



AGENDA
CITY PLANNING COMMISSION

City Hall - Council Chambers
6131 Taylorsville Road
August 9, 2022
6:00 P.M.

1. Call Meeting To Order
2. Roll Call
3. Opening Remarks By The Chair and Commissioners
4. Citizens Comments
5. Swearing of Witnesses
6. Pending Business
7. New Business
 - A. MINOR CHANGE - The applicant, McBRIDE DALE CLARION, is requesting approval of a Minor Change for year-long outdoor sales at the Kroger Store and Fuel Center. Property is located at 7747 Old Troy Pike (MC 22-30).
 - B. LOT SPLITS - The applicant, LUIS RIANCHO & ASSOCIATES, INC, is requesting approval to replat one 19.1291 acre lot into 4 existing lots with total acreage between 19.94 and 10.78 acres. Property is located at 7860 Bellefontaine Road (LS 22-32).

- C. DETAILED DEVELOPMENT PLAN - The applicant, APP ARCHITECTURE, is requesting approval of a Detailed Development Plan to create a freestanding emergency and urgent care center. Property is located at 7611 Old Troy Pike (DDP 22-29).

8. Additional Business

9. Approval of Minutes

A. Planning Commission July 12, 2022

10. Reports and Calendar Review

11. Upcoming Meetings

A. August 23, 2022
September 13, 2022

12. Adjournment

AI-8580

7. A.

Planning Commission

Meeting Date: 08/09/2022

Minor Change

Information

Agenda Title

MINOR CHANGE - The applicant, McBRIDE DALE CLARION, is requesting approval of a Minor Change for year-long outdoor sales at the Kroger Store and Fuel Center. Property is located at 7747 Old Troy Pike (MC 22-30).

Purpose and Background

Attachments

Staff Report

Decision Record

Site Plan

Memorandum

Staff Report for Meeting of August 9, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner

Date: August 4, 2022

Subject: MC 22-30 Minor Change to DDP to permit year-round outdoor sales

☐ Application dated July 15, 2022

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Anne McBride
McBride Dale Clarion – Applicant

Lisa Ammons
Kroger Limited Partnership - Tenant

DEVELOPMENT NAME: Waynetowne Plaza / Kroger

ADDRESS/LOCATION: 7747 Old Troy Pike

ZONING/ACREAGE: Planned Commercial / 5.9 acres

EXISTING LAND USE: Retail

**ZONING
ADJACENT LAND:** Planned Commercial / Retail

REQUEST: The applicant requests approval for year-round outdoor sales at the Kroger store and fuel center.

ORIGINAL APPROVAL:

APPLICABLE HHCC: Chapter 1171, 1181

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant requests approval for year-round outdoor sales at the Kroger store and fueling center. Historically, Kroger has maintained outdoor sales in both areas and has annually received zoning permits for those activities. However, the zoning code is very prescriptive about the seasonality of outdoor sales. Under the zoning code, Kroger is limited to outdoor sales of those specific seasonal products from April 1 through December 31. Kroger desires additional flexibility on product types and sales periods.

Applicable Zoning Regulations

The applicable zoning regulations are cited below.

Chapter 1181 General Provisions

1181.12 Outdoor retail sales and displays.

- (a) *For the purpose of this chapter the term "outdoor sales" includes any outdoor display of merchandise. No sale may be conducted outside an enclosed building in any zoning district except retail sales in the B-1, B-2, B-3 and PC Planned Commercial Districts and A Districts, except temporary sales (garage sales, etc.) permitted under Section 1181.15, and except retail sales in an I-1 District. Within a PC Planned Commercial District, the operation of outdoor sales shall not require Planning Commission approval, but nothing in this section would permit the outdoor sales in a Planned Commercial District where such sales are expressly prohibited by a given site's basic or detailed development plan.*
- (b) *All such outdoor retail sales shall comply with the following conditions, requirements and time restrictions (excluding temporary sales permitted and regulated under Section 1181.15).*
 - (1) *Application for a Zoning Certificate shall be filed with an accompanying fee not less than ten days prior to the requested sale.*
 - (2) *Only the following specific types of outdoor retail sales may be permitted and only for the time periods described below:*
 - A. *Farm produce and firewood may be sold seasonally as an accessory use to an agricultural use, but only to the extent they are grown on property owned or leased by the owner of the Agricultural District land where the sales occur. Such sales of firewood shall be limited to October 1 to February 1. Sales of produce shall be limited to May 1 to October 31.*
 - B. *Garden and landscaping vegetation and materials, including but not limited to, peat moss, bark, mulch, fertilizer, marble chips, soil, sod, power lawn equipment, outdoor cooking equipment and accessories may be sold on a seasonal basis from April 1 to September 30 in B-1, B-2, B-3, PC and I-1 Districts. Power snow removal equipment may be sold on a seasonal basis from September 1 to February 28 in those same zoning districts.*

- C. *Christmas trees, tree stands and greenery may be sold on a temporary basis between Thanksgiving and Christmas in the B-1, B-2, B-3 and PC Planned Commercial Districts and in the I-1 District.*
 - D. *Promotional sales of merchandise normally offered for sale by a City business may be conducted on the permanent building location of that business for a period not exceeding three days with a frequency of no more than two in any calendar year. Such promotional sales may occur only in the B-1, B-2, B-3 and PC Planned Commercial Districts and in the I-1 District.*
 - E. *Outdoor sales of merchandise normally offered for sale (within proper zoning districts) by a City business engaged in the sale of farm implements, automobiles, trailers or boats, or in the lumber yard, greenhouse/nursery or monument business.*
- (3) *All cleanup of this area, including removal of merchandise, fixtures, etc., shall be completed within 48 hours after the sales activity and by the date specified on the zoning certificate otherwise no additional certificates shall be issued for 12 months after the date of the violation notice.*
 - (4) *Sales area shall allow for adequate pedestrian walkways and shall not extend into any fire lanes. The placement of the sales area shall not encroach upon any parking requirements of the district.*
 - (5) *The height of any outdoor sales shall not exceed five feet.*
 - (6) *The outdoor sales area shall be placed so as not to interfere with traffic circulation.*
 - (7) *The outdoor sales area shall not consume any of the required parking spaces for the business(s) for which it is located.*
 - (8) *Outdoor sales areas shall be in good order and well maintained.*

Conformance with Zoning Regulations

Under the zoning code, Kroger is limited to selling gardening and landscaping products from April 1 to September 30; and winter trees and greenery from late November to December 31.

Historically, Kroger has obtained seasonal sales permits for the store, which expire on September 30 each year. The product is seasonally appropriate and changes based on customer demand. The outdoor sales areas at the store are located on either side of the entrance. Kroger plans to continue the same sales area at the store and is not looking to expand into any fire lanes, parking areas or interfere with pedestrian access.

Kroger desires to expand the time and seasonal products available for sale to include items such as:

- Spring: Plants, patio furniture, firewood, garden accessories, and related items.
- Summer: Plants, patio furniture, firewood, water toys, vegetables, and related items.
- Fall: Pumpkins, gourds, plants, firewood, etc.

- Winter: Trees, wreaths, greens, and other winter-appropriate items.

In addition to the Kroger store, there are outdoor sales at the fueling center. The product has been located along the perimeter of the fueling center and under the canopy. Products include washer fluid, oil, snacks, mulch, salt, and other bulk garden goods. The products are generally well screened from the roadway by the existing mature landscaping. The applicant wants to continue the year-round outdoor sales of those related items in their current location.

Standards for Approval

1171.11 Changes in the basic and detailed development plans.

A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.

- (a) *Major Changes.* Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.
- (b) *Minor Changes.* The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.

Staff Analysis

Kroger has maintained their outdoor storage areas cleanly and safely. The store entrance is well maintained and free of clutter. The outdoor storage at the fueling center is primarily palletized products such as mulch, soil, salt, and auto-related products. The more oversized palletized products are located along the perimeter of the fueling center. The perimeter storage is reasonably well screened from the public right of way and adjacent properties. The outdoor sales under the fueling canopy are primarily located at the sales booth.

Staff feels the applicant's request to permit year-round sales at the Kroger store is reasonable given its historic operating history, nature of the product and location. The outdoor sales at the Kroger store are under the front entrance roof and not in a traditional open-air display area.

Staff feels the applicant's request to permit year-round sales at the fueling center is acceptable under the following conditions:

1. East Perimeter:
 - a. Additional landscaping/screening bushes along the east perimeter are replaced or added to fill gaps and better screen the product from the adjacent property.
 - b. The product is not stacked higher than the existing screening vegetation or five feet, whichever is less.
 - c. The existing dumpster is screened according to code or removed from the site.
2. North Perimeter:
 - a. The landscaping/screening bushes along the north perimeter are replaced or added to fill gaps and better screen the product from Waynetowne Boulevard.
 - b. The product is not stacked higher than the existing screening vegetation or five feet, whichever is less.
 - c. The product shall not be displayed or stored west of the air hose compressor.

Additional Comments:

Fire: None received

City Engineer: None Received

Recommendation

Staff recommends approval of the minor change to permit year-round outdoor sales at the Kroger store and fueling center according to the application and site plan dated July 25, 2022, with the following conditions:

1. Products for sale shall be those generally described in the application and customarily associated with the applicant's business.
2. The applicant shall comply with Section 1181.12 (b)(4),(5),(6),(7),(8)
3. Product along the east and north perimeter of the fueling station shall not be stacked higher than the screening vegetation or five feet, whichever is less.
4. Additional screening and landscaping bushes along the east perimeter of the fueling center shall be added to fill gaps and better screen the product from the adjacent property.
5. Additional screening and landscaping bushes along the north perimeter of the fueling center are replaced or added to fill gaps and better screen the product from Waynetowne Boulevard.
6. Product along the north perimeter shall not be displayed or stored west of the air hose compressor.

7. The existing fuel center trash/recycling dumpster is screened according to code within 90 days or removed from the site within 45 days.
8. A revised site plan shall be submitted reflecting any conditions imposed by the Planning Commission before issuing an updated zoning permit.

Planning Commission Action

The Planning Commission may, with a motion:

- 1) Approve the minor change, with or without conditions
- 2) Deny the minor change.



Planning Commission Decision Record

WHEREAS, on July 15, 2022, the applicant, McBride Dale Clarion, requested approval of a Minor Change for year-round outdoor sales at the Kroger store and fuel center. Property is located at 7747 Old Troy Pike further identified as Parcel Number P70 04005 0135 of the Montgomery County Auditor's Map (Case MC 22-30), and;

WHEREAS, on August 9, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, McBride Dale Clarion, requested approval of a Minor Change for year-round outdoor sales at the Kroger store and fuel center. Property is located at 7747 Old Troy Pike (Case MC 22-30), in accordance with the recommendation of Staff's Memorandum dated August 4, 2022, with the following conditions:

1. Products for sale shall be those generally described in the application and customarily associated with the applicant's business.
2. Applicant shall comply with Section 1181.12 (b)(4),(5),(6),(7),(8)
3. Product along the east and north perimeter of the fueling station shall not be stacked higher than the screening vegetation or five feet, whichever is less.
4. Additional screening and landscaping bushes along the east perimeter of the fueling center shall be added to fill gaps and better screen the product from the adjacent property.
5. Additional screening and landscaping bushes along the north perimeter of the fueling center are replaced or added to fill gaps and better screen the product from Waynetowne Boulevard.
6. Product along the north perimeter shall not be displayed or stored west of the air hose compressor.

MC 22-30 – Decision Record

7. The existing fuel center trash/recycling dumpster is screened according to code within 90 days or removed from the site within 45 days.
8. A revised site plan shall be submitted reflecting any conditions imposed by the Planning Commission, prior to the issuance of an updated zoning permit.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried .

Terry Walton, Chair
Planning Commission

Date



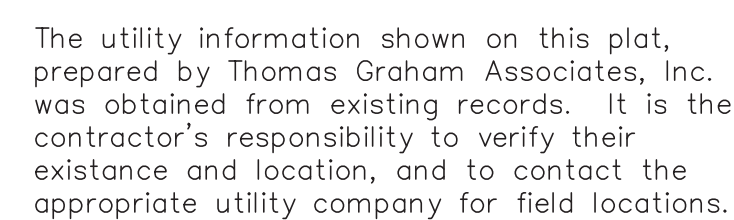
Date: DEC. 7, 2016
Scale: 1" = 30'
Job No: 7276

Revisions	
No.	Date

SECTION 29, TOWN 2, RANGE 8
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO

KROGER
STORE # 758-A
Drawn By: R.J. TRENKAMP
Sheet

Job No: 7276-16



UNDERGROUND UTILITIES
2 WORKING DAYS
BEFORE YOU DIG
PHONE: 1-800-362-2764
OHIO UTILITIES PROTECTION SERVICE
NON-MEMBERS MUST BE CALLED DIRECTLY

AI-8581

7. B.

Planning Commission

Meeting Date: 08/09/2022

Lot Splits

Information

Agenda Title

LOT SPLITS - The applicant, LUIS RIANCHO & ASSOCIATES, INC, is requesting approval to replat one 19.1291 acre lot into 4 existing lots with total acreage between 19.94 and 10.78 acres. Property is located at 7860 Bellefontaine Road (LS 22-32).

Purpose and Background

Attachments

Staff Report

Decision Record

drawing

Legal Description

Legal Description

Legal Description

Legal Description

drawing

Legal Description

Legal Description

Legal Description

Legal Description

Memorandum

Staff Report for Meeting of August 9, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner
Community Planning Insights

Date: August 3, 2022

Subject: LS 22-32 7860 Bellefontaine Road

Application dated August 2, 2022

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Luis Riancho - Applicant
Darin Schmidt - Owner

DEVELOPMENT NAME: N/A

ADDRESS/LOCATION: 7860 Bellefontaine Road

ZONING/ACREAGE: Agriculture (A) 19.1291 acres

EXISTING LAND USE: Agricultural

**ZONING
ADJACENT LAND:** A

REQUEST: The applicant requests to replat one 19.1291 acre lot into four existing lots with total acreage between 19.94 and 10.78 acres.

ORIGINAL APPROVAL: N/A

APPLICABLE HHCC: Chapter 1107, 1142

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

This site was recently the subject of a rezoning request to construct a paintball facility. Four adjacent neighbors are purchasing the site and enlarging their existing lots. All current lots are zoned Agriculture and there is no anticipated change of use.

The city is requesting right of way dedication, consistent with the thoroughfare plan.

Staff Analysis

The applicant requests to replat one 19.1291-acre lot into four existing lots with total acreages between 19.94 and 10.78 acres. All lots meet minimum zoning requirements.

The proposed replat meets all requirements of the subdivision regulations and the applicant is dedicating various depths of right-of-way consistent with the thoroughfare plan.

Additional Comments:

Fire: None received

City Engineer: None received

Recommendation

After reviewing the applicant's proposal, staff recommends approval of the replat of 19.1291 acres submitted with the application dated August 2, 2022.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

- 1) Approve the lot split as submitted (staff recommendation);
- 2) Approve the lot split with conditions; or,
- 3) Deny the lot split.



Planning Commission Decision Record

WHEREAS, on August 2, 2022, the applicant, Luis Riancho & Associates, Inc., requested approval to Replat one 19.1291-acre lot into 4 existing lots with total acreage between 19.94 and 10.78 acres. Property is located at 7860 Bellefontaine Road further identified as Parcel Number P70 03905 0060 of the Montgomery County Auditor's Map (Case LS 22-32), and;

WHEREAS, on August 9, 2022, the Planning Commission did meet and fully discuss the details of the request.

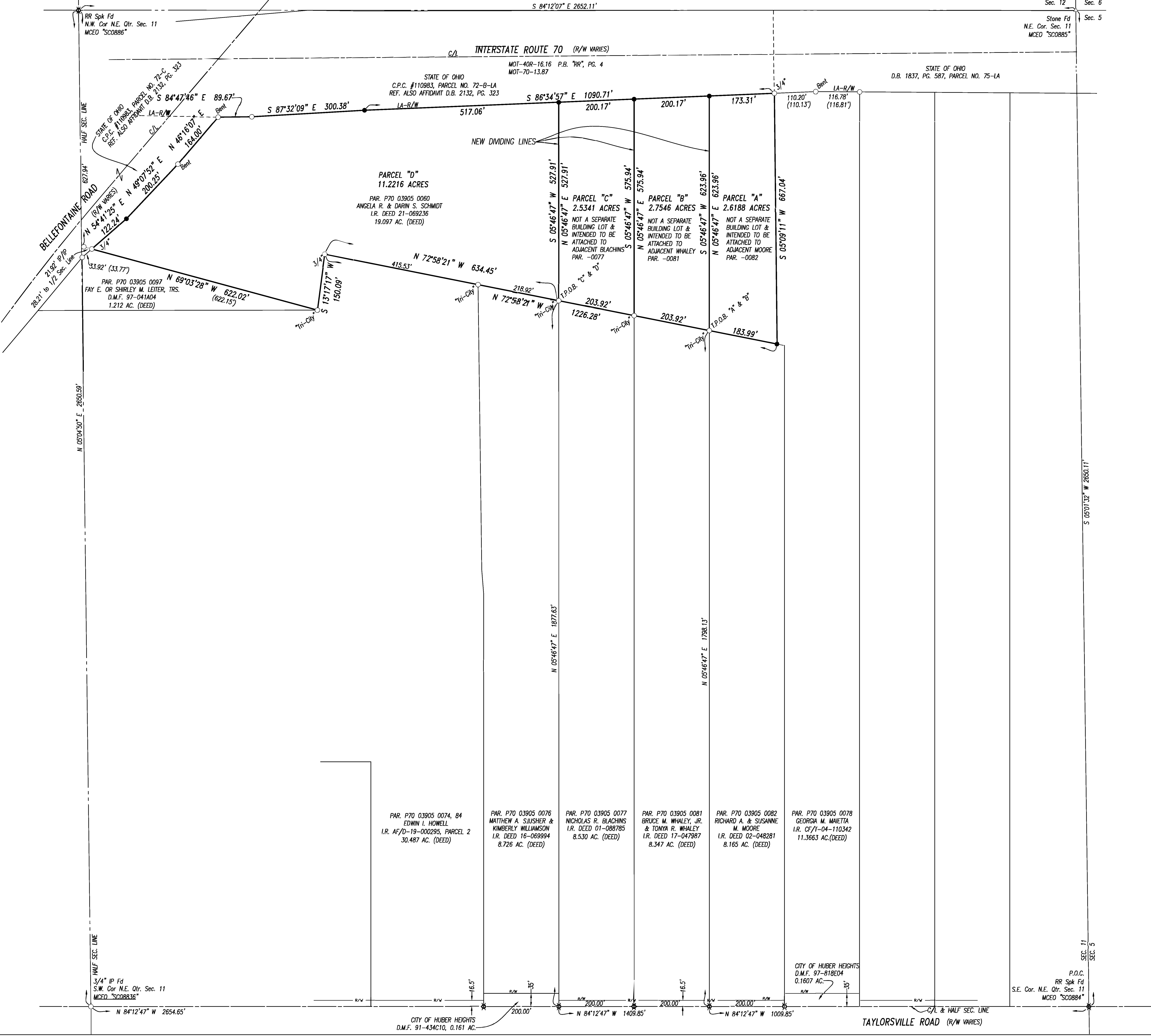
NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Luis Riancho & Associates Inc., requested approval to Replat one 19.1291-acre lot into 4 existing lots with total acreage between 19.94 and 10.78 acres. Property is located at 7860 Bellefontaine Road (Case LS 22-32), in accordance with the recommendation of Staff's Memorandum dated August 3, 2022.

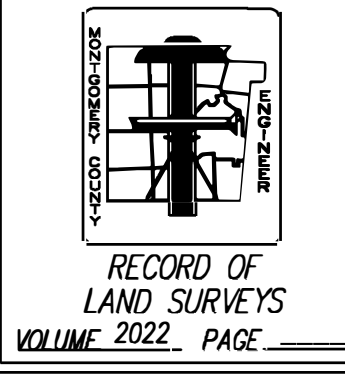
Seconded by _____ Roll call showed: YEAS: _____ NAYS: _____ Motion to recommend approval carried .

Terry Walton, Chair
Planning Commission

Date



PLAT OF SURVEY
SECTION 11, TOWN 2, RANGE 8 M.Rs.
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO
2.6188 ACRES PARCEL "A"
2.7546 ACRES PARCEL "B"
2.5341 ACRES PARCEL "C"
11.2216 ACRES PARCEL "D"
19.1291 ACRES TOTAL SURVEY



MONUMENTATION LEGEND		
SYMBOL	DESCRIPTION	ABBREVIATION
○	IRON PIN FOUND	IP FD
⊙	IRON PIPE FOUND	I PIPE FD
⊗	R.R. SPIKE FOUND	RR SPK FD
×	CROSS FOUND	X FD
△	STONE FOUND	STN FD
⊘	MAG OR PK NAIL FOUND	MAG OR PK FD
□	MONUMENT FOUND	MON FD
●	IRON PIN & CAP SET	IP & CAP SET
⊙	R.R. SPIKE SET	RR SPK SET
⊗	CROSS SET	X SET
⊘	MAG NAIL SET	MAG SET
●	MONUMENT SET	MON SET
●	3/4" IP SET W/2" CAP	IP & CAP SET

NOTE: ALL FOUND IRON PINS ARE #5 REBARS IN GOOD CONDITION UNLESS NOTED.
NOTE: ALL FOUND IRON PIPES ARE 3/4" I.D. IN GOOD CONDITION UNLESS NOTED.
NOTE: ALL SET IRON PINS ARE #5 REBAR WITH A PLASTIC CAP STAMPED "LGR & ASSOC ENGLEWOOD OH" UNLESS NOTED.

PERTINENT DOCUMENTS:
DEEDS/PLATS/SURVEYS AS SHOWN ON THIS PLAT OF SURVEY AND:
SUR. 2015-0351
OCCUPATION STATEMENT:
OCCUPATION GENERALLY FITS SURVEYED LINES UNLESS SHOWN OTHERWISE HEREON.
NOTES:
1. DISTANCE IN () INDICATES A DEED CALL DISTANCE WHERE IT DIFFERS FROM MEASURED.
2. THIS SURVEY PREPARED WITHOUT BENEFIT OF A TITLE SEARCH REPORT OR COMMITMENT.

CERTIFICATION:
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY OR PLAT OF SURVEY WAS PREPARED IN ACCORDANCE WITH OHIO ADMINISTRATIVE CODE CHAPTER 4733-37 STANDARDS FOR BOUNDARY SURVEYS. ALL MONUMENTATION IS OR WILL BE SET AS SHOWN.

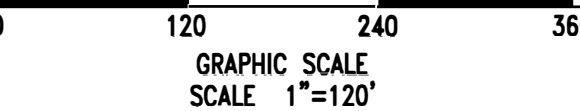
BY: LUIS G. RIANCHO DATE: REGISTERED SURVEYOR OF OHIO NO. 5287



CLIENT: RICHARD MOORE
DATE OF SURVEY: JUNE 2022

PREPARED BY: LGR
LUIS G. RIANCHO & ASSOCIATES, INC.
SURVEYING
JOB # 22037 JUNE 2022
DRAWING: 22037POS PLOT DATE 07-05-2022

BASIS OF BEARING: N 84°12'47" W FOR THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 11 AND CENTERLINE OF TAYLORSVILLE ROAD FROM GPS OBSERVATIONS UTILIZING QDOT VRS, STATE PLANE COORDINATE SYSTEM, NAD83(2011) (GEOID'12), OHIO SOUTH ZONE.



TEL 937 836-1585
FAX 937 836-9974
LGR@RIANCHOWHOH.RR.CO.OH
140 WEST WENGER ROAD
ENGLEWOOD, OHIO 45322-2727



LUIS G. RIANCHO, PS

LUIS G. RIANCHO & ASSOCIATES, INC.

SURVEYING

**GPS SERVICES
HIGHWAY & CONSTRUCTION STAKING
BOUNDARY & TOPOGRAPHIC SURVEYS**

**140 W. WENGER ROAD
ENGLEWOOD, OHIO
45322-2727**

**TEL (937) 836-1585
FAX (937) 836-9974**

Email: lgriancho@woh.rr.com

D22037-1

July 5, 2022

Description of Parcel "A", Containing 2.6188 Acres

Bellefontaine Road

City of Huber Heights, Montgomery County, Ohio

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and being part of a 19.097 acre tract of land conveyed to Angela R. & Darin S. Schmidt by deed recorded in Instrument Record Deed 21-069236 (Parcel ID P70 03905 0060) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorsville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for one thousand nine and 85/100 (1009.85) feet to a railroad spike found at the southwest corner of a 8.165 acre tract of land conveyed to Richard A. & Susanne M. Moore by deed recorded in Instrument Record Deed 02-048281, said railroad spike being also at the southeast corner of a 8.347 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley by deed recorded in Instrument Record Deed 17-047987;

thence in a northerly direction with the west line of said 8.165 acre Moore land and with the east line of said 8.347 acre Whaley land, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East for one thousand seven hundred ninety-eight and 13/100 (1798.13) feet to a 5/8" iron pin capped "Tri-City" found at the northwest corner of said 8.165 acre Moore land and northeast corner of said 8.347 acre Whaley land, said iron pin being also in the south line of said 19.097 acre Schmidt land and the **TRUE POINT OF BEGINNING**;

thence in a northerly direction with a new dividing line and northerly extension of the last described course, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East

Continued on Page 2

D22037-1

Desc. of 2.6188 Acre Parcel

Bellefontaine Road

City of Huber Heights

-2-

07/05/2022

for six hundred twenty-three and 96/100 (623.96) feet to an iron pin set in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA;

thence in an easterly direction with the said south line of Interstate Route 70, South eighty-six degrees thirty-four minutes fifty-seven seconds ($86^{\circ} 34' 57''$) East for one hundred seventy-three and 31/100 (173.31) feet to a 3/4" iron pin found at the northwest corner of a 11.3663 acre tract of land conveyed to Georgia M. Maietta by deed recorded in Instrument Record CF/T-04-110342, said iron pin being also in the east line of said 19.097 acre Schmidt land;

thence in a southerly direction with the west line of said 11.3663 acre Maietta land and with the east line of said 19.097 acre Schmidt land, South five degrees nine minutes eleven seconds ($05^{\circ} 09' 11''$) West for six hundred sixty-seven and 04/100 (667.04) feet to an iron pin set at the southeast corner of said 19.097 acre Schmidt land, said iron pin being also in the north line of said 8.165 acre Moore land;

thence in a northwesterly direction with the north line of said 8.165 acre Moore land and with the south line of said 19.097 acre Schmidt land, North seventy-two degrees fifty-eight minutes twenty-one seconds ($72^{\circ} 58' 21''$) West for one hundred eighty-three and 99/100 (183.99) feet returning to the **TRUE POINT OF BEGINNING**, containing 2.6188 acres more or less and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

Note: The above described parcel is not to be a separate building lot and is intended to be attached to the adjacent said 8.165 acre Moore tract.

Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds ($84^{\circ} 12' 47''$) West for the south line of the northeast quarter of Section 11 and centerline of Taylorsville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

Continued on Page 3

D22037-1

Desc. of 2.6188 Acre Parcel

Bellefontaine Road

City of Huber Heights

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07/05/2022

Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____



LUIS G. RIANCHO, PS

LUIS G. RIANCHO & ASSOCIATES, INC.

SURVEYING

**GPS SERVICES
HIGHWAY & CONSTRUCTION STAKING
BOUNDARY & TOPOGRAPHIC SURVEYS**

**140 W. WENGER ROAD
ENGLEWOOD, OHIO
45322-2727**

**TEL (937) 836-1585
FAX (937) 836-9974**

Email: lgriancho@woh.rr.com

D22037-2

July 5, 2022

Description of Parcel "B", Containing 2.7546 Acres

Bellefontaine Road

City of Huber Heights, Montgomery County, Ohio

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and being part of a 19.097 acre tract of land conveyed to Angela R. & Darin S. Schmidt by deed recorded in Instrument Record Deed 21-069236 (Parcel ID P70 03905 0060) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorsville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for one thousand nine and 85/100 (1009.85) feet to a railroad spike found at the southwest corner of a 8.165 acre tract of land conveyed to Richard A. & Susanne M. Moore by deed recorded in Instrument Record Deed 02-048281, said railroad spike being also at the southeast corner of a 8.347 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley by deed recorded in Instrument Record Deed 17-047987;

thence in a northerly direction with the west line of said 8.165 acre Moore land and with the east line of said 8.347 acre Whaley land, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East for one thousand seven hundred ninety-eight and 13/100 (1798.13) feet to a 5/8" iron pin capped "Tri-City" found at the northwest corner of said 8.165 acre Moore land and northeast corner of said 8.347 acre Whaley land, said iron pin being also in the south line of said 19.097 acre Schmidt land and the **TRUE POINT OF BEGINNING**;

thence in a northwesterly direction with the north line of said 8.347 acre Whaley land and with the south line of said 19.097 acre Schmidt land, North seventy-two degrees fifty-eight

Continued on Page 2

D22037-2

Desc. of 2.7546 Acre Parcel

Bellefontaine Road

City of Huber Heights

-2-

07/05/2022

minutes twenty-one seconds ($72^{\circ} 58' 21''$) West for two hundred three and $92/100$ (203.92) feet to a $5/8$ " iron pin capped "Tri-City" found at the northwest corner of said 8.347 acre Whaley land;

thence in a northerly direction with a new dividing line, North five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) East for five hundred seventy-five and $94/100$ (575.94) feet to an iron pin set in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA;

thence in an easterly direction with the said south line of Interstate Route 70, South eighty-six degrees thirty-four minutes fifty-seven seconds ($86^{\circ} 34' 57''$) East for two hundred and $17/100$ (200.17) feet to an iron pin set;

thence in a southerly direction with a new dividing line, South five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) West for six hundred twenty-three and $96/100$ (623.96) feet returning to the **TRUE POINT OF BEGINNING**, containing 2.7546 acres more or less and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

Note: The above described parcel is not to be a separate building lot and is intended to be attached to the adjacent said 8.347 acre Whaley tract.

Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds ($84^{\circ} 12' 47''$) West for the south line of the northeast quarter of Section 11 and centerline of Taylorsville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

Continued on Page 3

D22037-2

Desc. of 2.7546 Acre Parcel

Bellefontaine Road

City of Huber Heights

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07/05/2022

Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____



LUIS G. RIANCHO, PS

LUIS G. RIANCHO & ASSOCIATES, INC.

