



AGENDA
CITY PLANNING COMMISSION

City Hall - Council Chambers
6131 Taylorsville Road
May 9, 2023
6:00 P.M.

1. Call Meeting To Order
2. Roll Call
3. Opening Remarks By The Chair and Commissioners
4. Citizens Comments
5. Swearing of Witnesses
6. Pending Business
7. New Business
 - A. REPLAT - The applicant, CORRIDOR DEVELOPMENT COMPANY, LLC, is requesting approval of a Replat of inlots 1713 and 1738 located in the Windbrooke Subdivision, Section 3, Phase I (RP 23-10).
 - B. REPLAT - The applicant, DAN CROSS, is requesting approval of a Replat to combine two existing lots to construct an accessory building. Property is located at 8489 Betal Court (RP 23-12).

- C. MINOR CHANGE - The applicant, SIGNS NOW DAYTON, is requesting approval of a Minor Change for signage. Property is located at 7700 Brandt Pike (MC 23-13).
- D. DETAILED DEVELOPMENT PLAN - The applicant, SKILKEN GOLD REAL ESTATE DEVELOPMENT, is requesting approval of a Detailed Development Plan for 3.03 acres to develop a Sheetz restaurant & convenience store including a fueling center. Property is located at 8245 Brandt Pike (DDP 23-11).

8. Additional Business

- A. INFORMAL REVIEW - Continental Properties

9. Approval of Minutes

- A. Planning Commission April 11, 2023

10. Reports and Calendar Review

11. Upcoming Meetings

- A. June 13, 2023
July 11, 2023

12. Adjournment

AI-9158

7. A.

Planning Commission

Meeting Date: 05/09/2023

Replat

Information

Agenda Title

REPLAT - The applicant, CORRIDOR DEVELOPMENT COMPANY, LLC, is requesting approval of a Replat of inlots 1713 and 1738 located in the Windbrooke Subdivision, Section 3, Phase I (RP 23-10).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawing

Fire Assessment

Memorandum

Staff Report for Meeting of May 9, 2023

To: Huber Heights City Planning Commission
From: Aaron K. Sorrell, City Planner
Date: April 24, 2023
Subject: RP23-10 Replat Inlots 1713 & 1738

Application dated April 5, 2023

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Corridor Development Company, LLC – Applicant / Owner

DEVELOPMENT NAME: Carriage Trails

ADDRESS/LOCATION: 5251 & 5244 Buttercup Drive

ZONING/ACREAGE:

EXISTING LAND USE:

ZONING

ADJACENT LAND:

REQUEST: The applicant requests approval of a replat of .429 acres to create a cul-de-sac and dedicate additional right-of-way.

ORIGINAL APPROVAL: N/A

APPLICABLE HHCC: Chapter 1107

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant requests a replat and dedication of right-of-way to create a terminating cul-de-sac at the end of Butter Cup Drive. Originally, this street was planned to continue eastward, but the adjacent property owner has no intentions of selling the land. This replat and street dedication will create a cul-de-sac that meets the City's subdivision standards.

Conformity with Subdivision Regulations

This replat conforms with Section 1107 (final plat) of the City Code of Regulations. The applicant will make the necessary public improvements then dedicate the public right-of-way.

Staff Analysis

Butter Cup Drive was originally planned to continue eastward and connect with future sections of the Carriage Trails development. The adjacent property owner has informed the developer they have no intention of selling the land for development.

While not an ideal situation, the applicant has opted to create a cul-de-sac at the end of Butter Cup Drive. Since a cul-de-sac was not originally planned at this location, the lot configuration is somewhat unique. The applicant is developing home plans that will accommodate a smaller front yard and maintain the street rhythm with the existing homes.

Staff feels the dedication of right-of-way and creating the cul-de-sac is the best near-term solution to accommodate turn around needs of larger vehicles. This design does not preclude extending the street at some future date.

Additional Comments:

Fire: See Attached.

City Engineer: Approves the replat.

Recommendation

Staff recommends approval of the replat as submitted on April 5, 2023.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

- 1) Approve the replat as submitted (staff recommendation);
- 2) Approve the replat with conditions; or,
- 3) Deny the replat.



Planning Commission Decision Record

WHEREAS, on April 5, 2023, the applicant, Corridor Development Company, requested approval of a Replat of inlots 1713 and 1738 located in Windbrooke Subdivision, Section 3, Phase I. Property is located at 5244 and 5251 Buttercup Drive, further identified as Parcel Numbers P48-003671 and P48-003721 of the Miami County Auditor's Map (Case RP 23-10), and;

WHEREAS, on May 9, 2023, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Corridor Development Company, for approval of a Replat. Property is located at 5244 and 5251 Buttercup Drive, (RP 23-10) in accordance with the recommendation of Staff's Memorandum dated April 24, 2023, with the following conditions:

1. Approve as submitted.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried

Terry Walton, Chair
Planning Commission

Date

REPLAT INLOTS 1713 & 1738

STATE OF OHIO, COUNTY OF MIAMI, CITY OF HUBER HEIGHTS,
JUNE 2023

VOLUME _____ PAGE _____
MIAMI COUNTY RECORDER'S RECORD OF PLATS

DESCRIPTION

BEING A REPLAT OF INLOTS 1713 AND 1738 AS CONVEYED TO CORRIDOR DEVELOPMENT COMPANY LLC, BY DEED RECORDED IN DOCUMENT NO. 2020OR-11533, RECORDED IN THE MIAMI COUNTY RECORDER'S RECORDS.

PROPERTY OWNERS CONSENT

THE UNDERSIGNED, DIANA K. COLYER ON BEHALF OF CORRIDOR DEVELOPMENT COMPANY LLC, BEING THE OWNER OF THE PARCEL HEREIN REPLATED, DOES HEREBY CONSENT TO THE EXECUTION OF SAID REPLAT AS SHOWN HEREON AND HEREBY DEDICATES TO THE PUBLIC USE FOREVER THE STREET SHOWN HEREON.

By _____
CORRIDOR DEVELOPMENT
COMPANY LLC,

By _____
Diana K. Colyer,
Assistant Secretary
and Treasurer

STATE OF OHIO, COUNTY OF _____, SS: _____

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY CAME DIANA K. COLYER, FOR SAID OWNER, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO BE HER VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF CORRIDOR DEVELOPMENT COMPANY, LLC. IN TESTIMONY WHEREOF, I HAVE SET MY HAND AND NOTARY SEAL ON THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

CONSENT OF LIENHOLDER
WESBANCO BANK, INC.

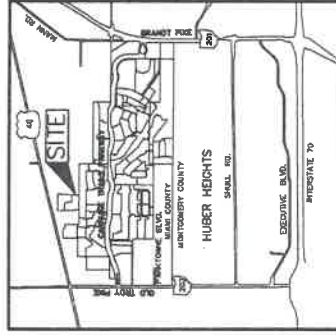
By: _____
PRINT: DAVID P. DUNCAN
TITLE: SENIOR VICE PRESIDENT

STATE OF _____, COUNTY OF _____, SS: _____

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2022, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED DAVID P. DUNCAN, SENIOR VICE PRESIDENT OF WESBANCO BANK, INC., WHO REPRESENTED THAT THEY ARE DULY AUTHORIZED IN THE PREMISES AND WHO ACKNOWLEDGED THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS THEIR VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES IN SAID INSTRUMENT MENTIONED. IN TESTIMONY WHEREOF, I HERETO SET MY HAND AND AFFIX MY NOTARY SEAL ON THE DAY AND DATE AFORESAID.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



LOCATION MAP
NO SCALE

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NAD 83 OHIO STATE PLANE COORDINATE SYSTEM, GRID SOUTH ZONE.

REFERENCES:

MIAMI COUNTY RECORDER'S DEED RECORDS:
DOCUMENT No. 2020OR-11533
DOCUMENT No. 2021OR-12238
MIAMI COUNTY RECORDERS PLAT RECORDS
P.B. 28, PG. 50 P.B. 29, PG. 67

FEE \$ _____

MIAMI COUNTY RECORDER

BY DEPUTY RECORDER

MIAMI COUNTY AUDITOR

APPROVED AND TRANSFERRED _____, 2023.

MIAMI COUNTY AUDITOR

BY DEPUTY AUDITOR

APPROVED:

THE WITHIN PLAT DEDICATION WAS APPROVED BY THE CITY PLANNING COMMISSION OF THE CITY OF HUBER HEIGHTS, OHIO, IN ACCORDANCE WITH SECTION 1107.12 OF THE CITY'S SUBDIVISION REGULATIONS

ON _____, 2023

CHAIR OF THE HUBER HEIGHTS PLANNING COMMISSION

CERTIFICATION

THE WITHIN PLAT IS A REPLAT OF LAND CONTAINING 0.429 ACRES AS DESCRIBED IN A DEED TO CORRIDOR DEVELOPMENT COMPANY LLC OF RECORD IN DOCUMENT NO. 2020OR-11533, AS RECORDED IN THE DEED RECORDS OF MIAMI COUNTY, OHIO.

THE MEASUREMENTS ARE CERTIFIED CORRECT AND IRON PINS WILL BE SET AS SHOWN.

ARCADIS/IBI GROUP

BY _____
David L. Chiesa P.S.
Registered Surveyor No. 7740

DEVELOPER
CORRIDOR DEVELOPMENT
COMPANY LLC
5131 POST ROAD, SUITE 900
DUBLIN, OHIO 43017

ARCADIS
IBI GROUP

8101 N. High Street
Columbus, OH 43235
614-818-8900 ext. 326
Fax: 614-818-4502
www.IBIGroup.com



REPLAT INLOTS 1713 & 1738

KEIGH L. DAVIS &
GLEN N. DAVIS
20210R-12238
10.192 ACRES
LND. 31-74

LEGEND

○ IRON PIN FOUND PREVIOUSLY

SET BY ISI GROUP

IRON PIN SET-5/8" REBAR
30" LONG W/PLASTIC CAP
71B GROUP 8872/7740"

INLOT 1738	INLOT 1713
0.244 ACRE LOT	0.211 ACRE LOT
-0.013 ACRE RIGHT-OF-WAY	-0.013 ACRE RIGHT-OF-WAY
<u>0.231 ACRE TOTAL</u>	<u>0.198 ACRE TOTAL</u>

INI LOT 1713

0.211 ACRE LOT

0.013 ACRE RIGHT-OF-WAY

0.198 ACRE TOTAL

LOT 1713
0.211 ACRE
~~-0.013 ACRE~~
0.198 ACRE

LOT 1714

LOT 1715

CARRIAGE TRAILS
SECTION 9, PHASE IV
P.B. 26, PG. 67

LOT 1224

_OT 1225

NOT 1221

LOT 1222

WESTFIELD TOWNSHIP

CITY OF HUBER HEIGHTS



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Windbrooke, Section 3, Phase 1 - Replat		
Occupancy Address:	Lots 1713 & 1738 - 5244 & 5251 Buttercup Drive		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	N/A	HH P&D:	N/A
MCBR MEC:	N/A	HHFD Plan:	23-142
MCBR ELE:	N/A	HHFD Box:	
REVIEWER:	Susong	DATE:	4/27/2023

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

Approved as noted per Review of Ohio Fire Code and adopted Life Safety Standards related to Drive Access and Hydrant Placement.

Requirements:

- **Dead-end fire apparatus access roads shall not exceed 150 feet without a means to turn-around. Ohio Fire Code Appendix D 103.4. The replat consists of providing a means to comply with the previous statement. Road will be widened to create a new cul-de-sac.**

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-9162

7. B.

Planning Commission

Meeting Date: 05/09/2023

Replat

Information

Agenda Title

REPLAT - The applicant, DAN CROSS, is requesting approval of a Replat to combine two existing lots to construct an accessory building. Property is located at 8489 Betal Court (RP 23-12).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawing

Record Plan

Fire Assessment

Memorandum

Staff Report for Meeting of May 9, 2023

To: Huber Heights City Planning Commission
From: Aaron K. Sorrell, City Planner
Date: April 24, 2023
Subject: RP23-12 8489 & 8467 Betal Ct.

Application dated April 14, 2023

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER:	Dan Cross
DEVELOPMENT NAME:	Girard Plat
ADDRESS/LOCATION:	8489 & 8467 Betal Ct.
ZONING/ACREAGE:	1.64 Acres
EXISTING LAND USE:	Residential
ZONING ADJACENT LAND:	R-2
REQUEST:	The applicant requests approval of a replat to consolidate two lots into a single 1.64 acre lot to facilitate the construction of an accessory building.
ORIGINAL APPROVAL:	N/A
APPLICABLE HHCC:	Chapter 1107, 1145
CORRESPONDENCE:	In Favor – None Received In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant purchased the adjacent lot after the previous owners razed the structure due to a fire. The applicant desires to construct a 1,600 SF accessory structure. The zoning code does not permit an accessory structure on a lot without a primary structure, thus a lot combination is required.

Conformity with Subdivision Regulations

This replat conforms with Section 1107 (final plat) of the City Code of Regulations. No land dedication is required.

Conformity with Zoning Regulations

The new lot conforms with the R-2 zoning requirements. The proposed accessory structure meets all setback requirements.

Staff Analysis

The proposed lot combination meets the subdivision and zoning code requirements. Staff is supportive of the replat.

Additional Comments:

Fire: See Attached.

City Engineer: No comments.

Recommendation

Staff recommends approval of the replat as submitted on April 14, 2023.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

- 1) Approve the replat as submitted (staff recommendation);
- 2) Approve the replat with conditions; or,
- 3) Deny the replat.



Planning Commission Decision Record

WHEREAS, on April 14, 2023, the applicant, Dan Cross, requested approval of a Replat to combine two existing lots to construct an accessory building. Property is located at 8489 Betal Court, further identified as Parcel Number P70 00213 0007 of the Montgomery County Auditor's Map (Case RP 23-12), and;

WHEREAS, on May 9, 2023, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Dan Cross, for approval of a Replat. Property is located at 8489 Betal Court, (RP 23-12) in accordance with the recommendation of Staff's Memorandum dated April 24, 2023, with the following conditions:

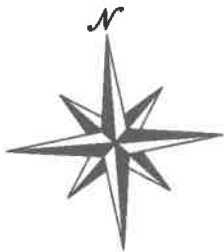
1. Approve as submitted.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried

Terry Walton, Chair
Planning Commission

Date

240.00'



4/14/23

MICHAEL W. COZATT, P.S. #6001

DATE _____

COZATT ENGINEERING COMPANY

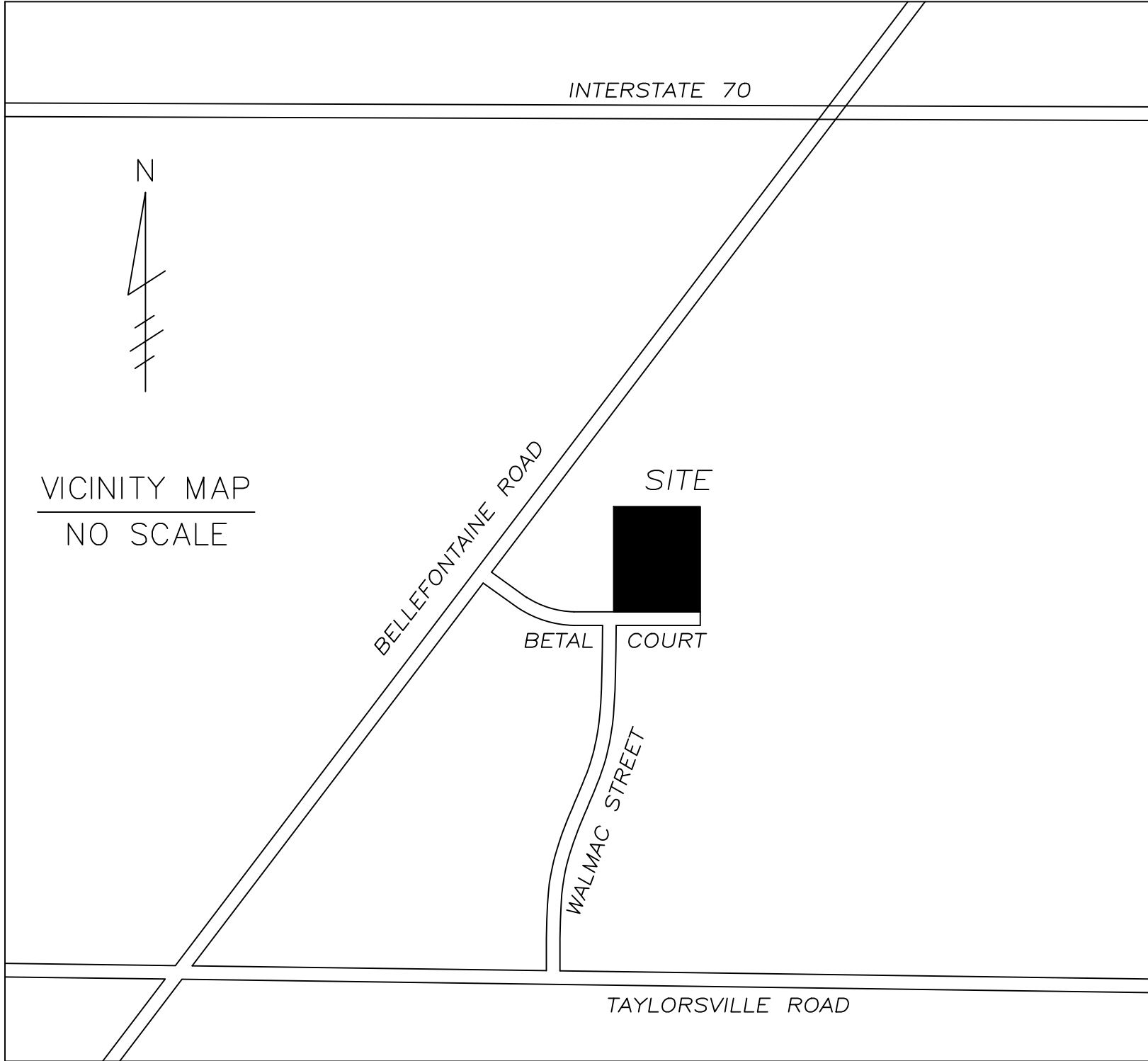
CIVIL ENGINEER

1100 WAYNE ST. SUITE 1140

JOB NO. 05423

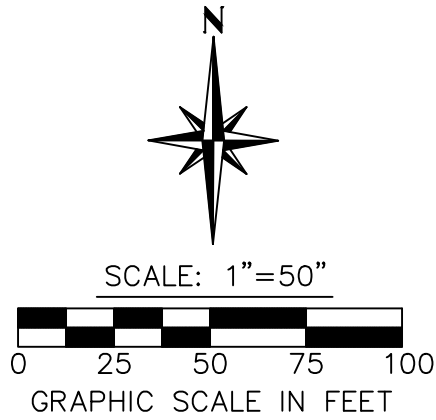


LAND SURVEYOR
TROY, OH 45373
(937) 339-2921



RECORD PLAN GIRARD PLAT, REPLAT

BEING A REPLAT OF LOTS 11 & 12 AS
RECORDED IN P.B. "00", PAGE 57.
LOCATED IN SECTION 11, TOWN 2, RANGE 8 M.Rs.,
IN THE CITY OF HUBER HEIGHTS, WAYNE TOWNSHIP,
MONTGOMERY COUNTY, OHIO
0.827 ACRES IN LOT 11,
0.827 ACRES IN LOT 12
TOTAL ACRES 1.654



DESCRIPTION

BEING A REPLAT OF LOTS 11 & 12, GIRARD PLAT AS RECORDED IN PLAT BOOK "00", PAGE 57 IN THE CITY OF HUBER HEIGHTS, OHIO, ACQUIRED BY WANDA CAPLINGER BY IR DEED 13-0007096, AND DANIEL CROSS AND WANDA CROSS, HUSBAND AND WIFE, BY IR DEED 21-00059346 OF THE DEED RECORDS OF MONTGOMERY COUNTY, OHIO. 1.654 ACRES TOTAL, 0.827 AC. IN LOT 11, 0.827 IN LOT 12.

DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS AND LIENHOLDERS OF THE LAND HEREIN BEING CONSOLIDATED, DO HEREBY ACKNOWLEDGE THE MAKING AND SIGNING OF THIS PLAT TO BE OUR VOLUNTARY ACT AND DEED AND RESERVE THE EASEMENTS AS SHOWN WITHIN THE PLAT TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THE PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREES, OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS TO AND EGRESS FROM THE PREMISES FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

SIGNED AND ACKNOWLEDGED IN THE PRESENCE OF:

WITNESS	DANIEL CROSS
WITNESS	WANDA CROSS

STATE OF OHIO, COUNTY OF MONTGOMERY, S.S.

BE IT REMEMBERED THAT ON THIS ____ DAY OF _____, 2023, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED THE ABOVE SIGNED DANIEL CROSS AND WANDA CROSS, TO ME KNOWN, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING PLAT TO BE THEIR VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY NAME AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND DATE WRITTEN ABOVE.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

STATE OF OHIO, COUNTY OF MONTGOMERY, S.S.

DANIEL CROSS AND WANDA CROSS, BEING DULY SWORN, SAYS THAT ALL PERSONS AND CORPORATIONS, TO THE BEST OF THEIR KNOWLEDGE, INTERESTED IN THIS DEDICATION, EITHER AS OWNERS OR LIENHOLDERS, HAVE UNITED IN IT'S EXECUTION.

DANIEL CROSS	WANDA CROSS
IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY NAME AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND DATE WRITTEN ABOVE.	

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

Certification

I hereby certify that this plat was prepared in accordance with Ohio Administrative Code Chapter 4733.37 Standards for Surveys and also conforms to the Ohio Revised Code Chapter 711 for Record Plans and was conducted under my supervision based on field work in April of 2023. All measurements are correct and monuments are to be set on all lot corners as shown.

Michael W. Cozatt, P.S. #6001 Date

PREPARED BY:
Cozatt Engineering Company
Civil Engineer Land Surveyor
1100 Wayne Street, Ste. 1140, Troy, Ohio
Job No. ____23 Ph. (937) 339-2921

LEGEND

- 5/8" DIA. IRON PIN FOUND
- 5/8" DIA. CAPPED IRON PIN SET (COZATT, S6001)

REFERENCES

P.B. "00", PG. 57 } Montgomery County
Recorder's Plat Records
Deeds as noted hereon.

Basis of Bearings

The north right-of-way line of Betal Court, bearing North 90° 00' 00" West, as found in P.B. "00", Page 57 of the Montgomery County Recorder's Plat Records.

Occupation Statement

Monumented property lines generally fit occupation where lines of occupation exist.

Superimposed Area Note:

All of the land of the dedicator of such plat are drawn as shown hereon.

BELLEFONTAINE ROAD (R/W VARIES)

WALMAC STREET 50' R/W

BETAL COURT 50' R/W

1.0 ACRE
DUSTIN L. SALYERS &
DONALD E. WALLEN
2016-00045494

1.263 ACRE
KIMBERLY L. LUKEY &
KATRINA SUE ADAMS
2005-00057400

30.49 ACRES
EDWIN J. HOWELL
2019-00000295

5.130 ACRES
CHARLEY J. RICE &
SUSAN J. RICE
97-0150

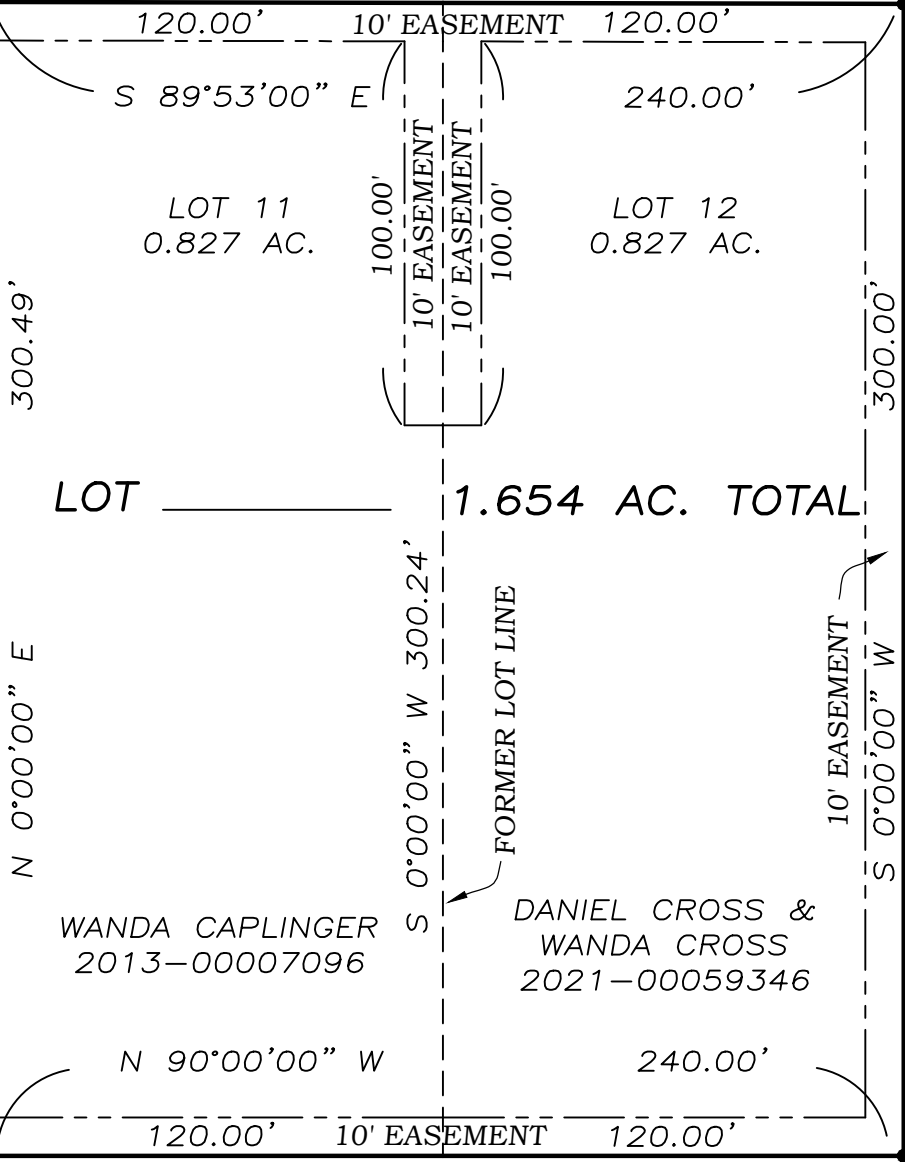
LOT 13
GIRARD PLAT
ROBERT E. THOMAS &
NICHOLE RENE THOMAS
2019-00067661

LOT 27
GIRARD PLAT
MISTY L. TURNER
2015-00027427

LOT 8
GIRARD PLAT

LOT 9
GIRARD PLAT

LOT 10
GIRARD PLAT
DANIEL D. COSSEY &
DAVID E. COSSEY
2015-00011272





Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Betal Court Replat		
Occupancy Address:	8767 & 8489 Betal Court		
Type of Permit:	Structure (New/Alterations)		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	N/A	HH P&D:	
MCBR MEC:		HHFD Plan:	23-143
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	4/27/2023

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

- Plan submittal is approved as shown on drawing, replat only. Building permit has been applied for the construction of new pole barn, non-commercial use. If the building is to be used for commercial purposes in the future, a new permit shall be obtained for new occupancy.**

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-9163

7. C.

Planning Commission

Meeting Date: 05/09/2023

Minor Change

Information

Agenda Title

MINOR CHANGE - The applicant, SIGNS NOW DAYTON, is requesting approval of a Minor Change for signage. Property is located at 7700 Brandt Pike (MC 23-13).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawing

Memorandum

Staff Report for Meeting of May 9, 2023

To: Huber Heights City Planning Commission
From: Aaron K. Sorrell, City Planner
Date: April 28, 2023
Subject: MC 23-13 Knickerbocker Pool Sign Relocation

Application dated April 18, 2023

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER:	Knickerbocker Pool / Signs Now Dayton
DEVELOPMENT NAME:	Sulphur Grove Shopping Center
ADDRESS/LOCATION:	7700 Brand Pike
ZONING/ACREAGE:	Planned Commercial .54 Acres
EXISTING LAND USE:	Retail
ZONING ADJACENT LAND:	Planned Commercial
REQUEST:	The applicant requests approval to replace and relocate a roof sign. The net number of roof signs will remain the same.
ORIGINAL APPROVAL:	N/A
APPLICABLE HHCC:	Chapter 1189 - Signs
CORRESPONDENCE:	In Favor – None Received In Opposition – None Received

STAFF ANALYSIS AND RECOMMENDATION:

Overview

The applicant desires to replace and relocate the existing south-facing roof sign to the west facing side of the roof. The west side of the building faces Brandt Pike.

Roof signs are prohibited under the zoning code, thus the existing signs are considered non-conforming signs. Non-conforming signs cannot be relocated unless they are brought into conformance with the sign code. See Section 1187.07 – Nonconforming signs.

Staff cannot administratively approve the relocation of the sign unless the applicant mounts the sign to the west building wall. However, within Planned Districts the Planning Commission has great latitude in approving signs that do not conform with Chapter 1189.

Conformity with Zoning Regulations

The Huber Heights zoning code prohibits roof signs. Specifically, Section 1189.03 – Prohibited Signs states:

All signs not expressly permitted under this chapter, or exempt from regulation hereunder in accordance with the previous section are prohibited in the City. Such signs include, but are not limited to:

(c) Any sign mounted onto, above or incorporated into the roof of any building shall be prohibited unless specifically permitted by this chapter.

Section 1189.05(i) gives the Planning Commission latitude in approving signs within Planned Developments. Specifically, the section states:

- (i) Planned Unit Development Sign Programs. Signs which have been approved as part of a planned unit development sign program may vary from the requirements stated within this chapter. Variations permitted through a PUD sign program may include but are not limited to the following: total number of signs permitted, sign size, sign setback, sign height and percentage of sign area devoted to changeable copy or electronic copy. Such deviations are recognized to be primarily for safety or unique parcel configuration circumstances and are not intended to circumvent the intent of the sign code.*

Staff Analysis

The applicant is proposing to relocate and replace a non-confirming roof sign. The sign replacement and new location will continue to be non-conforming under the zoning code. The building is one-story with a tall, hipped roof. Based on historical photos, the building has been at this location in one form or another since the 1960's. The existing

signs are approximately 50 SF each and mounted to the roof structure and meet the definition of a Roof Sign. Thus, they are non-conforming signs due to being mounted to the roof. Non-conforming signs cannot be relocated, except to make the signs less non-conforming. Relocating the sign from one side to the other does not make the sign less non-conforming.

The proposed sign is approximately 50 SF, which conforms to the sign code. Staff would prefer to see the new sign relocated and mounted to the building wall. However, due to the building's construction, the wall sign will be approximately 7' to 10' lower than the existing sign. The applicant is concerned the sign will be less visible mounted to the building wall.

Additional Comments:

Fire: No comments.

City Engineer: No comments.

Recommendation

Staff would rather see the sign relocated to the building wall, but is not opposed to relocating the south roof sign to the west facing roof location.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

- 1) Approve minor change to the sign location as proposed by the applicant;
- 2) Approve the minor change with conditions; or,
- 3) Deny the minor change.



Planning Commission Decision Record

WHEREAS, on April 18, 2023, the applicant, Signs Now Dayton, requested approval of a Minor Change for signage. Property is located at 7700 Brandt Pike, further identified as Parcel Number P70 03909 0002 of the Montgomery County Auditor's Map (Case MC 23-13), and;

WHEREAS, on May 9, 2023, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Signs Now Dayton, for approval of a Minor Change. Property is located at 7700 Brandt Pike, (MC 23-13) in accordance with the recommendation of Staff's Memorandum dated , 2023, with the following conditions:

1. Approve as submitted.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried

Terry Walton, Chair
Planning Commission

Date



(937) 427-3431

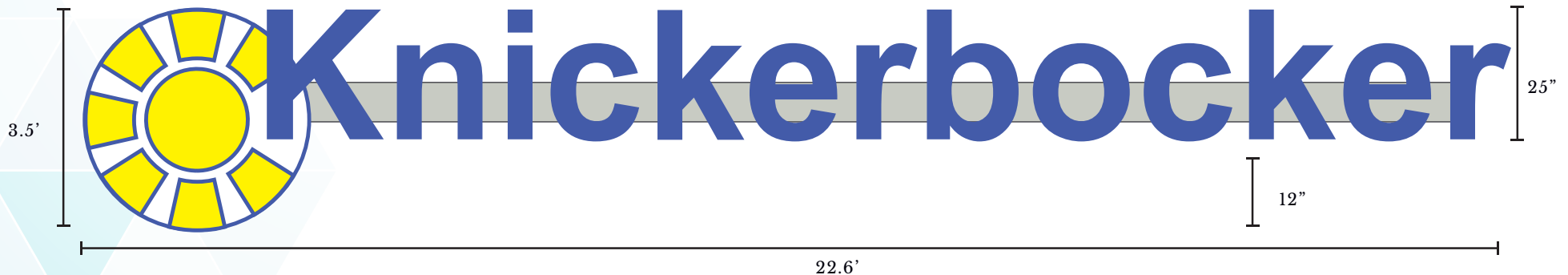
sales@signsnowdayton.com

3197 Beaver Vu Drive, Beavercreek, OH 45434

REMOVING FROM HUBER HEIGHTS SOUTH LOCATION



INSTALLING AT HUBER HEIGHTS WEST LOCATION



56665 pg. 1/1

52 SQ. FT.

Your signature authorizes Signs Now of Beavercreek to produce the products described and rendered above. We will not produce any item without a written approval. Signs Now is only responsible for producing the item as approved on this proof. Customer to ensure spelling, quantity and colors. Critical colors should not be gauged by monitor color.

SIGNATURE: _____ DATE: _____

AI-9159

7. D.

Planning Commission

Meeting Date: 05/09/2023

Detailed Development Plan

Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, SKILKEN GOLD REAL ESTATE DEVELOPMENT, is requesting approval of a Detailed Development Plan for 3.03 acres to develop a Sheetz restaurant & convenience store including a fueling center. Property is located at 8245 Brandt Pike (DDP 23-11).

Purpose and Background

Attachments

Staff Report

Decision Record

Drawings

Elevations

Sign Package

Fire Assessment

Memorandum

Staff Report for Meeting of May 9, 2023

To: Huber Heights City Planning Commission
From: Aaron K. Sorrell, City Planner
Date: May 2, 2023
Subject: Detailed Development Plan: DDP 23-11
(Sheetz – Executive Blvd & Brandt Pike)

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Kareem Amr, Skilken Gold Real Estate – Applicant
City of Huber Heights, Laxmi Hospitality, LLC - Owners

DEVELOPMENT NAME: Sheetz (Executive Blvd.)

ADDRESS/LOCATION: 8245 Brandt Pike

ZONING/ACREAGE: Planned Commercial (PC) / 3.03 Acres

EXISTING LAND USE: Vacant

ZONING

ADJACENT LAND: North: PEP (mostly vacant ground)
East: Agriculture (Carriage Hill MetroPark)
West: PC (vacant ground)
South: PEP (Meijer)

REQUEST: The applicant requests Detailed Development Plan Approval (3.03 acres) to develop a 6,138 SF Sheetz restaurant and convenience store with a fueling center.

ORIGINAL APPROVAL: N/A

APPLICABLE HHCC: Chapter 1171, 1176, 1181, 1182, 1185, 1189

CORRESPONDENCE: In Favor – None Received
In Opposition – One email received.

Overview

The applicant requests Detailed Development Plan Approval (3.03 acres) to facilitate the development of a 6,138 SF Sheetz restaurant and convenience store with fueling services and regional stormwater detention area.

City staff have been working with the applicant on the site layout and stormwater detention facility to maximize the capacity of the detention basin area to benefit future development potential upstream.

Site History

In 2019, the City of Huber Heights acquired the Lehman farm, including this site. The City has since executed development agreements for the Lehman farm property with two groups: Horizon Line/RHM for a mixed-use development on the land north of Executive Boulevard; and Skilken Gold to develop this Sheetz convenience store and regional detention pond on the part of the land south of Executive Boulevard.

The Planning Commission recommended approval of the Basic Development Plan and Rezoning at this site on March 14, 2023. City Council approved the rezoning and Basic Development Plan on April 24, 2023.

Applicable Zoning Regulations

The applicable zoning regulations are Chapter 1130 – Amendments, Chapter 1171 – General Provisions, Chapter 1176 – Planned Commercial, Chapter 1181 – General Provisions, Chapter 1182 – Landscaping, and Chapter 1185 – Parking and Loading.

1171.09 - Detailed development plan.

The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.*

The staff analysis addresses the elements of the Detailed Development Plan and standards for approval.

Staff Analysis

The approved rezoning and Basic Development Plan ordinance has the following conditions:

1. Sidewalks shall be provided along the length of Executive Boulevard, including the frontage of the stormwater management basin. At a minimum, sidewalks shall be required along Executive Boulevard of the applicant's frontage.
2. The applicant shall locate and identify all existing trees within 40' of the Executive Boulevard and Brandt Pike right-of-way that have a 4" or greater DBH and incorporate said trees into the landscaping plan as appropriate, subject to approval as part of the Detailed Development Plan. The applicant shall also develop a plan to protect key trees during construction.
3. The applicant shall mitigate the visual impacts of changes to the decorative medians on Brandt Pike and Executive Boulevard through additional landscape design treatments, subject to Planning Commission approval during the detailed development plan approval.
4. Street trees shall be provided along Executive Boulevard and Brandt Pike and placed at a maximum spacing distance of 40' on center.
5. Signs shall meet the requirements of Chapter 1189, unless otherwise approved by the Planning Commission.
6. Permitted uses shall be those listed as permitted uses in Section 1176.01, except the following are prohibited:
 - Vehicle sales, rental or service
 - Sweepstakes Cafes
 - Short-term lenders (pay-day lenders, loans against auto titles, etc.)
 - Dry cleaners
 - Outdoor sales and storage, unless approved by the Planning Commission

Conformance with Zoning Regulations

The relevant sections to this application are discussed in detail below.

Conformance with the approved conditions of the BDP:

Sidewalks shall be provided along the length of Executive Boulevard, including the frontage of the stormwater management basin. At a minimum, sidewalks shall be required along Executive Boulevard of the applicant's frontage.

The DDP site plan illustrates 5-foot sidewalks along Executive Boulevard and Brandt Pike, consistent with the BDP and City codes.

The applicant shall locate and identify all existing trees within 40' of the Executive Boulevard and Brandt Pike right-of-way that have a 4" or greater DBH and incorporate said trees into the landscaping plan as appropriate, subject to

approval as part of the Detailed Development Plan. The applicant shall also develop a plan to protect key trees during construction.

The site plans indicate four existing trees with diameter greater than 4-inches. One tree along Executive Boulevard and three along Brandt Pike. Along Brandt Pike, two trees will impede construction and will be removed. The applicant is proposing to remove the 24" tree along Executive Boulevard due to a concern with safety and visibility. Staff recommends the applicant plant additional street trees along Executive Boulevard that total 24" in cumulative diameter.

The applicant shall mitigate the visual impacts of changes to the decorative medians on Brandt Pike and Executive Boulevard through additional landscape design treatments, subject to Planning Commission approval during the detailed development plan approval.

Staff recommends one tree be added in the Executive Boulevard median, subject to approval by the City Engineer.

Street trees shall be provided along Executive Boulevard and Brandt Pike and placed at a maximum spacing distance of 40' on center.

The trees are placed a minimum of 40' on center. The only variances are where the plantings may interfere with utilities or sight lines.

Signs shall meet the requirements of Chapter 1189, unless otherwise approved by the Planning Commission.

Signs are discussed in depth below. This application substantially meets the requirements of Chapter 1189.

Detailed Development Plan Analysis:

The applicant proposes constructing a 6,138 SF restaurant, convenience store and four-island fueling center. The building elevations and wall signs are nearly identical to the site at the Broad Reach development.

Other Zoning Requirements:

Landscaping

The applicant is proposing a significant landscaping plan with a mixture of street and shade trees, bushes, and ground cover.

Street Trees: The landscaping plan indicates the correct number of street trees along both frontages. The longest "gap" between trees is approximately 90' near underground utilities and driveway sightlines. Staff feels this arrangement is acceptable.

Perimeter/Parking areas: The applicant is proposing a series of hedge rows, planting beds, sod and perimeter tree lines that meet the landscaping code. The parking areas will have a perimeter planting of Japanese Holly.

Lighting

The photometric plan submitted with the application indicates there will be no light trespass from this site onto the adjacent residential areas. The parking areas are illuminated to code, and pole heights and luminary types meet the zoning code.

Mechanical / Storage areas

The DDP indicates all storage and dumpster areas are enclosed and screened according to the zoning code.

Parking

The retail floor area of the Broad Reach site is 2,548 SF, and staff assumes this site will be similar. The code requires approximately 28 spaces and at least eight stacking spaces. The site plan illustrates 42 parking spaces and room to stack 8 vehicles behind the ordering board.

Architecture

The main building is clad with a mixture of brick, stone and glass. There are no blank walls, and the building is oriented toward the two main frontages. The fueling canopy supports are partially clad in brick, matching the main building. The architecture is consistent with the intent of the commercial building standards in the zoning code.

Signs

A sign package was submitted with the BDP application approved by the Planning Commission and City Council. The sign package is very similar to what was approved at the Old Troy Pike site, but there is less total signage area being proposed for this site. A total of 213.5 SF signage is proposed, and the sign package is largely consistent with Section 1189 of the zoning code.

Wall signs: The code suggests up to 150 SF of wall signage, and no more than four wall signs. The applicant lists four wall signs totaling approximately 90 SF. The building elevations show five wall signs totaling approximately 117 SF.

Canopy signs: The code suggests canopy signs should be limited to no more than 50% of the building's primary frontage and limited to one sign per street frontage. The building is on the corner of two major streets; thus it is reasonable to argue the suggested maximum canopy signage should be 75 SF (50% of 150 SF). The applicant is proposing three canopy signs with a total area of 65.4 SF.

Ground signs: The applicant is proposing one 6-foot-tall monument sign, consistent with the sign code. The total area of the sign is 31 SF.

The applicant is also proposing various directional signs and ordering signs. Staff feels the directional signs, order, and menu boards are well placed.

Staff Analysis

The DDP application conforms with the Basic Development Plan ordinance approved by the City Council. Additionally, the DDP generally conforms to all relevant zoning regulations, including landscaping, lighting, parking, architectural standards and signs.

The building elevations indicate accessory sales displays customarily associated with convenience stores such as ice machines, propane bottles, and miscellaneous fluid sales. Given discussions regarding outdoor sales and displays, staff recommends prohibiting outdoor sales, storage or displays of any product in any parking area, along the perimeter of the parking and fueling area, or in any travel aisles. Staff recommends limiting outdoor sales and displays to the exterior building wall and under the fueling canopy.

Additional Comments:

Fire: See Attached.

City Engineer: The revised Basic Development Plan reflects all comments and changes requested by the Engineer.

Recommendation

It is staff's opinion that the requirements of Section 1171.09 have been met and staff recommends approval of the Detailed Development Plan application submitted on April 17, 2023, with the following conditions:

- The applicant shall conform to the Basic Development Plan ordinance approved on April 17, 2023;
- Outdoor sales, storage or displays of any product shall be prohibited in any parking area, along the perimeter of the parking and fueling area, or in any travel aisles. Outdoor sales and displays shall be permitted along the exterior building wall and under the fueling canopy, so long as all ADA clearances are maintained, and zoning permits obtained.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

- 1) Approve the Detailed Development Plan, with or without conditions;
- 2) Deny the Detailed Development Plan; or
- 3) Table the application in order to gather additional information.



Planning Commission Decision Record

WHEREAS, on April 14, 2023, the applicant, Skilken Gold Real Estate Development, requested approval of a Detailed Development Plan for 3.03 acres to develop a Sheetz restaurant & convenience store, including fueling services. Property is located at 8245 Brandt Pike, further identified as Parcel Numbers P70 03910 0005 and P70 03910 0012 of the Montgomery County Auditor's Map (Case DDP 23-11), and;

WHEREAS, on May 9, 2023, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Skilken Gold Real Estate Development, for approval of a Detailed Development Plan. Property is located at 8245 Brandt Pike, (DDP 23-11) in accordance with the recommendation of Staff's Memorandum dated , 2023, with the following conditions:

1. The applicant shall conform to the Basic Development Plan ordinance approved on April 24, 2023.
2. The applicant shall replace the Executive Boulevard median tree.
3. The approved Detailed Development Plan shall be the plans stamped Received April 17, 2023, with the following exception:
 - a. The approved landscaping plan shall include the updated landscape plan submitted on May 9, 2023.
4. The applicant shall submit updated sign plans correctly indicating a monument sign and corrected wall sign calculations.
5. Outdoor sales, storage or displays of any product shall be prohibited in any parking area, along the perimeter of the parking and fueling area, or in any travel aisles. Outdoor sales and displays shall be permitted along the exterior building wall

DDP 23-11 – Decision Record

and under the fueling canopy, so long as all ADA clearances are maintained, and zoning permits obtained.

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried

Terry Walton, Chair
Planning Commission

Date

W:\PROJECTS\SKILKEN GOLD\761668-01 Skilken Gold - 105 Sheetz - Huber Heights, OH\03-CIVIL\PLAN\CONSTRUCTION\761668_C1.0-TITLE.dwg - 4/13/2023 - Mark Romanov

CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

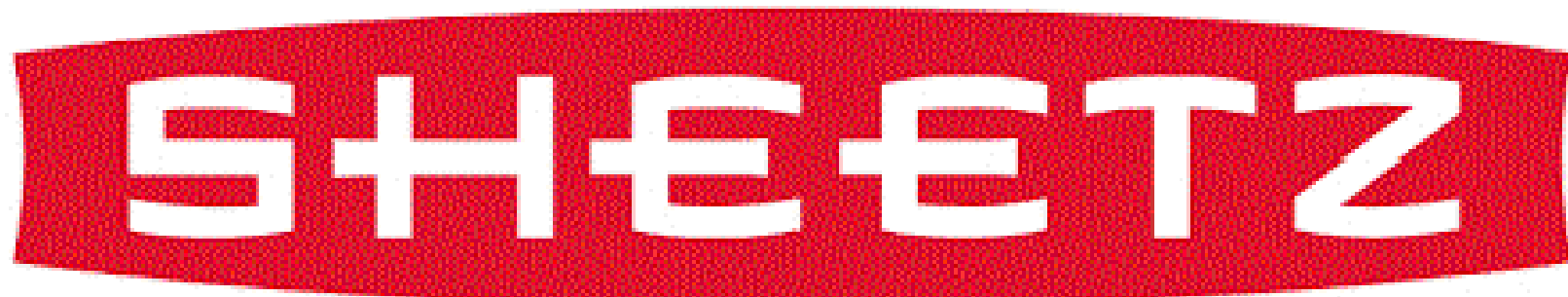
PRIVATE SITE IMPROVEMENTS

FOR

SHEETZ #105

EXECUTIVE BOULEVARD & BRANDT PIKE

HUBER HEIGHTS, OH



DEVELOPER:
SKILKEN GOLD REAL ESTATE DEVELOPMENT
4270 MORSE ROAD
COLUMBUS, OH 43230
PHONE: (380) 800-7811
CONTACT: KAREEM AMR

ENGINEER:
CESO, INC.
2800 CORPORATE EXCHANGE DR, SUITE 400
COLUMBUS, OH 43231
PHONE: (380) 799-5227
CONTACT: JOSH LONG
EMAIL: JOSH.LONG@CESOINC.COM

GOVERNING AGENCIES AND UTILITY COMPANIES:

SEWER:
CITY OF HUBER HEIGHTS
PHONE: (937) 233-1423
CONTACT: RUSS BERGMAN
EMAIL: RBERGMAN@HHOH.ORG

GAS SERVICE:
CENTER POINT ENERGY
PHONE: (937) 440-1830
CONTACT: RANDY CECI
EMAIL: RANDY.CECI@CENTERPOINTENERGY.COM

WATER:
CITY OF HUBER HEIGHTS
PHONE: (937) 233-1423
CONTACT: RUSS BERGMAN
EMAIL: RBERGMAN@HHOH.ORG

COMMUNICATIONS:
SPECTRUM
PHONE: (315) 234-7040
CONTACT: SHAQUILLE LEGGETT
EMAIL: SHAQUILLE.LEGGETT@CHARTER.COM

STORMWATER:
CITY OF HUBER HEIGHTS
PHONE: (937) 233-1423
CONTACT: RUSS BERGMAN
EMAIL: RBERGMAN@HHOH.ORG

ELECTRIC:
AES OHIO
PHONE: 937-331-4860
CONTACT: LYNDA

ZONING:
CITY OF HUBER HEIGHTS
PHONE: (937) 237-5815
CONTACT: DON MILLARD
EMAIL: DMILLARD@HHOH.ORG

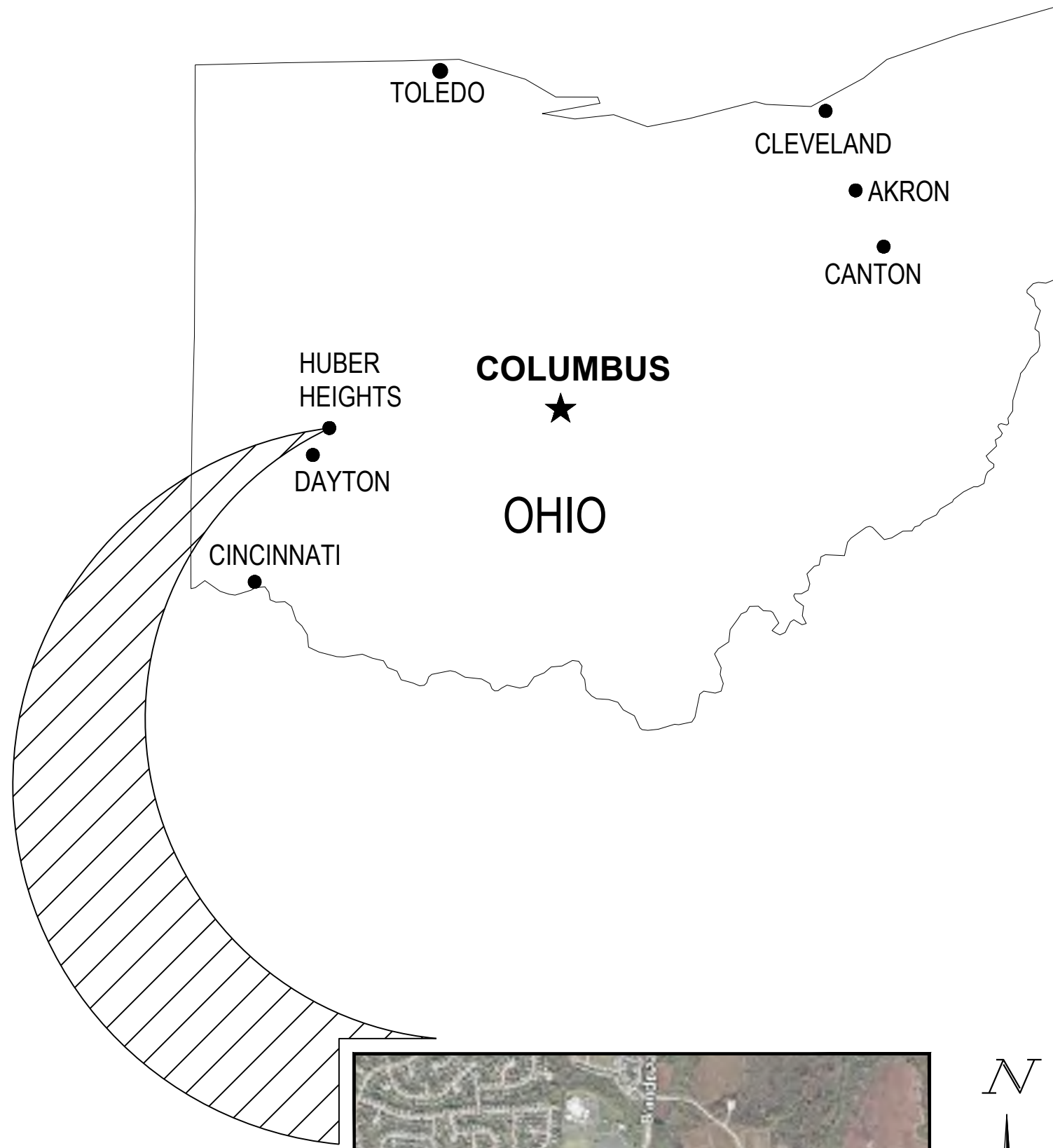
LEGEND

EXISTING FEATURES LEGEND

APPLIES TO ALL CIVIL SHEETS

	R/W	RIGHT OF WAY LINE		BENCHMARK
	PARCEL LINE			SET 5/8" x 30" IRON REBAR WITH YELLOW CAP STAMPED "CESO"
	SUBJECT PROPERTY BOUNDARY LINE			SANITARY MANHOLE
	EASEMENT LINE			TELEPHONE BOX
	CURB			CLEANOUT
	EDGE OF PAVEMENT			GUY WIRE ANCHOR
	EDGE OF WALK			CATCH BASIN
	PAVEMENT MARKINGS			CURB INLET
	STORM SEWER			LIGHT POLE
	SANITARY SEWER			POWER POLE
	WATER LINE			ELECTRIC METER
	GAS LINE			GAS METER
	OVHD ELECTRIC LINE			SIGN
	UGND ELECTRIC LINE			ELECTRIC BOX
	UGND TELECOMM LINE			TRAFFIC BOX
	MAJOR CONTOUR			WATER VALVE
	MINOR CONTOUR			FIRE HYDRANT
				SIGNAL POLE

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C1.0	TITLE SHEET
C1.1	GENERAL NOTES
C1.2	GENERAL NOTES
C1.3	ALTA
C1.4	ALTA
C2.0	EX. CONDITIONS & DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	AUTOTURN EXHIBIT
C4.0	GRADING PLAN
C4.1	FUEL GRADING PLAN
C5.0	UTILITY PLAN
C5.1	STORM SEWER PROFILES
C5.2	SEWER PLAN AND PROFILES
C6.0	SWPPP
C6.1	SWPPP NOTES
C6.2	SWPPP DETAILS
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
C7.3	CONSTRUCTION DETAILS
C7.4	CONSTRUCTION DETAILS
C7.5	UTILITY DETAILS
C7.6	UTILITY DETAILS
C7.7	STORM DETAILS
C7.8	STORM DETAILS
C8.0	PHOTOMETRIC PLAN
C8.1	PHOTOMETRIC DETAILS
L1.0	PLANTING PLAN
L2.0	PLANTING DETAILS



VICINITY MAP
SCALE: 1" = 200'



HUBER HEIGHTS STANDARD DRAWINGS

DETAIL	DESCRIPTION
PV-3.0	CURB SECTION DETAIL
PV-4.0	CURB RAMP DETAIL
PV-5.0	SIDEWALK LAYOUT

BENCHMARKS				
	ELEVATION*	EASTING**	NORTHING**	DESCRIPTION
BM 'A'	951.66'	1519614.1320	685614.0840	CROSS NOTCH SET ON THE EAST BOLT OF FIRE HYDRANT ON EAST SIDE OF SITE, ALONG BRANDT PIKE.
BM 'B'	948.28'	1519607.7120	685828.7130	SPIKE WITH METAL PLATE WITH "M-E CIVIL ENG BM 1603" IN CONCRETE ON SIGNAL ON EXECUTIVE BLVD. TOWARDS INTERSECTION AT BRANDT PIKE.
BM 'C'	950.40'	1519364.6490	685797.4550	CROSS NOTCH ON WEST BOLT OF FIRE HYDRANT ON NORTH SIDE OF SITE, SOUTH OF EXECUTIVE BLVD.

