



**AGENDA**  
**CITY PLANNING COMMISSION**

City Hall - Council Chambers  
6131 Taylorsville Road  
August 15, 2023  
6:00 P.M.

1. Call Meeting To Order
2. Roll Call
3. Opening Remarks By The Chair and Commissioners
4. Citizens Comments
5. Swearing of Witnesses
6. Pending Business
  - A. MINOR CHANGE - The applicant, PINNACLE ARCHITECTS, is requesting approval of a Minor Change for installation of a new helistop to the rear of the existing health center. Property is located at 8701 Old Troy Pike (MC 23-20).
  - B. DETAILED DEVELOPMENT PLAN - The applicant, FLYING ACE CAR WASH, is requesting approval of a Detailed Development Plan to construct a new car wash. Property is located at 7730 Brandt Pike (DDP 23-21).

- C. REZONING and BASIC DEVELOPMENT PLAN - The applicant, THOMAS E. DUSA, is requesting approval of a Basic Development Plan and Rezoning from Commercial (B3) to Planned Industrial (PI) to construct a truck stop and repair facility on approximately three (3) acres. Property is located at the Southeast corner of Technology Blvd. and Artz Road (RZ BDP 22-35).

7. New Business

8. Additional Business

- A. Buc-ees

9. Approval of Minutes

- A. Planning Commission July 11, 2023

10. Reports and Calendar Review

11. Upcoming Meetings

- A. September 12, 2023  
October 10, 2023

12. Adjournment

**AI-9414**

**6. A.**

**Planning Commission**

Meeting Date: 08/15/2023

Minor Change

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Information

Agenda Title

MINOR CHANGE - The applicant, PINNACLE ARCHITECTS, is requesting approval of a Minor Change for installation of a new helistop to the rear of the existing health center. Property is located at 8701 Old Troy Pike (MC 23-20).

Purpose and Background

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Attachments

Staff Report

Decision Record

Drawings

Fire Assessment

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# Memorandum

Staff Report for Meeting of August 15, 2023

To: Huber Heights City Planning Commission  
From: Aaron K. Sorrell, City Planner  
Date: August 8, 2023  
Subject: MC 23-20 Kettering Health Center Minor Change (helistop)

Department of Planning and Zoning

City of Huber Heights

**APPLICANT/OWNER:** Pinnacle Architects – Applicant  
Kettering Health - Owner

**DEVELOPMENT NAME:** Kettering Health Center - Huber Heights

**ADDRESS/LOCATION:** 8701 Old Troy Pike

**ZONING/ACREAGE:** Planned Public and Private Grounds (PP) / 3.03 Acres

**EXISTING LAND USE:** Healthcare Facility

**ZONING**  
**ADJACENT LAND:** North: R-6  
East: PO & PC  
West: PP  
South: PC

**REQUEST:** The applicant requests a minor change to install a 45'x45' helistop for occasional use.

**ORIGINAL APPROVAL:** N/A

**APPLICABLE HHCC:** Chapter 1117.11

**CORRESPONDENCE:** In Favor – None Received  
In Opposition – One email received.



## **Overview**

The applicant requests a minor change to install a 45' x 45' helistop landing pad and associated lighting at the rear of the existing Kettering Health Center. The helistop will only be used for occasional patient transport to other facilities when care needs demand the use of a helicopter. Kettering Health Network has installed, or is currently installing, helistops at most of its emergency facilities such as the Huber Heights location.

Representatives from Kettering Health have discussed the project with the neighboring rehabilitation center, and they have no objections to the helistop.

## **Applicable Zoning Regulations**

The applicable zoning regulations are Chapter 1171 – General Provisions, Chapter 1174 – Planned Public and Private Buildings and Grounds..

### **1171.11 Changes in the basic and detailed development plans.**

*A PUD shall be developed only according to the approved and recorded detailed development plan and supporting data together with all recorded amendments and shall be binding on the applicants, their successors, grantees and assigns and shall limit and control the use of premises (including the internal use of buildings and structures) and location of structures in the PUD as set forth therein.*

*(a) Major Changes. Changes which alter the concept, uses or intent of the PUD including increases in the number of units per acre, change in location or amount of nonresidential land uses, more than 15 percent modification in proportion of housing types, significant redesign of roadways, utilities or drainage, may be approved only by submission of a new basic plan and supporting data in accordance with Sections 1171.03, 1171.04 and 1171.05.*

*(b) Minor Changes. The Zoning Officer recommends to the Planning Commission approval or disapproval of the minor changes in the PUD. Minor changes are defined as any change not defined as a major change.*

## **Conformance with Zoning Regulations**

The relevant sections to this application are discussed in detail below.

### **1174 Planned Public and Private Buildings and Grounds (PP)**

The proposed change meets the requirements of the PP District:

- Hospitals are a permitted use within the district, and Helistops are a common accessory use associated with hospital uses.
- The helistop is located outside of any required yards.
- No additional parking is required as a result of this minor change.

**Other Zoning Requirements:****Lighting**

The helipad will have two types of lights. One the pad itself, will be flush mounted green marking lights. Around the perimeter of the pad will be low bollards that cast light over the landing area. Lights will only be on when the pad is in use and no lights will cast directly toward the adjacent rehabilitation center. A picture of the helipad at the Franklin hospital is below for your reference.

**Staff Analysis**

The applicant's request to construct a 45' x 45' helistop requires Minor Change approval to the PUD. The proposed use conforms with the district regulations and given the limited anticipated operating frequency, should not pose a nuisance to surrounding properties. The proposed landing pad and associated lighting conforms to all zoning requirements.

**Additional Comments:**

**Fire:** See Attached. No revisions to the plan are necessary.

**City Engineer:** The City Engineer had no comments.

**Recommendation**

Staff recommends approval of the Minor Change to the PUD to facilitate the construction of the proposed helistop. Staff has no conditions associated with the recommended approval.

**Planning Commission Action**

Planning Commission may take the following actions with a motion to:

- 1) Approve the Minor Change with or without conditions;
- 2) Deny the Minor Change; or
- 3) Table the application in order to gather additional information.



## **Planning Commission Decision Record**

WHEREAS, on June 26, 2023, the applicant, Pinnacle Architects, requested approval of a Minor Change for installation of a new helistop to the rear of the existing health center. Property is located 8701 Old Troy Pike, further identified as Parcel Number P70 02001 0005 of the Montgomery County Auditor's Map (Case MC 23-20), and;

WHEREAS, on August 15, 2023, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Pinnacle Architects, for approval of a Minor Change for installation of a new helistop to the rear of the existing health center. Property is located at 8701 Old Troy Pike (Case MC 23-20), in accordance with the recommendation of Staff's Memorandum dated August 8, 2023, with the following conditions:

1. Approve as submitted.

Seconded by      Roll call showed: YEAS:    NAYS:    Motion to recommend approval carried .

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Terry Walton, Chair  
Planning Commission

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Date



PROJECT TITLE:



# HUBER HEALTH CENTER NEW HELISTOP 2023

8701 OLD TROY PIKE, HUBER HEIGHTS, OH 45424

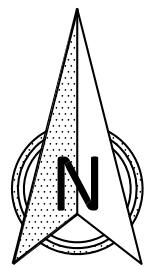
JUNE 19, 2023

PROJECT TEAM:

**PINNACLE ARCHITECTS**  
PROJECT ARCHITECTS  
480 VANTAGE POINT, SUITE 201 MIAMISBURG, OHIO 45342



VICINITY MAP:



NOTE:  
NO NEW BUILDING ADDITION  
IS PROPOSED. NEW HELISTOP  
WILL BE LOCATED BEHIND THE  
HEALTH CENTER WITH SIDEWALK  
ACCESS TO THE ER.

CODE DATA:

- THE DRAWINGS HAVE BEEN REVIEWED FOR CONFORMANCE TO:  
\* THE OHIO BUILDING CODE, INCLUDING THE MECHANICAL,  
ELECTRICAL AND PLUMBING CODES, 2017 EDITION.  
\* N.F.P.A. 101 - LIFE SAFETY CODE, 2012 EDITION.
- CODE COMPLIANCE NOTES ON THE FLOOR PLAN INDICATE RATED  
WALL CONSTRUCTION, FIRE SEPARATION AND SMOKE PARTITIONS IN  
CONFORMANCE WITH APPLICABLE CODES FOR NEW AND  
REMODELED CONSTRUCTION.
- EXISTING CONSTRUCTION IS SHOWN TO DEMONSTRATE  
INTEGRATION OF THE NEW WORK WITH THE EXISTING SYSTEM OF  
FIRE AND SMOKE BARRIERS. THE EXISTING CONSTRUCTION SHOWN  
IS PRESUMED TO BE IN COMPLIANCE WITH APPLICABLE CODES.

SOUTH BUILDING WHERE AREA OF WORK OCCURS

USE GROUP - B - BUSINESS

CONST. TYPE - 2B

BLDG. AREA - NO NEW SPACE WILL BE ADDED.  
NEW HELISTOP IS 45' X 45' LOCATED  
ON EXISTING PROPERTYS WEST SIDE.

BLDG. HEIGHT - 1 AND 2 STORY

SPRINKLERED - YES - FULLY SPRINKLERED

OCCUPANCY LOADS, REMAIN EXISTING AND BUILDING REMAINS  
UNALTERED.

HUBER HEIGHTS ZONING:  
THE PROPERTY IS LOCATED IN A "PP" PLANNED PUBLIC AND  
PRIVATE BUILDINGS AND GROUNDS DISTRICT.

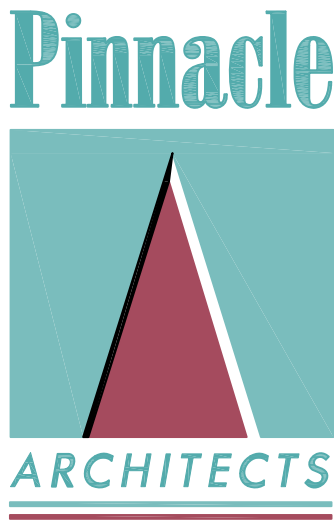
PERMITTED USES INCLUDE:  
HOSPITAL AND AIRPORT

THE NEW HELISTOP REQUEST DOES NOT ADD ANY NEW AREA TO  
THE PROPERTY AND DOESN'T REQUIRE ANY CHANGES TO THE  
EXISTING HEALTH CENTER.

SETBACKS FROM PROPERTY LINES FAR EXCEED PP DISTRICT  
REQUIREMENTS. (SEE SITE PLAN).

SYMBOLS LEGEND:

	ELEVATION		REVISION NUMBER & TYPE		DETAIL NUMBER REFERENCE DRAWING NUMBER		CONCRETE		GRAVEL
	EXISTING CONTOUR		ROOM NAME ROOM NUMBER		SECTION NUMBER REFERENCE DRAWING NUMBER		BRICK		GYPSUM BOARD/ PLASTER
	NEW CONTOUR		DOOR NUMBER		ELEVATION LETTER		CONCRETE MASONRY UNIT		PLYWOOD
	EXISTING POINT ELEVATION		WINDOW NUMBER		REFERENCE DRAWING NUMBER		METAL		WOOD, FINISH
	NEW POINT ELEVATION		WALL TYPE		LOUVER TYPE		INSULATION, RIGID		PLASTIC LAMINATE
	TEST BORING		CARD READER		NOTE REFERENCE		INSULATION, BATT		WOOD, FRAMING
	COLUMN REFERENCE GRID LINES		CEILING HEIGHT		LINTEL TYPE		EARTH		SHIM
									MTL STUD



480 VANTAGE POINT, SUITE 201  
MIAMISBURG, OH 45342  
PHONE: 937. 222. 1117 FAX: 937. 222. 4893  
www.pinnaclearchitects.com

DRAWING INDEX:

COVER

ARCHITECTURAL

- SD-1 SITE PLAN
- SD-2 ENLARGED HELISTOP PLAN  
HELISTOP MARKINGS
- SD-3 ENLARGED HELISTOP PLAN  
DIMENSIONS & LIGHTING

Pinnacle Architects

Pinnacle Job Path: KPN304\04B - Huber Helipad 2023\Drawings\DWGs\

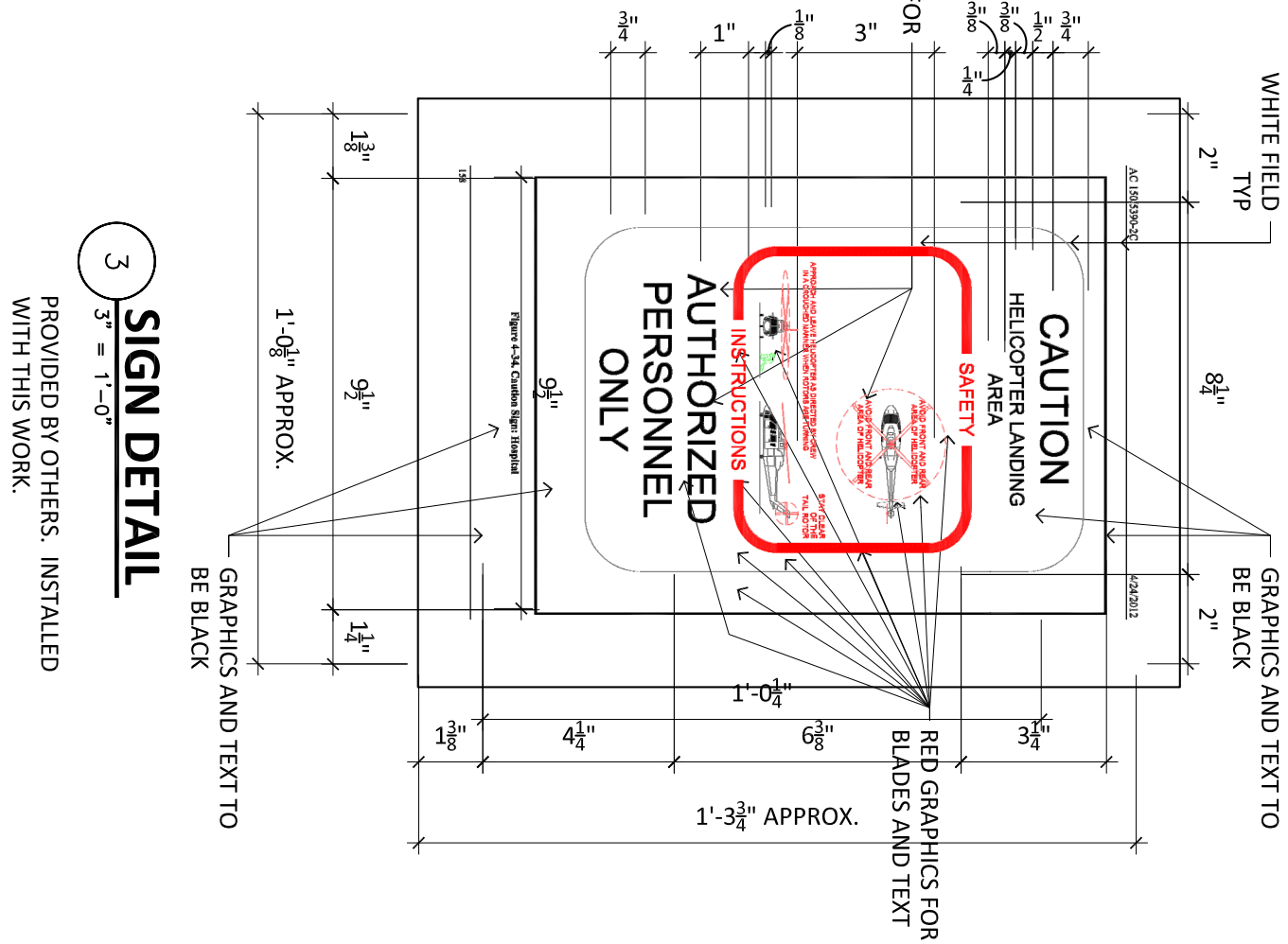
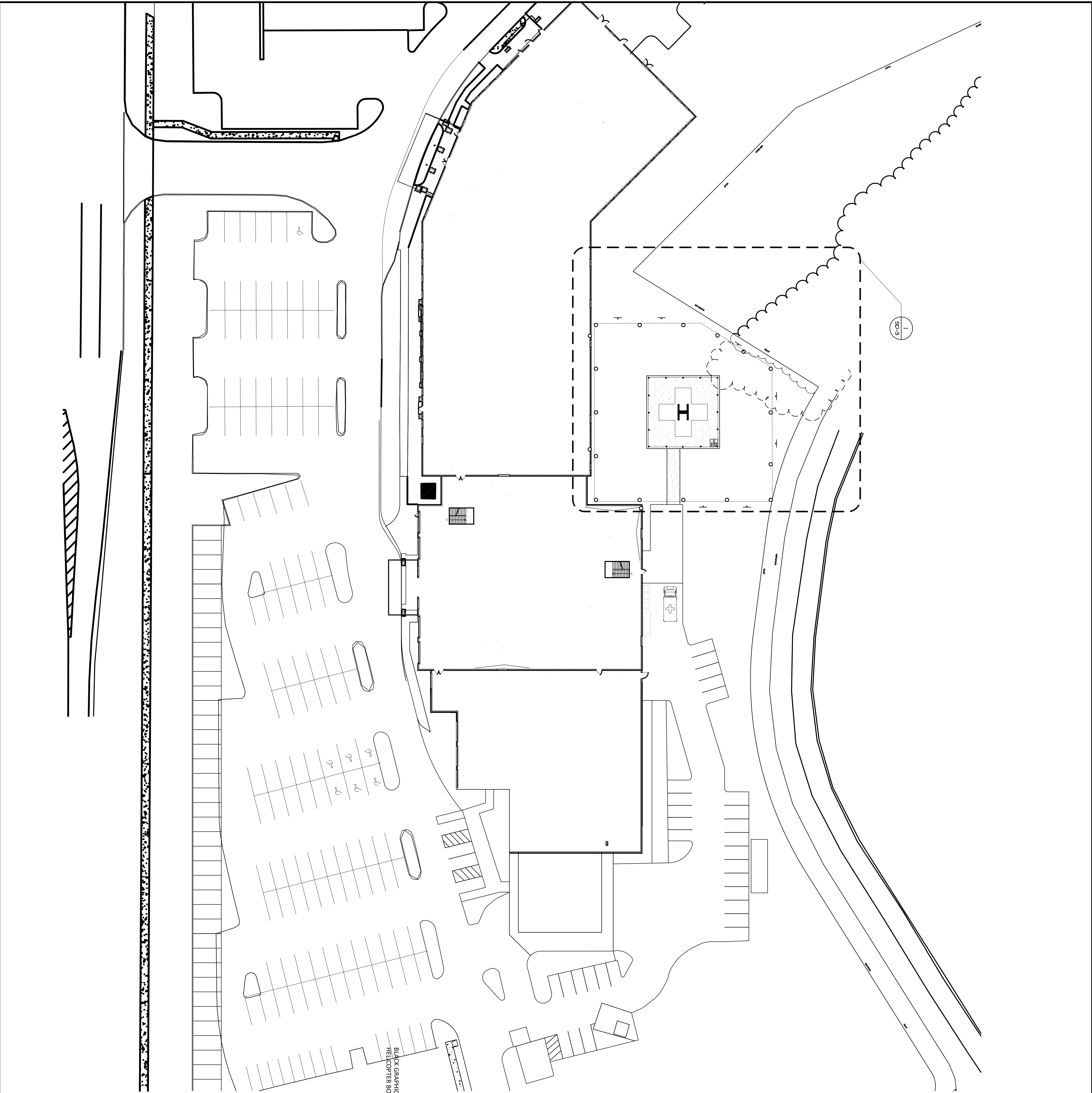
SET NO.

