED TOTAL SPACES	30		
RETAIL SPACE (2400 SQ FT)	1 PER 400 SQFT	6 SPACES	
SERVICE BAYS (6 BAYS)	2 PER SERVICE BAY	12 SPACES	
TOTAL REQUIRED SPACES		18	
REQUIRED ACCESSIBLE SPACES	2		
REQUIRED LOADING SPACES	1		
PROVIDED LOADING SPACES	1		

- GENERAL NOTES:
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
 - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
 - ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - ALL WORK IN THE PUBLIC ROW SHALL BE PERFORMED BY A COUNTY-LICENSED CONTRACTOR
 - THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THE COUNTY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER OF THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.

SITE STATISTICS

PARCEL AREA	SQFT	AC	COVERAGE
	50,199	1.15	
PROPOSED BUILDING AREA	7,680	0.17	15.3%
PROPOSED PERVIOUS	4,723	0.11	9.4%
PROPOSED IMPERVIOUS*	45,476	1.04	90.6%

*INCLUDES BUILDING AREA

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF HUBER HEIGHTS EROSION CONTROL ORDINANCE AND THE OHIO EPA EROSION CONTROL REQUIREMENTS; THE MOST STRINGENT TO APPLY.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RIM ELEVATIONS ARE GIVEN AT THE FLOW LINE FOR CURB INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

DISCOUNT TIRE - OHD 12421
HUBER HEIGHTS, OH

DIMENSIONED SITE
PLAN

© COPYRIGHT 2022
R.A. Smith, Inc.

DATE: 03/14/2022

SCALE: 1" = 20'

JOB NO. 3210195

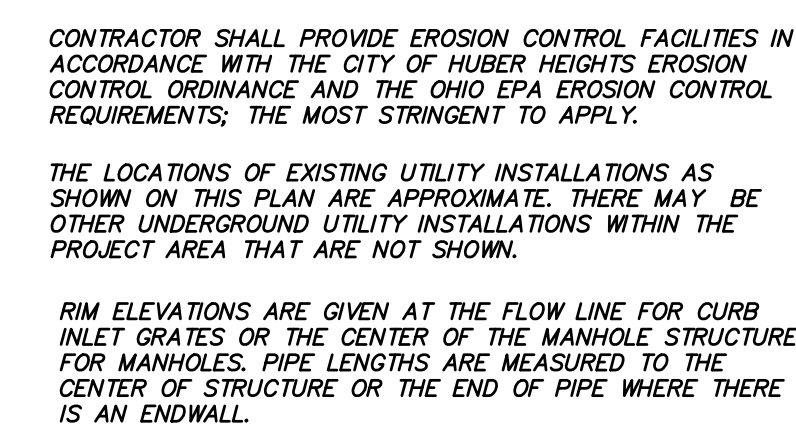
PROJECT MANAGER:
ROBERT J. HARLEY

DESIGNED BY: RJB

CHECKED BY: RJL








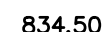





SHEET NUMBER

C100



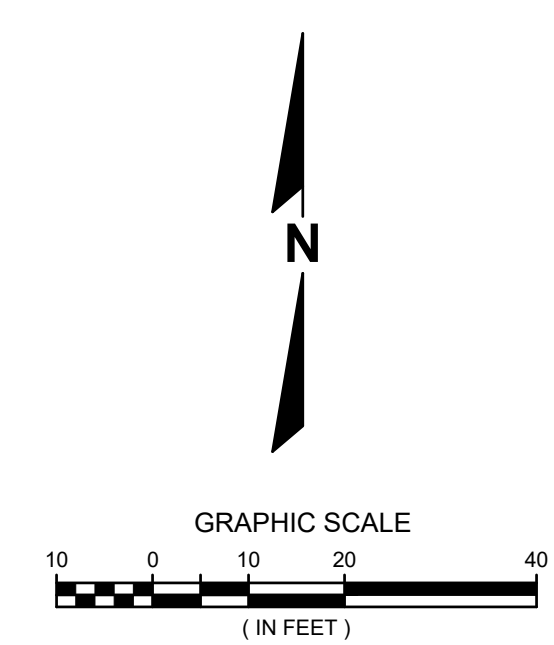
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

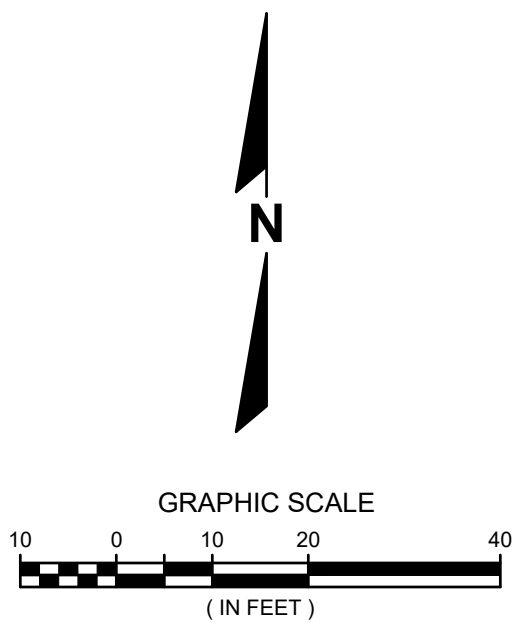
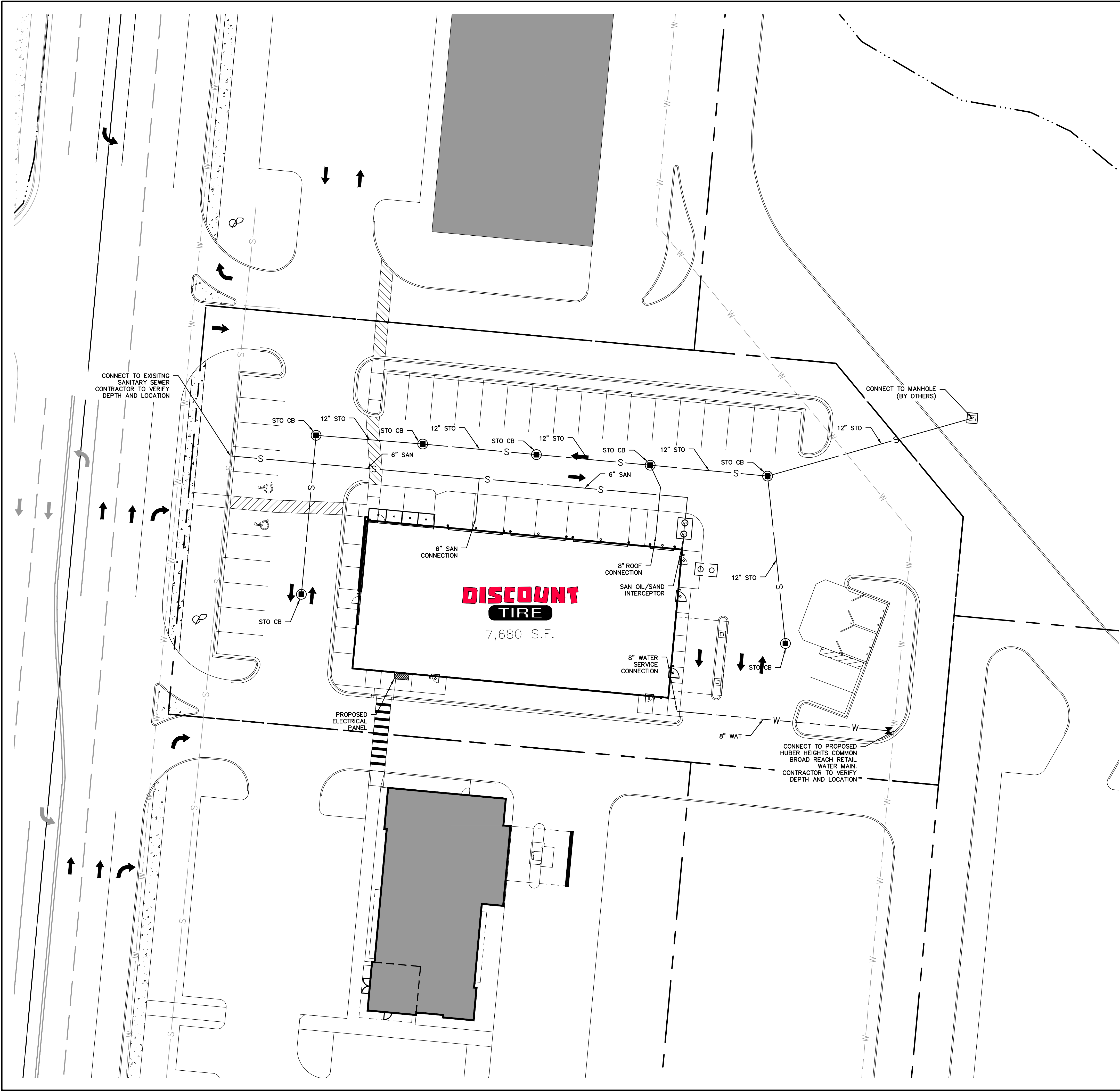
LEGEND

	PROPERTY LINE
	
	EXISTING 5-FT CONTOUR
	EXISTING 1-FT CONTOUR
	PROPOSED 5-FT CONTOUR
	PROPOSED 1-FT CONTOUR
	PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
	PROPOSED SPOT GRADE AT TOP OF CURB
	MATCHING GRADES INTO EXISTING
	PROPOSED DIRECTIONAL SLOPE ARROW
	PROPOSED CATCH BASIN
	PROPOSED STORM MANHOLE
	PROPOSED 18" CURB & GUTTER

GENERAL GRADING NOTES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND CUT AND FILL BALANCE INCLUDING UTILITY TRESH SPECIFICATIONS. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE, AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND DRIVEWAY AREAS, AND FINISH GRADING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT
8. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
9. ALL SIDEWALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
11. ALL STAIRS, RAILS & RETAINING WALLS SHOWN ON THESE PLANS ARE FOR LOCATION AND MATERIAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH A GEOTECHNICAL ENGINEER FOR STRUCTURE DESIGN. FOR APPROPRIATE DESIGN CERTIFICATION PRIOR TO CONSTRUCTION, DEPENDING ON THE TYPE OF STAIR OR WALL, FOR ALL CONCRETE BLOCK MODULAR SYSTEMS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL NECESSARY GEGRID, REINFORCEMENT, BACKFILL, COMPACTION AND DRAIN TIE ARE TO BE COORDINATED BETWEEN THE CONTRACTOR, GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL NATURAL STONE WALLS, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION USING ALL NECESSARY MEANS TO INSURE PROPER CONSTRUCTION, DRAINAGE, DESIGN, AND STABILITY. RAIN ASSUMES NO RESPONSIBILITY FOR THE INSTALLATION. GEOTECHNICAL INTEGRITY, OR STABILITY OF THE STAIRS, RAILINGS OR RETAINING WALLS.

[illegible]



LEGEND

- STO PROPOSED STORM SERVICE
- S PROPOSED SANITARY SERVICE
- W PROPOSED WATER SERVICE
- T PROPOSED TELEPHONE SERVICE
- E PROPOSED ELECTRIC SERVICE
- G PROPOSED GAS SERVICE
- PROPOSED FINGER DRAIN
- STO EXISTING STORM SERVICE
- S EXISTING SANITARY SERVICE
- W EXISTING WATER SERVICE
- T EXISTING TELEPHONE SERVICE
- E EXISTING ELECTRIC SERVICE
- G EXISTING GAS SERVICE
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED STORM MANHOLE

GENERAL NOTES:

- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER LATERAL CROSSES UNDER SEWER. MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER LATERAL CROSSES OVER SEWER. PROVIDE INSULATION BETWEEN WATER MAIN & LATERALS AND SEWER CROSSINGS WHERE THE VERTICAL SEPARATION IS LESS THAN 2.0'.
- PROVIDE GRANULAR BACKFILL FOR WATER MAIN IN ALL PAVED AREAS. PROVIDE SPOIL BACKFILL FOR WATER MAIN OUTSIDE OF PAVED AREAS.
- ALL WATER SERVICE JOINTS SHALL BE RESTRAINED WITH MEGALUGS.
- CONSTRUCTION SITE RUNOFF SHALL NOT FLOW INTO BMP AREAS. ALL STORMWATER FLOW TO BMP AREAS SHALL BE DIVERTED, PLUGGED OR DISCONNECTED UNTIL THE CONSTRUCTION SITE IS STABLE AND THE MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE BMP ON-LINE.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF HUBER HEIGHTS EROSION CONTROL ORDINANCE AND THE OHIO EPA EROSION CONTROL REQUIREMENTS; THE MOST STRINGENT TO APPLY.