* VERTICAL DATUM: NAVD 88
** HORIZONTAL DATUM: US STATE PLANE, NAD83 OHIO SOUTH (3402) FROM UTILIZING THE OHIO REAL
TIME NETWORK (RTN) PROVIDED BY THE OHIO DEPARTMENT OF TRANSPORTATION. COORDINATES
TAKEN TO GROUND AT LATITUDE N39°52'17.63473", LONGITUDE W84°05'59.49882", PROJECT HEIGHT
838.768' GROUND SCALE FACTOR 1.00006810878568.
NOTE: REFER TO ALTA SURVEY, SHEET C1.4, FOR BENCHMARK LOCATIONS

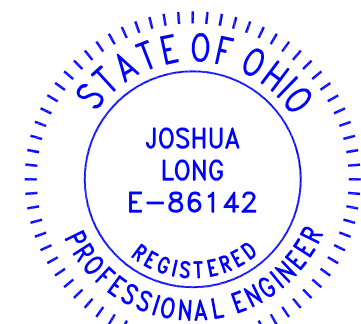


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO
COMMENCE. THE CONTRACTORS SHALL NOTIFY
THE FOLLOWING AGENCIES: OHIO UTILITIES
PROTECTION SERVICE AT 811 OR 1 (800) 362-2764
AND ALL OTHER AGENCIES WHICH MIGHT HAVE
UNDERGROUND UTILITIES INVOLVING THIS
PROJECT AND ARE NONMEMBERS OF OHIO
UTILITIES PROTECTION SERVICE



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



Josh Long

2023-4-13



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ -
HUBER HEIGHTS, OH
EXECUTIVE BOULEVARD & BRANDT PIKE
HUBER HEIGHTS, OH 45424

Revisions / Submissions

ID	Description	Date
----	-------------	------

Project Number: 761668

Scale: AS SHOWN

Drawn By: MST

Checked By: BP

Date: 04.12.2023

Issue: NOT FOR CONSTRUCTION

Drawing Title:

TITLE SHEET

C1.0

W:\PROJECTS\SKILKEN GOLD\176 1668-01 Skilken Gold - 105 Sheetz - Huber Heights, OH\03-CIVIL\PLAN\CONSTRUCTION\1761668_C110-TITLE.dwg - 4/13/2023 - Mark Romanov

GENERAL NOTES

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
2. FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
4. PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED/RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK
5. CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
6. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
7. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
11. PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED AS WELL AS PAVEMENT REPAIRS TO INSTALL UTILITY TRENCHING. IF ANY DAMAGE OCCURS ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS. SAWCUT EXISTING PAVEMENT TO FULL DEPTH, USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
13. THE CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
15. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
16. THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
17. ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS, FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, AND CANOPY.
4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
5. THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
6. ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
7. ACCESSIBILITY STANDARDS SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. ADA PARKING STALLS SHALL MEET ADA GRADE GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AT ACCESS POINTS, ACCESSIBLE ROUTES, AND EXISTING PARKING TO REMAIN TO DETERMINE COMPLIANCE WITH STANDARDS.
8. ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
9. ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT OR FACE OF BUILDING, AS APPLICABLE, UNLESS OTHERWISE NOTED.
10. ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
11. PROVIDE SIGNAGE AND STRIPING AS SHOWN. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE GOVERNING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). ALL PAVEMENT MARKINGS SHALL BE YELLOW.
12. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING SIGNAGE.
13. REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
14. REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
15. REFER TO GEOTECHNICAL ENGINEERING REPORT FOR SITE WORK PREPARATION/RECOMMENDATIONS AND PAVEMENT SECTIONS.
16. REFER TO ORIGINAL SURVEY PROVIDED BY CESO, INC.
17. ALL LIGHT POLES TO BE LOCATED 3' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.

GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
6. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
7. ALL ADA ACCESSIBLE PARKING SPACED AND LOADING AREAS SHALL BE GRADED WITH A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE ROUTES SHALL BE GRADED WITH A 2.0% MAXIMUM CROSS SLOPE AND 5.0% MAXIMUM RUNNING SLOPE.
8. MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE (LOD).
9. COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
10. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN IT'S CONDITION PRIOR TO DAMAGE.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.
13. ALL TOPSOIL MUST BE REMOVED BEFORE FILL MATERIAL IS PLACED.
14. ALL WET, OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT) UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER.
15. ALL UNSURFACED AREAS, DISTURBED BY GRADING, OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS PLAN SET.
16. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
17. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
REINFORCED CONCRETE PIPE (RCP)	CLASS III, IV, V	ASTM C-76	ASTM C443	ASTM C1479	WITHIN R/W, COVER VARIES WITH PIPE CLASS
HIGH DENSITY POLY-ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL	AASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

19. ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
20. ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL COUNTY AND ODOT STANDARDS.
21. ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1.0% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
22. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
23. THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
24. WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
25. IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
6. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
7. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
8. WATER AND SANITARY UTILITIES SHALL HAVE TEN (10') FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING. ALL CLEARANCE DISTANCES SHALL BE MEASURE FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
9. IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10') FEET ON BOTH SIDES OF THE CROSSING, AS MEASURED PERPENDICULAR TO THE WATER LINES. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
10. UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
12. UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER UTILITY TRENCH DETAIL PROVIDED WITHIN THE CONSTRUCTION DETAILS SHEET.
13. ALL WATER LINE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF HUBER HEIGHTS CONSTRUCTION STANDARDS AND STATE REGULATIONS.
14. INSTALL ALL WATER LINES WITH A MINIMUM COVER OF 4'-0".
15. ON-SITE WATER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
HIGH-DENSITY POLY-ETHYLENE (HPDE TUBING)	SDR 9 P.C. = 250 PSI	ASTM D2239 AWWA C901 ASTM F714	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, < 3" DIA.
COPPER 1"-3"	TYPE "K"	ASTM B88	AWWA C800	AWWA C800	DOMESTIC WATERLINES 1"-3"
PE 4710 POLY-ETHYLENE PLASTIC (IPS)	SDR 11 P.C. = 200 PSI	ASTM D3035 AWWA C901	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 2" TO 3" DIA.
P.V.C. POLY VINYL CHLORIDE 4"- 8" C900	C900	AWWA C901 (RATED DR 14)	ASTM F-477 ASTM D3139	AWWA C900 C851	ON SITE, 4"-8" WATER LINES & FIRE LINES INSTALL W/ TRACER & TAPE #12 COPPER
DUCTILE IRON PIPE 4"-12"	CLASS 52 P.C. = 350PSI	AWWA C104, C110, C151, C500	AWWA C111	AWWA C600, C851	6" FIRE HYDRANT LEADS
PE 4710 POLY-ETHYLENE PLASTIC (DIPS)	SDR 9 P.C. = 250 PSI	ASTM D2239 ASTM F714 AWWA C906	ASTM D3350 ASTM D3261	ASTM D2774	ON SITE, 4" DIA. AND LARGER

16. ON-SITE SANITARY SEWER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., LESS THAN 8.5' OF COVER
POLY VINYL CHLORIDE (PVC)	SDR 26	ASTM 3034	ASTM D3212	ASTM 2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., GREATER THAN OR EQUAL TO 8.5' OF COVER

17. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
18. CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.



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2023-4-13



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ -

HUBER HEIGHTS, OH

EXECUTIVE BOULEVARD & BRANDT PIKE

HUBER HEIGHTS, OH 45424

Revisions / Submissions

ID	Description	Date
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GENERAL NOTES

C1.1

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GENERAL NOTES

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- UTILITY CONTACTS ARE LISTED ON THE TITLE SHEET.
- EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO SWPPP FOR DETAILS.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE ODOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
- DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE SHEETZ CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

GRADING NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY CESO, THE CURRENT REQUIREMENTS OF THE CITY OF HUBER HEIGHTS, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OUPS AT 1 (800) 362-2764. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
- ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES GREATER THAN 3:1 TO PERMANENTLY STABILIZED WITH LANDSCAPE PLANTS.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL AREAS NOT PAVED SHALL BE TOP SOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY GCI PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

STORMWATER MANAGEMENT NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY CESO, THE CURRENT REQUIREMENTS OF THE CITY OF HUBER HEIGHTS, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OUPS AT 1 (800) 362-2764. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- CONTRACTOR SHALL COORDINATE PUMP ISLAND CANOPY DRAINS CONNECTION TO THE MAIN COLLECTOR PIPE WITH SHEETZ AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE CONNECTION TO THE MAIN COLLECTOR PIPE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL STORM PIPE SHALL BE AS SPECIFIED. ALL JOINTS SHALL BE WATERTIGHT.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

UTILITY NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY CESO, THE CURRENT REQUIREMENTS OF THE CITY OF HUBER HEIGHTS, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OUPS AT 1 (800) 362-2764. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO SHEETZ STORE.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- UTILITY COMPANIES AND CONTACTS ARE LISTED ON THE TITLE SHEET.
- CONDUIT LOCATIONS TO PYLON SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ SUPERINTENDENT.
- CONTRACTOR SHALL COORDINATE WITH SHEETZ SUPERINTENDENT ON LOCATION AND SIZE OF THE GREASE TRAP. GREASE TRAP SHALL BE PROVIDED WITH "1" PIPE IN OUTFLOW CHAMBER. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH SHEETZ ON CONDUIT ROUTE TO STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICE.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

LAYOUT NOTES:

- CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C.
- ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE PYLON SIGN WITH SHEETZ.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



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SHEETZ -

HUBER HEIGHTS, OH

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Revisions / Submissions		
ID	Description	Date

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Drawn By:	MST
Checked By:	BP
Date:	04.12.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
GENERAL NOTES

C1.2

EXHIBIT "A" LEGAL DESCRIPTION

(FROM TITLE COMMITMENT, BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NUMBER 1777510 WITH AN EFFECTIVE DATE OF JULY 28, 2022 AT 8:00 A.M.)
SITUATE IN THE CITY OF HUBER HEIGHTS, COUNTY OF MONTGOMERY AND STATE OF OHIO, AND BEING MORE PARTICULARLY DESCRIBED AS BEING, TO-WIT: SITUATE IN THE SOUTHWEST QUARTER OF SECTION 18, TOWN 2, RANGE 8, MRS. AND BEING PART OF A FIFTY-SEVEN AND FIFTY-THREE HUNDREDS (57.53) ACRE TRACT WHICH IS DESCRIBED IN DEED VOLUME 568, PAGE 289, OF THE DEED RECORDS OF MONTGOMERY COUNTY, OHIO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF SAID TRACT AND ON THE EAST LINE OF SAID QUARTER SECTION IN THE CENTER OF THE BRANDT PIKE; SAID BEGINNING POINT IS LOCATED A DISTANCE OF THREE HUNDRED THREE AND THREE TENTHS (303.3) FEET SOUTH FROM THE NORTH LINE OF SAID 57.53 ACRE TRACT AND A DISTANCE OF ONE THOUSAND TWO HUNDRED ONE AND THREE TENTHS (1201.3) FEET SOUTH FOR THE NORTH LINE OF SAID QUARTER SECTION, WITNESS AN IRON PIN BEARING SOUTH 89° 13' WEST A DISTANCE OF TWENTY-THREE (23) FEET; THENCE FROM SAID BEGINNING POINT, SOUTH 89° 13' WEST FOR A DISTANCE OF TWO HUNDRED TWENTY-FIVE (225) FEET TO AN IRON PIN SET FOR A CORNER, THENCE DUE SOUTH AND PARALLEL TO THE EAST LINE OF SAID TRACT FOR A DISTANCE OF FOUR HUNDRED TEN (410) FEET TO AN IRON PIN SET FOR A CORNER, THENCE NORTH 89° 13' EAST FOR A DISTANCE OF TWO HUNDRED TWENTY-FIVE (225) FEET TO A CORNER ON THE EAST LINE OF SAID 57.53 ACRES, WITNESS AN IRON PIN BEARING SOUTH 89° 13' WEST A DISTANCE OF TWENTY-THREE (23) FEET; THENCE DUE NORTH ALONG THE EAST LINE OF SAID 57.53 ACRES AND WITH THE EAST LINE OF SAID QUARTER SECTION FOR A DISTANCE OF FOUR HUNDRED TEN (410) FEET TO THE POINT OF BEGINNING, CONTAINING TWO AND ONE HUNDRED EIGHTEEN THOUSANDTHS (2.118), MORE OR LESS. PRIOR INSTRUMENT REF. VOLUME 1508, PAGE 490, OF MONTGOMERY COUNTY DEEDS, ABOVE DESCRIPTION INCLUDES PERPETUAL EASEMENTS AND RIGHTS OF WAY IN FAVOR OF THE STATE OF OHIO FOR PUBLIC HIGHWAY AND ROAD PURPOSES UPON 0.708 ACRES, MORE OR LESS AND ANOTHER 0.284 ACRES, MORE OR LESS.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED REAL ESTATE:

SITUATE IN SECTION 18, TOWNSHIP 2, RANGE 8, M.R.S., CITY OF HUBER HEIGHTS, COUNTY OF MONTGOMERY, STATE OF OHIO, AND BEING OVER PART OF A 2.118 ACRE TRACT OF LAND CONVEYED TO BETTY LOU BARNEY BY DEEDS RECORDED IN DEED BOOK 1791, PAGE 289 AND DEED MICROFICHE NUMBER 88-276262, ALL REFERENCES TO DEEDS, MICROFICHE, PLATS, SURVEYS, ETC. REFER TO THE RECORDS OF THE MONTGOMERY COUNTY RECORDER'S OFFICE, UNLESS NOTED OTHERWISE), AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING FOR REFERENCE AT A RAILROAD SPIKE SET AT THE SOUTHEAST CORNER OF THE RIGHT OF WAY FOR EXECUTIVE BOULEVARD AS DEDICATED IN EXECUTIVE BOULEVARD SECTION THREE AS RECORDED IN PLAT BOOK 185, PAGE 4, SAID CORNER BEING IN THE EAST LINE OF A 54.532 ACRE TRACT OF LAND CONVEYED TO EUGENE A. LEHMAN, TRUST BY DEEDS RECORDED IN DEED BOOK 1790, PAGE 11 AND DEED MICROFICHE NO. 97-572606, WITH A LIFE ESTATE TO EUGENE A. LEHMAN AND THE NORTH SOUTH HALF SECTION LINE OF SAID SECTION 18;

THENCE ALONG THE EAST LINE OF EUGENE A. LEHMAN TRUST'S 54.532 ACRE TRACT AND THE NORTH SOUTH HALF SECTION LINE OF SAID SECTION 18, SOUTH 5° 23' 18" WEST FOR 1.00' TO A RAILROAD SPIKE SET AT THE NORTHEAST CORNER OF BETTY LOU BARNEY'S 2.118 ACRE TRACT OF LAND;

THENCE ALONG THE NORTH LINE OF BETTY LOU BARNEY'S 2.118 ACRE TRACT OF LAND, NORTH 85° 23' 42" WEST FOR 65.00' TO A RAILROAD SPIKE SET AT THE INTERSECTION WITH THE WEST RIGHT OF WAY LINE OF STATE ROUTE 201 (BRANDT PIKE) BY PERPETUAL HIGHWAY EASEMENT AS CONVEYED TO THE STATE OF OHIO BY DEED RECORDED IN DEED BOOK 1837, PAGE 621 OVER BARNEY'S PROPERTY AND DEED BOOK 1837, PAGE 635 OVER LEHMAN'S PROPERTY, SAID INTERSECTION ALSO BEING THE POINT OF BEGINNING;

THENCE LEAVING THE NORTH LINE OF BETTY LOU BARNEY'S 2.118 ACRE TRACT OF LAND AND ALONG THE EXISTING WEST RIGHT OF WAY LINE OF STATE ROUTE 201 (BRANDT PIKE), SOUTH 8° 10' 44" WEST FOR 21.00' TO AN IRON PIN SET AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF WAY LINE OF EXECUTIVE BOULEVARD AND THE NEW SOUTH RIGHT OF WAY LINE OF EXECUTIVE BOULEVARD;

THENCE ALONG THE NEW SOUTH RIGHT OF WAY LINE OF EXECUTIVE BOULEVARD FOR THE FOLLOWING THREE (3) COURSES:

- NORTH 37° 05' 38" WEST FOR 14.06' TO AN IRON PIN SET AT THE ANGLE POINT;
- THENCE ON A TANGENT BEARING, NORTH 84° 36' 42" WEST FOR 119.32' TO AN IRON PIN SET AT A POINT OF CURVATURE;
- THENCE ON A CURVE TO THE LEFT WITH A RADIUS OF 533.67' FOR AN ARC DISTANCE OF 30.16'; [CHORD BEARING NORTH 86° 13' 51" WEST FOR 30.16'; DELTA ANGLE OF SAID CURVE BEING 3° 14' 16"] TO AN IRON PIN SET AT THE INTERSECTION OF THE NEW SOUTH RIGHT OF WAY LINE OF EXECUTIVE BOULEVARD AND THE WEST LINE OF BETTY LOU BARNEY'S 2.118 ACRE TRACT OF LAND;

THENCE ALONG THE WEST LINE OF BETTY LOU BARNEY'S 2.118 ACRE TRACT OF LAND, NORTH 5° 23' 18" EAST FOR 8.27' TO A RAILROAD SPIKE SET AT THE NORTHWEST CORNER OF BETTY LOU BARNEY'S 2.118 ACRE TRACT OF LAND;

THENCE ALONG THE NORTH LINE OF BETTY LOU BARNEY'S 2.118 ACRE TRACT OF LAND, SOUTH 85° 23' 42" EAST FOR 160.00' TO THE POINT OF BEGINNING, CONTAINING 0.0383 ACRES, MORE OR LESS, SUBJECT HOWEVER TO ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND EASEMENTS CONTAINED IN ANY INSTRUMENT OF RECORD PERTAINING TO THE ABOVE DESCRIBED TRACT OF LAND.

THIS DESCRIPTION WAS PREPARED FROM FIELD SURVEYS BY WOOLPERT, INC. (F.K.A. WOOLPERT LLP) IN JANUARY, 1997 AND DECEMBER, 2006, UNDER THE SUPERVISION OF DARYL L. WELLS, OHIO PROFESSIONAL SURVEYOR NO. 8932. THIS DESCRIPTION WAS BASED ON THE RECORD PLAN FOR EXECUTIVE BOULEVARD SECTION THREE AS RECORDED IN PLAT BOOK 185, PAGE 4 AND 4A, WITH BEARINGS BASED ON SAID PLAT. (THE BEARING ON THE NORTH-SOUTH HALF SECTION LINE OF SECTION 18 IS SOUTH 05° 23' 18" WEST).

IRON PINS SET IN THE ABOVE DESCRIPTION ARE 5/8 INCH DIAMETER STEEL REINFORCING ROD, 30 INCHES LONG, WITH A YELLOW PLASTIC CAP STAMPED "WOOLPERT".

SURVEY FILED IN RECORD OF LAND SURVEYS 2006-05877 IN THE MONTGOMERY COUNTY ENGINEER'S OFFICE.

SCHEDULE BII ITEMS:

(FROM TITLE COMMITMENT, BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NUMBER 1777510 WITH AN EFFECTIVE DATE OF JULY 28, 2022 AT 8:00 A.M.)

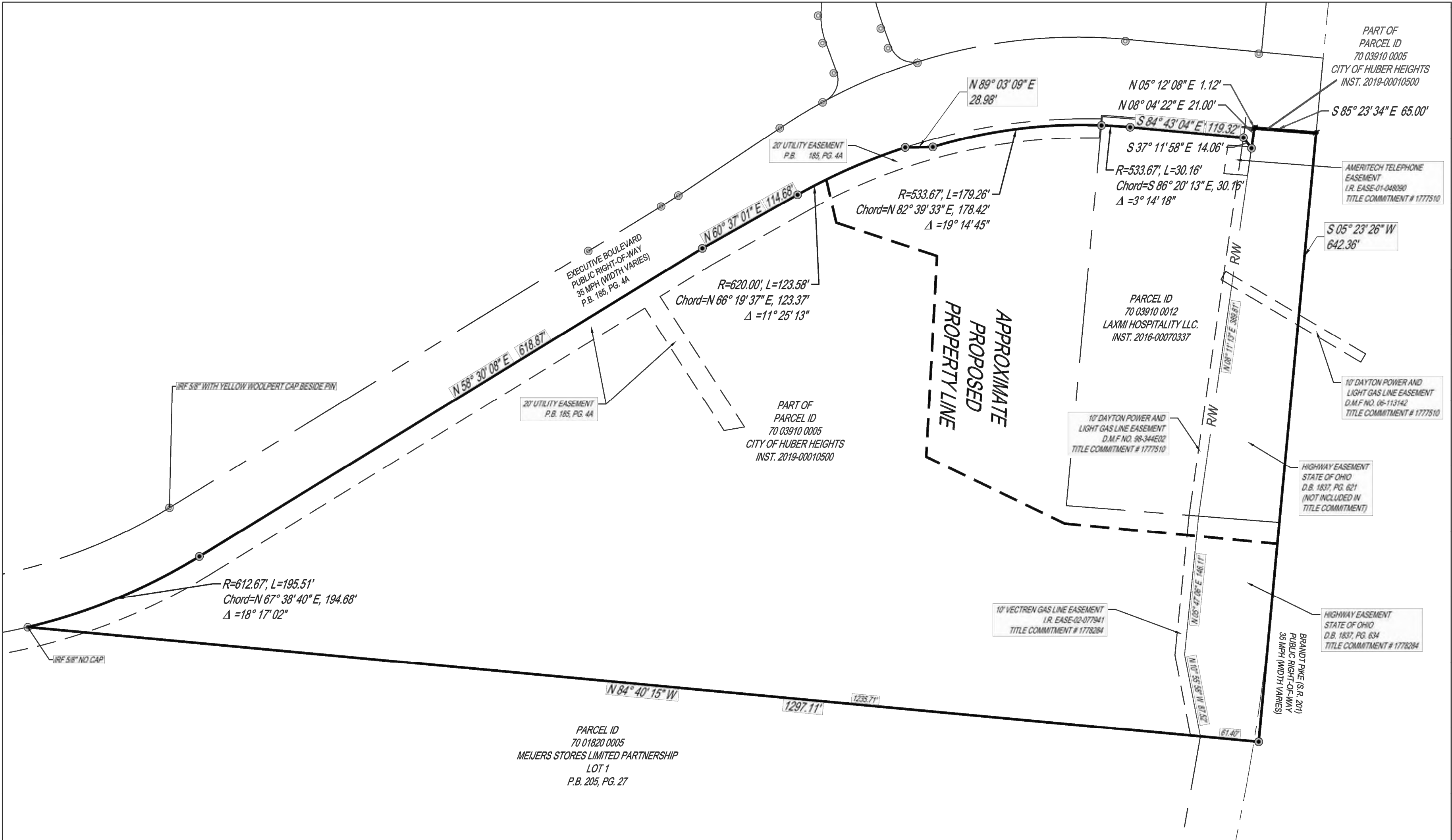
ITEMS 1-9 & 13-16 ARE NOT SURVEY RELATED.

SCHEDULE BII ITEMS:

- RIGHT OF WAY AND EASEMENT GRANTED TO THE DAYTON POWER AND LIGHT COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 96-113142. EASEMENT IS ON THE SURVEYED PROPERTY AND SHOWN HEREON.
- EASEMENT GRANTED TO OHIO BELL TELEPHONE COMPANY AKA AMERITECH OHIO INC., AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 96-0209 PAGE D08. EASEMENT IS ON THE SURVEYED PROPERTY AND SHOWN HEREON.
- EASEMENT GRANTED TO THE DAYTON POWER AND LIGHT COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 98-0544 PAGE E02. EASEMENT IS ON THE SURVEYED PROPERTY AND SHOWN HEREON.

ALTA/NSPS LAND TITLE SURVEY
XX.XXX ACRE TRACT LOCATED AT EXECUTIVE BLVD. AND BRANDT PIKE
SECTION 18, TOWN 2, RANGE 8, M.Rs.
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

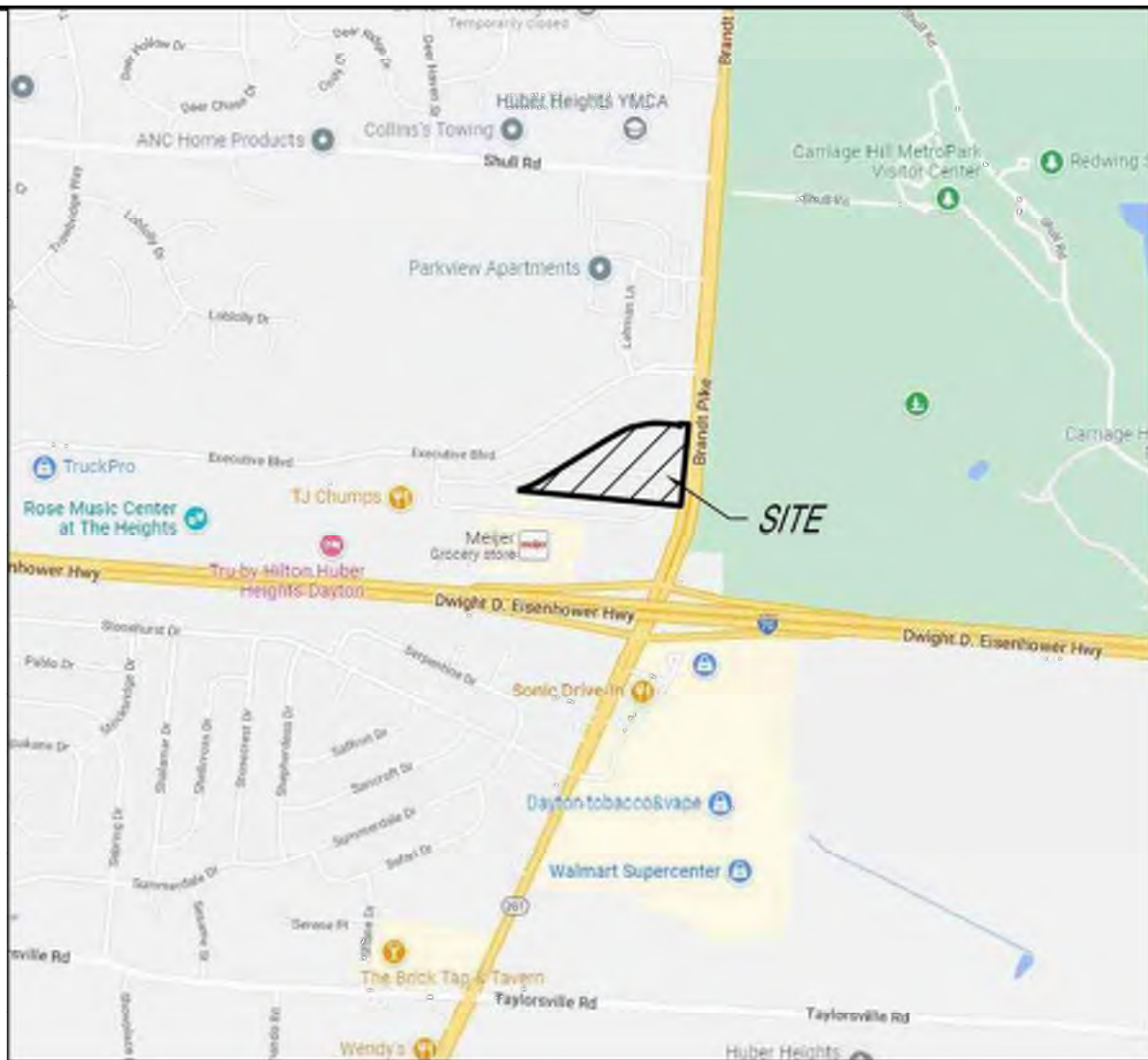
OVERALL PARCEL MAP



AS-SURVEYED DESCRIPTION:

XXXXXXXXXX

ALL IRON PINS CALLED AS SET ARE 5/8" X 30" REBAR WITH YELLOW CAP STAMPED "CESO".



VICINITY MAP:
NOT TO SCALE

EXHIBIT "A" LEGAL DESCRIPTION

(FROM TITLE COMMITMENT, BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NUMBER 1778284 WITH AN EFFECTIVE DATE OF OCTOBER 19, 2022 AT 8:00 A.M.)

BEING A TRACT OF LAND CONTAINING 51.9979 ACRES, MORE OR LESS; A MORE COMPLETE DESCRIPTION OF WHICH IS TO BE PROVIDED TO INSURER PRIOR TO CLOSING.

PARCEL NUMBER P70 03910 0005

SCHEDULE BII ITEMS:

(FROM TITLE COMMITMENT, BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NUMBER 1778284 WITH AN EFFECTIVE DATE OF OCTOBER 19, 2022 AT 8:00 A.M.)

ITEMS 1-8 & 16-19 ARE NOT SURVEY RELATED.

SCHEDULE BII ITEMS:

- EASEMENT FOR UTILITIES GRANTED TO THE CITY OF HUBER HEIGHTS, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 08-021384. EASEMENT IS NOT ON THE SURVEYED PROPERTY.
- PIPELINE RIGHT OF WAY AND EASEMENT GRANTED TO VECTREN ENERGY DELIVERY OF OHIO INC., AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 02-077841. EASEMENT IS ON THE SURVEYED PROPERTY AND SHOWN HEREON.
- EASEMENT FOR UTILITIES GRANTED TO THE CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 99-0682 PAGE D09. EASEMENT IS NOT ON THE SURVEYED PROPERTY.
- EASEMENT GRANTED TO THE DAYTON POWER AND LIGHT COMPANY, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 88-0152 PAGE A04. EASEMENT IS NOT ON THE SURVEYED PROPERTY.
- EASEMENT FOR HIGHWAY PURPOSES GRANTED TO THE STATE OF OHIO, AS MORE FULLY SET FORTH IN THE DOCUMENT RECORDED AS VOLUME 1837 PAGE 634. EASEMENT IS ON THE SURVEYED PROPERTY AND SHOWN HEREON.
- DEDICATION OF REAL PROPERTY FOR PUBLIC HIGHWAY AND ROADWAY PURPOSES GRANTED TO THE CITY OF HUBER HEIGHTS, OHIO OF RECORD IN VOLUME 07-030037. EASEMENT IS ON THE SURVEYED PROPERTY AND SHOWN HEREON.
- BUILDING LINES, EASEMENTS AND RESTRICTIONS SHOWN ON THE RECORDED PLATMAP OF LEHMAN PLAT AS PLAT BOOK 238 PAGE 19. EASEMENT IS NOT ON AND DOES NOT TOUCH THE SURVEYED PROPERTY.

ALTA/NSPS LAND TITLE SURVEY

105 SHEETZ HUBER HEIGHTS

EXECUTIVE BOULEVARD AND BRANDT PIKE
CITY OF HUBER HEIGHTS

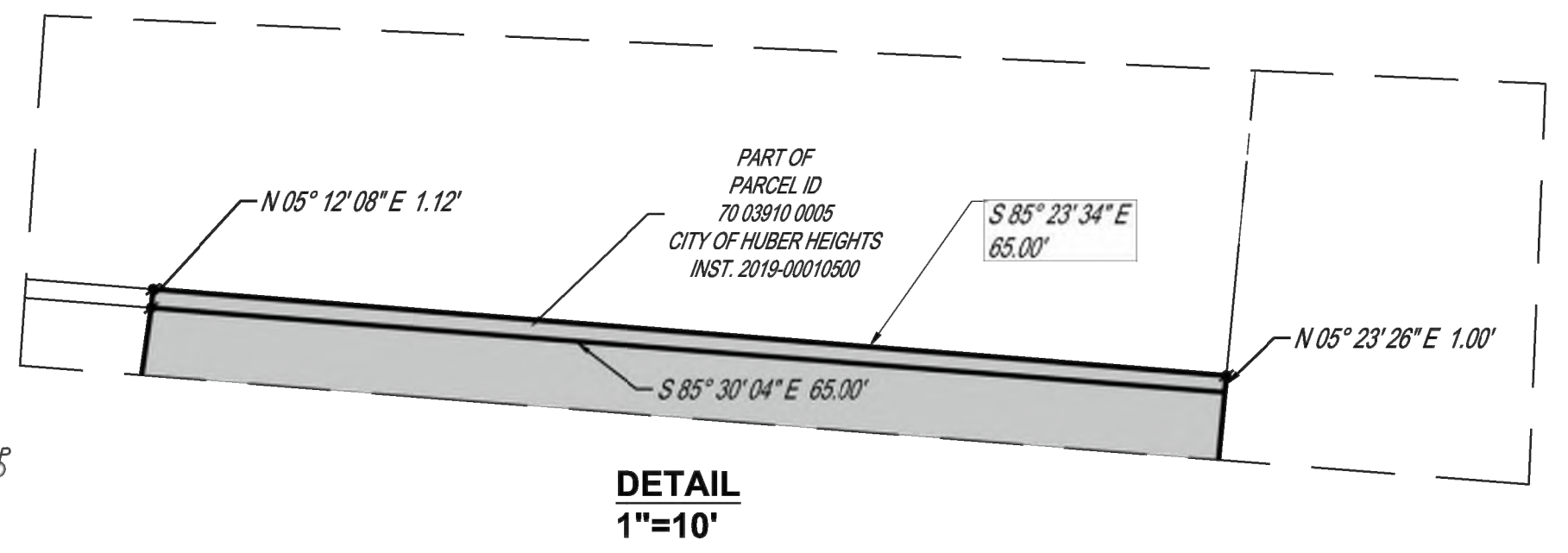
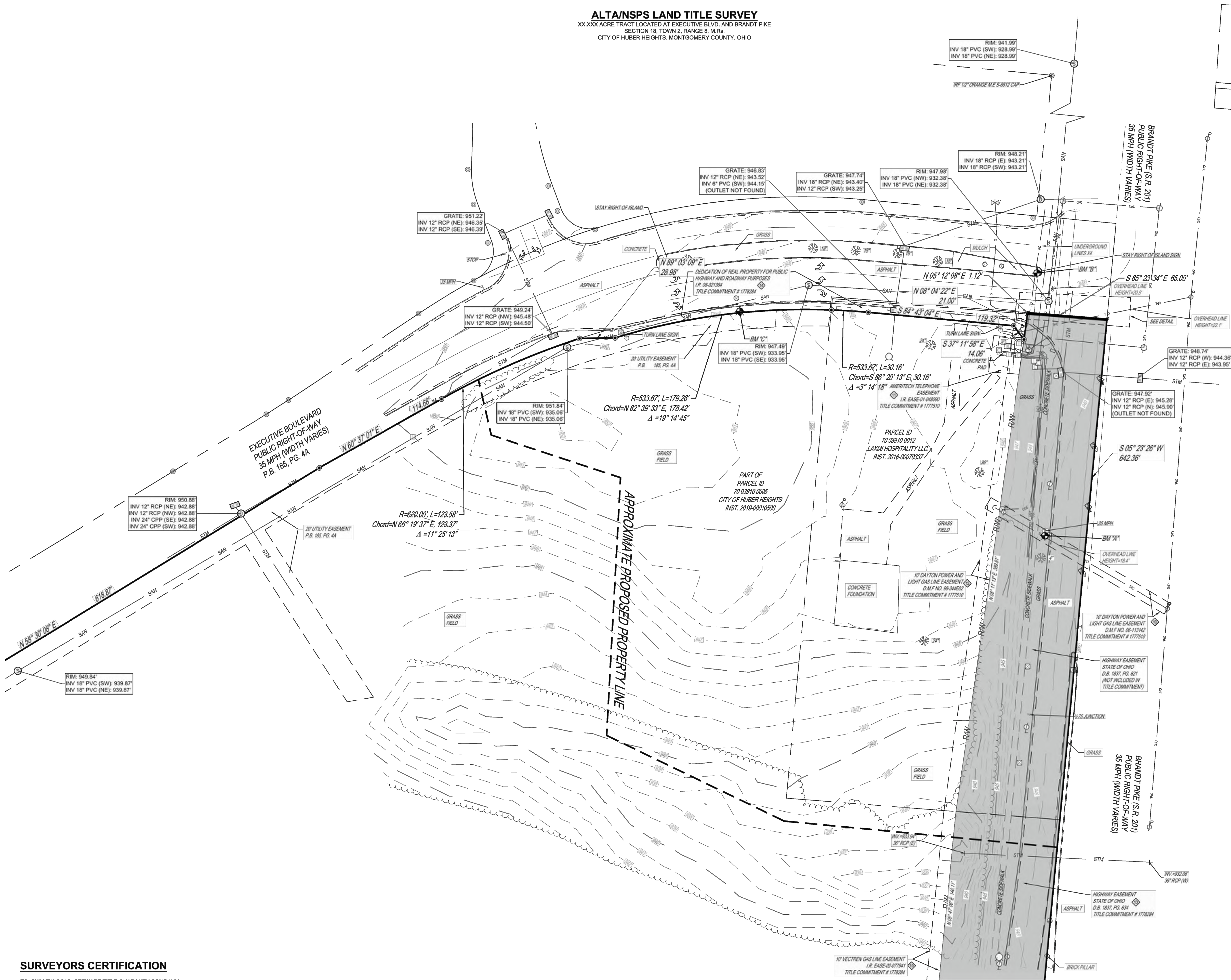
SECTION 18, TOWN 2, RANGE 8, M.Rs.
MONTGOMERY COUNTY, OHIO

SCALE: 1"=80' DATE: 11/8/2022

DESIGN:	N/A	JOB NO.:	761668
DRAWN:	TBC	SHEET NO.:	
CHECKED:	CIT		



ALTA/NSPS LAND TITLE SURVEY
XX.XXX ACRE TRACT LOCATED AT EXECUTIVE BLVD. AND BRANDT PIKE
SECTION 18, TOWN 2, RANGE 8, M.Rs.
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO



SURVEYOR'S NOTES:

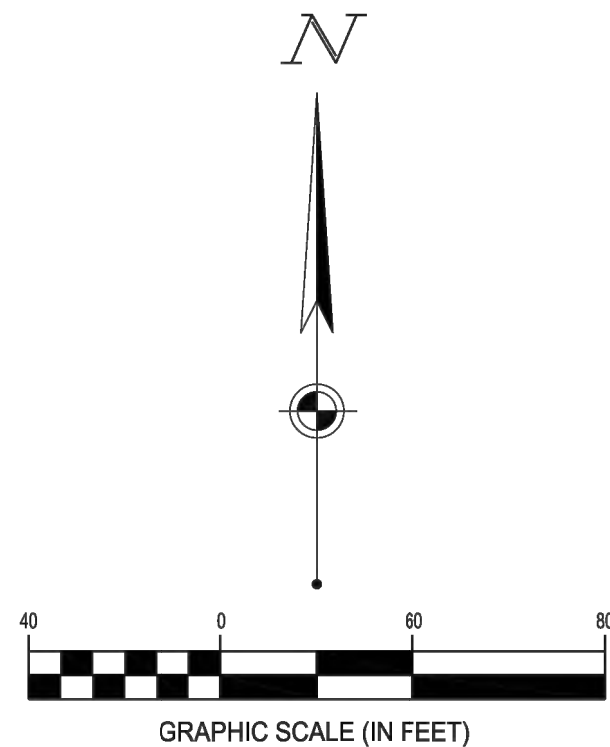
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO THE PARCEL SHOWN HEREON WERE OBTAINED THROUGH CERTIFIED TITLE COMMITMENTS CONDUCTED BY STEWART TITLE GUARANTY COMPANY. COMMITMENT NUMBER 1778284 WITH AN EFFECTIVE DATE OF OCTOBER 19, 2022 AT 8:00 A.M. AND COMMITMENT NUMBER 1777510 WITH AN EFFECTIVE DATE OF JULY 28, 2022 AT 8:00 A.M.
- ALL DATA SOURCES, DOCUMENTS AND RECORDS SHOWN HEREON ARE ON FILE IN THE MONTGOMERY COUNTY RECORDERS OFFICE LOCATED IN DAYTON, OHIO.
- OCCUPATION IN GENERAL MATCHED THE SURVEY.
- HORIZONTAL DATUM - U.S. STATE PLANE, NAD83 OHIO SOUTH (3402) ESTABLISHED FROM UTILIZING THE OHIO REAL TIME NETWORK (RTN) PROVIDED BY THE OHIO DEPARTMENT OF TRANSPORTATION. COORDINATES TAKEN TO GROUND AT LATITUDE N39°52'17.63473", LONGITUDE W84°05'59.49882", PROJECT HEIGHT 838.768' GROUND SCALE FACTOR 1.0000810878568.
- THERE ARE NO MARKED PARKING SPACES ON THE SURVEYED PROPERTY.
- THERE IS NO EVIDENCE OF RECENT EARTH MOVEMENT, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS AT THE TIME OF THE FIELDWORK.
- NO CHANGES OF STREET RIGHT-OF-WAY LINES WERE PROVIDED TO THE SURVEYOR AT THE TIME OF THIS SURVEY.
- NO ZONING REPORT WAS PROVIDED AT THE TIME OF THE SURVEY.

MONUMENT LEGEND:

- RF 5/8" YELLOW LSE INC. CAP FOUND (UNLESS OTHERWISE NOTED)
- 5/8"x30" IRON PIN WITH "CESO" CAP SET
- FOUND MAG NAIL

LEGEND:

- BENCHMARK
- EXISTING SIGN
- EXISTING CATCH BASIN
- EXISTING COLUMN
- EXISTING TELEPHONE/CABLE BOX
- EXISTING HYDRANT
- EXISTING GAS METER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING SIGNAL POLE
- EXISTING GAS LINE MARKER
- EXISTING ELECTRIC METER / ELECTRIC BOX



BENCHMARKS:

- BM "A" - CROSS NOTCH SET ON THE EAST BOLT OF FIRE HYDRANT ON EAST SIDE OF SITE, ALONG BRANDT PIKE.
ELEV. = 951.88' (NAVD 88)
- BM "B" - SPIKE WITH METAL PLATE WITH "M-E CIVIL ENG BM 1603" IN CONCRETE ON ISLAND ON EXECUTIVE BLVD. TOWARDS INTERSECTION AT BRANDT PIKE.
ELEV. = 948.28' (NAVD 88)
- BM "C" - CROSS NOTCH ON WEST BOLT OF FIRE HYDRANT ON NORTH SIDE OF SITE, SOUTH OF EXECUTIVE BLVD.
ELEV. = 950.40' (NAVD 88)

SURVEYORS CERTIFICATION

TO: SKILKEN GOLD, STEWART TITLE GUARANTY COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10, 11(A), 11(B), 13, 14, 16, AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN OCTOBER, 2022.

DATE OF PLAT OR MAP: NOVEMBER 7, 2022

PRELIMINARY

SEAN T. BROOKS, P.S.
STATE PROFESSIONAL SURVEYOR #8628

UTILITY DISCLAIMER:

THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

FLOOD ZONE STATEMENT:

BY INFORMATION PROVIDED BY FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD, BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3913C0180E, WHICH BEARS AN EFFECTIVE DATE OF JANUARY 6, 2005.

DEVELOPER:
SKILKEN GOLD REAL ESTATE DEVELOPMENT
4270 MORRIS ROAD
COLUMBUS, OH 43230
(614) 418-3100

SURVEYOR:
CESO, INC.
3901 ROBERT ROAD, SUITE 300
MIAMI, FL 33133
(305) 435-8884

ALTA/NSPS LAND TITLE SURVEY

105 SHEETZ HUBER HEIGHTS

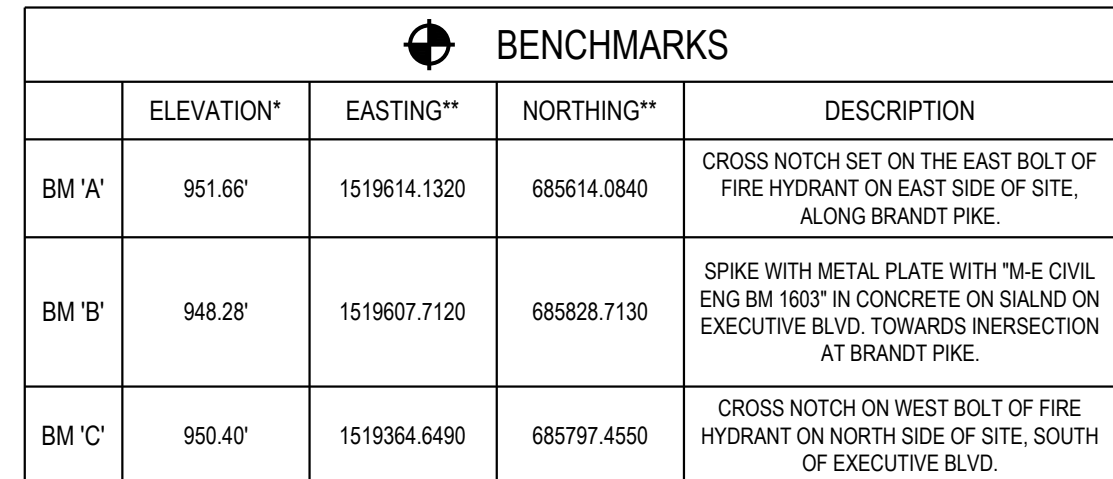
EXECUTIVE BOULEVARD AND BRANDT PIKE
CITY OF HUBER HEIGHTS

SECTION 18, TOWN 2, RANGE 8, M.Rs.
MONTGOMERY COUNTY, OHIO

SCALE: 1" = 40' DATE: 11/8/2022

DESIGN:	N/A	JOB NO.:	761688
DRAWN:	TBC	SHEET NO.:	2 OF 2
CHECKED:	CIT		

CESO
WWW.CESOINC.COM



OHIO
Utilities Protection
SERVICE

811 or
1-800-362-2764

Call Before You Dig

FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO
 COMMENCE, THE CONTRACTORS SHALL NOTIFY
 THE FOLLOWING AGENCIES: OHIO UTILITIES
 PROTECTION SERVICE AT 811 OR 1 (800) 362-2764
 AND ALL OTHER AGENCIES WHICH MIGHT HAVE
 UNDERGROUND UTILITIES INVOLVING THIS
 PROJECT AND ARE NONMEMBERS OF OHIO
 UTILITIES PROTECTION SERVICE



1. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.
- CODED NOTES:**
1. PROTECT EXISTING CURB.
 2. PROTECT EXISTING UTILITY LINE/STRUCTURE. CONTRACTOR TO PROTECT IN PLACE.
 3. PROTECT EXISTING SIDEWALK.
 4. PROTECT EXISTING SIGN.
 5. SAW-CUT SIDEWALK, CURB OR PAVEMENT TO FULL DEPTH.
 6. REMOVE EXISTING PAVEMENT/GRAVEL.
 7. REMOVE EXISTING UTILITY LINE/STRUCTURE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
 8. EXISTING VEGETATIVE COVER/SHRUBS SHALL BE REMOVED. REFER TO SITE PLAN ON SHEET C3.0 FOR PROPOSED SHRUBBERY BOUNDARY.
 9. EXISTING CURB INLET RIM AND GRATE TO BE REMOVED AND REPLACED. CONTRACTOR SHALL PROTECT EXISTING STRUCTURE, PIPES AND INVERTS. REFER TO UTILITY PLAN ON SHEET C5.0 AND GRADING PLAN ON SHEET C4.0 FOR MORE DETAILS.
 10. EXISTING SANITARY MANHOLE RIM ELEVATION SHALL BE ADJUSTED TO MATCH PROPOSED RIM ELEVATION. REFER TO UTILITY PLAN ON SHEET C5.0 AND GRADING PLAN ON SHEET C4.0 FOR MORE DETAILS.

 **CODED NOTES:**

1. PROTECT EXISTING CURB.
2. PROTECT EXISTING UTILITY LINE/STRUCTURE. CONTRACTOR TO PROTECT IN PLACE.
3. PROTECT EXISTING SIDEWALK.
4. PROTECT EXISTING SIGN.
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10. EXISTING SANITARY MANHOLE RIM ELEVATION SHALL BE ADJUSTED TO MATCH PROPOSED RIM ELEVATION. REFER TO UTILITY PLAN ON SHEET C5.0 AND GRADING PLAN ON SHEET C4.0 FOR MORE DETAILS.



2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 888.208.4



Josh Long

2023-4-13



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ -

HUBER HEIGHTS, OH

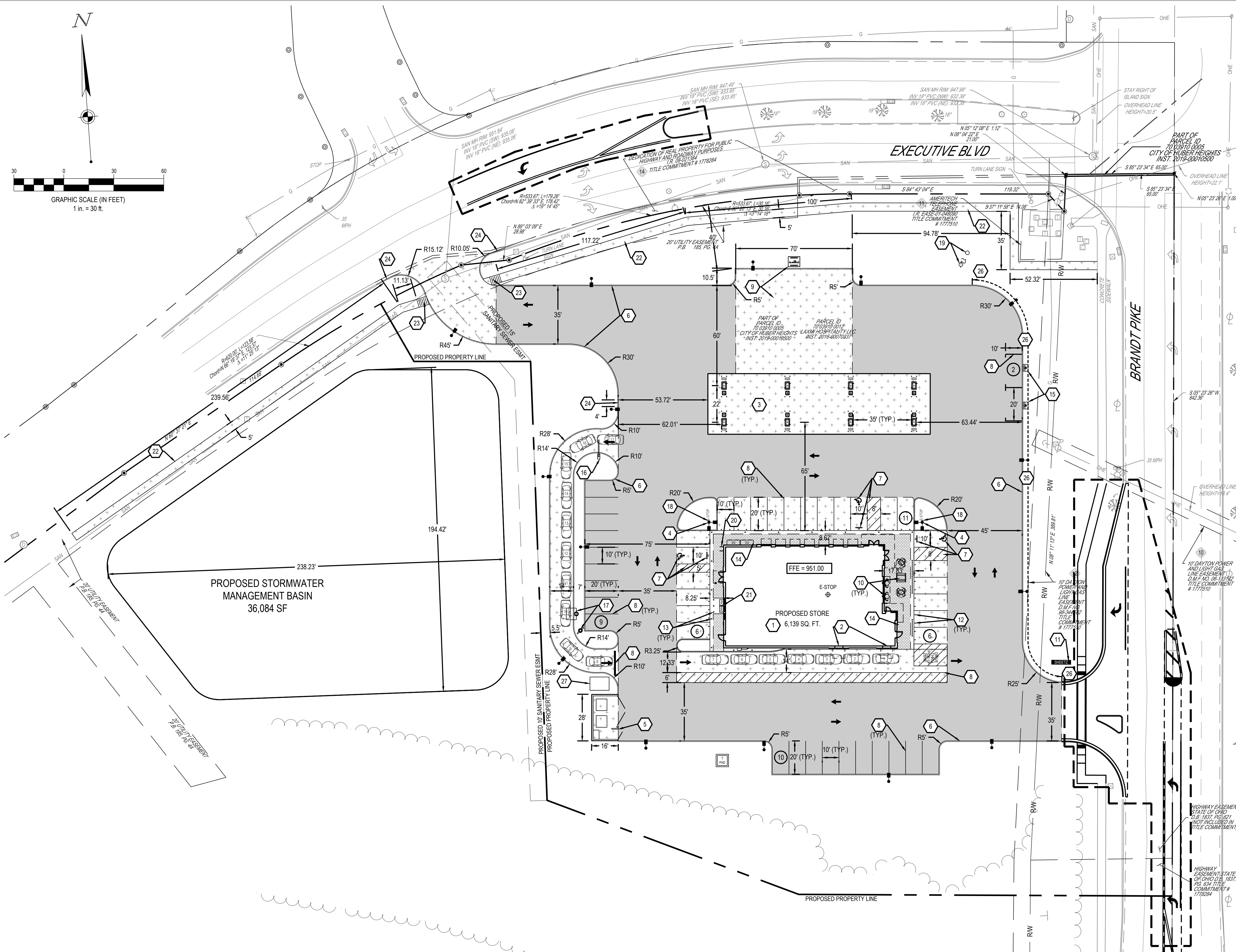
EXECUTIVE BOULEVARD & BRANDT PIKE
HILBER HEIGHTS OH 45124

Revisions / Submissions		
ID	Description	Date

Project Number:	761668
Scale:	AS SHOWN
Drawn By:	MST
Checked By:	BP
Date:	04.12.2023
Issue:	NOT FOR CONSTRUCTION

Drawing Title:
**EX. CONDITIONS &
DEMOLITION PLAN**

C2.0

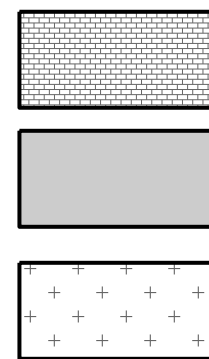


SITE LEGEND

EXISTING

REFER TO C1.0 FOR EXISTING FEATURES LEGEND

PROPOSED



PROPOSED BRICK PAVERS
(REFER TO ARCHITECTURAL PLANS)

PROPOSED ASPHALT PAVEMENT
(SEE DETAIL ON SHEET C7.0)

PROPOSED CONCRETE PAVEMENT
(SEE DETAIL ON SHEET C7.0)

BUILDING

CONCRETE CURB

EDGE OF PAVEMENT / WALK

PAVEMENT TRANSITION

REFER TO ROADWAY PLANS FOR IMPROVEMENTS

PARKING SPACE COUNT

SIGN

PARKING COUNT = 42 SPACES

CODED NOTES:

- PROPOSED 6,139 SF STORE. REFER TO ARCHITECTURAL PLANS.
- PROPOSED DRIVE-THRU WINDOW.
- PROPOSED EIGHT (8) DISPENSER FUEL CANOPY. REFER TO ARCHITECTURAL PLANS.
- PROPOSED LIGHT POLE. SEE DETAIL ON SHEET C7.2.
- PROPOSED DUMPSTER ENCLOSURE AND PAD. SEE DETAIL ON SHEET C7.3.
- PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C7.4.
- CONTRACTOR TO CONSTRUCT ADA PARKING SPACE PER DETAIL ON SHEET C7.4 AND ACCORDING TO ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- PROPOSED PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE YELLOW.
- PROPOSED UNDERGROUND FUEL TANK PAD AND VENT PAD. SEE DETAIL ON SHEET C7.1 FOR VENT PAD DETAIL.
- PROPOSED PATIO SEATING. REFER TO ARCHITECTURAL PLANS.
- PROPOSED SHEETZ MONUMENT SIGN. REFER TO SIGNAGE PLAN.
- PROPOSED 4" X 4" STOREFRONT BUMPER POST. SEE DETAIL ON SHEET C7.0.
- PROPOSED 6" BOLLARD. SEE DETAIL ON SHEET C7.0.
- PROPOSED ICE MERCHANDISER LOCATION.
- PROPOSED AIR MACHINE. SEE DETAIL ON SHEET C7.1.
- PROPOSED DRIVE-THRU CANTILEVERED CLEARANCE BAR. REFER TO SIGNAGE PLAN.
- PROPOSED DRIVE-THRU TOUCH-SCREEN MENUBOARD. REFER TO SIGNAGE PLAN.
- EMERGENCY STOP BUTTON FOR GASOLINE DISPENSERS. SEE DETAIL ON SHEET C7.1.
- PROPOSED FLAG POLE AND SPOTLIGHT. SEE DETAILS ON SHEET C7.2.
- PROPOSED BIKE RACK. SEE DETAIL ON SHEET C7.0.
- PROPOSED PROPANE LOCKER. SEE DETAIL ON SHEET C7.2.
- PROPOSED SIDEWALK PER CITY OF HUBER HEIGHTS DETAIL PV-5.0. SEE DETAIL ON SHEET C7.4.
- PROPOSED CURB RAMP PER CITY OF HUBER HEIGHTS DETAIL PV-4.0. SEE DETAIL ON SHEET C7.4.
- PROPOSED COMBINED BARRIER CURB AND GUTTER PER CITY OF HUBER HEIGHTS DETAIL PV-3.0. SEE DETAIL ON SHEET C7.4.
- PROPOSED CURB CUT. SEE DETAIL ON SHEET C7.4.
- PROPOSED EXPOSED CURB. SEE DETAIL ON SHEET C7.4. REFER TO GRADING PLAN FOR ELEVATIONS.
- PROPOSED CONCRETE PAD FOR ABOVE GROUND WATER METER ENCLOSURE. SEE WATER ENCLOSURE DETAILS ON SHEET C7.6.