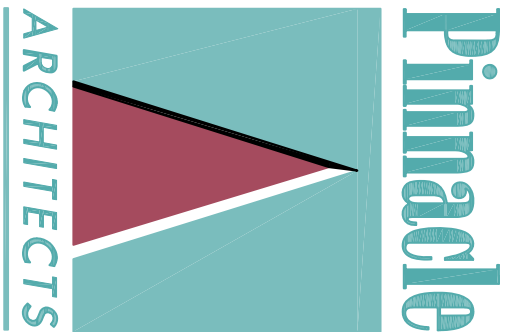
SEAL



MICHAEL T. TAYLOR #7744  
Expiration Date: 12/31/2023








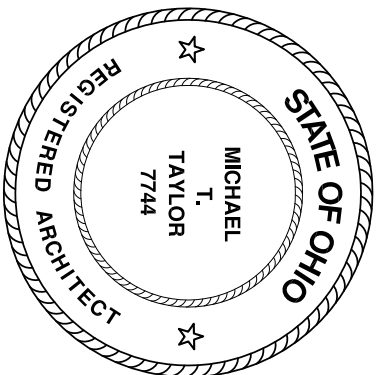
480 VANTAGE POINT, SUITE 201  
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www.pinnaclearchitects.com


NOTES:



No.	Date	Description
-	-	-

REVISIONS:





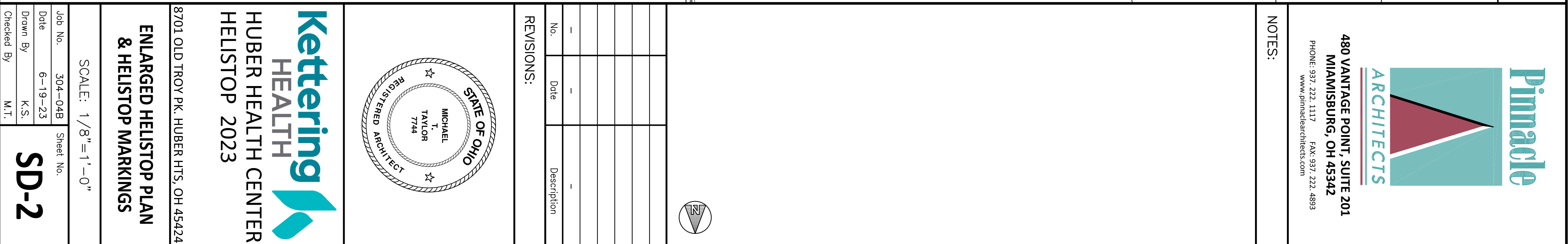
8701 OLD TROY PK. HUBER HTS. OH 45424

**SITE PLAN**

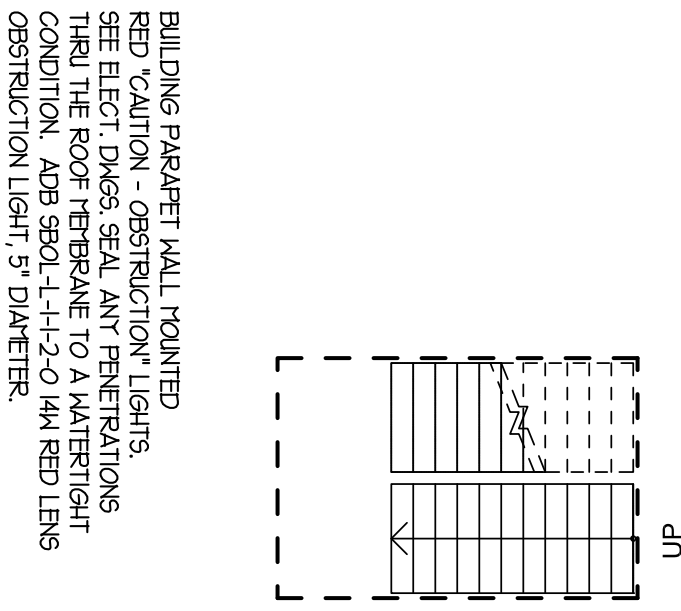
SCALE: 1" = 30'-0"

Job No.	304-04B	Sheet No.
Date	6-19-23	
Drawn By	K.S.	
Checked By	M.T.	

**SD1**





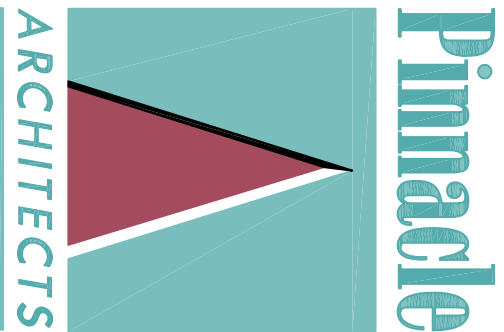


No.	Date	Description
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NOTES:

**480 VANTAGE POINT, SUITE 201  
MIAMISBURG, OH 45342**  
PHONE: 937. 222. 1117 FAX: 937. 222. 4893  
[www.pjmacclarchitects.com](http://www.pjmacclarchitects.com)



**Kettering**  
HEALTH  
HUBER HEALTH CENTER  
HELISTOP 2023

8701 OLD TROY PK. HUBER HTS, OH 45424

## ENLARGED HELISTOP PLANNING DIMENSIONS & LIGHTING

SCALE: 1/8"=1'-0"

Job No.	304-04B	Sheet No.
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Date 6-19-23

Checked By M.T.

SD-3





# Huber Heights Fire Division

**Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)**

Occupancy Name:	Kettering Health Juber Health Center - Helistop		
Occupancy Address:	8701 Old Troy Pike		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	23-217
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	7/28/2023

## **Fire Department Comments:**

*The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices*

**These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. The proposed project will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017 and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.**

### **Requirements: (Site Plan)**

- Driveways are existing and there do not appear to be any changes.
- These plans do not indicate any type of refueling system for the aircraft. If a refueling center is planned additional requirements and reviews will be required.
- Clearances for the pad shall comply with Ohio Fire Code 2007.2.
- Fire extinguishers complying with Ohio Fire Code 2007.7 shall be provided.
- Approval from the Federal Aviation Administration shall be obtained. Ohio Fire Code 2007.8.
- A permit shall be obtained for construction from Montgomery County Building Regulations.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

*Administrative Office: 7008 Brandt Pike Huber Heights, Ohio 45424  
Telephone: (937) 233 - 1564 Fax Number: (937) 233 - 4520*

**AI-9415**

**6. B.**

**Planning Commission**

Meeting Date: 08/15/2023

Detailed Development Plan

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Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, FLYING ACE CAR WASH, is requesting approval of a Detailed Development Plan to construct a new car wash. Property is located at 7730 Brandt Pike (DDP 23-21).

Purpose and Background

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Attachments

Staff Report

Decision Record

Drawings

Floor Plan

Site Plan

Elevations

Fire Assessment

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# Memorandum

Staff Report for Meeting of August 15, 2023

To: Huber Heights City Planning Commission  
From: Aaron K. Sorrell, City Planner  
Date: August 9, 2023  
Subject: Detailed Development Plan: DDP 23-21  
(Flying Ace Car Wash – 7730 Brandt Pike)

Department of Planning and Zoning

City of Huber Heights

**APPLICANT/OWNER:** Flying Ace Car Wash – Applicant  
Kronos Legacy LLC - Owner

**DEVELOPMENT NAME:** Fly Ace Car Wash

**ADDRESS/LOCATION:** 7730 Brandt Pike

**ZONING/ACREAGE:** Planned Commercial (PC) / 1.55 Acres

**EXISTING LAND USE:** Vacant (former bank)

**ZONING**  
**ADJACENT LAND:** North: PC & B-3  
East: PC  
West: R-4  
South: PC

**REQUEST:** The applicant requests approval of a Detailed Development Plan to construct a new car wash facility.

**ORIGINAL APPROVAL:** N/A

**APPLICABLE HHCC:** Chapter 1171, 1176

**CORRESPONDENCE:** In Favor – None Received  
In Opposition – One email received.

## **Overview**

Upon Basic Development Plan approval, the applicant purchased the former 5/3<sup>rd</sup> bank building at 7730 Brandt Pike to redevelop the site into a Flying Ace Car Wash. The applicant plans to demolish the existing vacant building and reuse the building pad, much of the parking area, perimeter landscaping and travel lanes.

## **Site Characteristics**

The site was one of three out parcels in the Sulphur Grove Shopping Center when Wal-Mart was constructed. The site is relatively flat and sits below the Brandt Pike roadway grade. Site access is from Cedar Hill Drive and an access road within the shopping center.

Several restrictive covenants on this site are imposed by Wal-Mart, which control building height, size, parking ratios and use. The Flying Ace Car Wash development has been determined to satisfy all restrictive covenants and can move forward.

## **Applicable Zoning Regulations**

The applicable zoning regulations are Chapter 1171 – General Provisions and Chapter 1172 Planned Commercial District. Chapter 1181 – General Provisions, Chapter 1182 – Landscaping, and Chapter 1185 – Parking and Loading.

### **1171.09 - Detailed development plan.**

*The detailed development plan shall conform substantially to the basic development plan. If desired by the developer, it may be submitted in stages with each stage reflecting a portion of the approved basic plan which is proposed to be recorded and developed; provided however, that such portion conforms to all requirements of this chapter and other applicable ordinances. The requirement procedure for approval of a detailed development plan shall be:*

- (a) The detailed plan and supporting data shall be filed with the City. The Planning Commission shall determine that such plan is in conformity with these regulations and in agreement with the approved basic plan.*
- (b) After review of the detailed plan and supporting data, the Commission shall approve or disapprove the plan submitted by the developer. Disapproval of the detailed plan shall be based on its failure to comply with the basic development plan and current applicable codes, standards and regulations.*

The staff analysis addresses the elements of the Detailed Development Plan and standards for approval.

## **Staff Analysis**

The approved rezoning and Basic Development Plan ordinance has the following conditions:

1. A gate shall be installed at the Cedar Hill Drive entrance.

## **Conformance with Zoning Regulations**

The relevant sections to this application are discussed in detail below.

### **Conformance with the approved conditions of the BDP:**

**A gate shall be installed at the Cedar Hill Drive entrance.** A swing gate at the Cedar Hill Drive entrance is illustrated on the site plans.

### **Other Zoning Requirements:**

#### **Landscaping**

The applicant plans to use the existing landscaping, including the perimeter screening and buffering beds. The landscaping plan illustrates six new parking lot shade trees, new planting beds (Golden Spirea) along the west edge of the site, and new juniper bushes screening the driveway from Cedar Hill Drive. Open space increases from 39% to 42%, which conforms to the zoning code.

Street Trees: The existing mature street trees will remain and meet code.

Perimeter/Parking areas: The applicant is keeping much of the existing parking lot landscaping on the west and north edges. Gaps in the landscaping are being filled with new juniper and Golden Spirea bushes.

#### **Lighting**

The applicant is reusing the existing light poles which meet the code.

#### **Mechanical / Storage areas**

The DDP indicates that the dumpster area is enclosed and screened according to the zoning code. Existing shrubs and new Golden Spirea plantings screen the central vacuum system.

#### **Parking**

The code requires one space per employee, a minimum of 4; 2 spaces for drying/finishing; and 15 waiting spaces. This site plan illustrates:

- Four employee parking spaces, one handicapped space
- 20 vacuum spaces (drying / finishing)

While the DDP does not enumerate the number of waiting spaces, the Basic Development Plan indicated up to 51 queuing spaces. The DDP circulation and parking plan is identical to the approved Basic Development Plan (BDP). Staff feels the number of waiting spaces is adequate and meets the code.

#### **Architecture**

The building is clad with a mixture of brick and glass, and there are no blank walls. The building is oriented away from the residential area to minimize noise. The architecture is consistent with the intent of the commercial building standards in the zoning code.

## **Signs**

The signs illustrated in the DDP application are consistent with those submitted with the BDP application approved by the Planning Commission and City Council.

Wall signs: The code suggests up to 150 SF of wall signage and no more than four wall signs. The drawings include two traditional wall signs and a mural. The two wall signs at the end of the building are approximately 50 SF each, totaling 100 SF.

The mural is approximately 288 SF and is only visible during operating hours. Staff feels the mural adds visual interest to the building exterior and recommends approval.

Ground sign: The applicant plans to reuse the existing monument sign base and install a sign with a similar height. The sign detail indicates the sign and base are 7'-6" tall. The sign is installed on a sloping hillside, and the west side of the ground sign is close to 6' tall, which meets the code.

## **Staff Analysis**

The DDP application conforms with the Basic Development Plan ordinance approved by the City Council. Additionally, the DDP generally conforms to all relevant zoning regulations, including landscaping, lighting, parking, architectural standards and signs.

Additionally, it is the staff's opinion that a second Flying Ace location will reduce the traffic congestion issues occasionally plaguing the Merily Way location.

## **Additional Comments:**

**Fire:** See attached. The Fire Department has approved the site plan.

**City Engineer:** All comments have been addressed.

## **Recommendation**

The staff's opinion is that the requirements of Section 1171.09 have been met, and staff recommends approval of the Detailed Development Plan application submitted on July 27, 2023.

## **Planning Commission Action**

Planning Commission may take the following actions with a motion to:

- 1) Approve the Detailed Development Plan, with or without conditions;
- 2) Deny the Detailed Development Plan; or
- 3) Table the application to gather additional information.



## **Planning Commission Decision Record**

WHEREAS, on July 7, 2023, the applicant, Flying Ace Car Wash, requested approval of a Detailed Development Plan to construct a new car wash. Property is located at 7730 Brandt Pike, further identified as Parcel Number P70 02114 0003 of the Montgomery County Auditor's Map (Case DDP 23-21), and;

WHEREAS, on August 15, 2023, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Flying Ace Car Wash, for approval of a Detailed Development Plan of a proposed new car wash. Property is located at 7730 Brandt Pike (Case DDP 23-21), in accordance with the recommendation of Staff's Memorandum dated August 9, 2023, with the following conditions:

1. Approve as submitted.

Seconded by      Roll call showed: YEAS:    NAYS:    Motion to recommend approval carried .

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Terry Walton, Chair  
Planning Commission