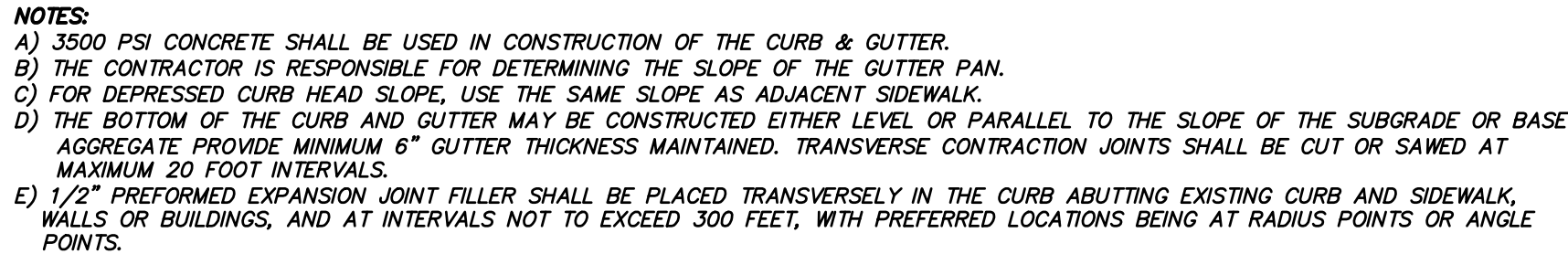
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RIM ELEVATIONS ARE GIVEN AT THE FLOW LINE FOR CURB INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.



R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

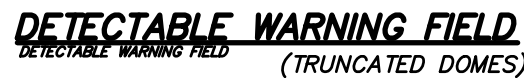
DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
DISCOUNT TIRE - OHD 12421 HUBER HEIGHTS, OH	
OVERALL UTILITY PLAN	
© COPYRIGHT 2022 R.A. Smith, Inc.	
DATE: 03/14/2022	
SCALE: 1" = 20'	
JOB NO. 3210195	
PROJECT MANAGER: ROBERT J. HARLEY	
DESIGNED BY: JBM	
CHECKED BY: RJL	
SHEET NUMBER	
C300	



CONCRETE CURB & GUTTER DETAIL



FOR ALL ACCESSIBLE AND
VAN ACCESSIBLE SPACES



NOTES:


- NOTES:
1. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
 2. DETECTABLE WARNING FIELDS SHALL BE "NEENAH DETECTABLE WARNING PLATES" 4984-24Q, OR EQUIV.
 3. CURB RAMP DETECTABLE WARNING FIELDS TO BE INSTALLED 6 TO 8 INCHES FROM THE FACE OF CURB.

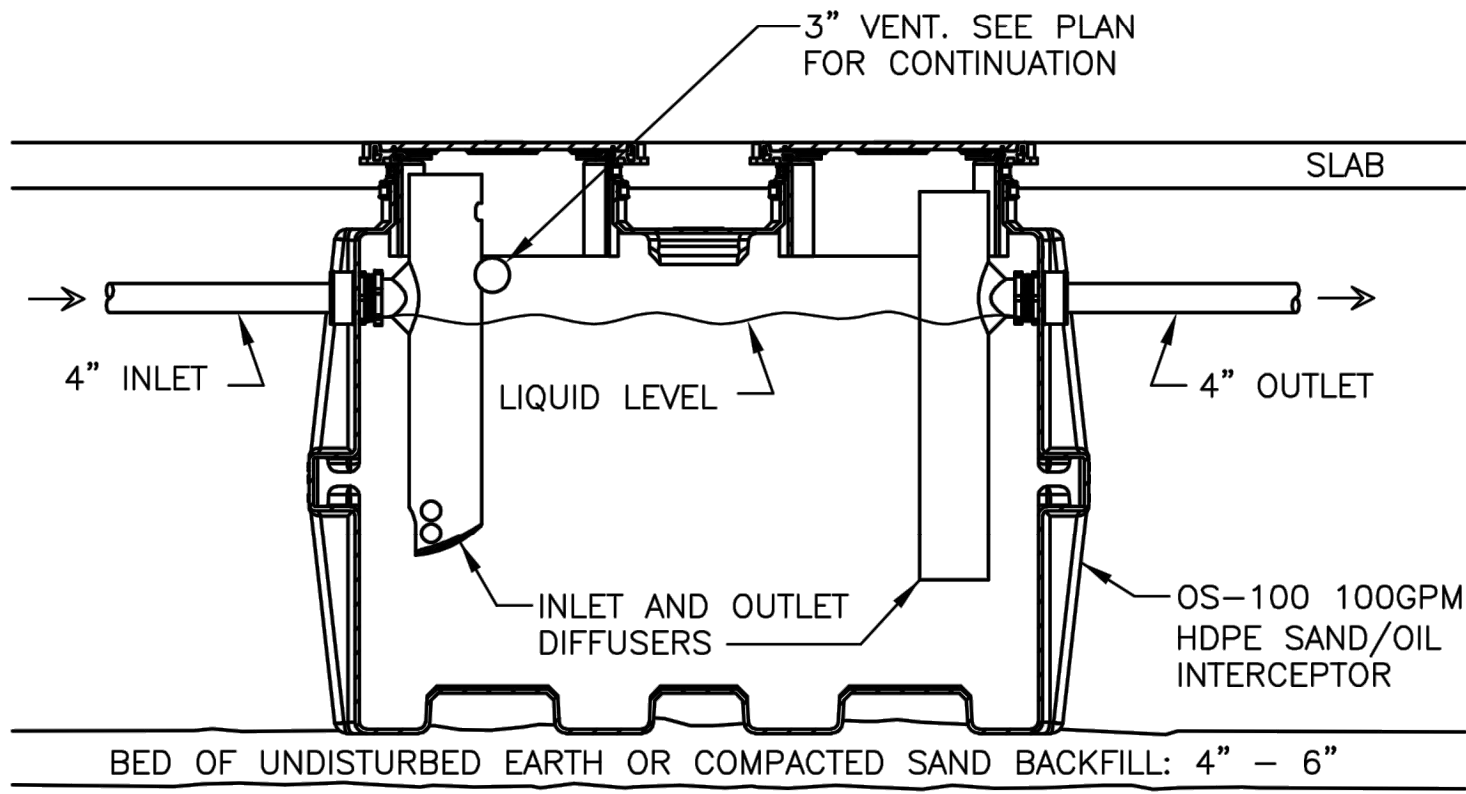
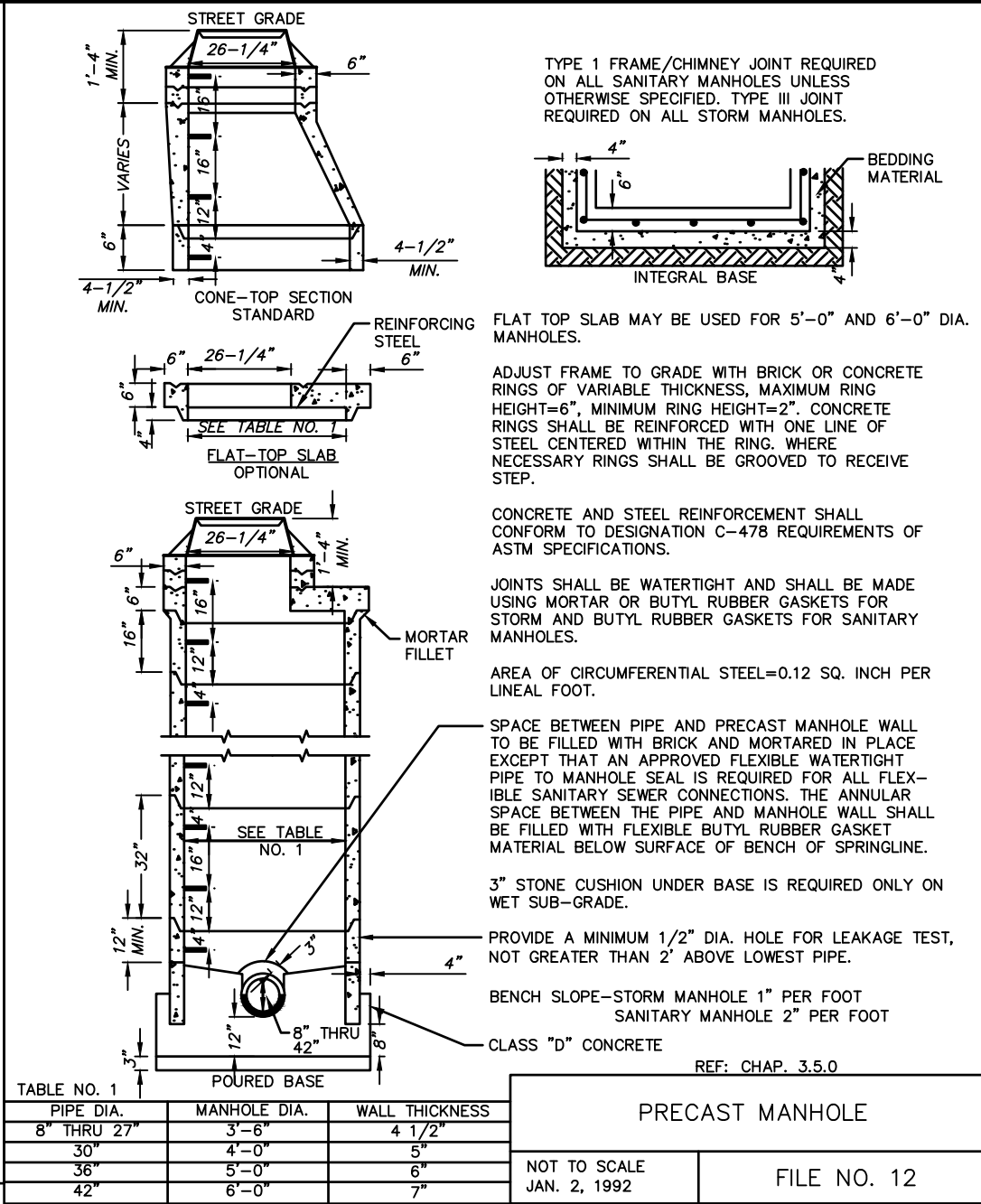
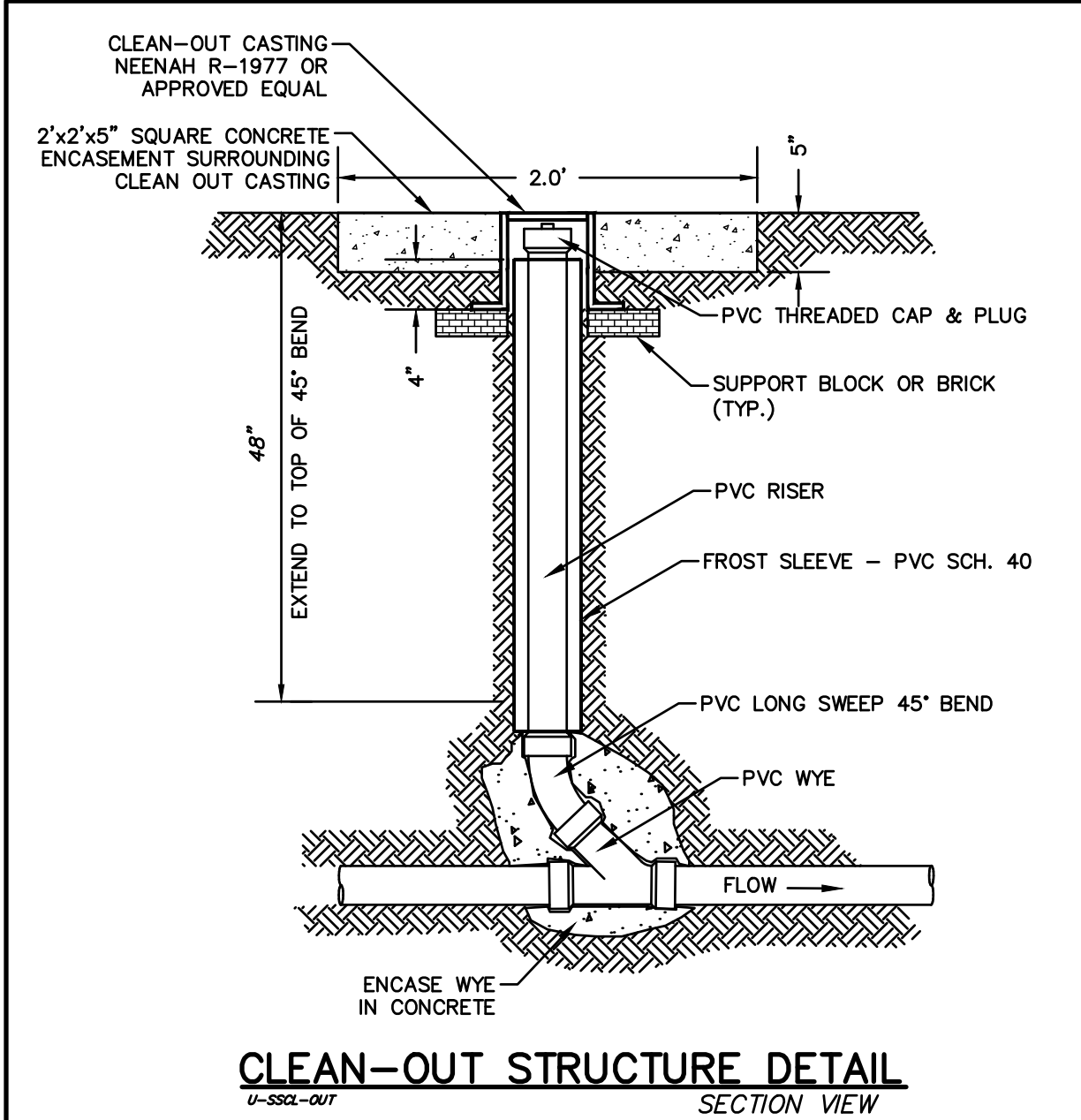