CESO
WWW.CESOINC.COM

2800 Corporate Exchange Dr., Suite 400
Columbus, OH 43231
Phone: 614.794.7080 Fax: 688.208.4826



2023-4-13



SKILKEN | GOLD
REAL ESTATE DEVELOPMENT

SHEETZ -

HUBER HEIGHTS, OH

EXECUTIVE BOULEVARD & BRANDT PIKE
HUBER HEIGHTS, OH 45424

Revisions / Submissions		
ID	Description	Date

Project Number: 761668
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 04.12.2023
Issue: NOT FOR CONSTRUCTION

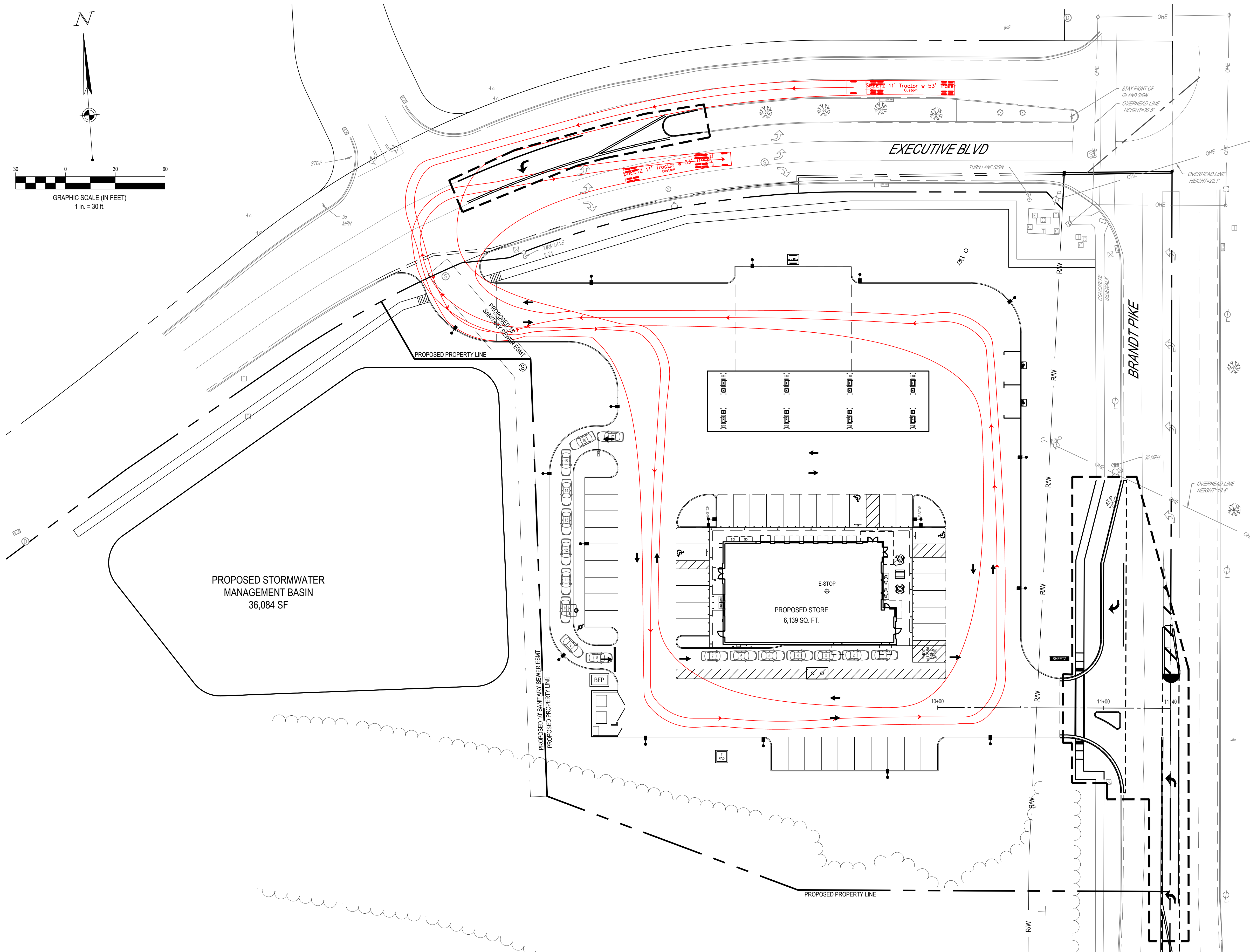
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SITE PLAN



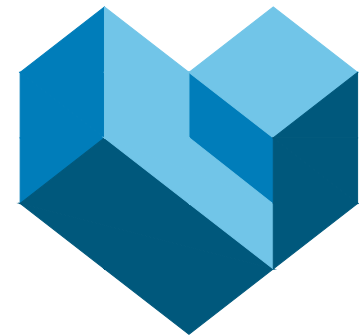
FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

C3.0

W:\PROJECTS\SKILKEN GOLD\761668-01 Skilken Gold - 105 Sheetz - Huber Heights, OH\03-CIVIL\PLAN\CONSTRUCTION\761668_C30-SITE.dwg - 4/13/2023 - Mark Romanov

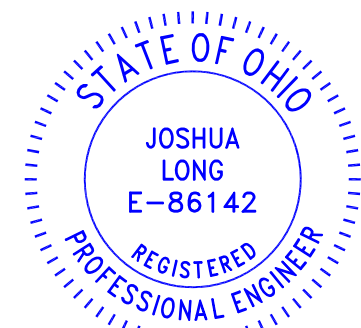


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Josh Long

2023-4-13



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SHEETZ -

HUBER HEIGHTS, OH

EXECUTIVE BOULEVARD & BRANDT PIKE
HUBER HEIGHTS, OH 45424

Revisions / Submissions		
ID	Description	Date

Project Number: 761668
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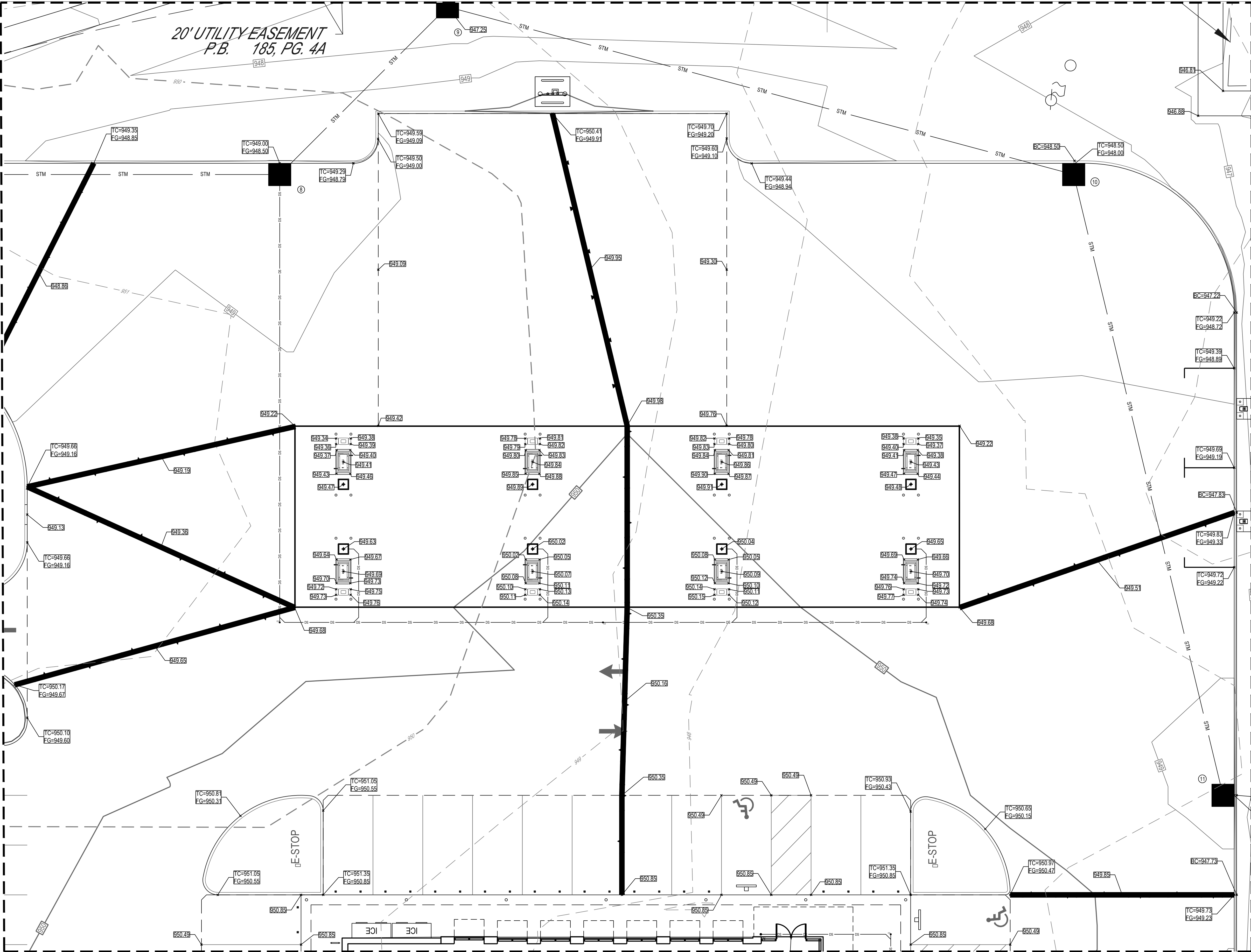
Drawing Title:
AUTOTURN EXHIBIT

C3.1

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C4.0

W:\PROJECTS\SKILKEN GOLD\DWG\6688-01 Skilken Gold - 105 Sheetz - Huber Heights, OH\03-CIVIL\PLAN\CONSTRUCTION\761668_C4-FUEL GRAD.dwg - 4/13/2023 - Mark Romanov



BENCHMARKS				
	ELEVATION*	EASTING**	NORTHING**	DESCRIPTION
BM 'A'	951.66'	1519614.1320	685614.0840	CROSS NOTCH SET ON THE EAST BOLT OF FIRE HYDRANT ON EAST SIDE OF SITE, ALONG BRANDT PIKE.
BM 'B'	948.28'	1519607.7120	685828.7130	SPIKE WITH METAL PLATE WITH "M-E" CIVIL ENG BM 1603" IN CONCRETE ON SIALNO ON EXECUTIVE BLVD. TOWARDS INTERSECTION AT BRANDT PIKE.
BM 'C'	950.40'	1519364.6490	685797.4550	CROSS NOTCH ON WEST BOLT OF FIRE HYDRANT ON NORTH SIDE OF SITE, SOUTH OF EXECUTIVE BLVD.

* VERTICAL DATUM: NAVD 88
** HORIZONTAL DATUM: US STATE PLANE, NAD83 OHIO SOUTH (3402) FROM UTILIZING THE OHIO REAL TIME NETWORK (RTN) PROVIDED BY THE OHIO DEPARTMENT OF TRANSPORTATION. COORDINATES TAKEN TO GROUND AT LATITUDE N39°52'17.63473", LONGITUDE W84°05'59.49882", PROJECT HEIGHT 838.768' GROUND SCALE FACTOR 1.00006810878568.
NOTE: REFER TO ALTA SURVEY, SHEET C1.4, FOR BENCHMARK LOCATIONS

GRADING LEGEND

EXISTING

REFER TO C1.0 FOR EXISTING FEATURES LEGEND

PROPOSED

950

952

DS

XXX.XX

X

TC=XXX.XX

FG=XXX.XX

X

M.E.

BC

N

10

0

10

20

GRAPHIC SCALE (IN FEET)

1 in. = 10 ft.

BUILDING

MAJOR CONTOUR

MINOR CONTOUR

GRADE BREAK

CATCH BASIN

STORM MANHOLE

CLEANOUT

DOWNSPOUT

FINISHED GRADE ELEVATION

TOP OF CURB ELEVATION

FINISHED GRADE ELEVATION

MATCH EXISTING ELEVATION

BACK OF CURB

FLOOD ROUTE

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Project Number: 761668

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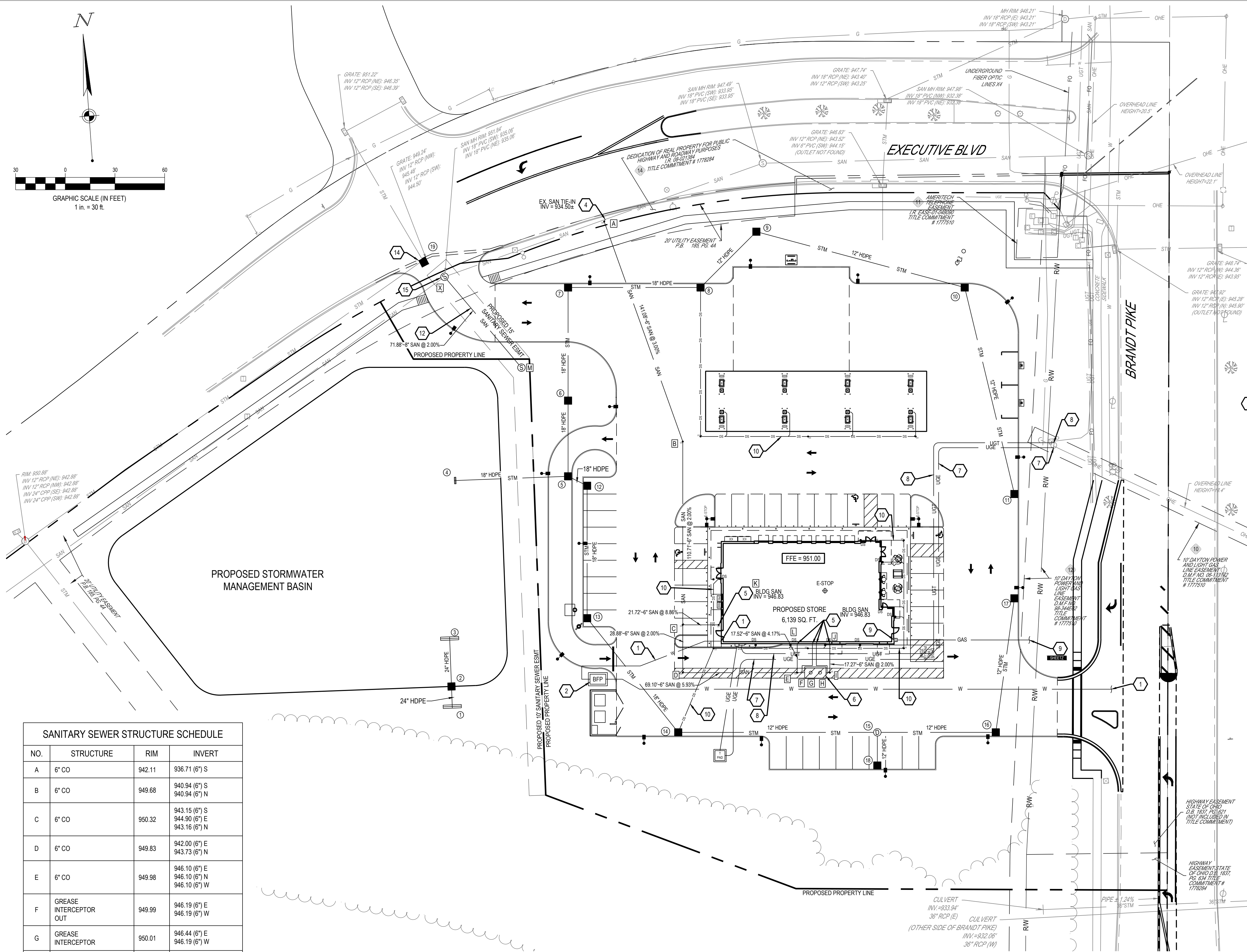
Checked By: BP

Date: 04.12.2023

Issue: NOT FOR CONSTRUCTION

Drawing Title: FUEL GRADING PLAN

C4.1



SANITARY SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	RIM	INVERT
A	6" CO	942.11	936.71 (6") S
B	6" CO	949.68	940.94 (6") S 940.94 (6") N
C	6" CO	950.32	943.15 (6") S 944.90 (6") E 943.16 (6") N
D	6" CO	949.83	942.00 (6") E 943.73 (6") N
E	6" CO	949.98	946.10 (6") E 946.10 (6") N 946.10 (6") W
F	GREASE INTERCEPTOR OUT	949.99	946.19 (6") E 946.19 (6") W
G	GREASE INTERCEPTOR	950.01	946.44 (6") E 946.19 (6") W
H	GREASE INTERCEPTOR IN	950.02	946.44 (6") E 946.44 (6") W
I	6" CO	950.03	946.48 (6") N 946.48 (6") W
J	BUILDING INVERT	951.00	946.83 (6") S
K	BUILDING INVERT	950.97	946.83 (6") W
L	BUILDING INVERT	951.00	946.83 (6") S
M	48" SANITARY MANHOLE HUBER HEIGHTS TYPE 'A'	949.06	936.54 (8") NW
X	EXISTING SANITARY MANHOLE	949.26	935.06 (18") SW 935.10 (8") SE 935.06 (18") E

UTILITY LEGEND

EXISTING

REFER TO C1.0 FOR EXISTING FEATURES LEGEND

PROPOSED

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BUILDING

SEE ENLARGED PLAN, THIS SHEET

STORM SEWER LINE

STORM DOWNSPOUT LINE

SANITARY SEWER LINE

DOMESTIC WATER LINE

IRRIGATION LINE

GAS SERVICE LINE

UNDERGROUND ELECTRIC LINE

UNDERGROUND TELEPHONE LINE

CATCH BASIN

STORM SEWER

SANITARY SEWER

CURB INLET

CLEANOUT

AREA DRAIN

DOWNSPOUT

ELECTRICAL TRANSFORMER PAD

WATER VALVE

WATER METER

GAS METER

- CONTRACTOR NOTE:**
 - CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.
- CODED NOTES:**
 - CONTRACTOR SHALL FURNISH AND INSTALL 2" WATER LINE FROM METER IN BUILDING TO NEW 2" TAP. NEW WATER TAPS WILL NEED TO BE INSTALLED AT WATER MAIN. CONTRACTOR SHALL COORDINATE WITH LOCAL JURISDICTION FOR ALL WORK WITHIN RIGHT-OF-WAY. METER AND BACKFLOW PREVENTOR SHALL BE WITHIN ENCLOSURE. WATER LINE SHALL BE TYPE "K" ASTM B88, WITH AWWA C800 FITTINGS, INSTALLED PER AWWA C800, OR APPROVED EQUAL.
 - PROPOSED WATER SERVICE ENCLOSURE WITH BACKFLOW PREVENTOR AND METER. SEE DETAILS ON SHEET C7.6.
 - PROPOSED 4" PVC IRRIGATION SLEEVES. SLEEVES SHALL BE MINIMUM 12" BELOW FINISHED GRADE. (NOT YET PROVIDED)
 - CONNECT 6" SDR-35 PVC SANITARY SERVICE (MINIMUM 1.00% SLOPE) TO EXISTING SANITARY MAIN PER LOCAL STANDARDS. CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING SANITARY MAIN PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS FOR FINAL CONNECTION.
 - COORDINATE UTILITIES WITH PLUMBING CONTRACTOR, CAP AND MARK FOR FUTURE CONNECTION. FINAL CONNECTION BY PLUMBING CONTRACTOR.
 - CONTRACTOR SHALL SUPPLY AND INSTALL BELOW GRADE 2,000 GALLON GREASE INTERCEPTOR. REFER TO UTILITY DETAILS, SHEET C7.5.
 - PROPOSED ELECTRIC LINE. CONTRACTOR SHALL COORDINATE WITH THE POWER COMPANY FOR ALL STANDARDS FOR WORK. CONTRACTOR SHALL PROVIDE THE TRANSFORMER VAULT AND PAD, CT, METER SOCKET, CONDUIT AND CABLE, AND SECONDARY FINAL CONNECTION.
 - CONTRACTOR SHALL PROVIDE (2) 4" CONDUIT FOR TELEPHONE. CONTRACTOR SHALL VERIFY EXACT ROUTING AND TERMINATION REQUIREMENTS WITH UTILITY COMPANIES BEFORE STARTING WORK. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES AND UTILIZE SHARED TRENCHING IF PERMITTED.
 - CONNECTION TO GAS MAIN. LOCAL GAS COMPANY SHALL FURNISH AND INSTALL GAS LINE FROM METER TO NEW TAP. THE CONTRACTOR SHALL INSTALL THE GAS LINE FROM THE METER TO THE BUILDING PER THE BUILDING DRAWINGS. CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING GAS MAIN PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER.
 - PROPOSED 4" & 6" PVC STORM LINE FROM DOWNSPOUTS TO STORM STRUCTURES (MIN. SLOPE 1.00% FOR 6", MIN. SLOPE 2.00% FOR 4"). REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DOWNSPOUT LOCATIONS. MAIN DOWNSPOUT TRUNK LINES SHALL BE 6". DOWNSPOUT LINES COMING DIRECTLY FROM THE BUILDING INTO THE MAIN DOWNSPOUT TRUNK LINES SHALL BE 4".
 - PROPOSED PUBLIC SANITARY MAIN AND MANHOLE. FUTURE FORCE MAIN BY OTHERS. PLANNED TO TIE-IN TO MANHOLE. REFER TO SHEET C5.2 FOR SANITARY MAIN PROFILE.
 - PROPOSED STORMWATER OUTLET CONTROL STRUCTURE. REFER TO SHEET C7.7 FOR DETAIL.
 - PROPOSED CATCH BASIN WITH OIL-DEBRIS HOOD OVER OUTLET PIPE PER DETAIL ON SHEET C7.7. STORM STRUCTURE SHALL HAVE 48" SUMP.
 - REMOVE AND REPLACE EXISTING CURB INLET RIM AND GRATE WITH ODOT CB-5 RIM AND GRATE. CONTRACTOR SHALL PROTECT EXISTING STRUCTURE, PIPES AND INVERTS. CONTRACTOR SHALL REACH OUT TO CIVIL ENGINEER IF THERE ARE ANY DISCREPANCIES. REFER TO GRADING PLAN ON SHEET C4.0 FOR FINAL RIM ELEVATION.
 - CONTRACTOR SHALL ADJUST EXISTING SANITARY MANHOLE RIM ELEVATION TO PROPOSED RIM ELEVATION. REFER TO GRADING PLAN ON SHEET C4.0 FOR FINAL RIM ELEVATION.

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BP

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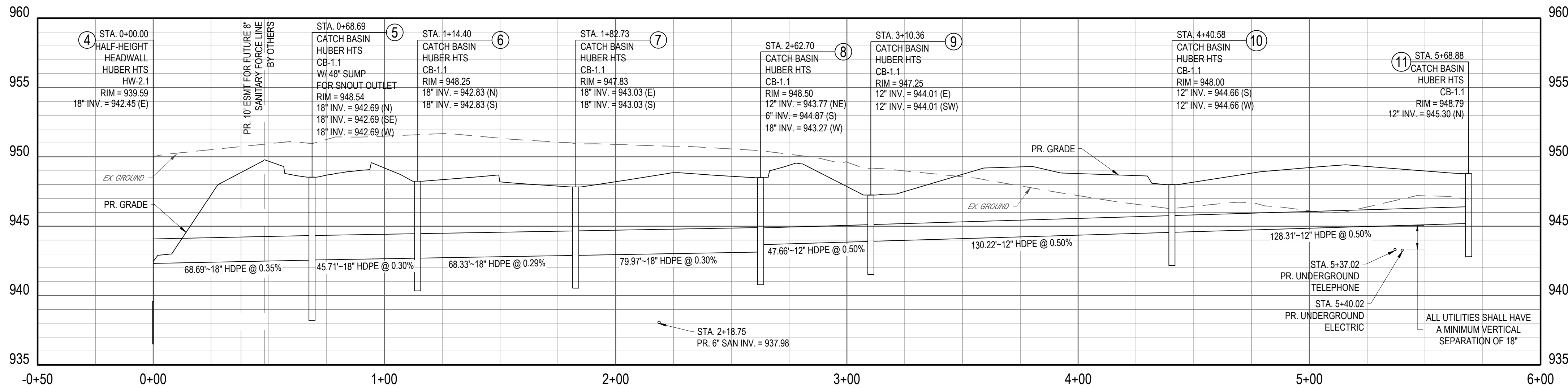
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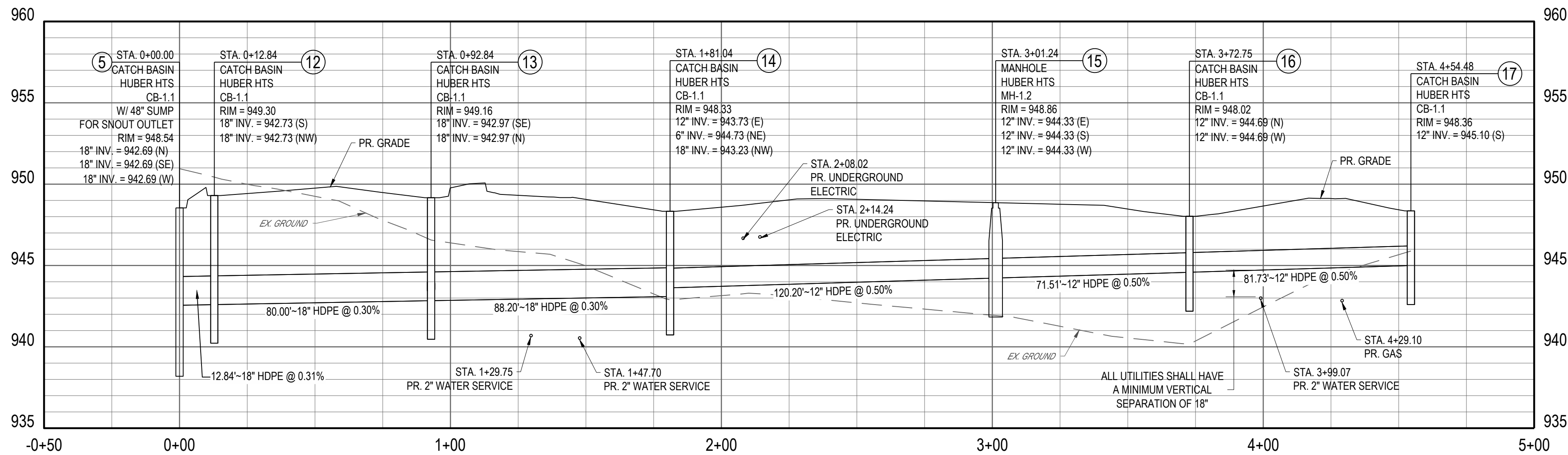
UTILITY PLAN

C5.0

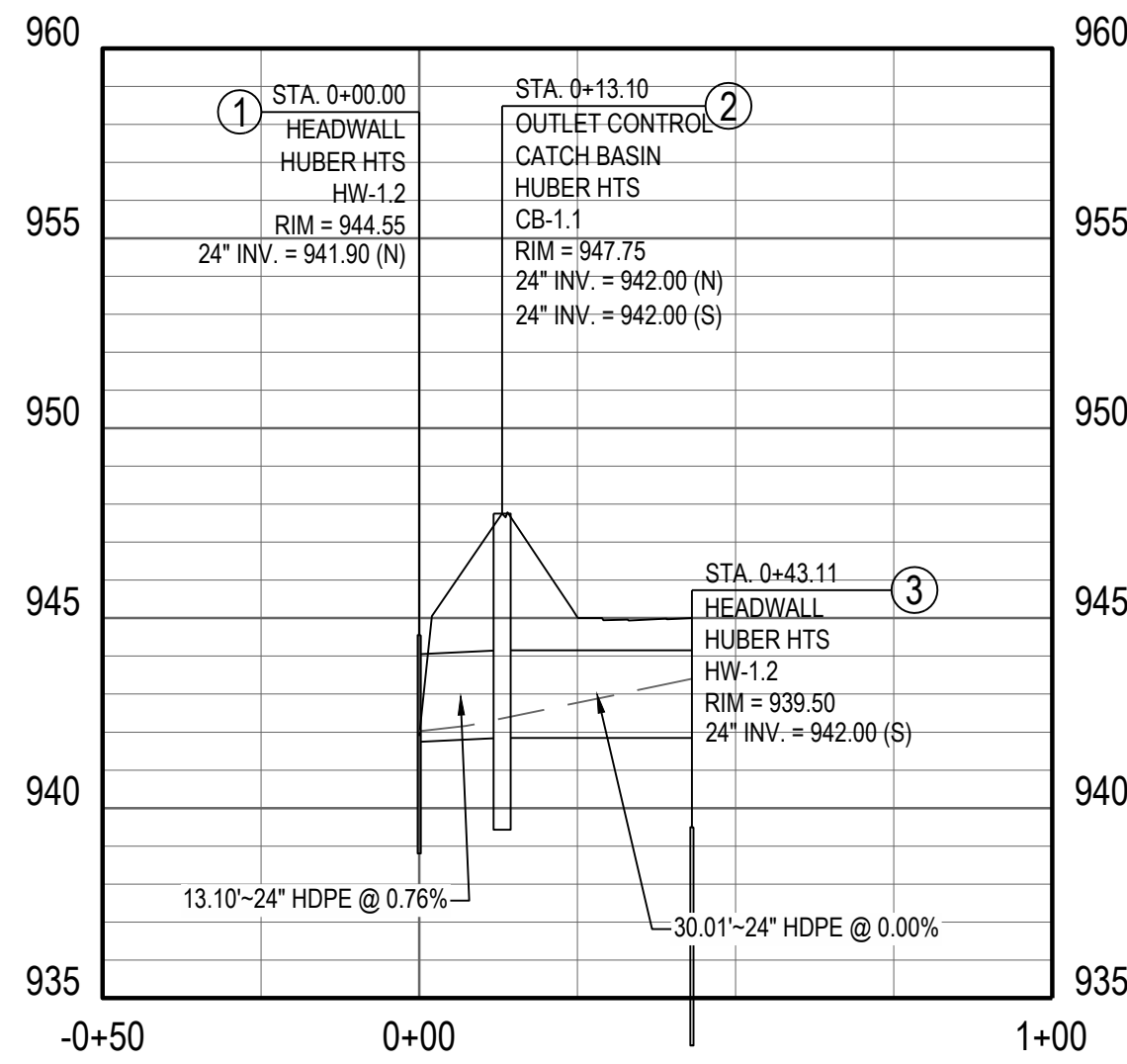
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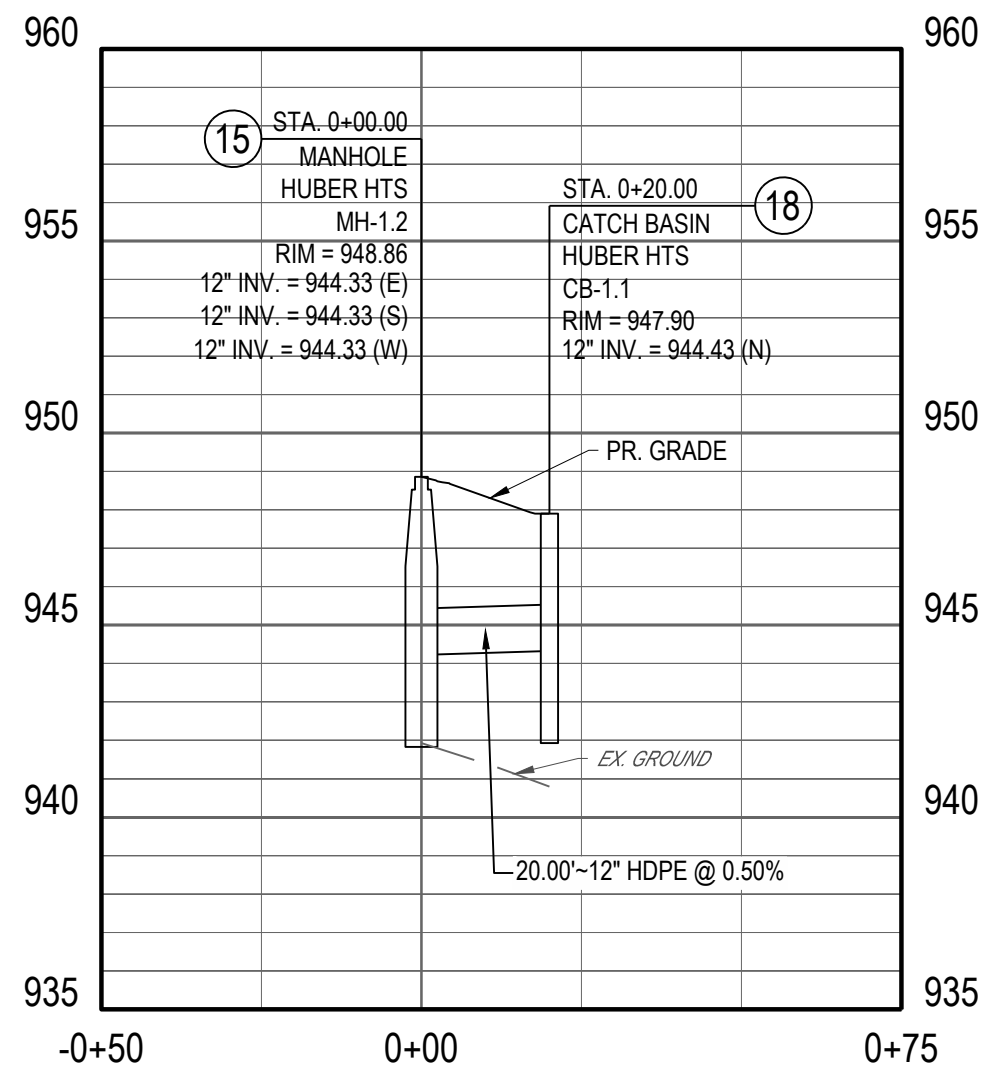
STORM SEWERS 4 - 11 PROFILE
SCALE: 1" = 30' HORIZ.; 1" = 5' VERT.



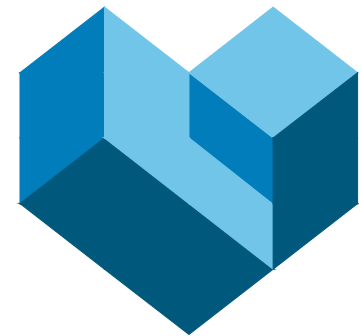
STORM SEWER 5 - 17 PROFILE
SCALE: 1" = 30' HORIZ.; 1" = 5' VERT.



STORM SEWERS 1 - 3 PROFILE
SCALE: 1" = 30' HORIZ.; 1" = 5' VERT.



STORM SEWERS 15 - 18 PROFILE
SCALE: 1" = 30' HORIZ.; 1" = 5' VERT.



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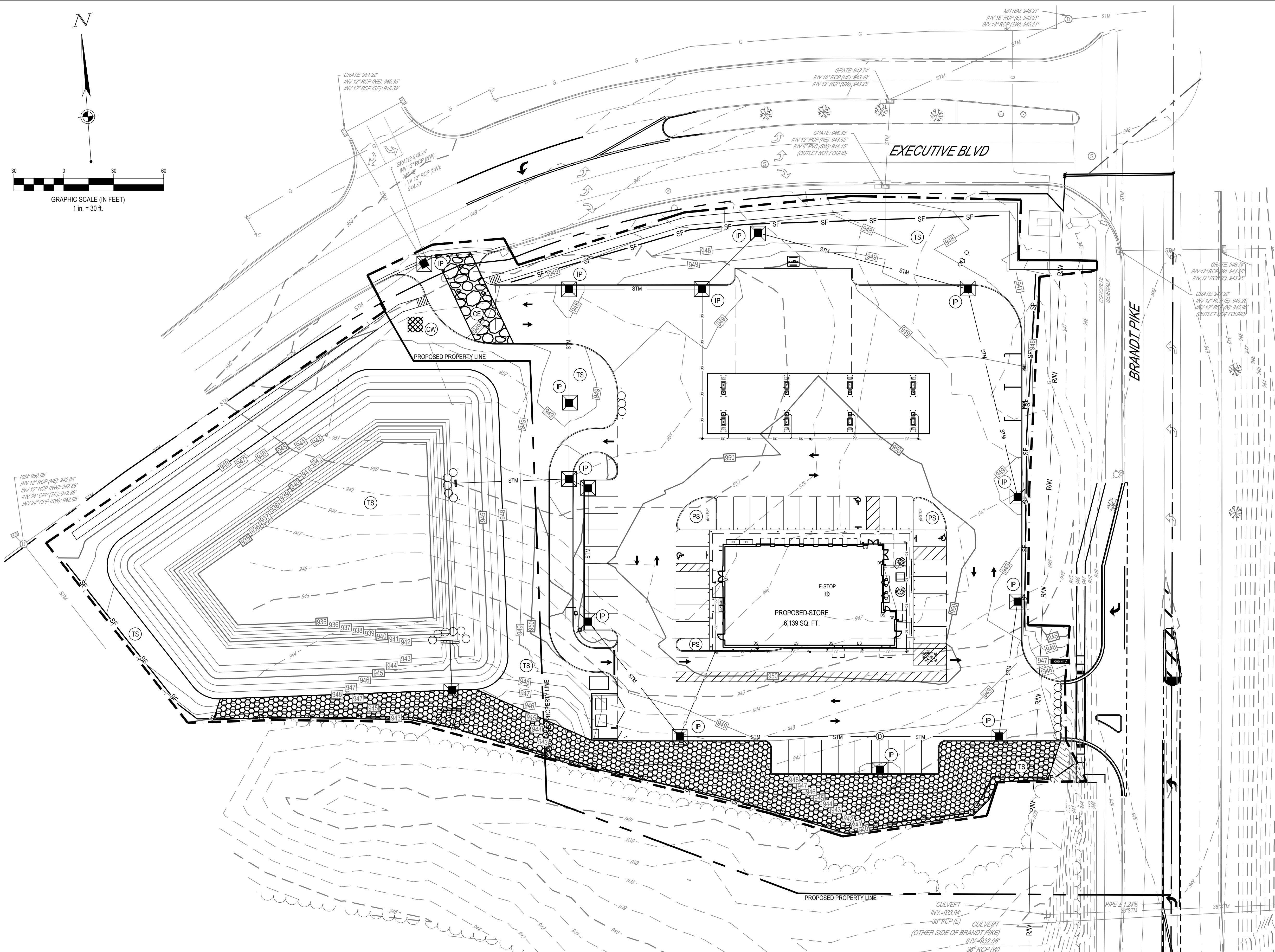
STORM SEWER
PROFILES

C5.1



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SWPPP LEGEND

EXISTING
REFER TO C1.0 FOR EXISTING FEATURES LEGEND

PROPOSED

- MAJOR CONTOUR
- MINOR CONTOUR
- PAVEMENT/WALK
- STORM SEWER
- SILT FENCE
- STRAW WATTLE
- LIMITS OF DISTURBANCE
- PERMANENT EROSION CONTROL BLANKET ON ALL 3:1 SLOPES OR STEEPER
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT / STORAGE AREA
- BASIN SEDIMENT FILTER
- STORM MANHOLE
- CATCH BASIN
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT AREA
- INLET PROTECTION
- TEMPORARY SEEDING
- PERMANENT SOD
- STORAGE AREA FOR FUEL / TRASH / HAZARDOUS MATERIALS

DEVELOPER:
SKILKEN GOLD REAL ESTATE DEVELOPMENT
4270 MORSE ROAD
COLUMBUS, OH 43230
PHONE: (380) 800-7811
CONTACT: KAREEM AMR

ENGINEER:
CESO, INC.
2800 CORPORATE EXCHANGE DR, SUITE 400
COLUMBUS, OH 43231
PHONE: (380) 799-5227
CONTACT: JOSH LONG
EMAIL: JOSH.LONG@CESOINC.COM

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE:

THE PROPOSED PROJECT IS THE CONSTRUCTION OF GAS STATION AND CONVENIENCE STORE. THE SUBJECT PARCEL IS 1.15 ACRES. THE TOTAL DISTURBED AREA IS 3.81 ACRES.

THE ENTIRE SITE DRAINS DRAINS TOWARDS THE SOUTH INTO THE EXISTING STREAM, WHICH THEN OUTLETS EAST UNDER BRANDT PIKE.

ON-SITE SOILS:

Br - BROOKSTON SILT LOAM	10.9%
MIB - MIAMIAN SILT LOAM	57.8%
MIC2 - MIAMIAN SILT LOAM	31.2%

HYDROLOGIC SOIL GROUPS: ALL PRESENT SOIL GROUPS ARE GROUP 'C'.

EXISTING ON-SITE CONDITIONS: EXISTING SITE IS A GRASS FIELD WITH OVERGROWN BRUSH AND SMALL BUILDING FOUNDATION REMAINS.

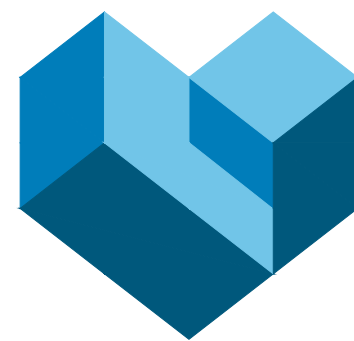
SEQUENCE OF CONSTRUCTION

- NOTIFY CITY ADMINISTRATOR BEFORE WORK IS TO BEGIN.
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT.
- SITE DEMOLITION AND CLEARING.
- ROUGH GRADING. PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
- STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
- BUILDING PAD.
- CURB CONSTRUCTION.
- FINE GRADING AND PAVEMENT SUBGRADE PREPARATION
- ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
- FINAL SEEDING.

* CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.



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SWPPP

C6.0

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SWPPP GENERAL NOTES

1.

ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
2.

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3.

CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT.
4.

SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED.
5.

PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
6.

TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
 - WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE.
 - WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN TWENTY ONE (21) DAYS, BUT LESS THAN ONE (1) YEAR.
 - PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
7.

TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:

SEEDING: ANNUAL RYEGRASS AT 2.02 POUNDS PER 1,000 S.F.

MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.

FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER ODOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
8.

SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
9.

NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. ALL NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE.
10.

IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
11.

RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12.

DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
13.

ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. AT A MINIMUM SILT FENCE TO BE PLACED AT PERIMETER OF STOCKPILE AREA TO PREVENT SOIL FROM LEAVING THE STOCKPILE AREA.
14.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
15.

ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
16.

THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY. IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION, THIS IS PARTICULARLY IMPORTANT IN OUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY. THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
17.

ALL DEWATERING ACTIVITIES SUCH AS PUMPING DOWN OF FLOODED FOUNDATION AND UTILITY TRENCHES MUST PASS THROUGH THE RETROFITTED DETENTION BASIN OR A SEDIMENT CONTROL PRACTICE PRIOR TO LEAVING THE SITE.
18.

SILT FENCE AND OTHER PERIMETER EROSION CONTROL MEASURES SHOWN OFF LIMITS OF DISTURBANCE FOR CLARITY PURPOSES ONLY. CONTRACTOR TO ENSURE PERIMETER EROSION CONTROL MEASURES ARE PLACED AT THE LIMITS OF DISTURBANCE. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER PRIOR TO PLACEMENT OF ANY EROSION CONTROL MEASURES.

SWPPP MAINTENANCE NOTES

1.

ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
2.

INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION. INLET PROTECTION DEVICES SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
3.

ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
4.

MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED BY GENERAL CONTRACTOR AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
5.

THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE) BY GENERAL CONTRACTOR. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6.

CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
7.

STONE CONSTRUCTION EXIT TO BE MAINTAINED BY GENERAL CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
8.

ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
9.

CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
10.

BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
11.

CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
12.

ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-20).
13.

AREA SHALL BE DESIGNATED BY CONTRACTOR AND SHOWN ON SWPPP MAP FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
14.

EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.
15.

A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
16.

ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
17.

ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES.
18.

THE CONTRACTOR SHALL CONTACT THE OHIO EPA, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
19.

OPEN BURNING IS NOT PERMITTED ON THE SITE.
20.

CONTRACTOR TO ENSURE STREETS SHALL BE CLEARED OF DEBRIS FROM SITE AND SWEEPED CLEAN ON AN AS NEEDED BASIS.



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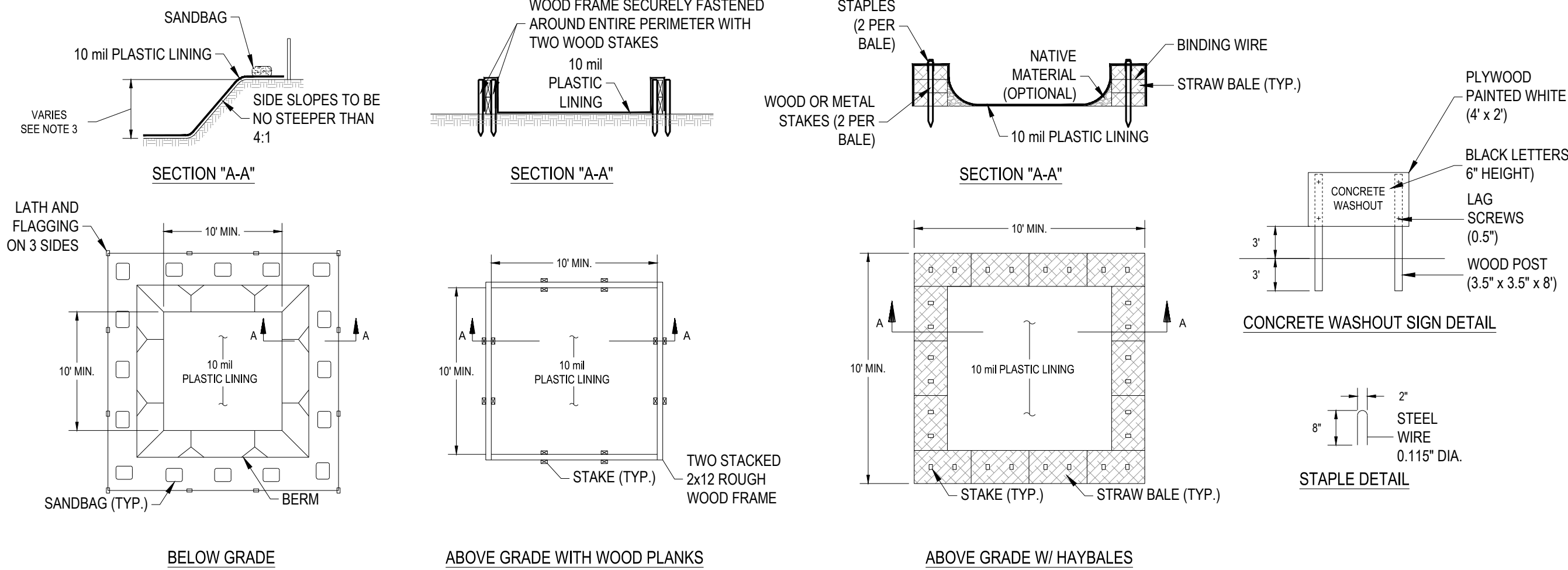
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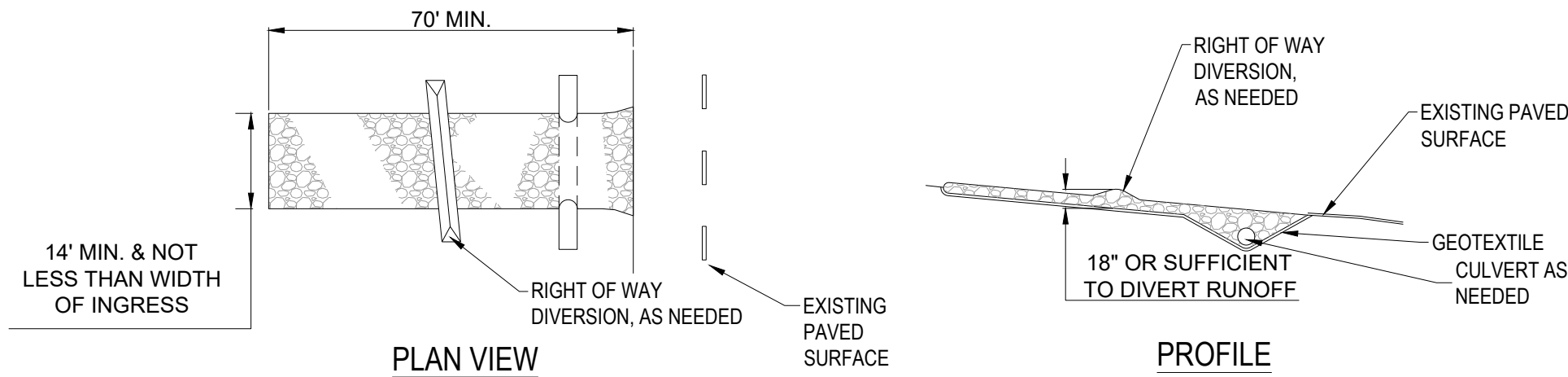
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- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING BUT NOT LIMITED TO OPERATIONS ASSOCIATED WITH GROUT AND MORTAR.

CONCRETE WASHOUT

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- NOTES:
1. STONE SIZE - (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS.
 3. THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
 4. WIDTH - THE ENTRANCE SHALL E AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE, IT SHALL BE COMPOSED OF 10. STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
 6. TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICAL BEFORE MAJOR GRADING ACTIVITIES.

GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE	
MINIMUM TENSILE STRENGTH	200 lbs.
MINIMUM PUNCTURE STRENGTH	80 psi.
MINIMUM TEAR STRENGTH	50 lbs.
MINIMUM BURST STRENGTH	320 psi.
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	EOS < 0.6 mm.
PERMITTIVITY	1x10-3 cm/sec.

STABILIZED CONSTRUCTION ENTRANCE

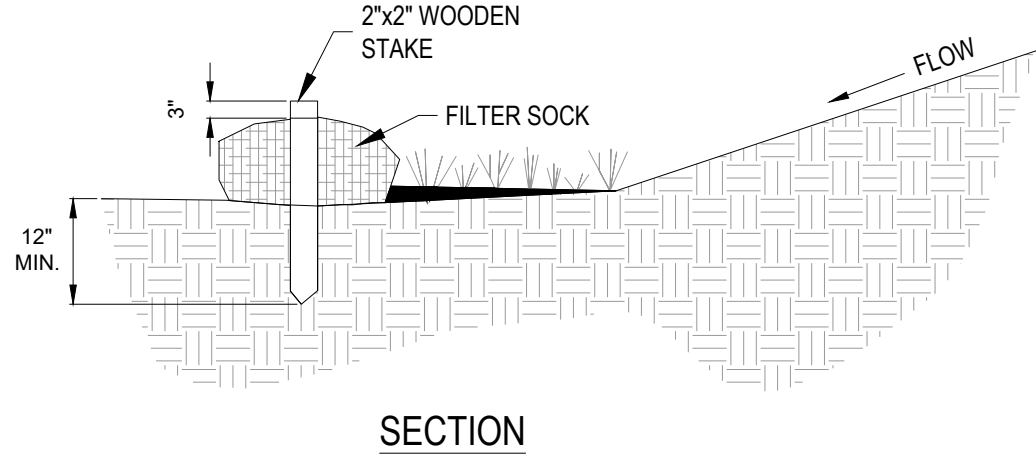
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SPECIFICATIONS FOR SILT FENCE

FABRIC PROPERTIES	VALUES	TEST METHODS
GRAB TENSILE STRENGTH	90 LB. MINIMUM	ASTM D-1682
MULEN BURST STRENGTH	190 PSI MINIMUM	ASTM D-3786
SLURRY FLOW RATE	0.3 GAL/MIN/FT. MAX.	
EQUIVALENT OPENING SIZE	40-80	US STD. SIEVE CW 02215
ULTRAVIOLET RADIATION STABILITY	90% MINIMUM	ASTM - G 26

CRITERIA FOR SILT FENCE MATERIALS

1. FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 IN. X 2 IN. HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT.
2. SILT FENCE FABRIC (SEE CHART BELOW)

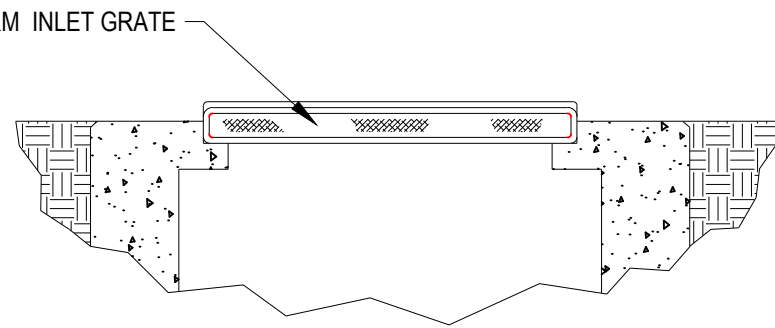
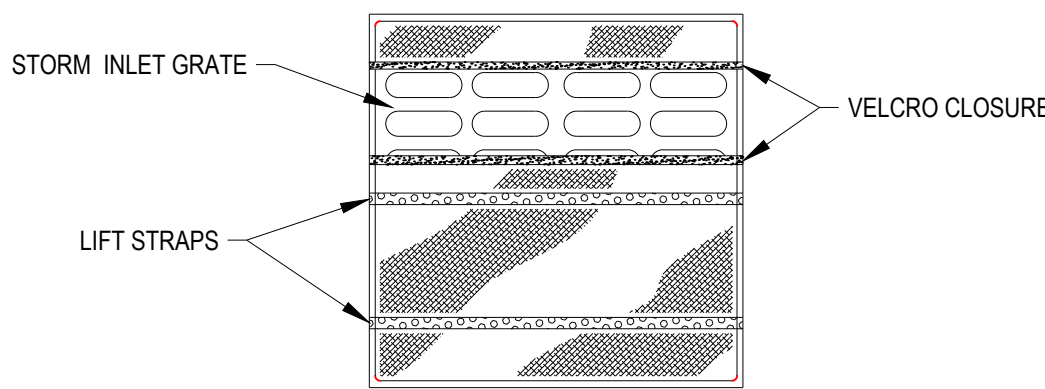


NOTES:

1. MATERIALS - COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A PARTICLES RANGING FROM 3/8" TO 2".
 2. FILTER SOCKS SHALL BE 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
- INSTALLATION:
3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MIDSLOPE.
 4. FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
 5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- MAINTENANCE:
6. ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
 7. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE PRACTICE.
 8. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
 9. REMOVAL - FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH AS WAY AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS.