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Date

GENERAL NOTES

1. EXISTING UNDERGROUND UTILITIES AND SERVICES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST INFORMATION AVAILABLE. THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
- A) CONTRACTING THE INDIVIDUAL UTILITY OWNERS TEN (10) DAYS PRIOR TO CONSTRUCTION AND ADVISING THEM OF THE WORK TO TAKE PLACE.
- B) SOLICITING THEIR AID IN LOCATING AND PROTECTING ANY UTILITY WHICH MAY INTERFERE WITH CONSTRUCTION.
- C) EXCAVATING AND VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF EACH UTILITY.
- D) ALL DAMAGE TO ANY EXISTING UTILITY.
- E) CONTACTING THE FOLLOWING OWNERS OF UNDERGROUND UTILITIES 48 HOURS BEFORE DIGGING IS TO COMMENCE.
- OHIO UTILITIES PROTECTION SERVICE (OUPS)**  
100 FEDERAL PLAZA EAST,  
LOWER LEVEL EAST,  
YOUNGSTOWN, OH 44503  
1-800-362-2764
- ELECTRIC**  
AES OHIO (DAYTON POWER & LIGHT)  
1900 DRYDEN ROAD  
DAYTON, OH 45439  
CONTACT: BILL WARD  
PH:937.331.4699
- WATER/SEWER**  
SUZC WATER  
ENVIRONMENTAL SERVICES  
6244 CHAMBERSBURG RD.  
HUBER HEIGHTS, OH 45424  
937-233-3292
- AT & T**  
3233 WOODMAN DR.  
DAYTON, OH 45424  
296-3606 7AM-5PM  
1-800-572-4747 AFTER 5
- VECTREN GAS**  
ROBERT ROBINSON  
2415 ROMBACH AVENUE  
WILMINGTON, OHIO 45177  
937-440-1894
- STORM SEWER/STREETS**  
CITY OF HUBER HEIGHTS  
6131 TAYLORSVILLE RD.  
HUBER HEIGHTS, OHIO 45424  
937-233-1423
- TIMEWARNER**  
3691 TURNER ROAD  
DAYTON, OH 45415  
1-800-986-9412
- ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OUPS
2. ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR, AND THE COST OF SAME SHALL BE INCLUDED IN THE PRICE BID FOR RELATED ITEMS.
3. WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT ITEM.
4. ALL TRENCHES WITHIN ROAD RIGHT-OF-WAYS SHALL BE BACKFILLED ACCORDING TO THE CITY OF HUBER HEIGHTS TRENCH RESTORATION SPECIFICATIONS.
5. ALL EXISTING SANITARY SEWER AND WATER LINE FACILITIES THAT ARE UTILIZED DURING CONSTRUCTION MUST BE REPAIRED AND BROUGHT TO FINAL GRADE.
6. DUE TO SOIL TYPES AND/OR SHALLOW BEDROCK, SEASONAL SEEPS MAY OCCUR, SUCH SEEPAGE SHALL BE IDENTIFIED DURING CONSTRUCTION AND PIPED INTO THE STORM SEWER SYSTEM.
7. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE "OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS", COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 S. FRONT STREET, COLUMBUS, OH 43215.
8. THE CONTRACTOR AND SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
9. EXISTING DRAIN TILE DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED OR CONNECTED TO THE STORM SEWER AS DIRECTED BY THE CITY OF HUBER HEIGHTS ENGINEER. NO PAYMENT WILL BE MADE FOR TILE REPLACEMENT.
10. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL MEET WITH AND SUBMIT A CONSTRUCTION SCHEDULE TO THE CITY OF HUBER HEIGHTS ENGINEER, AND SECURE ALL NECESSARY LICENSES AND PERMITS. THE CONTRACTOR SHALL INFORM THE CITY OF HUBER HEIGHTS ENGINEER OF ANY AND ALL CHANGES IN HIS CONSTRUCTION SCHEDULE.
11. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FOR ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LAND.
12. WHERE THE PLANS AND SPECIFICATIONS CALL FOR A SPECIFIC ITEM (SANITARY AND/OR WATER) OR AN "APPROVED EQUAL", ONLY THE CITY OF HUBER HEIGHTS ENGINEER SHALL MAKE THE DETERMINATION AS TO WHETHER AN ALTERNATE ITEM IS AN "APPROVED EQUAL."
13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE DONE TO ADJACENT PROPERTIES OR ANY PROPERTY AFFECTED BY THE CONSTRUCTION WORK. THE CONTRACTOR SHALL TAKE SPECIAL EFFORT TO PROTECT EXISTING TREES AND/OR SHRUBS.
14. NO CONSTRUCTION SHALL COMMENCE UNTIL THE CITY OF HUBER HEIGHTS PERMITS HAVE BEEN ISSUED.
15. NO ADDITIONS, DELETIONS OR REVISIONS TO THE SANITARY SEWER AND/OR WATER FACILITIES ARE TO BE MADE WITHOUT PRIOR WRITTEN OF THE CITY OF HUBER HEIGHTS ENGINEER.
16. NO DIMENSIONS SHALL BE SCALED, REFER UNCLER ITEMS TO THE ENGINEER FOR INTERPRETATION.
17. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
18. ANY WELL, SEPTIC SYSTEM, ETC., ENCOUNTERED ON THIS PROJECT SHALL BE ABANDONED IN ACCORDANCE WITH THE LATEST OEPA RULES AND REGULATIONS.
19. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, DOWN SPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
20. RIGHTS-OF-WAY, IN ADDITION TO DIRECT REQUIREMENTS OF THE CONTRACT SPECIFICATIONS, THE CONTRACTOR SHALL OBSERVE AND CONFORM TO THE SPECIFIC REQUIREMENTS OF ALL RIGHTS-OF-WAY, INCLUDING BUT NOT LIMITED TO, EASEMENTS, COURT ENTRIES, RIGHT OF ENTRY, OR ACTION FILED IN COURT, IN ACCORDANCE WITH THE CODE OF THE APPLICABLE GOVERNING AGENCY. THE COST OF THE OPERATIONS NECESSARY TO FULFILL SUCH REQUIREMENTS SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF THE CONTRACT.
21. NOTICE TO BIDDERS, PRIOR TO ANY SUBSURFACE INVESTIGATION OR ON-SITE EXAMINATION OF THE PROJECT, ALL BIDDERS SHALL OBTAIN APPROVAL FROM THE OWNER.
22. SLOPE: SLOPES GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MAT. MAT SHALL BE CONTACT ARO-MAT OR APPROVED EQUAL. IF MAT IS NOT BIODEGRADABLE THE CONTRACTOR SHALL REMOVE IT PRIOR TO THE FIRST MOWING.
23. TESTING: THE OWNER SHALL PAY FOR ALL SITE COMPACTION TESTING, BUT CONTRACTOR SHALL PAY FOR ALL RETESTING REQUIRED.
24. CONCRETE CURB: ALL CURB SHALL HAVE A MINIMUM OF 1/8 INCH CONTRACTION JOINTS CONSTRUCTED AT TEN FOOT INTERVALS. THE DEPTH OF THE JOINT SHALL AVERAGE TWO INCHES OR MORE. EXPANSION JOINT STRIPS THE DEPTH OF THE CURB SHALL BE USED AT THE BEGINNING AND END OF CURVES WHICH RADIUS IS LESS THAN 100 FEET AND WHENEVER IT BECOMES NECESSARY TO SUSPEND THE WORK FOR 30 MINUTES OR MORE.
25. ALL JOINTS BETWEEN ASPHALT PAVEMENT AND CONCRETE WALK, CONCRETE PAVEMENT, CONCRETE LIGHT POLES AND IN CONCRETE CATCH BASINS SHALL BE SEALED NEATLY WITH ASPHALTIC CEMENT.
26. SITE CONTRACTOR SHALL INSTALL SPIDER DRAINS AT ALL CATCH BASINS.
27. ALL STORM PIPE SHALL BE ADS N-12 OR APPROVED EQUAL AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
28. REFER TO ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS FOR EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.
29. ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISH PAVEMENT UNLESS OTHERWISE SHOWN.
30. THE CONTRACTOR SHALL RECORD THE LOCATION OF ALL SANITARY AND WATER SERVICES INSTALLED. THIS RECORD SHALL BE KEPT ON A SET OF PLANS SUPPLIED TO HIM SPECIFICALLY FOR THIS PURPOSE. THESE PLANS SHALL BE RETURNED TO THE ENGINEER WHEN ALL SERVICES HAVE BEEN INSTALLED.

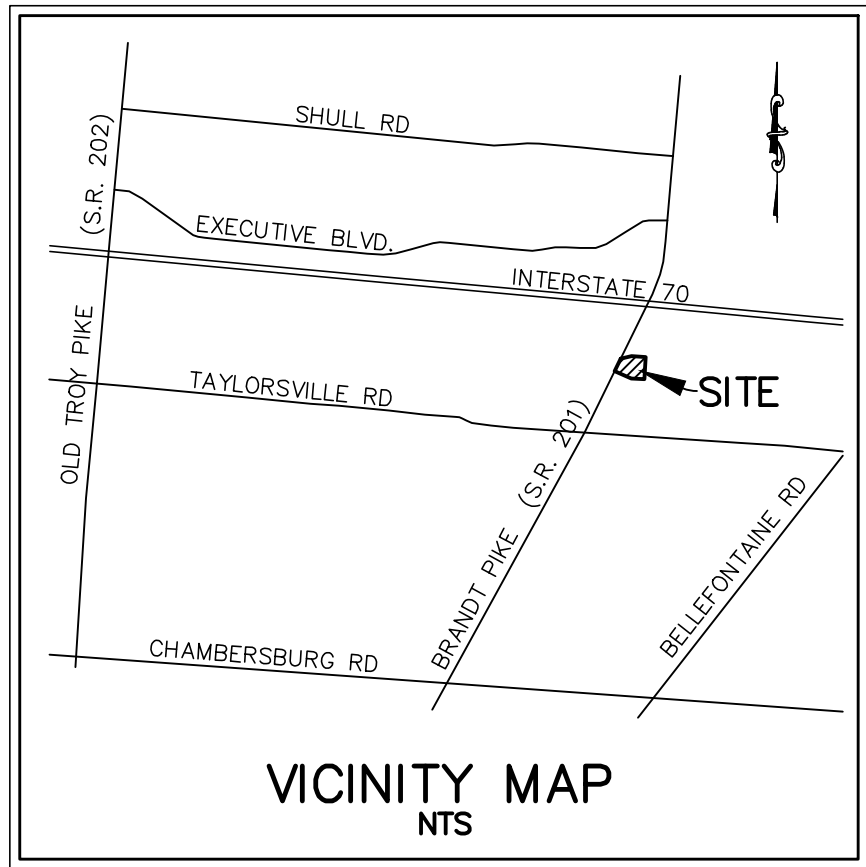
GENERAL NOTES (CONT.)

31. ALL CATCH BASIN GRATES SHALL BE BIKE AND PEDESTRIAN SAFE.
32. THE SITE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTOR IN ORDER TO PLACE THE EXCESS EXCAVATED MATERIAL FROM THE SLAB AND FOOTINGS EXCAVATION IN AN APPROPRIATE LOCATION.
33. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE LOCATION AND QUANTITY OF TOPSOIL TO BE STOCKPILED.
34. THE SITE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH ODOT SPECIFICATION 616.
35. THE CONTRACTOR SHALL PROHIBIT THE TRACKING OF MUD OFF-SITE AND SHALL PROVIDE THE NECESSARY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, WASH STATIONS AND GRAVEL CONSTRUCTION DRIVES. SHOULD MUD OR ANY OTHER MATERIAL BE TRACKED OFF-SITE THE CONTRACTOR SHALL CLEAN IT UP AT HIS COST.
36. ALL STRIPING SHALL BE DONE IN ACCORDANCE WITH ODOT 640 AND PAINT SHALL CONFORM TO ODOT 642.
37. THE CONTRACTOR SHALL FIELD MARK AND PLUG THE END OF ALL UTILITY SERVICES, CONDUIT AND MAIN LINE STUBS IN SUCH A MANNER AS TO MAKE THESE LOCATIONS QUICKLY LOCATED.
38. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF AS-BUILT DRAWINGS, PRIOR TO THE RELEASE OF THE RETAINER.
39. ODOT SPECIFICATIONS, JAN. 2008, ARE HEREBY MADE A PART OF THESE PLANS AND BID DOCUMENTS.
40. CONTRACTOR SHALL SAVE SOME TREES AROUND BOUNDARY. THESE TREES TO BE COORDINATED WITH THE OWNER PRIOR TO START OF WORK. ALL OTHER TREES AND GROWTH TO BE REMOVED.
41. IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
42. ANY PORTION OF THE SITE DISTURBED BY GRADING AND NOT FURTHER INCLUDED IN THE FIRST PHASE OF CONSTRUCTION SHALL BE PLANTED WITH APPROPRIATE GROUND COVERING AND PROPERLY MAINTAINED.
43. EXTERIOR CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 6:00 A.M. TO 10:00 P.M. MONDAY THRU SATURDAY.
44. ALL HANDICAP RAMPS SHALL CONFORM TO THE LATEST ADA STANDARDS AND REGULATIONS.
45. THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND SHALL BE CONSIDERED AN INTREGAL PART OF THESE CONSTRUCTION PLANS.
46. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASSURE STABILIZATION OF ALL TRENCHES DURING ROAD CONSTRUCTION.

FLYING ACE CAR WASH  
7730 BRANDT PIKE

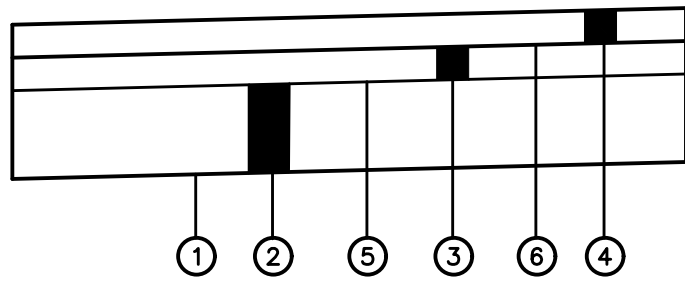
LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.Rs.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

JULY 6, 2023



INDEX

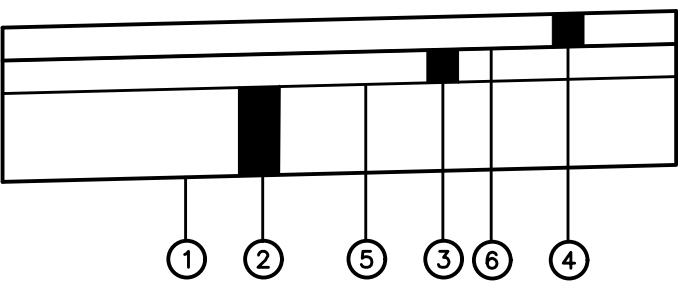
- 1..... COVER SHEET  
2..... EXISTING TOPOGRAPHY/DEMOLITION PLAN  
3..... SITE/UTILITY PLAN  
4..... GRADING/EROSION CONTROL PLAN  
5..... LANDSCAPE PLAN  
6..... DETAIL SHEET  
7..... EROSION CONTROL NOTES  
8..... EROSION CONTROL DETAILS



- ① ITEM 203 - SUBGRADE COMPACTION  
② ITEM 304 - GRANULAR BASE ~ 6" COURSE  
③ ITEM 441 - TYPE 2 ASPHALTIC CONCRETE ~ 2" COURSE INTERMEDIATE COURSE, PG 64-22  
④ ITEM 441 - TYPE 1 ASPHALTIC CONCRETE ~ 1.5" COURSE SURFACE COURSE, PG 64-22  
⑤ ITEM 408 - PRIME COAT @ 0.4 GAL/SY  
⑥ ITEM 407 - TACK COAT @ 0.04 GAL/SY

STANDARD DUTY FLEXIBLE PAVEMENT SECTION  
NTS

(THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)



- ① ITEM 204 - SUBGRADE COMPACTION  
② ITEM 304 - GRANULAR BASE ~ 8" (2~4" COURSES)  
③ ITEM 441 - TYPE 2 (448) ASPHALTIC CONCRETE ~ 3.0" COURSE INTERMEDIATE COURSE  
④ ITEM 441 - TYPE 1 (448) ASPHALTIC CONCRETE ~ 1.5" COURSE SURFACE COURSE, PG 64-22  
⑤ ITEM 408 - PRIME COAT @ 0.4 GAL/SY  
⑥ ITEM 407 - TACK COAT @ 0.05 GAL/SY

HEAVY DUTY FLEXIBLE PAVEMENT SECTION  
NTS

(THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES AND THE CONTRACTOR SHALL CONFIRM THE PAVEMENT SECTIONS WITH DEVELOPER PRIOR TO BID AND CONSTRUCTION)

PREPARED BY:



BASIS OF BEARINGS

BEARINGS ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF DAYTON BRANDT PIKE AS SHOWN ON SULPHER GROVE PLAZA SUBDIVISION BY P.B. 191, PG. 16 (N21°03'31"E)

1	7.6.23	REVISED PER CITY COMMENTS.	JMM
NO.	DATE	DESCRIPTION	BY

APPROVALS

CITY OF HUBER HEIGHTS

DATE

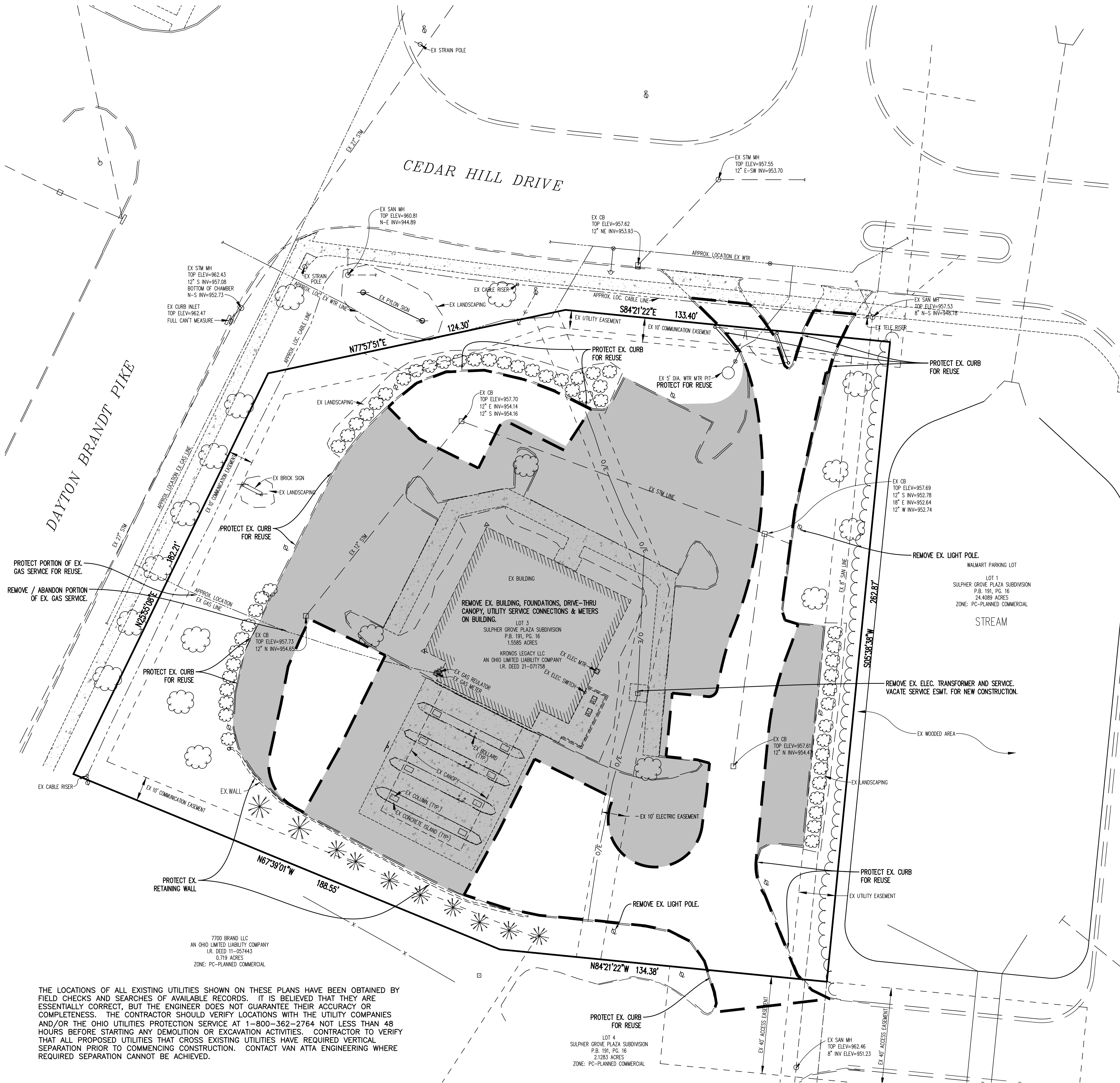


*Michael N. Anderson*  
MICHAEL N. ANDERSON  
OHIO PROFESSIONAL ENGINEER #E-81188

7/6/2023  
DATE



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- DEMOLITION NOTES:
1. COORDINATE WITH LOCAL UTILITY PROVIDERS FOR UTILITY SERVICE DEMOLITION. SEE SITE / UTILITY PLAN FOR PROPOSED SERVICE REUSE REQUIRING INSPECTION / SIZE VERIFICATION.
  2. PROTECT EX. UTILITY MAINS ON-SITE.
  3. PROTECT PERIMETER LANDSCAPING AND SIGN BASE.
  4. PROTECT EX. LIGHT POLES NOT CALLED FOR REMOVAL.
  5. PROTECT EX. STORM SEWER AND INLETS FOR REUSE.