SURVEYING

**GPS SERVICES
HIGHWAY & CONSTRUCTION STAKING
BOUNDARY & TOPOGRAPHIC SURVEYS**

**140 W. WENGER ROAD
ENGLEWOOD, OHIO
45322-2727**

**TEL (937) 836-1585
FAX (937) 836-9974**

Email: lgriancho@woh.rr.com

D22037-3

July 5, 2022

**Description of Parcel "C", Containing 2.5341 Acres
Bellefontaine Road
City of Huber Heights, Montgomery County, Ohio**

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and being part of a 19.097 acre tract of land conveyed to Angela R. & Darin S. Schmidt by deed recorded in Instrument Record Deed 21-069236 (Parcel ID P70 03905 0060) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorsville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for one thousand four hundred nine and 85/100 (1409.85) feet to a railroad spike found at the southwest corner of a 8.530 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed 01-088785, said railroad spike being also at the southeast corner of a 0.161 acre tract of land conveyed to City of Huber Heights by deed recorded in D.M.F. 91-434C10;

thence in a northerly direction with the west line of said 8.530 acre Blachins land and with the east line of said 0.161 acre City of Huber Heights land and with the east line of a 8.726 acre tract of land conveyed to Matthew A. Slusher & Kimberly Williamson by deed recorded in Instrument Record Deed 16-069994, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East for one thousand eight hundred seventy-seven and 63/100 (1877.63) feet to a 5/8" iron pin capped "Tri-City" found at the northwest corner of said 8.530 acre Blachins land and northeast corner of said 8.726 acre Slusher & Williamson land, said iron pin being also in the south line of said 19.097 acre Schmidt land and the **TRUE POINT OF BEGINNING**;

Continued on Page 2

D22037-3

Desc. of 2.5341 Acre Parcel

Bellefontaine Road

City of Huber Heights

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07/05/2022

thence in a northerly direction with a new dividing line and northerly extension of the last described course, North five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) East for five hundred twenty-seven and 91/100 (527.91) feet to an iron pin set in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA;

thence in an easterly direction with the said south line of Interstate Route 70, South eighty-six degrees thirty-four minutes fifty-seven seconds ($86^{\circ} 34' 57''$) East for two hundred and 17/100 (200.17) feet to an iron pin set;

thence in a southerly direction with a new dividing line, South five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) West for five hundred seventy-five and 94/100 (575.94) feet to a 5/8" iron pin capped "Tri-City" found at the northeast corner of said 8.530 acre Blachins land in the south line of said 19.097 acre Schmidt land;

thence in a northwesterly direction with the north line of said 8.530 acre Blachins land and with the south line of said 19.097 acre Schmidt land, North seventy-two degrees fifty-eight minutes twenty-one seconds ($72^{\circ} 58' 21''$) West for two hundred three and 92/100 (203.92) feet returning to the **TRUE POINT OF BEGINNING**, containing 2.5341 acres more or less and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

Note: The above described parcel is not to be a separate building lot and is intended to be attached to the adjacent said 8.530 acre Blachins tract.

Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds ($84^{\circ} 12' 47''$) West for the south line of the northeast quarter of Section 11 and centerline of Taylorsville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

Continued on Page 3

D22037-3

Desc. of 2.5341 Acre Parcel

Bellefontaine Road

City of Huber Heights

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07/05/2022

Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____



LUIS G. RIANCHO, PS

LUIS G. RIANCHO & ASSOCIATES, INC.

SURVEYING

**GPS SERVICES
HIGHWAY & CONSTRUCTION STAKING
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**140 W. WENGER ROAD
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45322-2727**

**TEL (937) 836-1585
FAX (937) 836-9974**

Email: lgriancho@woh.rr.com

D22037-4

July 5, 2022

**Description of Parcel "D", Containing 11.2216 Acres
Bellefontaine Road
City of Huber Heights, Montgomery County, Ohio**

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and being part of a 19.097 acre tract of land conveyed to Angela R. & Darin S. Schmidt by deed recorded in Instrument Record Deed 21-069236 (Parcel ID P70 03905 0060) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorsville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for one thousand four hundred nine and 85/100 (1409.85) feet to a railroad spike found at the southwest corner of a 8.530 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed 01-088785, said railroad spike being also at the southeast corner of a 0.161 acre tract of land conveyed to City of Huber Heights by deed recorded in D.M.F. 91-434C10;

thence in a northerly direction with the west line of said 8.530 acre Blachins land and with the east line of said 0.161 acre City of Huber Heights land and with the east line of a 8.726 acre tract of land conveyed to Matthew A. Slusher & Kimberly Williamson by deed recorded in Instrument Record Deed 16-069994, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East for one thousand eight hundred seventy-seven and 63/100 (1877.63) feet to a 5/8" iron pin capped "Tri-City" found at the northwest corner of said 8.530 acre Blachins land and northeast corner of said 8.726 acre Slusher & Williamson land, said iron pin being also in the south line of said 19.097 acre Schmidt land and the **TRUE POINT OF BEGINNING**;

Continued on Page 2

D22037-4

Desc. of 11.2216 Acre Parcel

Bellefontaine Road

City of Huber Heights

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07/05/2022

thence in a northwesterly direction with the north line of said 8.726 acre Slusher & Williamson land and with the north line of a 30.487 acre tract of land conveyed to Edwin I. Howell by deed recorded in Instrument Record AF/D-19-000295, Parcel 2 and with the south line of said 19.097 acre Schmidt land, North seventy-two degrees fifty-eight minutes twenty-one seconds (72° 58' 21") West, passing a 5/8" iron pin capped "Tri-City" at 218.92 feet at the corner common to said Slusher/Williamson and Howell lands, for a total distance of six hundred thirty-four and 45/100 (634.45) feet to a 3/4" iron pin found at a corner in the north line of said 30.487 acre Howell land;

thence in a southerly direction continuing with the north line of said 30.487 acre Howell land, South thirteen degrees seventeen minutes seventeen seconds (13° 17' 17") West for one hundred fifty and 09/100 (150.09) feet to a 5/8" iron pin capped "Tri-City" found at a corner in the north line of said 30.487 acre Howell land, said iron pin being also at the southeast corner of a 1.212 acre tract of land conveyed to Fay E. or Shirley M. Leiter, Trs. by deed recorded in D.M.F. 97-041A04;

thence in a northwesterly direction with the north line of said 1.212 acre Leiter, Trs. land, North sixty-nine degrees three minutes twenty-nine seconds (69° 03' 28") West for six hundred twenty-two and 02/100 (622.02) feet to a 3/4" iron pin found in the easterly line of the right-of-way of Bellefontaine Road (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-C;

thence in a northeasterly direction with the easterly line of said Bellefontaine Road on the following three (3) courses:

1) North fifty-four degrees forty-one minutes twenty-five seconds (54° 41' 25") East for one hundred twenty-two and 24/100 (122.24) feet to an iron pin set at an angle point;

2) North forty-nine degrees seven minutes fifty-two seconds (49° 07' 52") East for two hundred and 25/100 (200.25) feet to a 5/8" iron pin found bent at an angle point;

3) North forty-six degrees sixteen minutes seven seconds (46° 16' 07") East for one hundred sixty-four and 00/100 (164.00) feet to a 5/8" iron pin found bent in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA;

Continued on Page 3

D22037-4

Desc. of 11.2216 Acre Parcel

Bellefontaine Road

City of Huber Heights

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07/05/2022

thence in an easterly direction with the said south line of Interstate Route 70 on the following three (3) courses:

- 1) South eighty-four degrees forty-seven minutes forty-six seconds ($84^{\circ} 47' 46''$) East for eighty-nine and $67/100$ (89.67) feet to a $5/8$ " iron pin found;
- 2) South eighty-seven degrees thirty-two minutes nine seconds ($87^{\circ} 32' 09''$) East for three hundred and $38/100$ (300.38) feet to an iron pin set;
- 3) South eighty-six degrees thirty-four minutes fifty-seven seconds ($86^{\circ} 34' 57''$) East for five hundred seventeen and $06/100$ (517.06) feet to an iron pin set;

thence in a southerly direction with a new dividing line, South five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) West for five hundred twenty-seven and $91/100$ (527.91) feet returning to the **TRUE POINT OF BEGINNING**, containing 11.2216 acres more or less and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

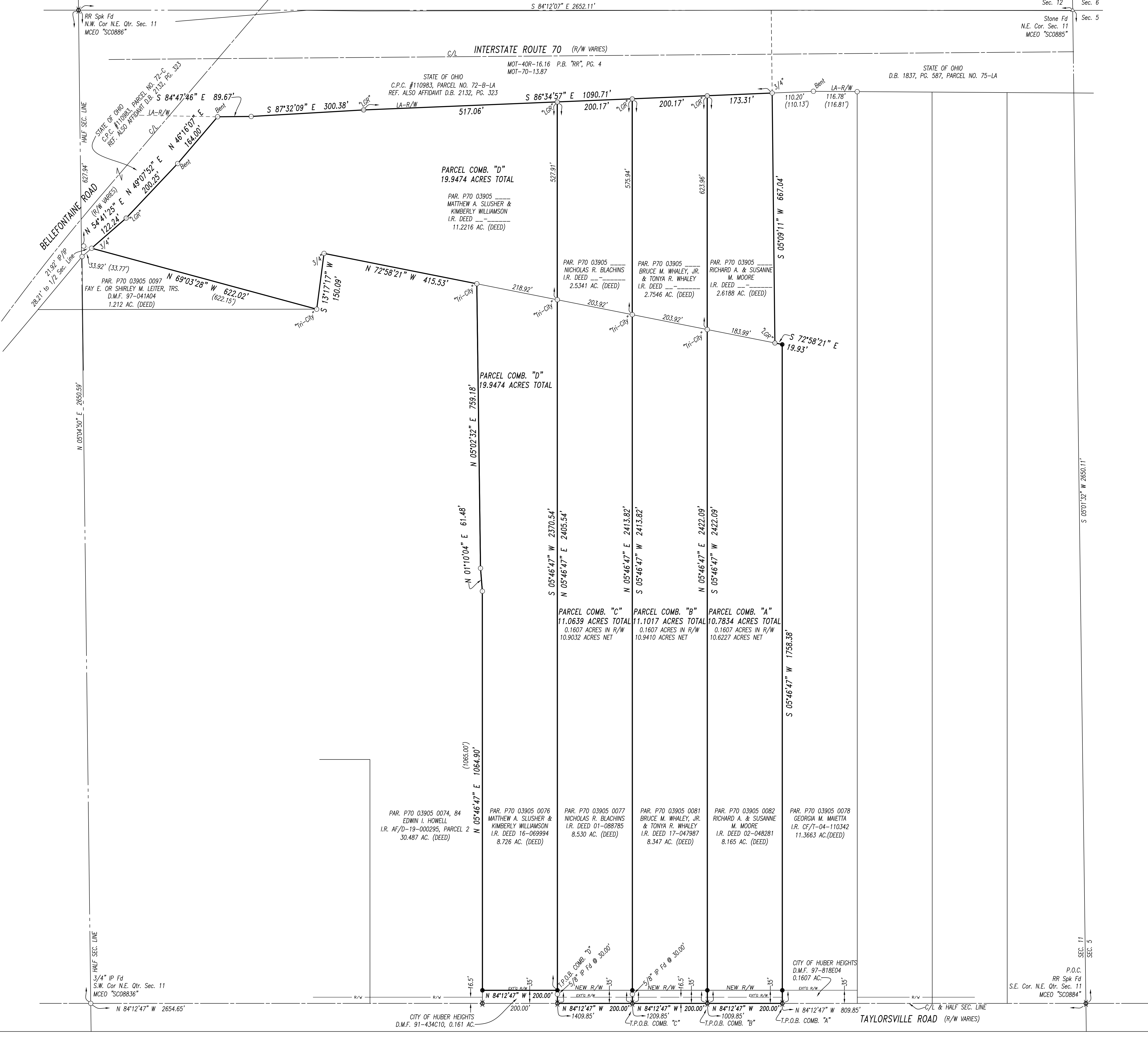
Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds ($84^{\circ} 12' 47''$) West for the south line of the northeast quarter of Section 11 and centerline of Taylorsville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

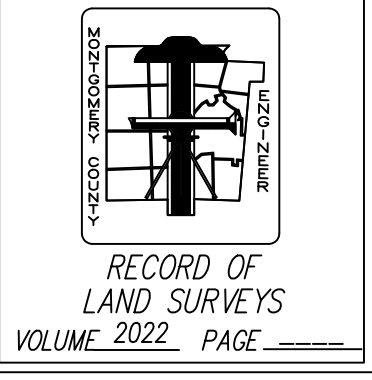
Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____



PLAT OF SURVEY
SECTION 11, TOWN 2, RANGE 8 M.Rs.
CITY OF HUBER HEIGHTS
MONTGOMERY COUNTY, OHIO
10.7834 ACRES PARCEL "A"
11.1017 ACRES PARCEL "B"
11.0639 ACRES PARCEL "C"
19.9474 ACRES PARCEL "D"
52.8964 ACRES TOTAL SURVEY



MONUMENTATION LEGEND		
SYMBOL	DESCRIPTION	ABBREVIATION
○	IRON PIN FOUND	IP FD
⊖	IRON PIPE FOUND	I PIPE FD
⊗	R.R. SPIKE FOUND	RR SPK FD
⊕	CROSS FOUND	X FD
△	STONE FOUND	STN FD
⊙	MAG OR PK NAIL FOUND	MAG OR PK FD
□	MONUMENT FOUND	MON FD
⊠	IRON PIN & CAP SET	IP & CAP SET
⊞	R.R. SPIKE SET	RR SPK SET
⊟	CROSS SET	X SET
⊡	MAG NAIL SET	MAG SET
⊢	MONUMENT SET	MON SET
●	3/4" IP SET W/2" CAP	IP & CAP SET

NOTE: ALL FOUND IRON PINS ARE #5 REBARS IN GOOD CONDITION UNLESS NOTED.
NOTE: ALL FOUND IRON PIPES ARE 3/4" I.D. IN GOOD CONDITION UNLESS NOTED.
NOTE: ALL SET IRON PINS ARE #5 REBAR WITH A PLASTIC CAP STAMPED "LGR & ASSOC ENGLEWOOD OH" UNLESS NOTED.

PERTINENT DOCUMENTS:

DEEDS/PLATS/SURVEYS AS SHOWN ON THIS PLAT OF SURVEY AND:

SUR. 2015-0351

OCCUPATION STATEMENT:

OCCUPATION GENERALLY FITS SURVEYED LINES UNLESS SHOWN OTHERWISE HEREON.

NOTES:

- DISTANCE IN () INDICATES A DEED CALL DISTANCE WHERE IT DIFFERS FROM MEASURED.
- THIS SURVEY PREPARED WITHOUT BENEFIT OF A TITLE SEARCH REPORT OR COMMITMENT.

ABBREVIATIONS:
COMB. - COMBINATION
d. - DEPTH BELOW GRADE
P.O.C. - POINT OF COMMENCEMENT
T.P.O.B. - TRUE POINT OF BEGINNING
C/L - CENTERLINE
MCEO - MONTGOMERY CO. ENGINEER'S OFFICE
R/W - RIGHT-OF-WAY
S/L - SECTION LINE
P/L - PROPERTY LINE

CERTIFICATION:

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY OR PLAT OF SURVEY WAS PREPARED IN ACCORDANCE WITH OHIO ADMINISTRATIVE CODE CHAPTER 4733-37 STANDARDS FOR BOUNDARY SURVEYS. ALL MONUMENTATION IS OR WILL BE SET AS SHOWN.

BY: LUIS G. RIANCHO DATE: REGISTERED SURVEYOR OF OHIO NO. 5287



CLIENT: RICHARD MOORE
DATE OF SURVEY: JUNE 2022

PREPARED BY:



LUIS G. RIANCHO & ASSOCIATES, INC.

JOB # 22037 JUNE 2022 DRAWING: 22037POS



BASIS OF BEARING: N 84°12'47" W FOR THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 11 AND CENTERLINE OF TAYLORSVILLE ROAD FROM GPS OBSERVATIONS UTILIZING ODOT VRS, STATE PLANE COORDINATE SYSTEM, NAD'83(2011) (GEOID'12), OHIO SOUTH ZONE.

TEL 937 836-1585 FAX 937 836-9974 LGR@RIANCHOWH.rr.com
140 WEST WENGER ROAD ENGLEWOOD, OHIO 45322-2727



LUIS G. RIANCHO, PS

LUIS G. RIANCHO & ASSOCIATES, INC.

SURVEYING

**GPS SERVICES
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ENGLEWOOD, OHIO
45322-2727**

**TEL (937) 836-1585
FAX (937) 836-9974**

Email: lgriancho@woh.rr.com

D22037-5

July 5, 2022

Description of Parcel Combination "A", Containing 10.7834 Acres

Taylorsville Road

City of Huber Heights, Montgomery County, Ohio

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and all of a 8.165 acre tract of land conveyed to Richard A. & Susanne M. Moore by deed recorded in Instrument Record Deed 02-048281 (Parcel ID P70 03905 0082) and all of a 2.6188 acre tract of land conveyed to Richard A. & Susanne M. Moore by deed recorded in Instrument Record Deed ____-____ (Parcel ID P70 03905 ____) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorsville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for eight hundred nine and 85/100 (809.85) feet to a railroad spike found at the southwest corner of an 11.3663 acre tract of land conveyed to Georgia M. Maietta by deed recorded in Instrument Record CF/T-04-110342 and the **TRUE POINT OF BEGINNING**;

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for two hundred and 00/100 (200.00) feet to a railroad spike found at the southeast corner of a 8.347 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley by deed recorded in Instrument Record Deed 17-047987;

thence in a northerly direction with the east line of said 8.347 acre Whaley land and with the east line of a 2.7536 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley

Continued on Page 2

D22037-5

Desc. of 10.7834 Acre Parcel

Taylorville Road

City of Huber Heights

-2-

07/05/2022

by deed recorded in Instrument Record Deed ___-_____, North five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) East, passing an iron pin set at 35.00 feet, for a total distance of two thousand four hundred twenty-two and 09/100 (2422.09) feet to a 5/8" iron pin capped "LGR" found in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA, reference a 5/8" iron pin capped "Tri-City" found 623.96 feet south from said "LGR" iron pin on line last described;

thence in an easterly direction with the said south line of Interstate Route 70, South eighty-six degrees thirty-four minutes fifty-seven seconds ($86^{\circ} 34' 57''$) East for one hundred seventy-three and 31/100 (173.31) feet to a 3/4" iron pin found at the northwest corner of said 11.3663 acre Maietta land;

thence in a southerly direction with the west line of said 11.3663 acre Maietta land on the following three (3) courses:

- 1) South five degrees nine minutes eleven seconds ($05^{\circ} 09' 11''$) West for six hundred sixty-six and 82/100 (666.82) feet to a 5/8" iron pin capped "LGR" found;
- 2) South seventy-two degrees fifty-eight minutes twenty-one seconds ($72^{\circ} 58' 21''$) East for nineteen and 93/100 (19.93) feet to an iron pin set;
- 3) South five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) West for one thousand seven hundred fifty-eight and 38/100 (1758.38) feet returning to the **TRUE POINT OF BEGINNING**, reference an iron pin set 35.00 feet north from said true point of beginning on line last described, containing 10.7834 acres more or less and subject to a 35 foot wide easement taken by parallel lines off the south side of the above described tract for public roadway purposes and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

Note: The above described 10.7834 acre parcel contains 0.1607 acres in public right-of-way leaving a net of 10.6227 acres.

Continued on Page 3

D22037-5

Desc. of 10.7834 Acre Parcel

Taylorville Road

City of Huber Heights

-3-

07/05/2022

Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for the south line of the northeast quarter of Section 11 and centerline of Taylorville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____



LUIS G. RIANCHO, PS

LUIS G. RIANCHO & ASSOCIATES, INC.

SURVEYING

**GPS SERVICES
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ENGLEWOOD, OHIO
45322-2727**

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FAX (937) 836-9974**

Email: lgriancho@woh.rr.com

D22037-6

July 5, 2022

Description of Combination Parcel "B", Containing 11.1017 Acres

Taylorville Road

City of Huber Heights, Montgomery County, Ohio

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and being all of a 8.347 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley by deed recorded in Instrument Record Deed 17-047987 (Parcel ID P70 03905 0081) and all of a 2.7546 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley by deed recorded in Instrument Record Deed ____-____ (Parcel ID P70 03905 ____) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for one thousand nine and 85/100 (1009.85) feet to a railroad spike found at the southwest corner of a 8.165 acre tract of land conveyed to Richard A. & Susanne M. Moore by deed recorded in Instrument Record Deed 02-048281 and the **TRUE POINT OF BEGINNING**;

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for two hundred and 00/100 (200.00) feet to a railroad spike found at the southeast corner of a 8.530 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed 01-088785;

thence in a northerly direction with the east line of said 8.530 acre Blachins land and with the

Continued on Page 2

D22037-6

Desc. of 11.1017 Acre Parcel

Taylorsville Road

City of Huber Heights

-2-

07/05/2022

east line of a 2.5341 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed ____-____, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East, passing a 5/8" iron pin found at 30.00 feet, for a total distance of two thousand four hundred thirteen and 82/100 (2413.82) feet to a 5/8" iron pin capped "LGR" found in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA, reference a 5/8" iron pin capped "Tri-City" found 575.94 feet south from said "LGR" iron pin on line last described;

thence in an easterly direction with the said south line of Interstate Route 70, South eighty-six degrees thirty-four minutes fifty-seven seconds (86° 34' 57") East for two hundred and 17/100 (200.17) feet to a 5/8" iron pin capped "LGR" found at the northwest corner of a 2.6188 acre tract of land conveyed to Richard A. & Susanne M. Moore by deed recorded in Instrument Record Deed ____-____;

thence in a southerly direction with the west line of said 2.6188 acre Moore land and with the west line of said 8.165 acre Moore land, South five degrees forty-six minutes forty-seven seconds (05° 46' 47") West, passing a 5/8" iron pin capped "Tri-City" found at 623.96 feet, for a total distance of two thousand four hundred twenty-two and 09/100 (2422.09) feet returning to the **TRUE POINT OF BEGINNING**, reference an iron pin set 16.50 feet north from said true point of beginning on line last described, containing 11.1017 acres more or less and subject to a 35 foot wide easement taken by parallel lines off the south side of the above described tract for public roadway purposes and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

Note: The above described 11.1017 acre parcel contains 0.1607 acres in public right-of-way leaving a net of 10.9410 acres.

Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for the south line of the northeast quarter of Section 11 and centerline of Taylorsville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

Continued on Page 3

D22037-6

Desc. of 11.1017 Acre Parcel

Taylorville Road

City of Huber Heights

-3-

07/05/2022

Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____



LUIS G. RIANCHO, PS

LUIS G. RIANCHO & ASSOCIATES, INC.

SURVEYING

**GPS SERVICES
HIGHWAY & CONSTRUCTION STAKING
BOUNDARY & TOPOGRAPHIC SURVEYS**

**140 W. WENGER ROAD
ENGLEWOOD, OHIO
45322-2727**

**TEL (937) 836-1585
FAX (937) 836-9974**

Email: lgriancho@woh.rr.com

D22037-7

July 5, 2022

Description of Combination Parcel "C", Containing 11.0639 Acres

Taylorsville Road

City of Huber Heights, Montgomery County, Ohio

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and being all of a 8.530 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed 01-088785 (Parcel ID P70 03905 0077) and all of a 2.5341 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed ____-____ (Parcel ID P70 03905 ____) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorsville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for one thousand two hundred nine and 85/100 (1209.85) feet to a railroad spike found at the southwest corner of a 8.347 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley by deed recorded in Instrument Record Deed 17-047987 and the **TRUE POINT OF BEGINNING**;

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorsville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for two hundred and 00/100 (200.00) feet to a railroad spike found at the southeast corner of a 0.161 acre tract of land conveyed to City of Huber Heights by deed recorded in D.M.F. 91-434C10;

thence in a northerly direction with the east line of said 0.161 acre City of Huber Heights land and with the east line of a 8.726 acre tract of land conveyed to Matthew A. Slusher &

Continued on Page 2

D22037-7

Desc. of 11.0639 Acre Parcel

Taylorville Road

City of Huber Heights

-2-

07/05/2022

Kimberly Williamson by deed recorded in Instrument Record Deed 16-069994 and with the east line of a 11.2216 acre tract of land conveyed to Matthew A. Slusher & Kimberly Williamson by deed recorded in Instrument Record Deed __-____, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East, passing a 5/8" iron pin found at 30.00 feet, passing also an iron pin set at 35.00 feet, for a total distance of two thousand four hundred five and 54/100 (2405.54) feet to a 5/8" iron pin capped "LGR" found in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA, reference a 5/8" iron pin capped "Tri-City" found 527.91 feet south from said "LGR" iron pin on line last described;

thence in an easterly direction with the said south line of Interstate Route 70, South eighty-six degrees thirty-four minutes fifty-seven seconds (86° 34' 57") East for two hundred and 17/100 (200.17) feet to a 5/8" iron pin capped "LGR" found at the northwest corner of a 2.7546 acre tract of land conveyed to Bruce M. Whaley, Jr. & Tonya R. Whaley by deed recorded in Instrument Record Deed __-____;

thence in a southerly direction with the west line of said 2.7546 acre Whaley land and with the west line of said 8.347 acre Whaley land, South five degrees forty-six minutes forty-seven seconds (05° 46' 47") West, passing a 5/8" iron pin capped "Tri-City" found at 575.94 feet, for a total distance of two thousand four hundred thirteen and 82/100 (2413.82) feet returning to the **TRUE POINT OF BEGINNING**, reference a 5/8" iron pin found 30.00 feet north from said true point of beginning on line last described, containing 11.0639 acres more or less and subject to a 35 foot wide easement taken by parallel lines off the south side of the above described tract for public roadway purposes and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

Note: The above described 11.0639 acre parcel contains 0.1607 acres in public right-of-way leaving a net of 10.9032 acres.

Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for the south line of the northeast quarter of Section 11 and centerline of Taylorville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Continued on Page 3

D22037-7

Desc. of 11.0639 Acre Parcel

Taylorville Road

City of Huber Heights

-3-

07/05/2022

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____



LUIS G. RIANCHO, PS

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Email: lgriancho@woh.rr.com

D22037-8

July 5, 2022

Description of Combination Parcel "D", Containing 19.9474 Acres

Taylorville Road

City of Huber Heights, Montgomery County, Ohio

Located in the northeast quarter of Section 11, Town 2, Range 8 M.Rs., City of Huber Heights, County of Montgomery, State of Ohio and being all of a 8.726 acre tract of land conveyed to Matthew A. Slusher & Kimberly Williamson by deed recorded in Instrument Record Deed 16-069994 (Parcel ID P70 03905 0076) and all of a 11.2216 acre tract of land conveyed to Matthew A. Slusher & Kimberly Williamson by deed recorded in Instrument Record Deed ____-____ (Parcel ID P70 03905 ____) and being more particularly described as follows:

Commencing at a railroad spike found at the southeast corner of said northeast quarter of Section 11 in the centerline of Taylorville Road (Right-of-Way Varies);

thence in a westerly direction with the south line of said northeast quarter of Section 11 and centerline of said Taylorville Road, North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for one thousand four hundred nine and 85/100 (1409.85) feet to a railroad spike found at the southwest corner of a 8.530 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed 01-088785, said railroad spike being also at the southeast corner of a 0.161 acre tract of land conveyed to City of Huber Heights by deed recorded in D.M.F. 91-434C10;

thence in a northerly direction with the east line of said 0.161 acre City of Huber Heights land and with the west line of said 8.530 acre Blachins land, North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East, passing a 5/8" iron pin found at 30.00 feet, for a total distance of thirty-five and 00/100 (35.00) feet to an iron pin set at the northeast corner of said 0.161 acre City of Huber Heights land and the **TRUE POINT OF BEGINNING;**

Continued on Page 2

D22037-8

Desc. of 19.9474 Acre Parcel

Taylorsville Road

City of Huber Heights

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07/05/2022

thence in a westerly direction with the north line of said 0.161 acre City of Huber Heights land being thirty-five and 00/100 (35.00) feet north of and parallel to the south line of the said northeast quarter of Section 11, North eight-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for two hundred and 00/100 (200.00) feet to an iron pin set at the northwest corner of said 0.161 acre City of Huber Heights land in the east line of a 30.487 acre tract of land conveyed to Edwin I. Howell by deed recorded in Instrument Record AF/D-19-000295, Parcel 2;

thence in a northerly direction with the east line of said 30.487 acre Howell land on the following three (3) courses:

- 1) North five degrees forty-six minutes forty-seven seconds (05° 46' 47") East for one thousand sixty-four and 90/100 (1064.90) feet to a 5/8" iron pin found at an angle point;
- 2) North one degree ten minutes four seconds (01° 10' 04") East for sixty-one and 48/100 (61.48) feet to a 5/8" iron pin found at an angle point;
- 3) North five degrees two minutes thirty-two seconds (05° 02' 32") East for seven hundred fifty-nine and 18/100 (759.18) feet to a 5/8" iron pin capped "Tri-City" found at the northeast corner of said 30.487 acre Howell land;

thence in a northwesterly direction with the north line of said 30.487 acre Howell land, North seventy-two degrees fifty-eight minutes twenty-one seconds (72° 58' 21") West for four hundred fifteen and 53/100 (415.53) feet to a 3/4" iron pin found at a corner in the north line of said 30.487 acre Howell land;

thence in a southerly direction continuing with the north line of said 30.487 acre Howell land, South thirteen degrees seventeen minutes seventeen seconds (13° 17' 17") West for one hundred fifty and 09/100 (150.09) feet to a 5/8" iron pin capped "Tri-City" found at a corner in the north line of said 30.487 acre Howell land, said iron pin being also at the southeast corner of a 1.212 acre tract of land conveyed to Fay E. or Shirley M. Leiter, Trs. by deed recorded in D.M.F. 97-041A04;

thence in a northwesterly direction with the north line of said 1.212 acre Leiter, Trs. land, North sixty-nine degrees three minutes twenty-nine seconds (69° 03' 28") West for six hundred twenty-two and 02/100 (622.02) feet to a 3/4" iron pin found in the easterly line of

Continued on Page 3

D22037-8

Desc. of 19.9474 Acre Parcel

Taylorville Road

City of Huber Heights

-3-

07/05/2022

the right-of-way of Bellefontaine Road (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-C;

thence in a northeasterly direction with the easterly line of said Bellefontaine Road on the following three (3) courses:

1) North fifty-four degrees forty-one minutes twenty-five seconds ($54^{\circ} 41' 25''$) East for one hundred twenty-two and $24/100$ (122.24) feet to a $5/8$ " iron pin capped "LGR" found at an angle point;

2) North forty-nine degrees seven minutes fifty-two seconds ($49^{\circ} 07' 52''$) East for two hundred and $25/100$ (200.25) feet to a $5/8$ " iron pin found bent at an angle point;

3) North forty-six degrees sixteen minutes seven seconds ($46^{\circ} 16' 07''$) East for one hundred sixty-four and $00/100$ (164.00) feet to a $5/8$ " iron pin found bent in the south line of the limited access right-of-way of Interstate Route 70 (Right-of-Way Varies) conveyed to State of Ohio by Court of Common Pleas No. 110983, Parcel No. 72-B-LA;

thence in an easterly direction with the said south line of Interstate Route 70 on the following three (3) courses:

1) South eighty-four degrees forty-seven minutes forty-six seconds ($84^{\circ} 47' 46''$) East for eighty-nine and $67/100$ (89.67) feet to a $5/8$ " iron pin found;

2) South eighty-seven degrees thirty-two minutes nine seconds ($87^{\circ} 32' 09''$) East for three hundred and $38/100$ (300.38) feet to a $5/8$ " iron pin capped "LGR" found;

3) South eighty-six degrees thirty-four minutes fifty-seven seconds ($86^{\circ} 34' 57''$) East for five hundred seventeen and $06/100$ (517.06) feet to a $5/8$ " iron pin capped "LGR" found at the northwest corner of a 2.5341 acre tract of land conveyed to Nicholas R. Blachins by deed recorded in Instrument Record Deed ____-____;

thence in a southerly direction with the west line of said 2.5341 acre Blachins land and with the west line of said 8.530 acre Blachins land, South five degrees forty-six minutes forty-seven seconds ($05^{\circ} 46' 47''$) West, passing a $5/8$ " iron pin capped "Tri-City" found at 527.91 feet, for a total distance of two thousand three hundred seventy and $54/100$ (2370.54) feet

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D22037-8

Desc. of 19.9474 Acre Parcel

Taylorville Road

City of Huber Heights

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07/05/2022

returning to the **TRUE POINT OF BEGINNING**, containing 19.9474 acres more or less and subject to all legal highways, easements, restrictions and agreements of record, according to a survey of said premises by Luis G. Riancho, Registered Surveyor, State of Ohio #5287, dated June 2022.

Note: Basis of bearing: North eighty-four degrees twelve minutes forty-seven seconds (84° 12' 47") West for the south line of the northeast quarter of Section 11 and centerline of Taylorville Road from GPS observations utilizing ODOT VRS, State Plane Coordinate System, NAD'83 (2011) (Geoid'12), Ohio South Zone.