FILTER SOCK

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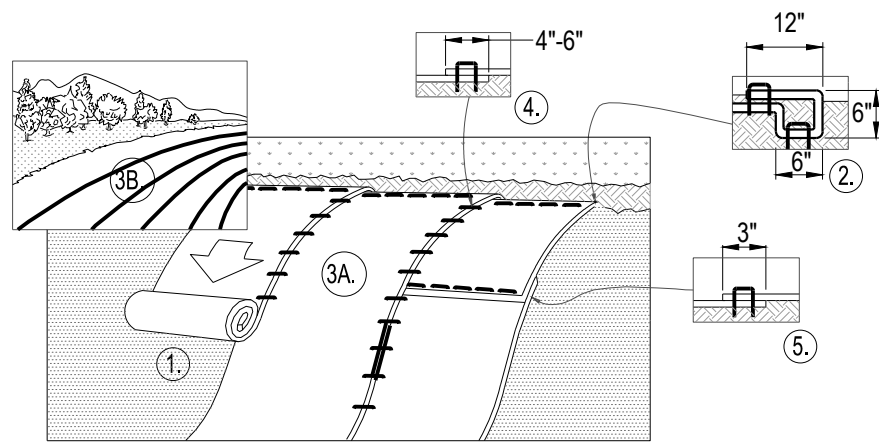


NOTE:

INLET PROTECTION SHALL BE DANDY BAG OR APPROVED OTHER.

INLET PROTECTION

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NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

EROSION CONTROL BLANKET

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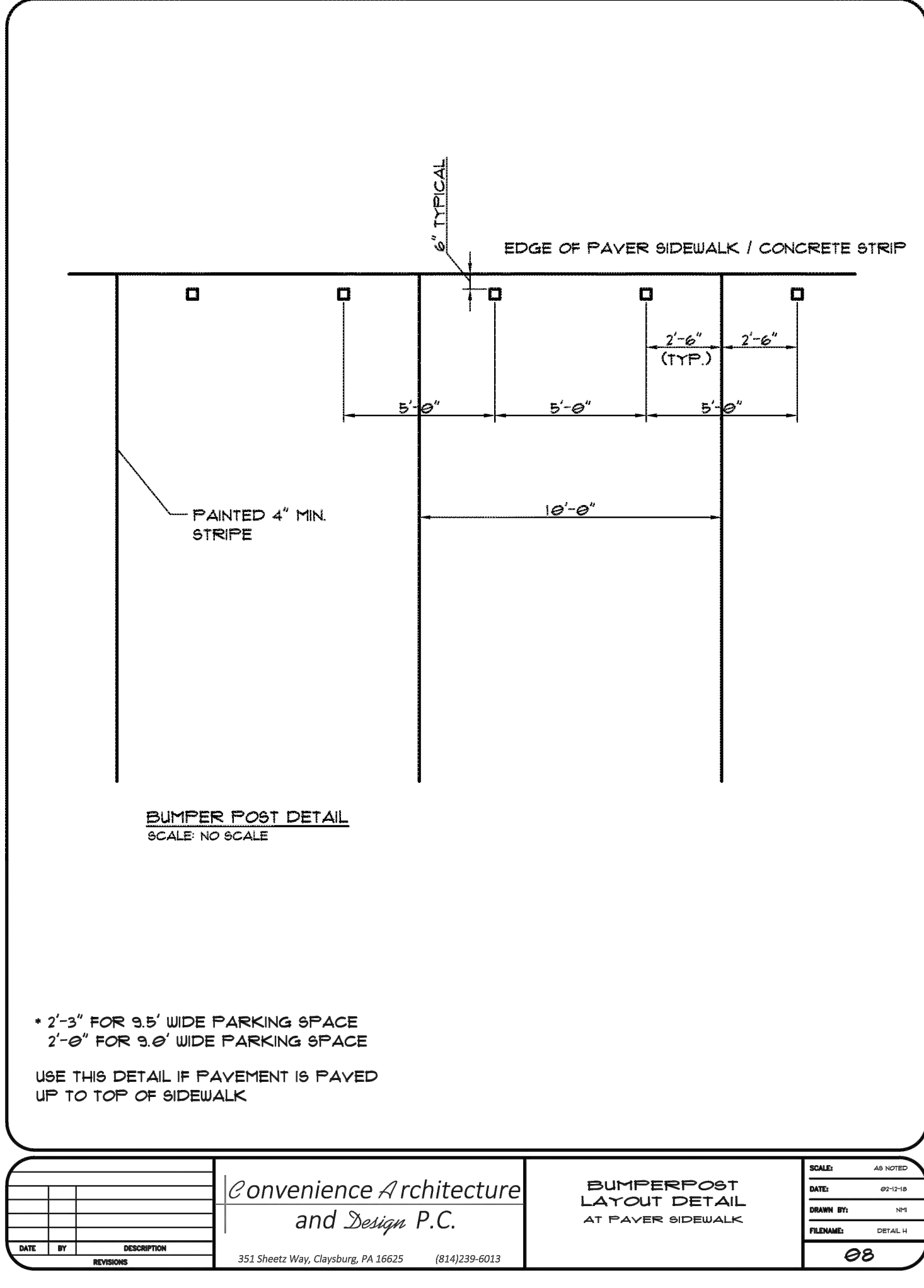
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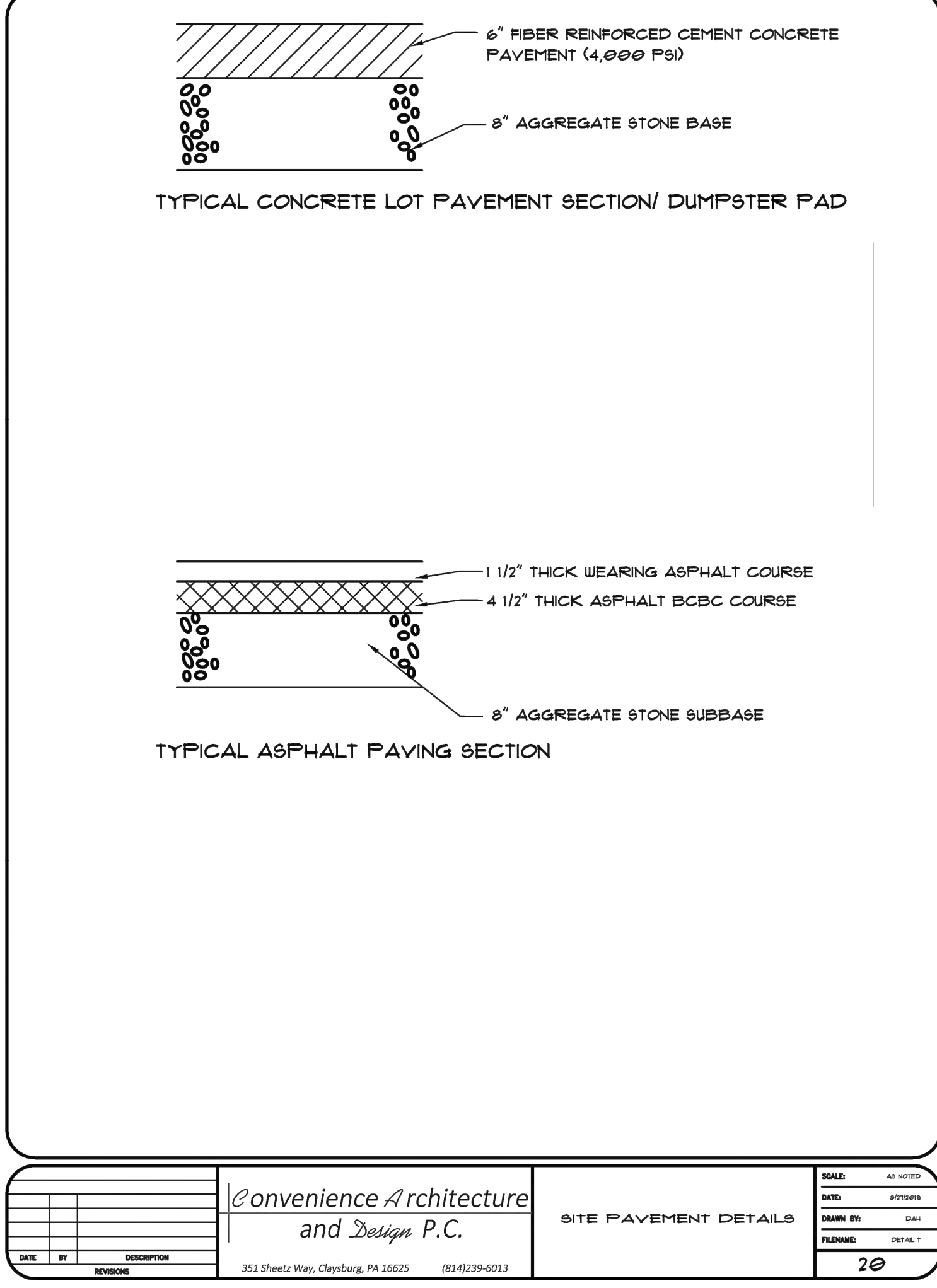
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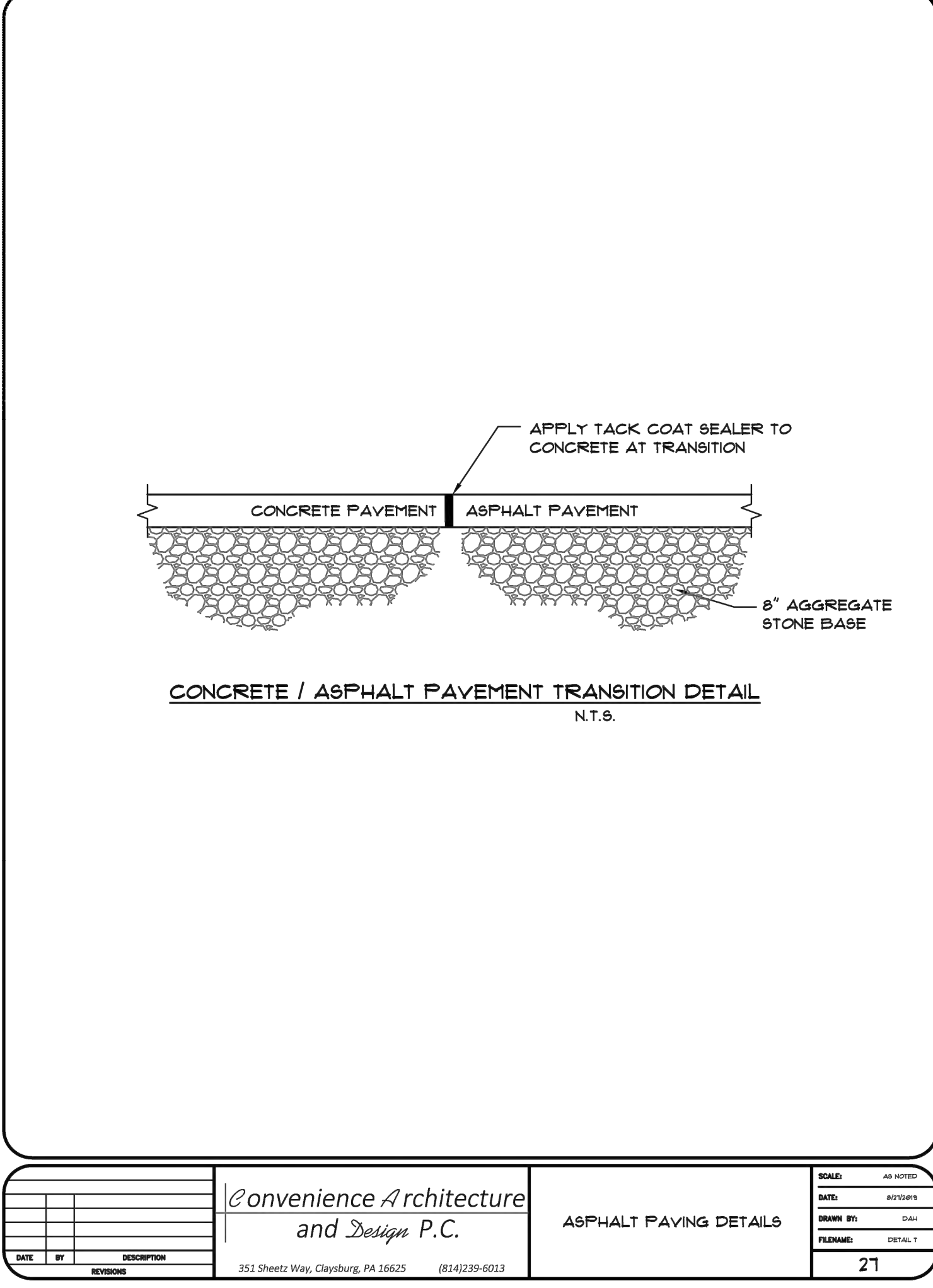
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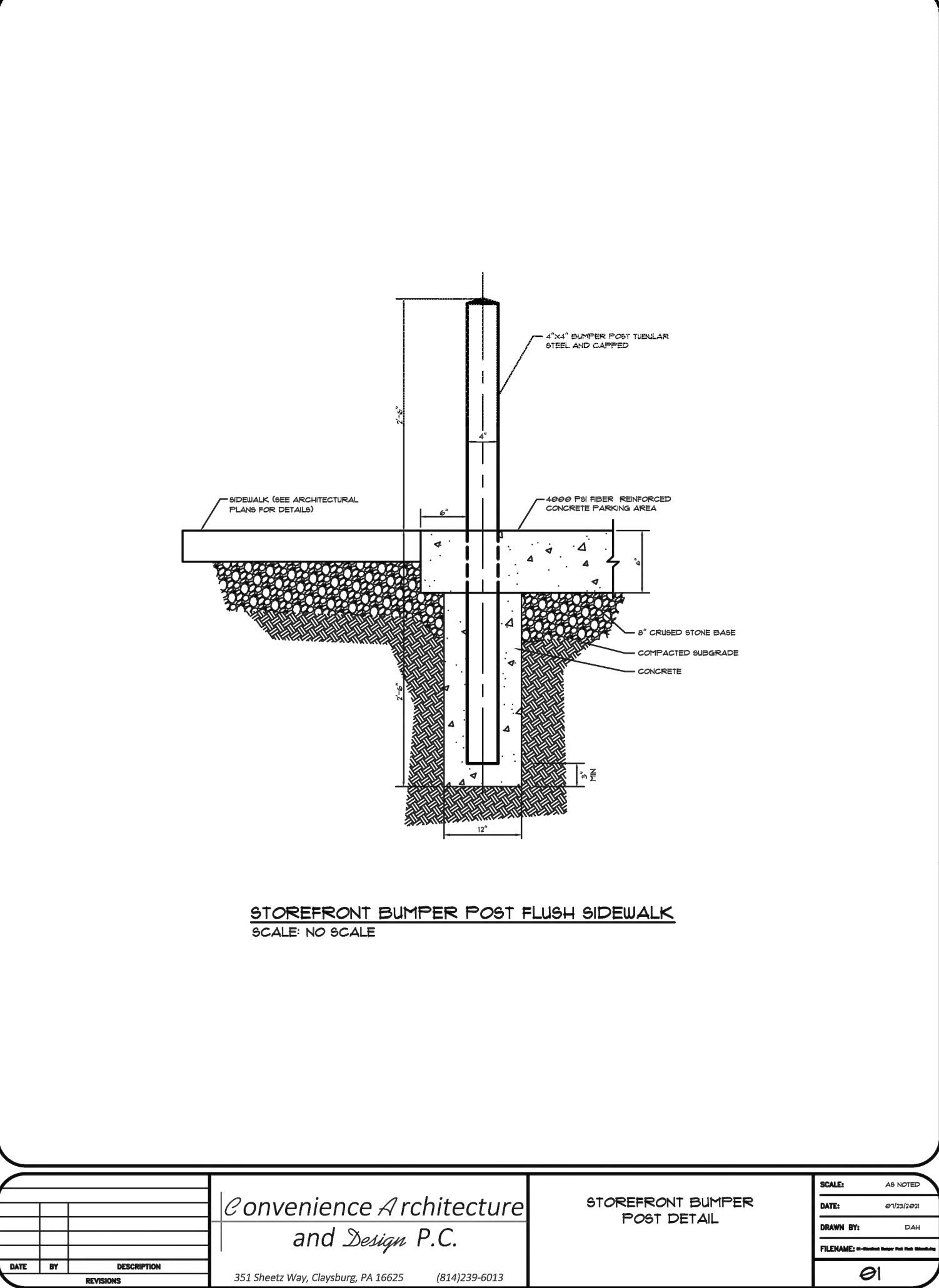
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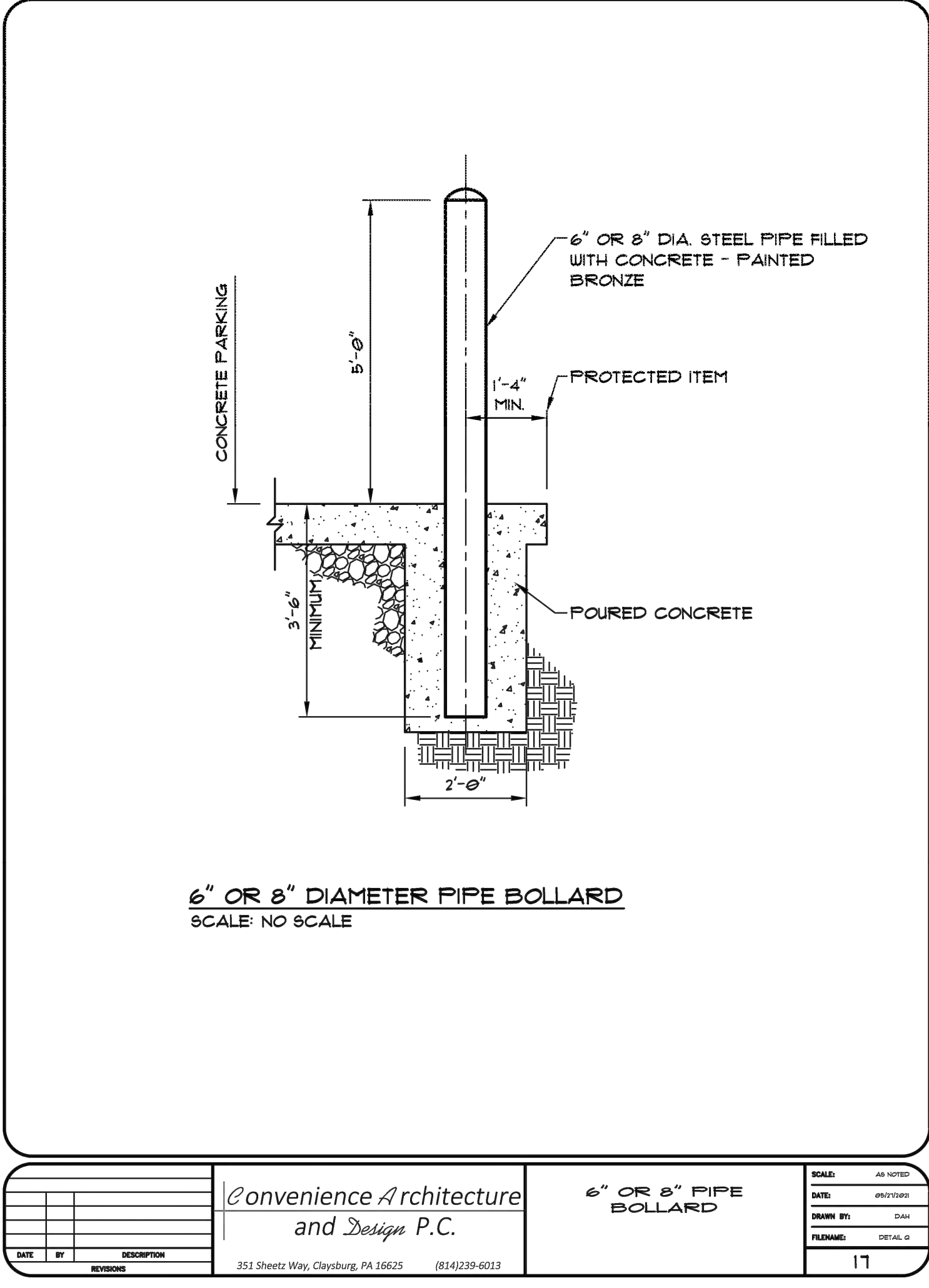
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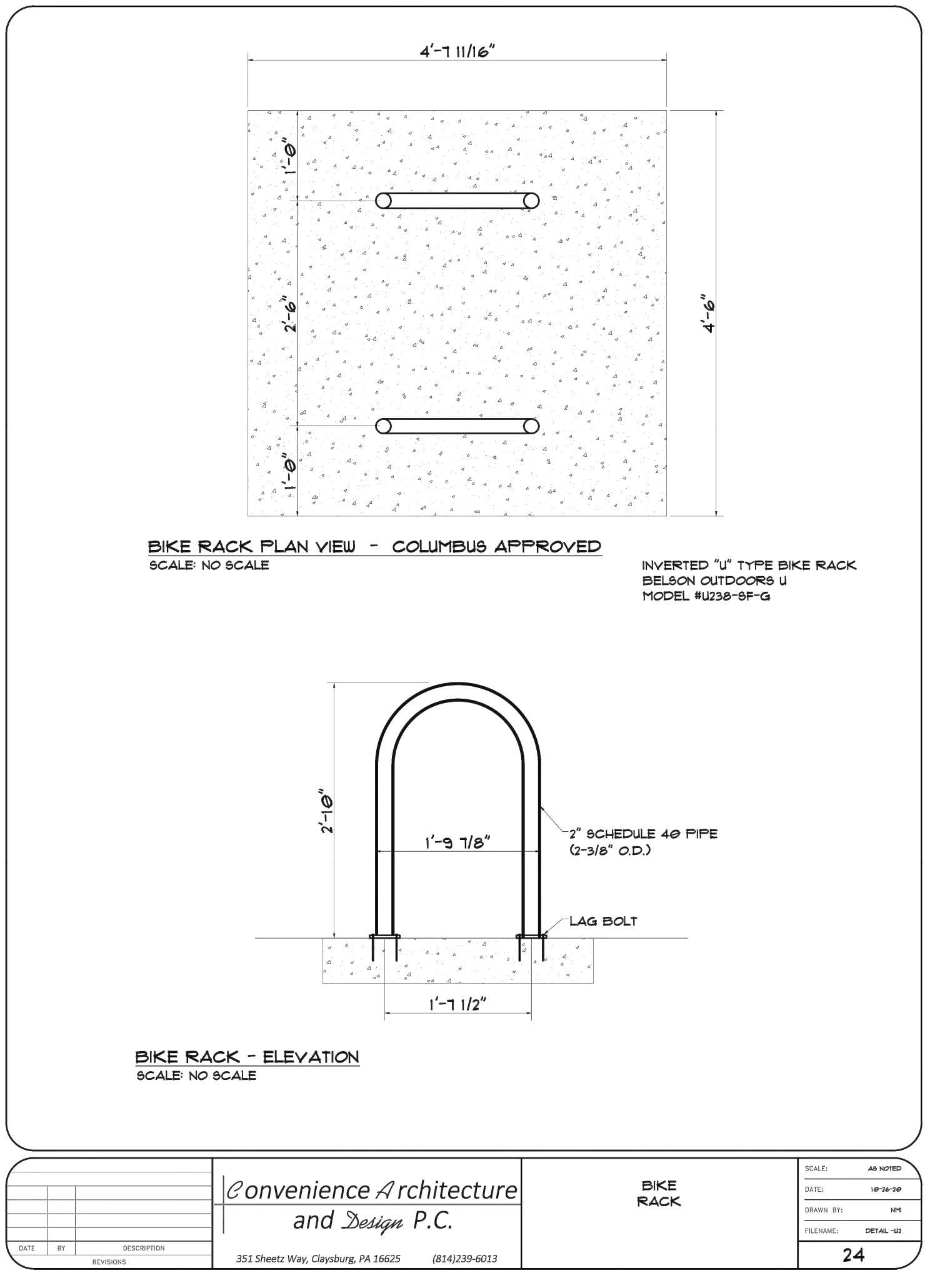
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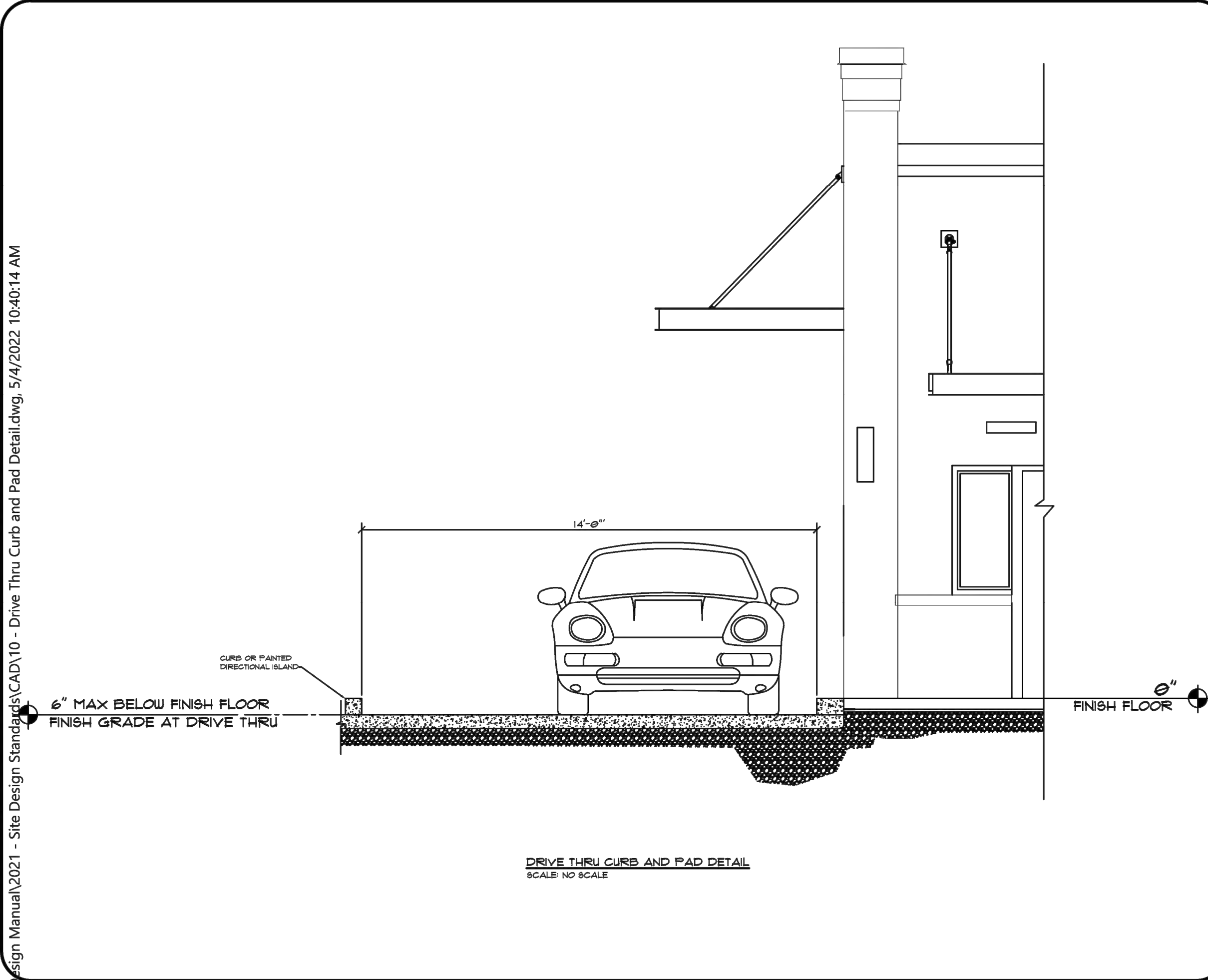
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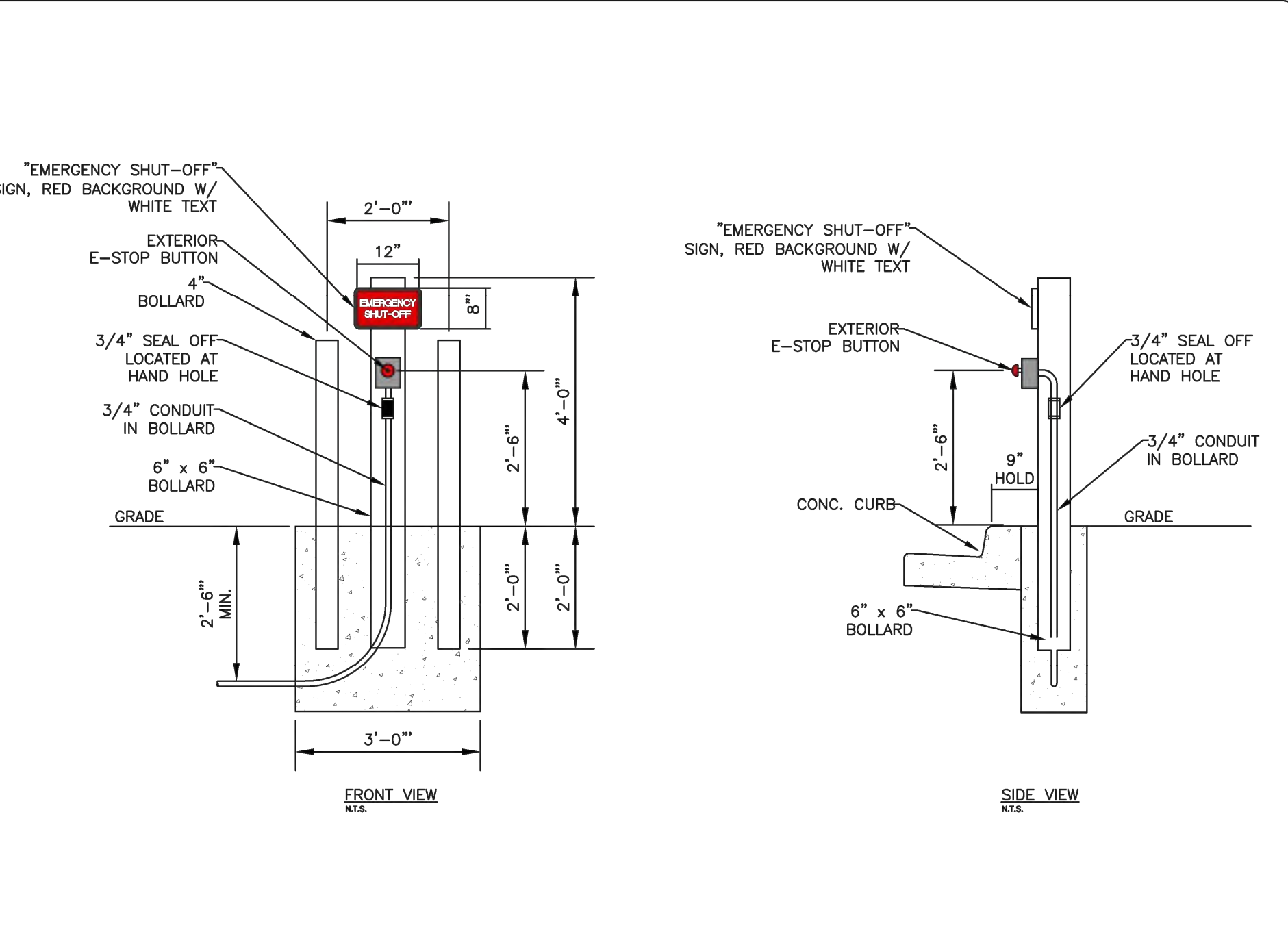
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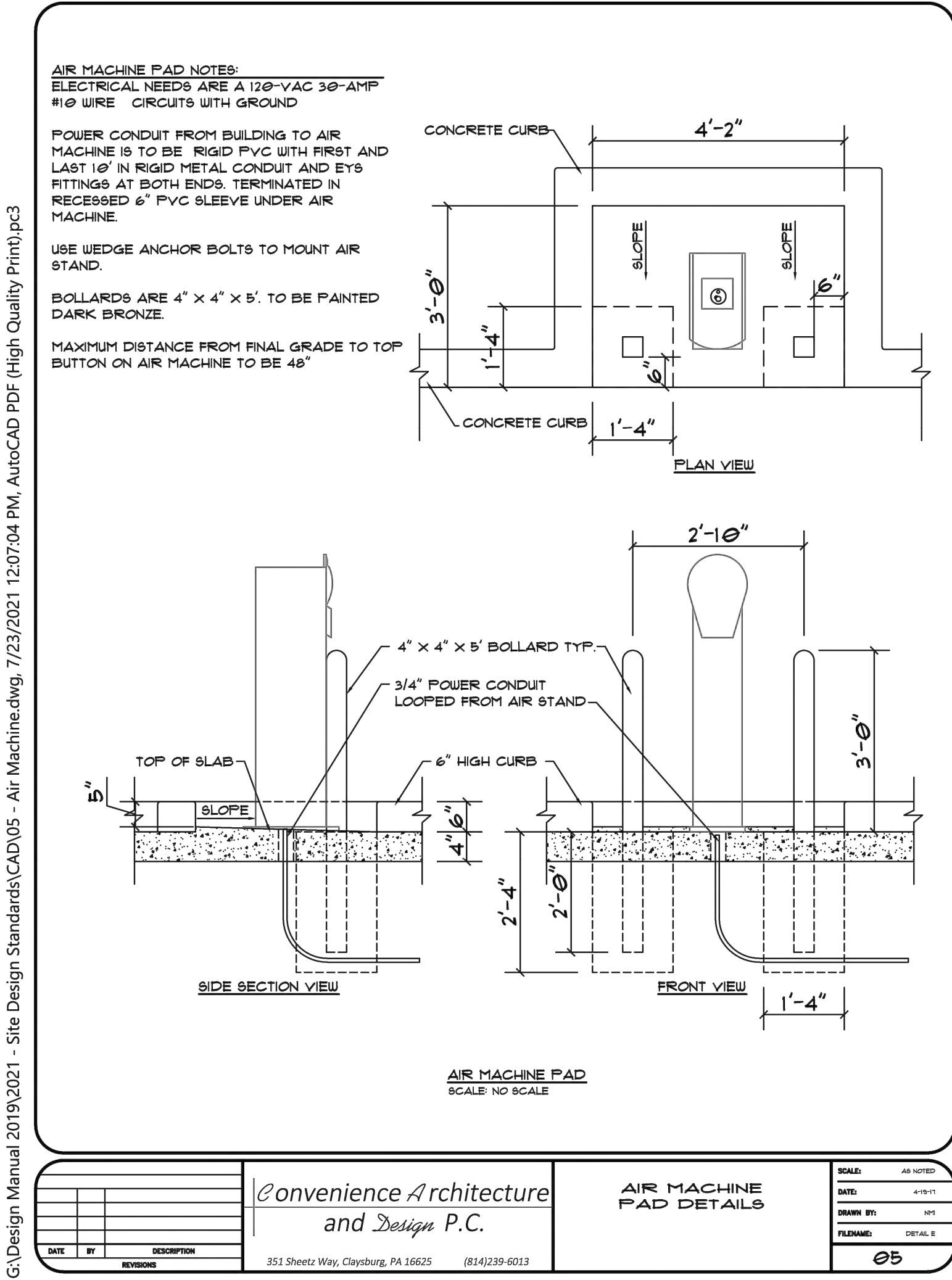
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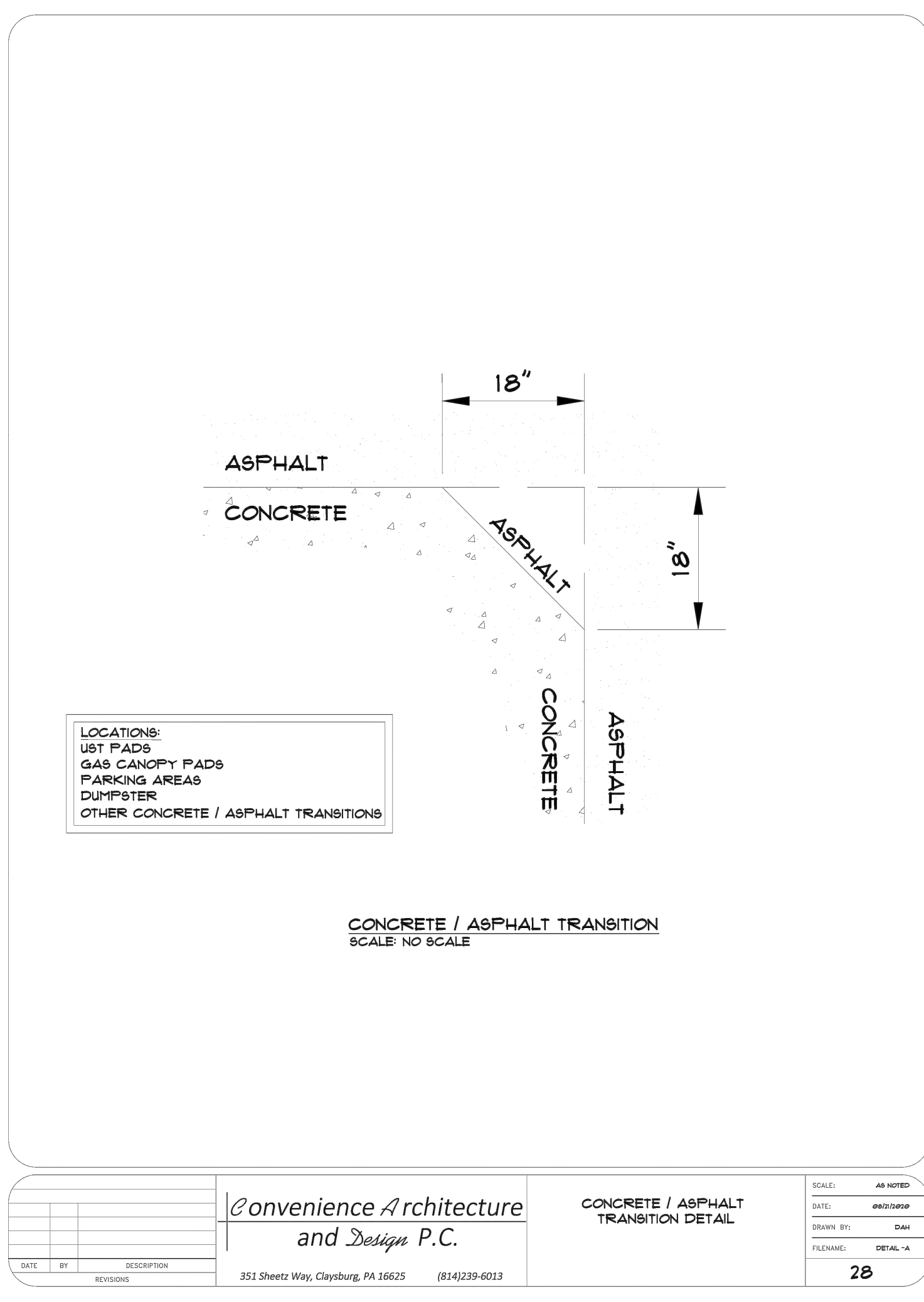
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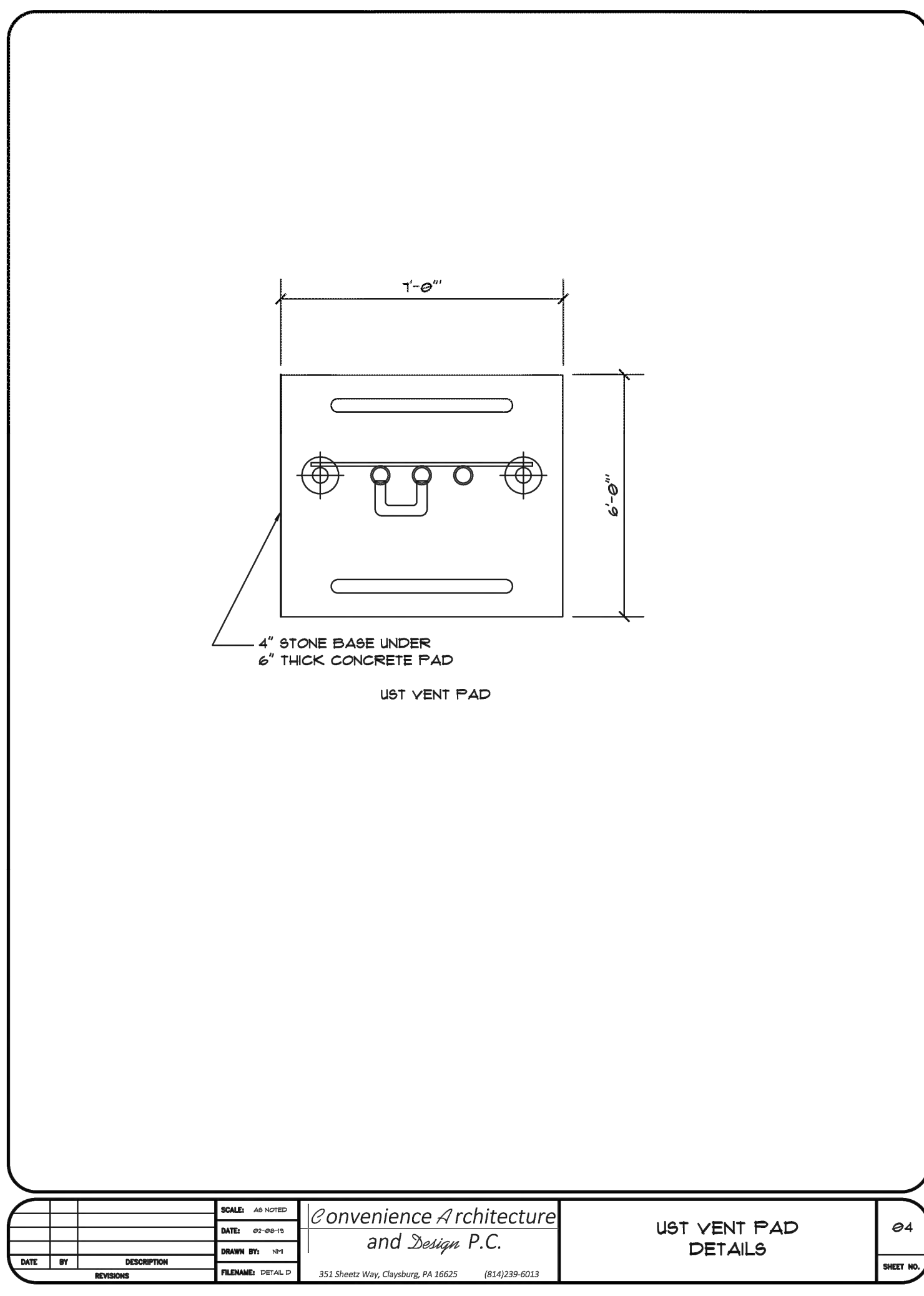
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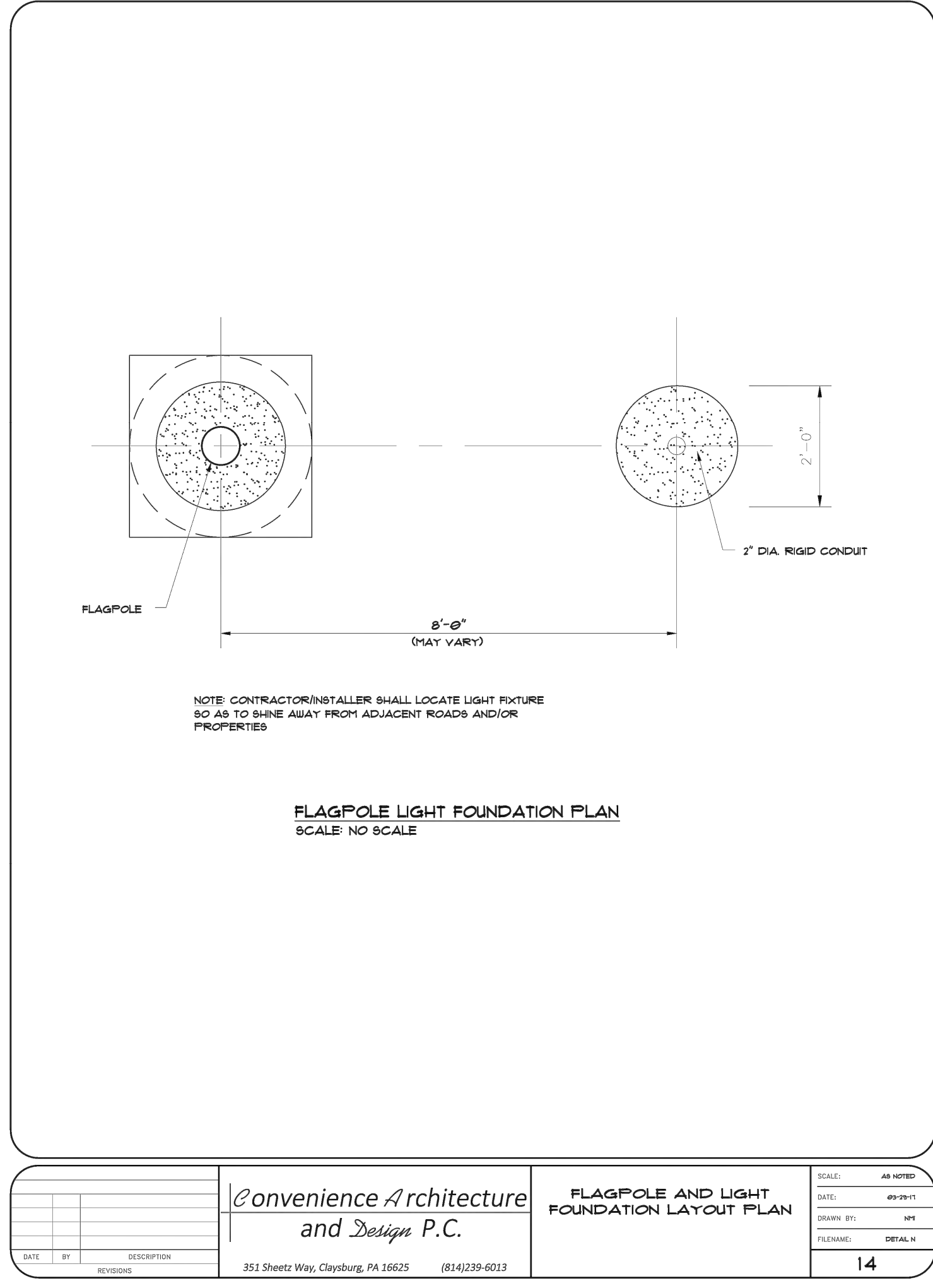
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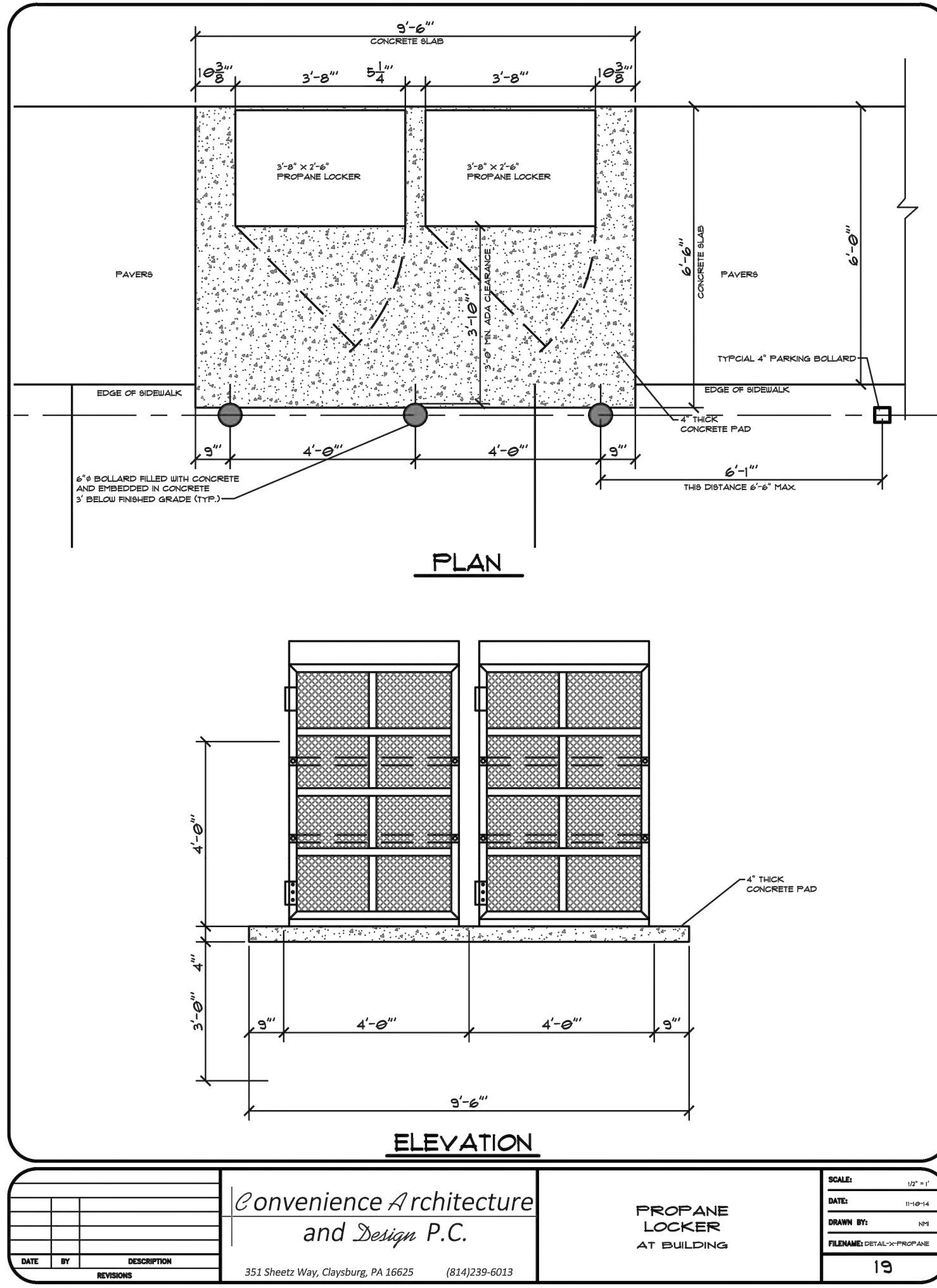
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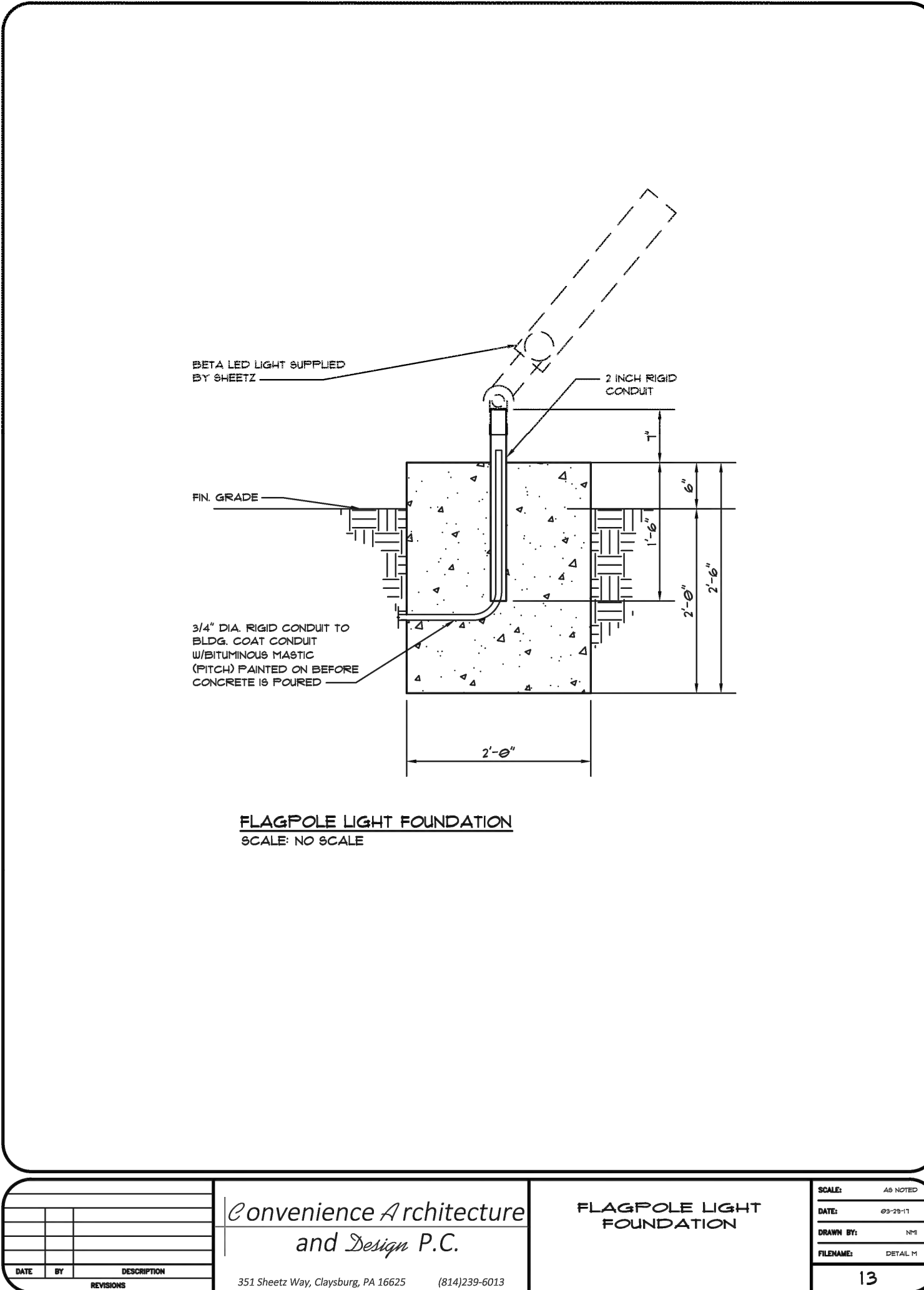
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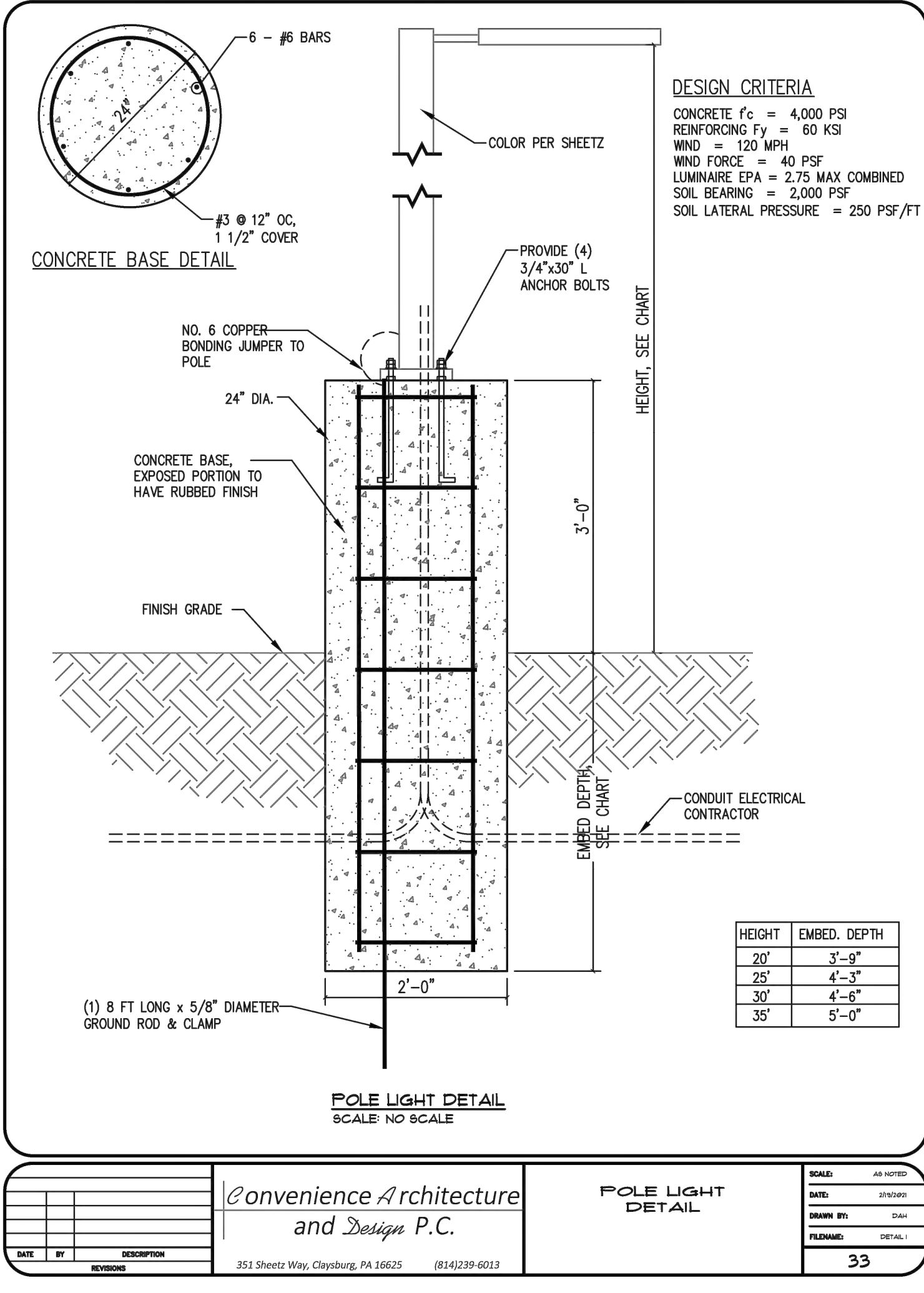
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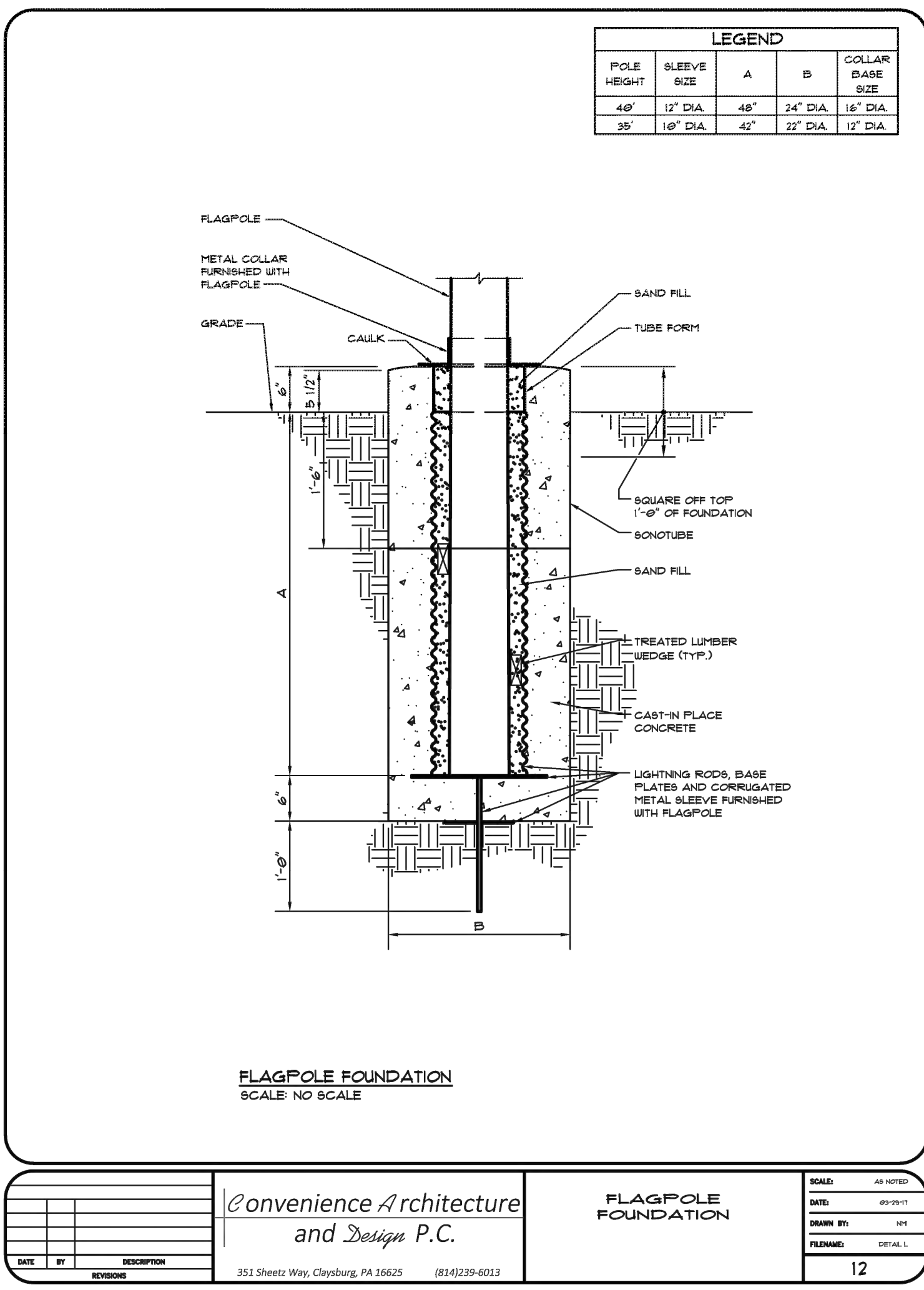
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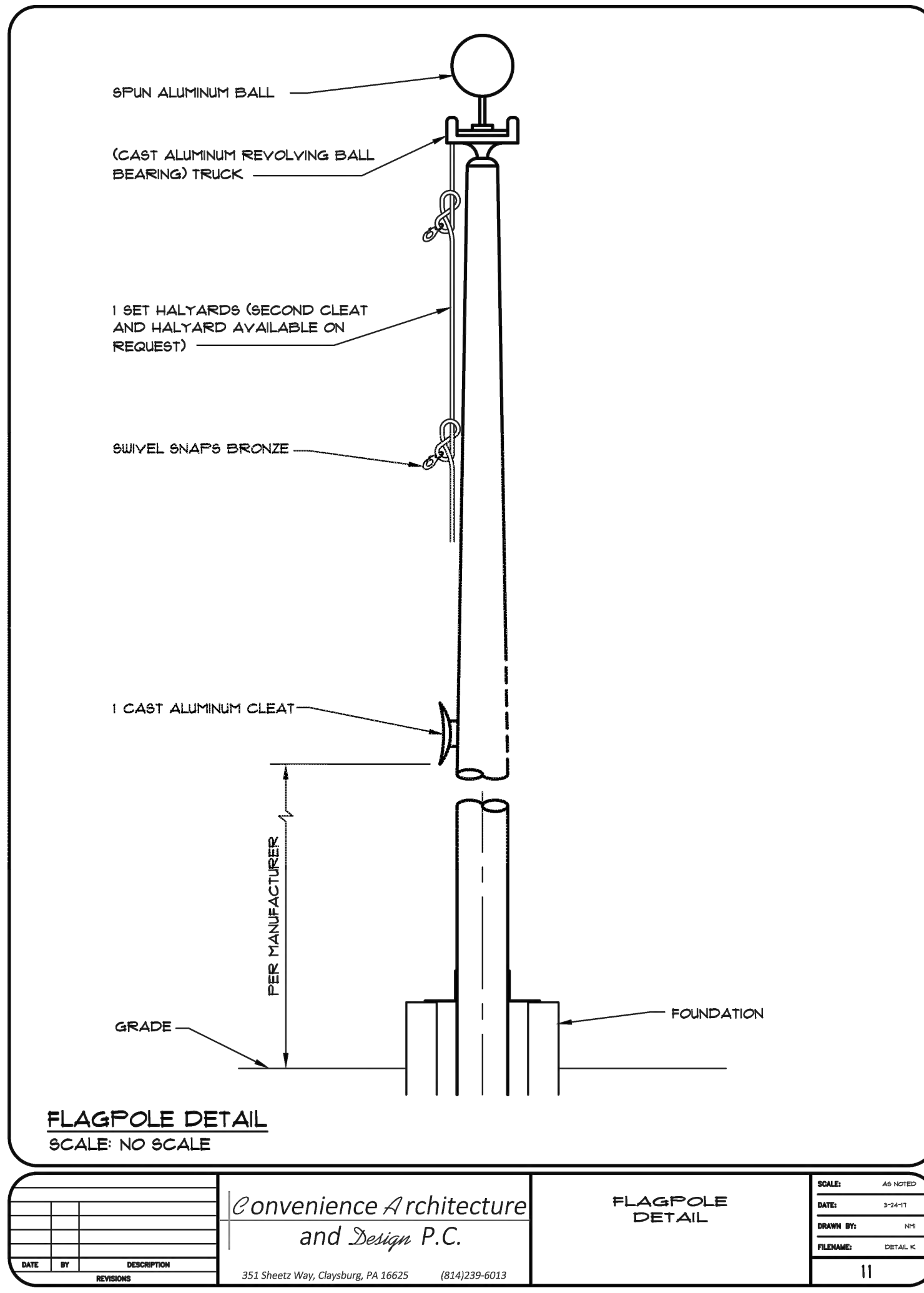
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Josh Long