No. 4x2'-0" TIE BARS
SPACED AT 3'-0" C-C

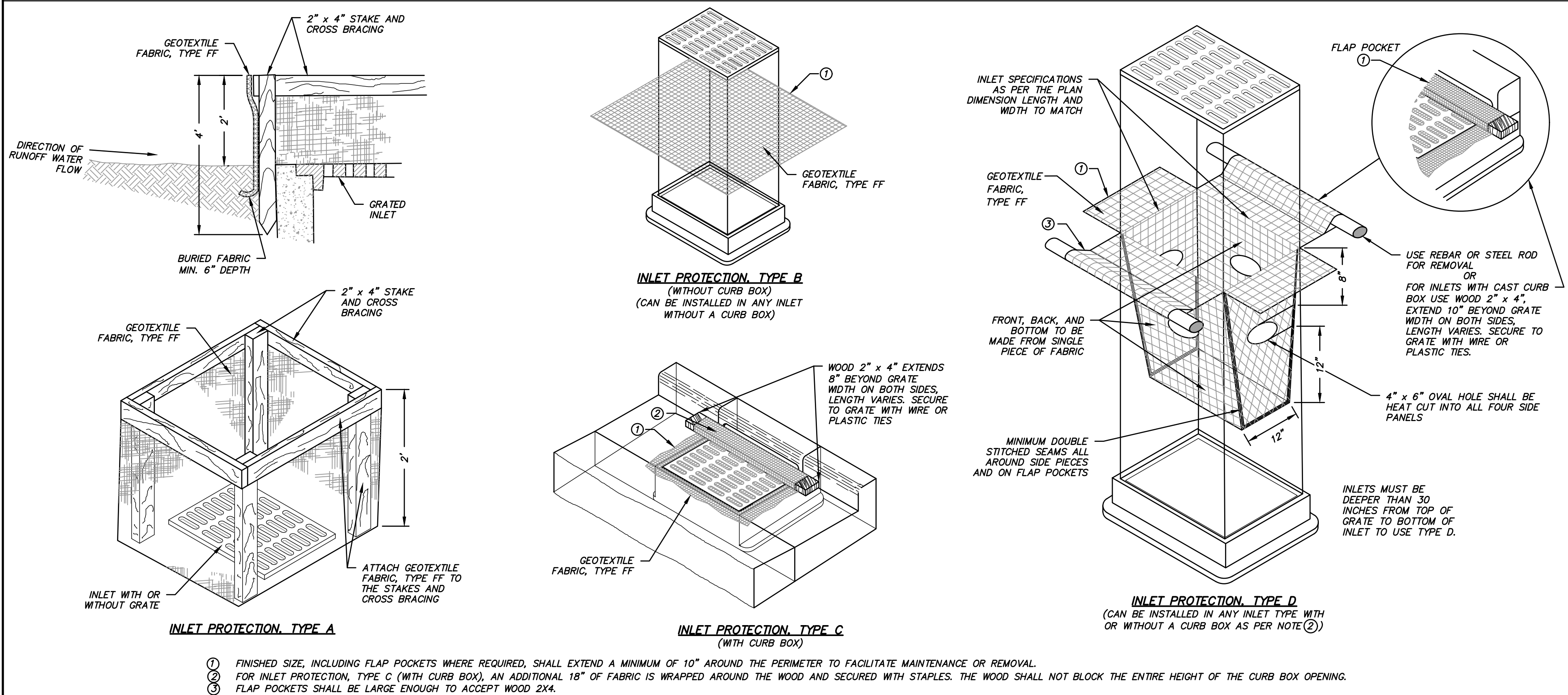


R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

DISCOUNT TIRE - OHD 12421 HUBER HEIGHTS, OH		 CREATIVITY BEYOND ENGINEERING	16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	DATE	DESCRIPTION
SITE DETAILS					
© COPYRIGHT 2022 R.A. Smith, Inc.					
DATE: 03/14/2022					
SCALE: N.T.S.					
JOB NO. 3210195					
PROJECT MANAGER: ROBERT J. HARLEY					
DESIGNED BY: JBM					
CHECKED BY: RJL					
SHEET NUMBER					
C400					



DETAIL SHOWS GENERAL SCHEMATIC REQUIREMENTS.
OIL AND SAND INTERCEPTOR
NOT TO SCALE



GENERAL NOTES:
INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE MSDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.
TYPE A IS TO BE USED PRIOR TO PAVING AND TYPED B, C, AND D ARE TO USED AFTER PAVING IS PLACED.
TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.
TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE.
TYPE C SHALL BE USED ON STREET INLETS WITH CURB HEADS.
TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS.)

INSTALLATION NOTES:
TYPE B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
TYPE D:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

MAINTENANCE:
REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS AREA.
INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

STORM DRAIN INLET PROTECTION DETAILS
INLET PROTECTION - DR (NOT TO SCALE)

DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

DISCOUNT TIRE - OHD 12421
HUBER HEIGHTS, OH

UTILITY DETAILS

© COPYRIGHT 2022
R.A. Smith, Inc.

DATE: 03/14/2022

SCALE: N.T.S.

JOB NO. 3210195

PROJECT MANAGER:
ROBERT J. HARLEY

DESIGNED BY: JBM

CHECKED BY: RJL

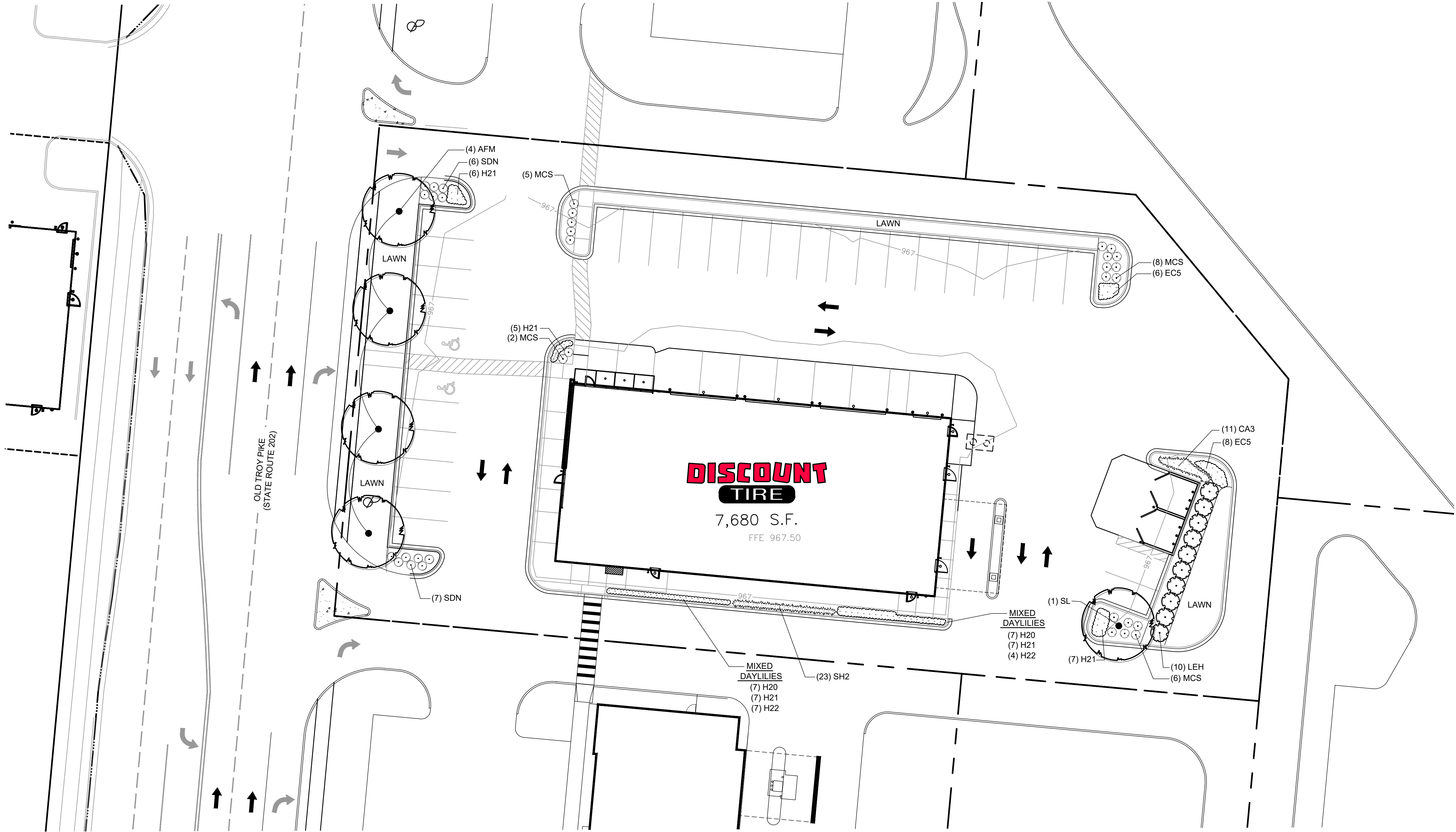
SHEET NUMBER

C401



Know what's below.
Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.



PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AFM	4	Autumn Fantasy Maple	Acer freemanii 'Autumn Fantasy'	1 3/4" CAL DBH	B&B	Full, matching heads
SL	1	Skyline Honey Locust	Gleditsia triacanthos 'Skycole'	1 3/4" CAL DBH	B&B	Full, matching heads
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SDN	13	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15' HT	CONT.	
LEH	10	Limelight Hydrangea	Hydrangea paniculata 'Limelight' TM	24" HT	CONT.	
MCS	21	Magic Carpet Spirea	Spiraea japonica 'Magic Carpet'	15' HT	CONT.	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA3	11	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 GAL	POT	
SH2	23	Tara Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 GAL	POT	
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
EC5	14	Kim's Knee High Purple Coneflower	Echinacea purpurea 'Kim's Knee High' TM	1 GAL	POT	
H20	11	Mini Pearl Daylily	Hemerocallis x 'Mini Pearl'	1 GAL	POT	
H22	14	Red Hot Returns Daylily	Hemerocallis x 'Red Hot Returns'	1 GAL	POT	
H21	32	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	1 GAL	POT	

LANDSCAPE CALCULATIONS

Huber Heights, OH
PUD (PM)
Section 1179.07

a) Development Landscaping - NA

b) Perimeter Landscaping - NA

c) Parking Lot Landscaping as outlined in Chapter 1185
1185.06 Landscaping required.
(a) Any parking lot having a capacity of at least twenty (20) parking spaces shall be required to have not less than five percent (5%) of the interior of the parking lot landscaped.