Note: All deeds referenced are recorded in the Deed Records of Montgomery County, Ohio and all plats referenced are recorded in the Plat Records of Montgomery County, Ohio.

Note: All iron pins set are #5 rebars, capped and stamped "LGR & ASSOC, ENGLEWOOD, OHIO".

Note: A Plat of Survey is recorded with the Montgomery County Engineer's Office Record of Land Surveys Volume 2022, Page ____.

Luis G. Riancho
Registered Surveyor
State of Ohio #5287
Date_____

AI-8582

7. C.

Planning Commission

Meeting Date: 08/09/2022

Detailed Development Plan

Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, APP ARCHITECTURE, is requesting approval of a Detailed Development Plan to create a freestanding emergency and urgent care center. Property is located at 7611 Old Troy Pike (DDP 22-29).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Fire Assessment

Memorandum

Staff Report for Meeting of August 9, 2022

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, Interim City Planner
Community Planning Insights

Date: August 3, 2022

Subject: Detailed Development Plan Review – Medical Facility
(7611 Old Troy Pike)

Application dated June 17, 2022

Department of Planning and Zoning		City of Huber Heights	
APPLICANT/OWNER:	Hartman I, LLC – Applicant Huber Heights ABG, LLC - Owners		
DEVELOPMENT NAME:	Huber Heights Medical Facility		
ADDRESS/LOCATION:	7611 Old Troy Pike (Currently Rural King parking/display area)		
ZONING/ACREAGE:	Planned Office - 1.33 acres		
EXISTING LAND USE:	Parking / Display Area		
ZONING ADJACENT LAND:	Planned Commercial		
REQUEST:	The applicant requests approval of a detailed development plan to construct a 10,800 SF emergency medical facility.		
ORIGINAL APPROVAL:	N/A		
APPLICABLE HHCC:	Chapter 1171, 1173, 1181,		
CORRESPONDENCE:	In Favor – None Received In Opposition – None Received		

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant requests approval of a detailed development plan to construct a 10,800square-foot healthcare facility for outpatient and emergency services. The applicant anticipates an initial volume of 30 – 40 patients per day, with a maximum of 50 – 60 patients per day once established.

The Basic Development Plan and rezoning public hearing was held by the City Council on Monday, July 25, 2022. This staff report assumes the rezoning and Basic Development Plan will be approved on Monday, August 8, 2022 . If approved by Council, the Detailed Development Plan will be considered by the Planning Commission the following day. While this is not our typical practice, accommodations have been made for other developments in an equivalent manner. No zoning permits will be issued until the rezoning is effective 30 days after Council approval.

To address the concerns of a third curb-cut along Taylorsville, the applicant has worked with Rural King to obtain an access agreement along the Taylorsville frontage and use the existing Rural King entrance. The site plan also moves the identification sign to the western side of the site.

On June 3, 2022, the Planning Commission voted to recommend approval of the rezoning from Planned Commercial to Planned Office and approval of the basic development plan with the following conditions:

1. Street trees shall be placed every 40 feet along Taylorsville Road.
2. The applicant shall comply with Chapter 1181.18 Screening of Service Structures.
3. The applicant shall comply with Chapter 1181.21 Lighting Standards.
4. The applicant shall comply with Chapter 1182 Landscaping and Screening.
5. Wall and canopy signs shall be similar to those submitted in the sign package submitted to the Planning Commission on April 12, 2022.
6. Ground signs shall not exceed 6 feet in height.
7. The applicant shall comply will all fire code requirements.

The applicant has submitted a Detailed Development that meets these conditions.

Staff Analysis

This revised Basic Development plan addressed the Taylorsville Road access concerns of the Planning Commission and City Council. The Detailed Development Plan substantially conforms to the approved Basic Development and conforms to the PO district regulations including parking and buffering.

Conformance with Zoning Regulations:

1173 (PO) Planned Office District

The proposed use is principally permitted in the PO district.

The required 15-foot perimeter yard is provided in the Detailed Development Plan.

Chapter 1181 General Provisions

The Detailed Development Plan meets the requirements of Chapter 1181:

Street Trees

The Detailed Development Plan indicates street trees placed 25' on center, consistent with the zoning code.

Lighting

The Detailed Development Plans include a photometric study that illustrates the light trespass is minimal and meets code requirements along the public right of way. There is slight light trespass onto the adjacent parking lots, but those parking areas are also illuminated; therefore, there is no impact from the light trespass.

Screening of Service Structures

The Detailed Development Plan indicates the dumpster and service structures will be screened according to code.

Chapter 1182 Landscaping and Screening Standards

The Detailed Development Plan illustrates a significant landscaping and screening program associated with the development. The plan conforms to the street tree frontage requirements and all perimeter parking landscape requirements.

Chapter 1185 Parking and Loading

The Detailed Development Plan meets the requirements of Chapter 1185. The applicant is illustrating areas for parking island landscaping. Based on the interior programming, 45 spaces are required, and 50 spaces are illustrated.

The applicant has secured an agreement with Rural King for access through the Rural King parking area parallel to Taylorsville Road.

Chapter 1189 Signs

The applicant is requesting a mixture of signage, including one ground-mounted sign, three corporate wall signs, three "Emergency" wall signs and one "Ambulance" canopy sign. The sign package submitted with the application is consistent with the conditions imposed by the Planning Commission.

Recommendation

Staff feels the standards of approval outlined in 1171.09 can be met, and therefore staff recommends approval of the Detailed Development Plan with the following conditions:

1. The applicant shall comply will all fire code requirements.
2. The applicant shall comply with all conditions imposed by the City Council as a condition of the rezoning and Basic Development Plan approval.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

1. Approve the Detailed Development Plan with or without conditions.
2. Deny the Detailed Development Plan.



Planning Commission Decision Record

WHEREAS, on June 17, 2022, the applicant, App Architecture, requested approval of a Detailed Development Plan to construct a 10,800 SF emergency medical facility. Property is located at 7611 Old Troy Pike (Currently Rural King parking/display area) further identified as Parcel Number P70 04005 0140 of the Montgomery County Auditor's Map (Case DDP 22-29), and;

WHEREAS, on August 9, 2022, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, App Architecture, requested approval of a Detailed Development Plan to construct a 10,800 SF emergency medical facility. Property is located at 7611 Old Troy Pike (Currently Rural king parking/display area) (Case DDP 22-29), in accordance with the recommendation of Staff's Memorandum dated July 19, 2022, with the following conditions:

1. The applicant shall comply with all fire code requirements.
2. The applicant shall comply with all conditions imposed by the city council as a condition of the rezoning and Basic Development Plan approval.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried .

Terry Walton, Chair
Planning Commission

Date

GENERAL NOTES

- THE CITY OF HUBER HEIGHTS, AND THE CURRENT EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (ODOT CMS), INCLUDING ALL SUPPLEMENTS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THIS PLAN. IGNORE REFERENCES TO MEASUREMENT AND PAYMENT IN THE ODOT CMS UNLESS NOTED OTHERWISE. IN THE CASE OF CONFLICTS BETWEEN THE ODOT CMS AND THE CITY OF HUBER HEIGHTS REQUIREMENTS, THE CITY OF HUBER HEIGHTS REQUIREMENTS SHALL PREVAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES WHO ARE NON-MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
- THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FULLY INFORM HIMSELF CONCERNING ALL CONDITIONS AFFECTING THE SCOPE OF THE WORK. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE HIM FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE CONTRACT.
- NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR EXPENSES INCURRED DUE TO SOIL CONDITIONS, GROUNDWATER, AND/OR ROCK EXCAVATION, ALL OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE COST OF ALL DEWATERING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE DIRECT OR INDIRECT DISCHARGE OR PUMPING OF UNFILTERED SEDIMENT-LADEN WATER INTO THE STORM DRAINAGE SYSTEM OR WATERCOURSE IS ILLEGAL AND PROHIBITED.
- ANY WELL, WELL POINT, PIT, OR OTHER DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUND WATER TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE PROPERLY ABANDONED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 3745-9-10 OF THE OHIO ADMINISTRATIVE CODE, OR IN ACCORDANCE WITH THE PROVISIONS OF THIS PLAN AS DIRECTED BY THE DIRECTOR OF PUBLIC UTILITIES OR HIS REPRESENTATIVE.
- ANY CONTRACTOR INSTALLING ANY WELL, WELL POINT, PIT, OR OTHER DEVICE USED FOR THE PURPOSE OF REMOVING GROUND WATER FROM AN AQUIFER SHALL COMPLETE AND FILE A WELL LOG AND DRILLING REPORT FORM WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR), DIVISION OF WATER, WITHIN 30 DAYS OF THE WELL COMPLETION IN ACCORDANCE WITH THE OHIO REVISED CODE SECTION 1521.01 AND 1521.02. IN ADDITION, ANY SUCH FACILITY IS COMPLETED IN ACCORDANCE WITH SECTION 1521.16 OF THE OHIO REVISED CODE, FOR COPIES OF THE NECESSARY WELL LOG, DRILLING REPORT, OR REGISTRATION FORMS, PLEASE CONTACT: DIVISION OF WATER, OHIO DEPARTMENT OF NATURAL RESOURCES, FOUNTAIN SQUARE, COLUMBUS, OHIO 43224, (614)2656717.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO THE ODNR FOR THE REGISTRY, MAINTENANCE AND ABANDONMENT OF ANY WITHDRAWAL DEVICE USED IN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL SITE SIGNAGE, STRIPING COLOR AND WIDTH SHALL BE PER THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL EXISTING PAVEMENTS, WALKS, CURBS, ETC. SHALL BE SAWCUT BEFORE REMOVAL. IF, DURING CONSTRUCTION, THE PAVEMENT, WALKWAY, CURB, ETC. IS DAMAGED BEYOND THE ORIGINAL SAWCUT, THE DAMAGED AREA SHALL BE RECUT TO NEAT LINES AS DIRECTED BY THE ENGINEER. PAYMENT FOR SAWCUTTING SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT TO PROVIDE A SMOOTH VERTICAL FULL DEPTH BUTT JOINT BETWEEN THE EXISTING PAVEMENT OR CURB AND THE PROPOSED PAVEMENT. CONTRACTOR SHALL LOCATE SOUND PAVEMENT EDGE AND CUT AND TRIM PAVEMENT TO A NEAT LINE. INCLUDE THE COST OF PAVEMENT REMOVAL AND DISPOSAL IN THE PRICE BID FOR THE PROJECT.

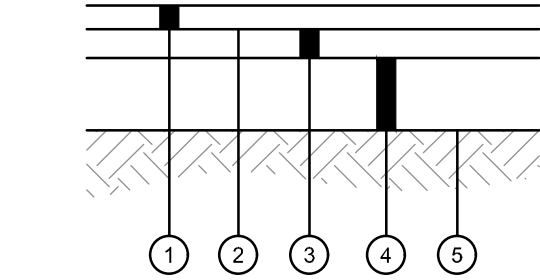
GRADING NOTES

- CONTRACTOR TO REMOVE TREES AND CLEAR AREAS AS NECESSARY TO PERFORM ALL SITE WORK INCLUDING GRADING AND UTILITY WORK.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS WITHIN DRIP LINE, EXCESS ROOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING & STRIPPING UNSUITABLE MATERIAL FROM PAD SITE. THEN PLACE & COMPACT BACKFILL MATERIAL AT GEOTECHNICAL ENGINEER'S AND ARCHITECT'S RECOMMENDATIONS. ALL BACKFILL MATERIAL MUST BE ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR BURY/BORROW PITS AS NEEDED TO BALANCE THE SITE. GEOTECH AND ENGINEER MUST APPROVE AREAS PRIOR TO BURY/BORROW OPERATIONS. AS-BUILT OF BURY/BORROW PIT WILL BE REQUIRED AT COMPLETION OF CONTRACTOR WORK AND MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY CITY OF HUBER HEIGHTS AND THE OHIO EPA.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE ODOT ITEM 659.
- CONTRACTOR TO LAYOUT BUILDING BASED ON ARCHITECTURAL/FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

UTILITY NOTES

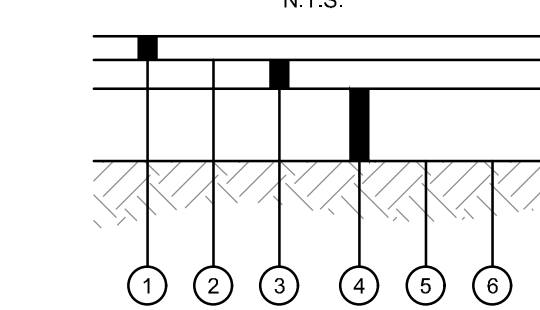
- ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. THE DRAIN TILE AND/OR STORM SEWER SHALL BE CONNECTED TO THE CURB SUBDRAIN, STORM SEWER SYSTEM OR OUTLETTED INTO THE ROADWAY DITCH AS APPLICABLE. REPLACED DRAIN TILE/STORM SEWER SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO SURROUNDING STRATUM. REPLACEMENT SHALL BE DONE AT THE TIME OF THE BACKFILL OPERATION. COST OF THIS WORK TO BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- ALL EXISTING UTILITIES KNOWN TO EXIST HAVE BEEN SHOWN ON THESE PLANS IN THEIR APPROXIMATE LOCATION. PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE UTILITIES SHOWN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ANY UTILITIES THAT MAY EXIST AND ARE NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.
- UTILITY POLES WITHIN INFLUENCE OF THE UTILITY OPERATIONS SHALL BE REINFORCED BY THE UTILITY COMPANY PRIOR TO THESE CONSTRUCTION ACTIVITIES. NOTIFICATION OF THE UTILITY COMPANY PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- CONTRACTOR TO REPLACE ANY PAVEMENT OR UTILITIES DAMAGED WHICH ARE NOT SPECIFIED TO BE REMOVED ON THESE PLANS.
- ALL CATCH BASINS PLACED WITHIN THE PAVEMENT SHALL HAVE HEAVY DUTY FRAMES AND GRATES AND CONFORM TO ADA REQUIREMENTS.
- ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- ALL CATCH BASINS WITH DEPTH GREATER THAN 4.5' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- ALL STORM AND SANITARY SEWER MANHOLES WITH A DEPTH GREATER THAN 4' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH, COORDINATES FOR STORM AND SANITARY STRUCTURES ARE SHOWN TO THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.

- IMMEDIATELY AFTER PLACEMENT OF ANY CONDUITS, THE CONTRACTOR SHALL CONSTRUCT THE END TREATMENTS REQUIRED BY THE PLANS AT BOTH THE OUTLET AND INLET ENDS. THIS SHALL INCLUDE HEADWALLS, CONCRETE RIP RAP, ROCK CHANNEL PROTECTION, SODDING, POURING BOTTOMS, MUDDING LIFT HOLES, ETC.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER. EROSION CONTROL MEASURES MUST PROVIDE PROTECTION UNTIL COMPLETION OF THE PROJECT AND VEGETATIVE STABILIZATION.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTIONS ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE DETENTION BASIN.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- SITE CONTRACTOR SHALL PICK UP ALL UTILITIES, WITH THE EXCEPTION OF DOWNSPOUTS, 5' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER.
- ALL STORM STRUCTURES ARE ODOT TYPES UNLESS OTHERWISE INDICATED.
- STORM SEWER PIPE LABELED "STM" SHALL BE ONE OF THE FOLLOWING: PVC SDR-35 PER ODOT ITEM 707.45, PVC PROFILE PIPE PER ODOT ITEM 707.43, HIGH DENSITY POLYETHYLENE PER ODOT ITEM 707.53, ALUMINIZED CORRUGATED METAL, ODOT ITEM 707.01, 707.02, OR REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. ALL STORM IS TO BE INSTALLED PER ODOT ITEM 611. ALL STORM PIPE USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.013 (N=0.013) OR LESS.
- ALL CATCH BASINS IN THE PAVEMENT ARE TO HAVE 4, 4" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED. ALL CATCH BASINS IN THE CURB ARE TO HAVE 2, 4" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED.
- FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, COORDINATE WITH CONSTRUCTION MANAGER. ALL ROOF DRAINS ARE TO BE 8" UNLESS OTHERWISE NOTED.
- ALL YARD DRAINS SHALL BE ONE OF THE FOLLOWING: NYLOPLAST-ADS DRAIN BASIN, NDS DURACAST FABRICATED PVC CATCH BASIN, AGRI-DRAIN CATCH BASIN, OR APPROVED EQUAL.
- ALL EXISTING INVERTS ALONG PROPOSED PIPE ALIGNMENTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER.
- ANY FIELD TILE CUT IN EXCAVATION WHICH DRAINS IN AN OFFSITE AREA MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- THE FLOW IN ALL SEWERS, DRAINS, FIELD TILES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE TO A CONDITION SATISFACTORY TO THE ENGINEER.
- SANITARY SEWER SHALL BE SCHEDULE 40 OR APPROVED EQUAL AND CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HUBER HEIGHTS. PIPE MUST MEET MINIMUM SLOPE REQUIREMENTS OF THE CITY OF HUBER HEIGHTS AND OHIO EPA. SANITARY SEWER SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE CROSSINGS. SANITARY SERVICE JOINTS SHALL CONFORM TO ASTM D-3212.
- SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
- ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED A MINIMUM OF 18" BELOW WATERLINE AT ALL CROSSINGS. WATERLINE SHALL BE LOCATED A MINIMUM OF 10" HORIZONTALLY FROM ANY SANITARY SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERLINE PIPE. ONE FULL LENGTH OF WATERLINE PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE. ALL WATER SHALL HAVE A MINIMUM OF 4' OF COVER.
- WATERLINE SHALL BE DUCTILE IRON PIPE CLASS 52, MINIMUM 250 PSI.



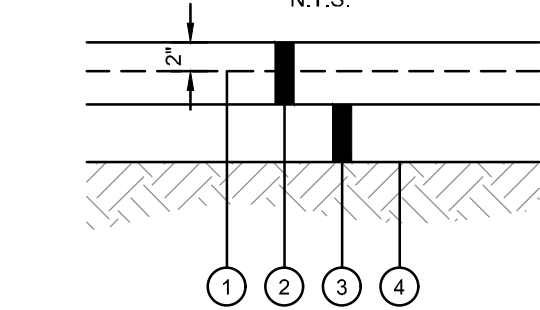
- 1 1/2" ODOT ITEM 441 ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG64-22
- ODOT ITEM 407 TACK COAT, APPLY IF TIME BETWEEN ASPHALT LIFTS EXCEEDS 30 DAYS
- 2" ODOT ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG64-22
- 8" ODOT ITEM 304 AGGREGATE BASE
- SUBGRADE COMPACTION, REFERENCE ODOT ITEM 204, EARTHWORK SPECIFICATION 312000 AND SOILS REPORT

STANDARD DUTY ASPHALT PAVEMENT DETAIL



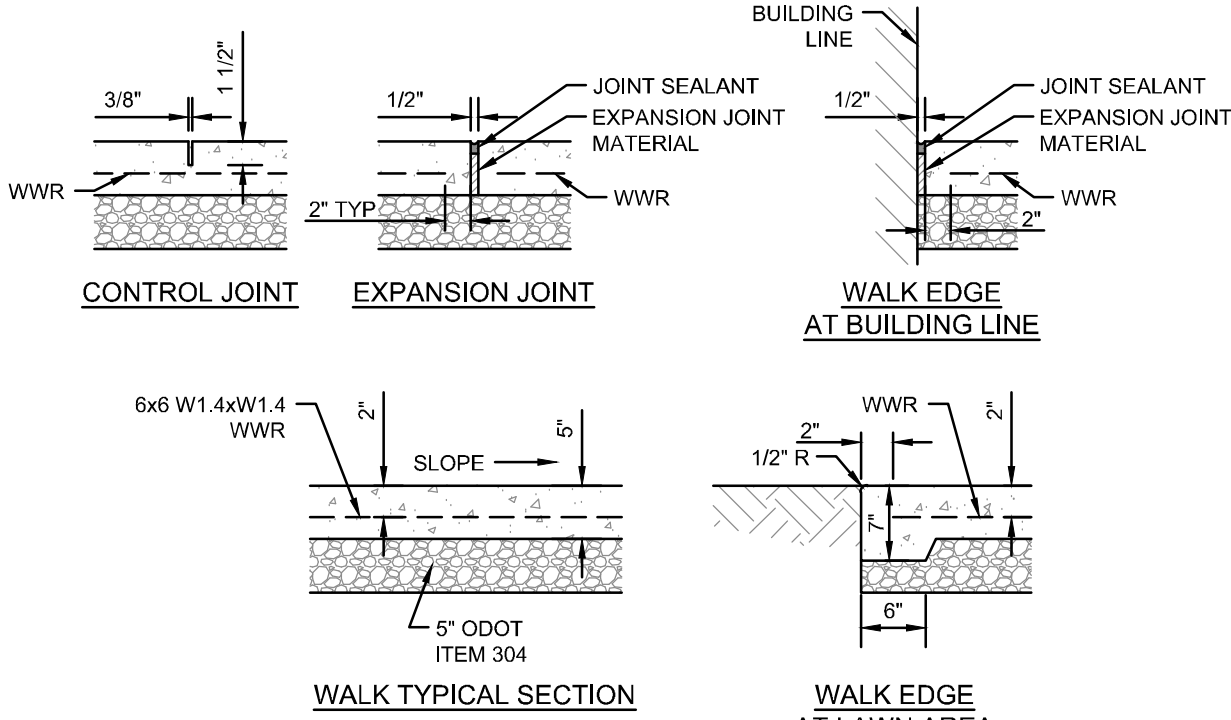
- 1 1/2" ODOT ITEM 441 ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG64-22
- ODOT ITEM 407 TACK COAT, APPLY IF TIME BETWEEN ASPHALT LIFTS EXCEEDS 30 DAYS
- 4" ODOT ITEM 441 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, PG64-22
- 8" ODOT ITEM 304 AGGREGATE BASE
- WOVEN GEOTEXTILE FABRIC, ODOT ITEM 712.09 TYPE D
- SUBGRADE COMPACTION, REFERENCE ODOT ITEM 204, EARTHWORK SPECIFICATION 312000 AND SOILS REPORT

HEAVY DUTY ASPHALT PAVEMENT DETAIL



- 6X6 W4XW4 WELDED WIRE REINFORCEMENT
- 8" ODOT ITEM 452 NONREINFORCED PORTLAND CEMENT CONCRETE PAVEMENT
- 6" ODOT ITEM 304 AGGREGATE BASE
- SUBGRADE COMPACTION, REFERENCE ODOT ITEM 204, EARTHWORK SPECIFICATION 312000 AND SOILS REPORT

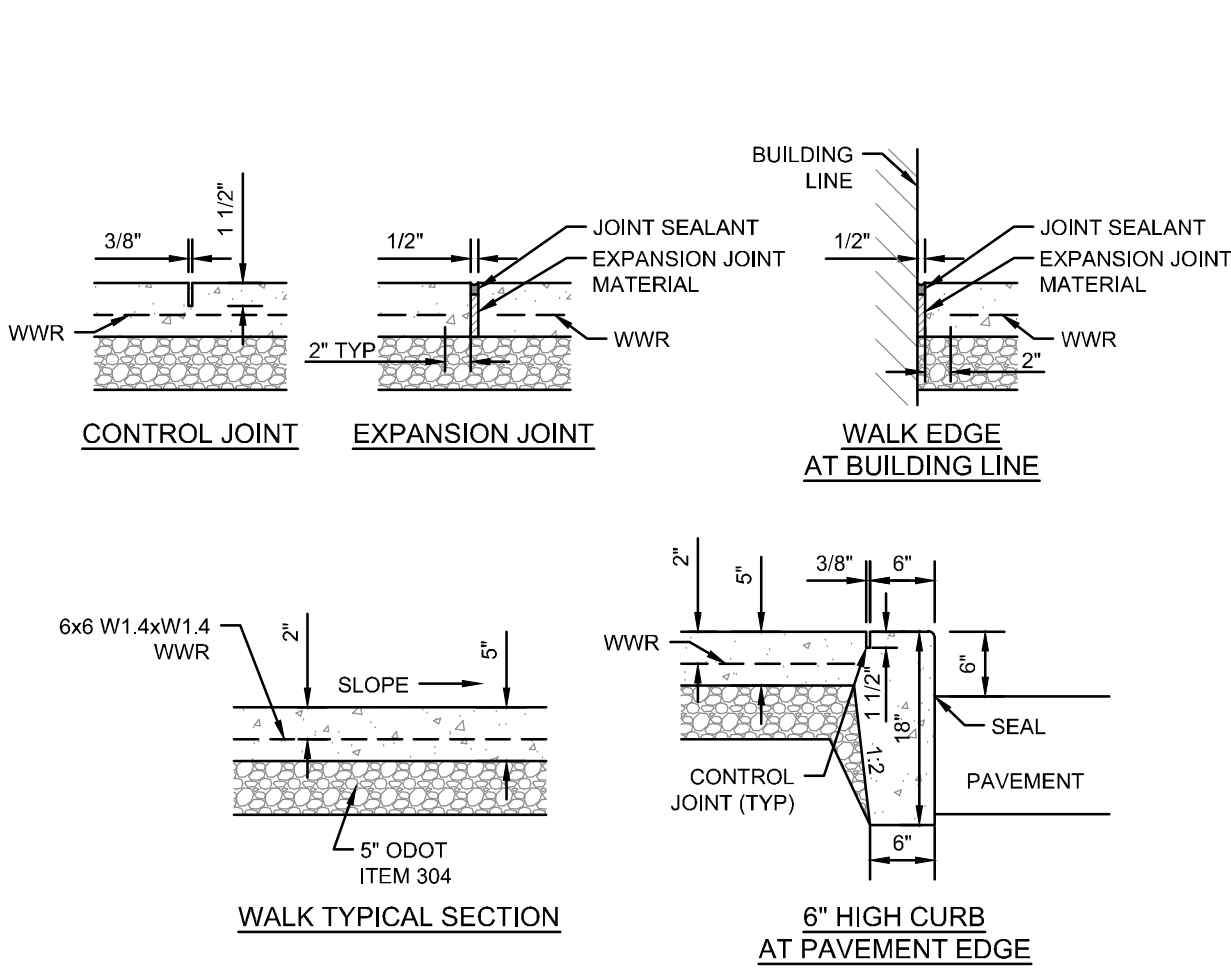
HEAVY DUTY CONCRETE PAVEMENT DETAIL



NOTES:

- INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES. WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
- INSTALL CONTROL JOINTS AT 6' OC MAXIMUM. CONTROL JOINTS SHALL BE 3/8" WIDE BY 1 1/2" DEEP AND TOOLED, SAWED JOINTS ARE NOT PERMITTED.
- WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 2.00%.
- WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.
- JOINTING PLANS MUST BE SUBMITTED FOR APPROVAL.

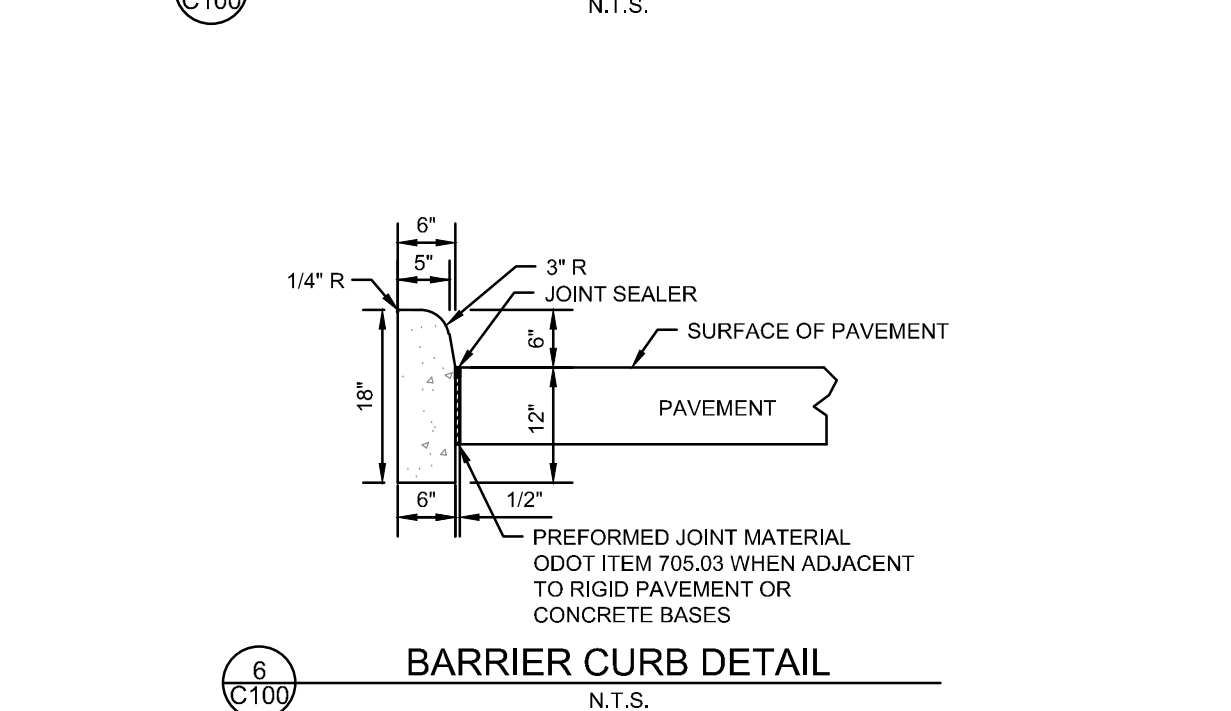
EXTERIOR CONCRETE SLAB WALK DETAIL



NOTES:

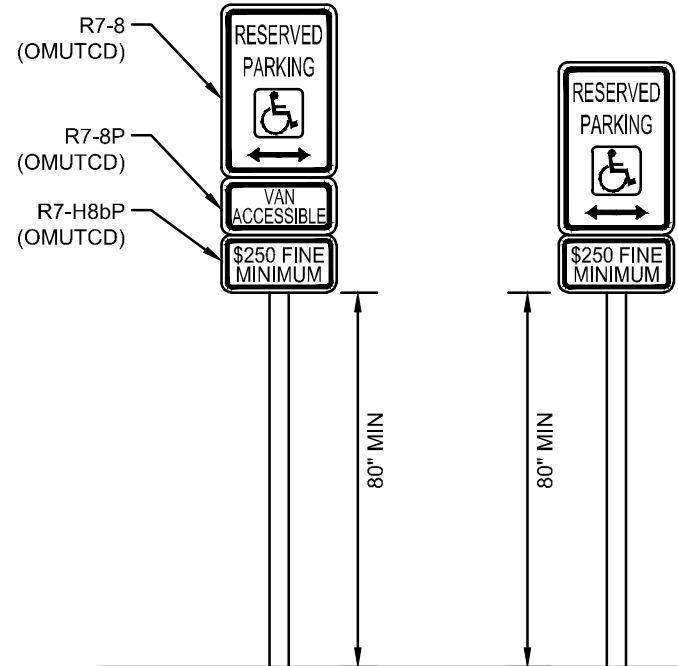
- INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES. WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
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- WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 2.00%.
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- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.
- JOINTING PLANS MUST BE SUBMITTED FOR APPROVAL.

EXTERIOR CONCRETE SLAB WALK WITH INTEGRAL CURB DETAIL



BARRIER CURB DETAIL

N.T.S.