2023-4-13



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HUBER HEIGHTS, OH 45424

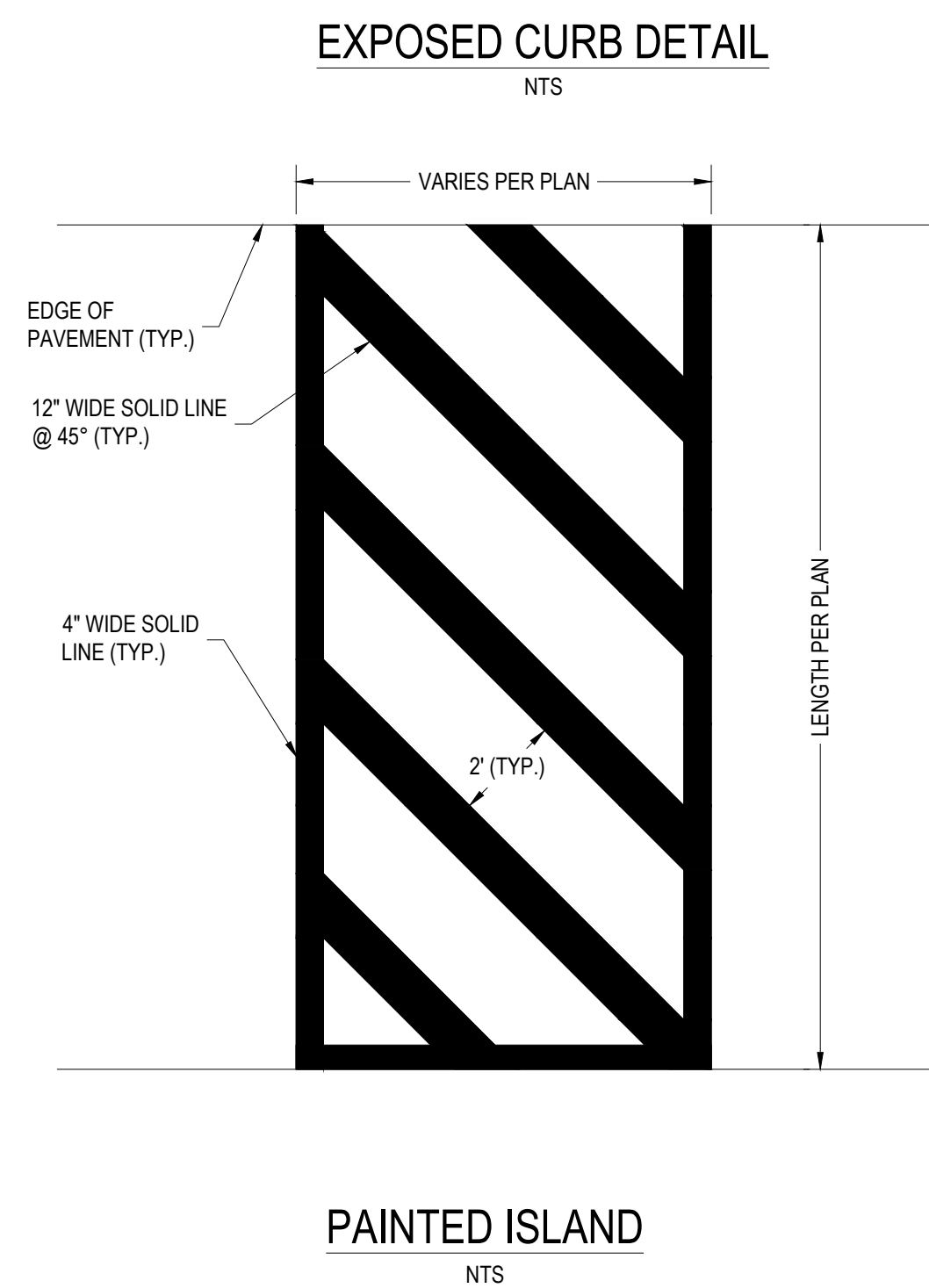
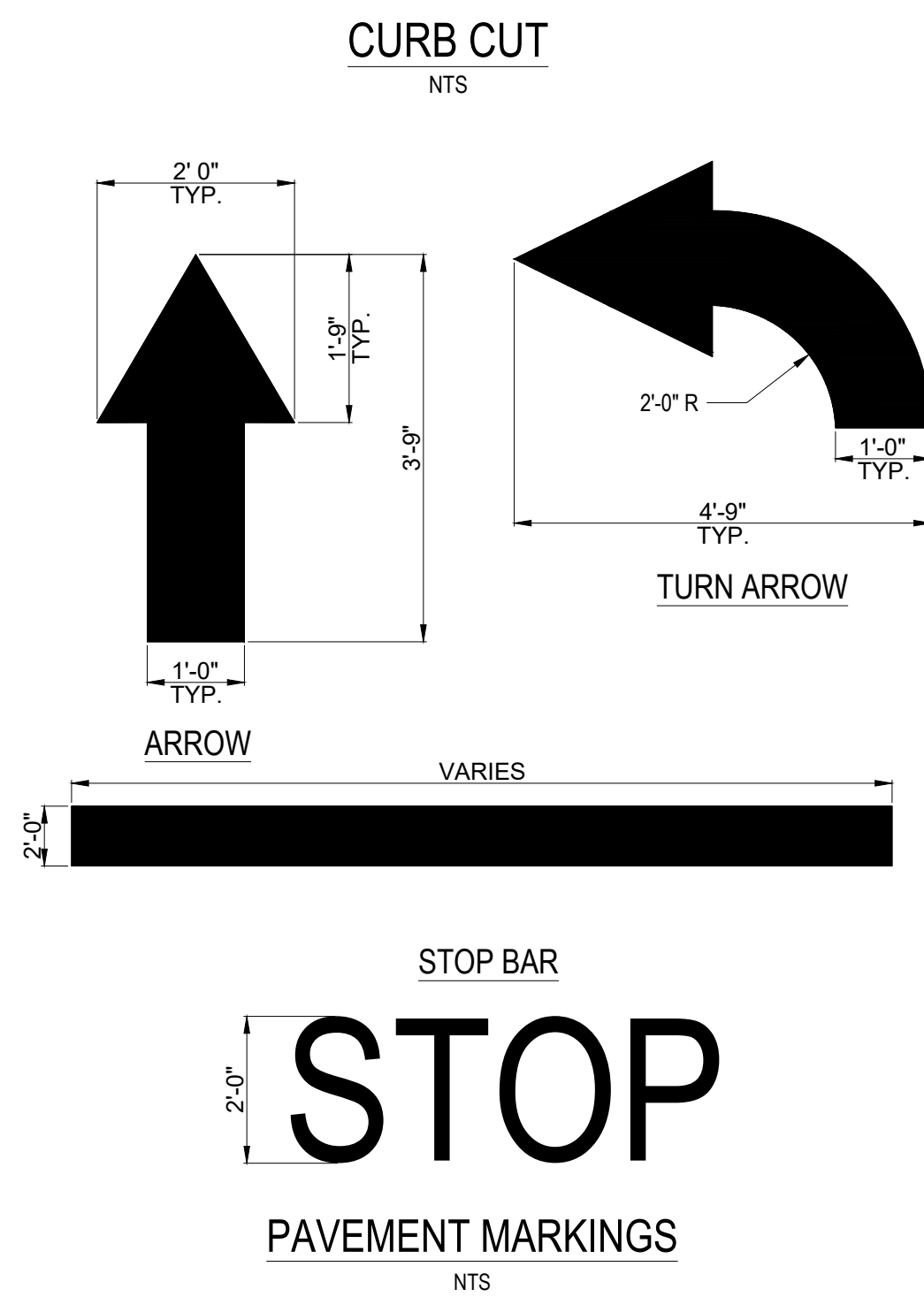
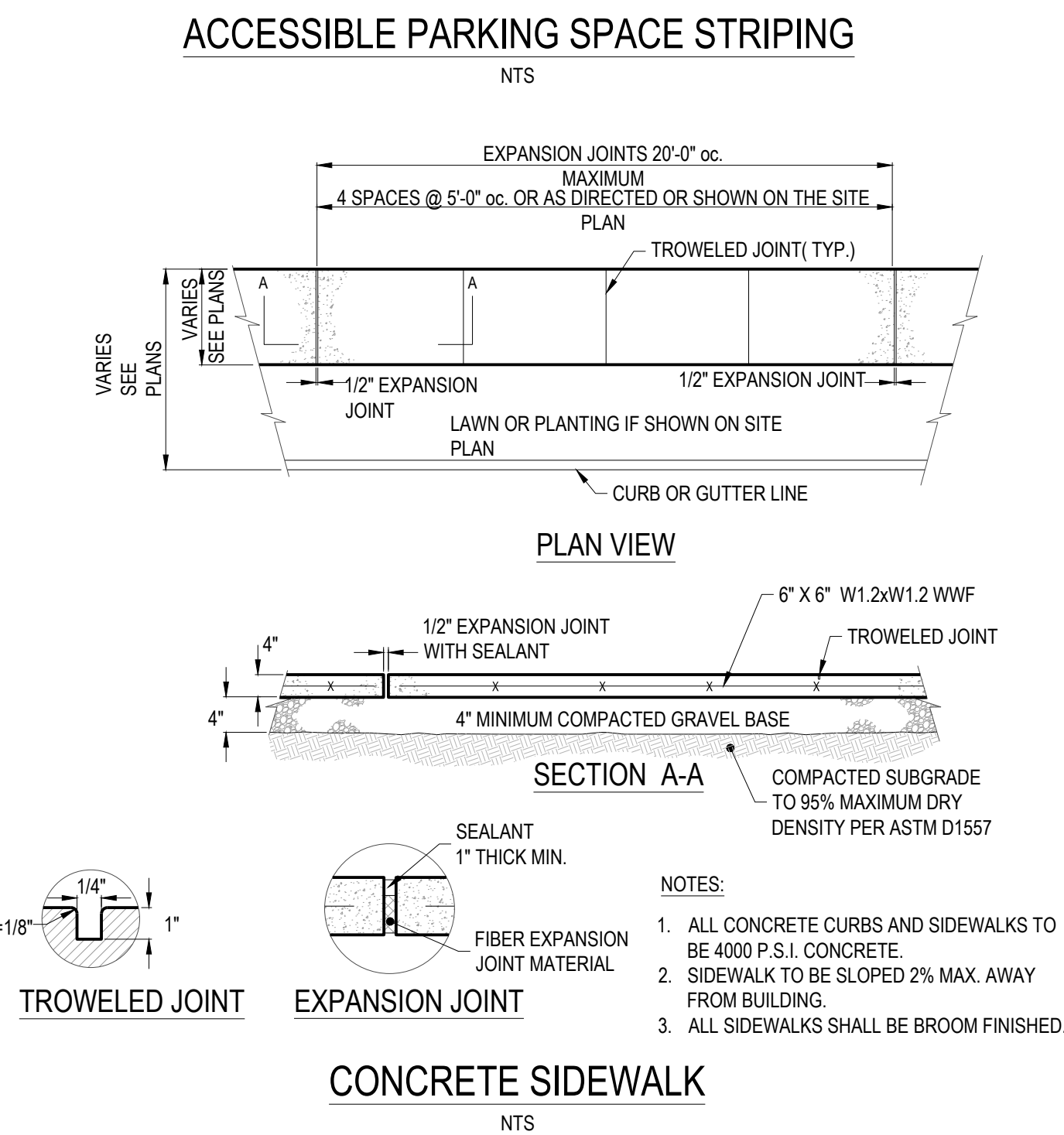
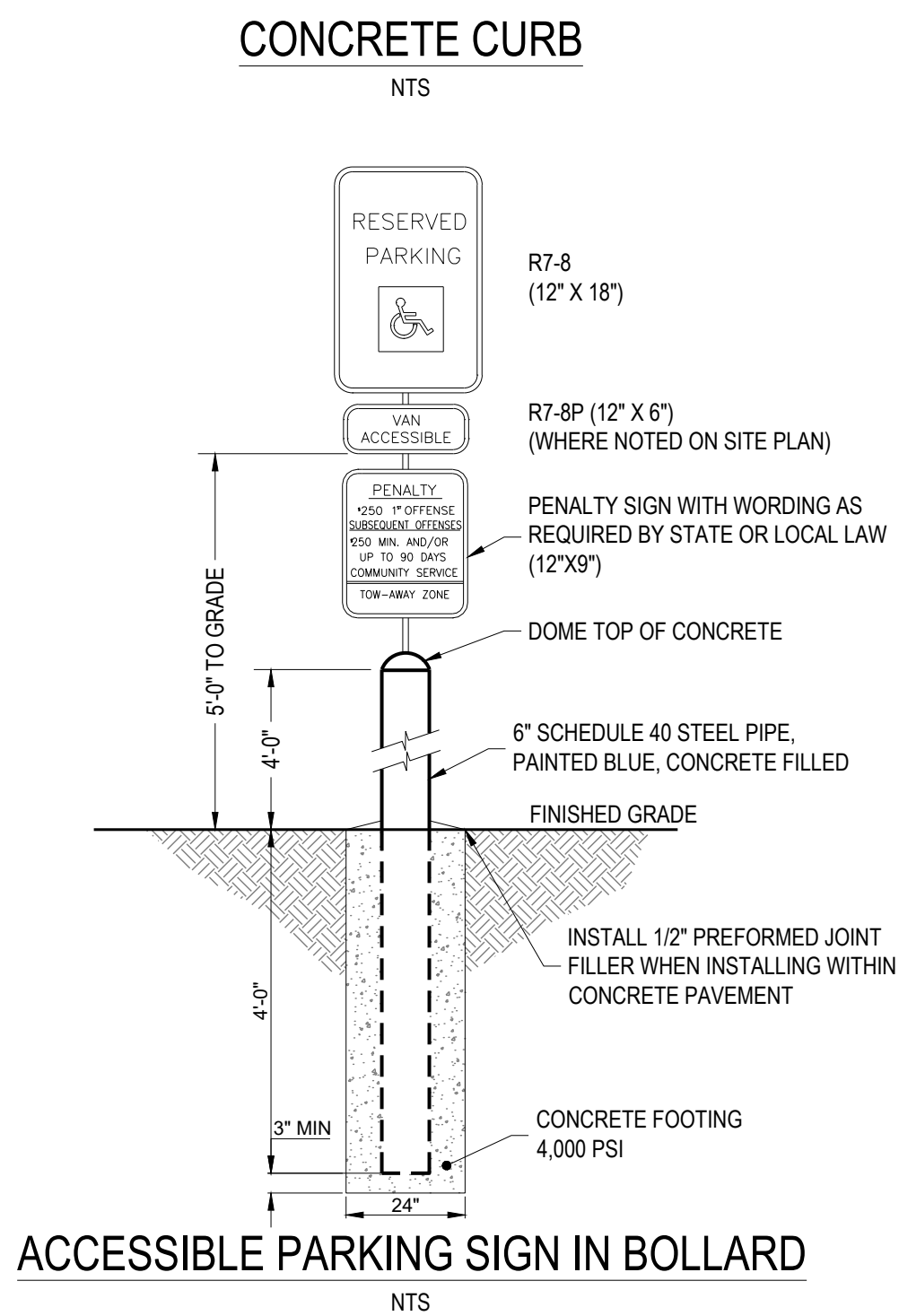
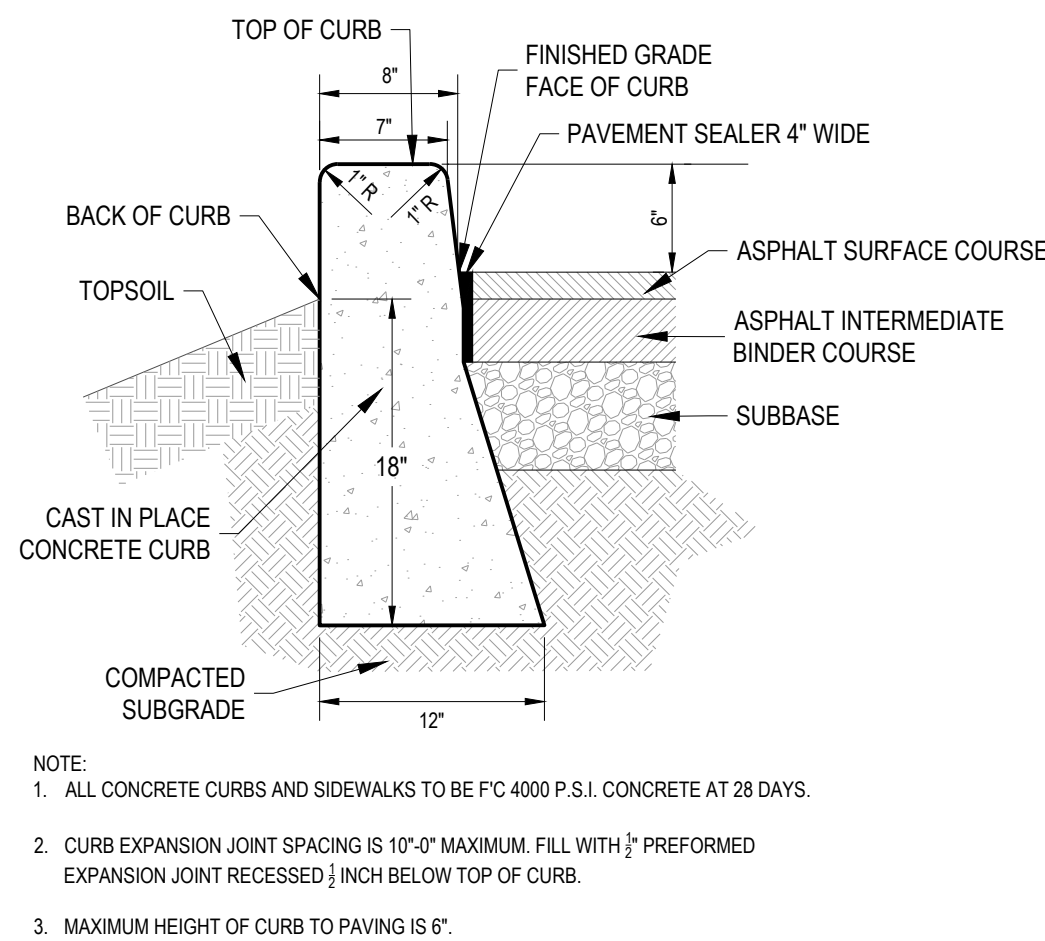
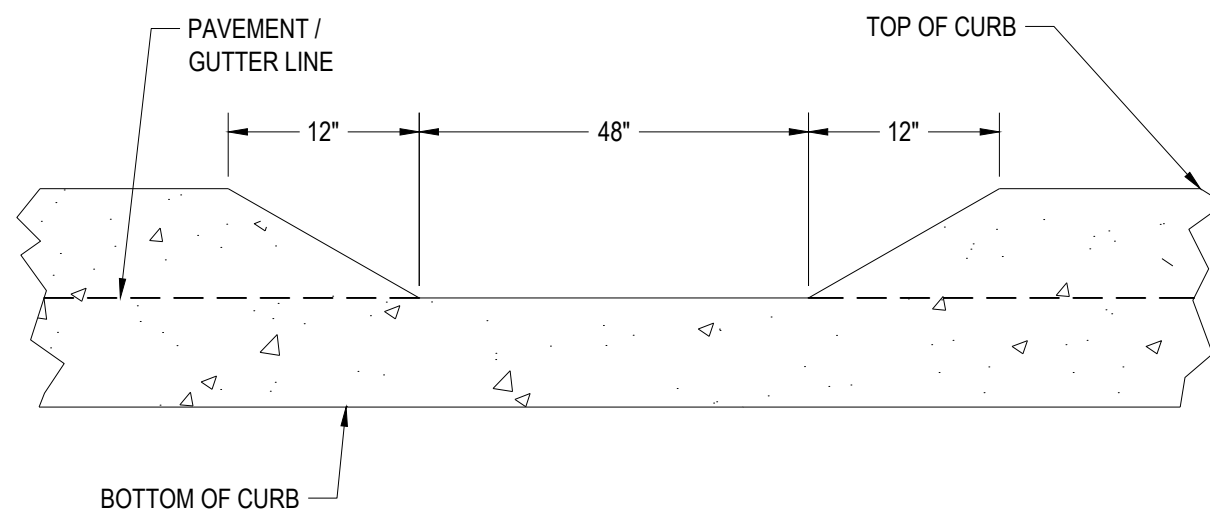
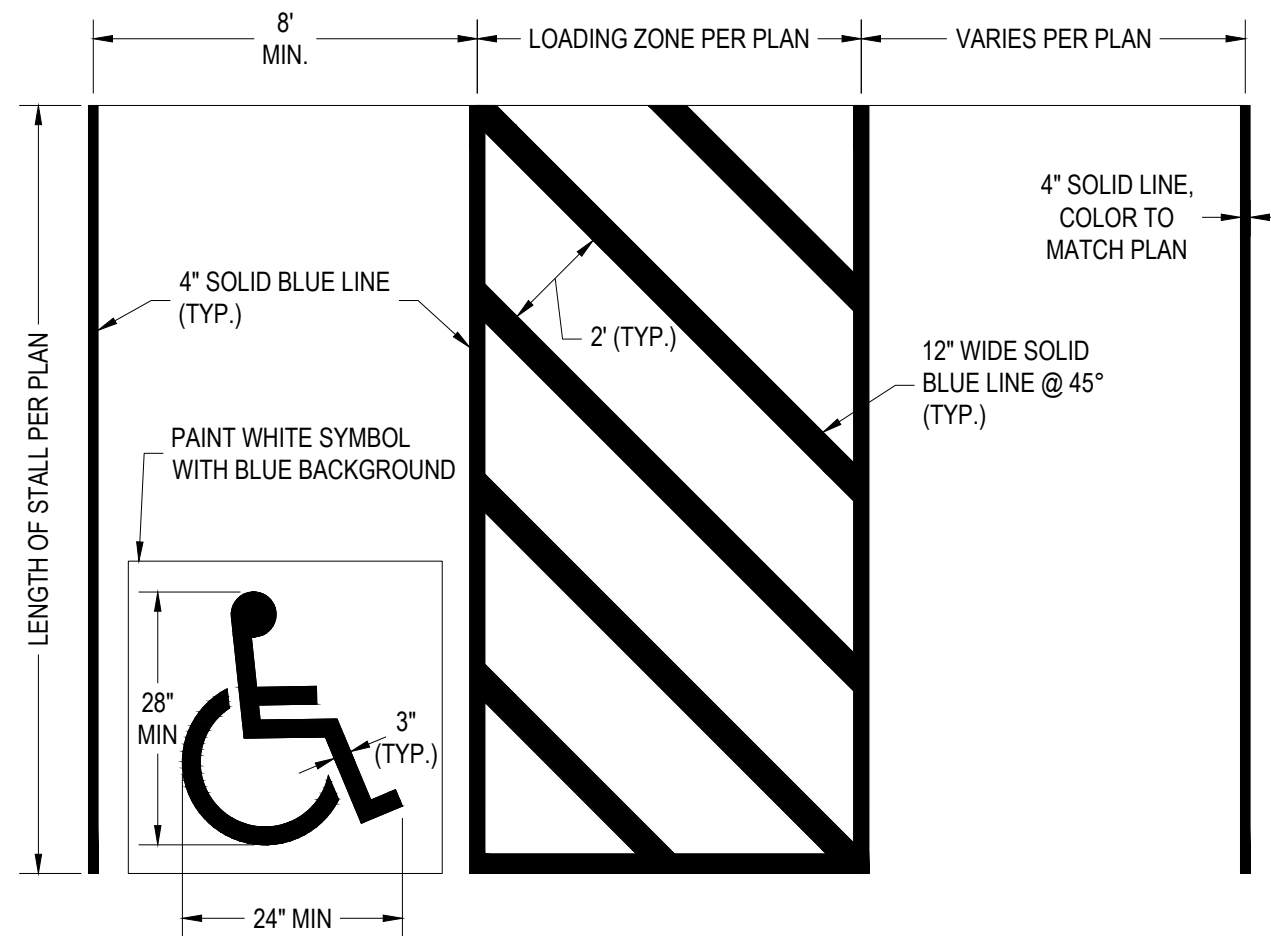
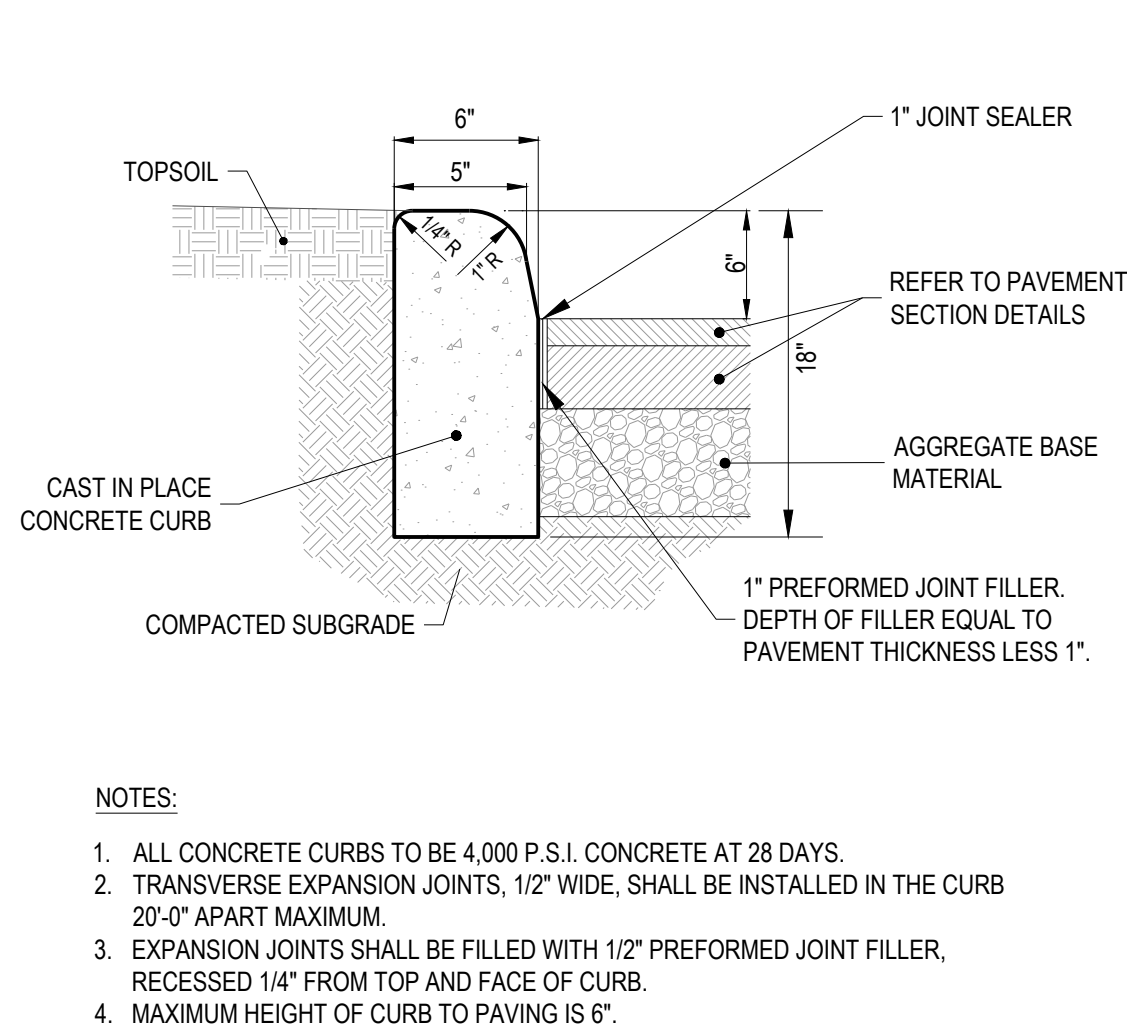
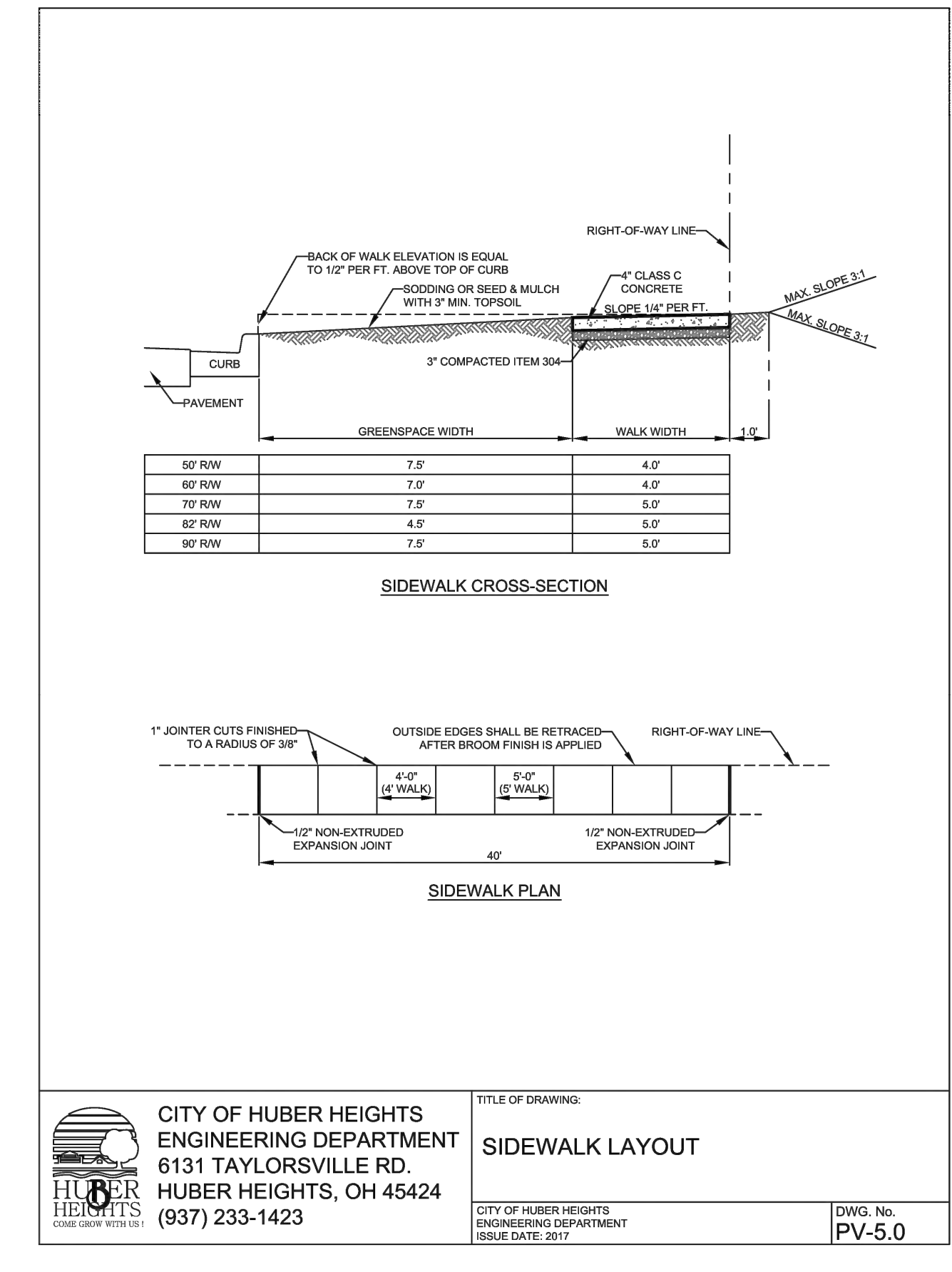
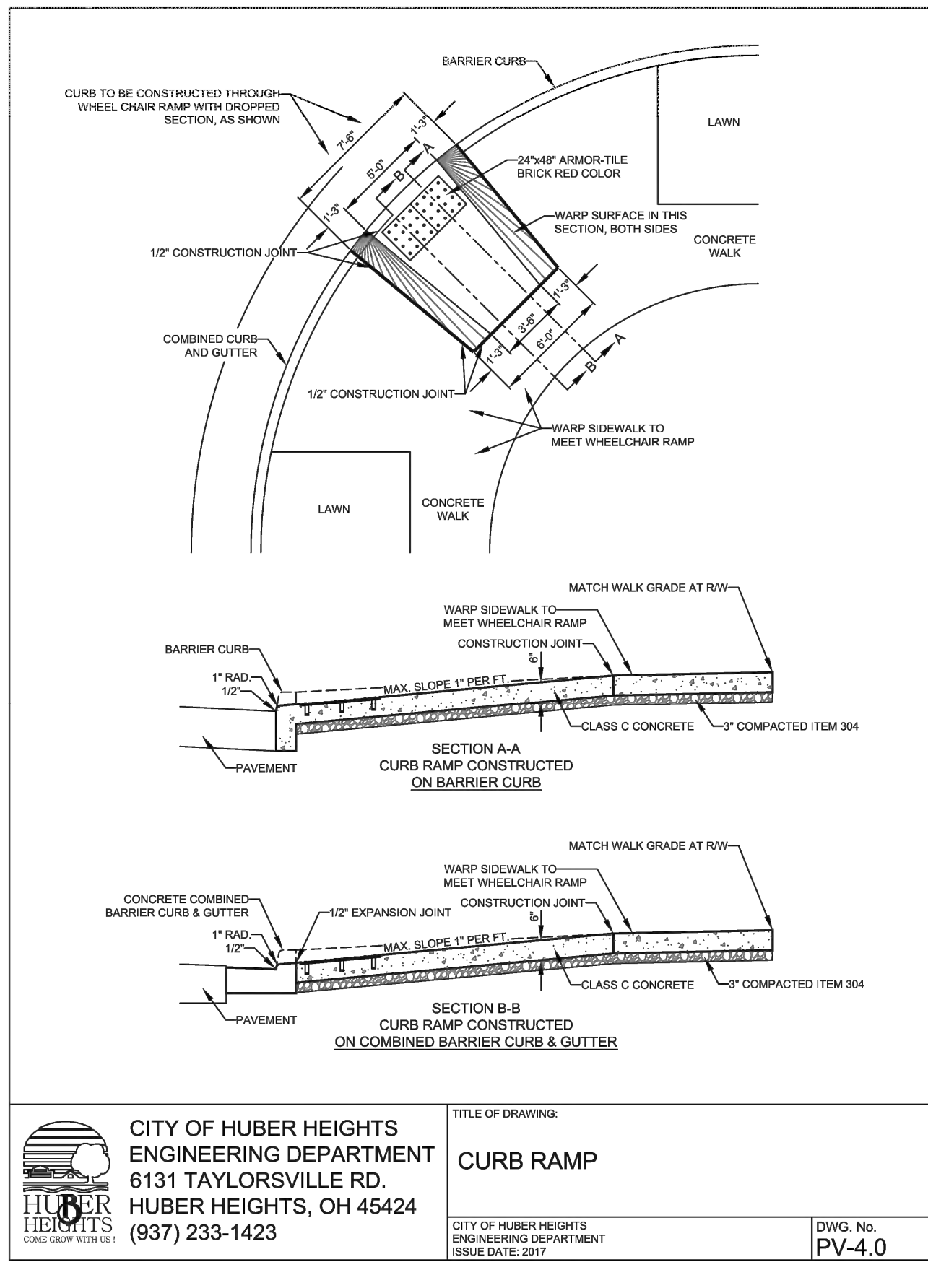
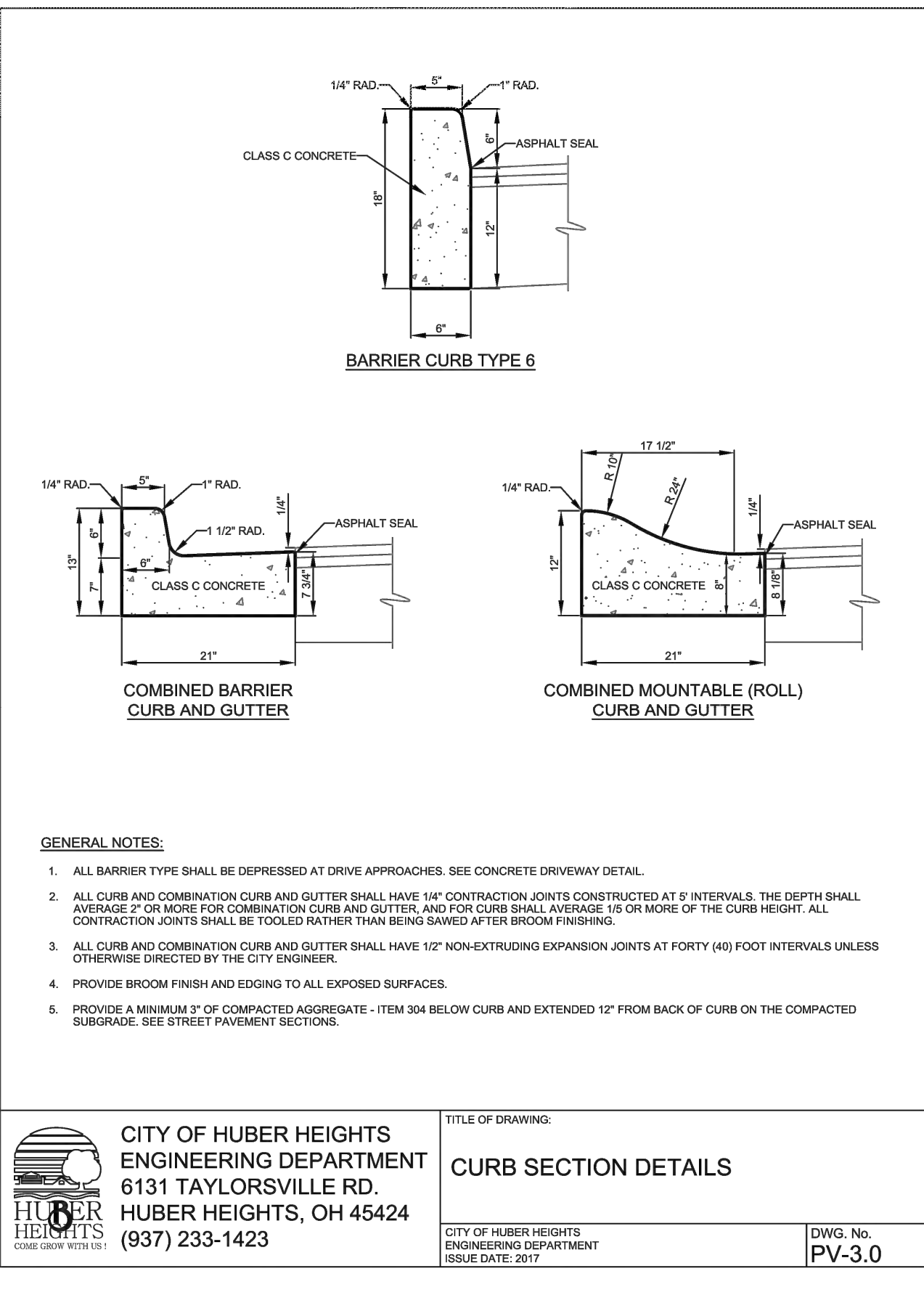
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ID	Description	Date

Project Number: 761688
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 04.12.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
**CONSTRUCTION
DETAILS**

C7.2

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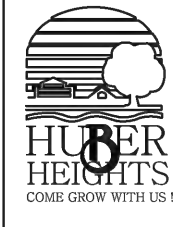
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Checked By:	BP
Date:	04.12.2023
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Drawing Title:
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DETAILS**

C7.4

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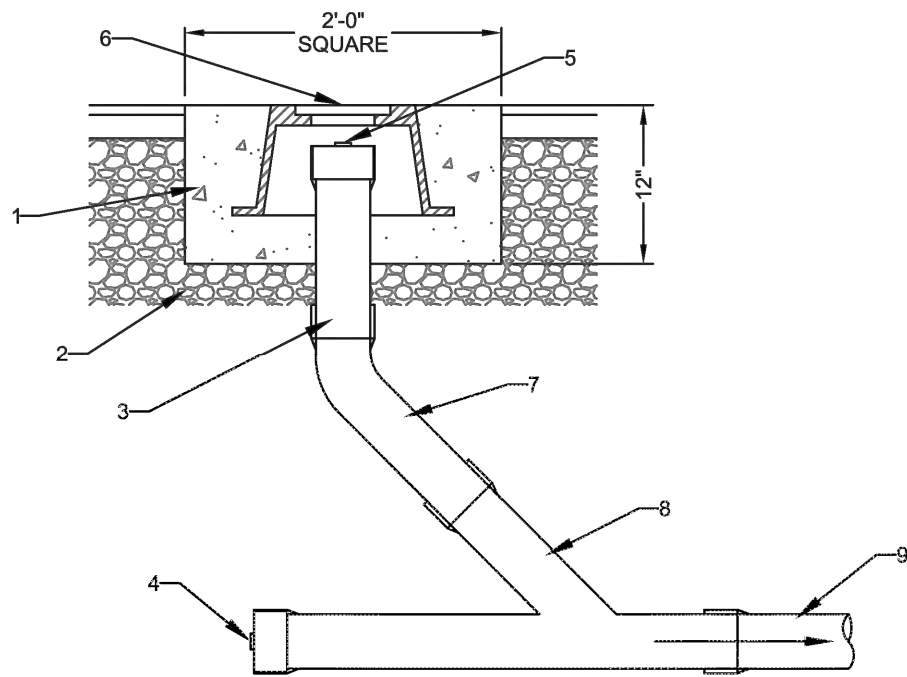


CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
6131 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
(937) 233-1423

TITLE OF DRAWING:
**STANDARD CLEAN-OUT
FOR PAVEMENT AREA**

CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017

DWG. No.
MS-3.0



KEYED NOTES:

1. CONCRETE, MATCH PAVEMENT SPEC.
2. 6" (MIN.) AGGREGATE BASE
3. 6" DIA. CLEAN-OUT PIPE
4. CAP AND SEAL CONDUIT
5. THREADED CLEAN-OUT CAP
6. CAST-IRON MONUMENT BOX, EJIW 1570 OR APPROVED EQUAL.
7. 45° BEND
8. WYE
9. SEWER



CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
6131 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
(937) 233-1423

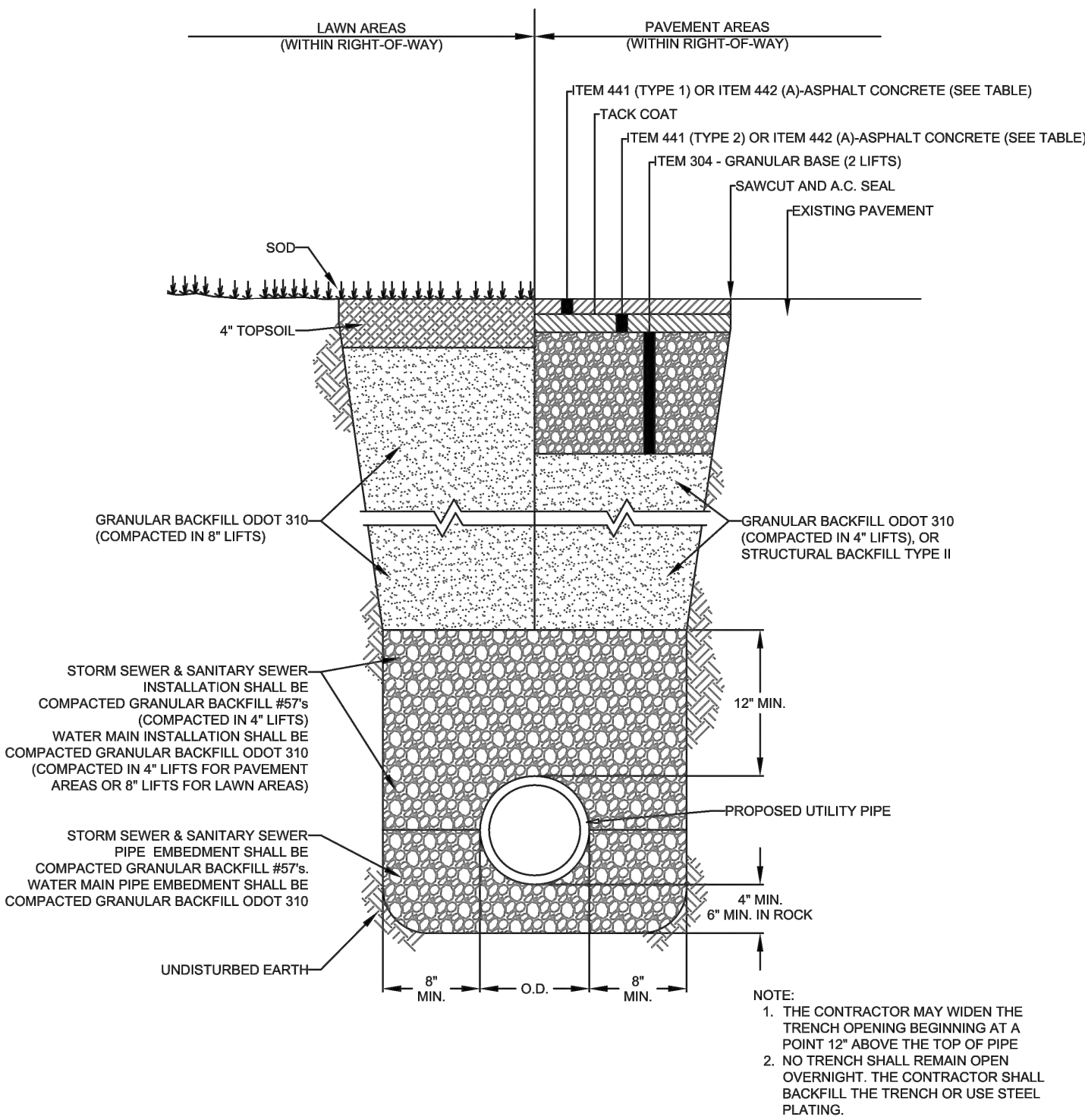
TITLE OF DRAWING:
**UTILITY TRENCH-DETAIL
(WITHIN RIGHT-OF-WAY)**

CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017

DWG. No.
MS-1.0

TABLE 1: PAVEMENT DESIGN STANDARDS		
ASPHALT SURFACE ON AGGREGATE BASE		
ITEM NO.	MINOR STREETS	MINOR COLLECTORS
441 (1)	1 1/4"	1 1/2"
441 (2)	1 3/4"	2 1/2"
304	10"	10"

ASPHALT SURFACE ON AGGREGATE BASE			
ITEM NO.	MAJOR COLLECTORS	MINOR ARTERIAL	MAJOR ARTERIAL
442 (A)	1 1/2"	1 1/4"	2"
442 (A)	2 1/2"	3"	3"
304	12"	12"	12"



- NOTE:
1. THE CONTRACTOR MAY WIDEN THE TRENCH OPENING BEGINNING AT A POINT 12" ABOVE THE TOP OF PIPE.
 2. NO TRENCH SHALL REMAIN OPEN OVERNIGHT. THE CONTRACTOR SHALL BACKFILL THE TRENCH OR USE STEEL PLATING.