INTERIOR PARKING LOT AREA: 13,550 SF
REQUIRED: 13,550 X 5% = 678 SF Landscaped
PROVIDED: 986 SF

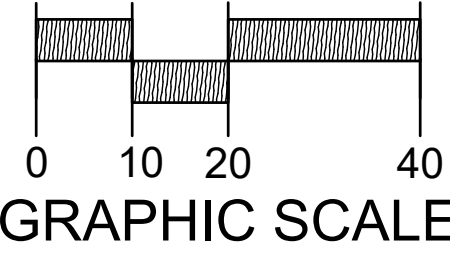
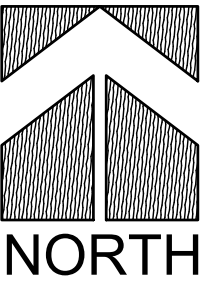
(b) The landscaped area shall include at least one (1) tree (1-3/4) inch caliper, measured at chest height of a species approved by the City Engineer (or his designee) for every 100 square yards of interior landscaped area.

REQUIRED: (678 SF) 76 SY/100 = 1 Tree
PROVIDED 1 Tree

d) Street Tree Requirement
Required to have one street tree per forty (40) feet of frontage planted just outside of the street right-of way.
Street trees shall be planted at least 4' from the edge of the sidewalk on private property

OLD TROY PIKE 135LF
REQUIRED: 135 / 40 = 4 TREES
PROVIDED: 4 TREES

THIS PLAN IS FOR REVIEW
NOT FOR BIDDING
OR CONSTRUCTION PURPOSES

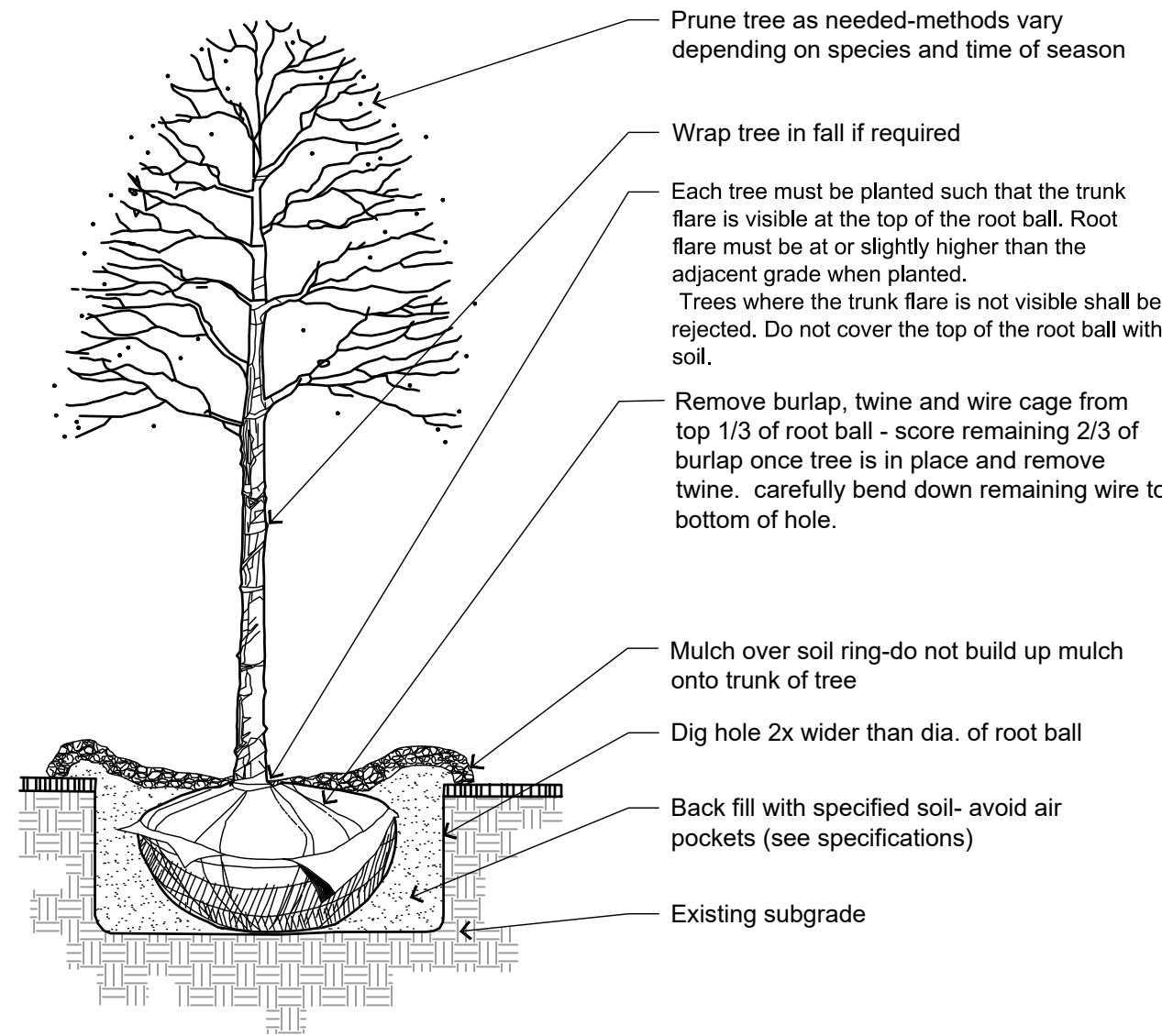


R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

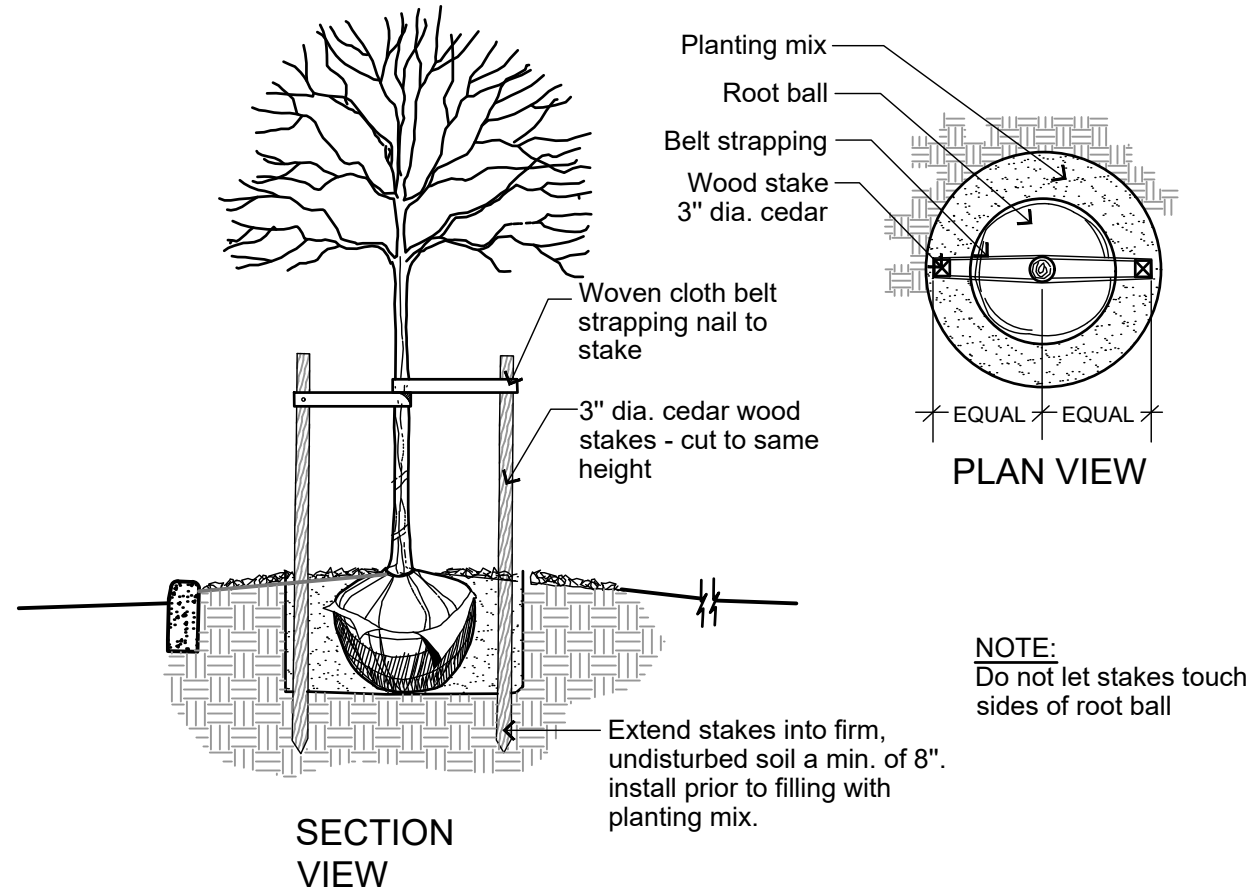
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION	DATE
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
DISCOUNT TIRE - OHD 12421 HUBER HEIGHTS, OH	
LANDSCAPE PLAN	
© COPYRIGHT 2022 R.A. Smith, Inc.	
DATE: 03/14/2022	
SCALE: 1" = 20'	
JOB NO. 3210195	
PROJECT MANAGER: ROBERT J. HARLEY	
DESIGNED BY: NJW	
CHECKED BY: RJL	
SHEET NUMBER	
L100	