NOTE:

- ONE ACCESSIBLE PARKING SPACE FOR EVERY SIX OR FRACTION THERE OF SHALL BE DESIGNATED AS "VAN ACCESSIBLE". LOCATION AS NOTED ON THE DRAWINGS.
- ONE SIGN TO BE INSTALLED AT EACH ACCESSIBLE PARKING SPACE

ACCESSIBLE PARKING SIGN DETAIL

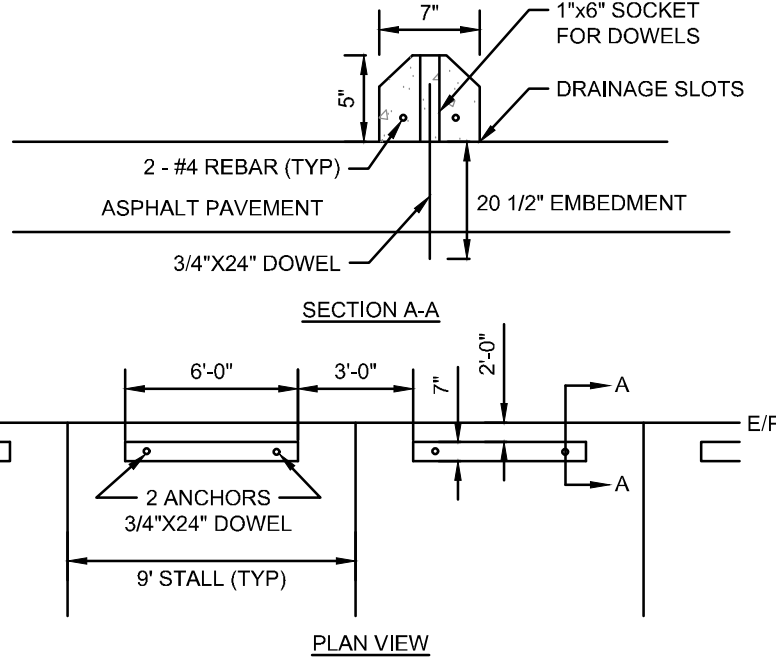
N.T.S.

- GENERAL NOTES:
- U-TYPE FLANGED STEEL SIGN POST SET IN EARTH IF OUTSIDE PAVEMENT EDGE, OR IN CONCRETE TO A MINIMUM DEPTH OF 3'-0" IF WITHIN PAVEMENT.

- R7-8 NOTES:
- 12"x18"x16 GA. STEEL SIGN
 - GREEN LETTERING, BORDER, AND ARROW WITH WHITE BACKGROUND, WHITE HANDICAP SYMBOL IN BLUE BOX.

- R7-8P NOTES:
- 12"x6"x16 GA. STEEL SIGN
 - GREEN LETTERING AND BORDER WITH WHITE BACKGROUND.

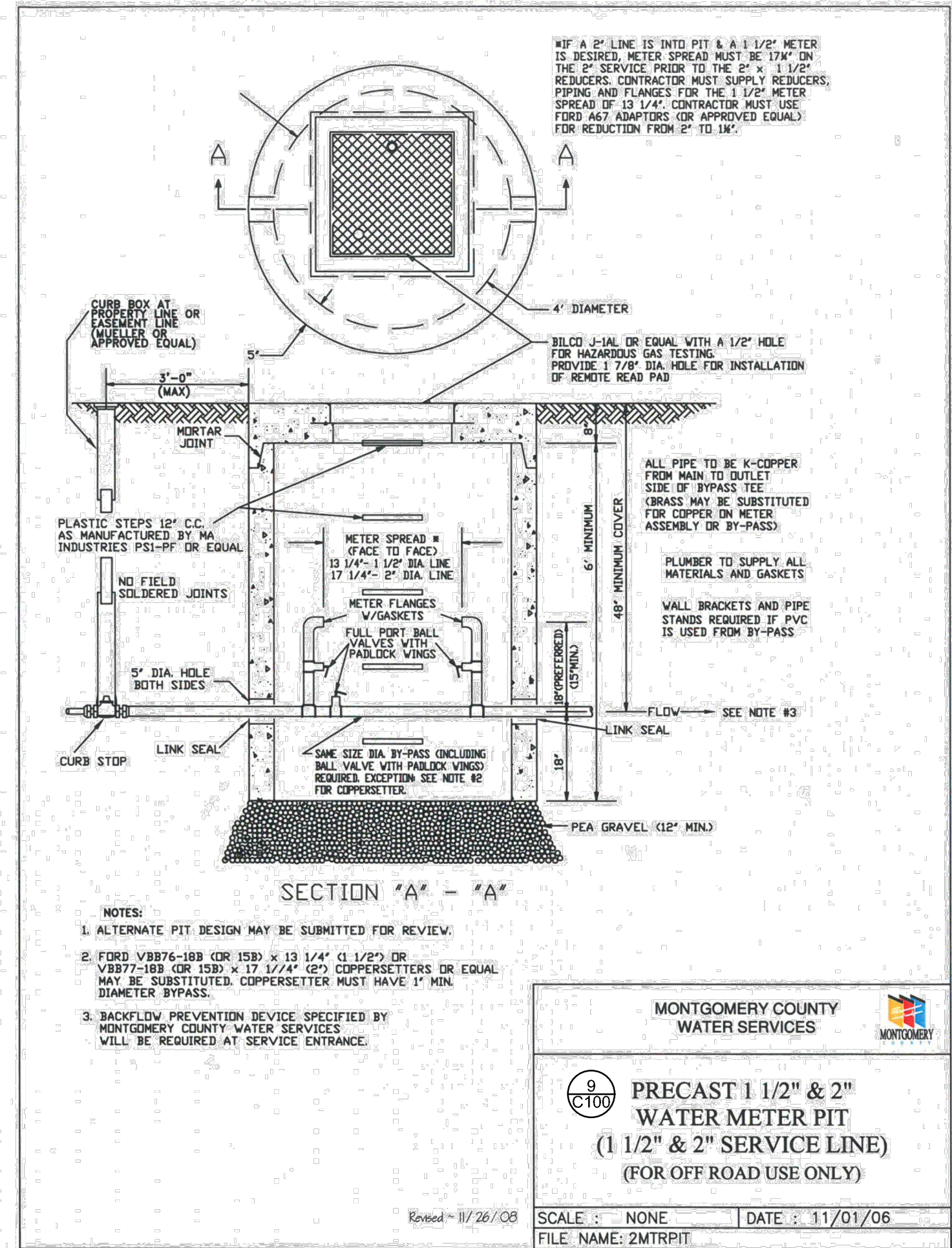
- R7-8bP NOTES:
- 12"x6"x16 GA. STEEL SIGN
 - GREEN LETTERING AND BORDER WITH WHITE BACKGROUND.



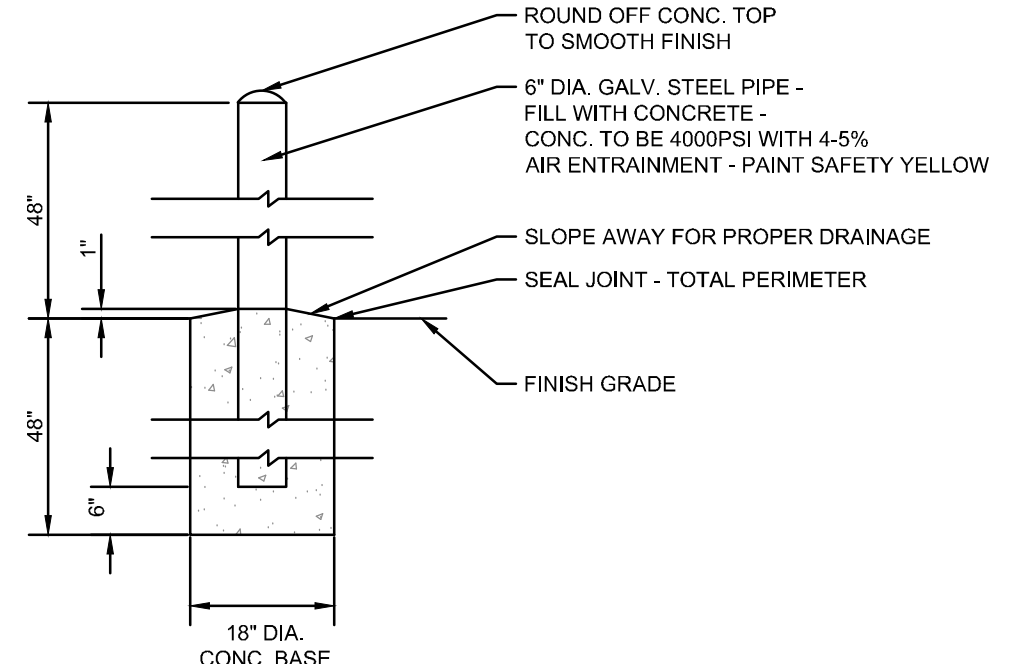
PLAN VIEW

PRECAST CONCRETE WHEEL STOP DETAIL

N.T.S.



15099



PIPE BOLLARD DETAIL

N.T.S.



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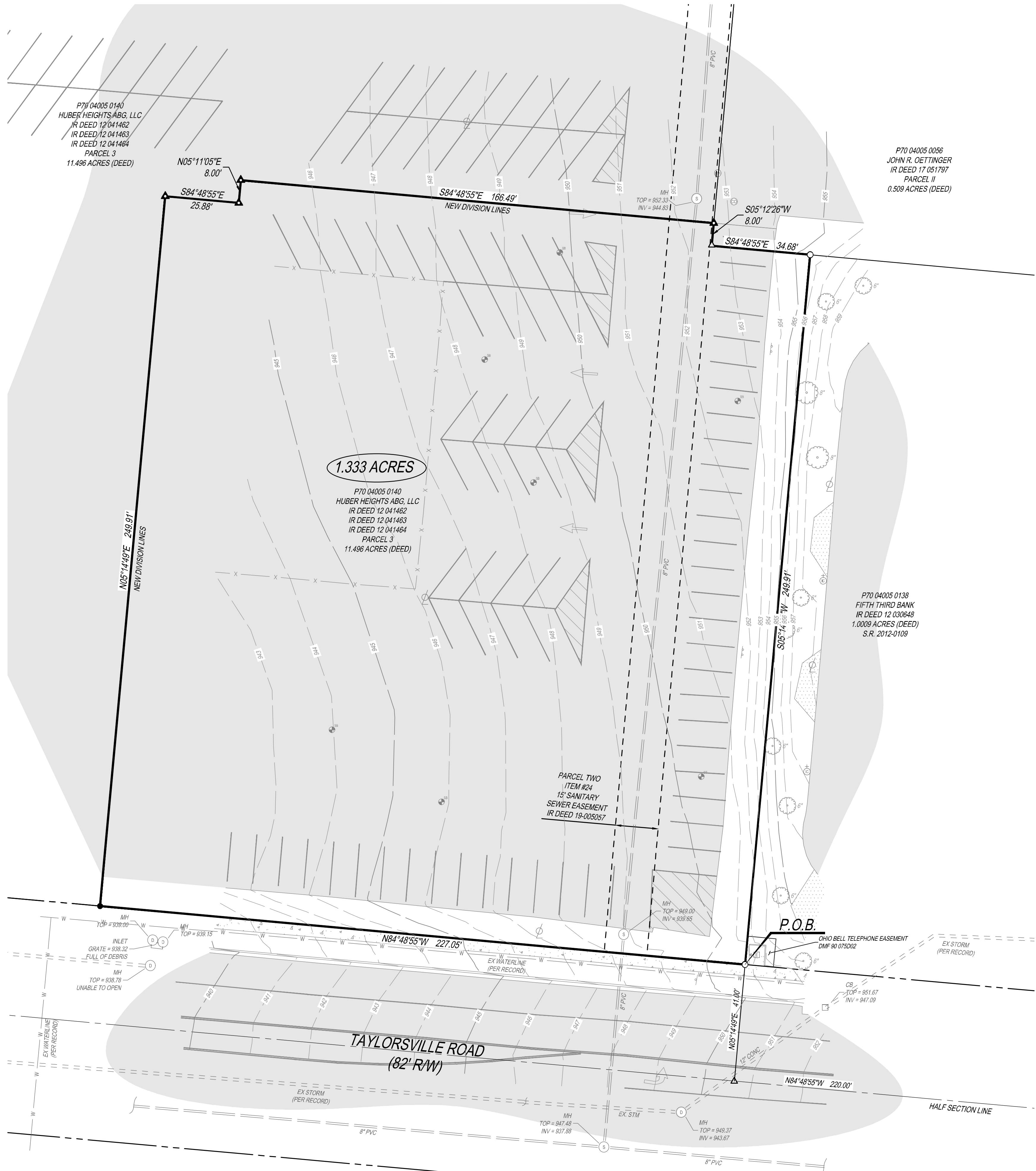
PROJECT NO:	210998.002
DATE:	2022-03-30
SCALE:	

SHEET NAME:

GENERAL NOTES & DETAILS

SHEET NO.

C100



VICINITY MAP
N.T.S

LEGEND

- 5/8" IRON PIN FOUND
- MAG NAIL FOUND
- CATCH BASIN
- INLET
- STORM MANHOLE
- SANITARY MANHOLE
- CLEAN OUT
- ELECTRIC BOX
- LIGHT POLE
- IRRIGATION CONTROL VALVE
- MONITORING WELL
- SOIL BORING
- SIGN (SINGLE POST)
- SIGN (DOUBLE POST)
- DECIDUOUS TREE
- FENCE LINE
- SANITARY SEWER
- STORM SEWER
- ASPHALT
- CONCRETE
- LANDSCAPING

NOTES:

- SOURCE DOCUMENTS AS NOTED.
- OCCUPATION IN GENERAL FITS SURVEY.
- MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- BEARINGS ARE BASED ON A SURVEY PERFORMED BY SESCO GROUP DATED 3-22-22 AND RECORDED IN VOL. PAGE.
- VERTICAL DATUM IS BASED ON NAVD '88.
- SITE BENCHMARK AS SHOWN HEREON.
- SUBJECT SITE IS LOCATED IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD, PER A GRAPHICAL INTERPRETATION OF FEMA'S FLOOD INSURANCE RATE MAP NO. 39113C0157E WITH AN EFFECTIVE DATE OF 01/08/2005.
- SUBJECT SITE CONTAINS 71 PARKING SPACES OF WHICH 0 ARE DESIGNATED HANDICAP.
- AT THE TIME OF THE FIELD SURVEY, THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- AT THE TIME OF THE FIELD SURVEY, THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES.
- SUBJECT SITE HAS FRONTAGE ALONG TAYLORSVILLE ROAD.



NOTE:
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COMPILATION OF AVAILABLE RECORD INFORMATION AND
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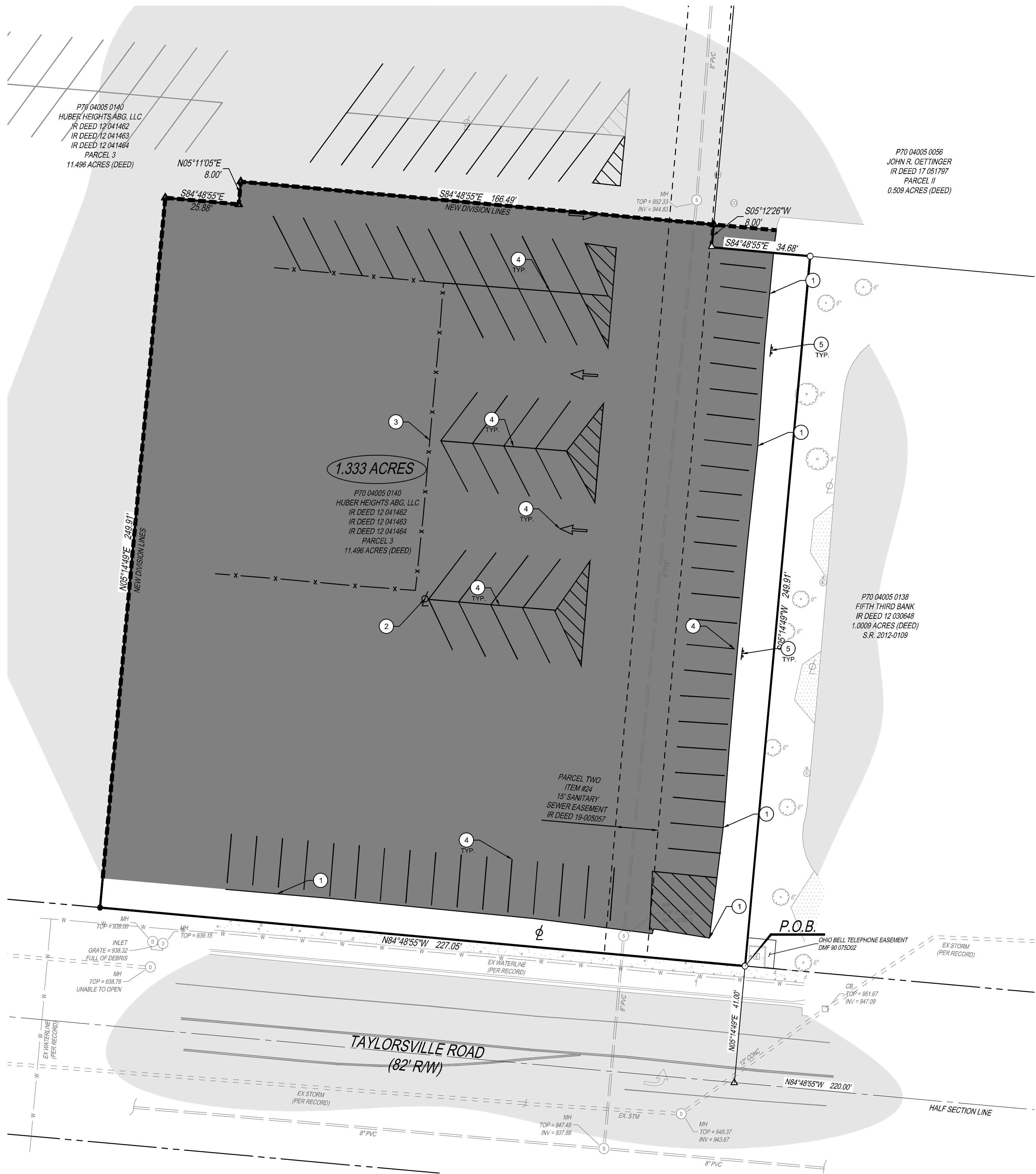
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SHEET NAME:

SURVEY BASEMAP

SHEET NO.

C200



DEMOLITION LEGEND

REMOVE ASPHALT

SAWCUT LINE

- DEMOLITION KEYNOTES
- 1 REMOVE CURB
 - 2 REMOVE LIGHT POLE
 - 3 REMOVE FENCE
 - 4 REMOVE STRIPING
 - 5 REMOVE SIGN

SEAL:

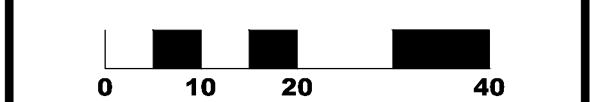
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PROJECT NO: 210998.002

DATE: 2022-03-30

SCALE:



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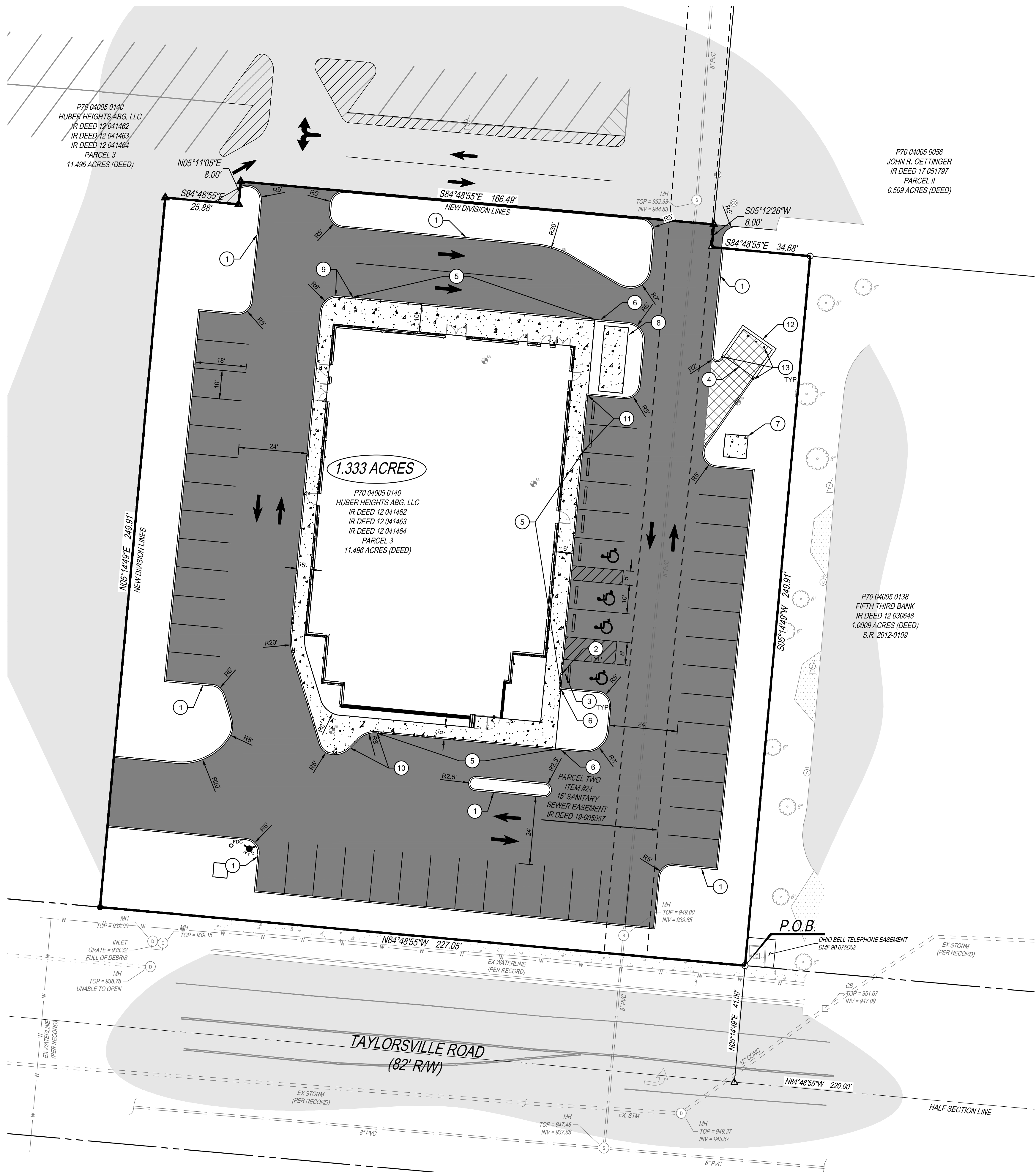
DEMOLITION PLAN

SHEET NO.

C300



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PROPOSED LEGEND

[Symbol]	ASPHALT PAVEMENT - HEAVY DUTY ASPHALT IN DRIVE LANES	1	2
[Symbol]	HEAVY DUTY CONCRETE PAVEMENT	3	
[Symbol]	CONCRETE WALK	4	5

- CODED NOTES**
- 1 PROPOSED BARRIER CURB
 - 2 PROPOSED ACCESSIBLE PARKING SIGN
 - 3 PROPOSED PRECAST CONCRETE WHEEL STOP
 - 4 PROPOSED DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS
 - 5 LIMITS OF FLUSH CURB
 - 6 TRANSITION CURB FROM FLUSH TO FULL HEIGHT OVER 2'
 - 7 PROPOSED CONCRETE PAD FOR TRANSFORMER, REFER TO STRUCTURAL PLAN AND REFER TO MEP PLAN.
 - 8 PROPOSED GENERATOR PAD FOR GENERATOR, REFER TO STRUCTURAL AND MEP PLAN.
 - 9 TRANSITION FLUSH CURB TO FULL HEIGHT CURB OVER 6'. SEE SHEET C600 FOR MORE DETAIL.
 - 10 TRANSITION FLUSH CURB TO FULL HEIGHT CURB OVER 11'. SEE SHEET C600 FOR MORE DETAIL.
 - 11 TRANSITION FLUSH CURB TO FULL HEIGHT CURB OVER 18'. SEE SHEET C600 FOR MORE DETAIL.
 - 12 PROPOSED RETAINING WALL LENGTH: 40' AVERAGE HEIGHT: 3' MAX HEIGHT: 3.3'
 - 13 PROPOSED BOLLARD

PARKING SPACE COUNT TABLE

STANDARD SPACES:	46
ADA SPACES:	4
TOTAL SPACES:	50



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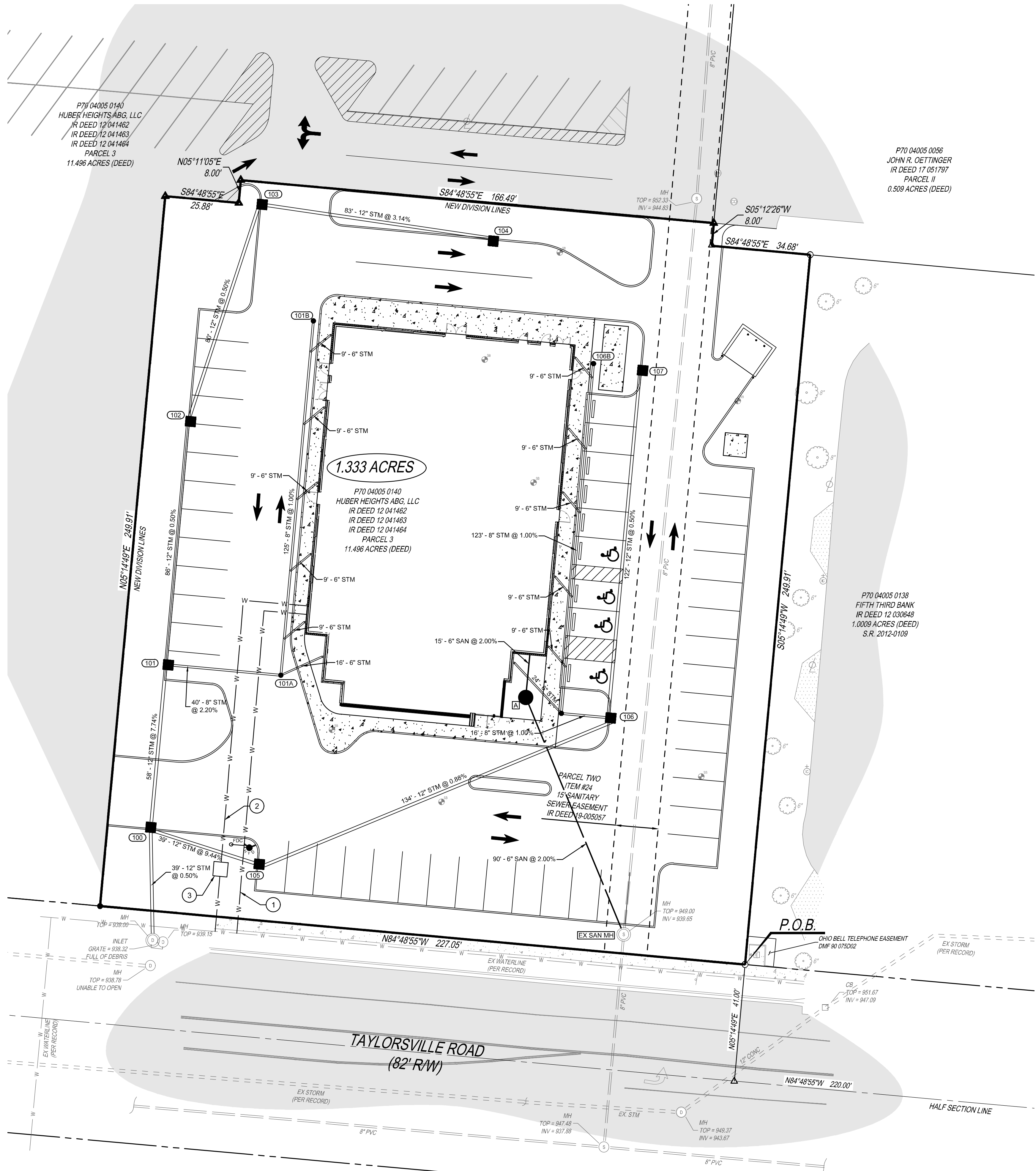
0 10 20 40

SHEET NAME:

LOCATION PLAN

SHEET NO.

C400



PROPOSED LEGEND

- STM STORM SEWER PIPE
- 100 CATCH BASIN
- 100 CURB INLET
- 100 YARD DRAIN
- 100 HEADWALL
- 100 MANHOLE
- STORM SEWER CLEANOUT
- DS DOWNSPOUT
- SAN SANITARY SEWER PIPE
- A SANITARY SEWER MANHOLE
- CD SANITARY SEWER CLEANOUT
- WAT WATERLINE PIPE
- FH FIRE HYDRANT
- WV WATER VALVE
- FDC FIRE DEPARTMENT CONNECTION

CODED NOTES

- 1 PROPOSED FIRE LINE
- 2 PROPOSED DOMESTIC LINE
- 3 PROPOSED METER PIT
- 8 C100

GENERAL NOTE:

ALL UTILITY LINES AND STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF HUBER HEIGHTS STANDARDS.