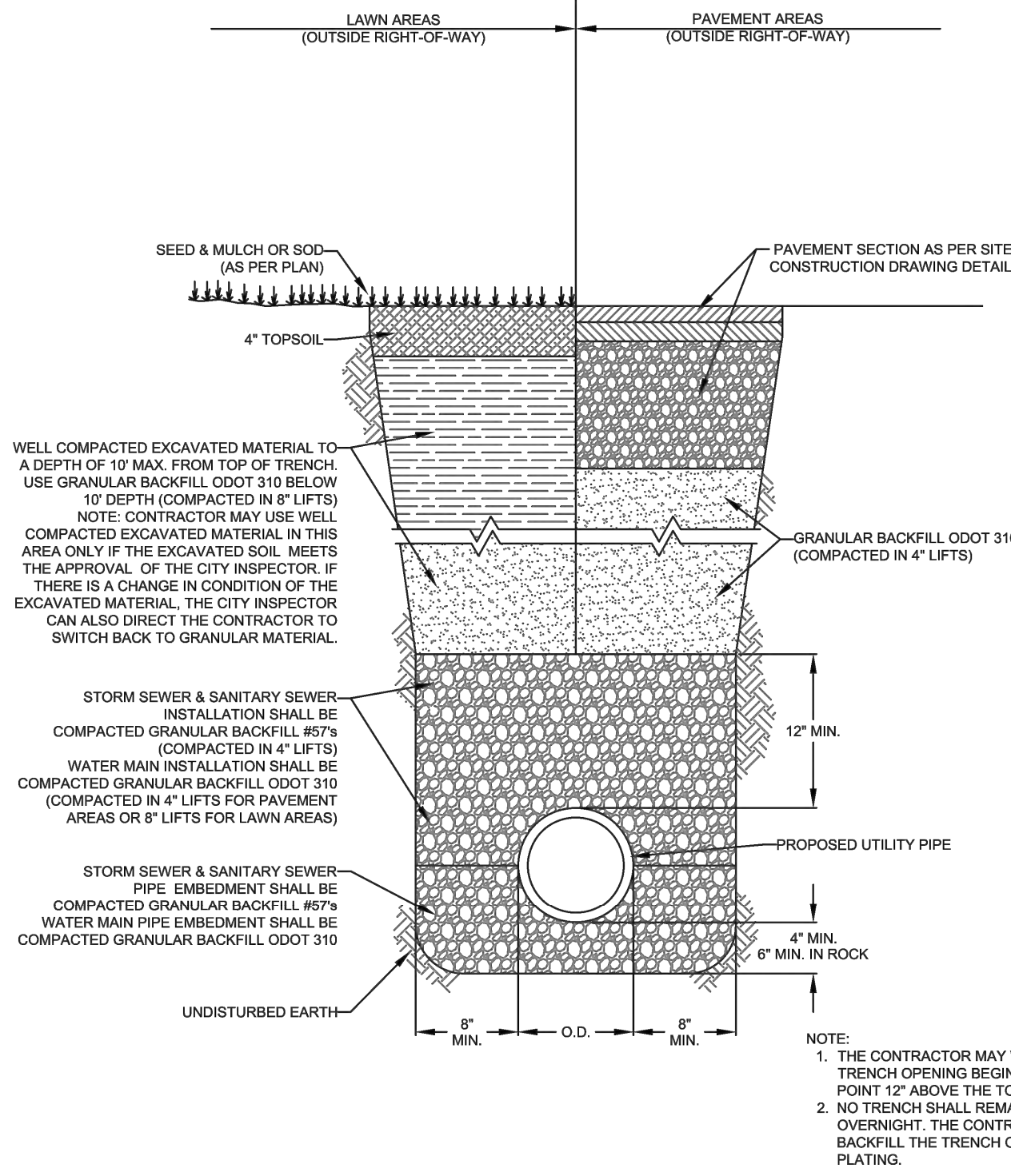


CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
6131 TAYLORSVILLE RD.
HUBER HEIGHTS, OH 45424
(937) 233-1423

TITLE OF DRAWING:
**UTILITY TRENCH-DETAIL
(OUTSIDE RIGHT-OF-WAY)**

CITY OF HUBER HEIGHTS
ENGINEERING DEPARTMENT
ISSUE DATE: 2017

DWG. No.
MS-2.0



- NOTE:
1. THE CONTRACTOR MAY WIDEN THE TRENCH OPENING BEGINNING AT A POINT 12" ABOVE THE TOP OF PIPE.
 2. NO TRENCH SHALL REMAIN OPEN OVERNIGHT. THE CONTRACTOR SHALL BACKFILL THE TRENCH OR USE STEEL PLATING.

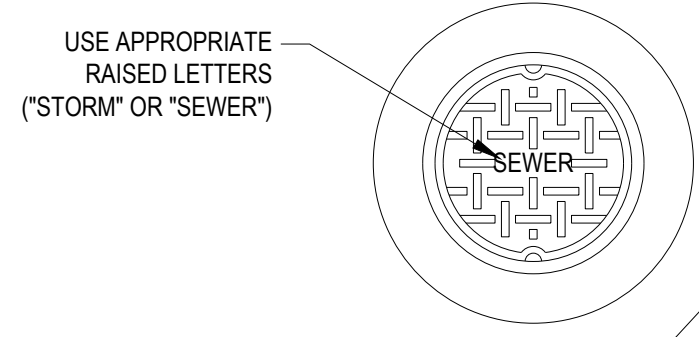
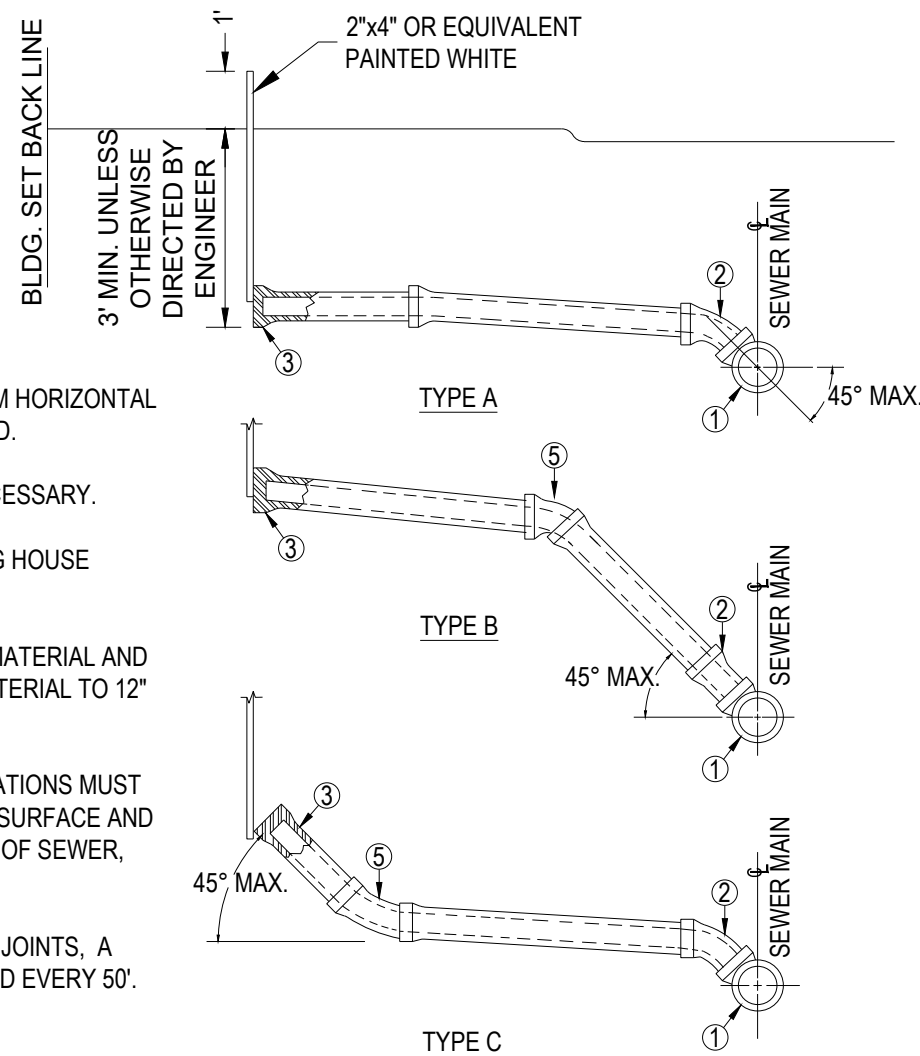
KEY NOTES:

1. TEE OR WYE-ROTATE 45° FROM HORIZONTAL UNLESS OTHERWISE SPECIFIED.
2. 1/8 BEND OR 1/16 BEND AS NECESSARY.
3. CAP UNLESS JOINING EXISTING HOUSE CONNECTION.
4. BED PIPE WITH 4" GRANULAR MATERIAL AND BACKFILL WITH GRANULAR MATERIAL TO 12" ABOVE PIPE.
5. EXACT RECORD OF BEND LOCATIONS MUST BE MADE, AS TO DEPTH FROM SURFACE AND DISTANCE FROM CENTER LINE OF SEWER, BACKFILL IS PLACED.
6. WHEN USING CHEMICAL WELD JOINTS, A RUBBER FITTING MUST BE USED EVERY 50'.

NOTES:
4" DAIM. PIPE MIN. SLOPE = 1/4"=1'
6" DAIM. PIPE MIN. SLOPE = 1/8"=1'

SANITARY LATERAL CONNECTIONS

NTS



NO. 57 STONE 8" THICK (MIN.) OR AS DIRECTED BY ENGINEER

CLEANOUT RISER PIPE

COMPACTED SUB-GRADE

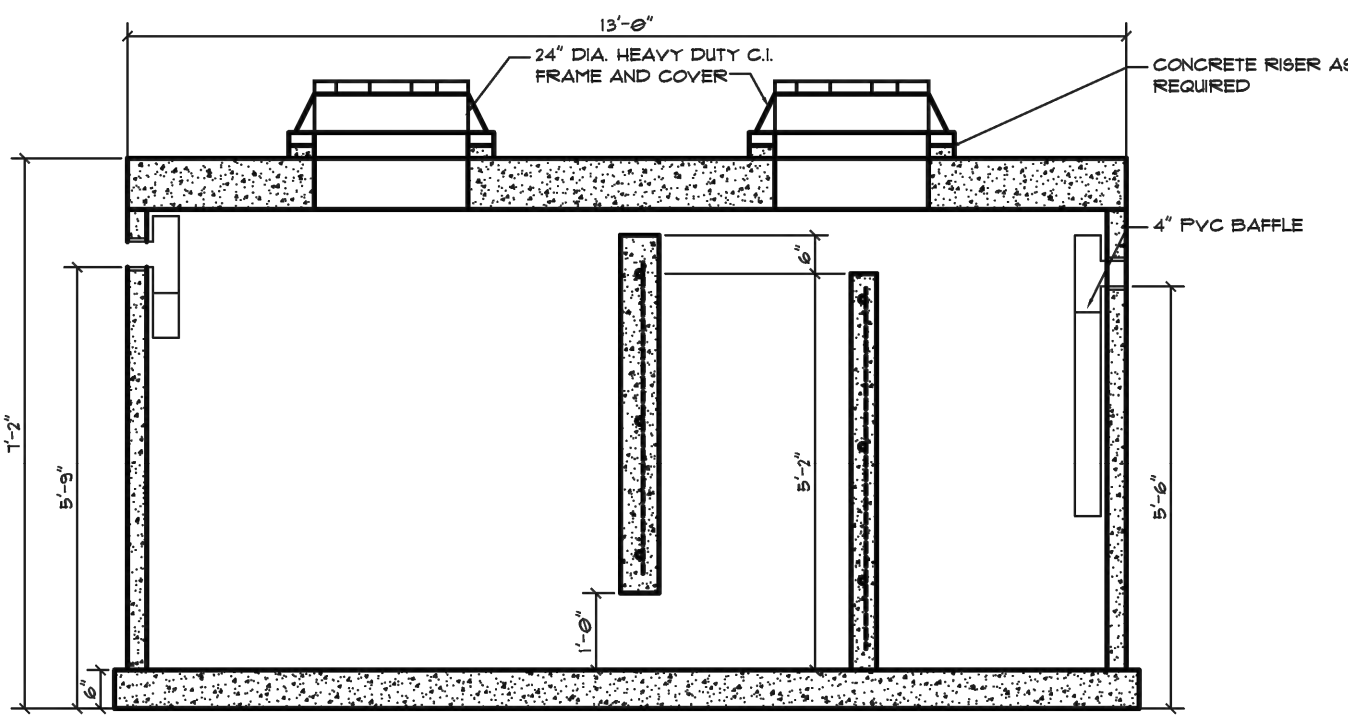
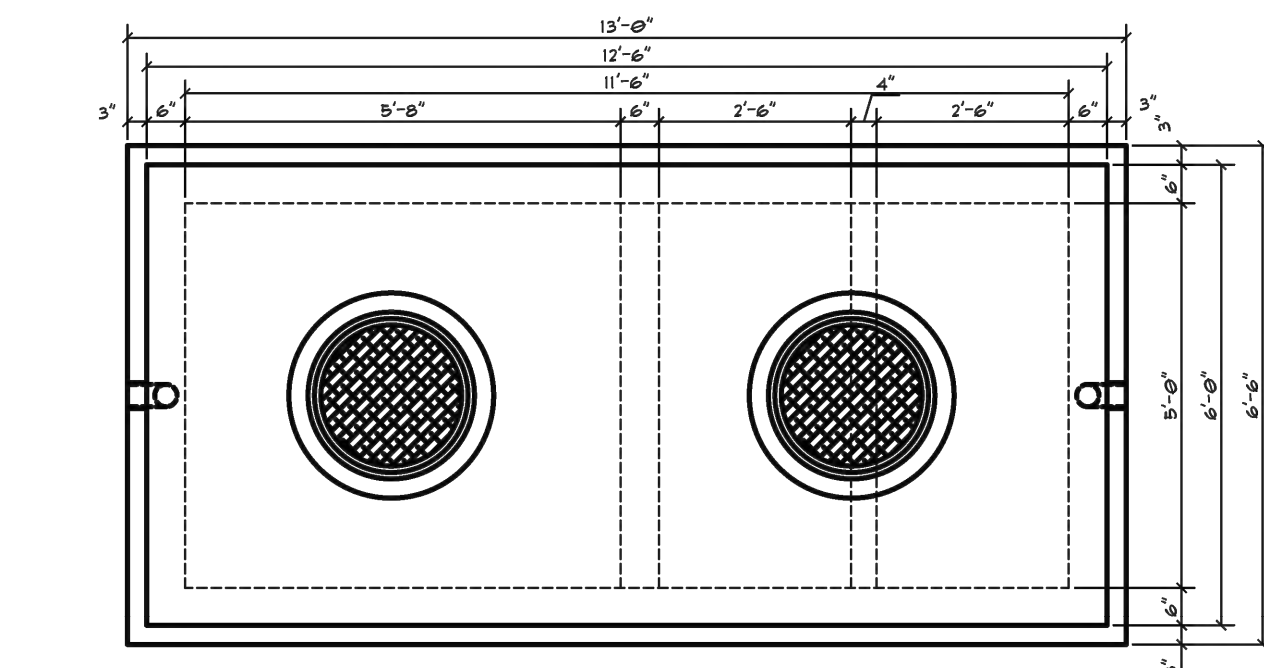
SECTION

CLEANOUT PROTECTION BOX

NTS

- NOTES:
1. TO BE USED ONLY WHERE CLEAN-OUT IS PLACED IN A PAVED AREA OR SUBJECT TO VEHICULAR TRAFFIC.

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PRECAST CONCRETE 2000 GALLON GREASE INTERCEPTOR

SCALE: NO SCALE

Convenience Architecture
and Design P.C.

351 Sheets Way, Clayburg, PA 16625 (814) 239-6013

**2000 GALLON
PRECAST CONCRETE
GREASE INTERCEPTOR**

SCALE:	AS NOTED
DATE:	09-10-19
DRAWN BY:	091
FLUSHING:	DETAIL - CC
21	



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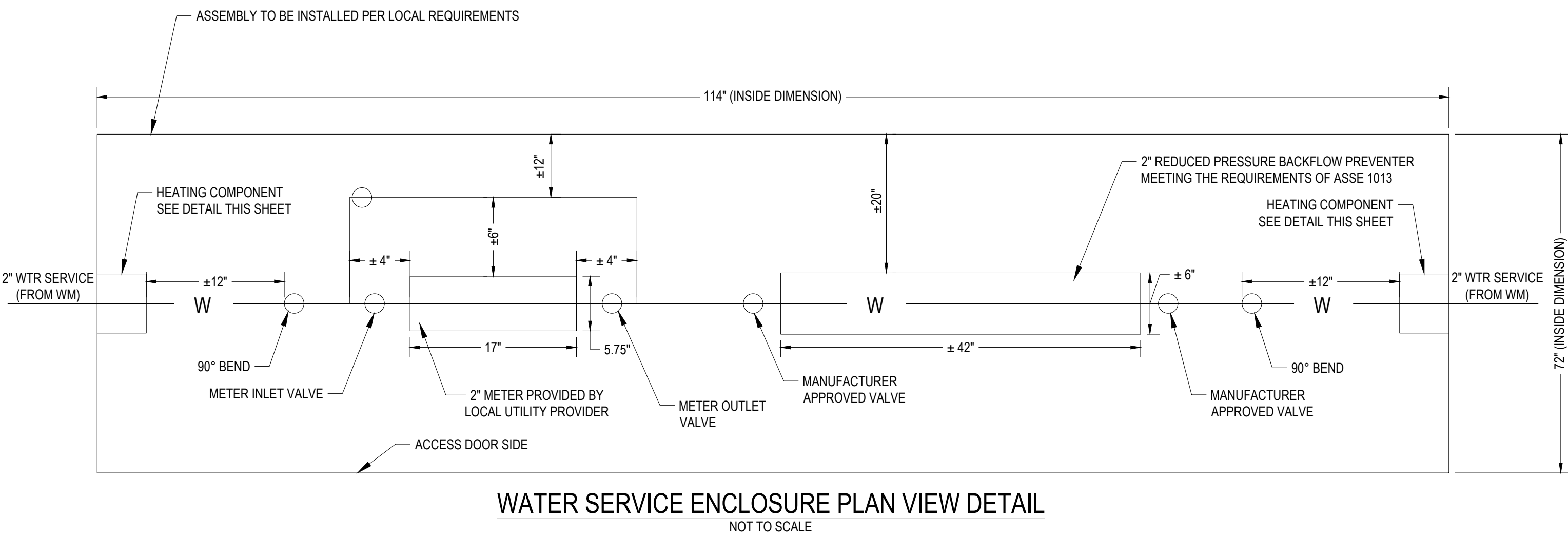
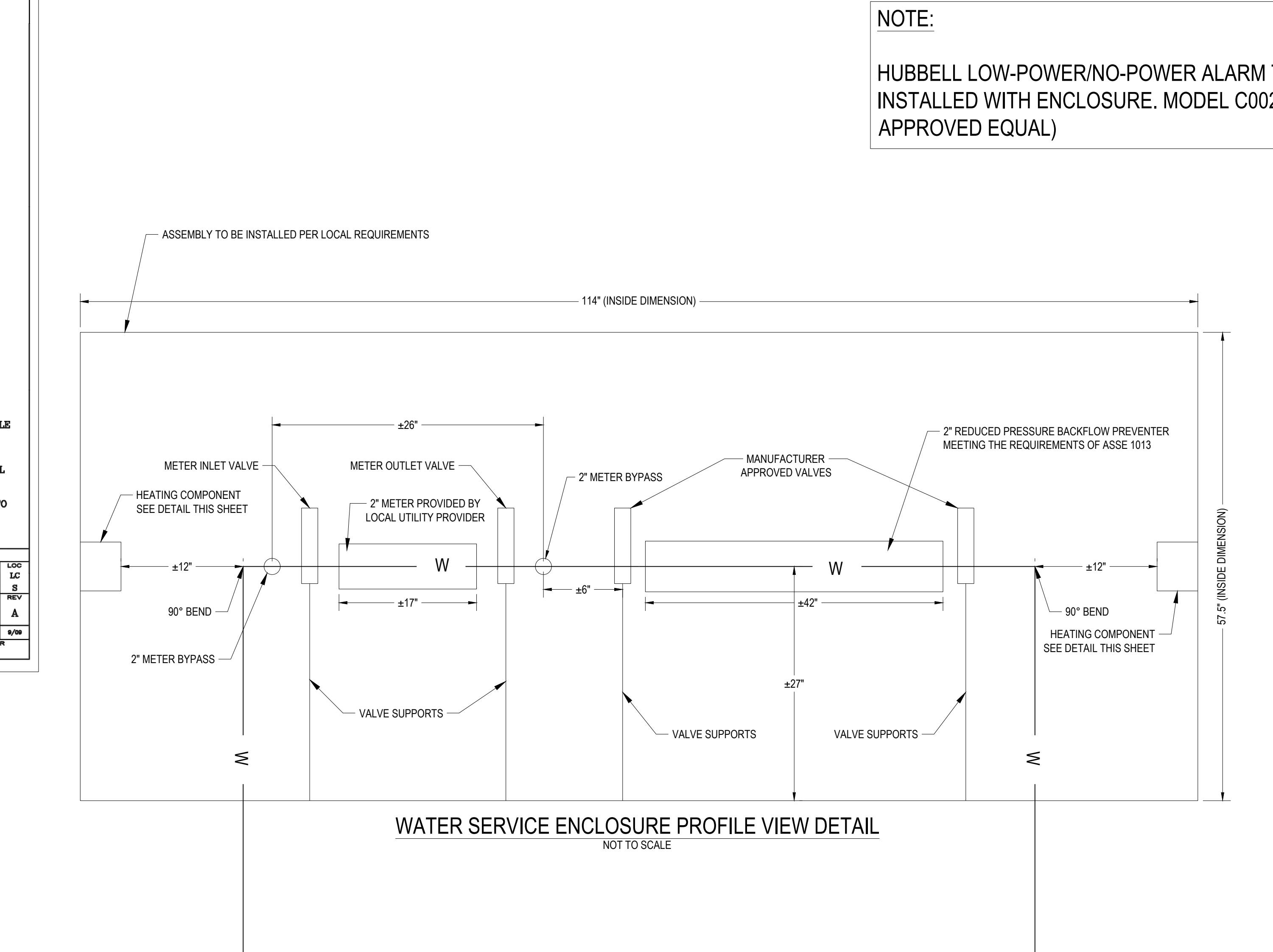
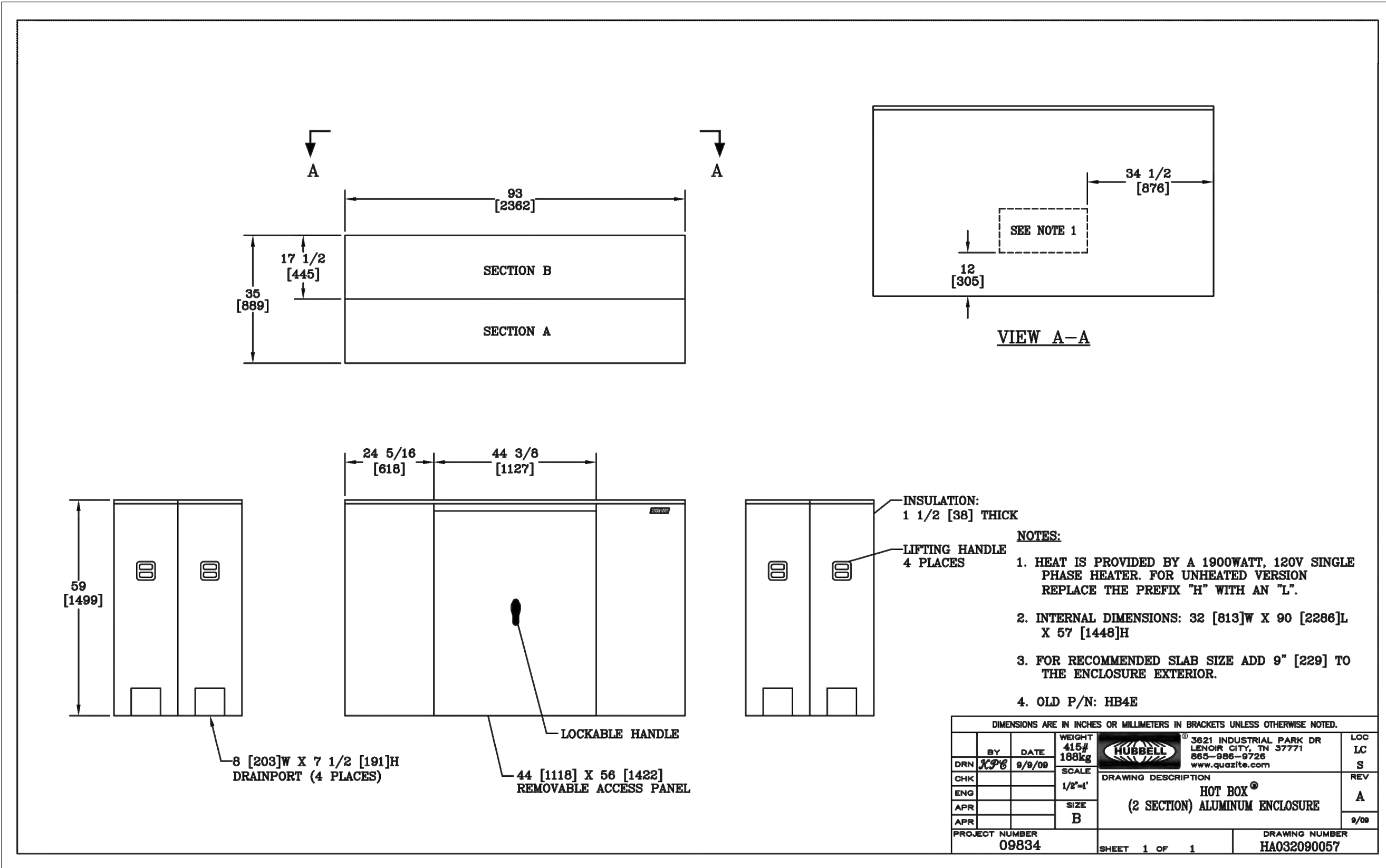
Revisions / Submissions		
ID	Description	Date

Project Number: 761668
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Drawn By: MST
Checked By: BP
Date: 04.12.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
UTILITY DETAILS

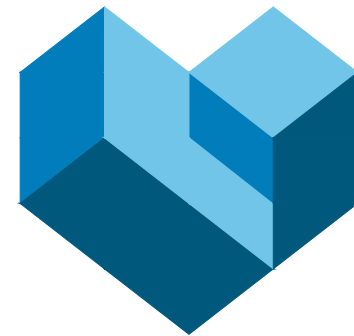
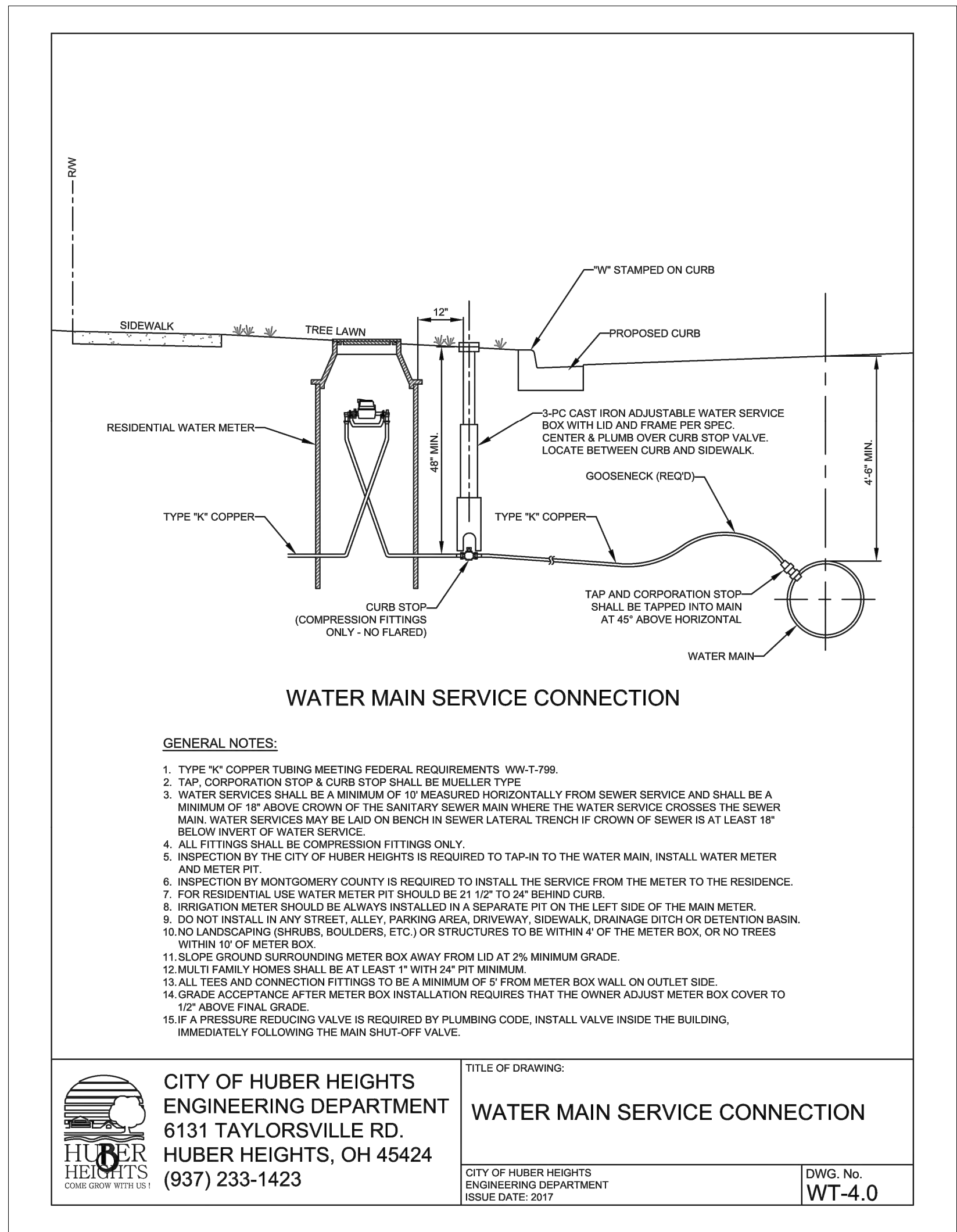
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NOTE:

HUBBELL LOW-POWER/NO-POWER ALARM TO BE INSTALLED WITH ENCLOSURE. MODEL C002350 (OR APPROVED EQUAL)



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Revisions / Submissions

ID Description Date

Project Number: 761668

Scale: AS SHOWN

Drawn By: MST

Checked By: BP

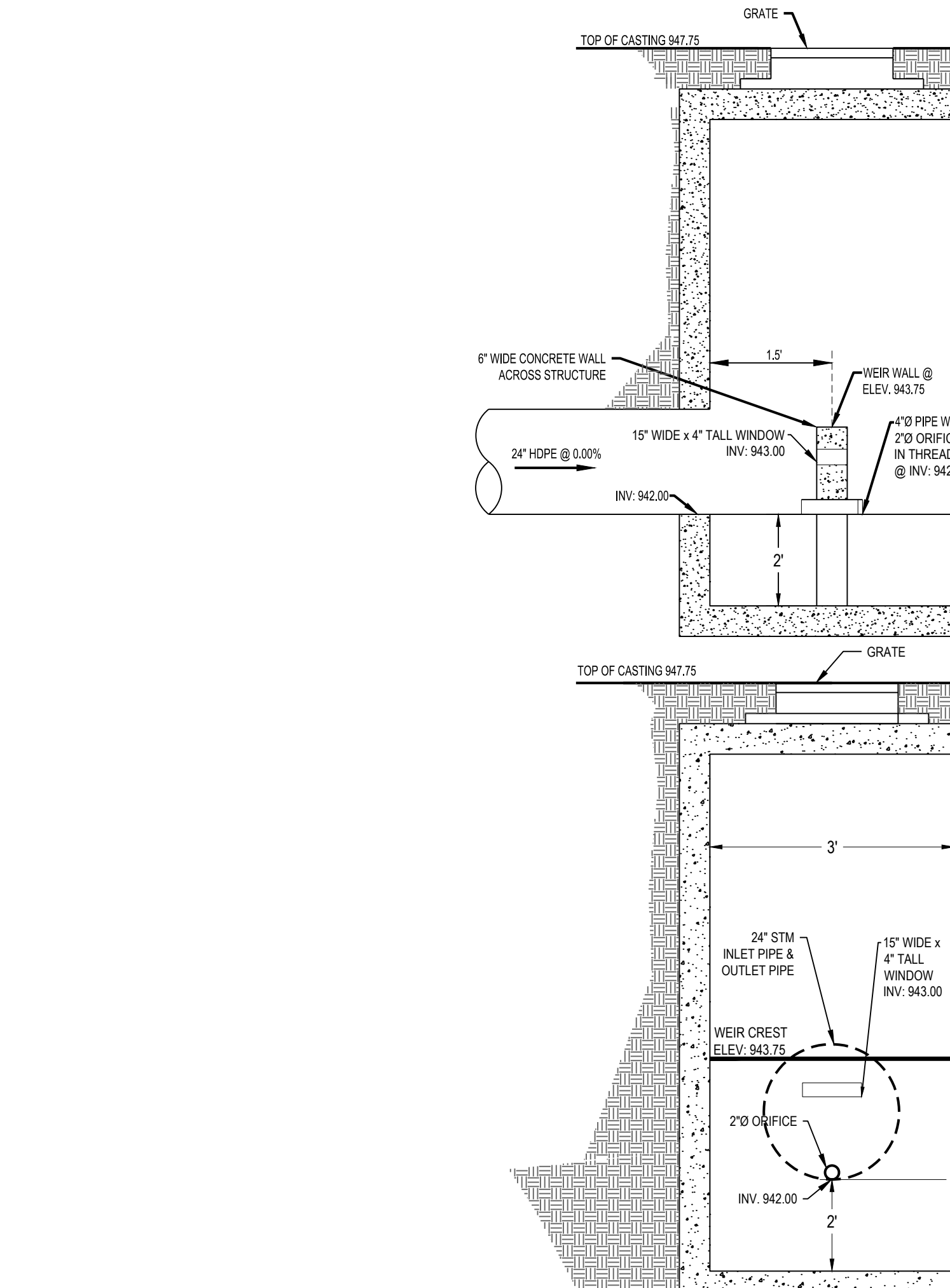
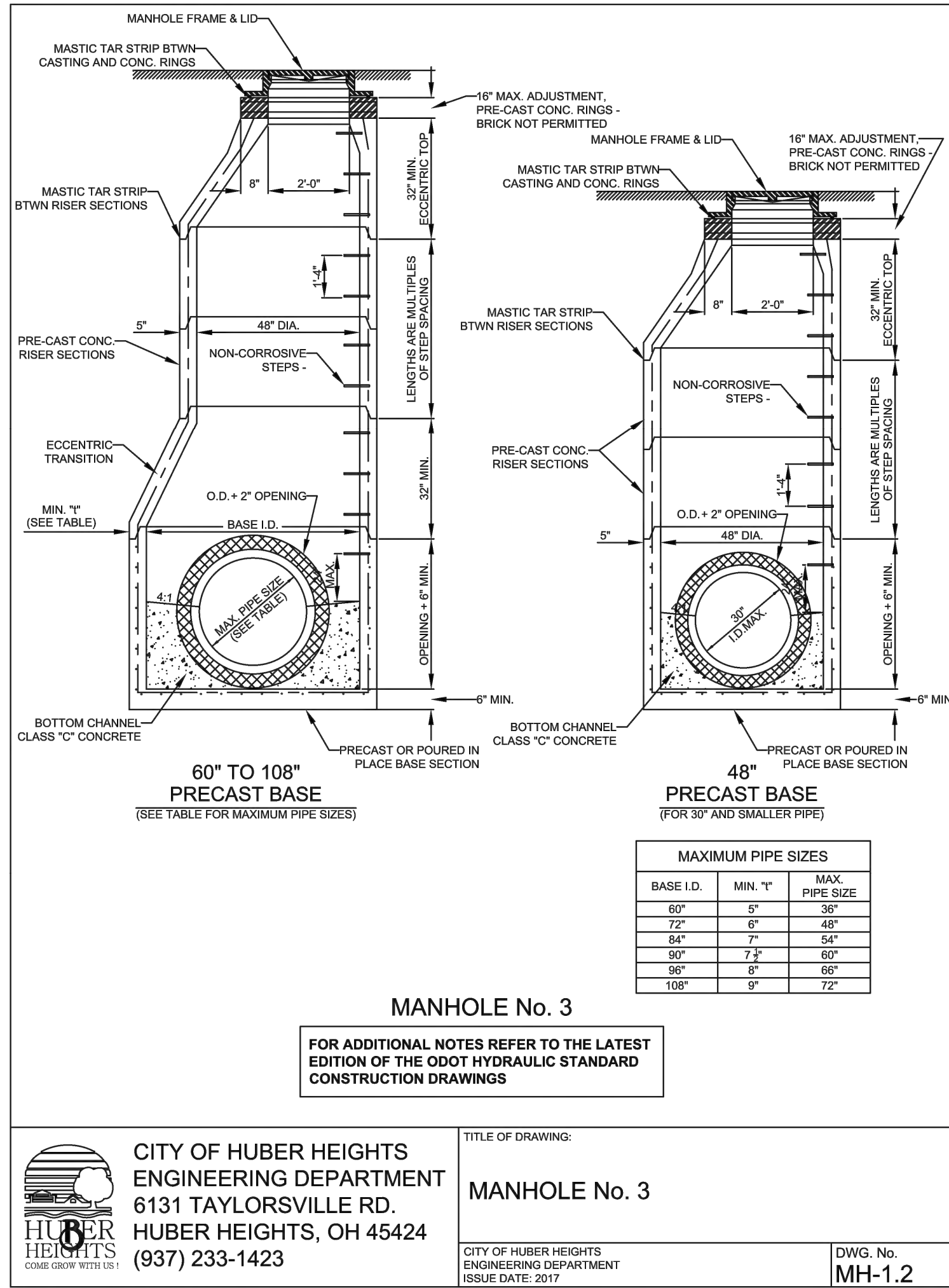
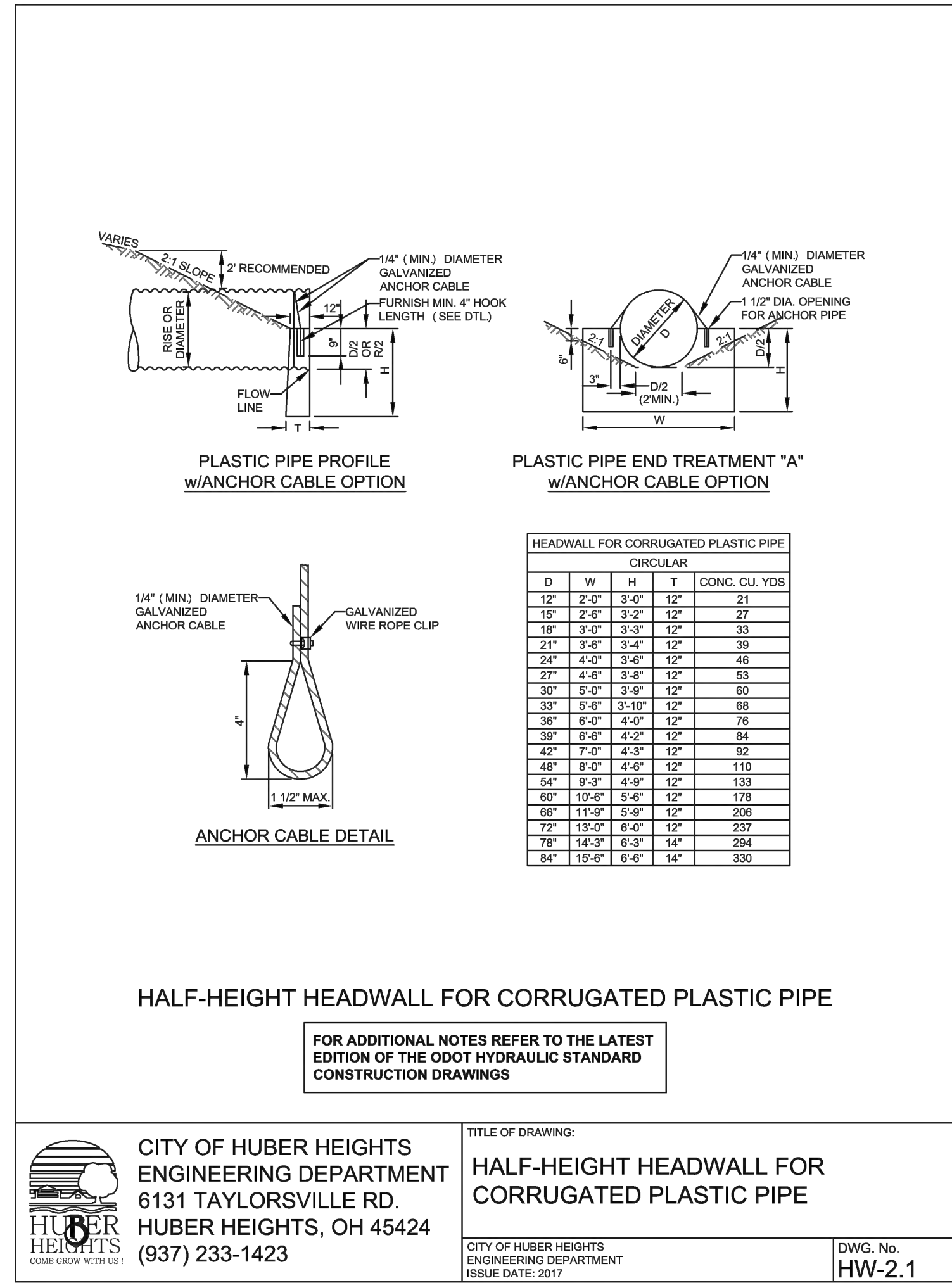
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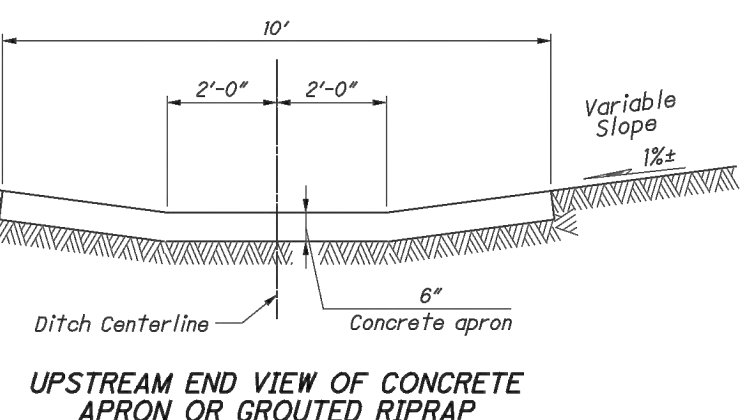
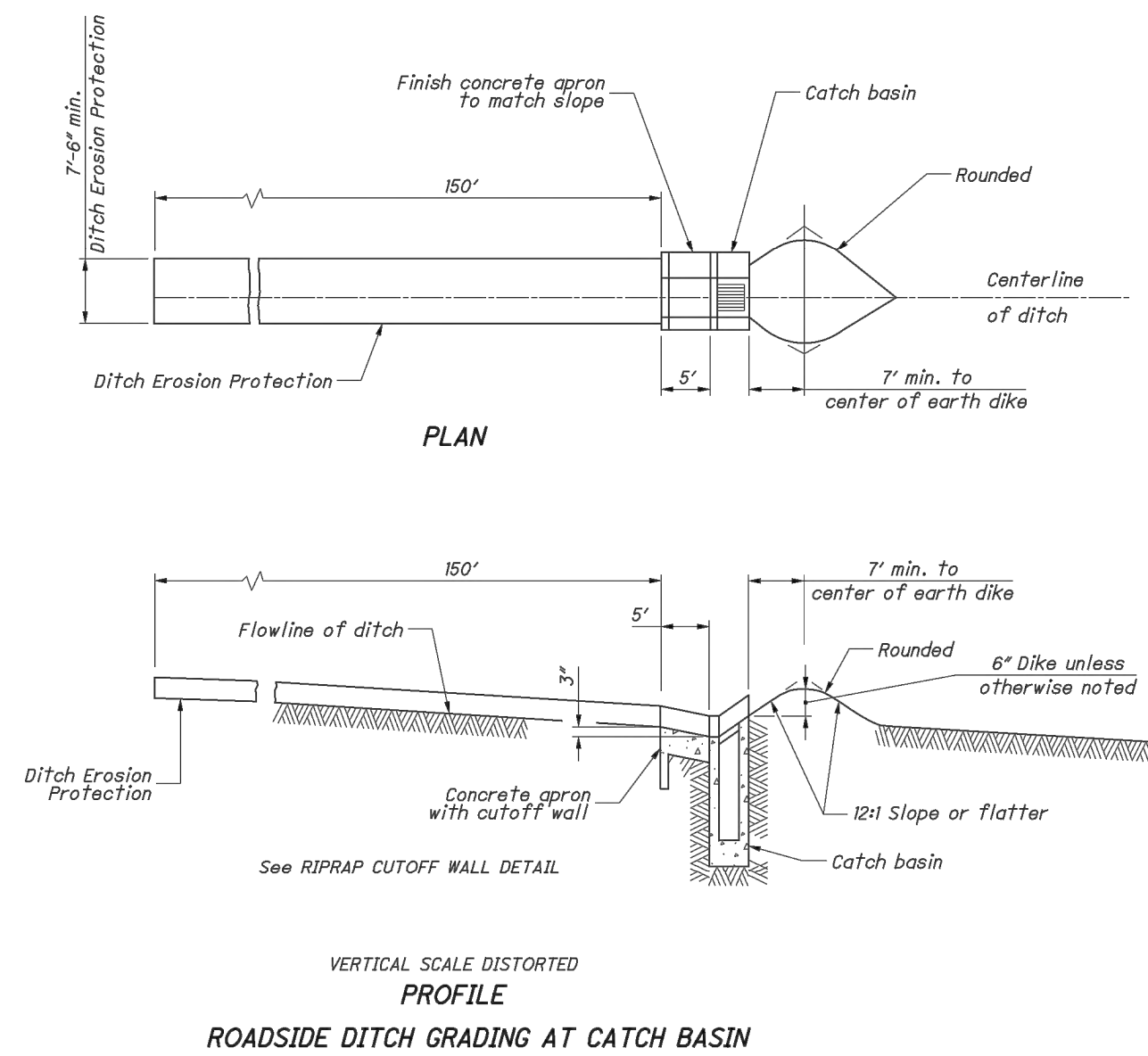
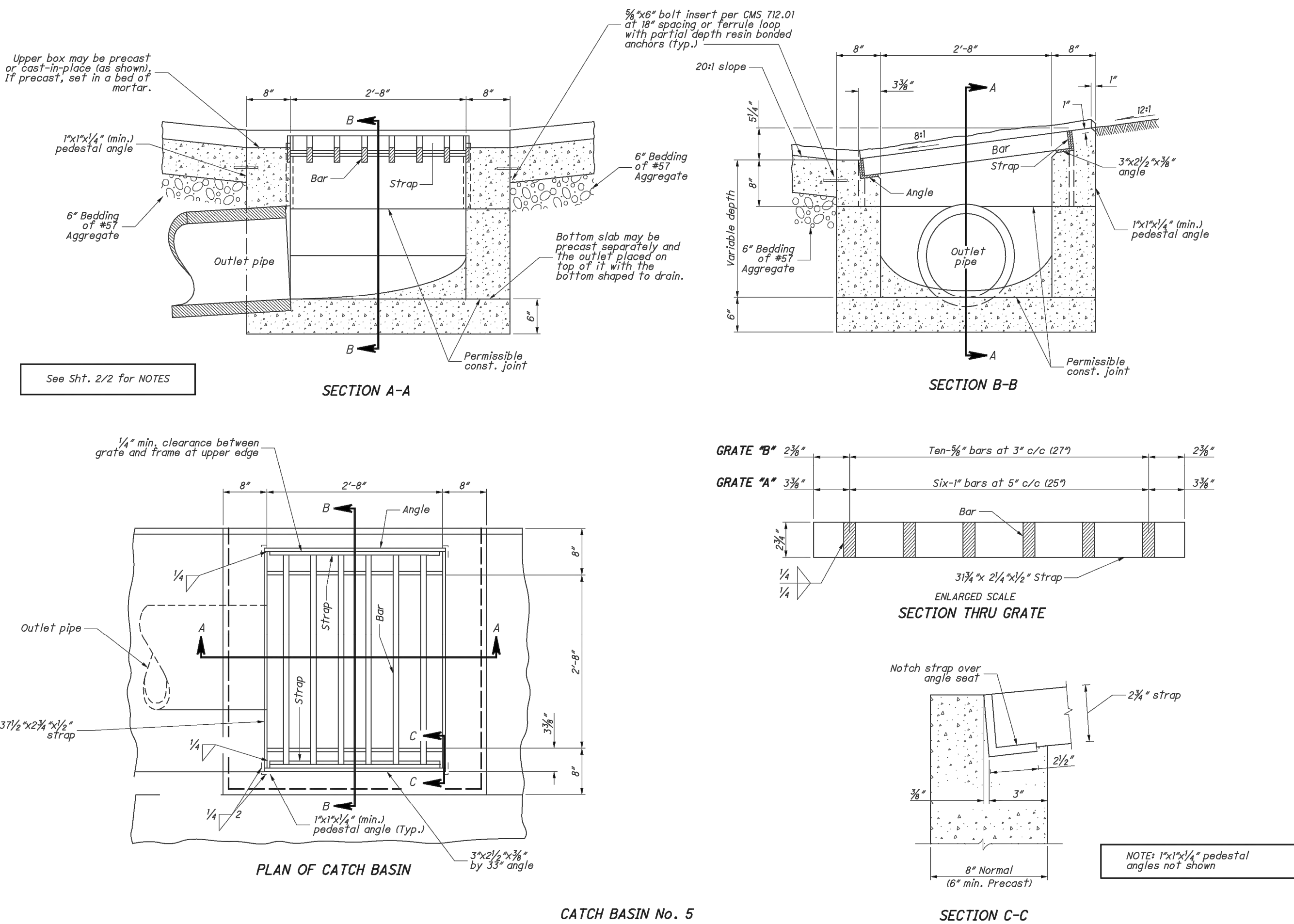
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UTILITY DETAILS

C7.6



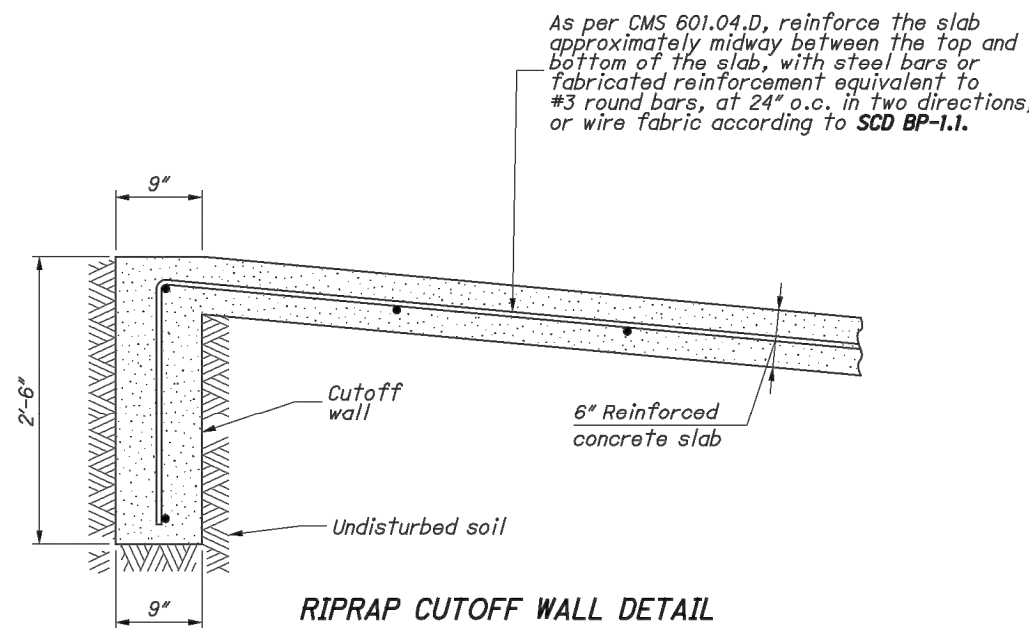
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CONSTRUCTION INFORMATION

Typical weight of grate = 185 lbs.