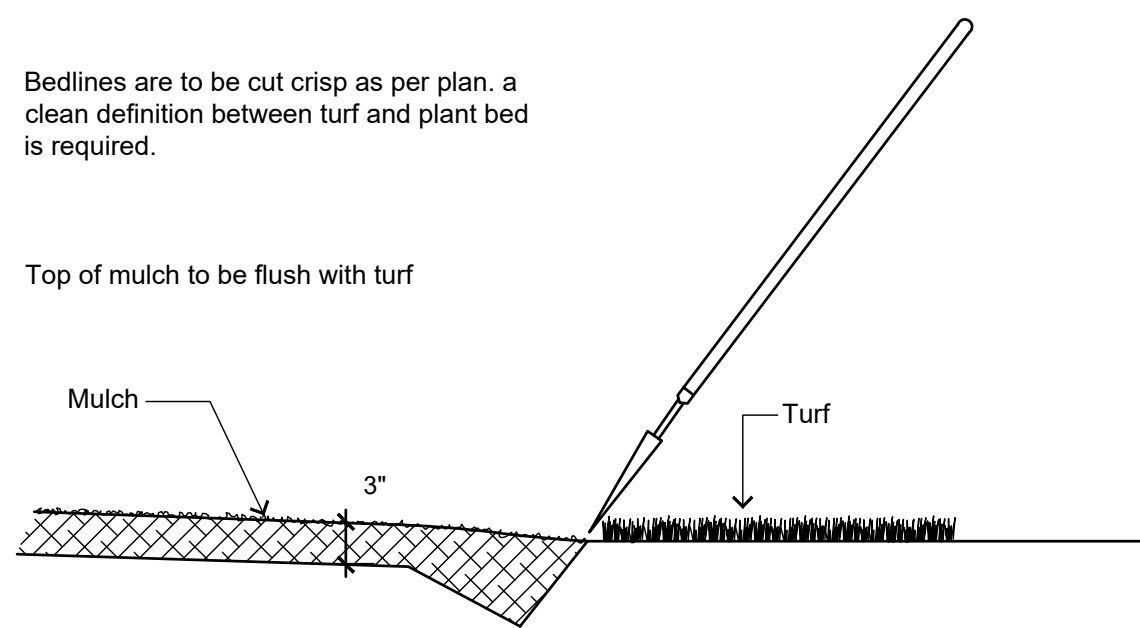
GENERAL LANDSCAPE DETAILS



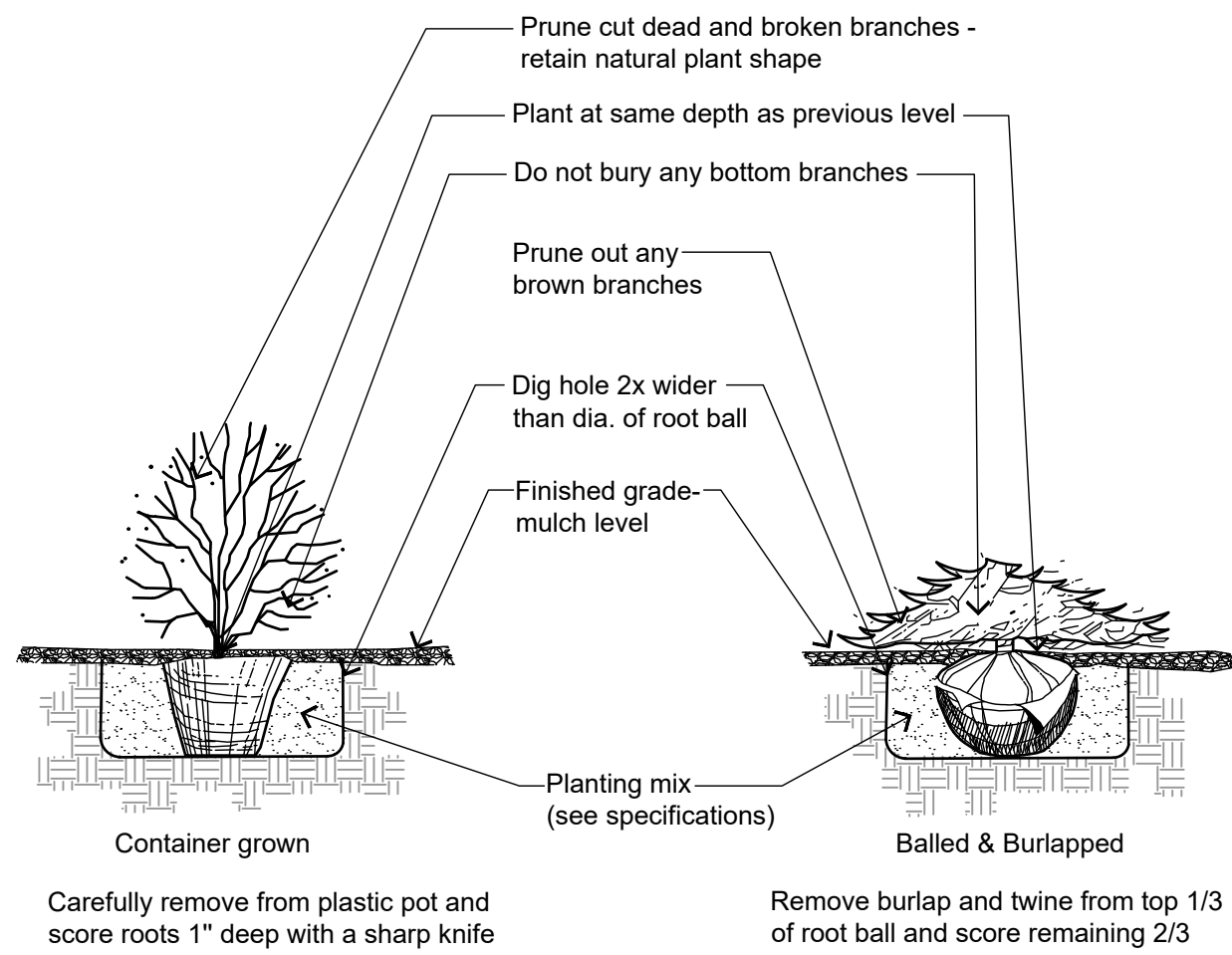
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



2 DECIDUOUS TREE STAKING FOR RESTRICTED AREAS
NOT TO SCALE



3 SHOVEL CUT PLANT BED EDGING DETAIL
NOT TO SCALE



4 SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative prior to installation. All plants must be installed as per sizes shown on plant material schedule, unless approved by general contractor or owner's representative.
- Topsoil in parking islands: all parking lot islands to be backfilled with topsoil to a minimum depth of 18" by grading contractor to insure long term plant health. Crown all planting islands a minimum of 6" to provide proper drainage unless otherwise specified.
- Topsoil should be placed to within 3" of finish grade by general / grading contractor during rough grading operations. The landscape contractor to be responsible for the fine grading of all landscaped areas. Finished landscaped areas to be smooth, uniform and provide positive drainage away from all structures and pavement.
- Tree planting:
 - Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed.
 - Scarify side walls of tree pit prior to installation.
 - Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved.
 - Score the remaining two-thirds of burlap and remove twine.
 - Backfill pit with 80% existing soil removed from excavation and 20% plant starter mix. Discard any gravel, heavy clay or stones. Avoid any air pockets and do not tamp soil down.
 - When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before proceeding.
 - Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all lawn trees. **Do not build up any mulch onto trunk of any tree.**
 - Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor.
- Shrub planting: all shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly, and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not enviromulch). All perennial planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). **Do not allow mulch to contact plant stems and tree trunks.**
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: all perennial, annual and groundcover areas are required to receive a blend of organic soil amendments prior to installation. Rototill the following materials, at the following ratio, into existing or installed topsoil to a depth of approx. 8" -

Per every 100 square feet of bed area add:
2 cu. ft. bale of peat moss
2 lbs. of 5-10-5 garden fertilizer
1/4 cu. yard of composted manure
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.

An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot and uniform coverage throughout all turf areas

Acceptable seeding dates: Spring, May 1 - June 15th
Fall, Aug 20th - Sept 30th
*A minimum ground temperature of 55 degrees must be maintained for one week prior to seeding
- Seed mix for lawn areas - use only a premium quality seed mix which will germinate quickly installed at recommended rates. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF. Provide seed specifications to owner / landscape architect prior to installation.
- Lawn installation for all sodded turfgrass areas: contractor to furnish and prepare blended topsoil (3" min.) and sod bed, removing all debris and stones 1/2" or larger. Apply a 10-10-10 starter fertilizer uniformly throughout areas prior to laying the sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for the required watering during this period.
- Warranty and replacements: all plantings are to be watered at time of planting, throughout construction and upon completion of project as required. Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one year from the date of project completion. Perennials, groundcovers, and ornamental grasses to be guaranteed for a minimum of one growing season. Perennials, groundcovers, and ornamental grasses planted after September 1st shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by landscape contractor to the owner and general contractor upon the substantial completion of the project.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas for a period of 60 days after the substantial completion of the installation. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, meadow grass and wildflower areas. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project completion: landscape contractor is responsible to conduct a final review of the project, upon substantial completion, with the owner's representative and the general contractor to answer questions, provide care instructions (in writing) for the new plantings and turf, and insure that all specifications have been met.

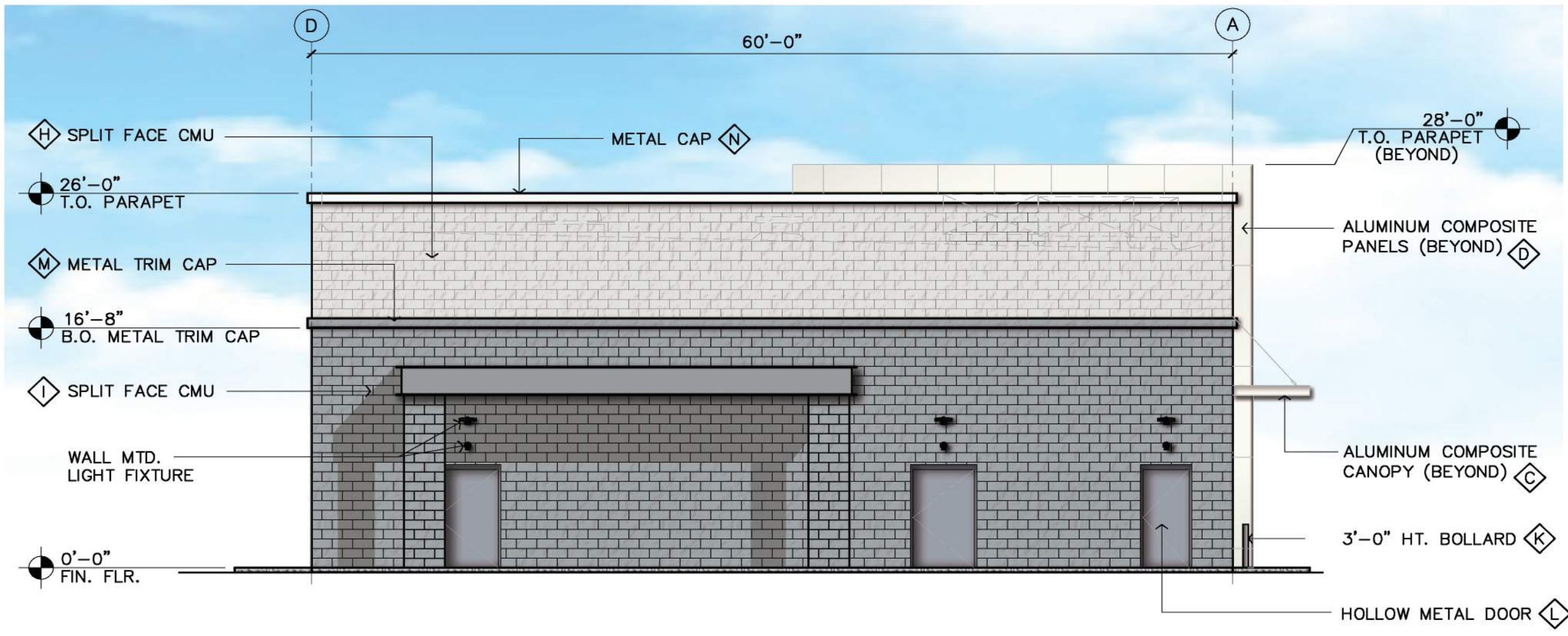
THIS PLAN IS FOR REVIEW
NOT FOR BIDDING
OR CONSTRUCTION PURPOSES



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION	DATE	16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA
DISCOUNT TIRE - OHD 12421 HUBER HEIGHTS, OH			
LANDSCAPE PLAN NOTES AND DETAILS			
© COPYRIGHT 2022 R.A. Smith, Inc.	DATE: 03/14/2022	SCALE: NOT TO SCALE	JOB NO. 3210195
PROJECT MANAGER: ROBERT J. HARLEY	DESIGNED BY: NJW	CHECKED BY: RJL	SHEET NUMBER
			L200



EAST ELEVATION

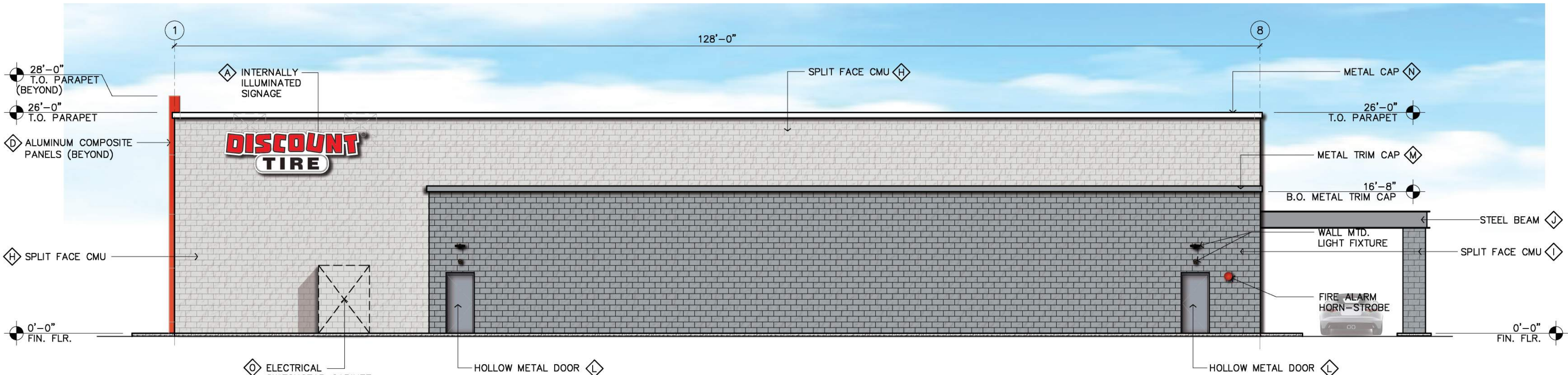
SCALE: 1/8" = 1'-0"