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FSD HUBER HEIGHTS

PROJECT NO: 210998.002

DATE: 2022-03-30

SCALE:

SHEET NAME:

UTILITY PLAN

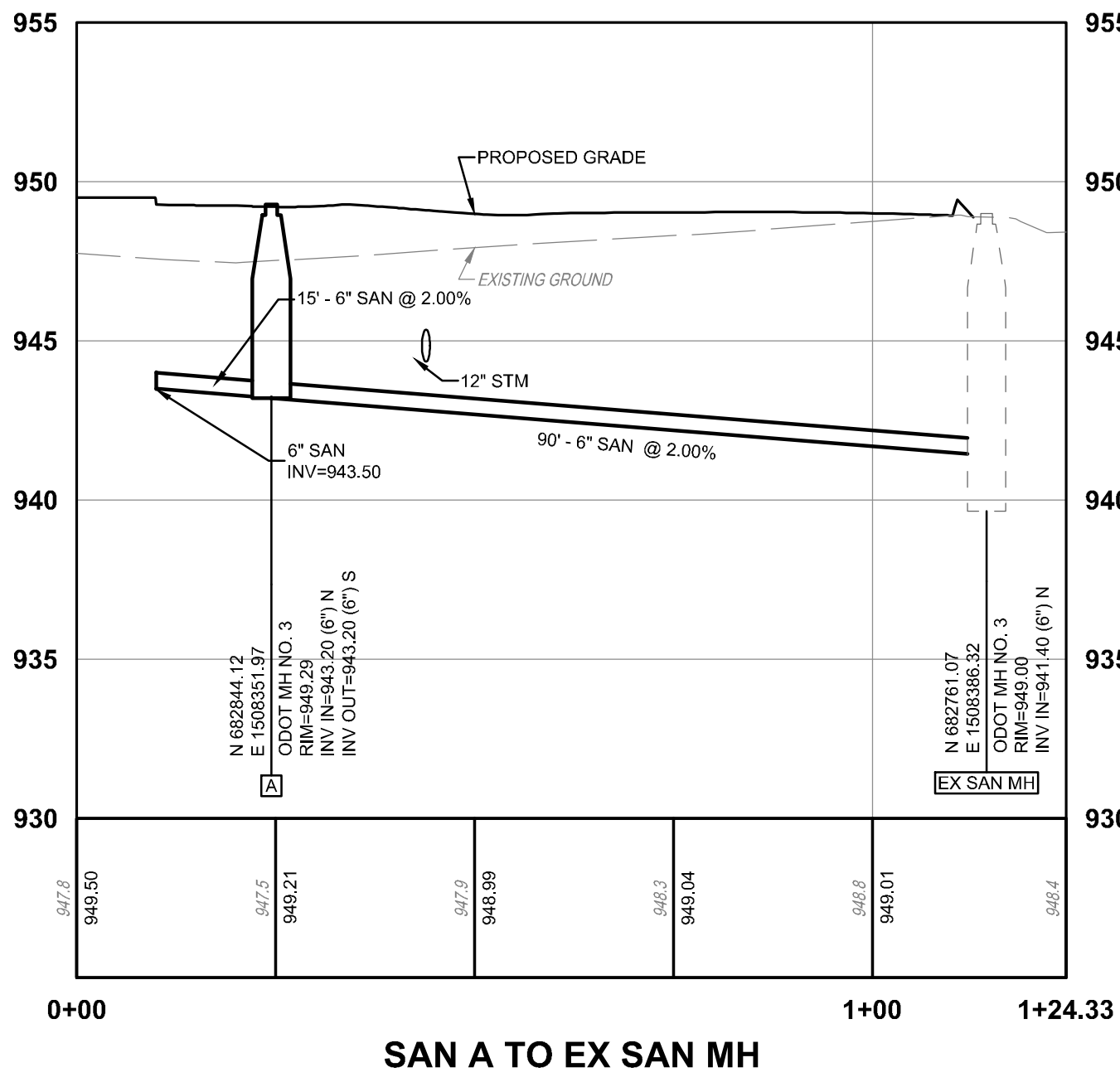
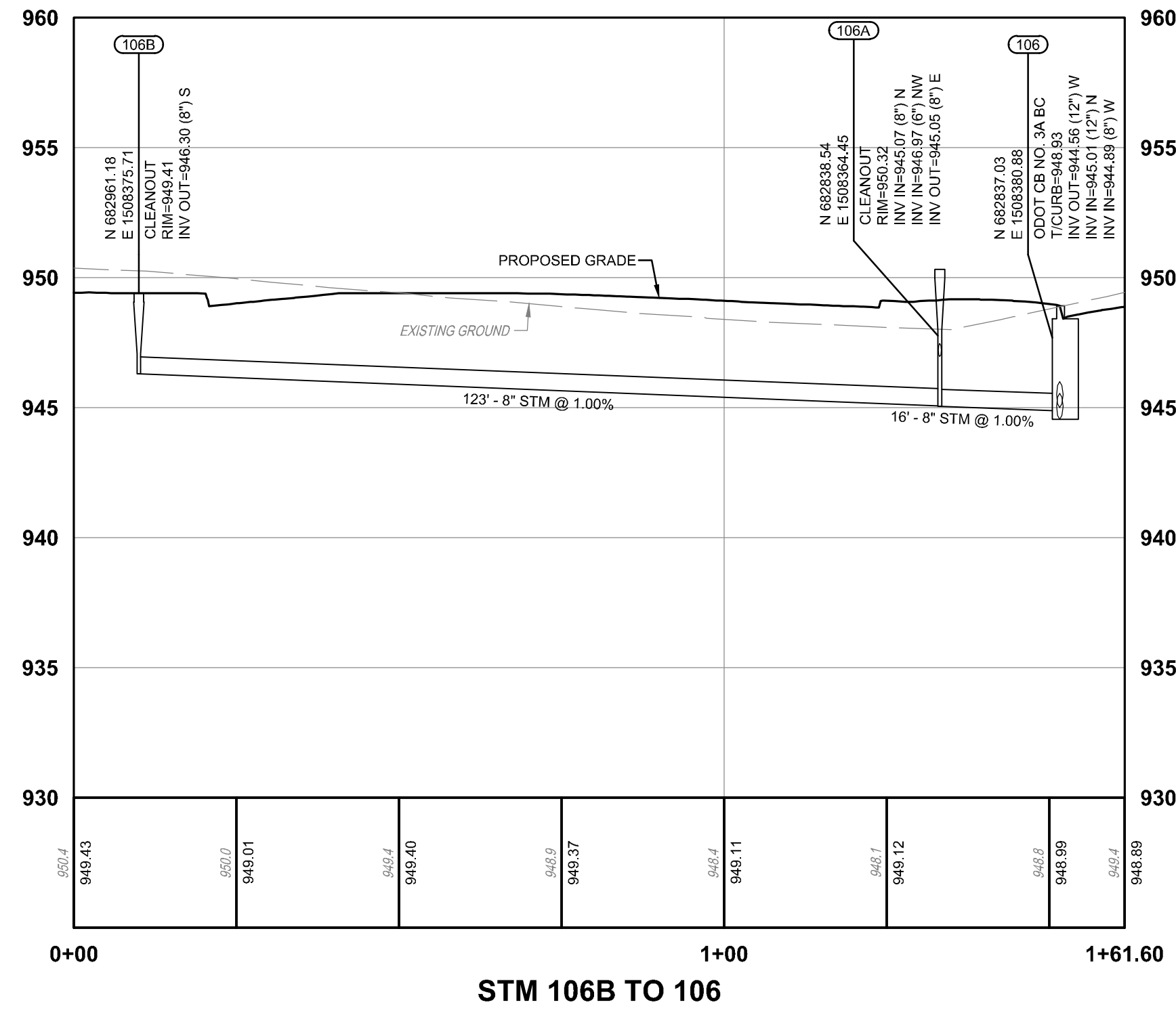
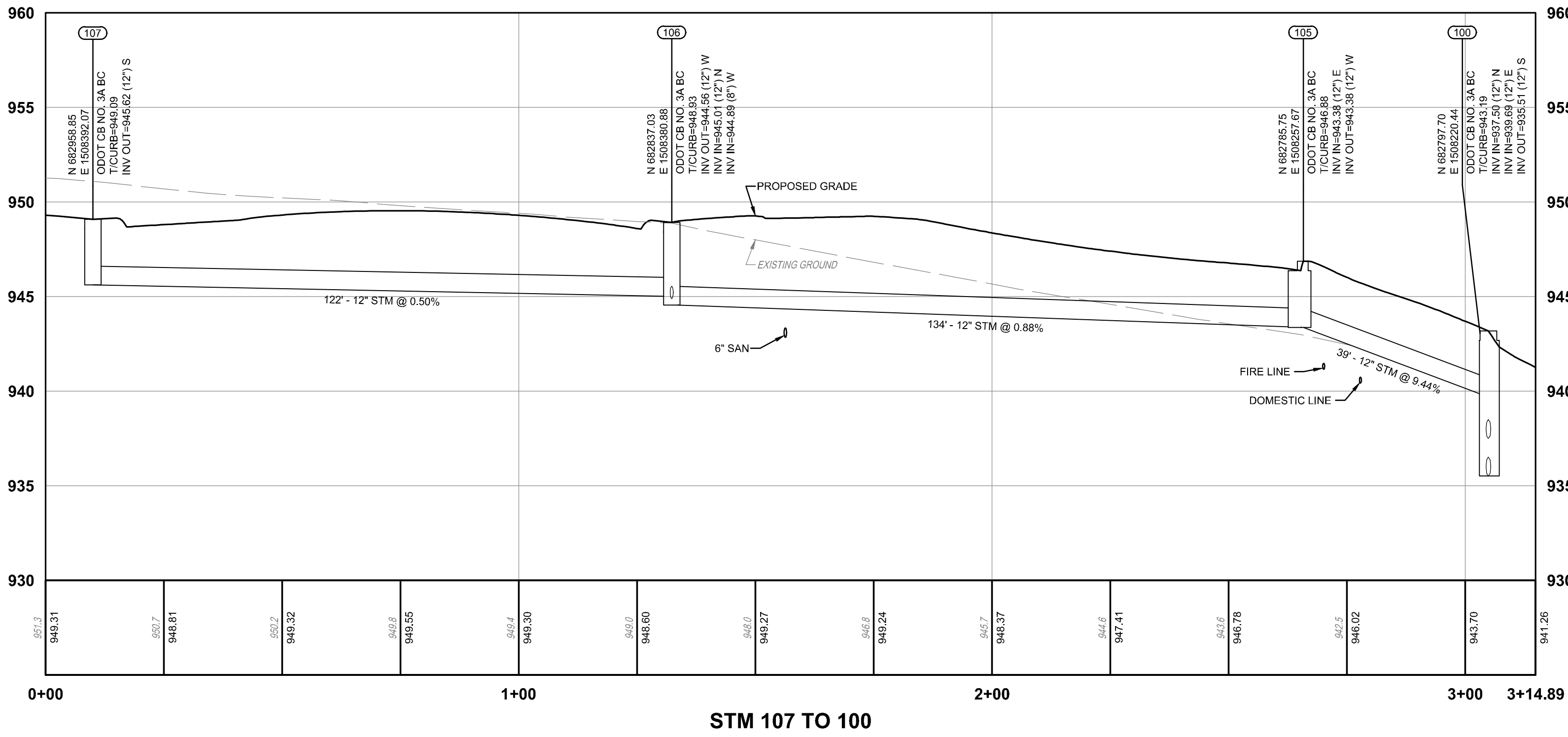
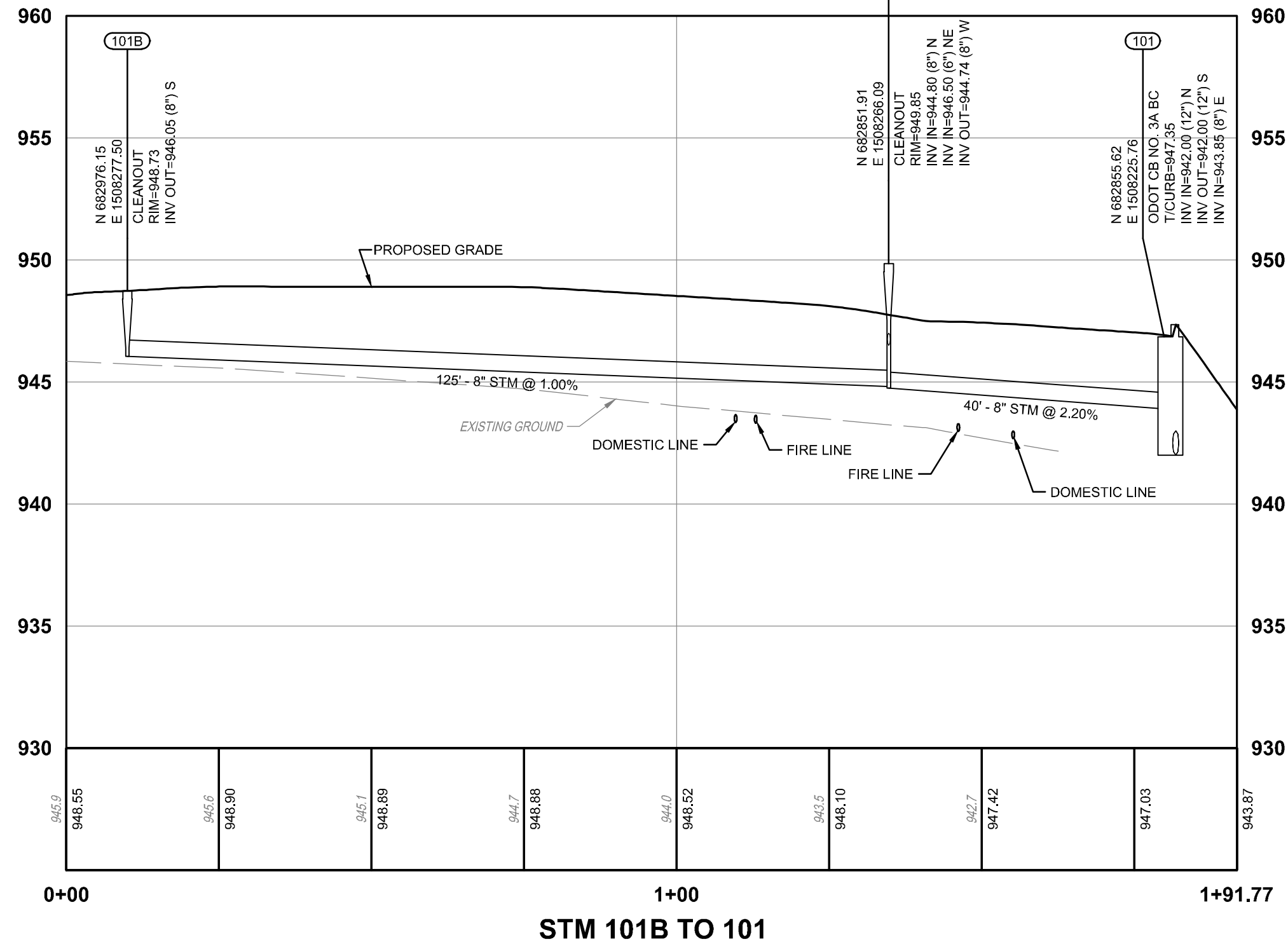
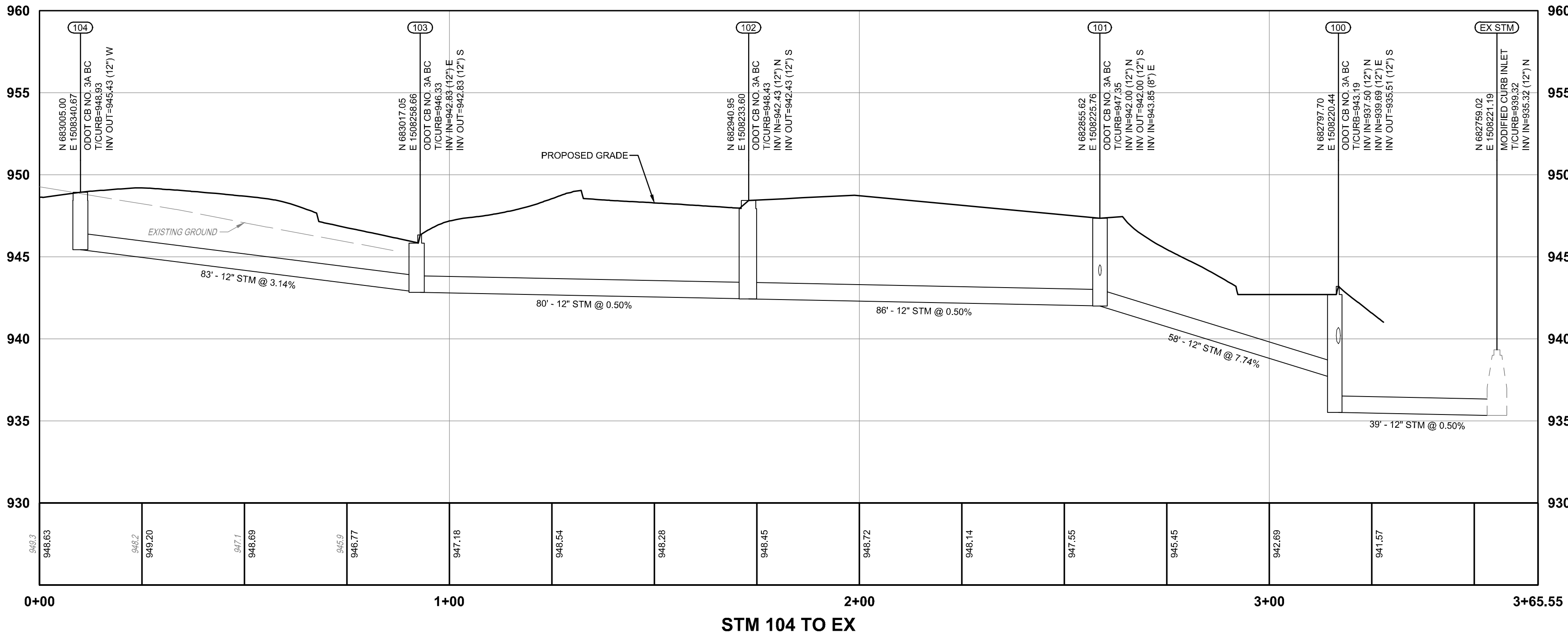
SHEET NO.

C500



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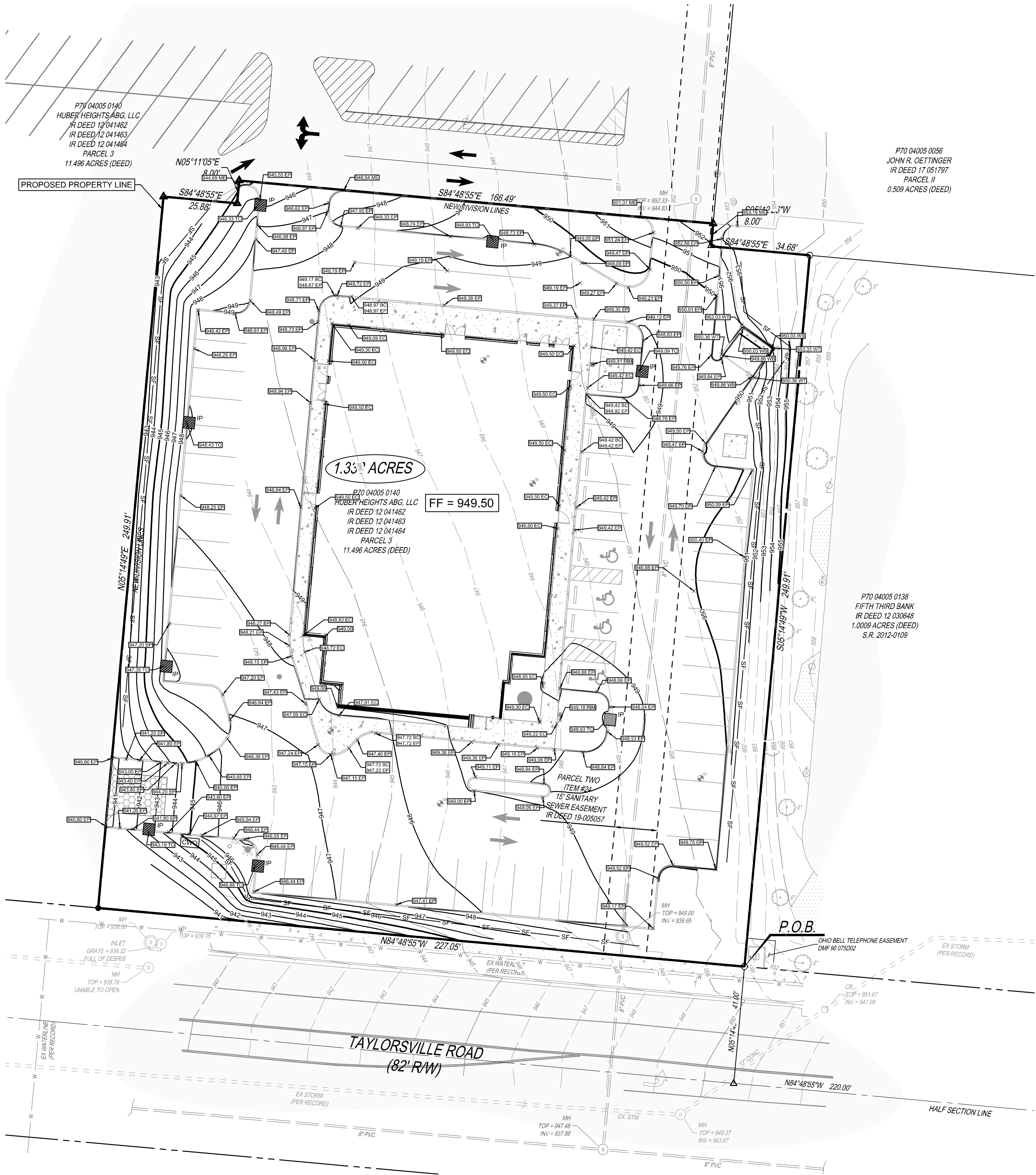
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**FSD
HUBER HEIGHTS**

PROJECT NO: 210998.002
DATE: 2022-03-30
SCALE:
V 0 2.5 5 10
H 0 10 20 40
SHEET NAME:
UTILITY PROFILES
SHEET NO:
C501



- SPOT ELEVATION LEGEND**
- 1215.00 FINISHED GRADE ELEVATION
 - 1215.00 BC BACK OF CURB ELEVATION
 - 1215.00 EC EDGE OF CONCRETE ELEVATION
 - 1215.00 EP EDGE OF PAVEMENT ELEVATION
 - 1215.00 WB FINISHED GRADE AT WALL BOTTOM
 - 1215.00 WT FINISHED GRADE AT WALL TOP
 - 1215.00 RM MANHOLE / CLEANOUT RIM ELEVATION
 - 1215.00 TC STORM INLET TOP OF CASTING ELEVATION
 - 1215.00 GRATE CATCH BASIN GRATE ELEVATION

- GRADING LEGEND**
- 950 EXISTING MAJOR CONTOUR
 - 951 EXISTING MINOR CONTOUR
 - 950 PROPOSED MAJOR CONTOUR
 - 951 PROPOSED MINOR CONTOUR

- PROPOSED EROSION CONTROL LEGEND**
- IP INLET PROTECTION (C701)
 - SF SILT FENCE (C701)
 - CWO CONCRETE WASHOUT (C701)
 - CE CONSTRUCTION ENTRANCE (C701)

NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2784 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

SEAL:

NO. DATE DESCRIPTION

FSD HUBER HEIGHTS

PROJECT NO: 210998.002

DATE: 2022-03-30

SCALE: 0 10 20 40

SHEET NAME: GRADING PLAN

SHEET NO. C600

PROJECT DATA

PROJECT DESCRIPTION
XXXXXXXXXXXXXXXXXXXXXXXXXXXX

LATITUDE: N XX"XX'XX.XX"
LONGITUDE: W XX"XX'XX.XX"
ESTIMATED CONSTRUCTIONS DATES: XX/XX/XXXX - XX/XX/XXXX

TOTAL SITE AREA: X.XX ACRES
TOTAL DISTURBED AREA: X.XX ACRES

EXISTING IMPERVIOUS AREA: X.XX ACRES
PROPOSED IMPERVIOUS AREA: X.XX ACRES
TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION: X.XX ACRES
INCREASE IN IMPERVIOUS AREA: 0%

PRE-CONSTRUCTION RUNOFF COEFFICIENT : C=0.XX
POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.XX

IMMEDIATE RECEIVING WATER/MS4: XXXXX
ULTIMATE RECEIVING STREAM: XXXXX

EXISTING LAND USE: XXXXX

SOILS: XXXXX

CONSTRUCTION SEQUENCE

TO COMPLETE THE EXCAVATION AND CONSTRUCTION OF THE PROPOSED JOB IMPROVEMENTS, COORDINATION OF THE CONTRACTOR'S WORK CREWS WILL BE REQUIRED. THE EXISTING DITCHES WILL PERFORM TEMPORARY SEDIMENT CONTROL AND STORAGE DURING THE PROPOSED CONSTRUCTION. WORK WILL GENERALLY PROCEED FROM DOWNSTREAM TO UPSTREAM IN THESE WORK AREAS. THE GENERAL CONSTRUCTION SEQUENCE IS AS FOLLOWS:

- A) INSTALL EROSION CONTROL ITEMS.
- B) STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL THROUGH THE INCREMENTAL WORK AREA.
- C) INSTALL TEMPORARY DITCH CHECKS IN DOWNSTREAM END OF EXISTING DITCH WITHIN 24 HOURS FOLLOWING THE STRIPPING OPERATION.
- D) IF U/G PIPE IS CALLED FOR IN THIS PORTION OF WORK AREA, PIPE CREW WILL INSTALL PIPE AS WELL AS MANHOLES.
- E) AS PIPE INSTALLATION PROGRESSES, REPAIR OF THE ROADWAY WILL PROCEED BEHIND IT.
- F) ANY DISTURBED OR EXPOSED AREAS SHALL BE STABILIZED PER OEPA TEMPORARY AND PERMANENT STABILIZATION REGULATIONS INCLUDING:
 - 1. SEEDING
 - 2. DITCH MATTING
 - 3. INLET PROTECTION
 - 4. MULCHING
 - 5. WATERING

EMERGENCY ACTION & SPILL PREVENTION PLAN

THE SCOPE OF WORK COVERED BY THIS PLAN INCLUDES EMERGENCY RESPONSE TO SPILLS, CONTAINMENT OF SPILLED LIQUIDS, EMERGENCY NOTIFICATION NUMBERS, AND SOIL EXCAVATION FOR SPILL CLEAN-UP.

IN THE EVENT OF A SPILL EVENT THE EMPLOYEE SHALL ASSESS THE SPILL AND IMMEDIATELY NOTIFY THE SAFETY OFFICER AND SUPERVISOR IN CHARGE, OR OTHER INDIVIDUALS AS LISTED BELOW.

TITLE	NAME	PHONE NUMBER
SITE SUPERINTENDENT		
PROJECT ENGINEER		

IMMEDIATELY AFTER NOTIFICATION, THE EMPLOYEE WILL BE DIRECTED BY THE SAFETY OFFICER, OR RESPONSIBLE PARTY TO START CONTAINMENT PROCEDURES TO PREVENT THE MATERIAL FROM REACHING THE STORM SEWERS, DRAINAGE DITCH, AND OTHER OUTLETS USING THE FOLLOWING ACTIONS OR ANY OTHER MEANS NECESSARY WITHOUT COMPROMISING WORKER SAFETY:

- 1) CLEAR PERSONNEL FROM THE SPILL AREA AND ROPE OFF AREA.
- 2) STOP THE SPILL.
- 3) USE SORBENT MATERIALS, PLUG PUTTY, OR HOLE PUTTY AS NECESSARY TO CONTROL THE SPILL AT THE SOURCE.
- 4) CONSTRUCT A TEMPORARY CONTAINMENT DIKE OF SORBENT MATERIALS OR DIRT TO CONTAIN SPILL.

SPILL KITS WILL BE LOCATED ON THE PROJECT AS DESIGNATED ON THE SWPPP PLAN.

UPON COMPLETION OF CONTAINMENT OPERATIONS, PROPER CLEAN-UP PROCEDURES WILL BE IMPLEMENTED IN ACCORDANCE WITH REGULATORY PROCEDURES.

ADDITIONAL EMERGENCY CONTACT NUMBERS: 24 HOUR PHONE NO.:
OHIO EPA 614-728-3898

GENERAL NOTES

THE CONTRACTOR IS HEREBY ADVISED THAT STRICTER POLLUTION CONTROL STANDARDS AND ENFORCEMENT HAVE BEEN IMPOSED BY THE OHIO EPA SINCE MARCH 10, 2003 AND WITH A REVISION IN APRIL 2018. ALSO, MANY PRIVATE CITIZEN ENVIRONMENTAL GROUPS, WHO HAVE BEEN KNOWN TO FILE CIVIL LEGAL ACTIONS, ARE PRESENT IN THE AREA AND OBSERVE ALL CONSTRUCTION OPERATIONS.

THE CONTRACTOR SHALL INFORM ALL SUBCONTRACTORS OF THE REQUIREMENTS AND RESPONSIBILITIES OF THE SWPPP AND SHALL DOCUMENT ALL SUCH NOTIFICATIONS AND/OR DISCUSSIONS.

THE CONTRACTOR WILL BE REQUIRED TO PARTICIPATE IN SEDIMENT AND EROSION CONTROL INSPECTIONS ON A WEEKLY BASIS AND SIGN AN APPROVED INSPECTION SHEET THAT SHALL BE KEPT ON FILE AT THE JOB SITE.

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OEPA "RAINWATER AND LAND DEVELOPMENT" HANDBOOK SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THIS PROJECT WILL INVOLVE SEVERAL CONSTRUCTION PHASES AND SEQUENCING THROUGHOUT ITS LIFETIME. IT IS VERY IMPORTANT THAT ALL TEMPORARY SEDIMENT AND EROSION CONTROL (S&EC) FIELD METHODS ALONG WITH THIS PLAN, ARE UPDATED TO REFLECT THE ACTUAL FIELD CONDITIONS. CURRENT WEATHER CONDITIONS AND SITE GRADE CHANGES. THE ENGINEER OR THE OHIO EPA CAN AND WILL MODIFY THIS PLAN AS NECESSARY.

THE CONTRACTOR WILL VOLUNTARILY SELF REPORT ANY POTENTIAL VIOLATIONS OF THE OEPA NPDES PERMIT TO THE ENGINEER AND THE OEPA.

THE CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED OF ACCORDING TO OHIO EPA REQUIREMENTS.

THE CONTRACTOR WILL BE REQUIRED TO BUILD SEDIMENT BASINS OR SEDIMENT TRAPS OR USE EQUAL METHODS TO DETAIN AND CLEAN WATER TO ACCEPTABLE EPA STANDARDS BEFORE RELEASING THE WATER BACK INTO THE STREAM.

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL LOCAL EROSION/SEDIMENT CONTROL, WASTE DISPOSAL, SANITARY AND HEALTH REGULATIONS.

OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND IMPLEMENTATION OF ADDITIONAL EROSION CONTROL ITEMS, AT THE ENGINEER'S DISCRETION.

NO SOIL, ROCK, DEBRIS OR OTHER MATERIAL SHALL BE DUMPED OR PLACED IN ANY AREAS NOT ADEQUATELY PROTECTED BY EROSION CONTROL INSTALLATIONS.

IT IS PREFERRED TO USE PERMANENT EROSION CONTROL ITEMS AS SHOWN IN THE PLANS TO CONTROL CONSTRUCTION POLLUTION WHEN POSSIBLE. OTHERWISE, THE TEMPORARY POLLUTION PREVENTION ITEMS ARE TO BE USED.

MOST TEMPORARY S&EC METHODS, INCLUDING BUT NOT LIMITED TO, SILT FENCE AND DITCH CHECKS MAY ALL HAVE TO BE PERIODICALLY REMOVED AND REPLACED, OR MOVED FROM THE EXISTING ROAD DITCH OR STRIPPED AREAS AS WORK PROGRESSES. ANY CHANGES SHALL BE NOTED IN THE PLAN BY RED LINE AND DATED ON A CORRECTIVE ACTION LOG.

ALL TEMPORARY SEDIMENT CONTROLS AND STORM WATER QUALITY METHODS WILL BE BUILT/INSTALLED AS THE PROJECT PROGRESSES TO ELIMINATE UNNECESSARY DISTURBANCE AND REDUNDANCY. ALL TEMPORARY CONTROLS SHALL BE IN PLACE AND FUNCTIONING PROPERLY WHEN THREATENING WEATHER IS IMMINENT.

"TEMPORARY STABILIZATION" MEANS THE ESTABLISHMENT OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION AND OTHER TECHNIQUES CAPABLE OF QUICKLY ESTABLISHING COVER OVER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

"PERMANENT STABILIZATION" MEANS THE ESTABLISHMENT OF PERMANENT VEGETATION, DECORATIVE LANDSCAPE MULCHING, MATTING, SOD, RIP RAP AND LANDSCAPING TECHNIQUES TO PROVIDE PERMANENT EROSION CONTROL ON AREAS WHERE CONSTRUCTION OPERATIONS ARE COMPLETE OR WHERE NO FURTHER DISTURBANCE IS EXPECTED FOR AT LEAST A YEAR.

OFF-SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP.

STABILIZATION PRACTICES

PERMANENT SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER OEPA GUIDELINES AS SET FORTH IN PART II.B OF OHIO EPA PERMIT NO.: OHC000005. (SEE TABLE 1)

TABLE 1: PERMANENT STABILIZATION	
AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER OEPA GUIDELINES AS SET FORTH IN PART II.B OF OHIO EPA PERMIT NO.: OHC000005. (SEE TABLE 2)

TABLE 2: TEMPORARY STABILIZATION	
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITH 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA
	FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S).
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

ALL TEMPORARY EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE REMOVED WHEN 70% VEGETATION HAS BEEN REACHED.

SEEDING & MULCHING

MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.

MULCH SHALL CONSIST OF UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.

MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:

- 1) MECHANICAL-USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 IN.
- 2) MULCH NETTINGS-USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING SUGGESTIONS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
- 3) SYNTHETIC BINDERS-FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATERS OF THE STATE.
- 4) WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

TEMPORARY SEEDING & MULCHING FOR EROSION CONTROL		
SEED TYPE	PER 1,000 SQ.FT.	PER ACRE
PERENNIAL RYEGRASS	1 POUND	40 POUNDS
TALL FESCUE	1 POUND	40 POUNDS
ANNUAL RYEGRASS	1 POUND	40 POUNDS
SMALL GRAIN STRAW	90 POUNDS	2 TONS
FERTILIZER	6 POUNDS OF 10-10-10 OR 12-12-12	250 POUNDS OF 10-10-10 OR 12-12-12

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED

STOCKPILE

SILT FENCING SHALL BE INSTALLED AROUND TEMPORARY SPOIL STOCKPILES. THESE STOCKPILES SHALL BE STRAW MULCHED AND/OR TEMPORARILY SEEDED WITHIN 7 WORKING DAYS IF LEFT DORMANT FOR 14 DAYS OR LONGER.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCE(S) AND SILT FENCE WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED LONGER THAN 14 DAYS AND/OR WITHIN 7 DAYS OF ANY GRUBBING ACTIVITIES. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 2 DAYS OF THE LAST DISTURBANCE IF THE AREA IS WITHIN 50 FEET OF A STREAM, AND WITHIN 7 DAYS OF THE LAST DISTURBANCE IF THE AREA IS MORE THAN 50 FEET AWAY FROM A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE BASIN.

STABILIZATION TYPE	J	F	M	A	M	J	J	A	S	O	N	D	
PERMANENT SEEDING			•	•	•	•	*	*	*	•	•	•	* IRRIGATION NEEDED
DORMANT SEEDING	•	•	•	•	•	*	*	*	•	•	•	•	** IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SOD IS APPLIED
TEMPORARY SEEDING			•	•	•	*	*	*	•	•	•	•	
SODDING			**	**	**	**	**	**	**	**	**	**	
MULCHING	•	•	•	•	•	•	•	•	•	•	•	•	

INSPECTIONS

ALL BMPS ON THIS SITE SHALL BE INSPECTED BY "QUALIFIED INSPECTION PERSONNEL" ASSIGNED BY THE CONTRACTOR OR DESIGNATED REPRESENTATIVE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND BY THE END OF THE NEXT CALENDAR DAY, EXCLUDING WEEKENDS AND HOLIDAYS UNLESS WORK IS SCHEDULED. AFTER A RAIN EVENT OF 0.5 INCHES PER 24 HOUR PERIOD, A RECORD OF THESE INSPECTIONS SHALL BE MAINTAINED IN THE CONSTRUCTION OFFICE WITH THE SWPPP FOR PUBLIC VIEWING. ANY VIOLATIONS WILL BE REPORTED THROUGH THE PROJECT PERSONNEL. A RAIN GAUGE WILL BE LOCATED WITHIN THE PROJECT LIMITS.

FOLLOWING EACH INSPECTION, A CHECKLIST MUST BE COMPLETED AND SIGNED BY THE QUALIFIED INSPECTION PERSONNEL REPRESENTATIVE. AT A MINIMUM, THE INSPECTION REPORT SHALL INCLUDE:

- 1. THE INSPECTION DATE;
- 2. NAMES, TITLES, AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION;
- 3. WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION (OR SINCE COMMENCEMENT OF CONSTRUCTION ACTIVITY IF THE FIRST INSPECTION) INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT (IN INCHES), AND WHETHER ANY DISCHARGES OCCURRED;
- 4. WEATHER INFORMATION AND A DESCRIPTION OF ANY DISCHARGES OCCURRING AT THE TIME OF THE INSPECTION;
- 5. LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
- 6. LOCATION(S) OF BMPS THAT NEED TO BE MAINTAINED;
- 7. LOCATION(S) OF BMPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
- 8. LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
- 9. CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWP3 NECESSARY AND IMPLEMENTATION DATES.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN, REPAIR, OR REPLACE ALL EROSION CONTROL INSTALLATIONS AS NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL REPAIRS TO BMPS SHALL BE MADE WITHIN 3 DAYS (OR SOONER IF POSSIBLE) OF NOTIFICATION OF DEFICIENCIES. IF THE CORRECTIONS ARE NOT MADE WITHIN THE 3 DAY PERIOD, LIQUIDATED DAMAGES MAY BE ASSESSED AS PER THE ODOT CMS SECTION 108.27.

ONGOING INSPECTION OF INSTALLATIONS WILL BE PERFORMED BY THE CONTRACTOR OR DESIGNATED REPRESENTATIVE.

ANY TRAPPED SEDIMENT OR DEBRIS REMOVED DURING CLEANING OF OR REMOVAL OF BMP INSTALLATIONS SHALL BE PLACED IN AREAS NOT SUBJECT TO EROSION AND PERMANENTLY STABILIZED.

DUST CONTROL

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

- 1. VEGETATIVE COVER AND/MULCH - APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 14 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- 2. WATERING - SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- 3. SPRAY-ON ADHESIVES - APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS.

ADHESIVE	WATER DILUTION (ADHESIVE: WATER)	NOZZLE TYPE	APPLICATION RATE (GAL/AC)
LATEX EMULSION	12.5:1	FINE	235
RESIN IN WATER ACRYLIC EMULSION (NO TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

PERMITTEE

NAME
ADDRESS1
ADDRESS2
PHONE:
FAX:
CONTACT:
EMAIL:

GENERAL PERMIT: OHC000005

NPDES PERMIT: XXXXXXXX

DATE OF ISSUE: XX/XX/XXXX



SEAL:

NO. DATE DESCRIPTION

FSED
HUBER HEIGHTS

PROJECT NO: 210998,002

DATE: 2022-03-30

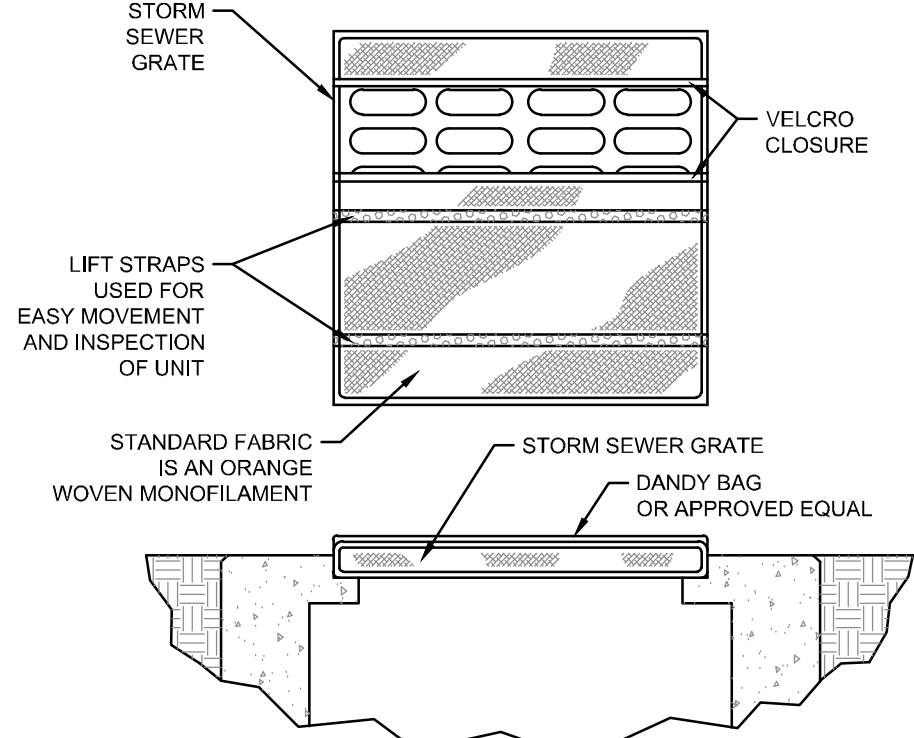
SCALE:

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EROSION
CONTROL NOTES

SHEET NO.

C700

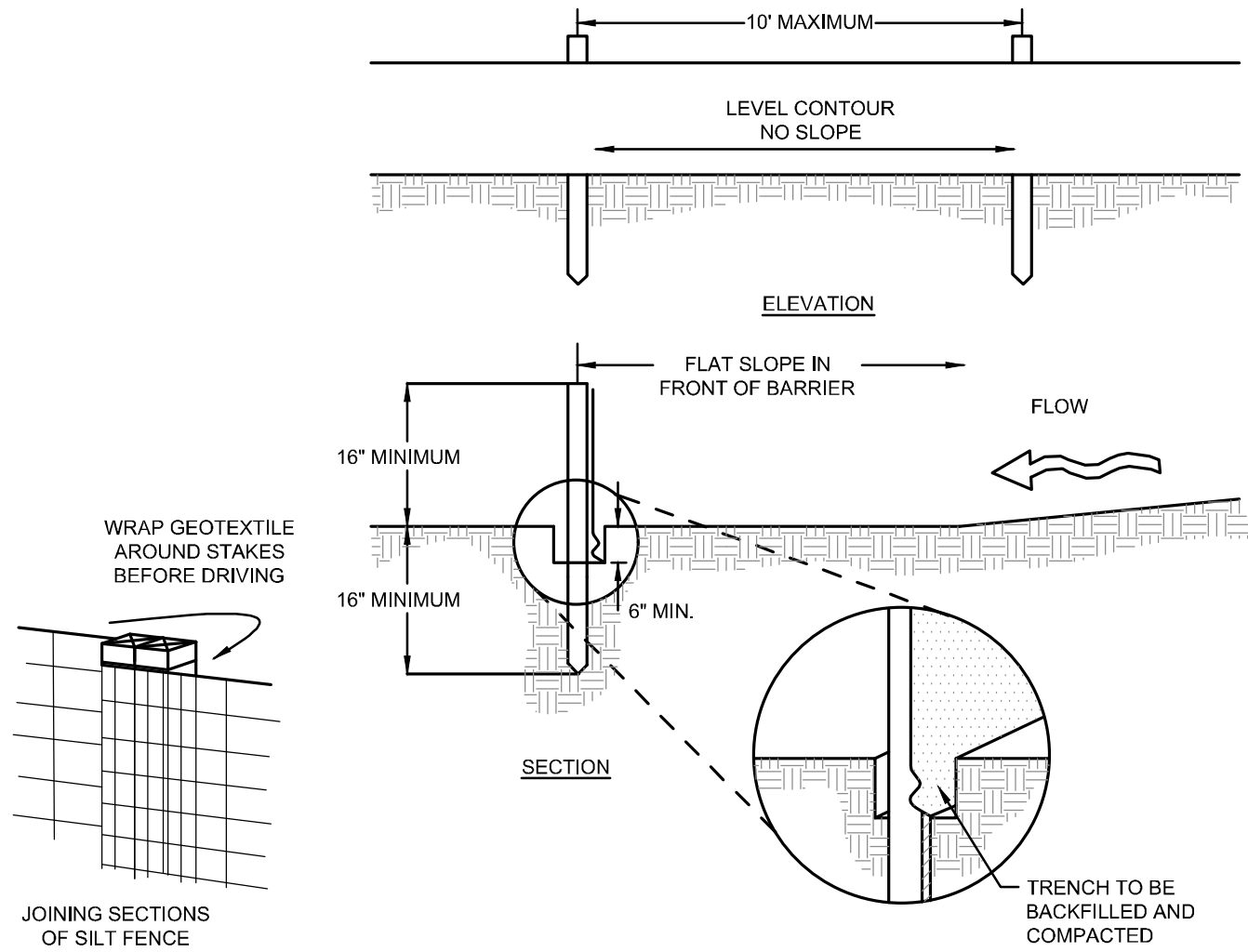


SPECIFICATIONS			
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (LBS)	1.62 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTENCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	MM (US STD SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4491	1/MIN/1' (GAL/MIN/FT')	5907 (145)
PERMITTIVITY	ASTM D 4491	SEC"	2.1

INSTALLATION: THE EMPTY DANDY BAG SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS: PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE). PLACE THE GRATE INTO ITS FRAME.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS: REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.

1
C701 DANDY BAG DETAIL
N.T.S.



NOTES:

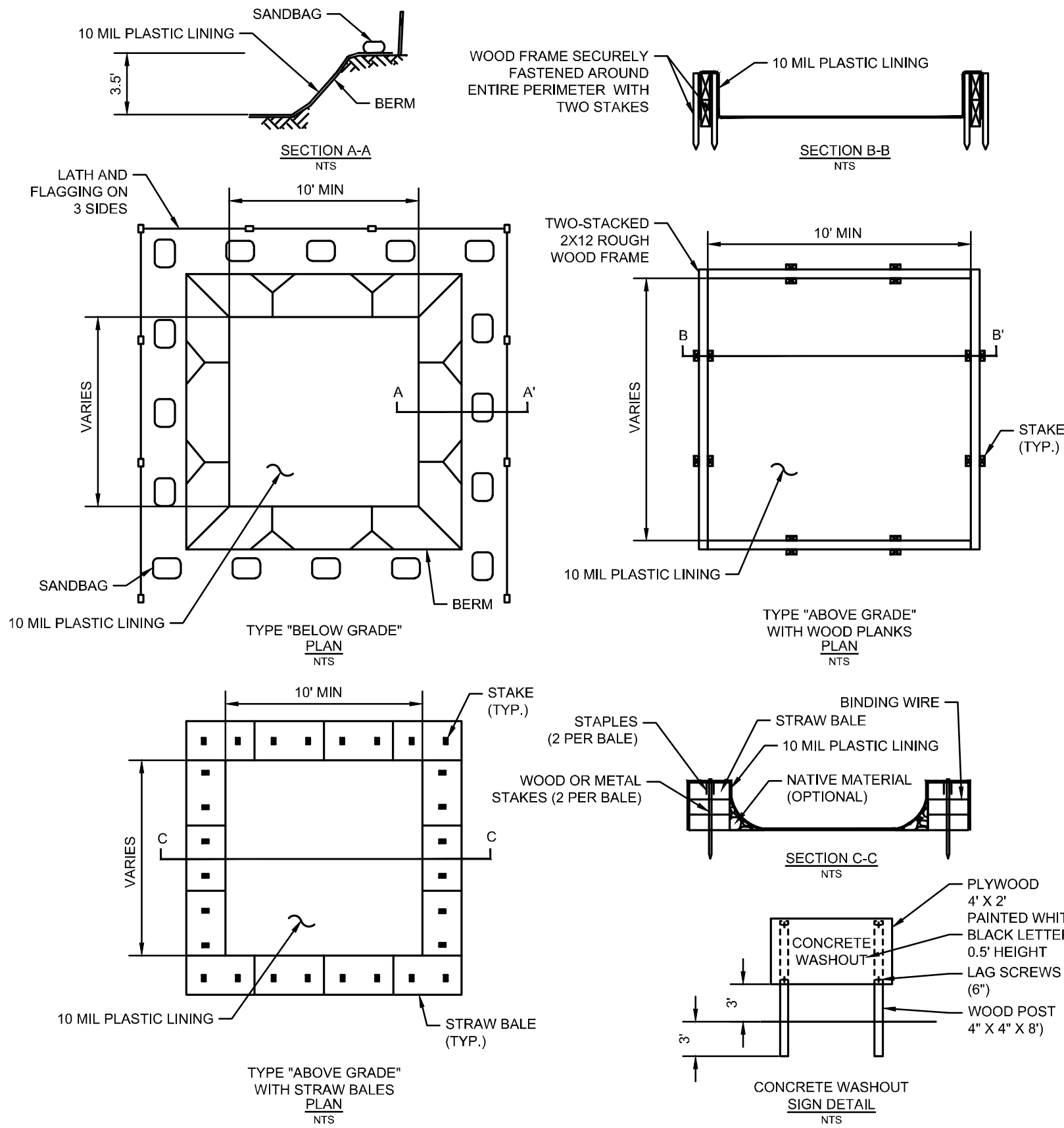
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPULCED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
- MAINTENANCE—SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED; 2) ACCUMULATED SEDIMENT SHALL BE REMOVED; OR 3) OTHER PRACTICES SHALL BE INSTALLED.
- SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
- SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

CRITERIA FOR SILT FENCE MATERIALS

- FENCE POST - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS WILL BE 2-BY-2-IN. NOMINAL DIMENSIONED HARDWOOD OR SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS. THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
- SILT FENCE FABRIC - SEE CHART BELOW.

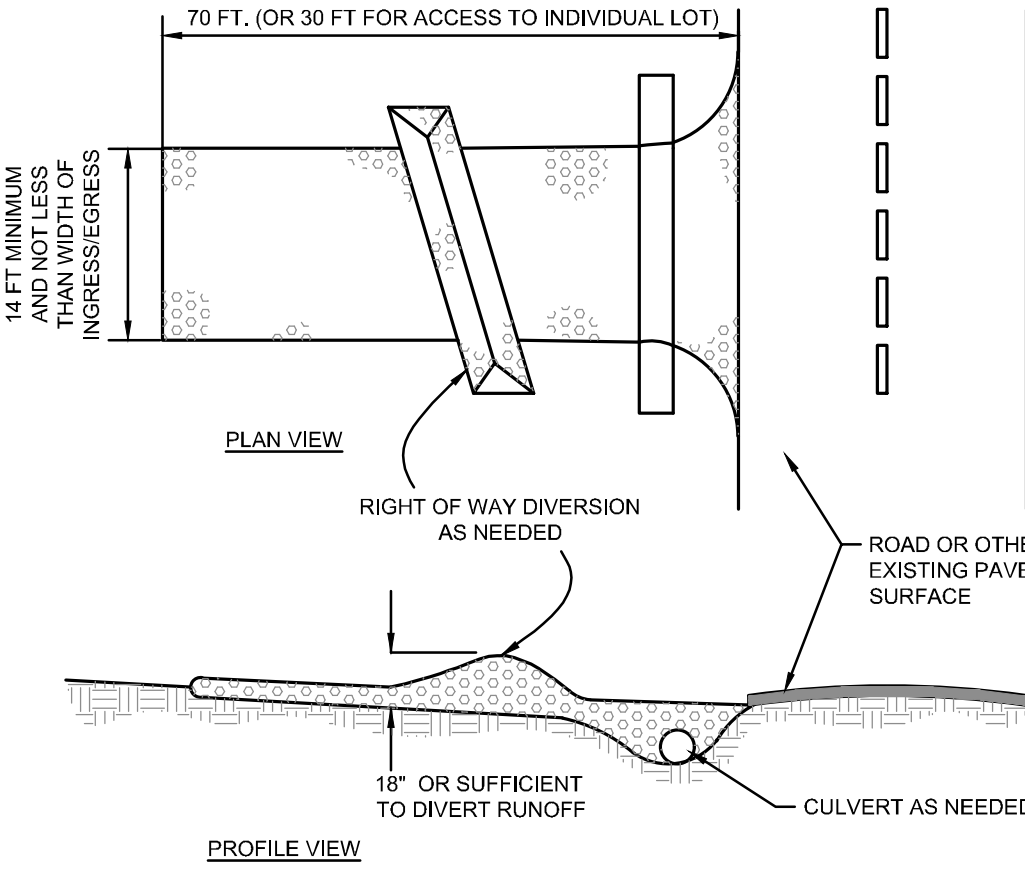
FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (533 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS. (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS. (180 N)	ASTM D 4533
APPARENT OPENING SIZE	<0.84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1X10 ⁻² SEC-1	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM D 4355

2
C701 T FENCE DETAIL
N.T.S.



- NOTES:
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

3
C701 CONCRETE WASHOUT DETAIL
N.T.S.



NOTES

- STONE SIZE - ODOT #2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS).
- THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- WIDTH - THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

MINIMUM TENSILE STRENGTH.....	200 LBS
MINIMUM PUNCTURE STRENGTH.....	80 LBS
MINIMUM TEAR STRENGTH.....	50 LBS
MINIMUM BURST STRENGTH.....	320 PSI
MINIMUM ELONGATION.....	20%
EQUIVALENT OPENING SIZE.....	EOS< 0.06MM
PERMITTIVITY.....	1X10 ⁻² CM/SEC
- TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
- CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES. TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
- CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
- REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

4
C701 CONSTRUCTION ENTRANCE DETAIL
N.T.S.

SEAL:

NO. DATE DESCRIPTION

**FSED
HUBER HEIGHTS**

PROJECT NO: 210998.002

DATE: 2022-03-30

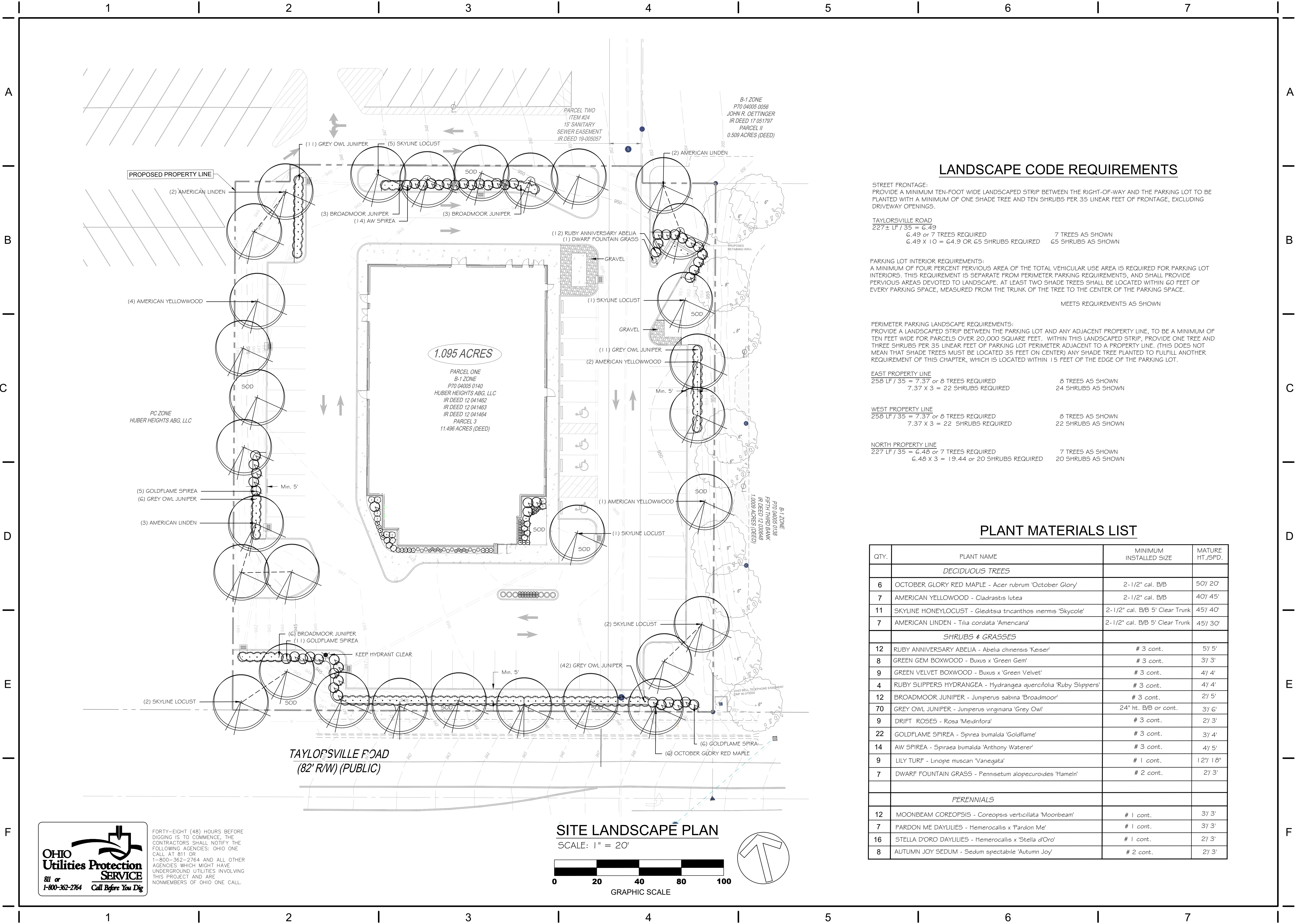
SCALE:

SHEET NAME:

**EROSION
CONTROL
DETAILS**

SHEET NO.

C701



LANDSCAPE CODE REQUIREMENTS

STREET FRONTAGE:
PROVIDE A MINIMUM TEN-FOOT WIDE LANDSCAPED STRIP BETWEEN THE RIGHT-OF-WAY AND THE PARKING LOT TO BE PLANTED WITH A MINIMUM OF ONE SHADE TREE AND TEN SHRUBS PER 35 LINEAR FEET OF FRONTAGE, EXCLUDING DRIVEWAY OPENINGS.

TAYLORSVILLE ROAD
227' ± LF / 35' = 6.49
6.49 or 7 TREES REQUIRED
6.49 X 10' = 64.9 OR 65 SHRUBS REQUIRED
7 TREES AS SHOWN
65 SHRUBS AS SHOWN

PARKING LOT INTERIOR REQUIREMENTS:
A MINIMUM OF FOUR PERCENT PERVIOUS AREA OF THE TOTAL VEHICULAR USE AREA IS REQUIRED FOR PARKING LOT INTERIORS. THIS REQUIREMENT IS SEPARATE FROM PERIMETER PARKING REQUIREMENTS, AND SHALL PROVIDE PERVIOUS AREAS DEVOTED TO LANDSCAPE. AT LEAST TWO SHADE TREES SHALL BE LOCATED WITHIN 60 FEET OF EVERY PARKING SPACE, MEASURED FROM THE TRUNK OF THE TREE TO THE CENTER OF THE PARKING SPACE.

MEETS REQUIREMENTS AS SHOWN

PERIMETER PARKING LANDSCAPE REQUIREMENTS:
PROVIDE A LANDSCAPED STRIP BETWEEN THE PARKING LOT AND ANY ADJACENT PROPERTY LINE, TO BE A MINIMUM OF TEN FEET WIDE FOR PARCELS OVER 20,000 SQUARE FEET. WITHIN THIS LANDSCAPED STRIP, PROVIDE ONE TREE AND THREE SHRUBS PER 35 LINEAR FEET OF PARKING LOT PERIMETER ADJACENT TO A PROPERTY LINE. (THIS DOES NOT MEAN THAT SHADE TREES MUST BE LOCATED 35 FEET ON CENTER) ANY SHADE TREE PLANTED TO FULFILL ANOTHER REQUIREMENT OF THIS CHAPTER, WHICH IS LOCATED WITHIN 15 FEET OF THE EDGE OF THE PARKING LOT.

EAST PROPERTY LINE
258 LF / 35' = 7.37 or 8 TREES REQUIRED
7.37 X 3' = 22 SHRUBS REQUIRED
8 TREES AS SHOWN
24 SHRUBS AS SHOWN

WEST PROPERTY LINE
258 LF / 35' = 7.37 or 8 TREES REQUIRED
7.37 X 3' = 22 SHRUBS REQUIRED
8 TREES AS SHOWN
22 SHRUBS AS SHOWN

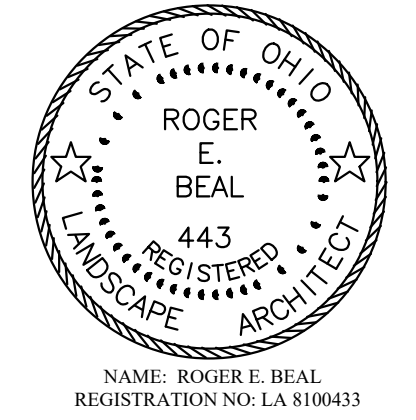
NORTH PROPERTY LINE
227 LF / 35' = 6.48 or 7 TREES REQUIRED
6.48 X 3' = 19.44 or 20 SHRUBS REQUIRED
7 TREES AS SHOWN
20 SHRUBS AS SHOWN

PLANT MATERIALS LIST

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE	MATURE HT./SPD.
DECIDUOUS TREES			
6	OCTOBER GLORY RED MAPLE - <i>Acer rubrum</i> 'October Glory'	2-1/2" cal. B/B	50'/ 20'
7	AMERICAN YELLOWWOOD - <i>Cladrastis lutea</i>	2-1/2" cal. B/B	40'/ 45'
11	SKYLINE HONEYLOCUST - <i>Gleditsia tricanthos inermis</i> 'Skycole'	2-1/2" cal. B/B 5' Clear Trunk	45'/ 40'
7	AMERICAN LINDEN - <i>Tilia cordata</i> 'Amencana'	2-1/2" cal. B/B 5' Clear Trunk	45'/ 30'
SHRUBS & GRASSES			
12	RUBY ANNIVERSARY ABELIA - <i>Abelia chinensis</i> 'Keiser'	# 3 cont.	5'/ 5'
8	GREEN GEM BOXWOOD - <i>Buxus</i> x 'Green Gem'	# 3 cont.	3'/ 3'
9	GREEN VELVET BOXWOOD - <i>Buxus</i> x 'Green Velvet'	# 3 cont.	4'/ 4'
4	RUBY SLIPPERS HYDRANGEA - <i>Hydrangea quercifolia</i> 'Ruby Slippers'	# 3 cont.	4'/ 4'
12	BROADMOOR JUNIPER - <i>Juniperus sabina</i> 'Broadmoor'	# 3 cont.	2'/ 5'
70	GREY OWL JUNIPER - <i>Juniperus virginiana</i> 'Grey Owl'	24" ht. B/B or cont.	3'/ 6'
9	DRIFT ROSES - <i>Rosa</i> 'Meidnfora'	# 3 cont.	2'/ 3'
22	GOLDFLAME SPIREA - <i>Spiraea bumalda</i> 'Goldflame'	# 3 cont.	3'/ 4'
14	AW SPIREA - <i>Spiraea bumalda</i> 'Anthony Waterer'	# 3 cont.	4'/ 5'
9	LILY TURF - <i>Liriope muscari</i> 'Variegata'	# 1 cont.	12'/ 18"
7	DWARF FOUNTAIN GRASS - <i>Pennisetum alopecuroides</i> 'Hameln'	# 2 cont.	2'/ 3'
PERENNIALS			
12	MOONBEAM COREOPSIS - <i>Coreopsis verticillata</i> 'Moonbeam'	# 1 cont.	3'/ 3'
7	PARDON ME DAYLILIES - <i>Hemerocallis</i> x 'Pardon Me'	# 1 cont.	3'/ 3'
16	STELLA D'ORO DAYLILIES - <i>Hemerocallis</i> x 'Stella d'Oro'	# 1 cont.	2'/ 3'
8	AUTUMN JOY SEDUM - <i>Sedum spectabile</i> 'Autumn Joy'	# 2 cont.	2'/ 3'

APP Architecture
creative focused design

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www.app-arch.com



New Freestanding Emergency Center
Huber Heights Medical Facility
PROJECT ADDRESS

ISSUE		
NO.	DATE	DESCRIPTION

DATE	06-16-2022
JOB NO.	2000.00
DRAWN	REB
CHECKED	REB
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TITLE	

**SITE
LANDSCAPE PLAN**

SHEET NO.
L1.00

NOT FOR CONSTRUCTION

LANDSCAPE REQUIREMENTS

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING. THE TREES AND SHRUBS THAT ARE PLANTED SHALL BE OF THE SPECIES AND SIZE SPECIFIED ON THE APPROVED PLANS.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE NUMBER OF PLANT ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE PROJECT MANAGER BEFORE ADJUSTMENTS ARE MADE.
4. TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE APPROVED AND BE HEALTHY AND VIGOROUS PLANTS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD, INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATIONS OF OBJECTIONABLE DISFIGUREMENTS. PLANTS SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
5. BALLED AND BURLAPPED TREES AND SHRUBS SHOULD BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF ADEQUATE SIZE AS SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARD FOR NURSERY STOCK" WITH THE BALLS SECURELY WRAPPED.
6. ALL SHRUBS OCCURRING IN A CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
7. A MINIMUM OF 8" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL BED AREA BY THE LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS & TREES WITH ONE PART COMPOST TO THREE PARTS TOPSOIL.
8. MULCH TREES AND SHRUBS WITH A MIN. 3" DEPTH OF SHREDDED HARDWOOD MULCH. MULCH PERENNIALS WITH 2" DEPTH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITH THE PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURE - WALKS, CURBS, BUILDING OR OTHER PLANT BED LIMITS.
9. ALL BED EDGES SHALL BE SPADE-CUT AND CLOSELY ALIGN AS POSSIBLE WITH THE EDGES AS SHOWN ON THE DRAWING. KEEP MULCH A MIN. OF 1/2" BELOW ADJACENT PAVED SURFACES.
10. SOD ALL LAWN DISTURBED AREAS WITHIN THE PROJECT LIMITS AS NOTED ON THE CIVIL DRAWINGS; INCLUDING OUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT OF SOD WORK WITH THE PROJECT MANAGER.
11. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM THE DATE OF ACCEPTANCE. PRIOR TO THE END OF THE WARRANTY PERIOD THE LANDSCAPE CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR OTHER PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

12. ADDITIONAL CITY REQUIREMENTS:
- A. PLANTING SEASON: A PROFESSIONAL HORTICULTURIST/NURSERYMAN SHALL BE CONSULTED TO DETERMINE THE PROPER TIME, BASED ON PLANT SPECIES AND WEATHER CONDITIONS, TO MOVE AND INSTALL PARTICULAR PLANT MATERIAL TO MINIMIZE STRESS TO THE PLANT. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED. EVERGREENS MAY BE PLANTED DURING THE WINTER MONTHS.
- B. DIGGING: ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAP (B4B) OR BARE ROOT IN ACCORDANCE WITH THE ANLA STANDARDS.
- C. EXCAVATION OF PLANT PITS: THE LANDSCAPE CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS AS FOLLOWS:
1. ALL PITS SHALL BE CIRCULAR IN OUTLINE, WITH VERTICAL SIDES. THE TREE PIT SHALL BE DEEP ENOUGH TO ALLOW ONE-EIGHTH OF THE BALL TO BE ABOVE THE EXISTING GRADE. PLANTS SHALL REST ON UNDISTURBED EXISTING SOIL OR WELL-COMPACTED BACKFILL. THE TREE PIT MUST BE A MINIMUM OF NINE INCHES LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.
2. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE CULTIVATED TO AT LEAST 18" INCHES DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE CULTIVATED TO AT LEAST 12 INCHES DEPTH MINIMUM.
- D. STAKING, GUYING, AND WRAPPING: THE LANDSCAPE CONTRACTOR SHALL FOLLOW GENERALLY ACCEPTED INDUSTRY STANDARDS, SUCH AS ANLA STANDARDS, FOR STAKING, GUYING, AND WRAPPING, AS DETERMINED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
- E. PLANT PRUNING, EDGING AND MULCHING:
1. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS MADE ON AN ANGLE FROM THE BARK RIDGE TO THE BRANCH COLLAR, NO FLUSH CUTS, TO MINIMIZE THE AREA CUT. ALL CUTS SHALL BE MADE WITH SHARP TOOLS. TRIM ALL EDGES SMOOTH. NO TREE WOUND DRESSINGS SHALL BE APPLIED.
2. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD THAT HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.
3. AFTER CULTIVATION AND EVENTUAL ROUTINE MAINTENANCE, ALL PLANT MATERIALS AND PLANT BEDS SHALL BE MULCHED WITH A TWO-INCH TO THREE-INCH LAYER OF FINELY SHREDDED, PROCESSED, DARK HARDWOOD OR OTHER PLANNING AND DEVELOPMENT DEPARTMENT-APPROVED ORGANIC MATERIAL MULCH OF UNIFORM TEXTURE AND SIZE.
4. MULCH IS NOT CONSIDERED AS LANDSCAPING OR AS A SUBSTITUTE FOR PLANT MATERIALS.