Typical weight of frame = 60 lbs.



NOTES

GRATE AND FRAME: Use structural steel according to CMS 711.01 and 53. Provide a design essentially the same and equally as strong as the one shown.

GRATE: Depress the grate 3" below the upstream end of the concrete apron at the centerline of the ditch. Furnish and install grate "A" unless Grate "B" is specifically required by the plans.

WALLS: Construct brick or cast-in-place walls with a nominal thickness of 8" from the bottom slab to the upper box.

PRECAST CONSTRUCTION: Permitted, except for the apron. Meet the concrete requirements of CMS 106.10. Provide precast walls of least 6" thick with sufficient reinforcing to permit shipping and placement without damage. Reduce the wall thickness from the outside.

STEPS: Provide steps meeting the requirements of SCD MH-1 where the depth exceeds 6".

BASINS OVER 12 FEET DEEP: Use precast or cast-in-place concrete; reinforce with #4 bars on 12" centers both vertically and horizontally with 2" clearance from inside wall faces.

LOCATION AND ELEVATION: When given on the plans, the location is the center of the grate. The elevation is the lowest point on the grate.

OPENINGS: Ensure pipe openings shall be the O.D. of the pipe being installed plus 2" when fabricated or field cut. Fill any voids per CMS 611.

CONCRETE APRONS: Construct aprons in such a manner that the outside edges are at equal elevations.

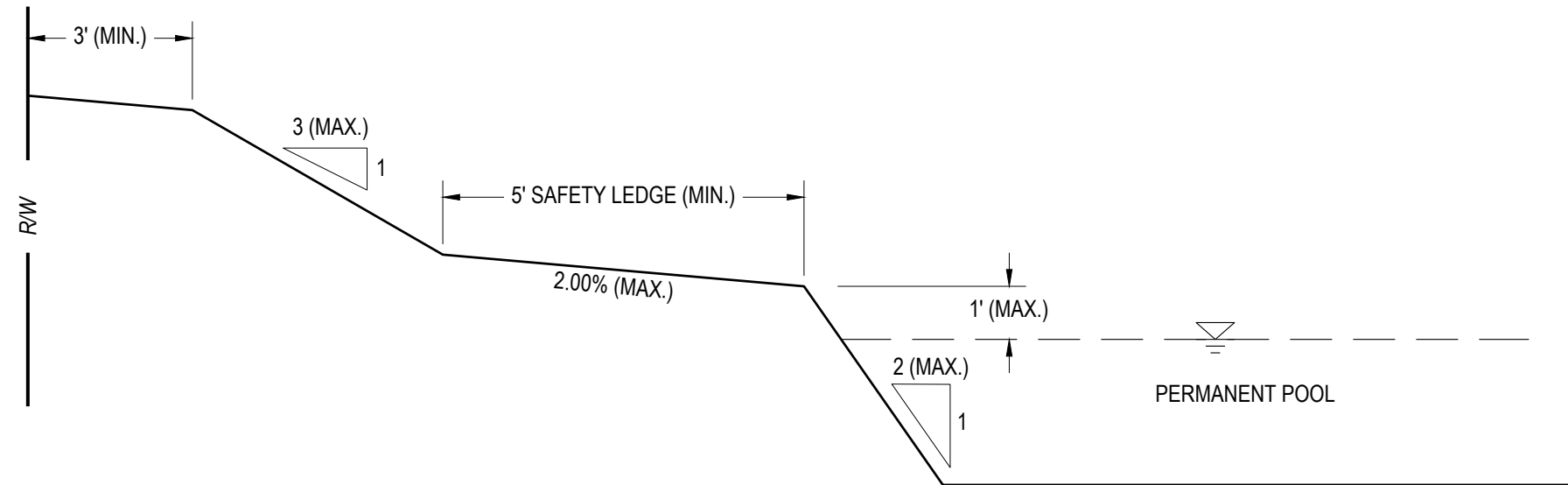
If specified in the plans, grouted riprap may be used in place of the concrete apron.

DITCH PROTECTION: Provide a 150' length of ditch erosion protection as shown. Installation and payment for ditch erosion protection are per CMS 610.

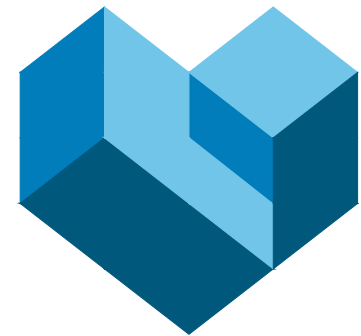
BASINS IN SAG: When in a sag, omit the earth dike and longitudinal slope of the grate, and provide concrete apron and ditch protection on each side of the basin.

PAYMENTS: The concrete apron with cutoff wall or grouted riprap and dike are incidental to **Item 611 - Catch Basin, No. 5**. However, the apron is not required when **Item 611 - Catch Basin, No. 5 Without Apron**, is specified.

When itemized separately, payment for Item 601 Riprap using 6" Reinforced Concrete Slab includes the cost of the cutoff wall.

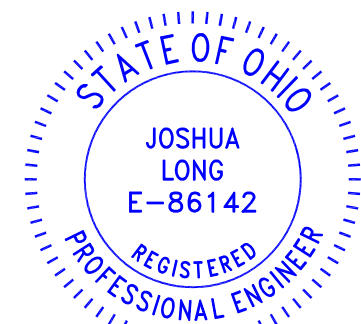


STATE OF OHIO DEPARTMENT OF TRANSPORTATION PUBLIC ENGINEER	Jeffery E. Syar
OFFICE OF HYDRAULICS ENGINEERING	M. Cozzoli
CATCH BASIN No. 5	CB-5
1	2



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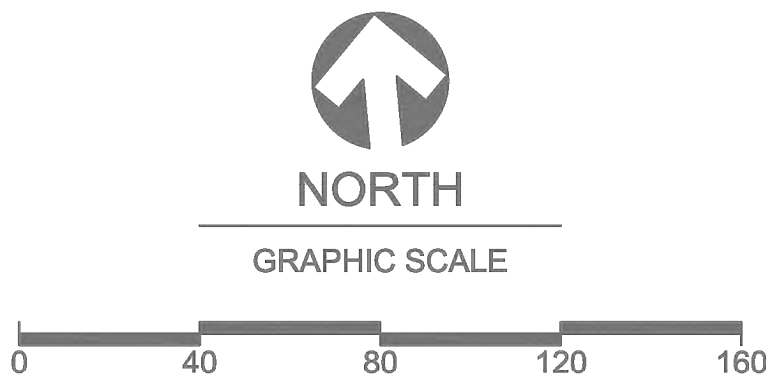
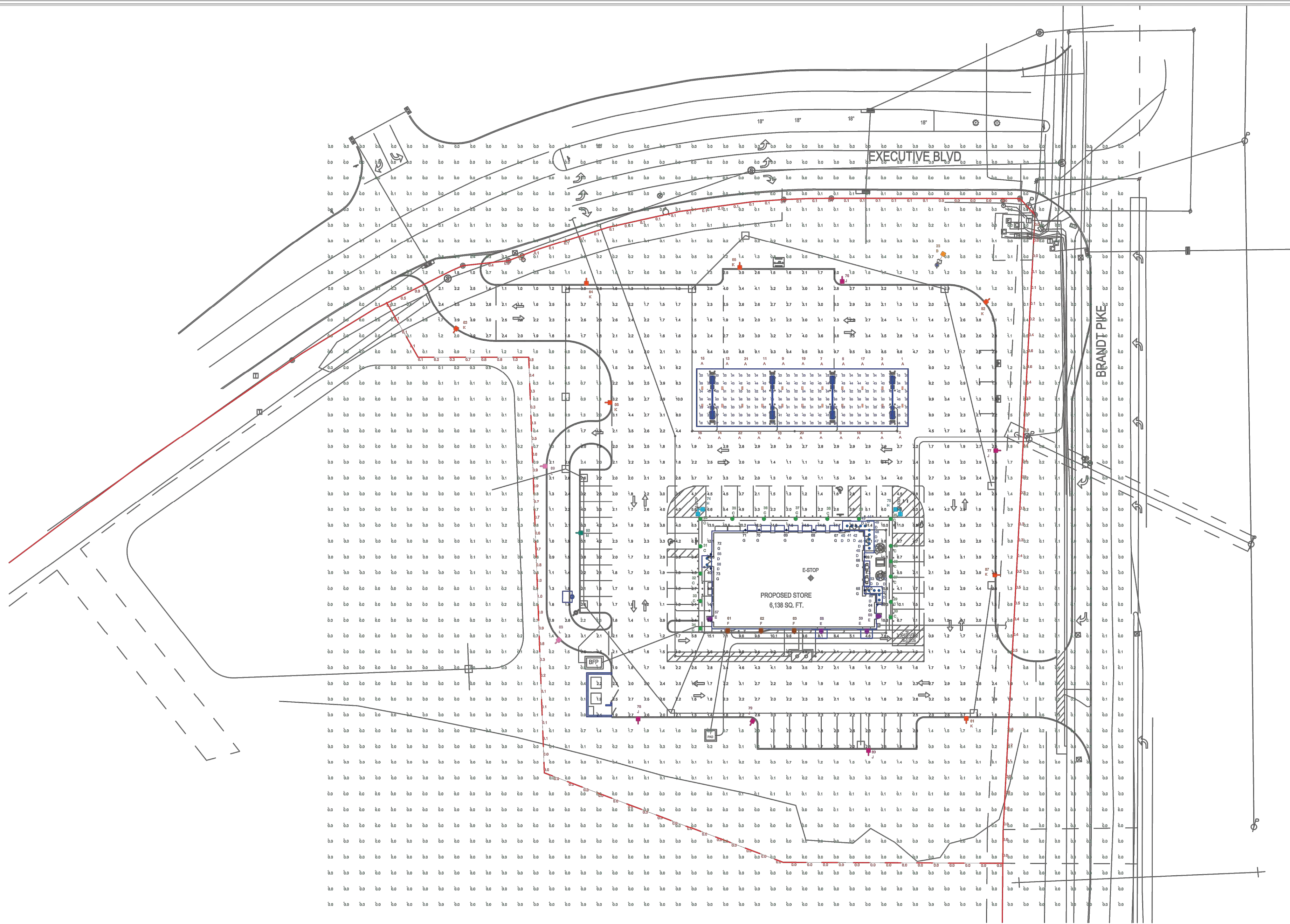
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Drawn By: MST
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Issue: NOT FOR CONSTRUCTION

Drawing Title:
STORM DETAILS

C7.8

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LUMINAIRE LOCATION SUMMARY			
LUM NO.	LABEL	MTG. HT.	TILT
1	A	18.79	-5
2	A	17.83	-5
3	A	18.79	-5
4	A	17.83	-5
5	A	18.79	-5
6	A	17.83	-5
7	A	18.79	-5
8	A	17.83	-5
9	A	18.79	-5
10	A	17.83	-5
11	A	18.79	-5
12	A	17.83	-5
13	A	18.79	-5
14	A	17.83	-5
15	A	18.79	-5
16	A	17.83	-5
17	A	18.79	-5
18	A	17.83	-5
19	A	18.79	-5
20	A	17.83	-5
21	A	18.79	-5
22	A	17.83	-5
23	B	1	166
24 - 39	C	3	0
40 - 56	D	11.33	0
57 - 60	E	9	0
61 - 63	F	12	0
64 - 73	G	7	0
74, 75	H	23	0
76 - 80	J	23	0
81 - 87	K	23	0
88, 89	L	23	0
90	M	23	0

NOTES:
- ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PROPERTY LINES	0.23	1.0	0.0	N.A.	N.A.
SITE PAVED AREA	3.52	45.6	0.9	3.91	50.67
UNDEFINED	0.15	2.5	0.0	N.A.	N.A.
UNDER CANOPY	40.19	57	14	2.87	4.07

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS
REGULATED BY LOCAL ORDINANCES

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER
	22	A	SINGLE	11213	1.030	B3-U0-G0	71.28	1568.16	CREE, INC.
	1	B	SINGLE	11950	1.040	B4-U0-G0	72	72	CREE, INC.
	16	C	SINGLE	1441	1.030	B1-U0-G1	22	352	CREE, INC.
	17	D	SINGLE	484	1.000	N.A.	6.9	117.3	B-K LIGHTING, INC.
	4	E	SINGLE	2947	1.030	B1-U0-G1	36	144	CREE, INC.
	3	F	SINGLE	5893	1.030	B2-U0-G2	68	204	CREE, INC.
	10	G	SINGLE	2926	1.000	B1-U5-G0	40.26	402.6	SOLERA
	2	H	2 @ 90 DEGREES	11174	1.030	B2-U0-G2	72	288	CREE, INC.
	5	J	SINGLE	8574	1.030	B1-U0-G2	72	360	CREE, INC.
	7	K	SINGLE	8824	1.030	B1-U0-G2	72	504	CREE, INC.
	2	L	SINGLE	5450	1.030	B1-U0-G1	48	96	CREE, INC.
	1	M	SINGLE	11175	1.030	B2-U0-G2	72	72	CREE, INC.

CATALOG LOGIC									
				CAN-228-PS-RM-06-E-UL-XX-525-57K					
				OSQ-ML-B-AA-XX w/PGM-1 + OSQM-B-11L-57K7-N3-UL-NM-XX					
				PWY-EDG-3M-P3-02-E-UL-XX-350-57K					
				CH-LED-#69-FL-BZP-12/TR150 (BY OTHERS, SHOWN FOR CONTRIBUTION)					
				SEC-EDG-3M-WM-02-E-UL-XX-525					
				SEC-EDG-3M-WM-04-E-UL-XX-525					
				2SRBK6-12WLED-WW-120-U/D-E(UP)-O(DN)-WM-BZ (BY OTHERS, SHOWN FOR CONTRIBUTION)					
				OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-4M-UL-NM-XX					
				OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-4M-UL-NM-XX-w_ OSQ-BLSMF					
				OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-3M-UL-NM-XX-w_ OSQ-BLSMF					
				OSQ-ML-B-DA-XX + OSQM-B-6L-57K7-3M-UL-NM-XX-w_ OSQ-BLSMF					
				OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-3M-UL-NM-XX					

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SCALE:
1" = 40'

LAYOUT BY:
DAR

DWG SIZE:
D

DATE:
3/10/23

PROJECT NAME:
SHEETZ
HUBER HEIGHTS, OH
DRAWING NUMBER:
RL-8614-S1



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513-574-9500 | redleonard.com



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SHEETZ -
HUBER HEIGHTS, OH
EXECUTIVE BOULEVARD & BRANDT PIKE
HUBER HEIGHTS, OH 45424

Revisions / Submissions

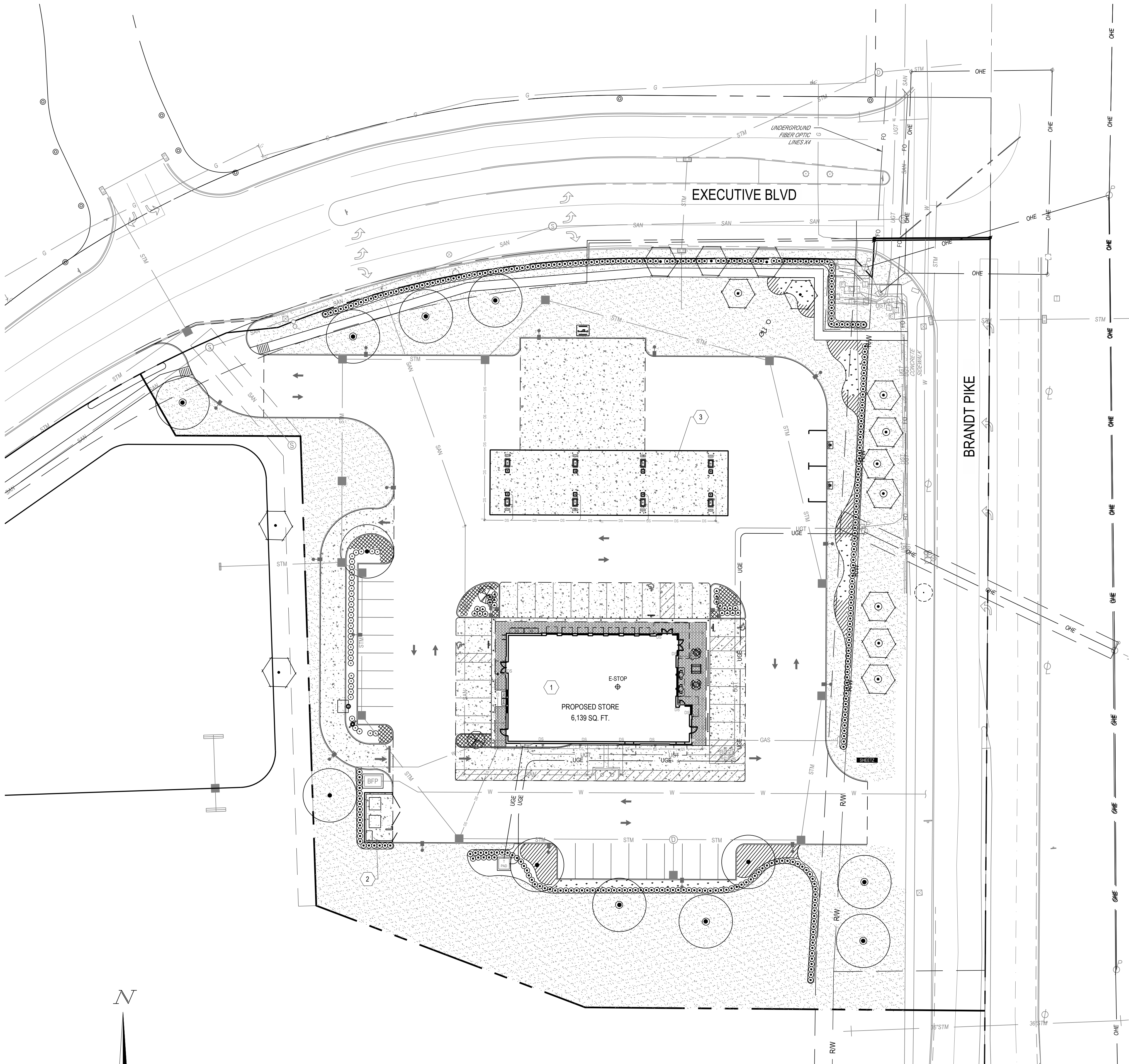
ID	Description	Date
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Project Number: 761688
Scale: AS SHOWN
Drawn By: MST
Checked By: BP
Date: 04.12.2023
Issue: NOT FOR CONSTRUCTION

Drawing Title:
PHOTOMETRIC PLAN

C8.0

W:\PROJECTS\SKILKEN GOLD\761668-01 Skilken Gold - 105 Sheetz - Huber Heights, OH\06-LA PLAN, CD\Sheetz-Huber Heights, OH-Planting.dwg - 4/13/2023 - Mark Romanov



CODED NOTES:

- PROPOSED 6,138 DF BUILDING
- PROPOSED TRASH ENCLOSURES
- PROPOSED GAS CANOPY





PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
●	12	ACER BUERGERIANUM TRIDENT MAPLE	2.5" CAL	12-14' HT.	AS SHOWN
●	13	OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM	2.5" CAL	12-14' HT	AS SHOWN
●	2	PRUNUS X 'JFS-KW14' FIRST BLUSH CHERRY	2" CAL	8-10' HT	AS SHOWN

SHRUBS

○	35	ABELIA X EDWARD GOUCHER' EDWARD GOUCHER ABELIA	—	24" HT	3'-0" OC
○	236	ILEX CRENATA JAPANESE HOLLY	—	24" HT	3'-0" OC
○	66	JUNIPERUS CHINENSIS 'GOLD COAST' GOLD COAST® JUNIPER	—	24" HT.	4'-0" O.C.
○	19	SPIRAEA X BUMALDA 'VALBUMA'	—	16" HT	3'-0" O.C.

GROUND COVERS

	524	HYPERICUM ADPRESSUM CREEPING ST. JOHNSWORT	—	1'-0" OC
	286	LIRIOPE GRAMINIFOLIA LEYTURF	1 GAL	1'-0" OC
	73	MUHLENBERGIA CAPILLARIS PNK MUHLY GRASS	—	12" HT 3'-0" O.C.
	50,449 SF	POA PRATENSIS KENTUCKY BLUEGRASS	500	

IRRIGATION

- THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SODDED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

LANDSCAPE REQUIREMENTS

PARKING BUFFERS ALONG PUBLIC RIGHTS-OF-WAY	EXECUTIVE BLVD (354 LF, NOT INCL DRIVES)
BRANDT PIKE (370 LF, NOT INCL DRIVES)	
REQUIRED WIDTH: 10'	REQUIRED WIDTH: 10'
PROPOSED WIDTH: 35'	PROPOSED WIDTH: 42'
REQUIRED CANOPY TREES (1 PER 40'):	REQUIRED CANOPY TREES (1 PER 40'):
10	9
PROPOSED CANOPY TREES: 10 (1 EXISTING, 9 PROPOSED)	PROPOSED CANOPY TREES: 9
REQUIRED SHRUBS (10 PER 35'):	REQUIRED SHRUBS (10 PER 35'):
106	103
PROPOSED SHRUBS:	PROPOSED SHRUBS:
106	103

PARKING LOT INTERIOR REQUIREMENTS
REQUIRED PERCENTAGE PERVIOUS AREA: 2,995 SF (4% OF TOTAL AREA: 74,875 SF)
PROPOSED PERCENTAGE PERVIOUS AREA: 2,483 SF (3.2% OF TOTAL AREA)

TERMINAL ISLAND PLANTING
REQUIRED COVERING OTHER THAN SOD: 75%
PROPOSED COVERING OTHER THAN SOD: 100%

LEGEND

— RW —	— RIGHT-OF-WAY —
— - - —	— PROPERTY LINE —
— — — —	— SETBACK —
— — — —	— EASEMENT —
▨	BUILDING
— — — —	CONCRETE CURB
— — — —	PAVEMENT/WALK
— STM —	STORM LINE
— SAN —	SANITARY LINE
— W —	WATER LINE
— G —	GAS LINE
— UGT —	UNDERGROUND TELEPHONE LINE
— UGE —	UNDERGROUND ELECTRIC LINE
— OHE —	OVERHEAD ELECTRIC LINE
■	SIGN
■	CATCH BASIN
⊕	STORM MANHOLE
⊕	SANITARY MANHOLE
■	FIRE HYDRANT
●	LIGHT POLE
○	EXISTING TREE TO REMAIN



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Revisions / Submissions

ID	Description	Date
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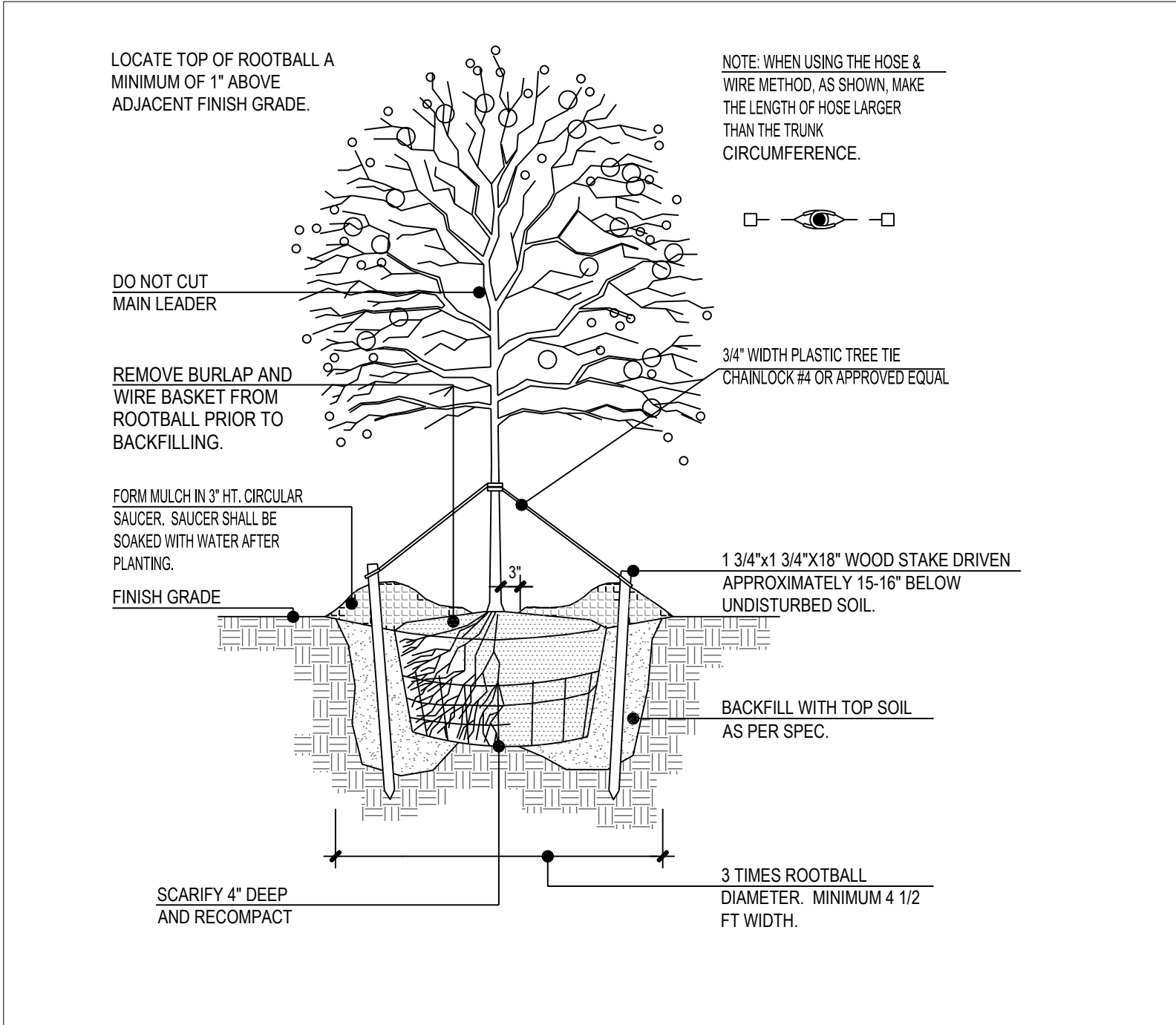
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Checked By:	EAB
Date:	04/04/2023
Issue:	FOR REVIEW

Drawing Title:

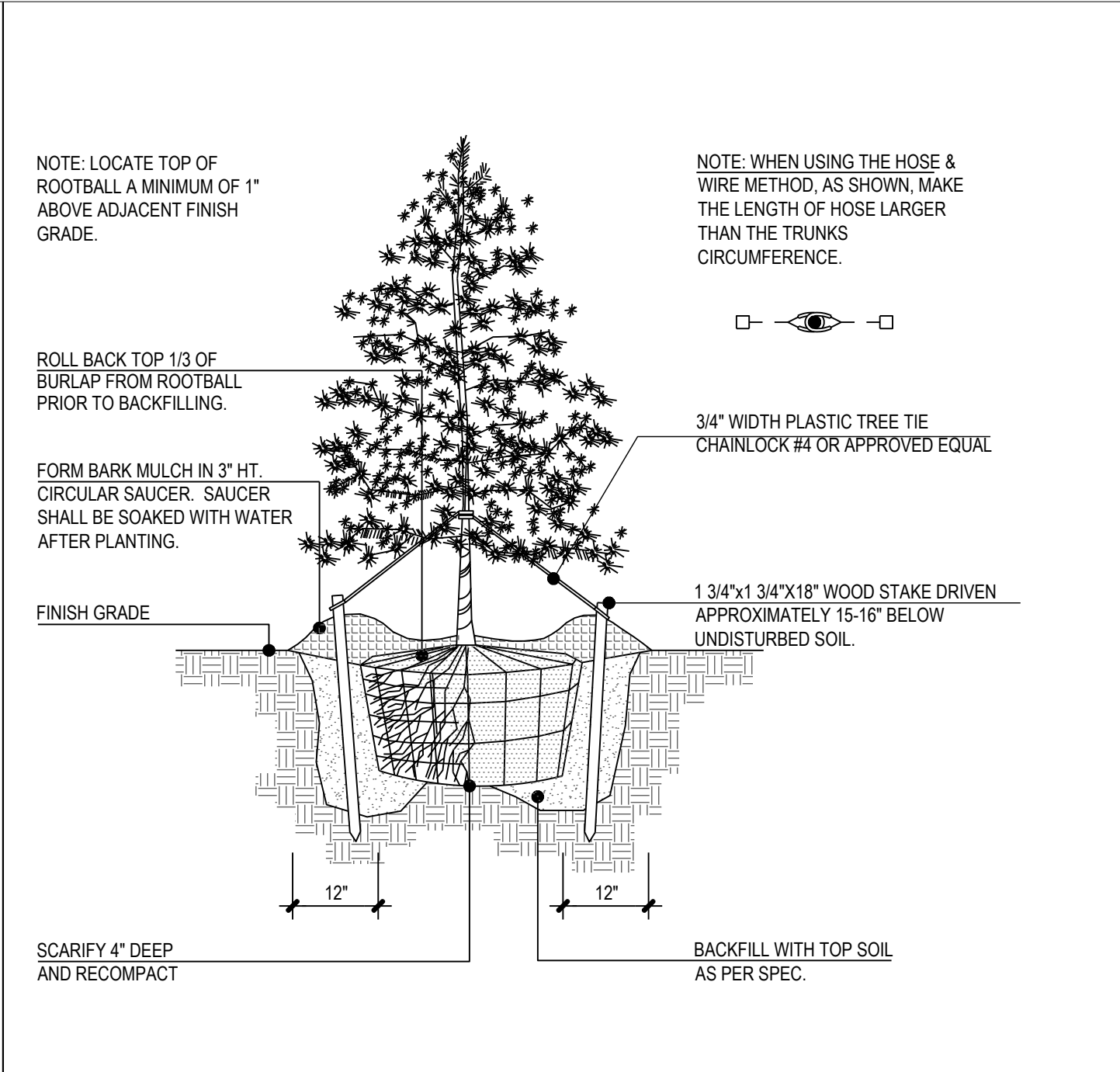
PLANTING PLAN

L1.0

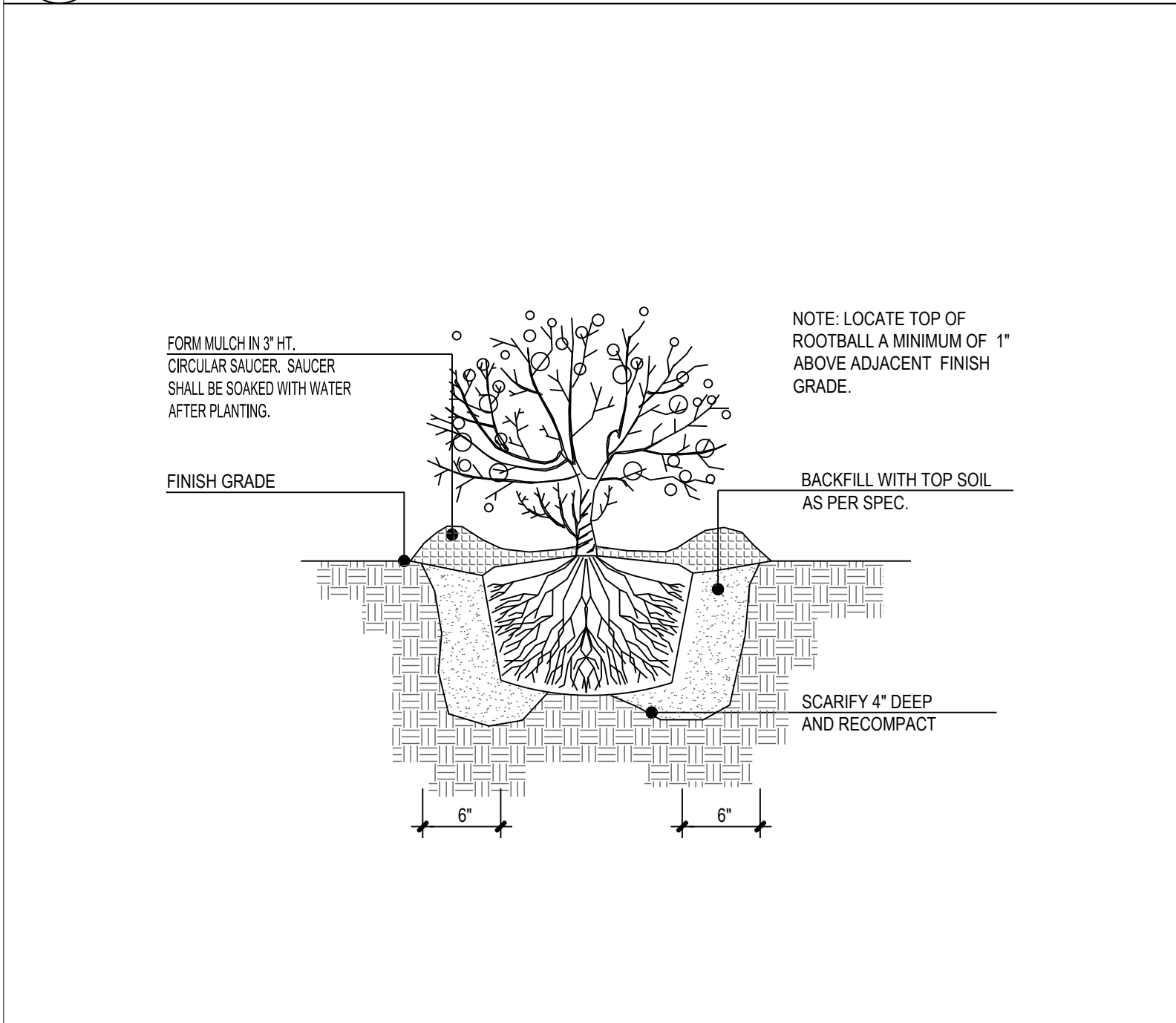
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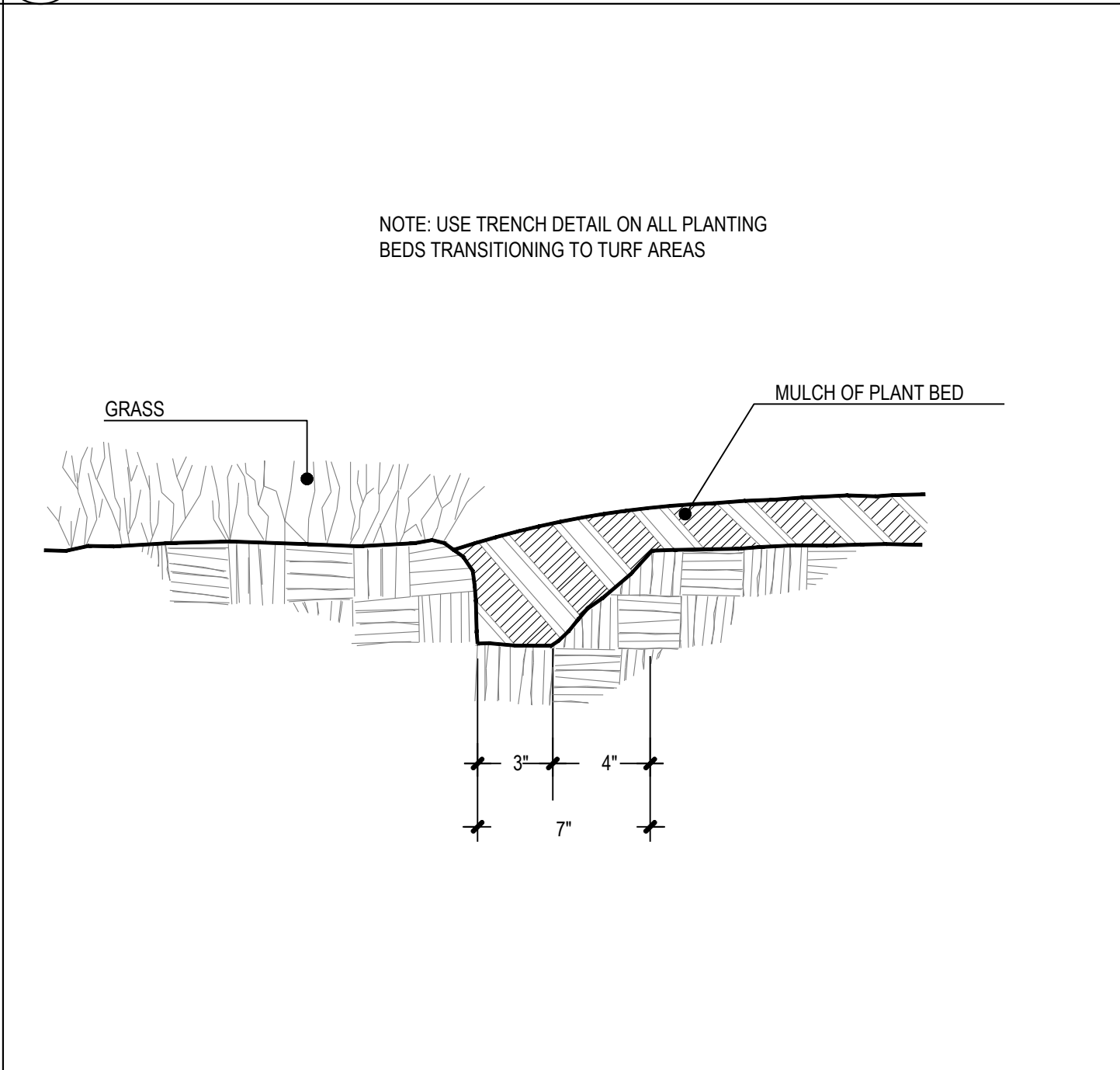
1 DECIDUOUS TREE STAKING N.T.S.



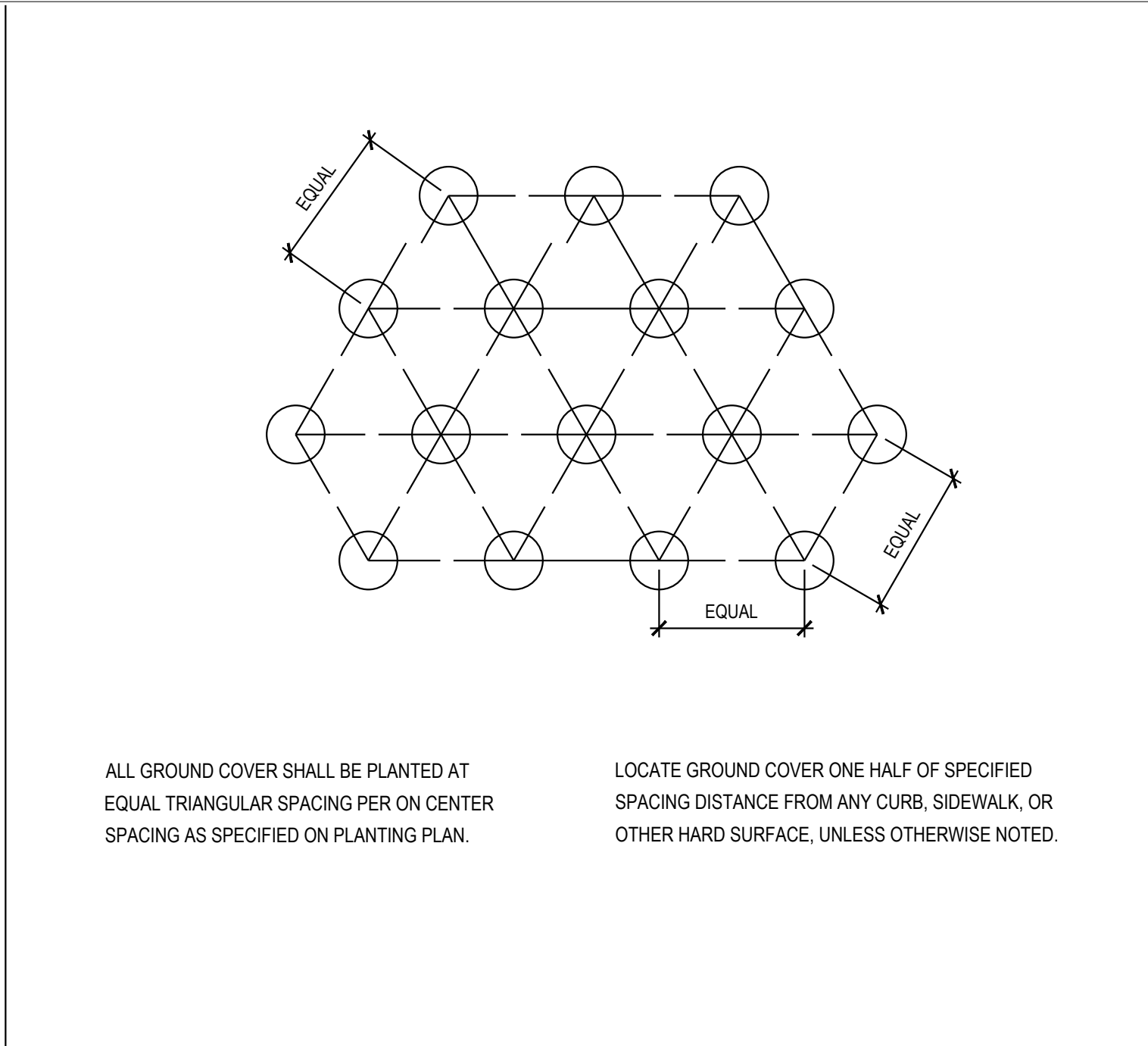
2 EVERGREEN TREE STAKING N.T.S.



4 EVERGREEN / DECIDUOUS SHRUB N.T.S.



5 TRENCH EDGING N.T.S.



3 GROUND COVER SPACING N.T.S.

GENERAL NOTES: LANDSCAPE PLAN

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEEOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE, SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS, IF APPLICABLE. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

SOIL PLANTING MIXTURE (MIX ONSITE)

- THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL WHICH SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:
 - ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
 - ONE PART NATIVE SOIL
- SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE AND REPLACED AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.



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HUBER HEIGHTS, OH

EXECUTIVE BOULEVARD & BRANDT PIKE
HUBER HEIGHTS, OH 45424

Revisions / Submissions		
ID	Description	Date

Project Number:	761668
Scale:	1"=30'
Drawn By:	TRH
Checked By:	EAB
Date:	04/04/2023
Issue:	FOR REVIEW

Drawing Title:

PLANTING DETAILS

L2.0

PROJECT NAME:
NEW SHEETZ STORE

HUBER HEIGHTS

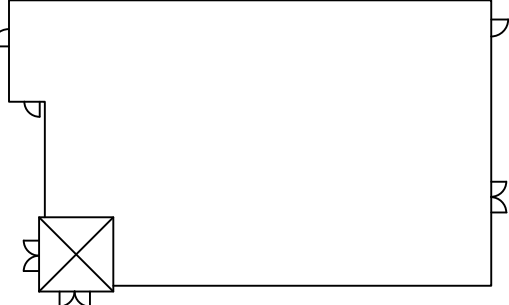
Int. of Executive Blvd.
and Brandt Pike
Huber Heights, OH

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

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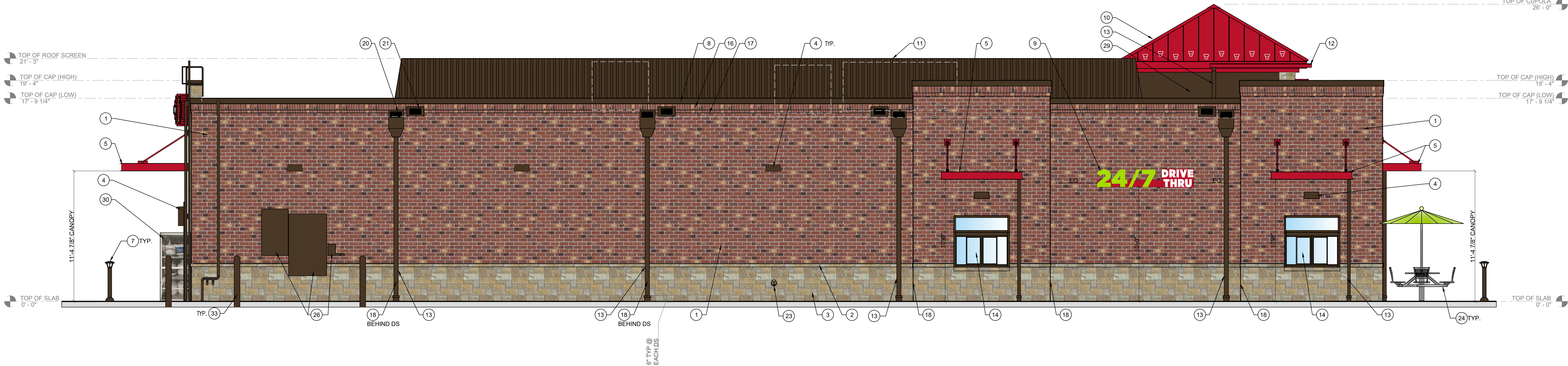
KEYPLAN

ISSUE: 12.16.2022
SITE ID NO: 214417
AUTHOR BY: RJK
REVIEW BY: NMV
VERSION: 6139_v1.3

EXTERIOR
ELEVATIONS

A201

PRELIMINARY ELEVATIONS



3 REAR ELEVATION
1/4" = 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

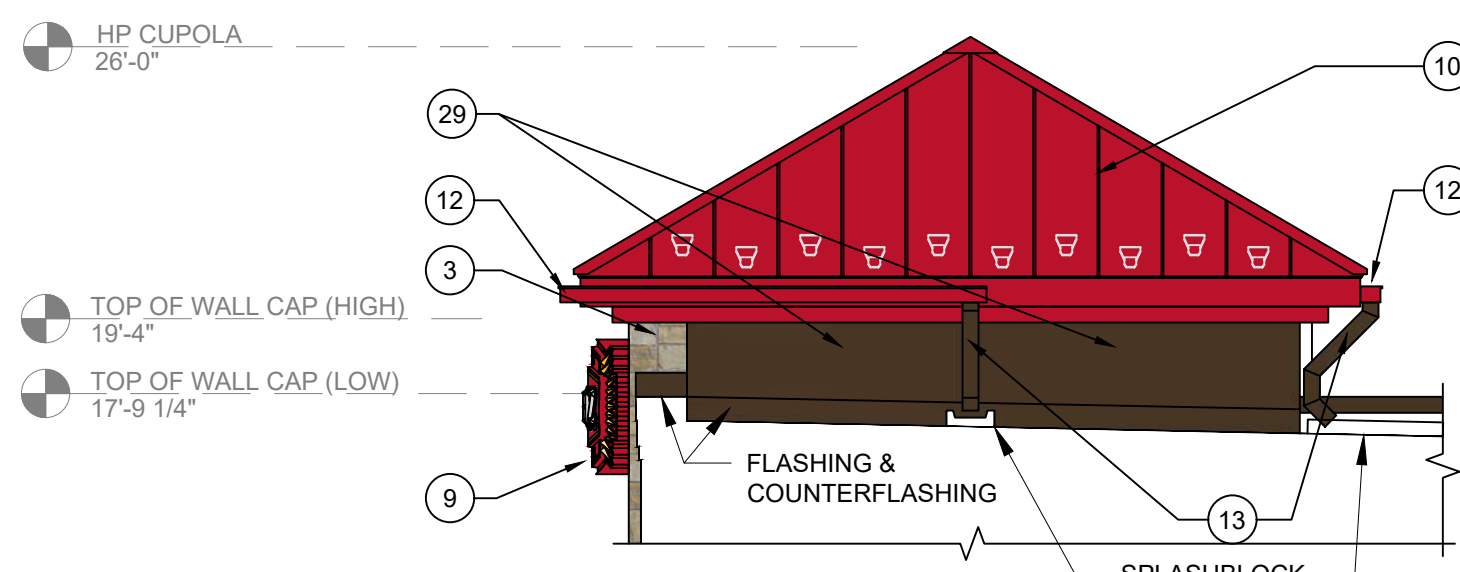
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS, GENERAL BUILDING FASCIAE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

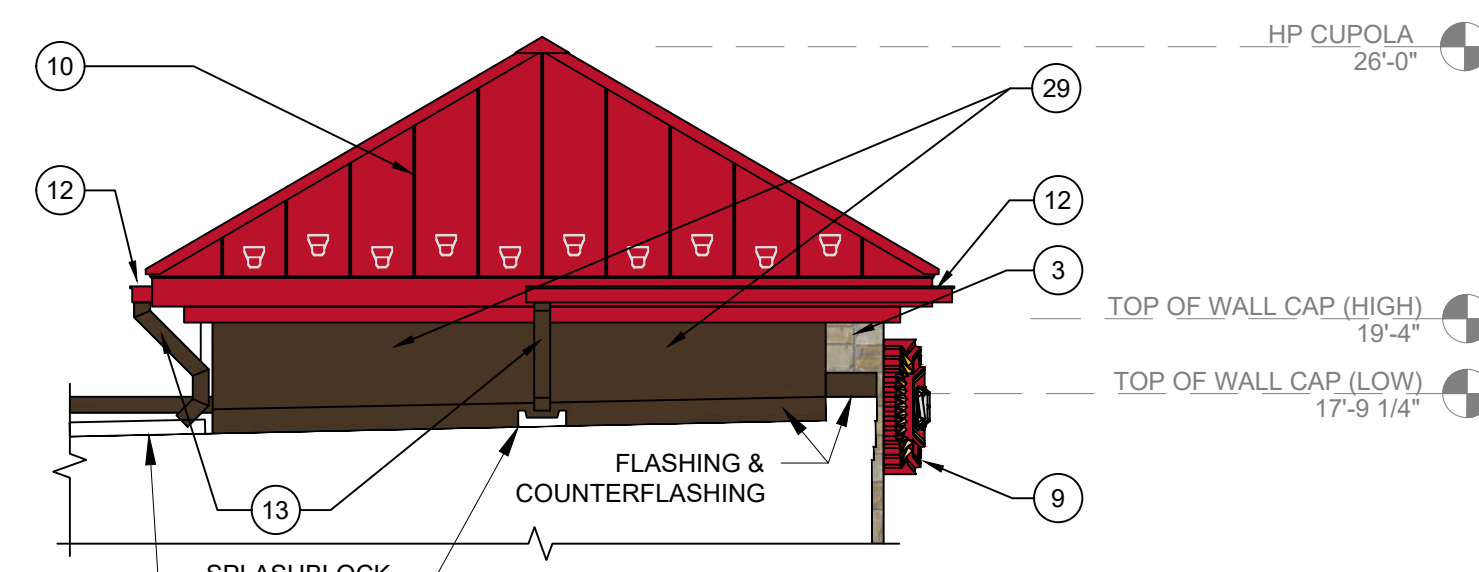
- BRICK VENEER (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- CAST STONE SILL (COLOR = CRAB ORCHARD)
- ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- EXTERIOR LIGHT FIXTURE, SEE ELEC DWGS
- ARCHITECTURAL CANOPY (COLOR = REGAL RED, PREMIUM TWO-COAT KYNAR FINISH)
- BRICK PAVER WALKWAY
- LIGHTED BOLLARD
- METAL COPING (COLOR = DARK BRONZE)
- WALL MOUNTED BUILDING SIGN, INTERNALLY ILLUMINATED. SEE SHEET A200.
- STANDING SEAM METAL ROOF (COLOR = BRITE RED)
- ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
- GUTTER (COLOR = RED)
- DOWNSPOUT (COLOR = DARK BRONZE)
- DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY (ROOF COLOR = BRITE RED, FRAME COLOR = DARK BRONZE)
- BRICK SOLDIER COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- BRICK ROWLOCK COURSE (0/S 680 MOD BY CONTINENTAL BRICK CO.)
- CONTROL JOINT SEE MASONRY SPECS FOR COLOR
- STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
- STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
- OVERFLOW SCUPPER
- ALUMINUM STOREFRONT SYSTEM
- EXTERIOR HOSE BIB
- OUTDOOR FURNITURE
- ELECTRICAL RECEPTACLE (REFER TO ELECTRICAL DRAWINGS)
- ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
- HM DOOR AND FRAME (COLOR = DARK BRONZE)
- EMERGENCY WATER CONNECTION
- SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS - COLOR: DARK BRONZE
- PROPANE LOCKER
- ICE MERCHANDISER
- RTI FILLPORT
- STEEL BOLLARD (COLOR = DARK BRONZE)
- CO2 FILLPORT
- DECORATIVE ALUMINUM FENCE



4 RIGHT ELEVATION
1/4" = 1'-0"



5 CUPOLA FROM ROOF
1/4" = 1'-0"



6 CUPOLA FROM ROOF
1/4" = 1'-0"



SHEETZ, INCORPORATED
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ALTOONA, PA 16602
(814) 946-3611

NEW SHEETZ STORE
"HUBER HEIGHTS"

INT. OF EXECUTIVE BLVD.
AND BRANT PIKE
HUBER HEIGHTS, OHIO

SIGNAGE SQUARE FOOTAGE BREAKDOWN

BUILDING ELEVATIONS

SHEETZ SIGN = 25.94 SQ. FT. X 3 = 77.82 SQ. FT.
24/1 SIGN = 12.63 SQ. FT. X 1 = 12.63 SQ. FT.
TOTAL = 90.45 SQ. FT. 90.45 SQ. FT.