STATE OF OHIO  
MICHAEL N. ANDERSON  
E-81188  
REGISTERED PROFESSIONAL ENGINEER  
7/6/2023

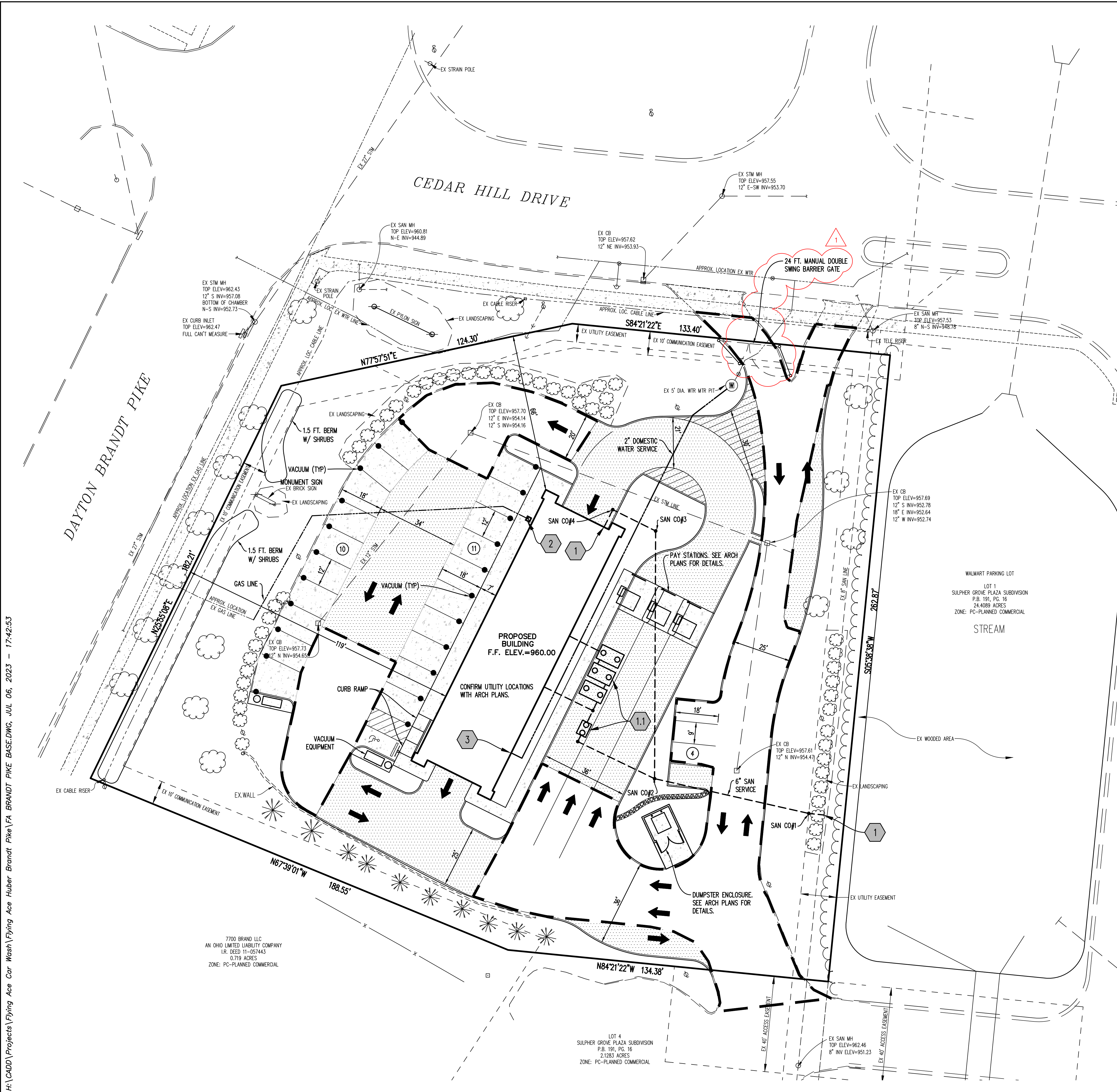
**Vanatta Engineering**  
570 Congress Park Dr • Dayton, OH 45459  
Phone: 937.438.5650  
Fax: 937.438.5845

EXISTING TOPOGRAPHY/DEMO PLAN  
**FLYING ACE CAR WASH**  
7730 BRANDT PIKE  
LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.R.s.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

DATE: JULY 6, 2023  
SCALE: 1"=20'  
PROJECT No. 7929  
FILE No.  
SHEET No.



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UTILITY KEY NOTES:

- 1 6" SANITARY SEWER SERVICE (SDR35) @ 1.00% MINIMUM SLOPE. CONNECT TO MAIN PER CITY OF HUBER HEIGHTS STANDARDS. SEE PLUMBING PLANS FOR BUILDING DETAILS. CONTRACTOR TO COORDINATE WITH CITY OF HUBER HEIGHTS PRIOR TO CONSTRUCTION.
- | MAIN CONNECTION                                   | BUILDING CONNECTION                               |
|---|---|
| 6" INV=951.06                                     | 6" INV=955.00                                     |
| EX. 8" INV(MAIN)=950.39                           |   |
| SAN CO#1<br>CLEANOUT ELEV=958.68<br>6" INV=953.03 | SAN CO#2<br>CLEANOUT ELEV=959.05<br>6" INV=953.69 |
| SAN CO#3<br>CLEANOUT ELEV=958.80<br>6" INV=954.72 | SAN CO#4<br>CLEANOUT ELEV=959.49<br>6" INV=954.92 |
- 1.1 3~1,500 GALLON WATER RECLAMATION TANKS AND OIL / WATER SEPARATOR. SEE PLUMBING PLANS FOR DETAILS.
- 2 GAS SERVICE. REUSE PORTION OF EX. GAS LATERAL. INSTALL NEW METER ON BUILDING FACE. SEE PLUMBING PLANS FOR DETAILS. COORDINATE WITH LOCAL UTILITY PROVIDER.
- 3 2" DOMESTIC WATER SERVICE. VERIFY EX. METER SIZE AND REUSE IF 2" METER AND SERVICE LINE AVAILABLE AND IN GOOD CONDITION. SEE PLUMBING PLANS FOR DETAILS. COORDINATE WITH LOCAL UTILITY PROVIDER.
- \*ALTERNATE: REMOVE EX. METER AND SERVICE LINE. PLUG @ MAIN. SADDLE TAP MAIN AND INSTALL NEW 2" SERVICE LINE (TYPE K COPPER) IN SAME TRENCH, CURB STOP @ PROPERTY LINE. REUSE EX. METER BOX AND INSTALL NEW 2" METER & BACKFLOW. COORDINATE WITH VAN ATTA ENGINEERING AND CITY OF HUBER HEIGHTS FOR PLANS AND APPROVAL PRIOR TO CONSTRUCTION. COORDINATE TRAFFIC CONTROL IN CEDAR HILL DRIVE WITH CITY OF HUBER HEIGHTS.

SITE DATA:

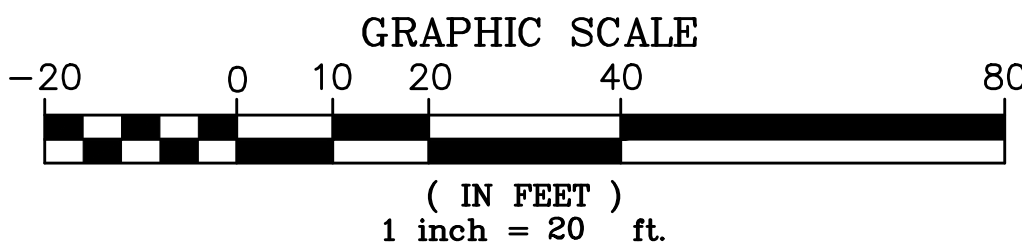
ZONING DISTRICT: PC-PLANNED COMMERCIAL  
TOTAL SITE = 1.56 ACRES  
PROPOSED IMPERVIOUS AREA = 0.91 ACRES (58%)  
PROPOSED OPEN SPACE = 0.65 ACRES (42%)  
EXISTING IMPERVIOUS AREA = 0.95 ACRES (61%)  
EXISTING OPEN SPACE = 0.61 ACRES (39%)

PARKING DATA:

20 VACUUM SPACES PROVIDED  
4 EMPLOYEE PARKING SPACES PROVIDED  
1 HANDICAP PARKING SPACE PROVIDED  
25 TOTAL PARKING SPACES PROVIDED

LEGEND	
	EX. TREE OR SHRUB
	EX. PINE TREE
	EX. LIGHT POLE
	HEAVY DUTY PAVEMENT
	PAVEMENT AREAS TO BE MILLED AND RESURFACED
	CONCRETE PAVEMENT OR SIDEWALK

2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

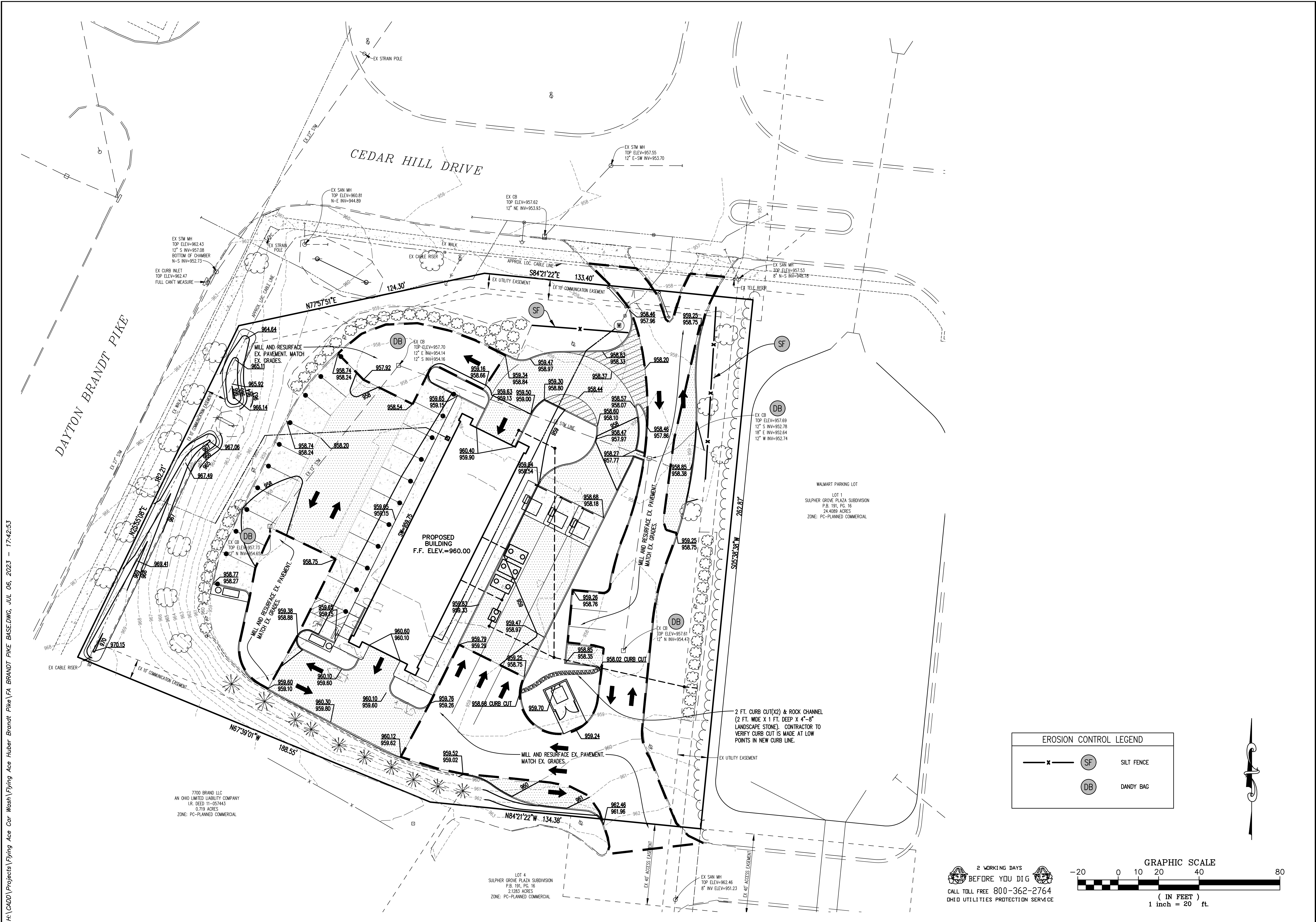


SITE/UTILITY PLAN  
FLYING ACE CAR WASH  
7730 BRANDT PIKE  
LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.Rs.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

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GRADING/EROSION CONTROL PLAN  
FLYING ACE CAR WASH  
7730 BRANDT PIKE  
LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.Rs.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

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NO. DATE REVISION

7/6/2023

STATE OF OHIO  
MICHAEL N. ANDERSON  
E-81188  
REGISTERED PROFESSIONAL ENGINEER

VANATTAENGINEERING  
570 Congress Park Dr • Dayton, OH 45459  
Phone: 937.438.5650  
Fax: 937.438.5845

EROSION CONTROL LEGEND

SF

DB

SILT FENCE

DANDY BAG

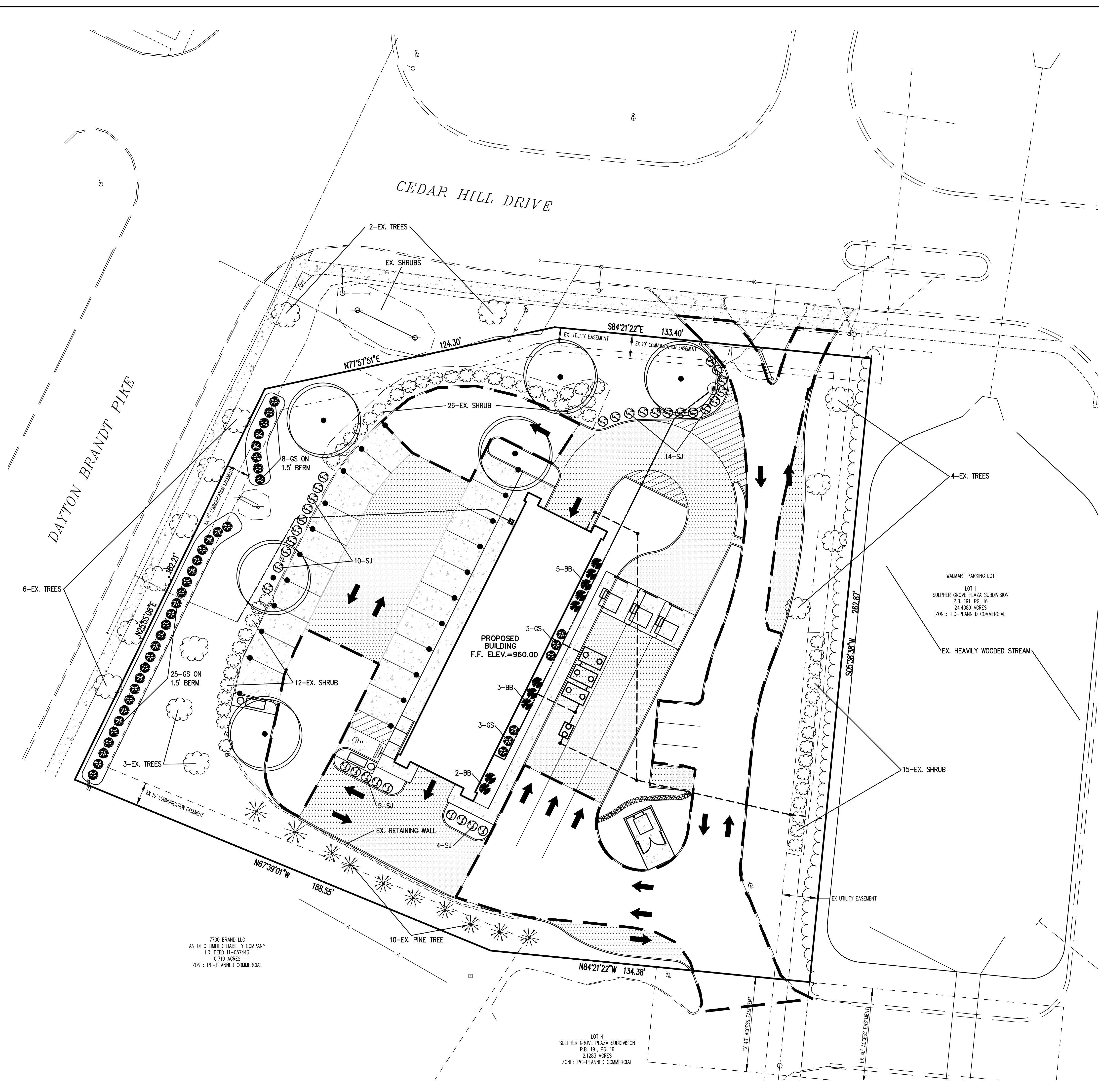
2 WORKING DAYS  
BEFORE YOU DIG

CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

GRAPHIC SCALE

1 inch = 20 ft.

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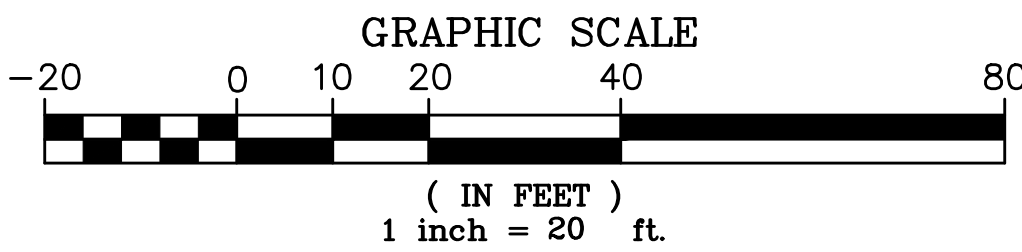


SYMBOL	ABBREVIATION	COMMON NAME	BOTANICAL NAME	QTY.
	SHL	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'™	6
	BB	COMPACT BURNING BUSH	EUONYMUS ALATUS	10
	SJ	SEA GREEN JUNIPER	JUNIPEROUS PFITZERIANA	33
	GS	GOLDFLAME SPIREA	SPIREA JAPONICA 'GOLDFLAME'	39

- LANDSCAPING NOTES:
- 1.) THE SITE WILL BE IRRIGATED.
  - 2.) ALL DEAD, DAMAGED OR MISSING LANDSCAPE MATERIALS WILL BE REPLACED PER CITY LANDSCAPE ORDINANCE.
  - 3.) ANY CHANGES MADE TO THE APPROVED LANDSCAPE PLAN WILL REQUIRE APPROVAL FROM THE CITY OF HUBER HEIGHTS.
  - 5.) NO TREE SHALL BE PLANTED WITHIN AN UTILITY EASEMENT.
  - 6.) NEW LAWN AREAS TO RECEIVE SOD. EXISTING LAWN TO BE RECEIVE SOD AS NEEDED.
  - 7.) EXISTING TREES TO BE PROTECTED WITH ORANGE FENCE PRIOR TO CONSTRUCTION.

LEGEND	
	EX. TREE OR SHRUB
	EX. PINE TREE
	EX. LIGHT POLE
	HEAVY DUTY PAVEMENT
	PAVEMENT AREAS TO BE MILLED AND RESURFACED
	CONCRETE PAVEMENT OR SIDEWALK

2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE



NO.