WEST ELEVATION (Old Troy Pike)

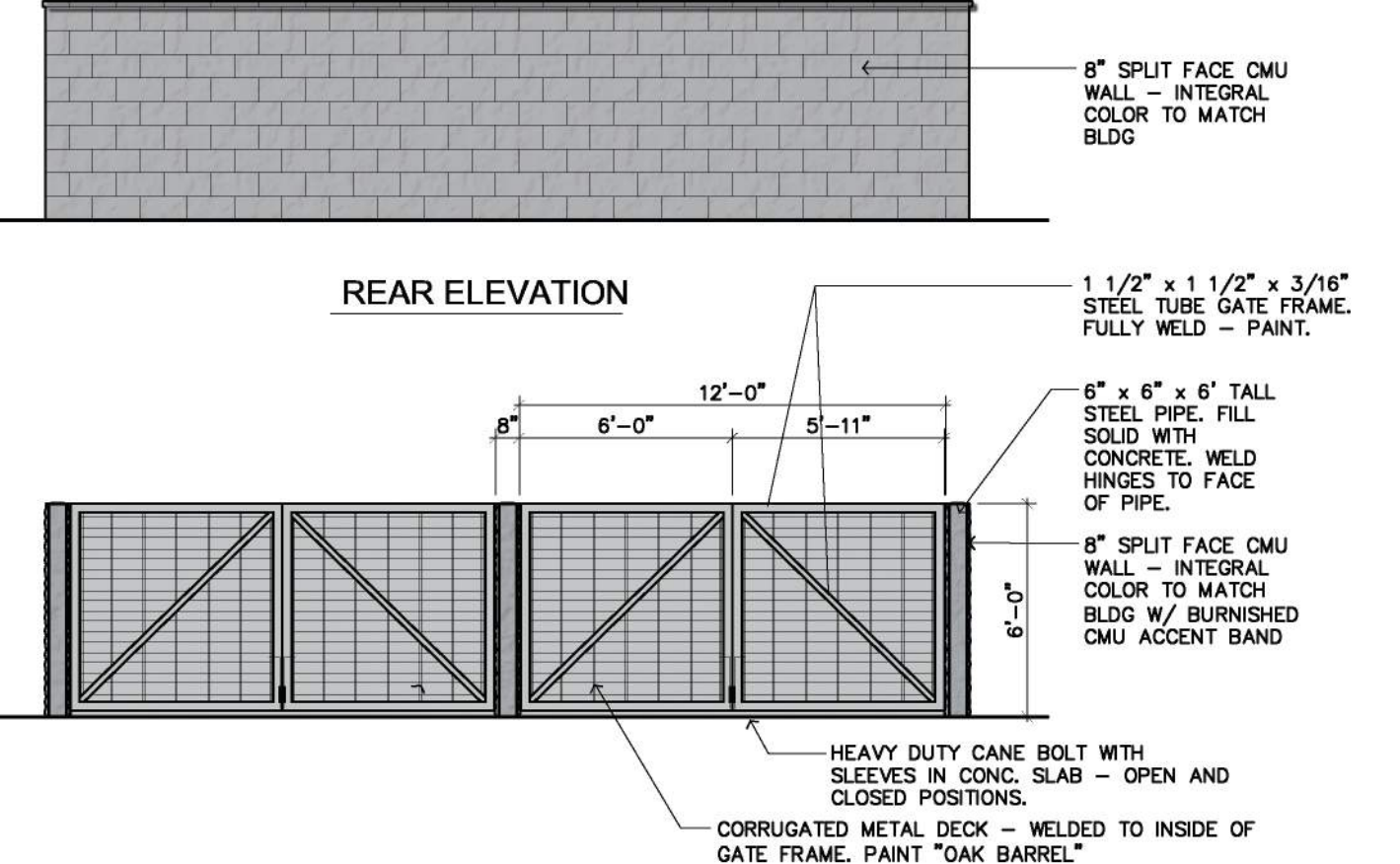
SCALE: 1/8" = 1'-0"

FINISH LEGEND	
	3-DIMENSIONAL INTERNALLY ILLUMINATED SIGNAGE (UNDER SEPARATE PERMIT)
	ALUMINUM COMPOSITE PANELS: ALUCOBOND "MATTE PATRIOT RED"
	ALUMINUM CLADDED CANOPY: ALUCOBOND "MATTE BRUSHED STAINLESS"
	ALUMINUM COMPOSITE PANELS: ALUCOBOND "MATTE BONE WHITE"
	8" METAL CAP BY ATAS INTERNATIONAL INC. COATED: "BLACK"
	CORRUGATED METAL PANEL BY ATAS INTERNATIONAL INC. COATED: "BLACK"
	ANODIZED ALUMINUM STOREFRONT/CURTAIN WALL - CLEAR ANODIZED FINISH ARCADIA AFG601T
	INTEGRAL COLOR SPLIT FACE CMU TO MATCH SW 7067 "CITY SCAPE"
	INTEGRAL COLOR SPLIT FACE CMU TO MATCH SW 7104 "COTTON WHITE"
	CLADDED STEEL BEAMS - COLOR TO MATCH POWDER COAT RAL 7037 "DUSTY GREY"
	STEEL BOLLARDS - COLOR TO MATCH POWDER COAT RAL 7037 "DUSTY GREY"
	HOLLOW METAL DOORS-PAINTED SHERWIN WILLIAMS SW 7067 "CITY SCAPE"
	CONCRETE CAP-COLOR TO MATCH SW 7067 "CITY SCAPE"
	METAL CAP - COLOR TO MATCH SW 7104 "COTTON WHITE"

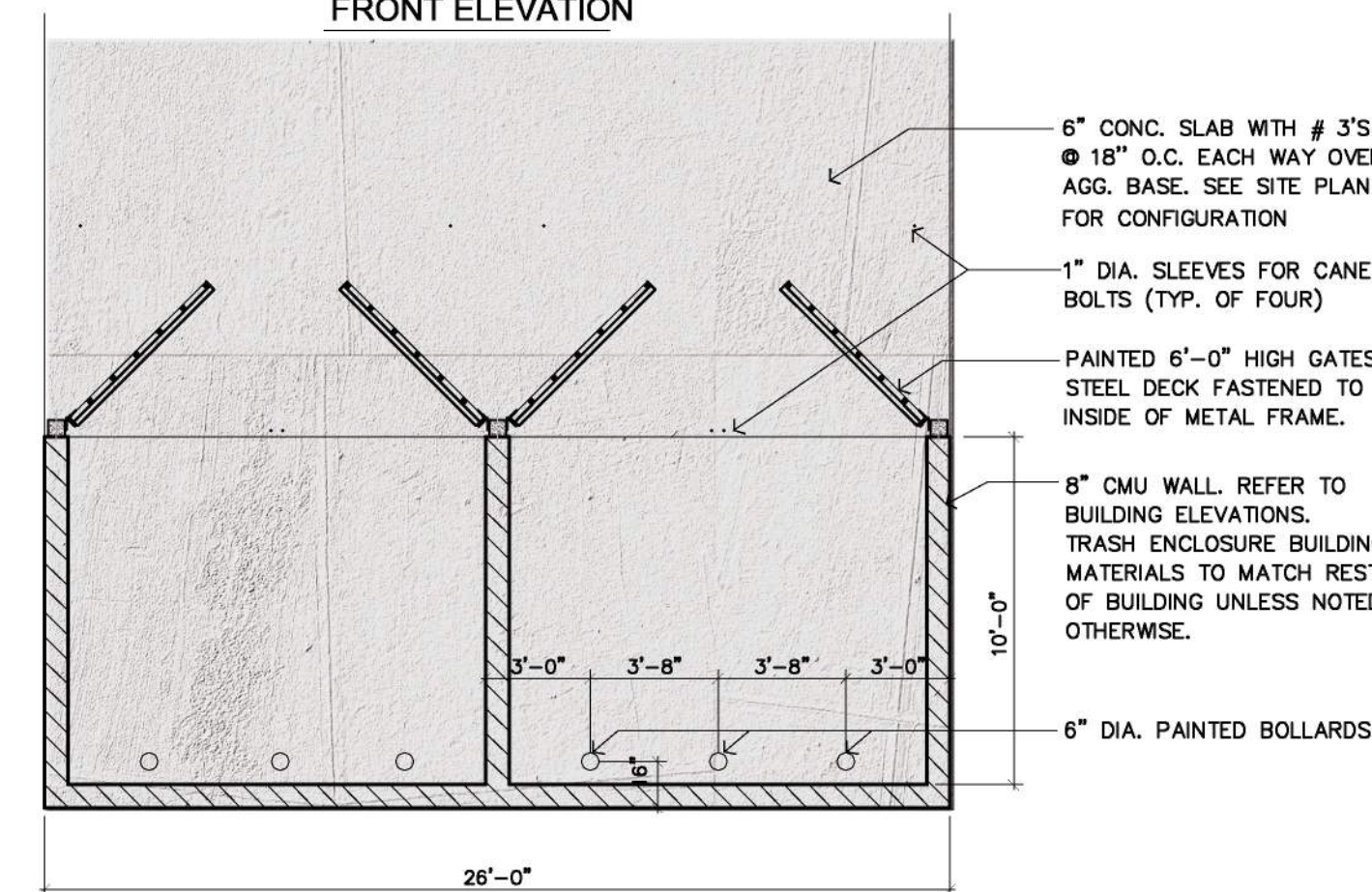


SOUTH ELEVATION

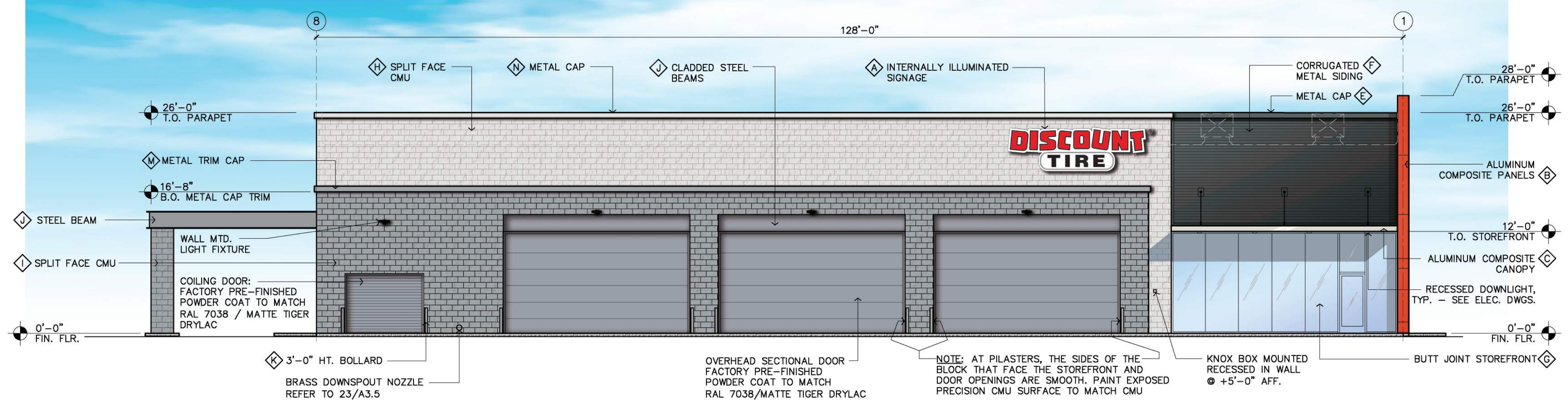
SCALE: 1/8" = 1'-0"



REAR ELEVATION



FRONT ELEVATION



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

TRASH ENCLOSURE PLAN / ELEVATIONS

SCALE: 3/16" = 1'-0"



THIS PLAN IS PROPERTY OF KINETIC DESIGN. THIS DRAWING IS LOANED WITHOUT OTHER CONSIDERATION THAN THE AGREEMENT AND CONDITION THAT IT IS NOT BE REPRODUCED, COPIED, OR OTHERWISE DISPOSED OF, DIRECTLY OR INDIRECTLY, AND IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN MAKING OR TO FURNISH ANY INFORMATION FOR THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS THEREOF. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS.