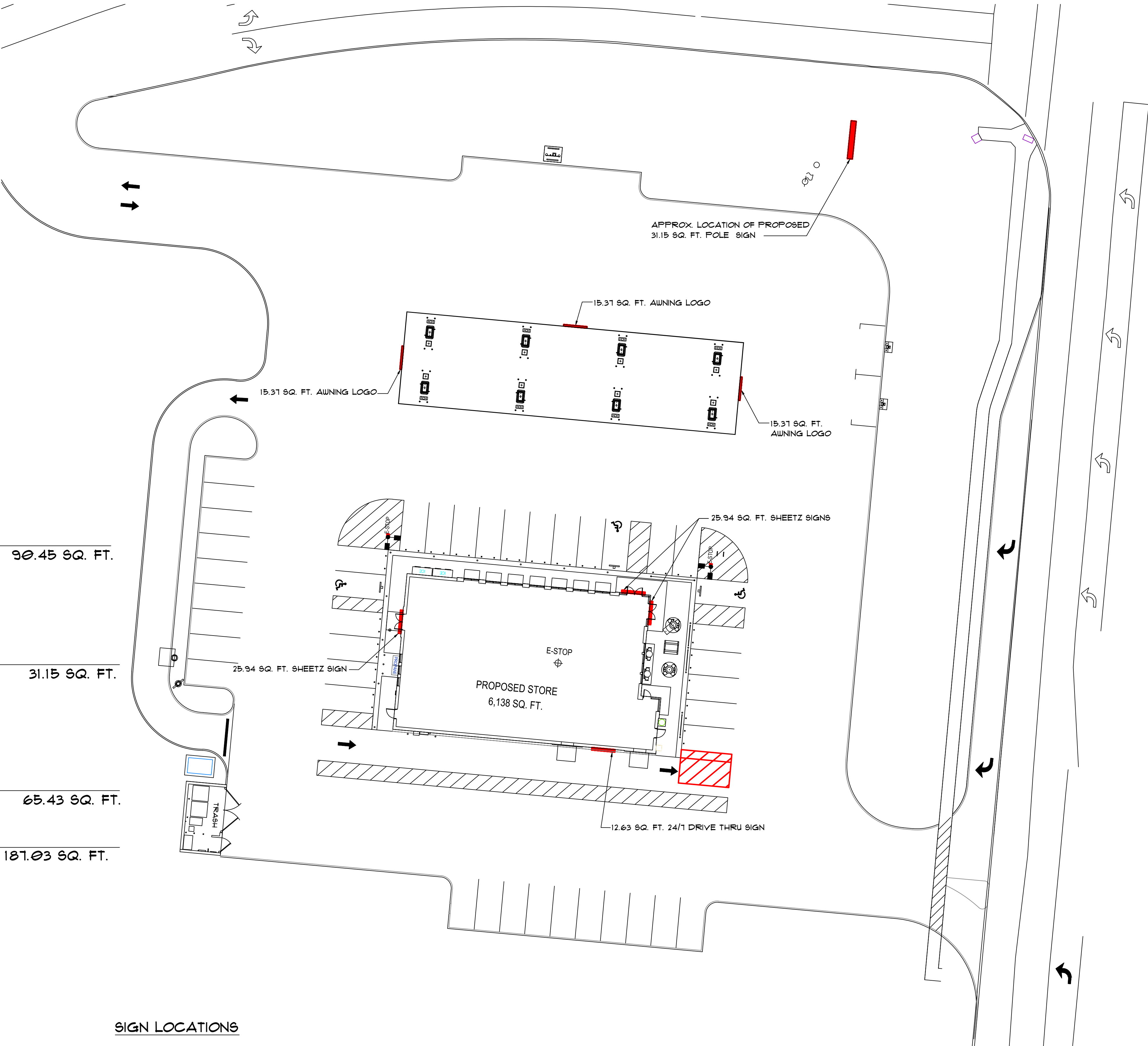
GAS PRICE POLE SIGN

SHEETZ SIGN = 12.13 SQ. FT. X 1 = 12.13 SQ. FT.
GAS PRICE SIGN = 19.02 SQ. FT. X 1 = 19.02 SQ. FT.
TOTAL = 31.15 SQ. FT. 31.15 SQ. FT.

GAS CANOPY AWNING

SHEETZ LOGO AREA = 15.31 SQ. FT. X 3 = 46.11 SQ. FT.
DIESEL PRICE SIGN AREA = 4.58 SQ. FT. X 2 = 9.16 SQ. FT.
"ETHANOL FREE" FLAG AREA = 5.08 SQ. FT. X 2 = 10.16 SQ. FT.
TOTAL = 65.43 SQ. FT. 65.43 SQ. FT.

TOTAL SITE SIGN AREA = 187.03 SQ. FT.



SIGN LOCATIONS

HUBER HEIGHTS

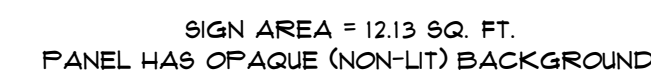
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ALTOONA, PA 16602

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MONUMENT SIGN DETAILS

SIGN



HUBER HEIGHTS

OWNER:
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700 SIXTH AVE.
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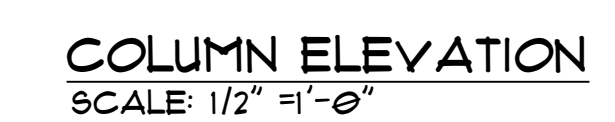
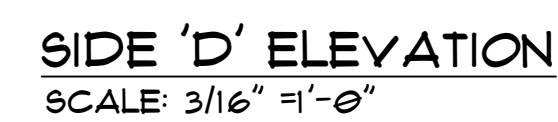
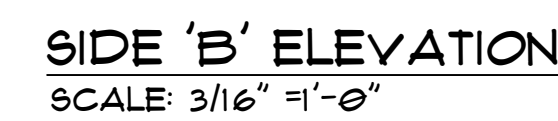
KEYPLAN

[illegible]

DATE:	03-10-23
PROJECT NO:	
AUTHOR BY:	NMI
VIEW BY:	
SHEET TITLE	

GAS AWNING

AWNING



HUBER HEIGHTS

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

[illegible]

DATE:	03-10-23
PROJECT NO:	
AUTHOR BY:	NMI
VIEW BY:	
SHEET TITLE	

DRIVE THRU SIGN DETAILS

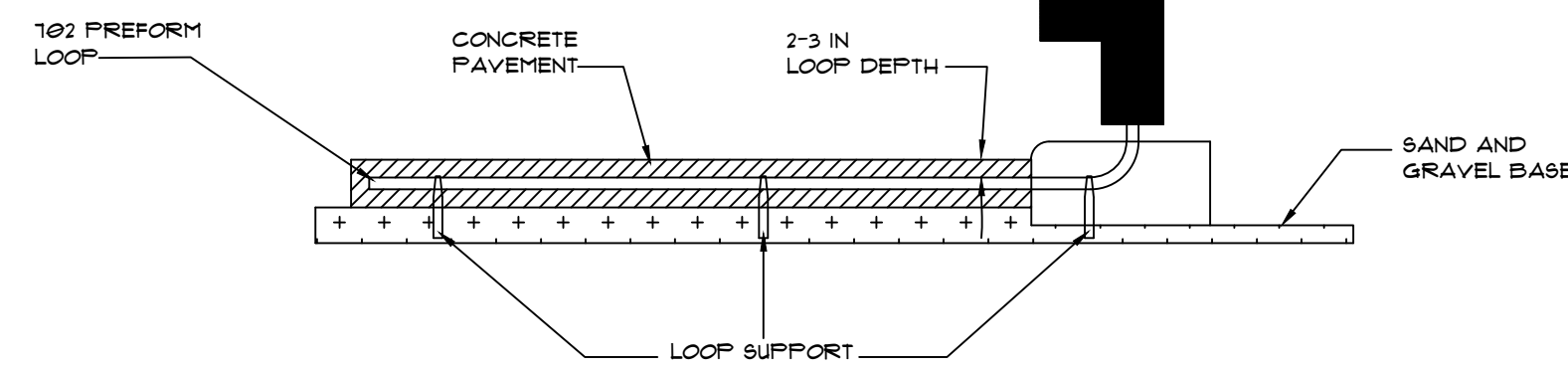
DT-1

102' PREFORM LOOP

ASPHALT

ALLOW APPROX. 1 IN. OF SOIL OR SAND BETWEEN ASPHALT AND LOOP

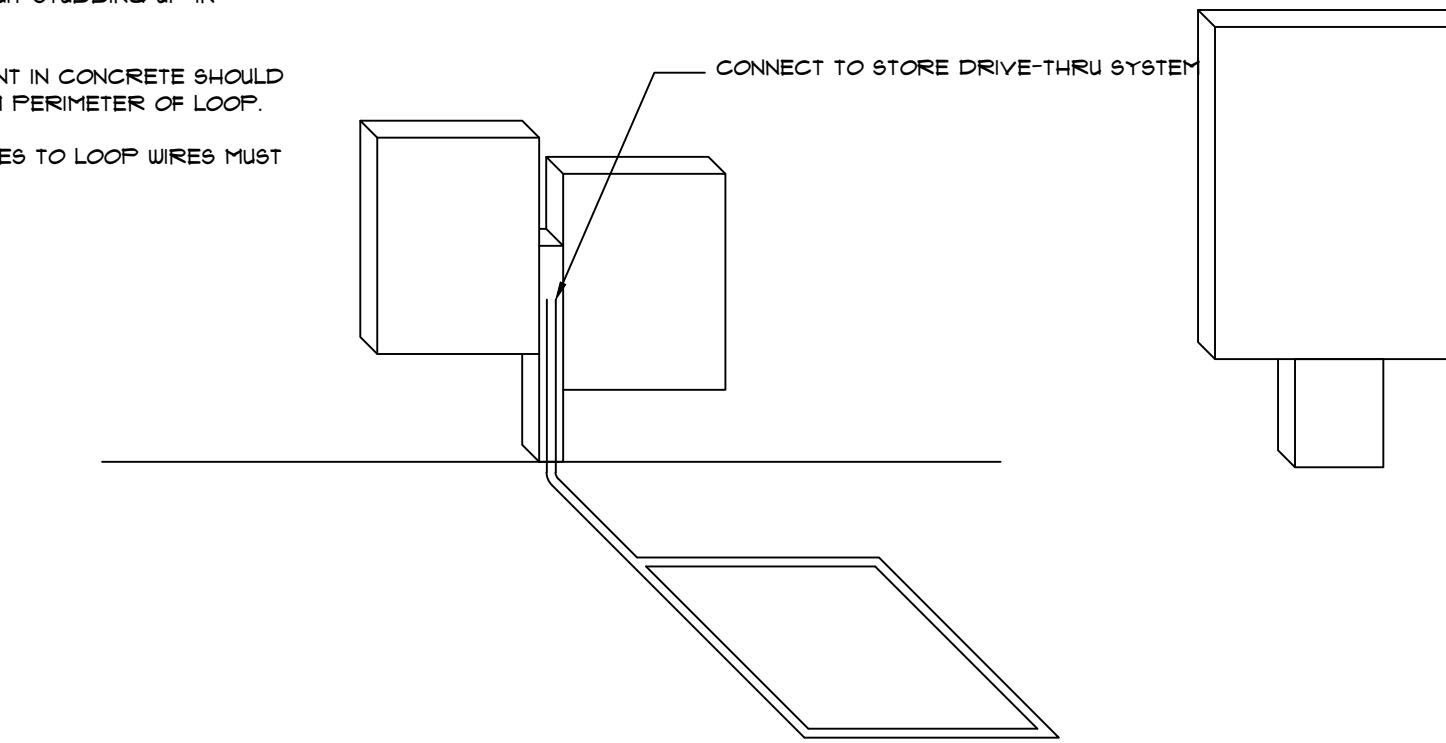
1. POSITION PREFORM LOOP APPROXIMATELY 1'-3" FROM CURB EDGE IN FRONT OF THE MENUBOARD OR SPEAKER POST.
2. LOOP SHOULD BE INSTALLED 2" - 3" BELOW THE SURFACE OF THE PAVEMENT. (5" MAX. DEPTH)
3. IF INSTALLED IN ASPHALT, COVER LOOP WITH 1" MIN. SOLID SAND TO PROTECT FROM HOT ASPHALT.
4. CONNECT LOOP TO 1/2" CONDUIT STUBBING UP IN MENUBOARD/SPEAKER POST.
5. WIRE MESH OR REINFORCEMENT IN CONCRETE SHOULD BE CUT AWAY IN MIN. OF 6" FROM PERIMETER OF LOOP.
6. ALL CONNECTIONS AND SPICES TO LOOP WIRES MUST BE SOLDERED.



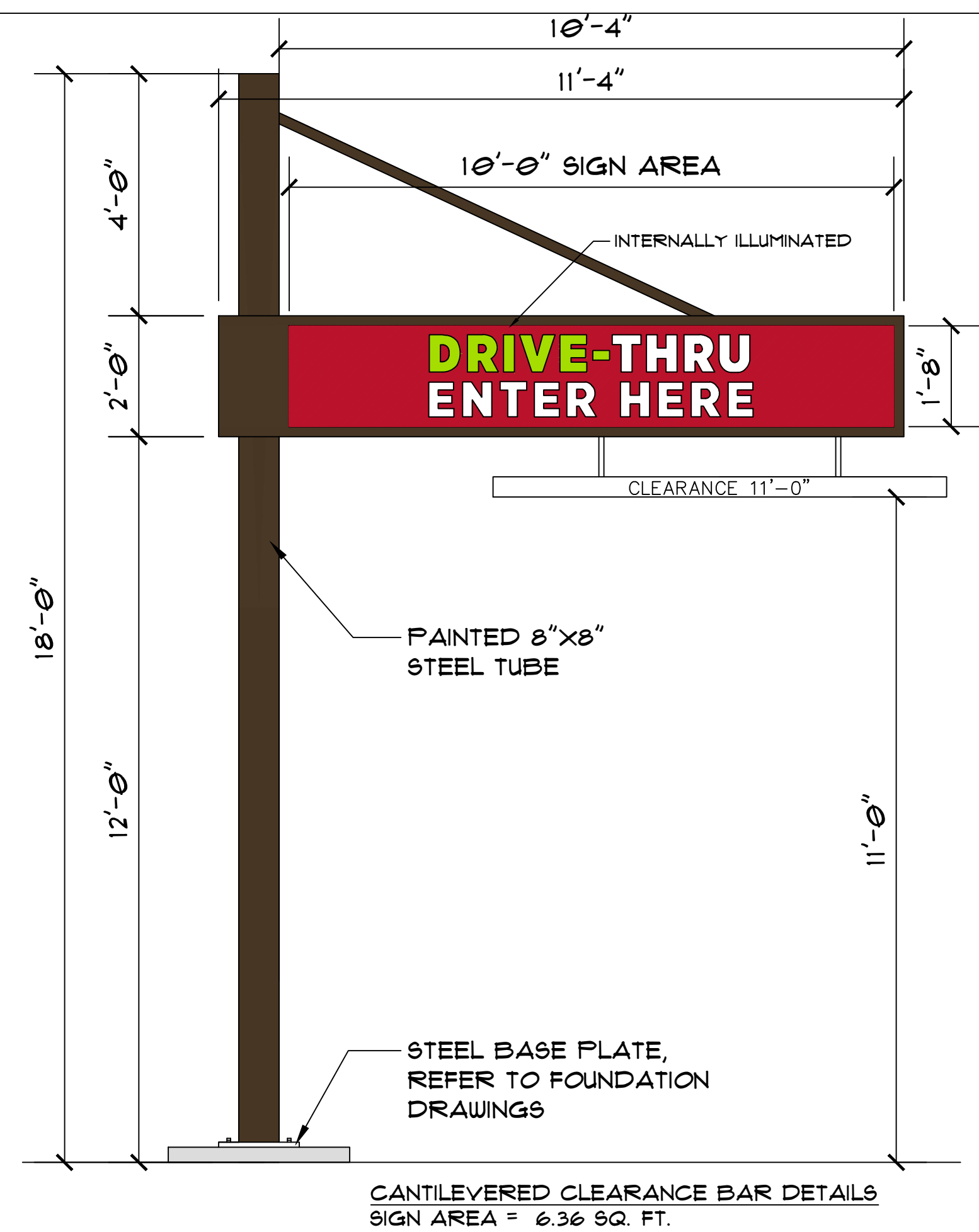
SIDE VIEW INSTALLED

CONCRETE INSTALLATION

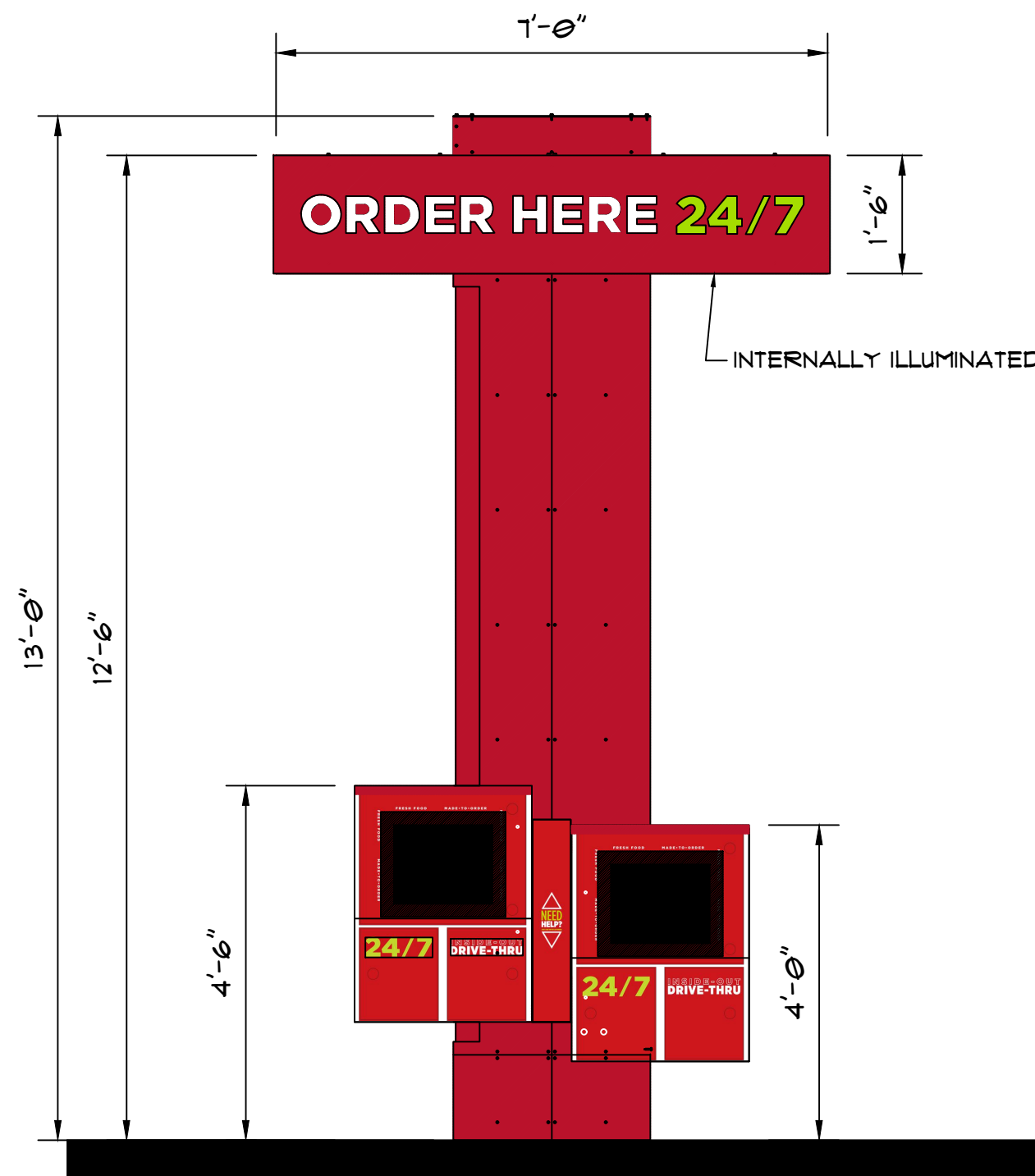
NO SCALE



MENUBOARD W/ SPEAKER POST INSTALLATION
NO SCALE

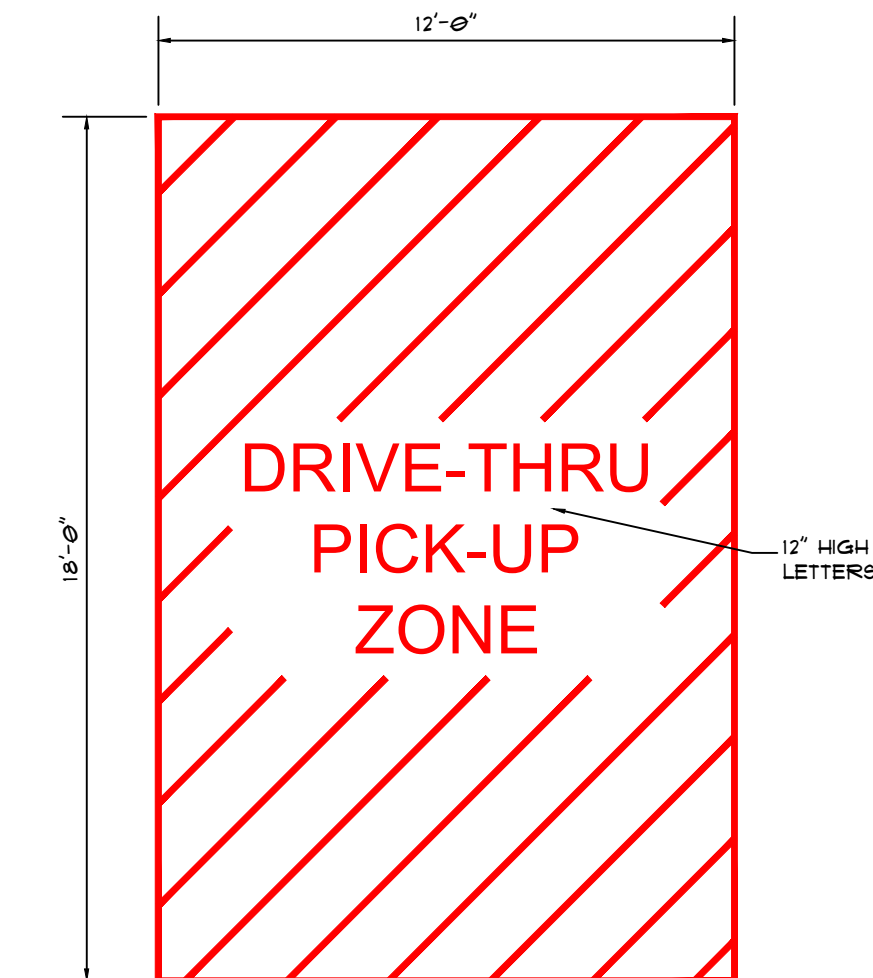


CANTILEVERED CLEARANCE BAR DETAILS
SIGN AREA = 6.36 SQ. FT.

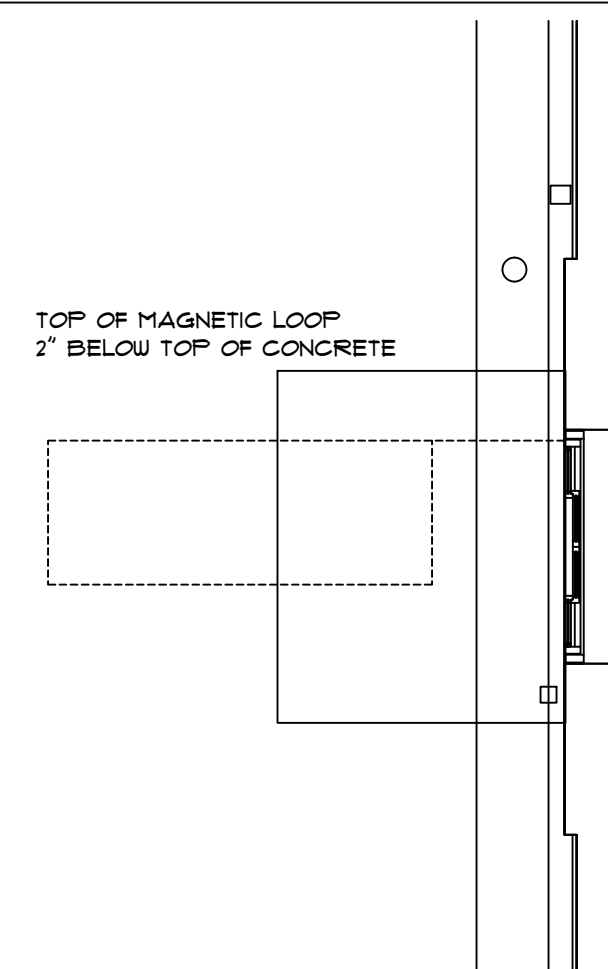


FRONT ELEVATION
ORDER HERE 24/7 SIGN AREA = 2.99 SQ. FT.
24/7 ORDER POINT SIGN AREA = .41 X 2 = .82 SQ. FT.

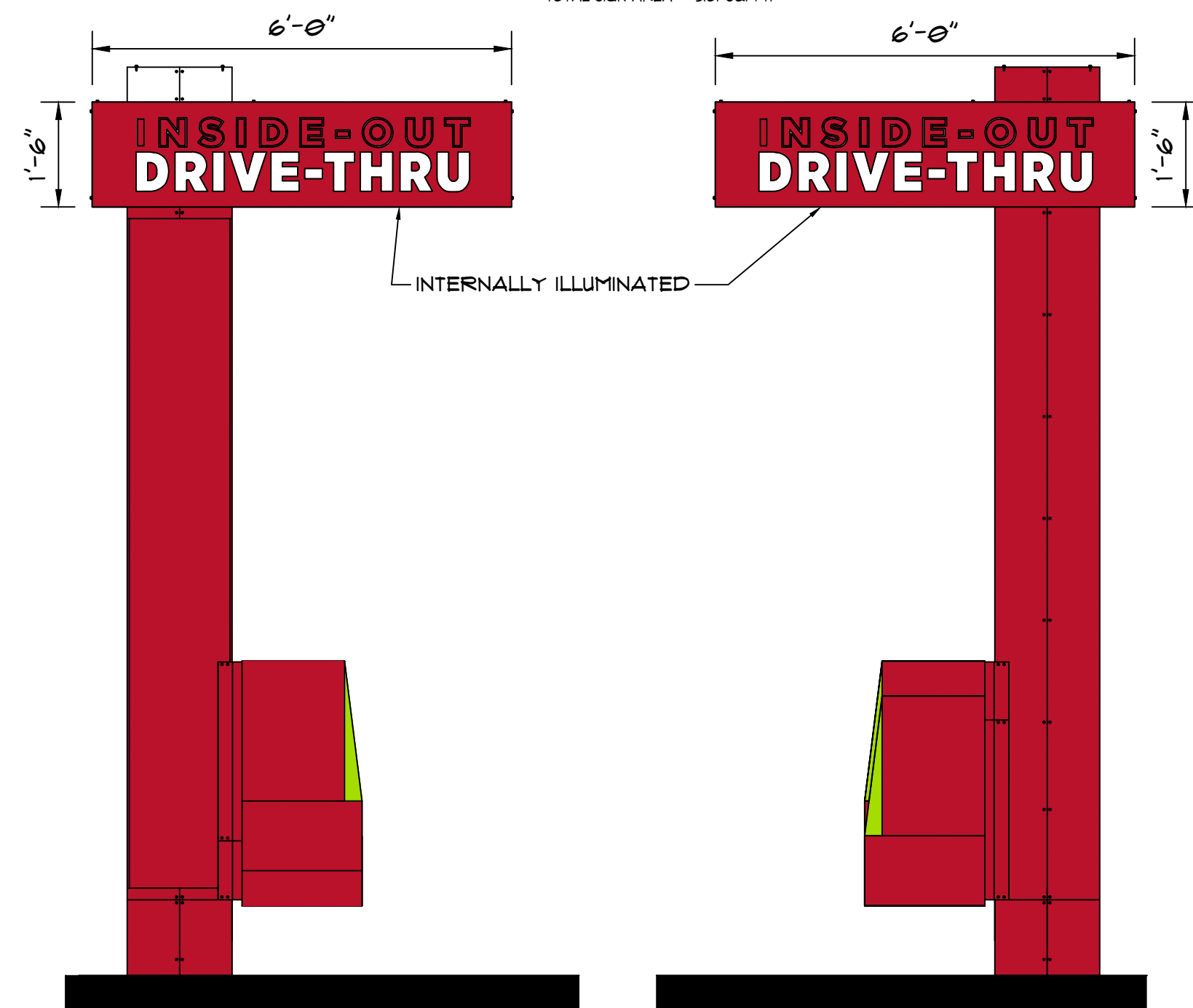
TOTAL SIGN AREA = 3.81 SQ. FT.



PARKING SPACE PAINTING DIAGRAM



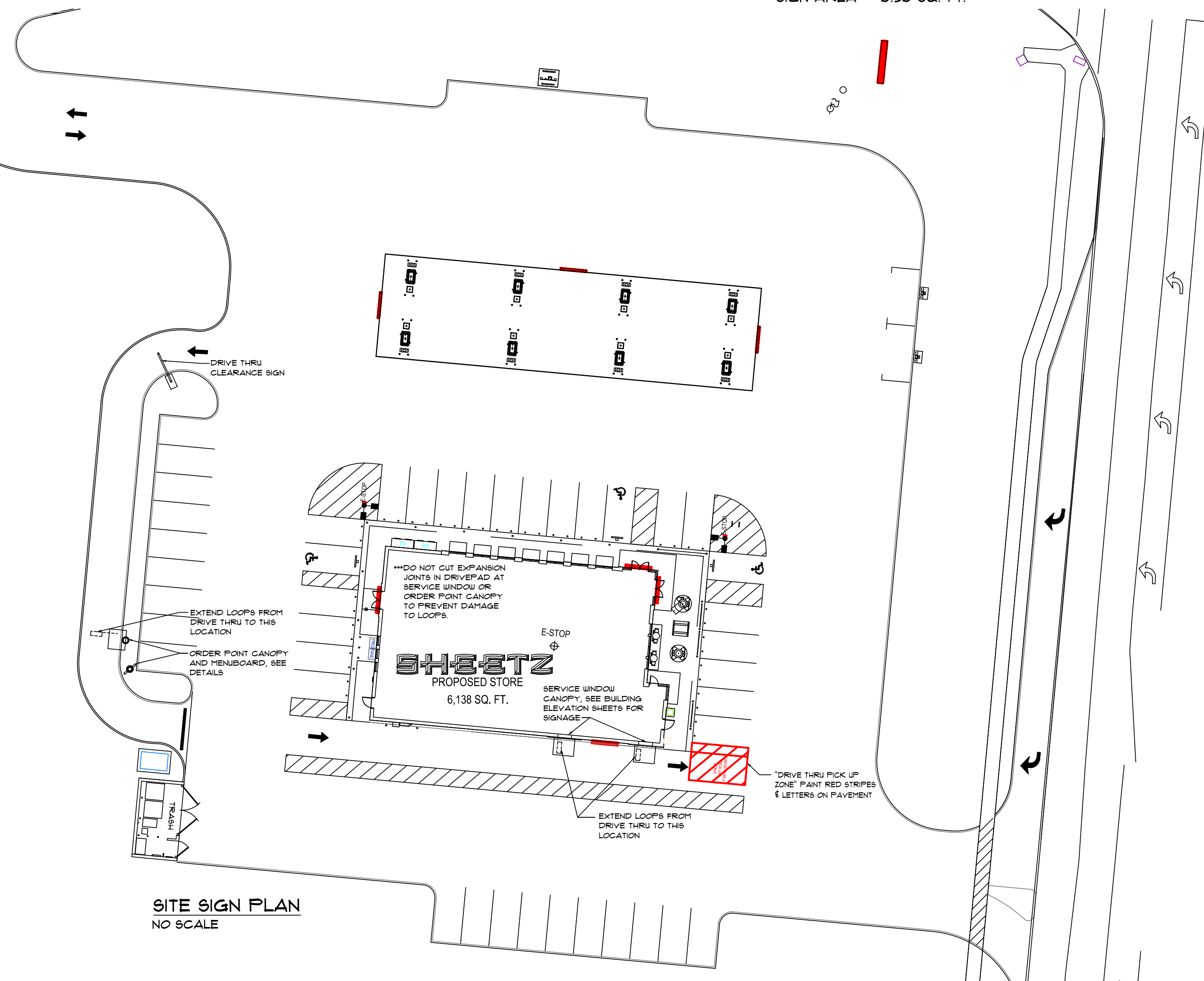
DRIVE THRU WINDOW DETAIL
SCALE: $\frac{1}{2}" = 1'-0"$



LEFT ELEVATION
SIGN AREA = 4.69 SQ. FT.

RIGHT ELEVATION
SIGN AREA = 4.69 SQ. FT.

ORDER POINT ELEVATIONS
SCALE: 3/8"=1' @"



SITE SIGN PLAN
NO SCALE

HUBER HEIGHTS

OWNER:
SHEETZ, INC.

CONSULTANT

PROFESSIONAL

EYPLAN

DATE:	03-10-23
PROJECT NO:	
AUTHOR BY:	NMI
VIEW BY:	
SHEET TITLE	

DT-2





Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Sheetz		
Occupancy Address:	8245 Brandt Pike		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	23-144
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	4/28/2023

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices

These comments are based only on the proposed sitework, fire department access and basic fire protection concept at this time. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted for permit. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017, and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.

Requirements:

- The canopy over fuel pumps shall have a clearance of 13 feet 6 inches or higher for fire apparatus clearance. Ohio Fire Code 503.2.1.
- The turn radius off Executive Boulevard appears to meet the requirements for fire department access as required in Ohio Fire Code.
- Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Ohio Fire Code 507.5.4.
- A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. (No trees, bushes, plantings, etc.) Ohio Fire Code 507.5.5.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-9161

9. A.

Planning Commission

Meeting Date: 05/09/2023

Minutes

Information

Agenda Title

Planning Commission April 11, 2023

Purpose and Background

Attachments

Minutes

**Planning Commission
April 11, 2023, Meeting
City of Huber Heights**

- I. Chair Terry Walton called the meeting to order at approximately 6:00 p.m.
- II. Present at the meeting: Mr. Cassity, Mr. Jeffries, Ms. Thomas, Ms. Vargo, and Mr. Walton.

Members absent: None.

Staff Present: Aaron K. Sorrell, Interim City Planner, and Geri Hoskins, Planning & Zoning Administrative Secretary.

III. Opening Remarks by the Chairman and Commissioners

None.

IV. Citizens Comments

None.

V. Swearing of Witnesses

Mr. Walton explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

VI. Pending Business

None.

VII. New Business

- 1. **REZONING - The applicant, STP HOLDINGS, LLC, is requesting approval of a Rezoning from O1 (Office) to B1 (Commercial) for a laundromat. Property is located at 6740 Brandt Pike (RZ 23-09).**

Mr. Sorrell stated the applicant requests rezoning of a developed 0.7-acre parcel from O-1 General Office to B-1 Commercial District to facilitate the redevelopment of a former office building into a self-service laundry.

The last tenant of the building was Bane Staffing. The site is well established with adequate parking and in overall good condition. The applicant is planning minor improvements to the site and building, but no substantial improvements are necessary. The site is on a major thoroughfare with a substantial number of multi-family units within close proximity.

The applicable zoning regulations are Chapter 1130 – Amendments and Chapter 1153 B-1 Commercial District. There are few standards associated with the approval of a straight zoning map amendment outside of the Planned Development process.

The applicant requests rezoning of a developed 0.7-acre parcel from O-1 General Office to B-1 Commercial District to facilitate the redevelopment of a former office building into a self-service laundry.

Conformance with Comprehensive Plan

The City's comprehensive plan indicates the site is located in the Southtown pattern area. One of the key goals of this pattern is: "Focus on renovation, infill development, and incremental broadening of uses and housing types".

Staff feels the rezoning from O-1 General Office to B-1 Commercial District is consistent with the comprehensive plan. There has been less demand for office-restricted development, and we anticipate this trend will continue.

Details of the proposed campground will be reviewed at a future time when the applicant submits the Special Use application. Rezoning to B-1, will broaden the potential uses that can reuse this building, which is in generally good condition on a key thoroughfare.

The Fire Department approves of the rezoning.

The engineer had no comments at this point in the review process.

Staff is supportive of the rezoning from O-1 General Office to B-1 Commercial District.

George Karras stated there would be advanced security system, hospital grade ozone. Water will go into sanitary system 20-24 washers and dryers, staffed, hours would be 7am to 9pm, out be 10:30pm.

Action

Mr. Jeffries moved to approve the request by the applicant, STP HOLDINGS, LLC, for approval of a Rezoning from O1 (Office) to B1 (Commercial) in accordance with the recommendations of Staff's Memorandum dated April 4, 2023, and the Planning Commission's decision record attached thereto.

Seconded by Ms. Vargo. Roll call showed: YEAS: Mr. Cassity, Mr. Jeffries, Ms. Vargo, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

2. REZONING AND BASIC DEVELOPMENT PLAN - The applicant, RHM REAL ESTATE GROUP, is requesting approval of a Rezoning of approximately 43 acres from PEP (Planned Employment Park) to PM (Planned Mixed Use) and a Basic Development Plan for approximately 300 residential units and commercial uses on approximately 22.3 acres. Property is located at 7125 Executive Blvd (RZ BDP 23-08).

Mr. Sorrell stated the applicant is requesting approval for a rezoning of approximately 43 acres from Planned Employment Park to Planned Mixed Use. The basic development plan will facilitate the construction of approximately 300 residential townhome apartments on approximately 17 acres and four

April 11, 2023

commercial out lots on approximately 5 acres. This plan represents phase 1 & 2 and follows the takedown options the developer has with the city. Phases 3 & 4, the other half of the Lehman farm will require separate basic development plan approval.

At this point, the applicant has not submitted proposed covenants or deed restrictions. Staff recommends the following non-residential uses should be eliminated from permitted use list for this basic development plan:

- Filling stations
- Sweepstakes cafes
- Convenience store
- Self-Storage – Indoor Climate Controlled
- Car Wash

The applicant is proposing a mix of residential and commercial uses.

This site is located along a well-traveled thoroughfare, surrounded by residential uses to the north and west, commercial uses to the south, and Carriage Hill MetroPark to the east. The vast majority of the proposed land uses are residential and are located adjacent to other residential uses. The proposed commercial out lots, which will likely have more intensive uses, are appropriated located to front Executive Boulevard.

Commodity crop production is the current use of the site, and few natural features exist. There is a small drainage stream that bisects the site near the southwest corner, which crosses under Executive Boulevard and ultimately into Drylick Run Creek.

The proposed development plan appears will direct the stream into the existing storm water system to allow development of the commercial area along Executive Blvd.

In general, the site slopes west to east. Two onsite stormwater basins will provide for stormwater management. The stormwater basins are designed to be wet basins, which will provide an attractive landscape amenity. Final stormwater calculations and required detention basins will be determined with the detailed development plan.

This phase of the development has two proposed entrances from Executive Boulevard that are aligned with existing access points and spaced in a manner where little traffic conflict points should exist. The site plan is designed to provide good connectivity to the commercial and residential areas.

The plans illustrate an emergency vehicle entrance from Loblolly Drive, along with a pedestrian connection to the neighborhood. Staff requested the pedestrian connection to increase connectivity between the neighborhood and the new commercial uses along Executive Boulevard.

Parking for the residential units is provided through a mixture of garages (360 spaces) and surface parking (161 spaces) for a total of 531 spaces. This is just over 1 space per bedroom, which equates to 1.77 spaces per unit. The code suggests a parking ratio of 2 spaces per unit, or 600 spaces. Staff is comfortable

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with the parking proposal. As a comparison, the Marion Meadows (Heritage Commons) apartments have a parking ratio of 1.67 spaces per unit.

The proposed commercial area has approximately 178 spaces, which is a parking ratio of 1 space per 168 SF. This ratio exceeds the parking requirement for most commercial uses.

The proposal provides interior sidewalks and connections between the commercial and retail area, and to the northern neighborhood. Additionally, the applicant proposing a 10' multi-use path along Executive Boulevard.

A sign package was not submitted with the application. Signage will be addressed during the detailed development plan process.

The current layout meets all setback requirements.

The residential buildings are approximately 39' tall at their highest point.

No lighting plans were submitted, but a lighting plan will be required at the detailed development plan phase.

The applicant is aware of this requirement and will address it in the detailed development plans.

The architecture of the commercial structures is not indicated in the application, but will be reviewed at the time of the detailed development plan submission for each out building.

The submitted renderings indicate a mixture of stone or brick highlights. The commercial architecture appears to be distinct from the farmhouse style of the residential units.

All utilities will be placed underground.

The residential open space will be owned by the apartment development owner.

No on-site fencing is proposed

This basic development plan application is for phase 1 and 2 of the overall development. The applicant has indicated they are looking to "fast-track" this development and would like to close on the property by mid-May if the rezoning and basic development plan are approved.

The applicant proposes a 15' setback / buffer area adjacent to Agriculturally zoned land, and a 20' setback adjacent to the R-7 residential area. R-7 allows multi-family development of up to 8-units per lot, with a building height not to exceed 2-1/2 stories or 35' feet.

The end units, at their highest point, are 38'-7". Staff recommends as a condition of approval, the applicant preserve the existing trees that abut properties along Scatter Root Place and Loblolly Drive. The existing vegetation provides better screening and buffering than new fences or landscaping will provide.

The commercial out lots will be reviewed at the detailed development plan phase, however the covenants indicate the commercial developments will comply with

Street trees will be required along Executive Boulevard as those sites are developed.

Staff recommends approval of the rezoning and Basic Development Plan to construct 300 residential units and four commercial out lots. Staff recommends the following conditions for approval:

- 1) The permitted uses shall be those outlined in Chapter 1179, excluding:
 - Filling stations
 - Sweepstakes cafes
 - Convenience stores
 - Self-Storage facilities
 - Car Washes
 - Other uses deemed incompatible with a community entertainment district as determined by the Planning Director.
- 2) The applicant will comply with all Fire Code requirements, per the Huber Heights Fire Department;
- 3) The existing trees and non-invasive vegetation that abut properties along Scatter Root Place and Loblolly Drive shall be preserved and maintained in a healthy manner. Dead or dying trees shall be replaced with species approved by the City.

Ms. Vargo asked about a sweepstakes café. Mr. Cassity asked if both projects rezoned to PM, large scale rezoning. Ms. Vargo asked about materials of buildings, in the detail plan. Mr. Jeffries asked about the Loblolly access, restrictions on self-storage, fast casual eating, not worrying about fast tracking. Ms. Vargo stated we have control of this land.

Mr. Sorrell added we can limit QSRs, eliminate drive throughs. Mr. Cassity agreed no drive throughs. Mr. Jeffries asked about west parcel 11 ft. expansion and Mr. Cassity asked about sidewalks being 5 ft. buffer between sidewalk and roadway. Mr. Jeffries asked about commercial to west being connected and garage parking.

Andrew Iarussi from RHM mentioned 6 – 12% masonry Horizon Line 11th hour, 45 days.

Ms. Vargo asked if all rentals and market rate. Mr. Iarussi stated like Parkview. 40 1 bedroom, 52 2 bedroom, and 8 3 bedrooms. Range from \$1200 to \$2000.

Mr. Cassity asked the difference in Horizon Line. Mr. Iarussi said high level density 150 units little more sprawled. Vision is density, lively, entertainment. No AirB&B,

Mr. Jeffries asked about Commercial up-front users. Restaurants, taverns, bars but will be user driven. Commitment from correct kind of users.

Mr. Cassity noted that a gate is mentioned, not final on secure gate.

The Commission added Drive Thru to the excluded uses.

Action

Ms. Cassity moved to approve the request by the applicant, RHM REAL ESTATE GROUP, for approval of a Rezoning of approximately 43 acres from PEP (Planned Employment Park) to PM (Planned Mixed Use) and a Basic Development Plan in accordance with the recommendations of Staff's Memorandum dated April 4, 2023, and the Planning Commission's decision record as amended with the following conditions:

The permitted uses shall be those outlined in Chapter 1179, excluding:

- Filling stations
- Sweepstakes cafes
- Convenience stores
- Self-Storage facilities
- Car Washes
- Drive Thru and Drive Up windows
- Other uses deemed incompatible with a community entertainment district as determined by the Planning Director.

The applicant will comply with all Fire Code requirements, per the Huber Heights Fire Department;

The existing trees and non-invasive vegetation that abut properties along Scatter Root Place and Loblolly Drive shall be preserved and maintained in a healthy manner. Dead or dying trees shall be replaced with species approved by the City.

Seconded by Ms. Thomas. Roll call showed: YEAS: Ms. Vargo, Mr. Jeffries, Ms. Thomas, Mr. Cassity, and Mr. Walton. NAYS: None. Motion to approve carried 5-0.

3. MAJOR CHANGE TO THE BASIC DEVELOPMENT PLAN - The applicant, FLYING ACE CAR WASH, is requesting approval of a Major Change to the Basic Development Plan to construct a new car wash facility. Property is located at 7730 Brandt Pike (MJC 23-07).

Mr. Sorrell stated the applicant is proposing to purchase the former 5/3rd bank building at 7730 Brandt Pike and redevelop the site into a Flying Ace Car Wash. The applicant owns a number of Flying Ace facilities throughout the region, including the Merily Way location. A second location is expected to reduce traffic volume the Merily Way location sees during peak times, which will help alleviate the traffic issues at the Merily Way / Old Troy Pike intersection.

The applicant plans to demolish the existing vacant building and reuse the building pad and much of the parking area and travel lanes.

Note: The applicant has revised the site plan to accommodate Fire Department access requests by adding additional pavement at the entrance and north end of the building. The Fire Department has accepted these alterations. No other material changes to the plans have been made.

The site is one of three outparcels in the Sulphur Grove Shopping Center when Wal-Mart was constructed. The site is relatively flat and sits below the Brandt Pike roadway grade. Site access is from Cedar Hill Drive and an access road within the shopping center.

There are a number of restrictive covenants on this site imposed by Wal-Mart, which control building height, size, parking ratios and use. The Flying Ace Car Wash appear to satisfy the covenants.

The applicable zoning regulations are Chapter 1171 – General Provisions and Chapter 1172 Planned Commercial District. Since the car wash use and building design is significantly different than the previous bank use, considers this application a major change to the Basic Development Plan.

The applicant proposes constructing a 4,500 SF car wash facility with vacuum stations. The building exterior is a mixture of cultured brick and metal siding. The applicant has stated this facility can process 120 vehicles hourly, during peak periods.

- The site plan meets all parking and building setback and yard requirements.
- There are existing street trees along Brandt Pike and Cedar Hill Dr.
- The applicant intends to reuse the existing parking lot lights. A lighting plan was not submitted with this application but will be reviewed as part of the detailed development plan application to ensure there is no direct lighting cast from wall packs on the west building side.
- The building design meets all exterior materials requirements.
- All utilities are below ground.
- The code requires 1 space per employee, minimum 4; 2 spaces for drying / finishing; and 15 waiting spaces. This site plan illustrates:
 - 4 employee parking spaces, 1 handicap space
 - 20 vacuum spaces (drying / finishing)
 - 51 waiting spaces.
- The applicant plans to use the existing landscaping, including the perimeter screening and buffering beds. The landscaping plan illustrates six new parking lot shade trees, new planting beds (Golden Spirea) along the west edge of the site, and new juniper bushes screening the driveway from Cedar Hill Drive. This plan appears to meet code.
- The applicant plans to reuse or replace the existing monument sign with a similar structure in design and height. While the sign detail indicates the sign is 7'-6", the sign is installed on a sloping hillside. The sign height measured from the west side of the sign is close to 6' tall, which meets code.
- Two building signs are illustrated, while not dimensioned in the plans, appear to total less than 75 SF.

It is staff's opinion that the proposal is consistent with the comprehensive plan and thoroughfare plan.

Planning Commission Meeting

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While no schedule of development has been submitted, the applicant has stated to staff that they will initiate construction shortly after all plans are approved by the City and County.

There was considerable discussion about traffic and queuing between the applicant and city staff. This site can queue up to 51 vehicles, versus 31 at the Merily Way site. Staff has recommended a swing gate be installed along Cedar Hill Drive to clearly block the entrance on the handful of days the site is at capacity. Staff feels a closed gate, rather than cones, will significantly deter people from waiting along Cedar Hill Drive.

Based on similar experiences in Columbus, the applicant believes this second location will significantly improve the traffic issues faced at the Merily Way site during peak periods. Based on customer travel data shared by the applicant, staff strongly believes a second location will significantly improve the traffic queuing issues at the Merily Way location.

Staff does not anticipate any undue burden on public services. The area has adequate utility and street capacity. As stated above, staff feels this location will improve traffic flow at Merily Way and Old Troy Pike intersection.

Any conditions imposed by the Planning Commission or City Council will be memorialized in the PUD legislation and remain in effect unless modified by the Planning Commission or City Council.

The staff believes the site plan is generally well arranged, and internal circulation is efficient and compatible with the intended use. The applicant intends to augment the existing landscaping to provide additional screening around the parking and stacking areas. The landscaping, lighting and parking requirements will be reviewed with the Detailed Development application.

Based on plans submitted, all significant trees and natural features will be preserved.

This is a developed site and no grading is anticipated.

All utilities will be placed underground.

Staff does not anticipate any additional public services required to support this development.

All proposed uses are consistent with the Planned Commercial district. As discussed in this report and the pre-application meeting with Planning Commission, vehicle queuing is the primary concern, based on our experiences with the Merily Way site.

This site has significant advantages including the ability to stack 51 vehicles and three processing lanes. With the addition of a gate at Cedar Hill Drive, staff feels the negative impacts of queuing on peak days will be negated.

Planning Commission Meeting

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All lighting, glare, noise (from vacuums and external speakers) will be reviewed with the Detailed Development application.

The Fire Department has approved this revised site access plan.

The engineer recommends a gate at the Cedar Hill Drive entrance.

Staff is extremely supportive of the major change to the Basic Development Plan. This use is permitted in the Planned Commercial District and appears to meet the restrictive covenants imposed by Wal-Mart. While it is not the city's responsibility to enforce private covenants, it is noteworthy because the covenants do limit the reuse of this site while Wal-Mart still occupies the shopping center.

Additionally, staff strongly believes a second Flying Ace location will reduce the traffic congestion issues occasionally plaguing the Merily Way location.

Staff recommends approval with the following condition:

- A gate shall be installed at the Cedar Hill Drive entrance.

Lengthy discussion on the stacking, entrance/exit flow, gate, backing up on Cedar Hill Drive, left onto Cedar Hill Drive, right in/right out, signage on Brandt Pike side.

Mike Anderson from Van Atta Engineering

The signage on the building is a mural, their concept. The gate will be discussed with Engineering, no stacking onto Cedar Hill Dr., permanent traffic patterns.

Mr. Cassity asked if both lanes are stacked full, refuse new customers. Mr. Jeffries stated the gate be prominent.

Aleta George was present and stated Stonehurst is a headache already now more congestion, no turn lane on Stonehurst.

Action

Ms. Thomas moved to approve the request by the applicant, FLYING ACE CAR WASH, for approval of a Major Change to the Basic Development Plan to construct a new car wash facility in accordance with the recommendations of Staff's Memorandum dated April 4, 2023, and the Planning Commission's decision record attached thereto.

Seconded by Mr. Jeffries. Roll call showed: YEAS: Mr. Cassity, Mr. Jeffries, Ms. Thomas, and Mr. Walton. NAYS: Ms. Vargo. Motion to approve carried 4-1.

VIII. Additional Business

Residential exterior materials discussion

Mr. Sorrell asked the commission to look at and think about current building materials for further discussion later.

Planning Commission Meeting

April 11, 2023

IX. Approval of the Minutes

Without objection, the minutes of the March 14, 2023, Planning Commission meeting are approved.

Mr. Jeffries asked to take another look at Sheetz, Mr. Sorrell said RHM is looking at all of it as a whole. That way we will have a full picture of the area. Curb cuts won't change.

X. Reports and Calendar Review

XI. Upcoming Meetings

May 9, 2023

June 13, 2023

XII. Adjournment

There being no further business to come before the Commission, the meeting was adjourned at approximately 7:53 p.m.

Terry Walton, Chair

Date

Geri Hoskins, Administrative Secretary

Date