DATE

REVISION

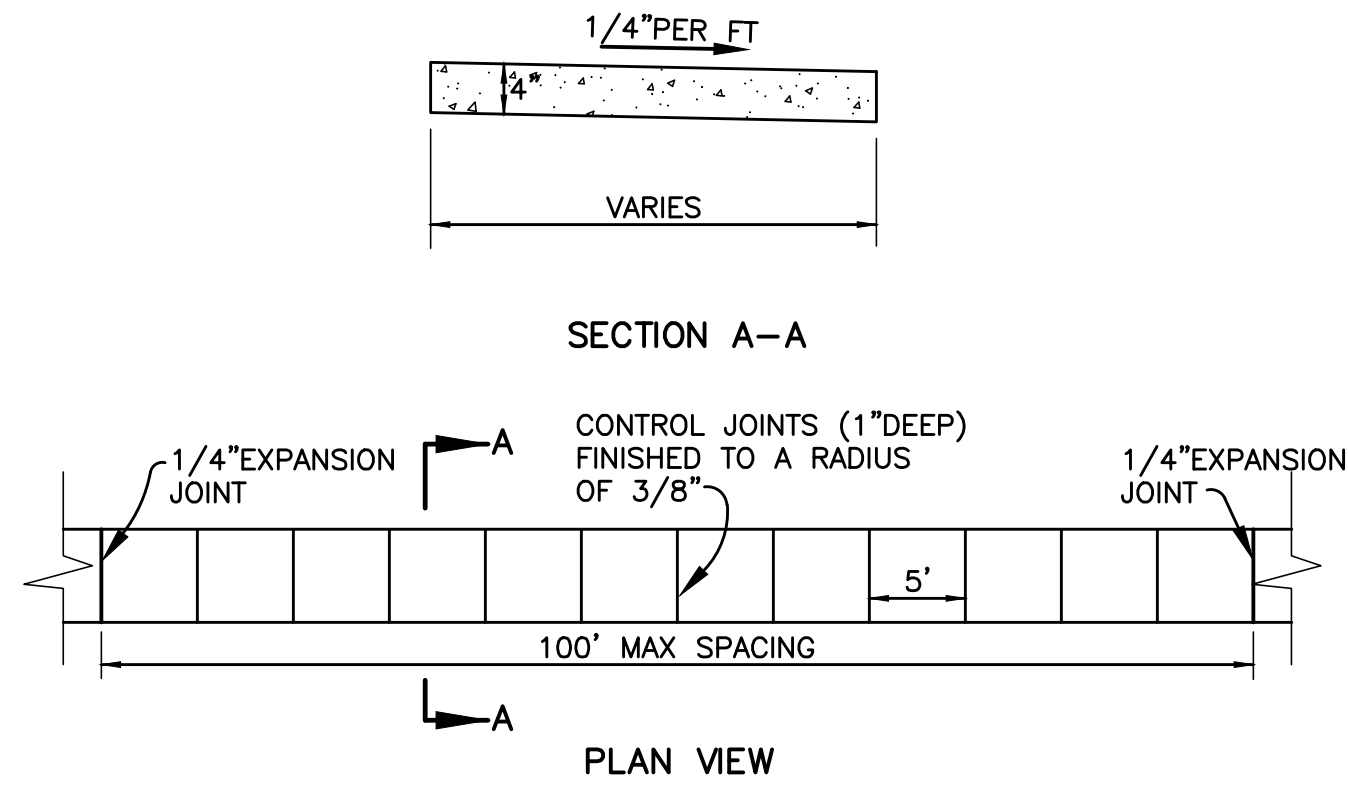
VANATTA ENGINEERING  
570 Congress Park Dr • Dayton, OH 45459  
Phone: 937.438.5650  
Fax: 937.438.5845

LANDSCAPE PLAN  
FLYING ACE CAR WASH  
7730 BRANDT PIKE  
LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.Rs.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

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- NOTES:
- 1) CONCRETE FOR SIDEWALKS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 608.
  - 2) ALL EXPOSED SURFACES SHALL BE BROOMED AND EDGED.
  - 3) SIDEWALKS SHALL BE 4" THICK, EXCEPT THRU DRIVEWAYS WHICH SHALL BE 6".
  - 4) 3" OF GRAVEL BASE SHALL BE PLACED UNDER WALKS IF DETERMINED NECESSARY.
  - 5) WALK SHALL BE BACKFILLED WITHIN 5 DAYS OF BEING POURED.
  - 6) CURING COMPOUND SHALL BE APPLIED IN ACCORDANCE WITH ITEM 451.10.

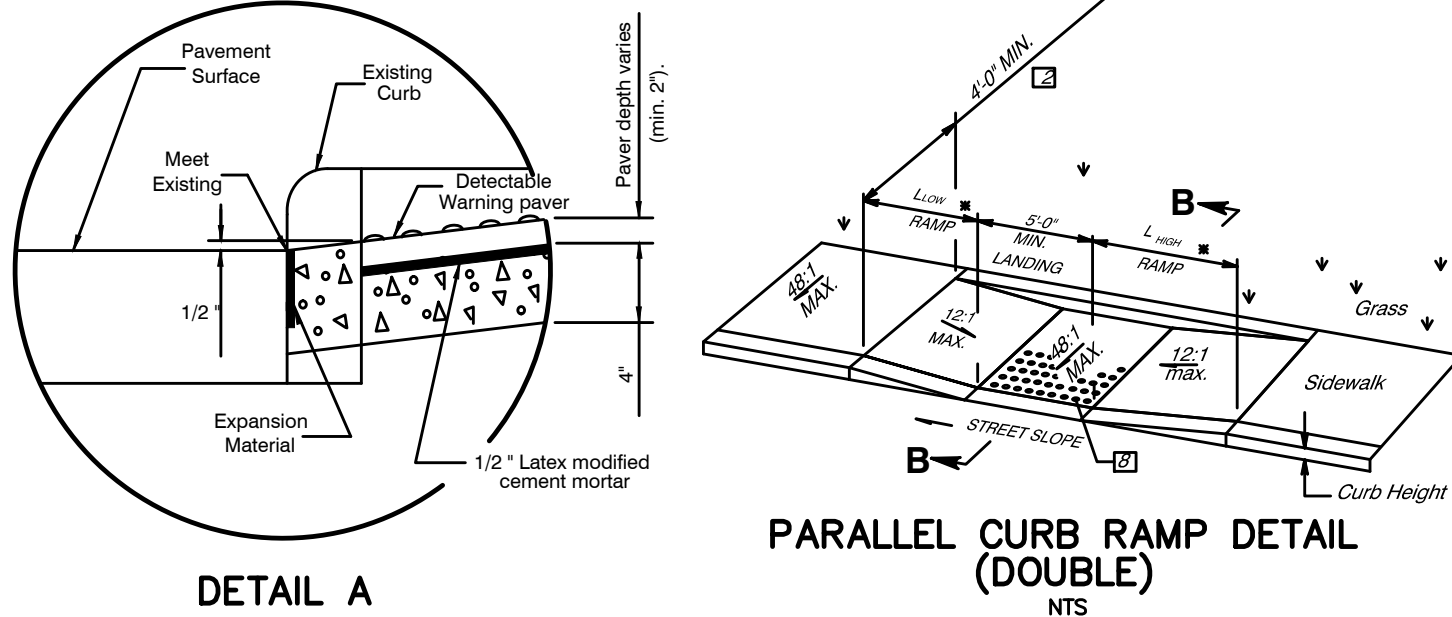
SIDEWALK DETAIL  
NTS

STREET SLOPE	RAMP LENGTH @ 1"/FT	
	L <sub>LOW</sub> MIN	L <sub>HIGH</sub> MIN
0.01	5'-5"	6'-10"
0.02	4'-10"	7'-11"
0.03	4'-5"	9'-5"
0.04	4'-1"	11'-9"
0.05	3'-9"	15'-2"

\* MEASURED ALONG THE BACK OF A 6" HIGH CURB.

L<sub>HIGH</sub> = CURB HT. + 0.083 \* STREET SLOPE

L<sub>LOW</sub> = CURB HT. + 0.083 \* STREET SLOPE

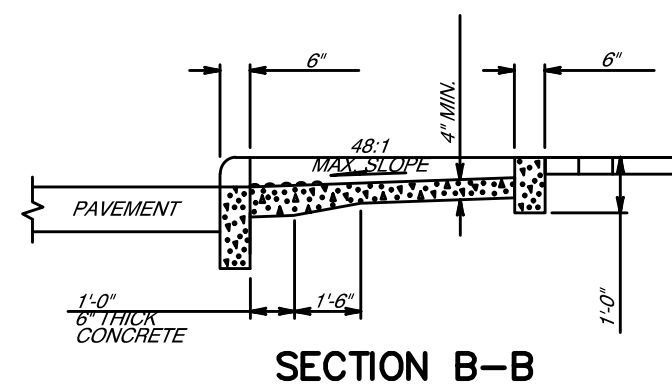


PARALLEL CURB RAMP DETAIL  
(DOUBLE)  
NTS

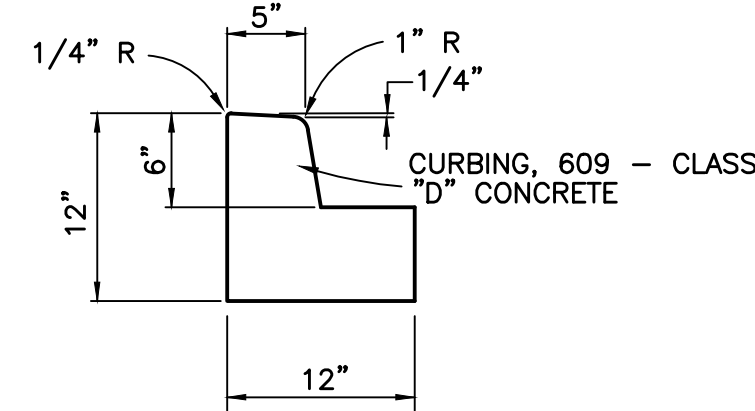
- LEGEND
- MAY BE REDUCED TO 3'-4" IN EXISTING SIDEWALKS TO BETTER FIT THE WALK CONFIGURATION OR WHERE SITE CONDITIONS ARE RESTRICTED BY NARROW WALKS, POLE FOUNDATIONS, DRAINAGE INLETS, ETC. THE WIDTH MAY BE TAPERED.
  - DETACHABLE WARNINGS (TRUNCATED DOMES) ARE TO BE INSTALLED IN THE LOCATIONS SHOWN. DIMENSIONS OF THE DOMES ARE 24 INCHES FROM THE BACK OF THE CURB BY THE WIDTH OF THE RAMP.

NOTES

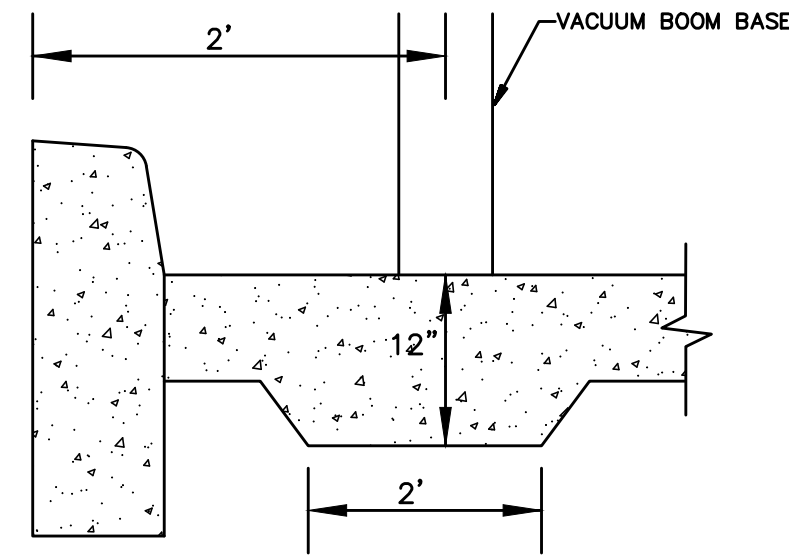
1. SURFACE TEXTURE: TEXTURE SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE RAMP SLOPES AND SHALL BE ROUGHER THAN ADJACENT WALK.
2. JOINTS: SHALL BE PROVIDED IN THE CURB RAMP AS EXTENSIONS OF WALK JOINTS AND CONSISTENT WITH ITEM 608.03 REQUIREMENTS FOR A NEW CONCRETE WALK. A 1/2" ITEM 705.03 EXPANSION JOINT FILLER SHALL BE PROVIDED AROUND THE EDGE OF RAMP BUILT IN EXISTING CONCRETE WALK. LINES SHOWN ON THIS DRAWING INDICATE THE RAMP EDGE AND SLOPE CHANGES AND ARE NOT NECESSARILY JOINT LINES.
3. PAYMENT: WALK AND CURB, ITEMS 608 AND 609, SHALL BE MEASURED THROUGH THE CURB RAMP AREA. PAID FOR ITEM 608 - CURB UNDER THEIR RESPECTIVE ITEMS. CONSTRUCTED IN NEW CURB AND WALK SHALL RAMP. EACH INCLUDE THE COST OF ANY ADDITIONAL MATERIALS, GRADING, ITEM 609 - CURB RAMP FORMING AND FINISHING, CONSTRUCTED IN EXISTING CURB SQUARE FOOT, AND WALK SHALL INCLUDE THE COST OF FURNISHING ALL MATERIALS, GRADING, FORMING, AND FINISHING OF THE CURB AND WALK OF THE CURB RAMP. REMOVAL OF EXISTING CURB AND WALK SHALL BE PAID FOR UNDER ITEM 202.
4. TRUNCATED DOMES: INSTALL DETACHABLE WARNINGS (TRUNCATED DOMES) FOR A DISTANCE OF 24" FROM THE BACK OF THE CURB FOR THE ENTIRE WIDTH OF THE RAMP OPENING AS SHOWN.



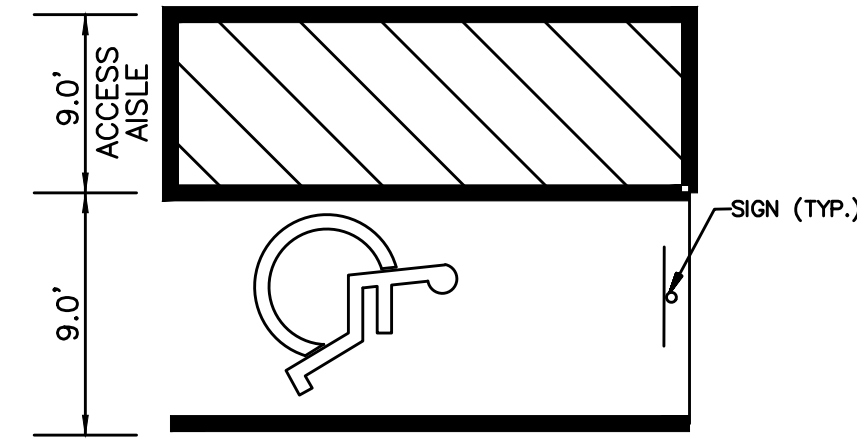
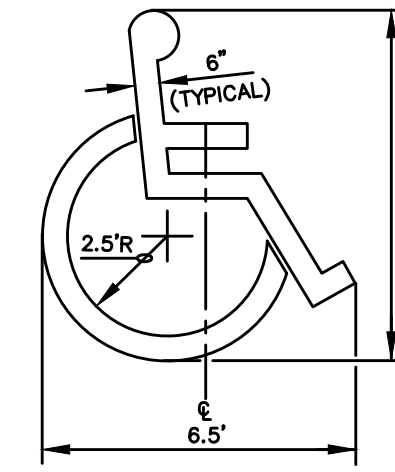
SECTION B-B



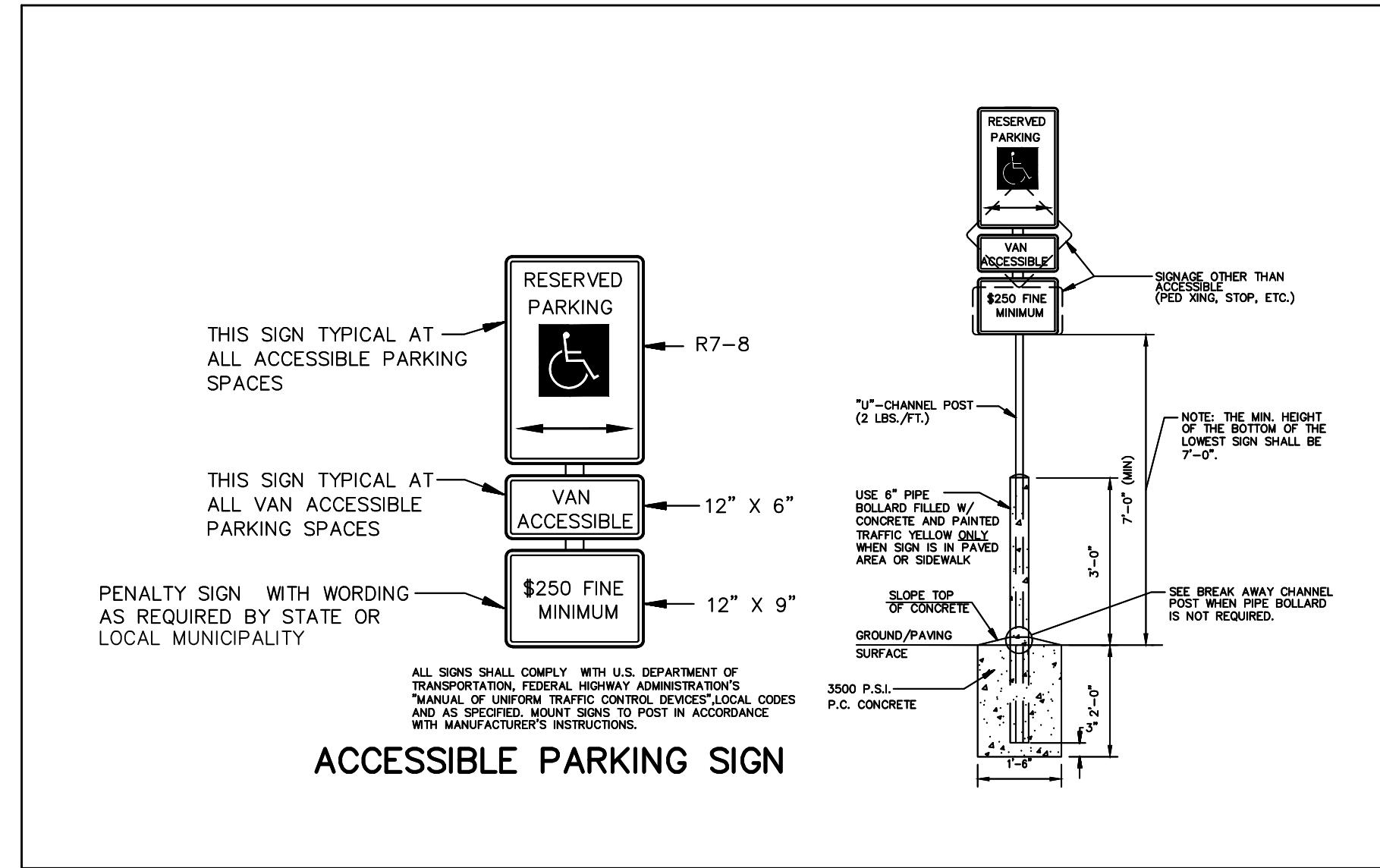
INTERIOR SITE CURB/GUTTER  
NTS



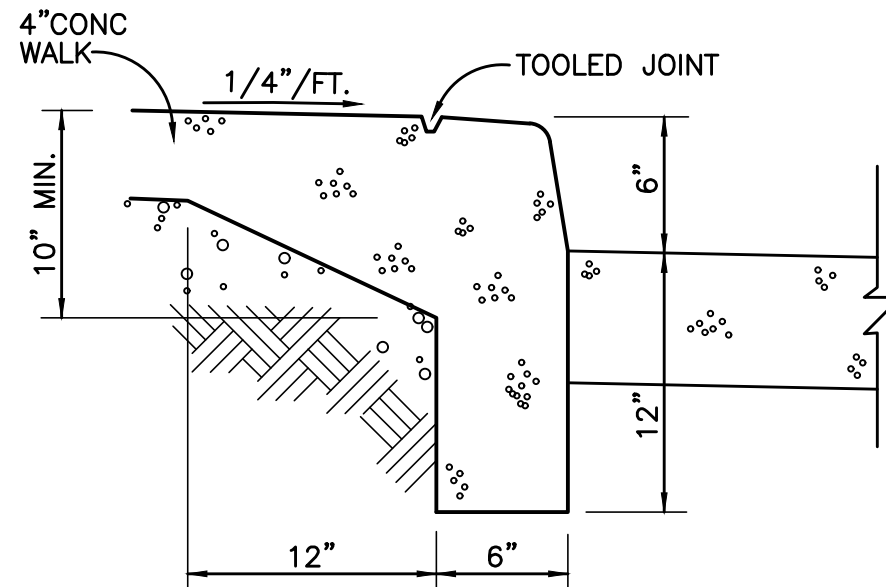
THICKENED CONCRETE  
FOR VACUUM BOOM  
NTS