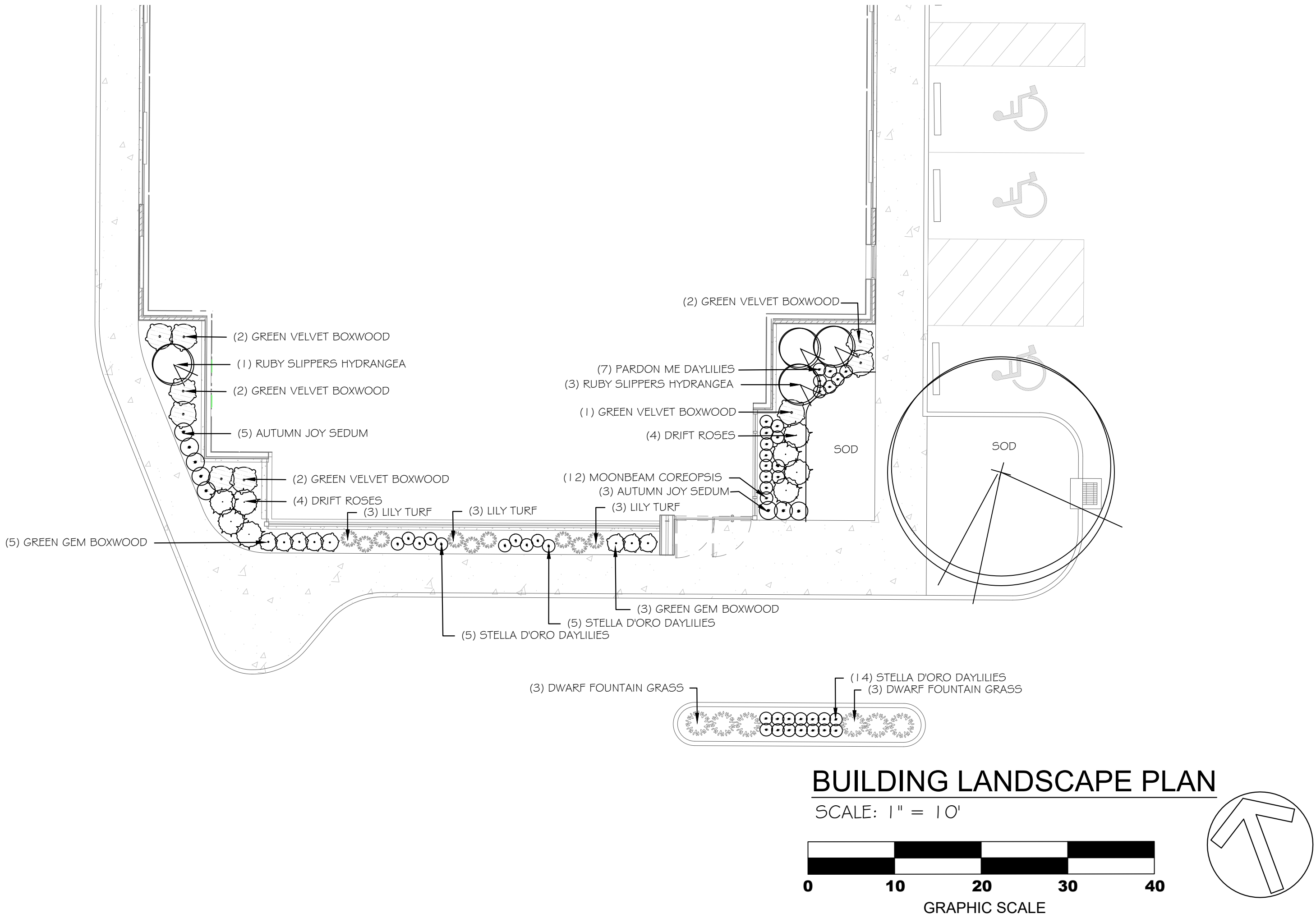
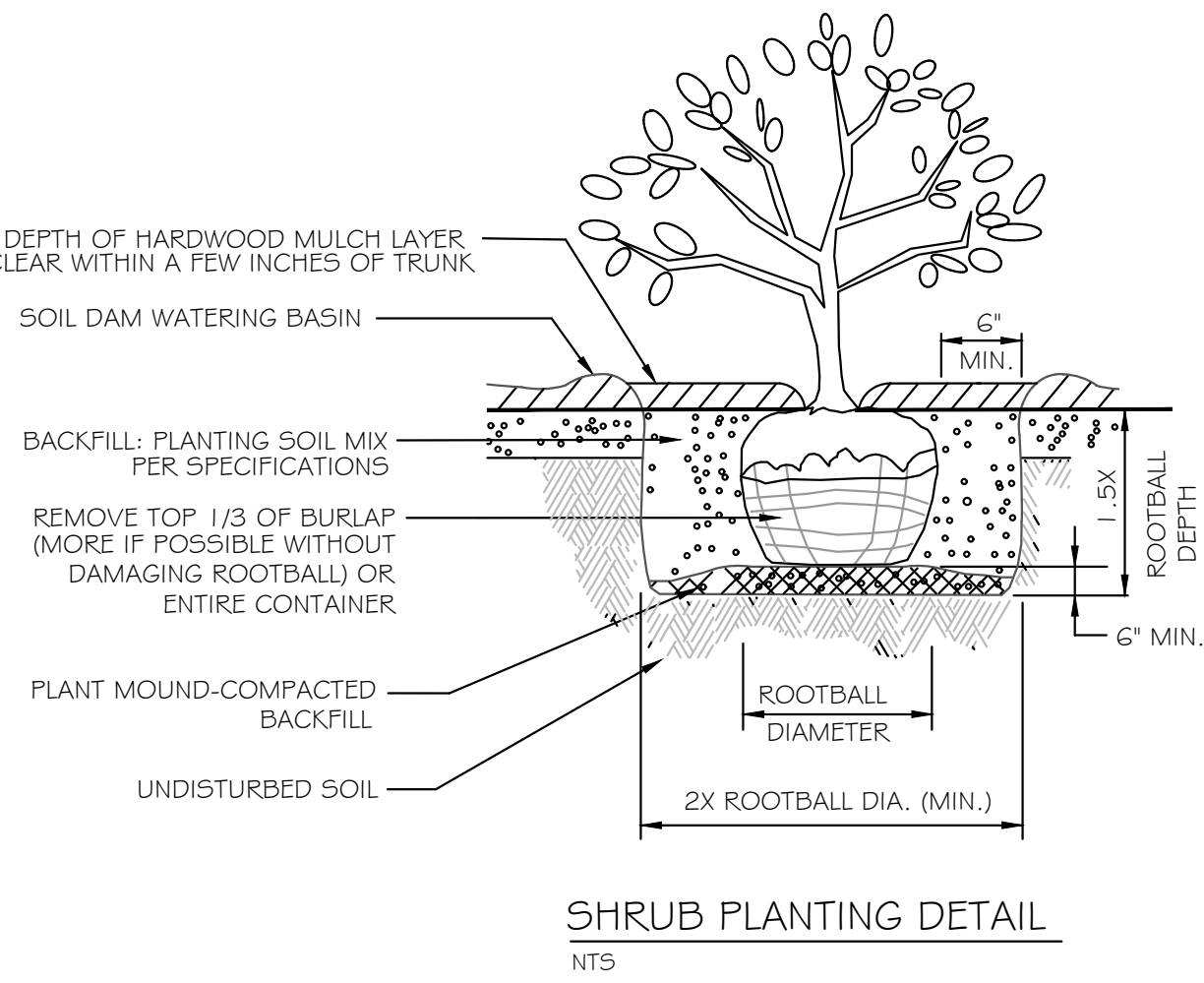
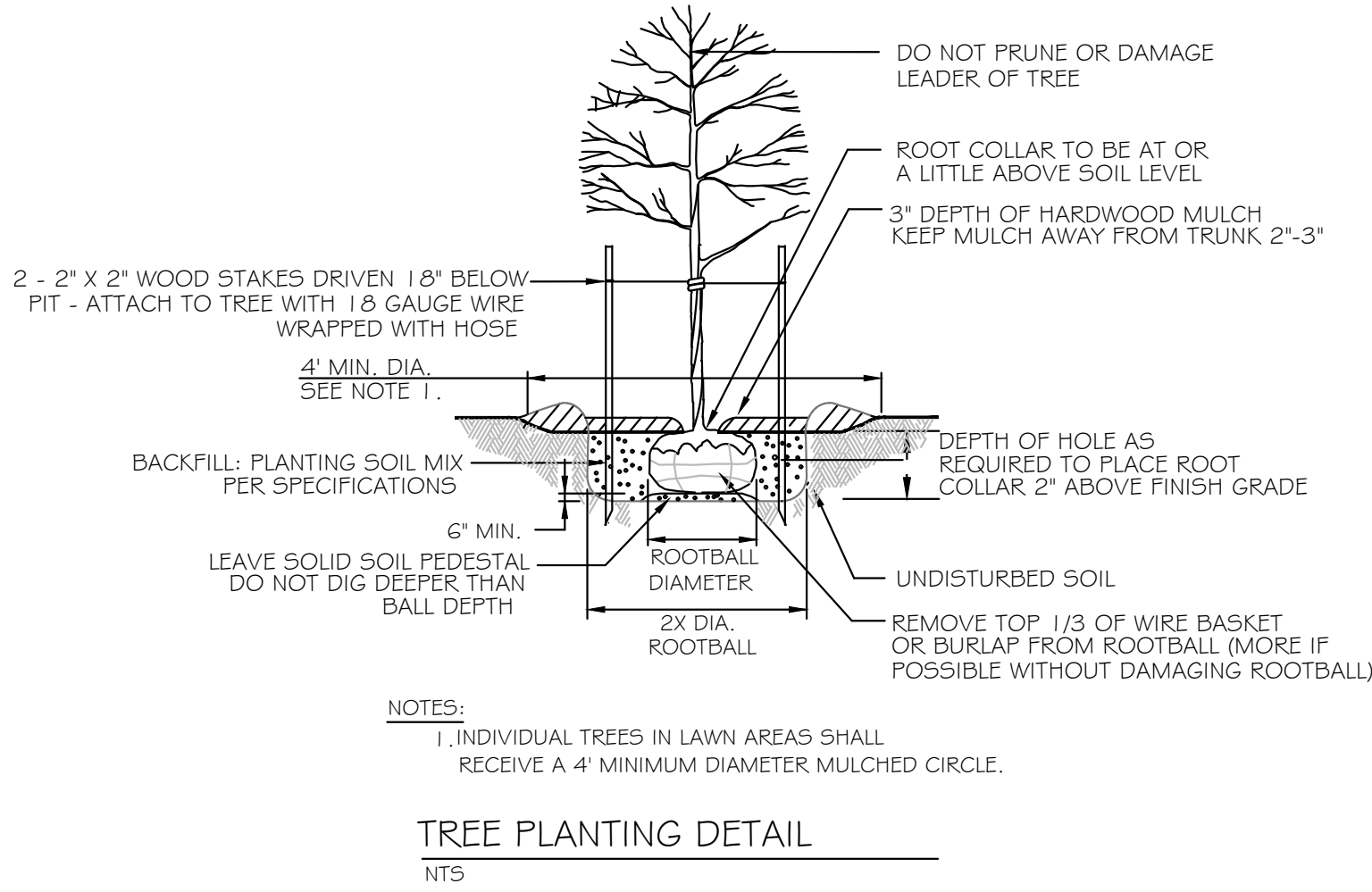
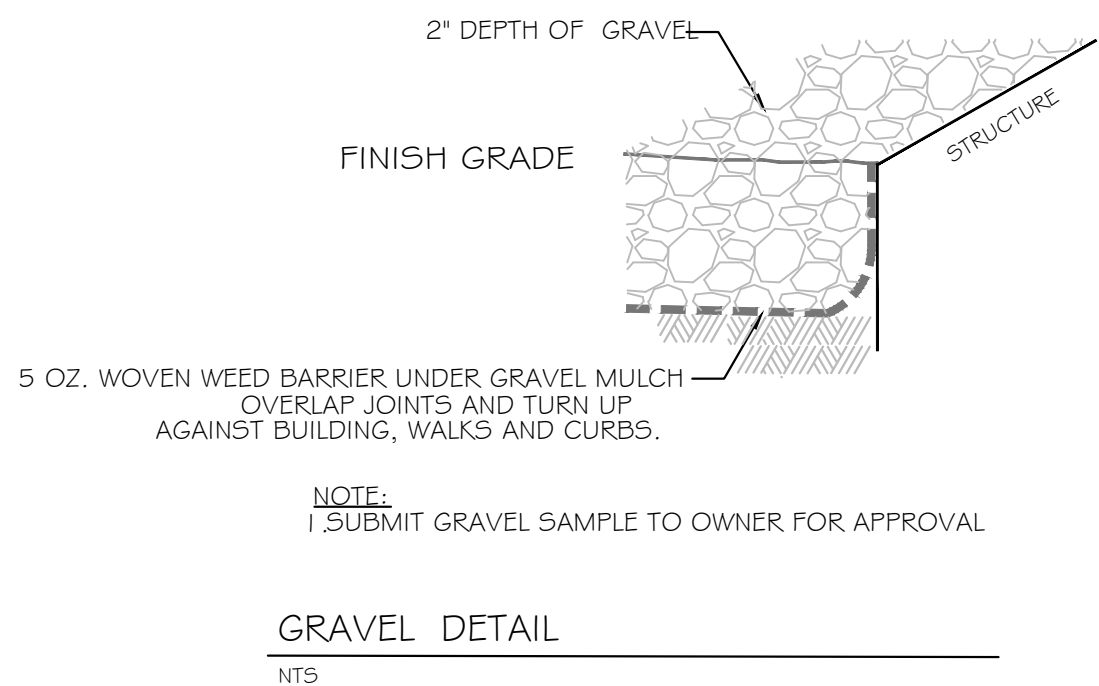
- PLANT SUBSTITUTIONS:
- AN APPROVED LANDSCAPE PLAN IN NEED OF MINOR REVISIONS TO PLANT MATERIALS DUE TO SEASONAL PLANTING PROBLEMS OR LACK OF PLANT AVAILABILITY MAY BE REVISED IN ACCORDANCE WITH THE PLANT SUBSTITUTION PROCESS DESCRIBED BELOW IF THE REQUESTED REVISIONS MEET THE FOLLOWING CRITERIA:
1. NO REDUCTION IN THE QUANTITY OF PLANT MATERIALS.
2. NO SIGNIFICANT CHANGE IN SIZE OR LOCATION OF PLANT MATERIALS.
3. NEW PLANT MATERIALS FALL WITHIN THE SAME GENERAL FUNCTIONAL CATEGORY OF PLANTS (SHADE TREES, ORNAMENTAL TREES, EVERGREENS, ETC.).
4. THE PROPOSED NEW PLANT MATERIALS ARE CONSIDERED APPROPRIATE WITH RESPECT TO ELEMENTS NECESSARY FOR GOOD SURVIVAL AND CONTINUED GROWTH.

A LETTER SHALL BE SUBMITTED TO THE CITY PLANNER OR HIS OR HER DESIGNEE REQUESTING A MINOR REVISION FOR PLANT SUBSTITUTION. THE LETTER SHALL INCLUDE A LIST OF THE QUANTITIES, TYPES AND SIZES OF THE ORIGINAL PLANTS AND THE PROPOSED SUBSTITUTIONS, LOCATIONS OF THE SUBSTITUTE PLANTS ON THE PLAN, REFERENCE TO THE APPROVED PERMIT NUMBER, AND THE NAME AND TELEPHONE NUMBER OF A CONTACT INDIVIDUAL, AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE CITY PLANNER OR HIS OR HER DESIGNEE.

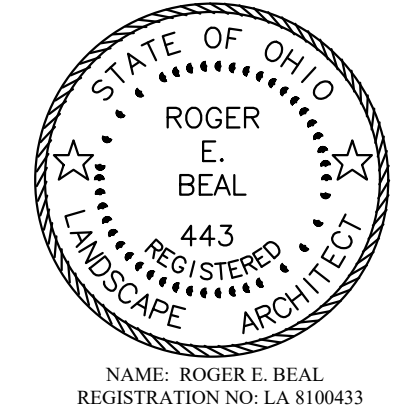
1. THE PLANNING AND DEVELOPMENT DEPARTMENT WILL NOTIFY THE APPLICANT IN A TIMELY MANNER WHETHER OR NOT THE PROPOSED PLANT MATERIALS MEET THE CRITERIA LISTED ABOVE. IF THE SUBSTITUTIONS ARE APPROVED, THE APPLICANT WILL BE INFORMED OF ANY ADDITIONAL ACTIONS OR INFORMATION REQUIRED TO FINALIZE AND DOCUMENT THE PLANT SUBSTITUTIONS.

2. IF THE PLANT SUBSTITUTIONS REQUESTED ARE NOT APPROVED, THE PLANNING AND DEVELOPMENT DEPARTMENT WILL SUPPLY THE APPLICANT WITH SPECIFIC RECOMMENDATIONS FOR CHANGES THAT WILL MAKE THE PLANT SUBSTITUTIONS APPROVABLE.

3. IF THE REQUESTED REVISIONS TO THE LANDSCAPE PLAN DO NOT FULFILL THE FOUR CRITERIA LISTED ABOVE, THEY MAY NOT BE APPROVED IN ACCORDANCE WITH THE PLANT SUBSTITUTION PROCESS. IN THIS CASE THE PLANNING AND DEVELOPMENT DEPARTMENT WILL INFORM THE APPLICANT OF PROCEDURES NECESSARY FOR A FORMAL REVISION TO THE PLAN.



PLANT INSTALLATION DETAILS



New Freestanding Emergency Center

Huber Heights Medical Facility

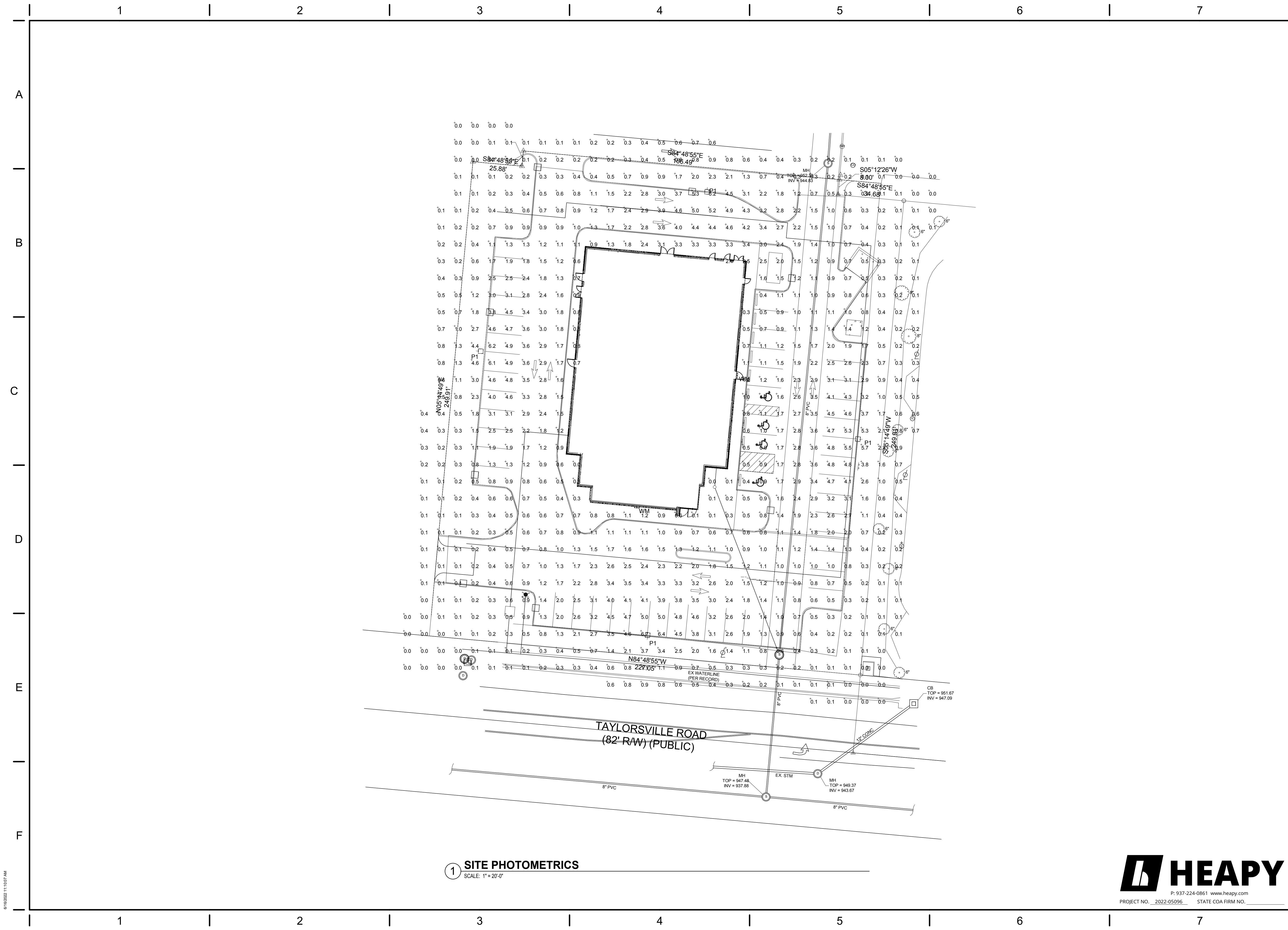
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ISSUE		
NO.	DATE	DESCRIPTION

DATE	06-16-2022
JOB NO.	2000.00
DRAWN	REB
CHECKED	REB
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TITLE	
BUILDING LANDSCAPE PLAN	
SHEET NO.	

L1.01

NOT FOR CONSTRUCTION



1 SITE PHOTOMETRICS
SCALE: 1" = 20'-0"



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HUBER HEIGHTS - MEDICAL FACILITY

Enter address here

ISSUE

NO.	DATE	DESCRIPTION
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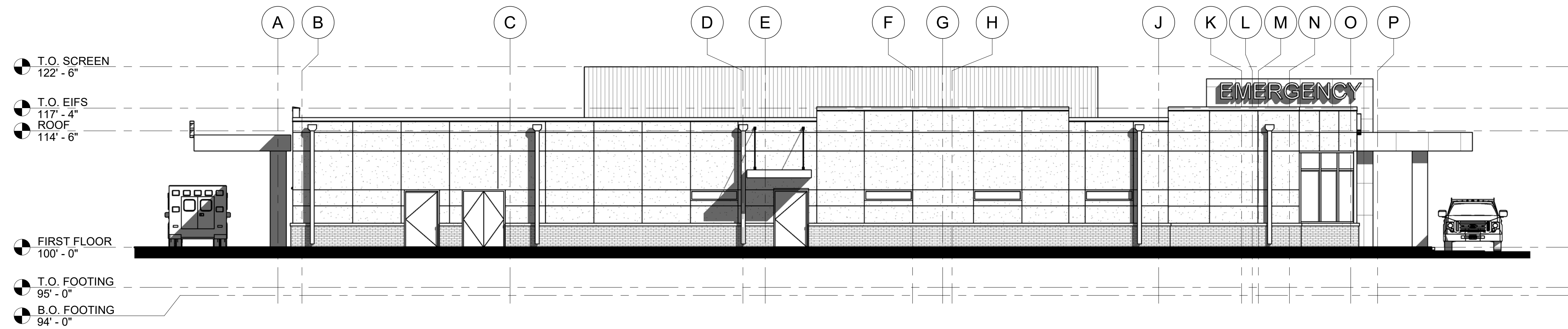
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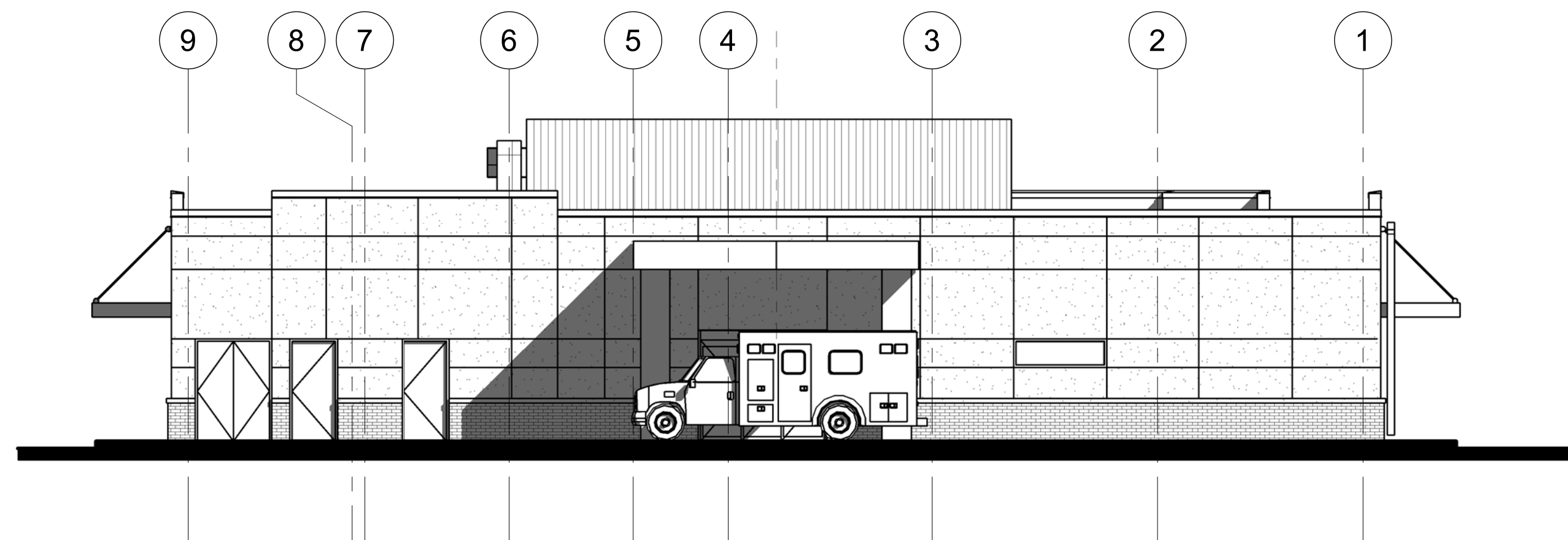
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SHEET NO.