CONCEPTUAL COLOR ELEVATIONS

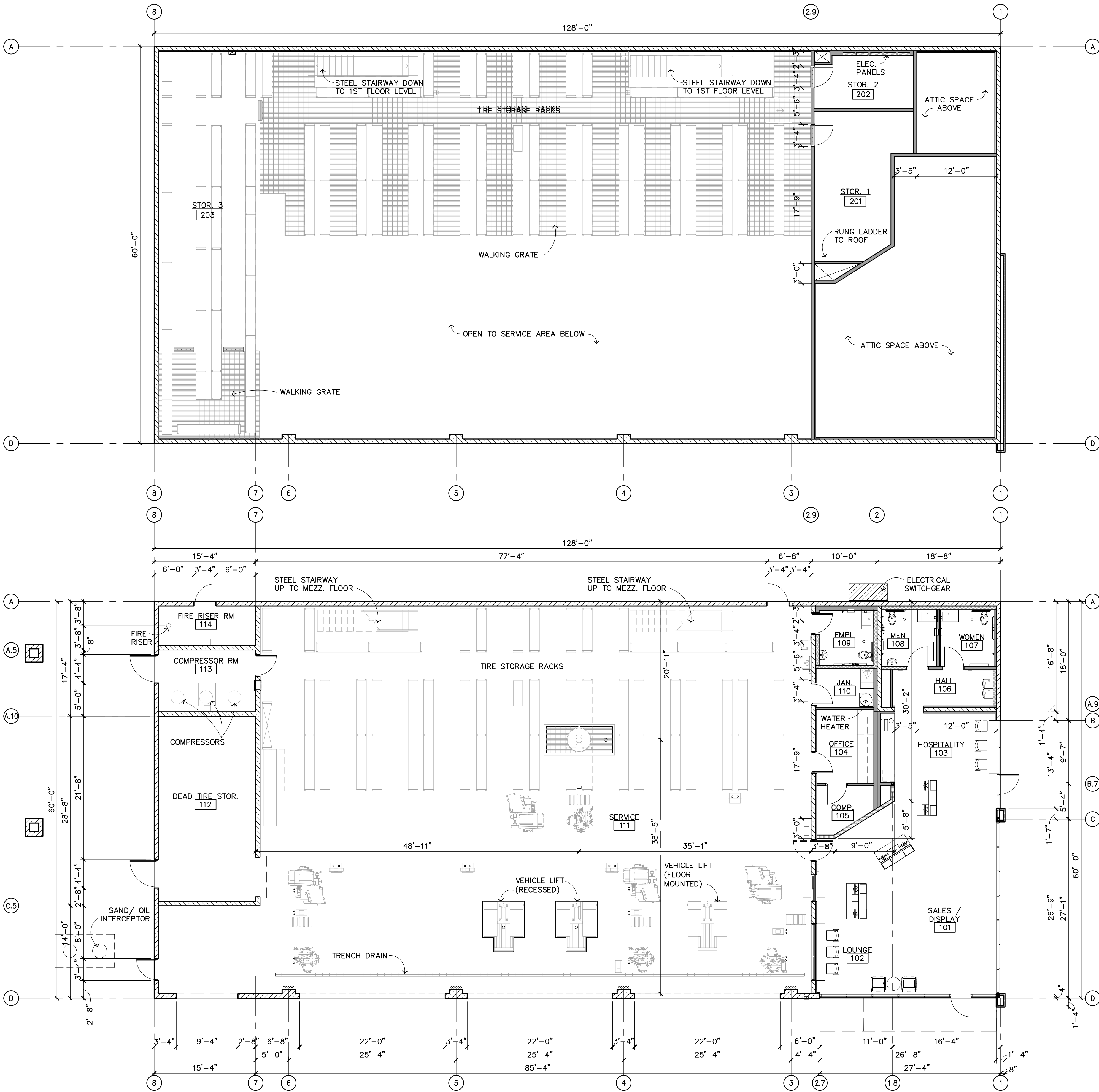
7578 Old Troy Pike
HUBER HEIGHTS, OH 45371



Kinetic Design
20381 Lake Forest Dr.,
Suite B16
Lake Forest, CA 92630
951-710-6334 (T)

BUILDING MODEL	
FRAME DESIGN	
REVISION	
DATE	04.21.2021
SCALE	AS NOTED
PROJECT NUMBER	ARO 12464

Sheet No.
A.3



Building Area Breakdown	
TOTAL GROUND FLOOR AREA: 7,680.00 S.F.	
GROUND FLOOR AREA	
'M' OCCUPANCY:	
SALES / DISPLAY	621.82 S.F.
LOUNGE / DISPLAY	171.86 S.F.
HOSPITALITY	160.37 S.F.
OFFICE	96.30 S.F.
COMPUTER	53.17 S.F.
HALL	83.18 S.F.
MEN	68.97 S.F.
WOMEN	68.97 S.F.
EMPLOYEE	66.35 S.F.
JANITOR ROOM:	50.31 S.F.
'S-1' OCCUPANCY:	
SERVICE	5088.03 S.F.
DEAD TIRE STORAGE	410.67 S.F.
COMPRESSOR ROOM	136.89 S.F.
FIRE RISER ROOM	88.00 S.F.
(NET AREA/USABLE)	7,164.89 S.F.
MEZZANINE LEVEL AREA:	
'S-1' OCCUPANCY:	
STORAGE # 1:	278.80 S.F.
STORAGE # 2:	116.31 S.F.
STORAGE # 3:	695.09 S.F.
WALKING GRATE:	1421.24 S.F.
(NET AREA/USABLE)	2,511.44 S.F.



CONCEPTUAL MEZZ. FLOOR PLAN

SCALE: 1/8" = 1'-0"



CONCEPTUAL 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



THIS PLAN IS PROPERTY OF KINETIC DESIGN. THIS DRAWING IS LOANED WITHOUT OTHER CONSIDERATION THAN THE AGREEMENT AND CONDITION THAT IT IS NOT BE REPRODUCED, COPIED, OR OTHERWISE DISPOSED OF, DIRECTLY OR INDIRECTLY, AND IS NOT TO BE USED IN WHOLE OR IN PART TO ASSIST IN MAKING OR TO FURNISH ANY INFORMATION FOR THE MAKING OF DRAWINGS, PRINTS, APPARATUS OR PARTS THEREOF. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS.

CONCEPTUAL FLOOR PLANS

7578 Old Troy Pike HUBER HEIGHTS, OH 45371



Kinetic Design
20381 Lake Forest Dr.,
Suite B16
Lake Forest, CA 92630
951-710-6334 (T)

BUILDING MODEL	
FRAME DESIGN	
REVISION	R1
DATE	02.22.22
SCALE	AS NOTED
PROJECT NUMBER	OHD 12421

Sheet No.

A.1



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Broad Reach Development – Discount Tire		
Occupancy Address:	7578 Old Troy Pike		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	22-055
MCBR ELE:		HHFD Box:	15
REVIEWER:	Susong	DATE:	4/6/2022

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017 and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.

- Please review requirements for fire service features in Ohio Fire Code (OFC), Rule 5.
- Fire apparatus access roads will need to comply with OFC 503 as well as the adopted appendices from the OFC (2017) and the Huber Heights Codified Ordinance (HHCO) Section 15. **(Fire department access to and from the building appears to meet requirements.)**
- The water supply for fire protection shall meet the requirements of OFC 507 and Appendix B. Calculations and findings will need to be determined and provided. Water Main and hydrant extension sizes and spacing will also need to be shown in detail. Fire flow requirements shall be determined in accordance with Ohio Fire Code, Appendix B, Fire Flow Requirements for Buildings. Once the fire flow has been determined the minimum number of required fire hydrants can be

confirmed. ***(Building Construction Classification and Square Footage will need to be determined first).***

- Hydrants in multi-family and commercial districts shall be placed not more than 300 feet apart, measured on the main and not more than 400 feet from any opening in any building. All new fire hydrants and any existing fire hydrants that are in need of replacement, shall meet the Huber Heights hydrant standard for this district of two (2), five (5) inch diameter steamer nozzles. These steamer nozzles shall have a five (5) inch STORTZ quick connection and one steamer shall have a four (4) inch STORTZ connection approved by the Code Official. Huber Heights Codified Ordinance 1521.06(c). ***(Hydrants are not shown on drawing.)***
- Buildings provided with fire sprinkler systems will need to have a fire department connection located within 75 feet of a fire hydrant in accordance with Huber Heights Codified Ordinance 1521.01(e). ***(Drawing indicates that building will have a fire sprinkler system. A hydrant shall be installed to meet these requirements.)***
- Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Ohio Fire Code 507.5.4. ***(This will need to be confirmed once a drawing has been provided showing hydrants.)***
- A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. (No trees, bushes, plantings, etc.) Ohio Fire Code 507.5.5. ***(This will need to be confirmed once a drawing has been provided showing hydrants.)***

Building Construction Requirements – For Reference

- Plans submitted for building construction shall meet the requirements of the 2017 Ohio Building and Fire Code(s). In the Ohio Fire Code refer to the following Rules for requirements related to this type of occupancy:
Rule 23, Motor Fuel Dispensing Facilities/Repair Garages,
Rule 32, High Piled Combustible Storage,
Rule 34, Tire Rebuilding and Tire Storage,
Rule 50, Hazardous Materials.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in ALL respects to this code, as prescribed in SECTION (D) 104.1 of the 2017 Ohio Fire Code. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with ALL applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

Hoskins, GERALYN

From: Bergman, Russ
Sent: Friday, April 1, 2022 11:34 AM
To: Aaron Sorrell
Cc: Hoskins, GERALYN
Subject: Discount Tire Engineering Review

Aaron,

The comments for the Discount Tire site are as follows:

- Provide location of closest fire hydrant – distance needs to be checked by the Fire Department
- Connect all building downspouts to catch basins
- The water service to the building is shown as 8", this is very large. Is this correct? Tap-in Fees would be: Water \$36,000 and Sanitary \$25,500
- Provide location and details of the water meter pit.
- Provide detail for Right in/Right out island unless that is part of a different contract

Russ Bergman, P.E.
City of Huber Heights
City Engineer
(937) 237-5816
rbergman@hhoh.org

AI-8313

9. A.

Planning Commission

Meeting Date: 04/12/2022

Minutes

Information

Agenda Title

Planning Commission March 29, 2022

Purpose and Background

Attachments

Minutes

**Planning Commission
March 29, 2022, Meeting
City of Huber Heights**

- I. Chair Terry Walton called the meeting to order at approximately 6:00 p.m.
- II. Present at the meeting: Mr. Jeffries, Ms. Opp, Ms. Thomas, Ms. Vargo and Mr. Walton.

Members absent: None.

Staff Present: Aaron K. Sorrell, Interim City Planner, and Geri Hoskins, Planning & Zoning Administrative Secretary.

III. Opening Remarks by the Chairman and Commissioners

IV. Citizens Comments

None.

V. Swearing of Witnesses

Mr. Walton explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

VI. Pending Business

- 1. **BASIC DEVELOPMENT PLAN - The applicant, AMARJIT TAKHAR, is requesting approval of a Basic Development Plan and Rezoning to (Planned Commercial) PC for 35 acres at State Route 35 for a Service Station (BDP 22-08).**

Mr. Sorrell stated that the applicant requests approval of a basic development plan and rezoning to Planned Commercial District to construct a fueling center, convenience store, truck stop and diesel repair facility on approximately nine (9) acres of a 35-acre parcel. The site is adjacent to the I-70 / SR 235 interchange.

This case was tabled at the March 15, 2022, to allow time to review the revised development plan that was submitted shortly before the meeting. The crux of the revision reconfigures the western access point to allow for a future extension of Center Point 70 Boulevard and meet the development standards of the Planned Commercial District.