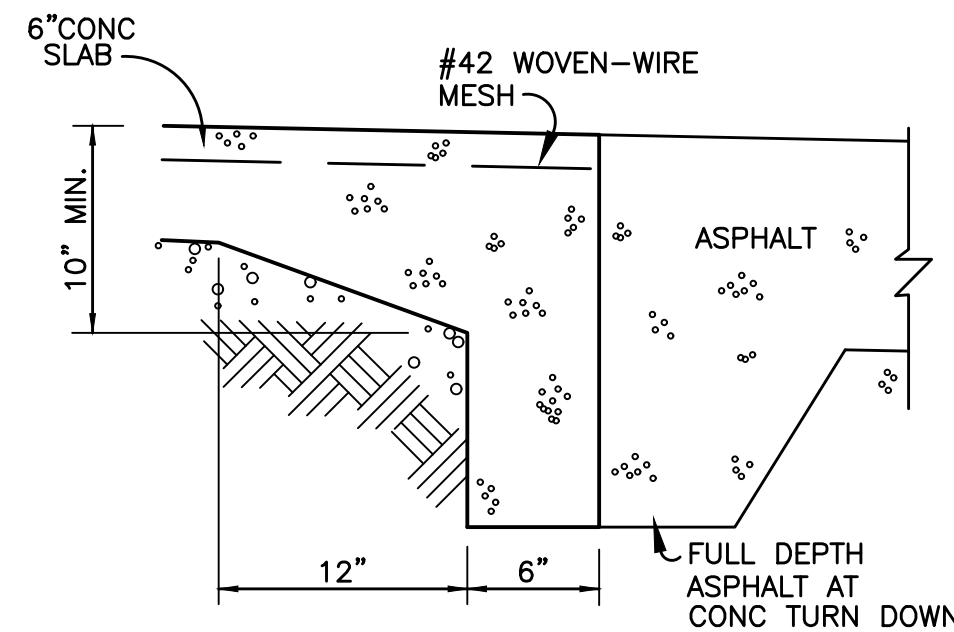
ACCESSIBLE PARKING SYMBOL



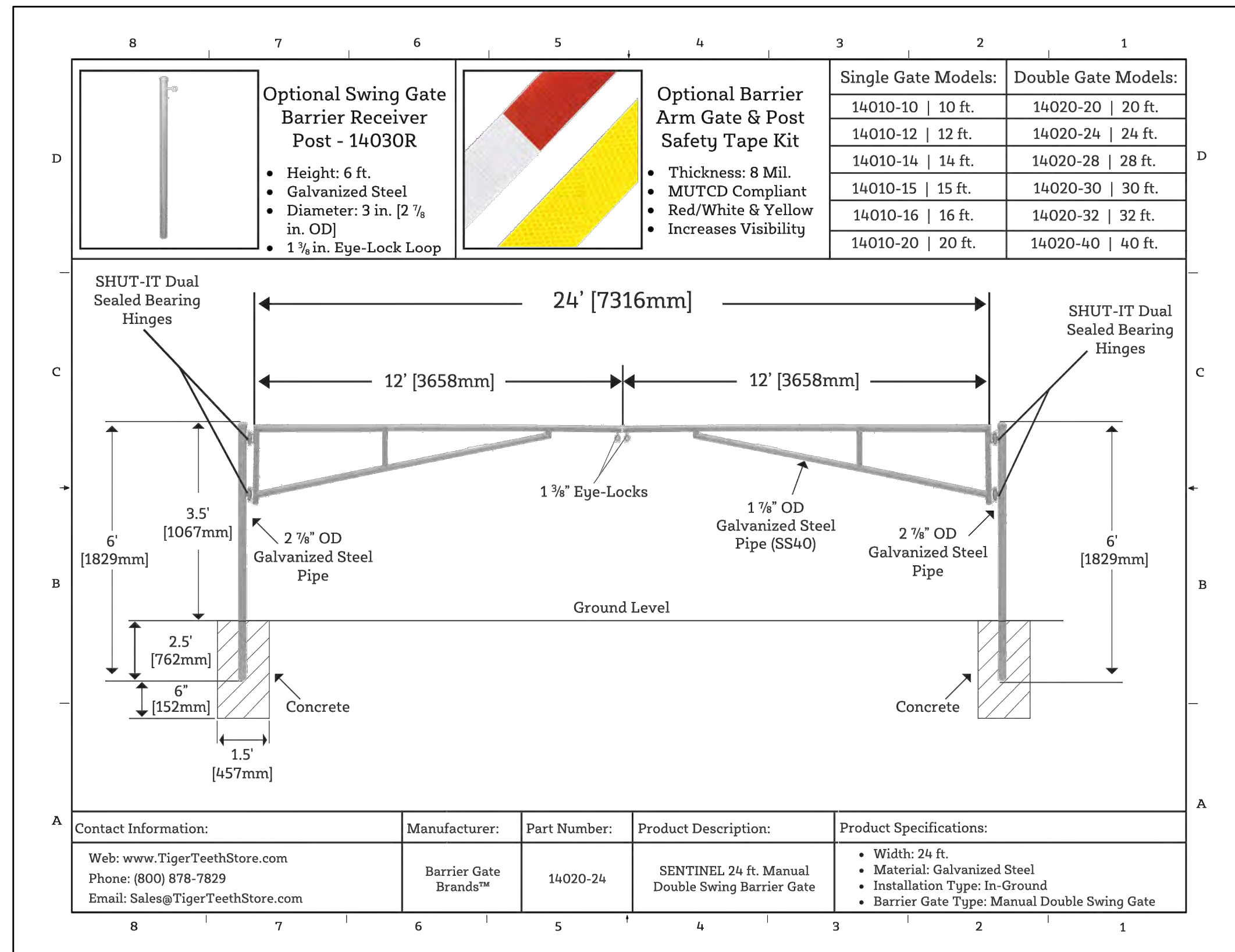
ACCESSIBLE PARKING SIGN



CURB CONSTRUCTION  
ALONG WALK  
NTS



CONCRETE TURN DOWN  
AT DUMPSTER PAD  
NTS



24 FT. MANUAL DOUBLE SWING BARRIER GATE  
ALTERNATIVES WILL REQUIRE APPROVAL FROM CITY OF HUBER HEIGHTS AND OWNER

DETAIL SHEET  
FLYING ACE CAR WASH  
7730 BRANDT PIKE

LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.Rs.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

DATE: JULY 6, 2023  
SCALE: NTS  
PROJECT No. 7929  
FILE No.  
SHEET NO.



SITE NOTES:

THE PRE-EXISTING CONDITIONS ON SITE ARE PRIMARILY COMMERCIAL RETAIL DEVELOPMENT. THE PROPOSED PROJECT IS A NEW COMMERCIAL RETAIL DEVELOPMENT.

APPROXIMATELY 1.0± ACRES OF 1.25± WILL BE DISTURBED AS A PART OF THIS PROJECT.

THE PRE-CONSTRUCTION RUNOFF COEFFICIENT IS 0.90.  
THE POST-CONSTRUCTION RUNOFF COEFFICIENT IS 0.90.

THE PROPOSED IMPERVIOUS AREA IS APPROXIMATELY 0.67 ACRES  
THE PERCENT IMPERVIOUSNESS CREATED BY CONSTRUCTION ACTIVITY IS 54%.

RECEIVING WATER IS AN UNNAMED TRIBUTARY TO THE HOLES CREEK.

SOILS ON SITE CONSIST OF: XENIA SILT LOAM (TYPE C), AND MIAMIAN-URBAN LAND COMPLEC (TYPE C) (PREDOMINANT HYDROLOGIC GROUP TYPE C).

STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)

- THE OWNER AGREES TO MAINTAIN IN PERPETUITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS LISTED IN #2 BELOW AND IN A MANNER THAT WILL PERMIT THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY OF THE STORM WATER.
- NO ALTERATIONS TO THE UNDERGROUND DETENTION SYSTEM WITHOUT APPROVAL FROM THE JURISDICTIONAL REVIEWING AUTHORITY.
- THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS.

MAINTENANCE TO BE COMPLETED EVERY 3 MONTHS

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM THE UNDERGROUND DETENTION.
- REMOVE OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS WITHIN THE UNDERGROUND DETENTION.
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES AND STRUCTURES.

MAINTENANCE TO BE COMPLETED YEARLY

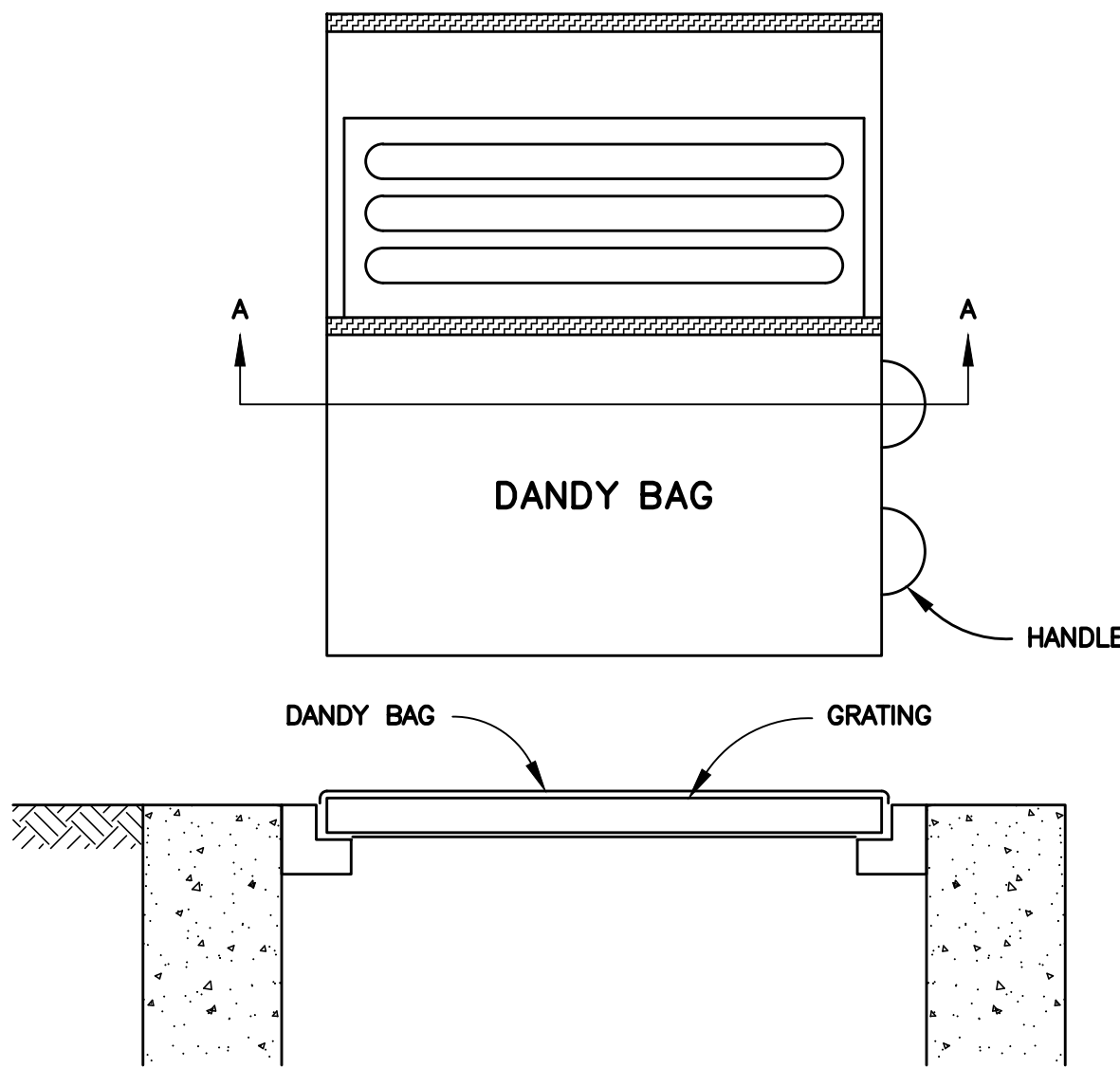
- REPAIR EROSION TO OUTFALL OR SPILLWAY OF THE UNDERGROUND DETENTION.
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS.
- MOW EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

YEARLY REPORT REQUIREMENTS

SKETCH SHOWING GENERAL AREA OF BMP'S, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT INCLUDING SIGNATURE AND SEAL.

SEQUENCE OF CONSTRUCTION

- CONDUCT PRE-CONSTRUCTION MEETING
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING CONSTRUCTION ENTRANCE, SEDIMENT TRAPS, ROCK CHECK DAMS, INLET PROTECTION & SILT FENCE.
- CONSTRUCT TEMPORARY PARKING AND STORAGE AREA.
- PERFORM CLEARING AND GRUBBING AS NECESSARY.
- BEGIN GRADING THE SITE. MAKING SURE THAT EROSION CONTROL MEASURES ARE IN PLACE AND WORKING PROPERLY THROUGHOUT GRADING OPERATIONS.
- APPLY TEMPORARY SOIL STABILIZATION WITHIN (7) DAYS OF EXCAVATION.
- BEGIN CONSTRUCTION OF ALL UTILITIES INCLUDING STORM SEWER. INSTALL INLET PROTECTION CONCURRENT WITH CONSTRUCTION OF PROPOSED STORM STRUCTURES.
- BEGIN CONSTRUCTION OF BUILDING PADS AND STRUCTURES.
- BEGIN CONSTRUCTION OF STREETS. INSTALL CURB AND GUTTER. PREPARE FOR PAVING.
- PERMANENTLY SEED AND MULCH & LANDSCAPE REMAINDER OF PERVIOUS AREAS. PERMANENT SEEDING SHALL BE INSTALLED WITHIN (7) DAYS OF COMPLETION OF FINAL GRADING IN UNPAVED AREAS.
- PAVE SITE.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE ACHIEVES "FINAL STABILIZATION"



SECTION A-A

INSTALLATION : STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE : AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

DANDY BAG  
NTS



STORM WATER POLLUTION PREVENTION PLAN NOTES

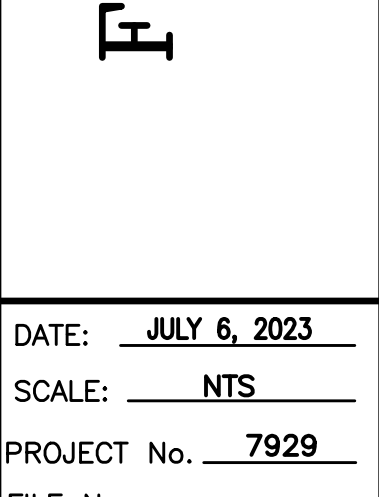
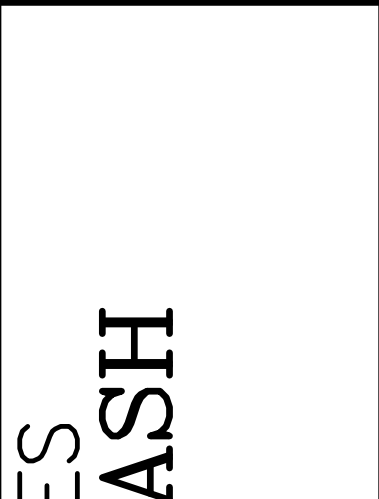
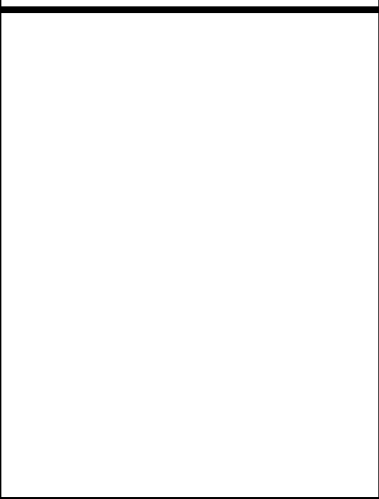
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST OHIO EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OH000004 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. EVERY EFFORT SHALL BE MADE TO PRESERVE THE NATURAL RIPARIAN SETBACK ADJACENT TO STREAMS OR OTHER SURFACE WATER BODIES.
- SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
- TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:  
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE REMAINING DORMANT FOR OVER FOURTEEN (14) DAYS.  
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS.  
PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER.
- PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:  
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.  
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.  
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
- TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:  
SEEDING: ANNUAL RYEGRASS AT 2.02 #/1,000 S.F.  
MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.  
FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATIONS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
- OHIO EPA SWPPP REGULATIONS REQUIRES THAT A SEDIMENT TRAP OR POND BE SIZED TO PROVIDE AT LEAST 104 CUBIC YARDS (67 CY FOR DEWATERING AND 37 CY FOR SEDIMENT STORAGE) OF STORAGE PER ACRE OF TOTAL CONTRIBUTING AREA. MAXIMUM DEPTH OF SEDIMENT SETTLING POND SHALL BE EQUAL OR LESS THAN 5- FEET WITH A LENGTH TO WIDTH RATIO GREATER THAN OR EQUAL TO 2:1)
- OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40% (APPROXIMATELY ONE-HALF OF POND DEPTH).
- NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF.
- ALL TOXIC WASTES, HAZARDOUS WASTES AND NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE. WHEN THEY HARDEN, STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS OR BY BURYING, BURNING OR MIXING THE WASTES.
- CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
- CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-20).
- AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
- ALL DESIGNATED CONCRETE CHUTE OR WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
- THERE IS A POTENTIAL FOR HIGH GROUND WATER AT THIS SITE. CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION.
- DISCHARGE OF WATER WITH POTENTIAL SEDIMENT FROM THE SITE SHALL BE THROUGH A FILTER BAG, SUMP PIT OR OTHER SEDIMENT REMOVAL DEVICE.
- ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).
- IF THE SITE CONTAINS CONTAMINATED SOIL, THE FOLLOWING SHALL BE USED TO PREVENT CONTAMINATION FROM BEING RELEASED:  
1. BERMS, TRENCHES AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES.  
2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SYSTEM OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.  
3. COVERING AREAS OF CONTAMINATION WITH TARP'S OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.
- IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. AS SOON AS POSSIBLE, THE SPILL WILL BE REPORTED TO THE APPROPRIATE AGENCIES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES WILL BE PROPERLY REPORTED. THE GENERAL CONTRACTOR WILL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICH EVER IS LESS.