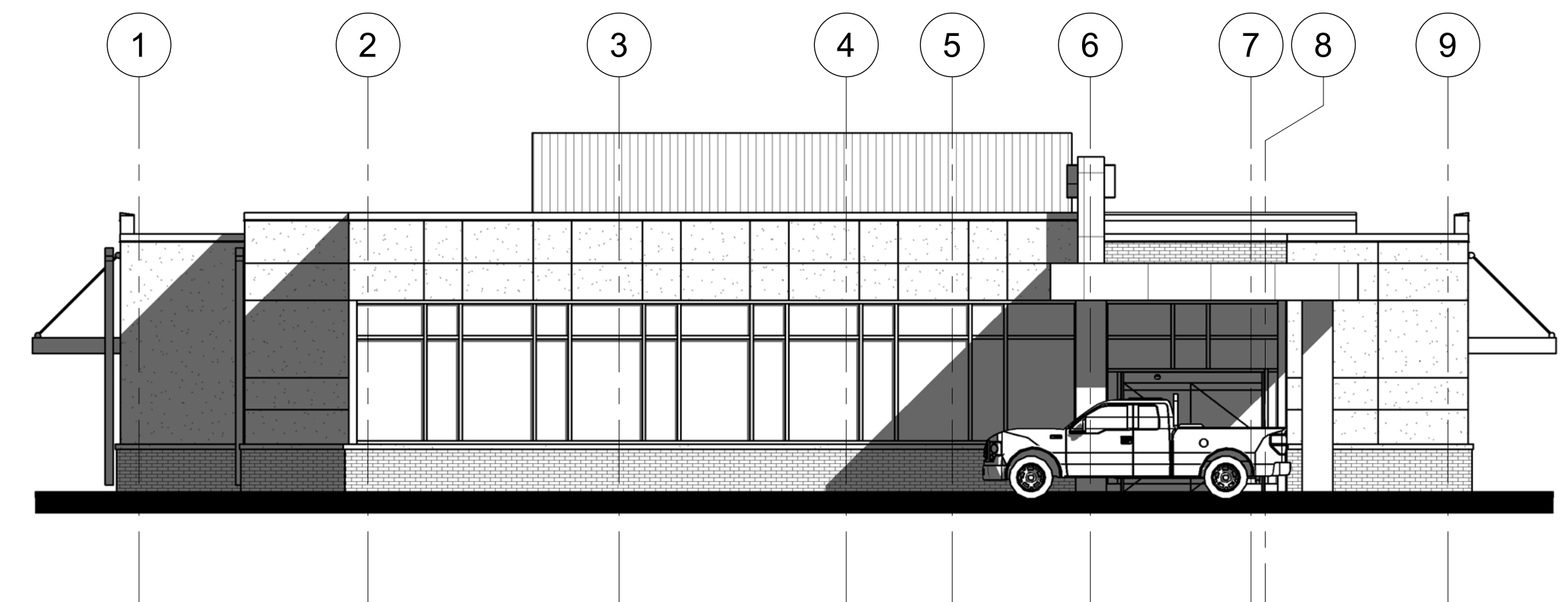
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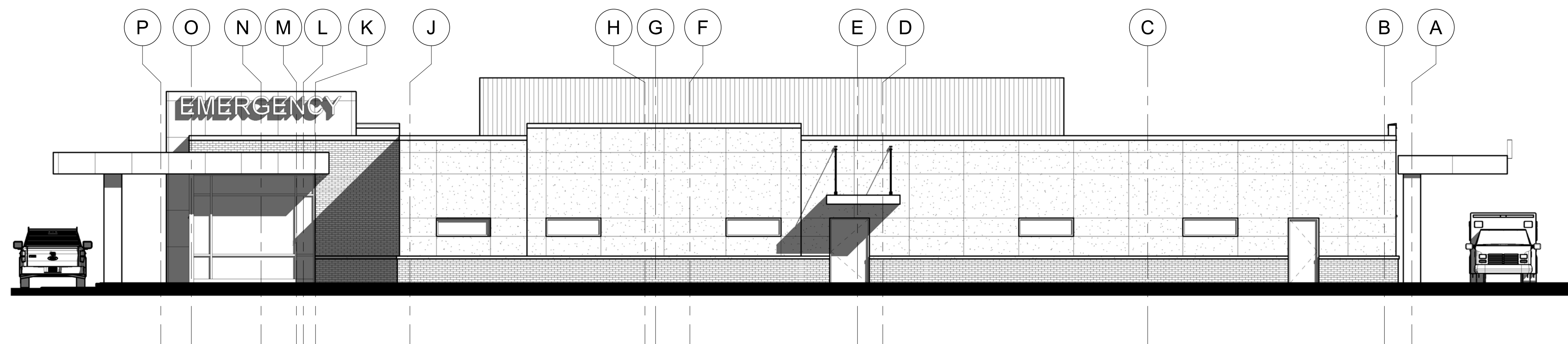
1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

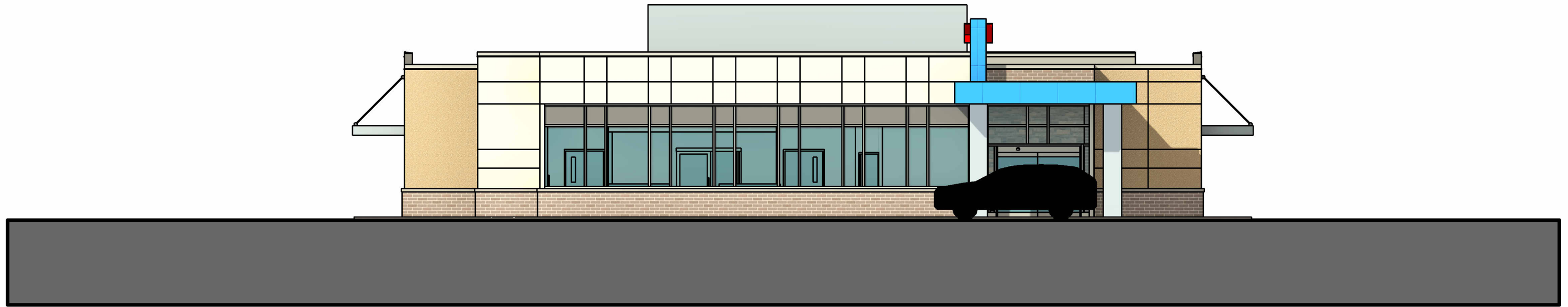
REFER TO ATTACHED BUILDING SIGNAGE
INFORMATION PACKET FOR PRELIMINARY
BUILDING-MOUNTED SIGNAGE.

SIGNAGE SHALL CONFORM TO CITY OF HUBER
HEIGHTS REQUIREMENTS AND SHALL BE
FORMALLY SUBMITTED AT A LATER DATE.

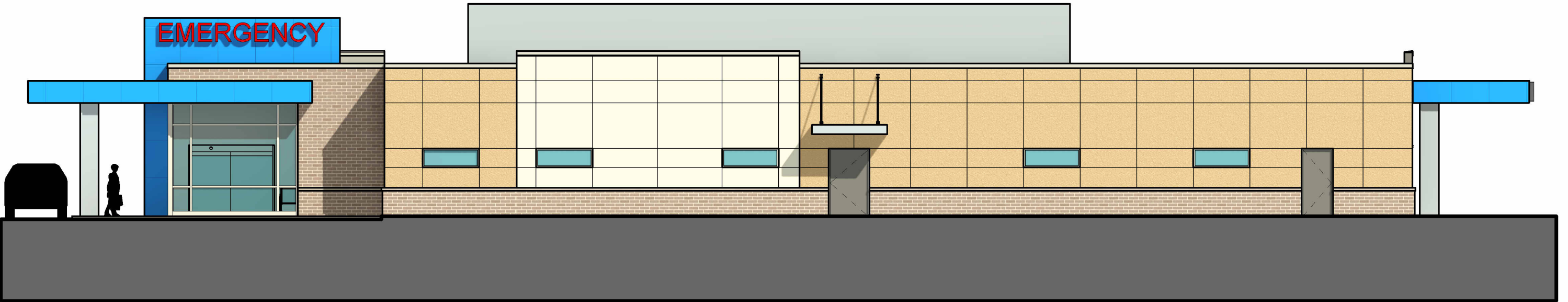
New Freestanding Emergency Center
Huber Heights Medical Facility

EXTERIOR ELEVATIONS
Scale: 1/8" = 1'-0"
06/16/22

SCHEME DDP 1.2



1 EXTERIOR ELEVATION - SOUTH
 3/32" = 1'-0"



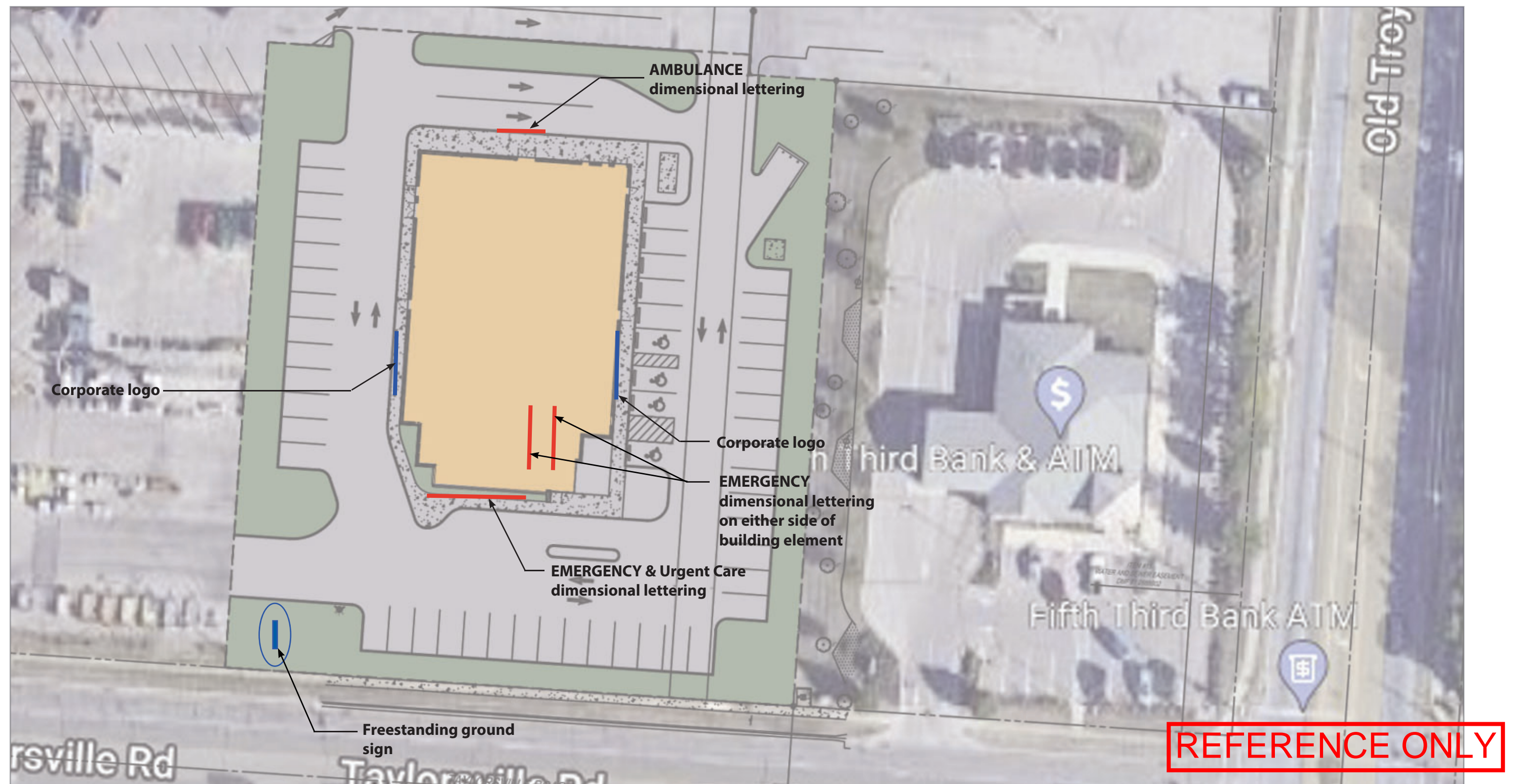
2 EXTERIOR ELEVATION - WEST
 3/32" = 1'-0"

H-HB Medical Building

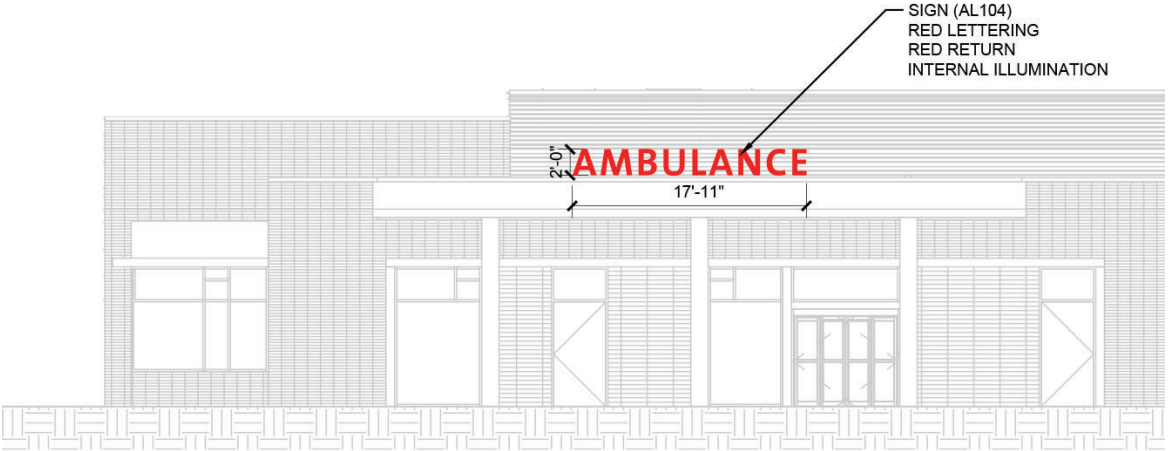
Taylorsville & Old Troy Pike, Huber Heights



Exterior Signage Site Plan



Exterior Signage Dimensions



Example AMBULANCE signage
35 SF
Cap Height 2'-0"
Font: The Sans B7 Bold

Variance required
Signage to be considered to be
for public health emergency purposes

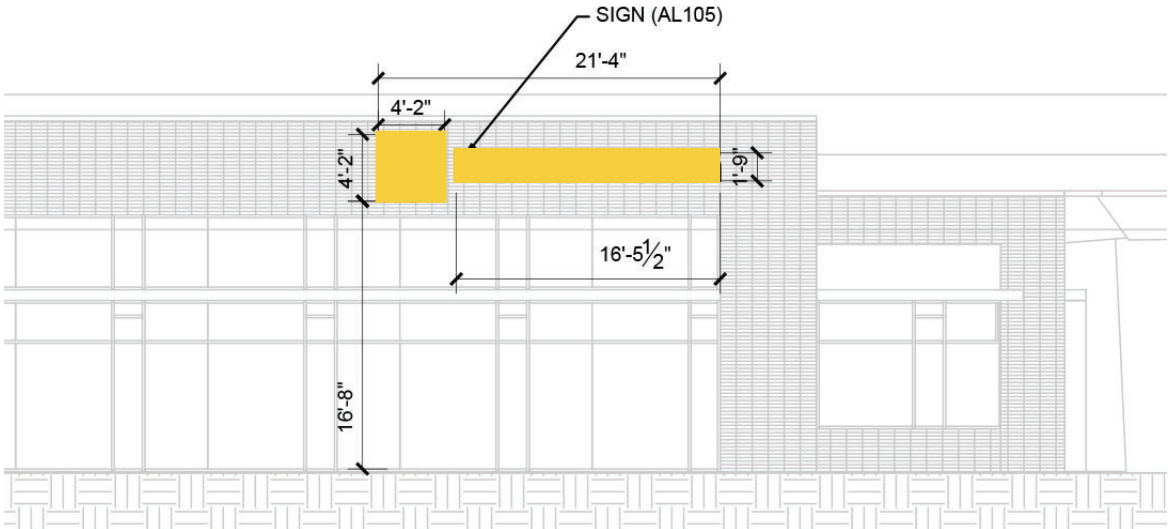


Example EMERGENCY signage (QTY 2)
Would be installed on both sides of building element
75 SF x 2 = 150 SF
Cap Height 3'-0"
Font: The Sans B7 Bold

Variance required
Signage to be considered to be
for public health emergency purposes

1189.07 Signs permitted for businesses

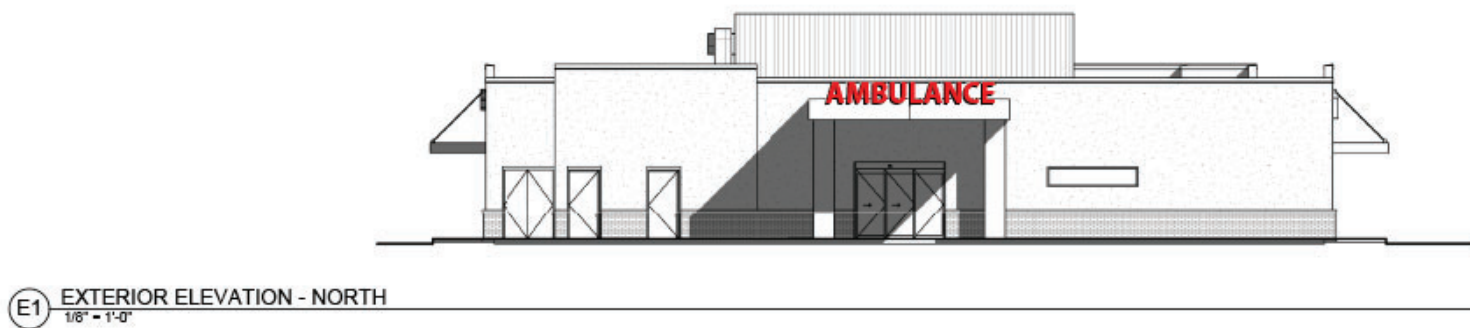
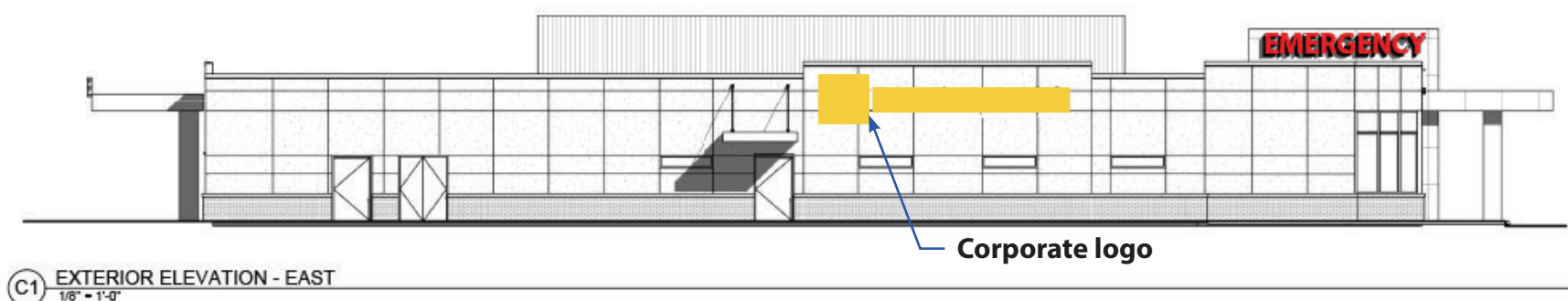
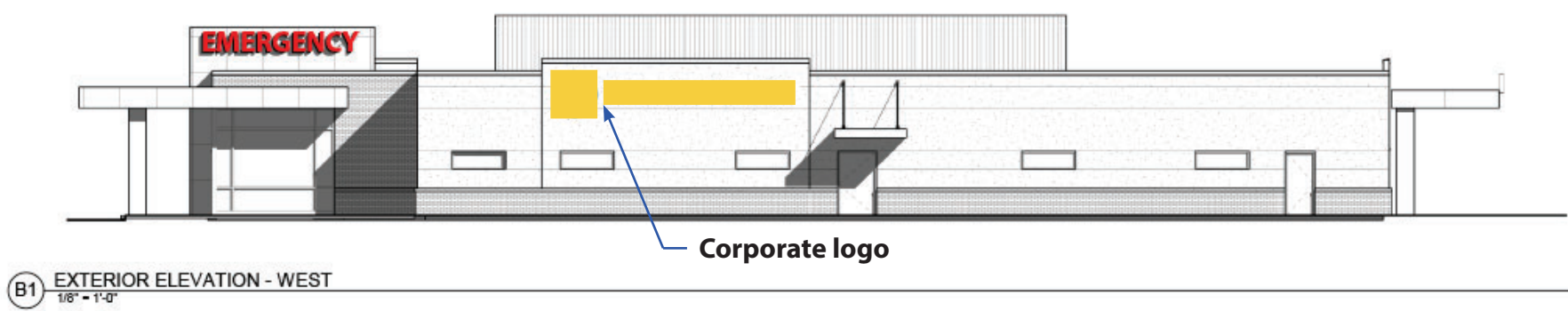
Single wall signs not to exceed 75 SF.
For structures with more than one visible side, a maximum of four wall signs could be allowed, providing that the total square footage of all the signs does not exceed 150 SF.



Example placement for corporate logo signage (QTY 3)
50 SF x 3 = 150 SF
Logo 4'-2" x 4'-2"
Cap Height 1'-9"

REFERENCE ONLY

Exterior Signage Elevations



REFERENCE ONLY

Freestanding Ground Sign

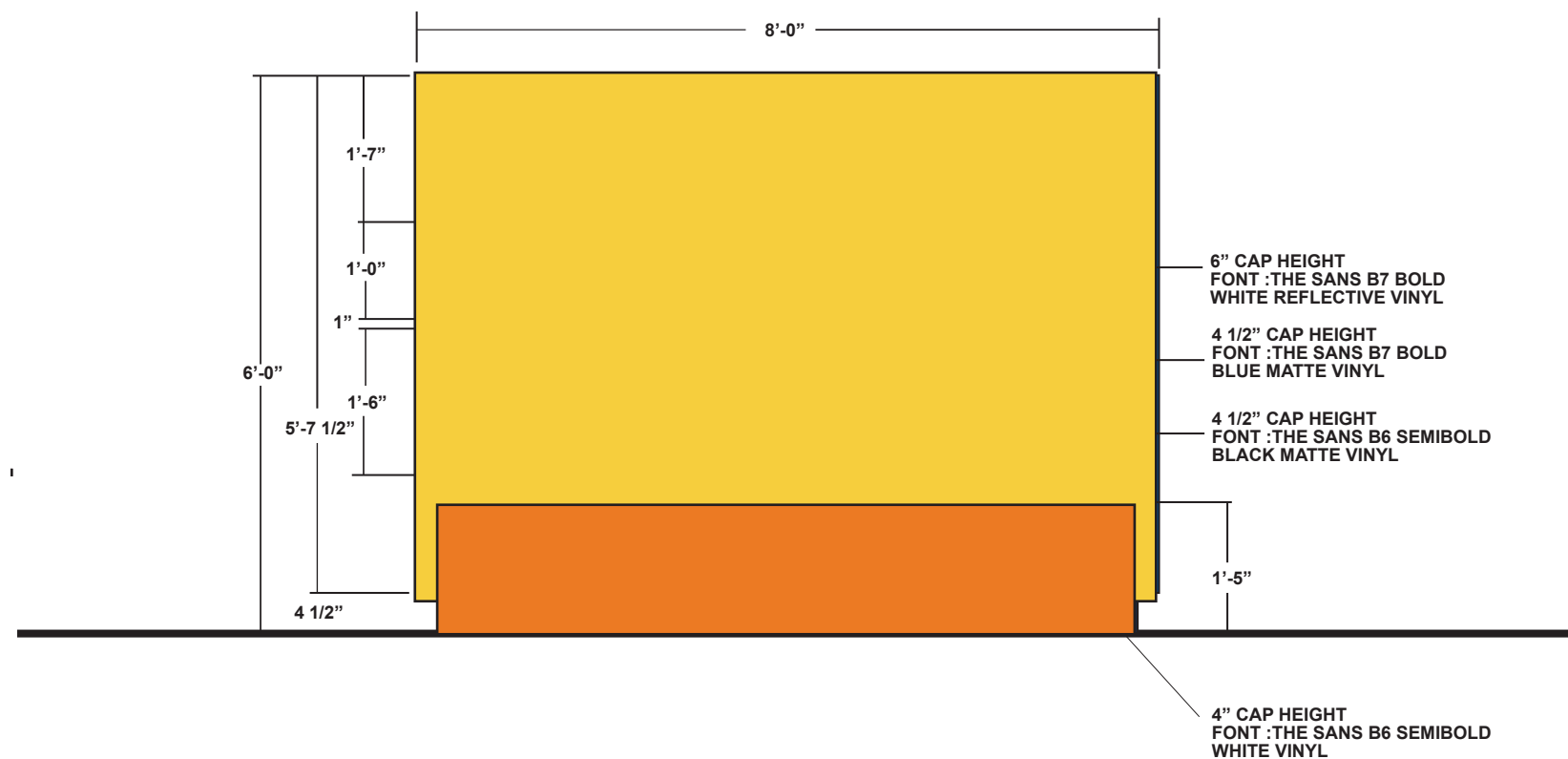
1189.07 Signs permitted for businesses

Only one ground sign permitted on a premises.

The ground sign shall not exceed 75 SF in total sign area.

Ground signs shall not exceed 6' in height.

Signs shall be setback a minimum of 15' from the right-of-way.



Example Freestanding ground sign

Address and building name TBD

REFERENCE ONLY



PLANIT

500 W Wilson Bridge Road Suite 314 Worthington OH 43085

All drawings that appear herein express design intent only and are not intended for actual fabrication. The signage Contractor is responsible for any required engineering and production of shop drawings as described in the specifications.

June 16, 2022

5



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Medical Building – Revision 2		
Occupancy Address:	7611 Taylorsville Road		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	N/A	HH P&D:	
MCBR MEC:		HHFD Plan:	22-053/22-120/22-155
MCBR ELE:		HHFD Box:	14
REVIEWER:	Susong	DATE:	7/18/2022

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

Plan submittal is approved as shown on drawing. Proposed use has not been clarified on drawing. Cover sheet indicates medical facility.

- The turn radius appears to comply with Ohio Fire Code D103.3 and 503.2.4.
- Site utility drawing indicates a FDC (fire department connection) and hydrant on fire line. There is no indication of size of main. It is recommended that one tap be made in street then domestic and fire services split within a meter pit large enough to handle both services. Fire hydrant would need to be installed before the FDC (fire department connection) and within 75 feet. Huber Heights Codified Ordinance 1521.01(e).
- There shall be no overhead obstructions below 13 feet 6 inches for fire apparatus clearance. Ohio Fire Code 503.2.1.
- A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. (No trees, bushes, plantings, etc.) Ohio Fire Code 507.5.5.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

Administrative Office: 7008 Brandt Pike Huber Heights, Ohio 45424
Telephone: (937) 233 - 1564 Fax Number: (937) 233 - 4520

AI-8583

9. A.

Planning Commission

Meeting Date: 08/09/2022

Minutes

Information

Agenda Title

Planning Commission July 12, 2022

Purpose and Background

Attachments

Minutes

**Planning Commission
July 12, 2022, Meeting
City of Huber Heights**

- I. Chair Terry Walton called the meeting to order at approximately 6:00 p.m.
- II. Present at the meeting: Mr. Jeffries, Ms. Opp, Ms. Thomas, Ms. Vargo and Mr. Walton.

Members absent: None.

Staff Present: Aaron K. Sorrell, Interim City Planner, and Geri Hoskins, Planning & Zoning Administrative Secretary.

III. Opening Remarks by the Chairman and Commissioners

IV. Citizens Comments

None.

V. Swearing of Witnesses

Mr. Walton explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

VI. Pending Business

- 1. None

VII. New Business

- 1. **DETAILED DEVELOPMENT PLAN - The applicant, CAMPBELL BERLING HUBER HEIGHTS, LLC, is requesting a Detailed Development Plan to create 97 units on 22.38 acres. Property is located on the East side of Bellefontaine Road and South of Chambersburg Road (DDP 22-28).**

Ms. Sorrell stated that the Planning Commission recommended approval of a rezoning from Agriculture to Planned Residential, and a Combined Basic and Detailed Development Plan for the Addington Subdivision on March 29, 2022, by a vote of 5-0. The subdivision contains 97 units, comprised of 29 single-family lots and 34 two-family townhomes. The average density is approximately 4.33/units per acre.

After much discussion, on May 23, 2022, the City Council voted 5-3 to approve the rezoning to Planned Residential and the basic development plan only, with the following conditions:

- 1. Dwelling shall average 40 percent of the surface area of the front façade finished with brick or stone masonry products.

Planning Commission Meeting

July 12, 2022

2. The applicant will comply with all stormwater requirements, per the City Engineer.
3. The applicant will comply with all Fire Code requirements, per the Huber Heights Fire Department.
4. The applicant shall restripe Bellefontaine Road to provide a center turn lane for traffic turning northwest on to Oak Ridge Drive and southeast onto proposed "Road 1" from Bellefontaine Road.
5. The applicant shall leave the existing tree line along the project's north boundary as a natural buffer, adding additional coniferous trees and shrubs from Lots 2-12 every 15-feet on center to increase buffer screening.
6. The applicant shall provide a Boulevard entry at the intersection of Bellefontaine Road and "Road 1" as approved by the City Engineer and Fire Department.

The applicant has subsequently revised the plans and is seeking approval of the Detailed Development Plan.

Staff Analysis:

The Detailed Development Plan PUD Development Standards substantially conform to the approved Basic Development Plan (BDP) and the additional conditions imposed by the City Council.

Specifically:

- Lot sizes and unit counts conform to the approved BDP.
- Turning lane striping on Bellefontaine Road is indicated in the drawings.
- A boulevard entrance is provided at Bellefontaine Road and Waverly Way.
- A 20-foot-wide landscape screen (preservation easement) is illustrated on the drawings and articulated in the PUD standards.
- All streets shall be public and built to city standards.
- The sidewalk along Bellefontaine Road shall five-feet wide, and the neighborhood sidewalks are four-feet wide, which meets city code.
- The development standards limit the entry signage to six-feet high and 12-feet in length.

Masonry Requirements:

The ordinance states that the front façade of the dwellings will average 40% of their surface area finished with brick or stone masonry products.

Paired Structures

Each of the paired structures, the Wembly and the Paired Townhouse have two exterior options. If the façade with the least amount of masonry is chosen for each building, the average masonry will be 41%, which meets the ordinance requirements.

Model/Type	Number	Each Front Building Façade		Total Front Building Façade		% Masonry	Average Masonry
		Masonry	Surface Area	Masonry	Surface Area		
Wembly -	15	194.16	317.28	2912.4	4759.2	61.2%	

Paired townhome	19	113.96	399.64	2165.24	7593.16	28.5%	
				5077.64	12352.36		41%

Single-Family Structures

Fischer Homes will be the single-family home builder featuring their “Maple Street Collection”. There are eleven models, each with three to five exterior options. The amount of brick / masonry façade varies in the collection from as little as 31% to approximately 86%. Thirty-one of the 41 options exceed the 40% brick / masonry requirement, and therefore staff feels compliance is very achievable.

Screening and Buffering:

The rezoning and BDP ordinance states: “the applicant shall leave the existing tree line along the project’s north boundary as a natural buffer, adding additional coniferous trees and shrubs from Lots 2-12 every 15-feet on center to increase buffer screening.”

The landscape architect suggests that instead of planting additional trees or bushes along the rear of lots 9 – 12; that the plantings be concentrated along the rear of lots 5 – 8 because grading requirements will impact the existing trees on lots 6 – 8. Additionally, he felt planting new vegetation under the existing vegetation will not yield healthy plants. Staff is comfortable with this alternative, with the understanding that additional plantings may be necessary by the developer if the onsite grading results in the removal of more mature trees than anticipated and significantly lessens the buffering effects.

STAFF RECOMMENDATION

It is the staff’s opinion that the application, PUD Development Standards and restrictive covenants conforms to the approved Basic Development Plan. Staff recommends approval of the Detailed Development Plan with the following conditions:

1. The attached PUD Development Standards shall be incorporated into the Detailed Development Plan.
2. Applicant shall install additional plantings along lots 9-12 at the direction of city staff to achieve appropriate buffering.
3. The applicant will comply with all stormwater requirements, per the City Engineer.
4. The applicant will comply will all Fire Code requirements, per the Huber Heights Fire Department.

Discussion on masonry percentage, restriping of Bellefontaine Road, 6 ft. buffer, and wood chip path.

Greg Berling said he preferred paved path but up to the pipeline company, paved path around the lake.

Planning Commission Meeting

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Cindy Smith asked about the restriping of Bellefontaine and the berm on Fishburg.

Action

Ms. Thomas moved to approve the request by the applicant CAMPBELL BERLING HUBER HEIGHTS, LLC, for approval of a Detailed Development Plan to create 97 units on 22.38 acres. Property is located on the East side of Bellefontaine Road and South of Chambersburg Road (DDP 22-28) in accordance with the recommendation of Staff's Memorandum dated July 6, 2022, and the amended Planning Commission Decision Record attached thereto.

Seconded by Mr. Jeffries. Roll call showed: YEAS: Ms. Opp, Ms. Vargo, Mr. Jeffries, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

VIII. Additional Business

None.

IX. Approval of the Minutes

Without objection, the minutes of the May 24, 2022, and June 28, 2022, Planning Commission meeting are approved.

X. Reports and Calendar Review

DDP – Medical Facility

XI. Upcoming Meetings

July 26, 2022
August 09, 2022

XII. Adjournment

There being no further business to come before the Commission, the meeting was adjourned at approximately 7:30 p.m.

Terry Walton, Chair

Date

Geri Hoskins, Administrative Secretary

Date