The applicant is proposing two buildings, one 6,720 SF building containing a convenience store and restaurant, and the second 6,642 SF diesel truck repair facility. Both buildings are proposed to be clad with a mix of brick and stucco EFIS.

Fuel will be dispensed through one five-pump island in front of the convenience store, and a second five-pump island located at the rear of the property for semi-

trucks and large oversized vehicles. Both fueling islands will be covered by large canopies.

Parking is provided throughout the site. The revised site plan illustrates 76 parking spaces, including 10 for semi-trucks. This is an increase from 62 automobile parking spaces.

The proposed uses are principally permitted in the PC district. The revised plan indicates a 15-foot perimeter buffer yard, which meets the standards for this chapter. All other standards for this Chapter are met.

The revision meets the requirements of Chapter 1181. The revised plans illustrate street trees placed every 40-feet. No exterior lighting plan was submitted at this time, but will be submitted at the time of detailed development review. Unless otherwise directed by the Planning Commission, parking light fixtures shall not exceed 25 feet in height.

The Basic Development Plan indicates potential locations for landscape islands and trees within the parking areas. Additional detail shall be provided during the detailed development plan phase.

The revised proposal meets the requirements of Chapter 1185. The applicant is illustrating parking island landscaping. The maximum required number of parking spaces required is approximately 67 total spaces. The revised plan indicates 70 proposed spaces. The number of required parking spaces is likely to decrease once the final area of the convenience store (less storage) and restaurant are determined.

The proposal meets the requirements of this chapter which limits the number of semi parking spaces to no more than ten spaces. The plans indicate ten spaces that are correctly dimensioned.

Other Considerations:

Staff has asked the applicant to redesign the site to allow a future extension of Center Point 70 by moving the gas pumps and store further south and/or changing their alignment. The applicant has adjusted the site plan by reconfiguring the parking and circulation plan. The revised configuration will likely improve vehicle stacking at the intersection along the proposed roadway, rather than internally as was originally illustrated.

Additional Comments:

Fire: See Attached. The applicant will comply will all fire code requirements.

City Engineer:

Recommendation

Staff recommends approval of the rezoning from I-1 to Planned Commercial and approval of the revised basic development plan with the following conditions:

- Applicant shall comply will all fire code requirements.

Action

Ms. Thomas moved to approve the request by the applicant Amarjit Takhar, for approval of a Basic Development Plan and Rezoning to Planned Commercial (PC) on approximately nine (9) acres of a 35-acre parcel at property located on the East side of intersection of State Route 235 and Center Point 70 Blvd, Parcel Numbers P70-03903-0079 and P70-03903-0005 of the Montgomery County Ohio Records (ZC BDP 22-08) and accordance with the recommendation of staff's memorandum dated March 22, 2022 and the Planning Commission's Decision Record attached thereto.

Seconded by Ms. Opp. Roll call showed: YEAS: Ms. Vargo, Mr. Jeffries, Ms. Opp, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

Move to City Council

VII. New Business

- 1. COMBINED BASIC AND DETAILED DEVELOPMENT PLAN - The applicant, CAMPBELL BERLING HUBER HEIGHTS, LLC, is requesting approval of a Rezoning to Planned Residential (PR) and a Combined Basic and Detailed Development Plan for property located on the East side of Bellefontaine Road and South of Chambersburg Road (ZC CBDP 22-11).**

Mr. Sorrell stated that This case was originally ZC 21-47, which contemplated 132 units (66 2-family townhomes) on approximately 23 acres. The applicant withdrew the application and is now submitting approval for 97 units, comprised of 29 single-family lots and 34 two-family townhomes. The average density is approximately 4.33/units per acre.

The proposed one-family lots are slightly smaller and 20-feet shallower than what is prescribed by the code. The 64-foot-wide lots are significantly smaller in square footage than prescribed by the code, however this does provide a housing product for those households who do not want or need a larger yard. Overall, the average lot size in this development is 6,937 square feet. In staff's professional opinion the slightly smaller and shallower lots will have a negligible impact on surrounding properties and the character of the area.

Each unit, both detached and attached, will contain a two-car garage, along with driveway space for parking. The proposal complies with this standard.

All utilities will be placed below ground.

The applicant has submitted proposed elevations that that are consistent with this requirement.

While landscaping and screening is not required in the Planned Residential District, the applicant is proposing significant buffering and screening along Bellefontaine Road, and along the interior gas transmission easement.

Planning Commission Meeting

March 29, 2022

The comprehensive plan indicates this area should be single-family with a maximum density of six (6) units per acre. The proposed development contains 29 single-family homes and 35 duplex townhomes. The overall density of the development is 4.33 units per acre, consistent with the comprehensive plan.

While no phasing plan was submitted with the application, this is a relatively small subdivision for Huber Heights.

The public roads are adequate for this development. Bellefontaine Road is classified as a Major Collector in the City Thoroughfare Plan

The site is served by adequate utilities.

The applicant is proposing significant landscaping and screening beyond the code requirements along Bellefontaine Road. Additional tree plantings are proposed throughout the development in the common areas.

It is the staff's opinion the proposal meets the standards outlined in Section 1171.06 and the intent of 1171.09. Staff recommends approval of the rezoning to Planned Residential and the combined Basic and Detailed Development Plan to construct 97 homes. Staff recommends approval with the following conditions:

- 1) The dwellings shall meet the material requirements of Section 1181.20 Building Materials for Dwellings;
- 2) The applicant will comply with all stormwater requirements, per the City Engineer;
- 3) The applicant will comply with all Fire Code requirements, per the Huber Heights Fire Department.

Bob Krohngold was present.

Cindy Smith and Tracy Harman

Discussion on the Fire Assessment and percentage of masonry

Action

Ms. Thomas moved to approve the request by the applicant Campbell Berling for approval of a Rezoning to Planned Residential (PR) and a Combined Basic and Detailed Development Plan for property located on the East side of Bellefontaine Road and South of Chambersburg Road, Parcel Number P70 03908 0126 of the Montgomery County, Ohio Recorder's Office (ZC CDBP 22-11) in accordance with the recommendation of Staff's Memorandum dated March 22, 2022, and the Planning Commission Decision Record attached thereto.

Seconded by Mr. Jeffries. Roll call showed: YEAS: Ms. Opp, Mr. Jeffries, Ms. Thomas, Ms. Vargo, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

Move to City Council

2. REZONING AND BASIC DEVELOPMENT PLAN - The applicant, HORIZON LINE DEVELOPMENT, is requesting approval of a Rezoning and Basic Development Plan to PM (Planned Mixed) for 197 unit Residential Town-Home Apartment Community, located at 7125 Executive Boulevard (ZC BDP 22-12).

Mr. Sorrell stated that the applicant is requesting approval for a rezoning of approximately 43 acres from Planned Employment Park to Planned Mixed Use, to facilitate the construction of 197 residential townhome apartments and five commercial out lots.

The applicant has proposed development and use standards that are generally consistent with the applicable zoning regulations. Staff would like to see the following revisions:

- Residential garage openings shall be set back at least 20-feet from the back of the sidewalk. (It appears this is the case in most instances; however, the drawings are not dimensioned and to the greatest extent possible staff desire to limit the overhang of vehicles into the sidewalk pathways).
- The following proposed permitted non-residential uses should be eliminated from permitted use list:
 - Filling stations
 - Sweepstakes cafes
 - Convenience store
 - Self-Storage – Indoor Climate Controlled
 - Car Wash

The area contains a mixture of residential, commercial and office uses.

This site is located along a well-traveled thoroughfare, surrounded by residential uses to the north and west, commercial uses to the south, and Carriage Hill MetroPark to the east. The vast majority of the proposed land uses are residential and are located adjacent to other residential uses. The proposed commercial out lots, which will likely have more intensive uses, are appropriated located to front Executive Boulevard.

Commodity crop production is the current use of the site, and few natural features exist. There is a small drainage stream that bisects the site near the southwest corner, which crosses under Executive Boulevard and ultimately into Drylick Run Creek. The proposed development plan appears to limit the impact on the drainage stream.

In general, the site slopes west to east. Two onsite and one offsite stormwater basins will provide for stormwater management. The stormwater basins are designed to be wet basins, which will provide an attractive landscape amenity.

This development will have two entrances from Executive Boulevard that are aligned and spaced in a manner where little traffic conflict points should exist. Interior sidewalks and walking trails are proposed for pedestrian circulation. As the commercial spaces are developed sidewalks along the north side of Executive Boulevard should be constructed to provide pedestrian connections to the amenities near and along Executive Boulevard.

Parking for the residential units is provided by what appears to be a mixture of one-and two-car garages, along with driveway space. The applicant is providing at least two spaces per unit for the residential development, including the driveway space. As previously stated, the setback from the garage face to the back of sidewalk for the residential units should be a minimum 20-feet.

The proposal provides interior sidewalks and walking paths. Additional sidewalks should be constructed as the commercial lots are developed along Executive Boulevard to provide pedestrian access to the surrounding amenities.

A sign package was not submitted with the application; however, two monument signs are indicated on the landscaping plan. Signs shall comply with Chapter 1189.

The residential buildings are set back 15-feet from each residential building. While the commercial out lots illustrate generic building footprints, plenty of land area exists to meet these setback requirements.

The residential buildings are approximately 20-feet tall.

The plans and renderings indicate a mixture of decorative light poles and wall sconce lighting throughout the residential development. A lighting plan will be required at the detailed development plan phase.

The site plan indicates the trash receptacles will be fully enclosed where provided.

The architecture of the commercial structures is not indicated in the application, but will be reviewed at the time of the detailed development plan submission for each out building.

All utilities will be placed underground.

The residential open space will be owned by the apartment development owner.

The applicant proposes to retain the existing trees along the north property line as a buffer, and the closest structure is approximately 80-feet from the property line. Staff does not feel a 6-foot-high landscaping mound is warranted and would require the removal of existing trees.

Along the west property line, the screening will be a mixture of evergreen and ornamental trees. No mounding or fencing is proposed or required.

The commercial out lots will be reviewed at the detailed development plan phase; however, the covenants indicate the commercial developments will comply with Chapter 1185.

Street trees are indicated throughout the development. Street trees will be required along Executive Boulevard as those sites are developed.

March 29, 2022

STAFF RECOMMENDATION

Staff recommend approval of the rezoning and Basic Development Plan to construct 197 residential units and five commercial out lots. Staff recommend the following conditions for approval:

- 1) The setback for the residential units shall be a minimum of 20-feet between the garage face and the back of the sidewalk.
- 2) The permitted uses shall exclude those recommended by staff.
- 3) The water mains and sanitary sewers shall be built to city standards and in easements.
- 4) The applicant shall submit a sign package consistent with Section 1189.
- 5) The applicant will comply will all Fire Code requirements, per the Huber Heights Fire Department.

Eric Allen
Kevin Brolema
Steve Massingill

Discussion on the entertainment area, traffic, widening Executive, adding turn lane.

Action

Ms. Vargo moved to approve the request by the applicant Horizon Line Development, for approval of a Rezoning and Basic Development Plan to Planned Mixed (PM) for 35 acres at 7125 Executive Boulevard, Parcel Number P70 03910 0005 of the Montgomery County Ohio Records (ZC BDP 22-12) in accordance with the recommendation of Staff's Memorandum dated March 29, 2022, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Opp. Roll call showed: YEAS: Ms. Opp, Ms. Vargo, Ms. Thomas, and Mr. Walton. NAYS: Mr. Jeffries. Motion to approve carried 4-1.

Move to City Council

VIII. Additional Business

None.

IX. Approval of the Minutes

Without objection, the minutes of the March 15, 2022, Planning Commission meeting are approved.

X. Reports and Calendar Review

Rezoning and Basic Detailed Development Plan, Medical Facility
Major change and Detailed Development Plan, Commercial Lot
Major Change and Detailed Development Plan, Discount Tire

Planning Commission Meeting

March 29, 2022

XI. Upcoming Meetings

March 29, 2022

April 12, 2022

XII. Adjournment

There being no further business to come before the Commission, the meeting was adjourned at approximately 8:33 p.m.

Terry Walton, Chair

Date

Geri Hoskins, Administrative Secretary

Date