STORM WATER POLLUTION PREVENTION PLAN NOTES (CONT.)

- THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
- OPEN BURNING IS NOT PERMITTED ON THE SITE.
- DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.
- PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- SANITARY AND WATER PTI FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.
- PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.
- ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
- INSPECTIONS OF BMPS SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.
- INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.
- NON-SEDIMENT POND BMPS TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMPS WITHIN 10 DAYS OF INSPECTION. BMPS NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMPS SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
- IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OEPA VIA A WAIVER REQUEST.
- INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDD AS NEEDED.
- SILT FENCES, INLET PROTECTION, SILT DIKES AND PERVIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PERVIOUS LOG.
- MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES; THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
- ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
- STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
- ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
- ROCK CHECK DAMS SHOULD BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.
- ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.
- CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SIDE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.
- IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARY SEEDED, OR COVERED WITH A TARP.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
- THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY; THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
- DUE TO THE DISTURBED AREA BEING ONE OR LESS ACRES, THE POST CONSTRUCTION RUN-OFF REQUIREMENTS OF OHIO EPA PERMIT OH0000004 ARE NOT REQUIRED FOR THIS SITE.

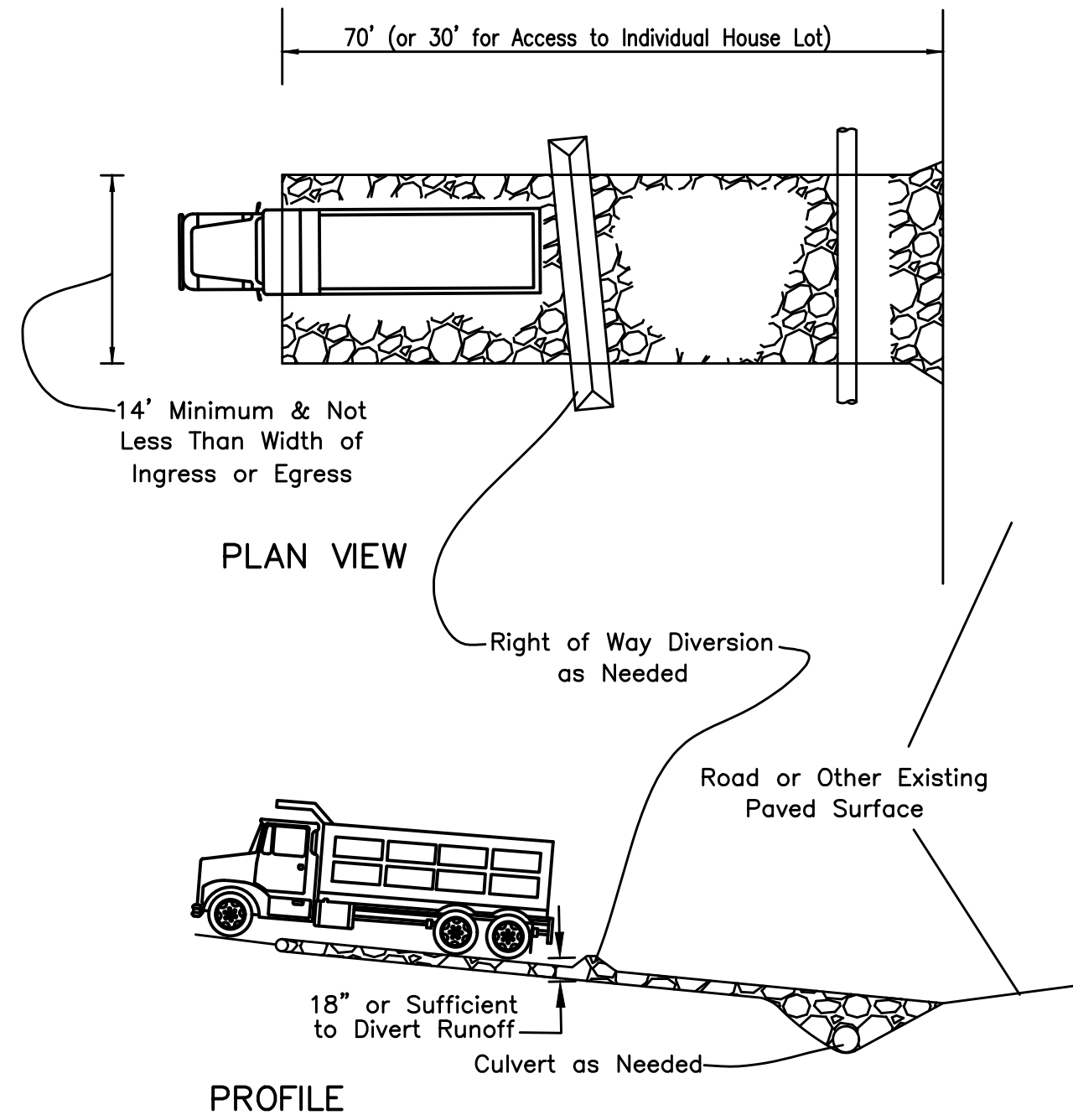
2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

NO.	DATE	REVISION





H:\CADD\Projects\Flying Ace Car Wash\Flying Ace Huber Brandt Pike\FA BRANDT PIKE BASE.DWG, JUL 06, 2023 -- 17:42:53

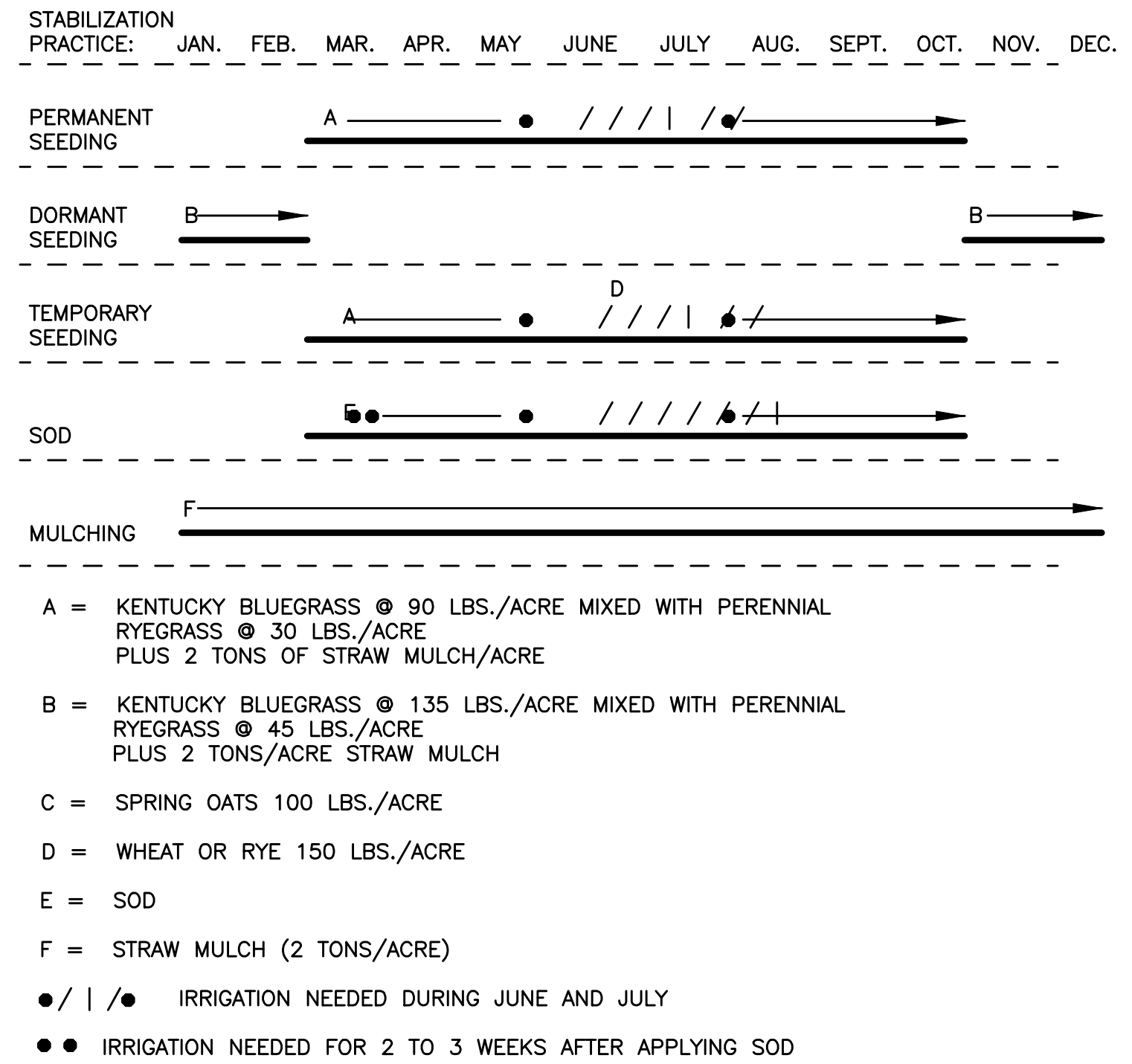


- STONE SIZE SHALL BE ODOT #2 (1.5–2.5 INCH)
- STONE LAYER SHALL BE 6" THINK FOR LIGHT DUTY OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- GEOTEXTILE FABRIC SHALL BE LAID OVER ENTIRE AREA PRIOR TO PLACING STONE. FABRIC SHALL BE ROT PROOF AND HAVE A MINIMUM TENSILE STRENGTH OF 200LBS
- REFER TO "RAINWATER AND LAND DEVELOPMENT MANUAL" 2006 EDITION FOR ALL SPECIFICATIONS. VISIT "WWW.DNR.STATE.OH.US" FOR MANUAL

### TEMPORARY CONSTRUCTION ENTRANCE DETAIL

NTS

### SEEDING SCHEDULE



### INSPECTION SCHEDULE

DIVERSION AND STRUCTURAL MEASURES — WILL BE INSPECTED AT SEVEN (7) DAY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF.

SEDIMENT AND PONDS — WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.

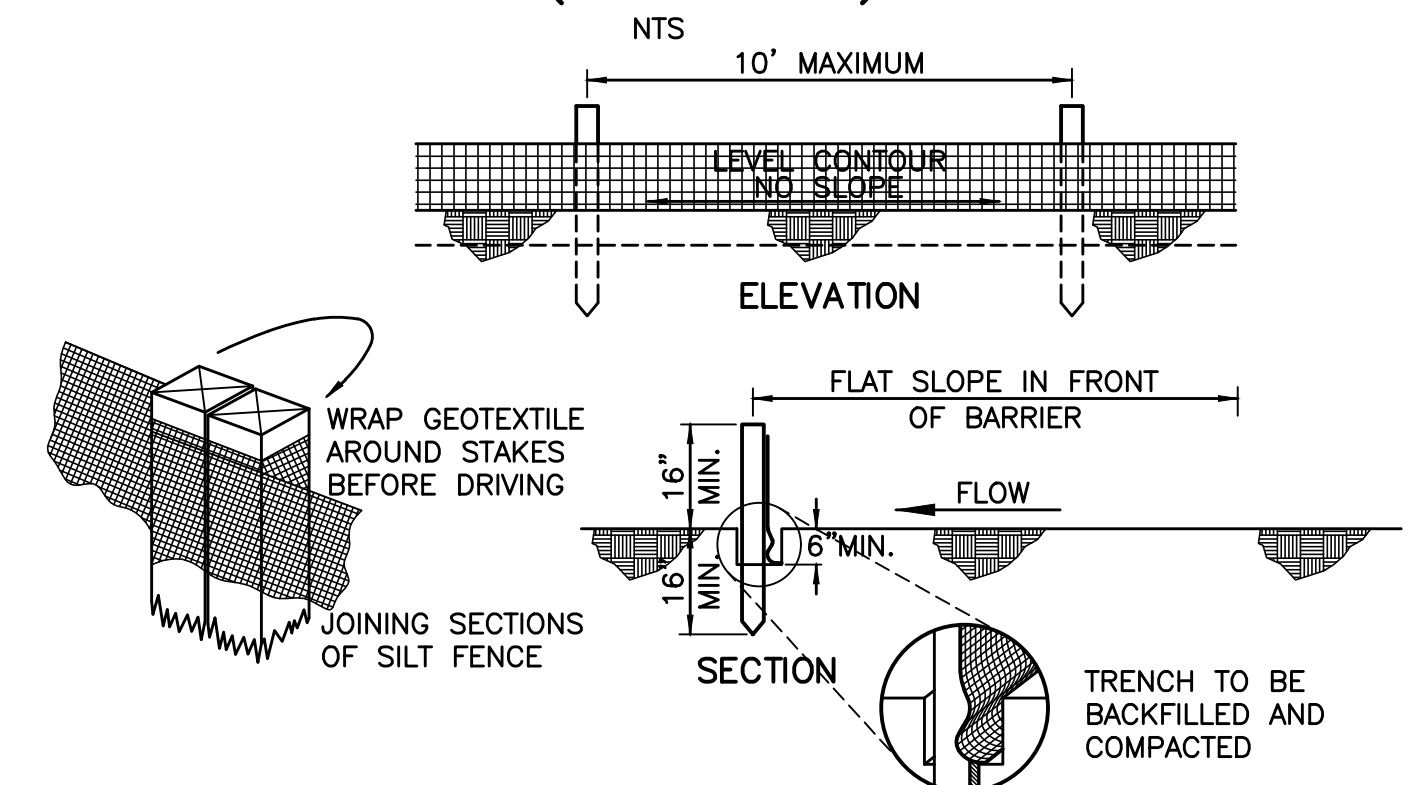
VEGETATIVE PLANTING — SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.

REPAIRS — ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.

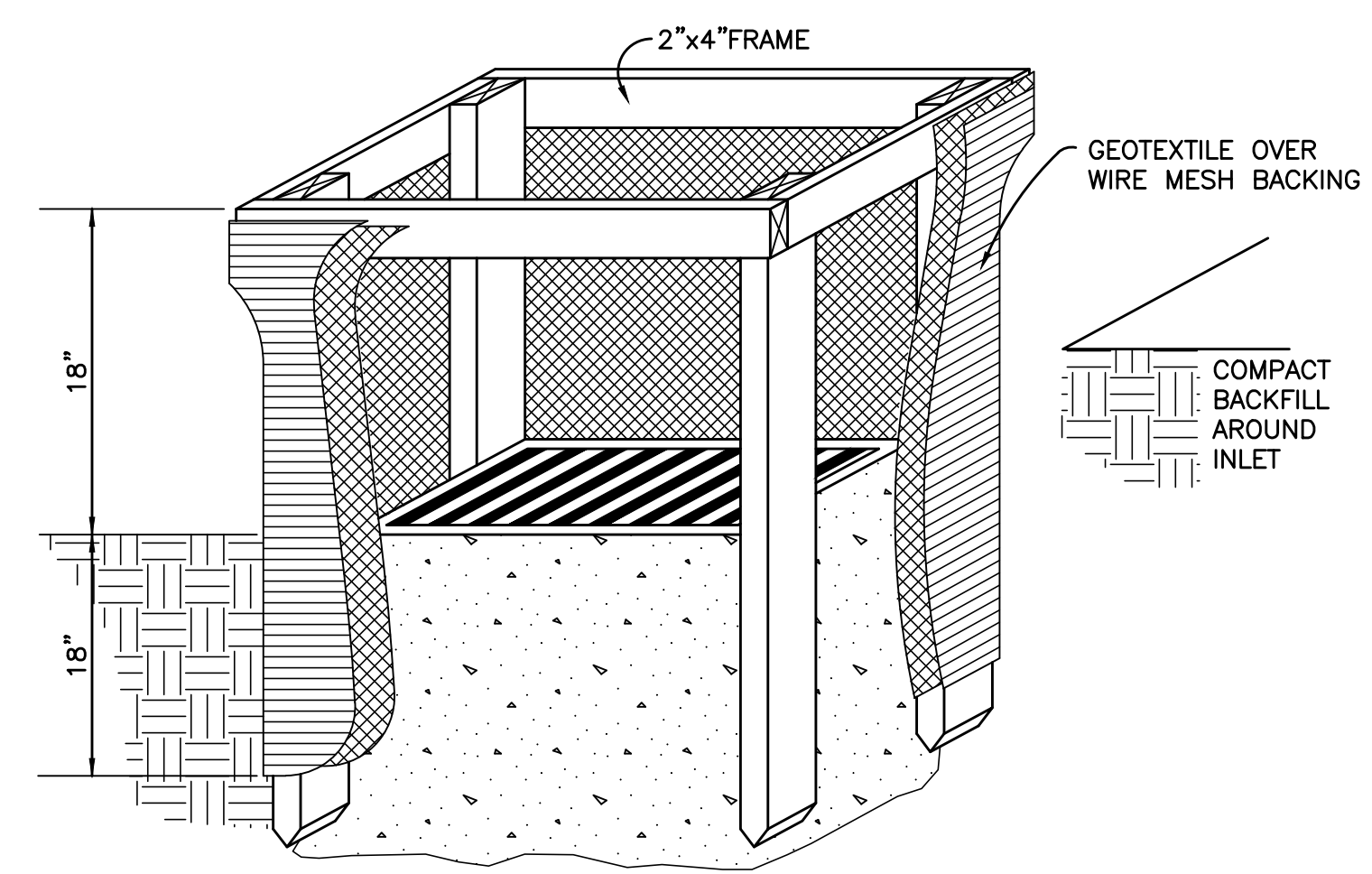
MOWING — DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.

FERTILIZATION — SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.

### CONSTRUCTION OF A FILTER BARRIER (SILT FENCE)



MINIMUM TENSILE STRENGTH.....	120 LBS.
MAXIMUM ELONGATION AT 60 LBS. ....	50%
MINIMUM PUNCTURE STRENGTH.....	50 LBS.
MINIMUM TEAR STRENGTH.....	40 LBS.
MINIMUM BURST STRENGTH.....	200 PSI
APPARENT OPENING SIZE.....	≤ 0.84 MM
MINIMUM PERMITTIVITY.....	1 X 10 SEC.
ULTRAVIOLET EXPOSURE STRENGTH RETENTION ....	70%



- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4 INCH CONSTRUCTION-GRADE LUMBER. THE 2-BY-4 INCH POSTS SHALL BE DRIVEN 1 FOOT INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4 INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20–40 Sieve AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

### INLET PROTECTION (IN SWALES, DITCH LINES OR YARD INLETS)

NTS

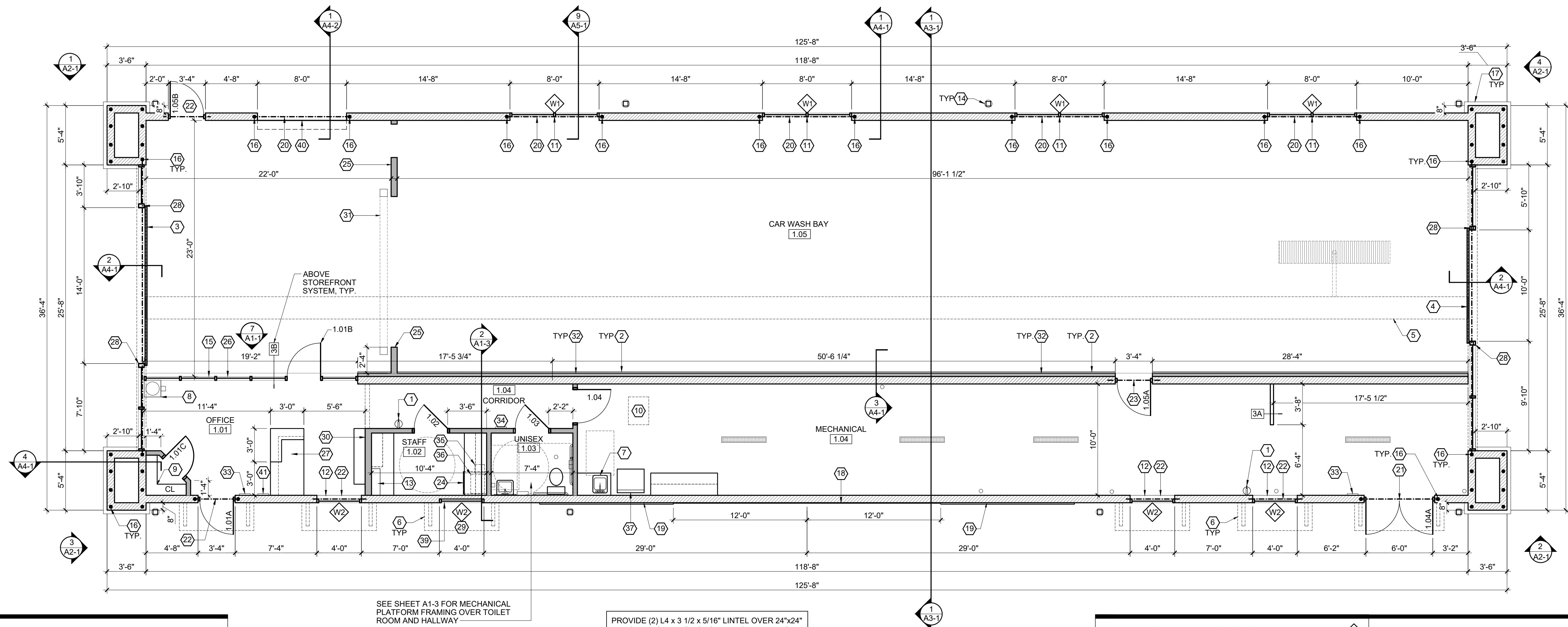
### CRITERIA FOR SILT FENCE MATERIAL

- FENCE POSTS — THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 BY 2-INCH HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET.
- SILT FENCE SHALL BE ODOT TYPE C GEOTEXTILE FABRIC OR AS DESCRIBED BY THE CHART BELOW:
  - SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
  - ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
  - TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
  - WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
  - WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
  - THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
  - THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE, WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
  - THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
  - SEAMS BETWEEN SECTION OF SILT SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
  - MAINTENANCE — SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

EROSION CONTROL DETAILS  
FLYING ACE CAR WASH  
7730 BRANDT PIKE  
LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.Rs.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

DATE: JULY 6, 2023  
SCALE: NTS  
PROJECT No. 7929  
FILE No.  
SHEET NO.





## PLAN GENERAL NOTES

1. ALL DOORS TO BE 6" FROM ADJACENT WALL U.N.O.
2. ALL SIGNS THAT DESIGNATE PERMANENT ROOMS AND SPACES SHALL HAVE RAISED AND BRAILED CHARACTERS AND PICTORIAL SYMBOL SIGNS, FINISH AND CONTRAST, AND MOUNTED 60 INCHES ABOVE THE FINISH FLOOR TO CENTERLINE OF THE SIGN PER ANSI
3. ALL INTERIOR STUD WALLS TO BE WALL TYPE "3B", U.N.O.
4. PROVIDE MOISTURE RESISTANT GYP. BOARD AT TOILET ROOM

PROVIDE (2) L4 x 3 1/2 x 5/16" LINTEL OVER 24"x24"

PROVIDE HORIZONTAL JOINT REINFORCING AT 16" O.C. MIN. W/ 3 BAR SIZE TYR. LAB MIN. 12" TYR.

PROVIDE CMU CONTROL JOINTS @ 25'-0" O.C., MIN.

## WINDOW TYPES SCHEDULE

- W1** 8'-0" WIDE BY 10'-0" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-8" A.F.F.
- W2** 4'-0" WIDE BY 4'-0" TALL ALUMINUM STOREFRONT WINDOW WINDOW HEAD HEIGHT = 7'-4" A.F.F.



## CAR WASH GENERAL NOTES

1. CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF TRENCH
2. CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF ENTRY DOOR
3. CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF EXIT DOOR
4. CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF TUNNEL BAY
5. COORDINATE LOCATION OF TRENCH WITH CAR WASH MANUFACTURER'S DRAWINGS

## FLOOR PLAN CODED NOTES

- WALL MOUNTED FIRE EXTINGUISHER. EXTINGUISHER TO BE RATED ENMELED FINISH HEAVY DUTY STEEL CYLINDER, UL AND FM APPROVED. ABC MUL PURPOSE DRY CHEMICAL, 10 LB CAPACITY UL RATED 4A 60B C. HOSE TYPE, UPRIGHT, SQUEEZE GRIP OPERATION.
2. INTERIOR WALL LINER PANEL.
3. 14'-0" x 8'-0" OVERHEAD DOOR
4. 10'-0" x 8'-0" OVERHEAD DOOR
5. CAR WASH TRENCH, SEE MANUFACTURER'S DRAWINGS
6. DECORATIVE AWNING W/ BRACKETS, CENTER OVER WINDOWS DOORS.
7. DEDICATED COMMERCIAL GRADE SINK FOR UTILITY SINK
8. ANSI COMPLIANT BOTTLED WATER COOLER WITH CUP DISPENSER.
9. 12" DEEP SHELVING W/ STANDARDS AND BRACKETS
10. 22"x30" ATTIC ACCESS.
11. 8'-0" WIDE W/ 10'-0" TALL ALUMINUM STOREFRONT WINDOW
12. 10'-0" WIDE W/ 4'-0" TALL ALUMINUM STOREFRONT WINDOW
13. SERVER RACK, SEE SHEET A5-1
14. DOWNSPOUT.
15. ALUMINUM STOREFRONT SYSTEM, WINDOW HEAD HEIGHT = 8'-0" SEE DETAIL 7/4-1, PROVIDE IT INSULATED GLASS
16. #5 FULL HEIGHT W/ HOOKED DOWEL @ FOOTING.
17. MASONRY W/ 4" OR GREATER TABLE BELOW
18. AVIATION GRAPHIC PROVIDED BY OWNER.
19. CORRUGATED METAL HORIZONTAL SLIDING DOOR, FIXED. PROVIDE DECORATIVE SLIDING TRACK AT TOP OF DOOR
20. W8x18 LINTEL.
21. (2) L5 x 3-1/2 x 5/16.
22. (2) L4 x 3-1/2 x 5/16.
23. (2) L3-1/2 x 3-1/2 x 5/16.
24. UNDER COUNTER REFRIGERATOR
25. WIND WALL BY OWNER.
26. CONSTRUCT 2x4 STUD WALL ABOVE OFFICE WINDOWS TIGHT TO BOTTOM OF TRUSSES. INSTALL 5/8" GYPSUM BOARD EACH SIDE WITH 1/2" RIGID FIBER ON WASH BAY SIDE.
27. RECEPTIONIST DESK BY OTHERS. ANSI COMPLIANCE IS THE RESPONSIBILITY OF THE DESK DESIGNER
28. 4x4 STL. POST WRAPPED IN ALUMINUM STOREFRONT EITHER SIDE OF OVERHEAD DOORS, TYP. ATTACH TO SLAB AND BOTTOM OF GIRDER TRUSS ABOVE
29. FIVE WINDOW, 24" PAQUE GLASS W/ 4" CMU BEHIND, SEE EXTERIOR ELEVATIONS.
30. 2x6 WALL
31. ENTRY ARCH
32. PROVIDE 2 1/2" METAL Z-FURRING STRIPS @ 24" HORIZONTAL W/ MIN R-13 RIGID INSULATION IN FURRING CAVITIES W/ 5 MIL VAPOR BARRIER
33. ANSI COMPLIANT EXIT SIGNAGE, SEE 10/45-1
34. ANSI COMPLIANT SIGNAGE DESIGNATING UNISEX TOILET ROOM
35. COFFEE MAKER, SEE INTERIOR ELEVATION
36. MICROWAVE, SEE INTERIOR ELEVATION
37. ANSI COMPLIANT STACKABLE WASHER / DRYER
38. 24"x24" JANITOR MOP SINK
39. (1) L4 x 3-1/2 x 5/16
40. 8'-0" x 10'-0" OVERHEAD DOOR
41. ANSI COMPLIANT SIGNAGE DESIGNATING MAX. 15 OCCUPANTS

## WALL TYPES SCHEDULE

#	ASSEMBLY DESCRIPTION	HR	NOTES
3A	 <p>2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD</p>	<p>RATING 0 HR U-FILE # N/A</p>	<p>FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD 6" ABOVE FINISH CEILING.</p> <p>ASSEMBLY THICKNESS = 4 3/4"</p>
3B	 <p>2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 3" SOUND BATT</p>	<p>RATING 0 HR U-FILE # N/A</p>	<p>FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD 6" ABOVE FINISH CEILING.</p> <p>ASSEMBLY THICKNESS = 4 3/4"</p>

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

## FLYING ACE EXPRESS CAR WASH

7300 BRANDT PIKE  
HUBER HEIGHTS, OH 45424



**SBA**  
STUDIOS  
ARCHITECTURAL DESIGN  
614.562.7761 WWW.SBA-STUDIOS.COM



SCALE: 3/16" = 1'-0"

SHEET # / DESCRIPTION

## FLOOR PLAN

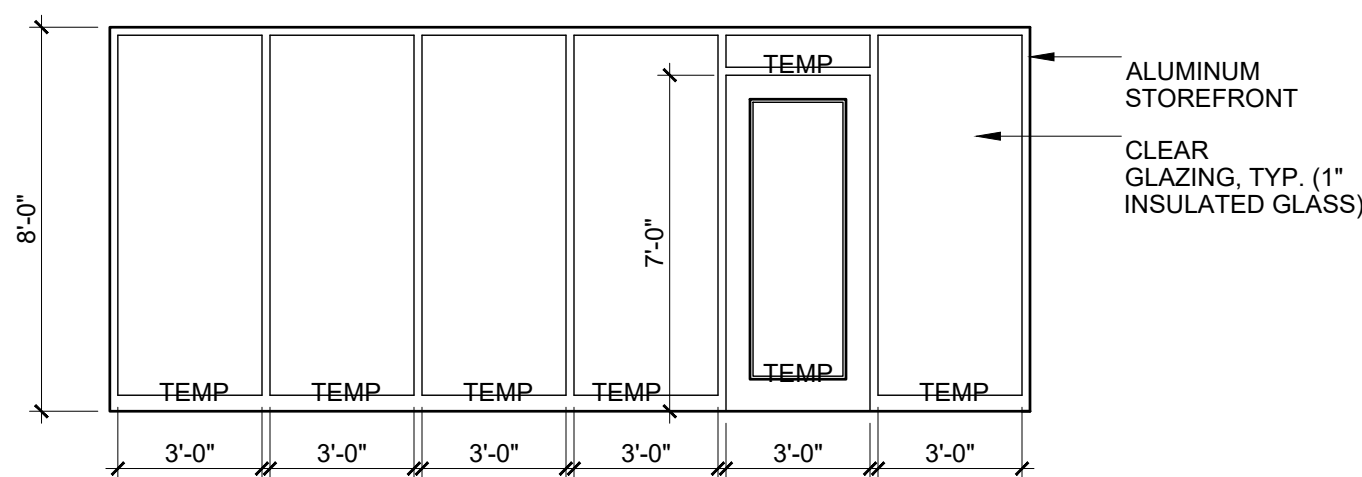
A1-1

DATE: 03.16.2023

DESIGN REVIEW

SCOTT B. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021	SBA STUDIOS PROJECT # 2023-209
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## 8 FLOOR PLAN



7 INTERIOR ELEVATION @ GLASS WALL

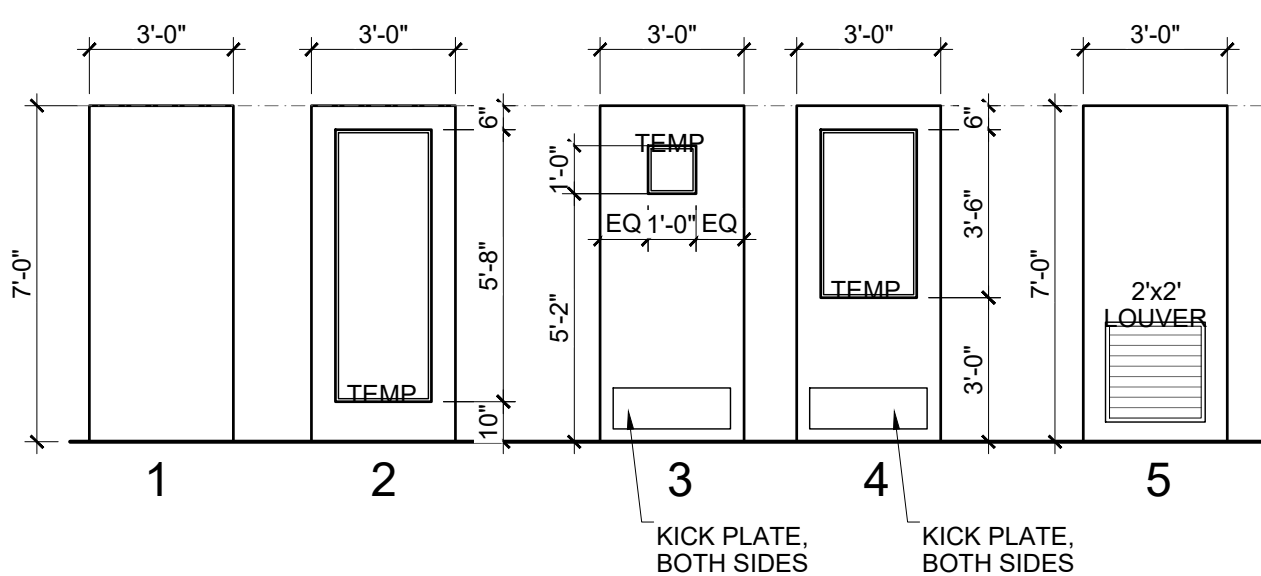
SCALE: 1/4" = 1'-0"

[illegible]

FLOORING	BASE	WALLS	CEILING
CPT CARPET	VB VINYL BASE	PT-1 WHITE PAINT	ACT ACOUSTICAL CEILING TILE
VCT VINYL COMP	WD WOOD BASE	PT-2 BLONDE PAINT	DW DRYWALL CEILING
VT TILE	CT CERAMIC TILE	SW 6128	WL WALL LINER
WD WOOD FLOOR	EXG EXG BASE	WC WALL COVERING	NO NO CEILING
EPXY EPOXY	NO NO BASE	EXG EXG WALL FINISH	
NO NO FLOORING		WL WALL LINER PANEL	
SM WOOD FLOOR =		BB BOARD AND BATTEN	
ALLURE 517115		NO FINISH	
CINNAMON			
			<b>CEILING NOTES</b>
			DOOR FRAMES AND ACT CEILING COLOR TO MATCH WALL COLOR IN ALL ROOMS. SEE FINISH SCHEDULE

## 4 FINISH SCHEDULE

## 6 ANSI MOUNTING HEIGHTS



### 3 DOOR ELEVATIONS

5 ENLARGED TOILET ROOM PLAN

SCALE: 3/8" = 1'-0"

		DOOR						FRAME		
NO.	ROOM NAME	SIZE	ELEV	MAT	RATING	GLASS	HDWR	ELEV	MAT	REMARKS
1.01A	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 05	B	H.M.	CLOSER, ENTRY KEY (LABEL E8)
1.01B	OFFICE	3070	02	AL/GS	0-HR	TEMP	SET 01	X	AL	CLOSER, SEE INTERIOR ELEV FOR FRAME
1.01C	CLOSET	2670	01	WD	0-HR	N/A	SET 02	N/A	N/A	CUSTOM SLAT WALL DOOR
1.02	STAFF	3070	03	H.M.	0-HR	TEMP	SET 02	A	H.M.	SPRING HINGES, CLOSET KEY (LABEL C8)
1.03	TOILET	3070	01	H.M.	0-HR	N/A	SET 03	A	H.M.	SPRING HINGES
1.04	CORRIDOR	3070	04	H.M.	0-HR	TEMP	SET 06	A	H.M.	CLOSER
1.04A	MECHANICAL	(2) 3070	05	H.M.	0-HR	N/A	SET 05	B	H.M.	EXTERIOR GRADE DOOR W/ CLOSER
1.05A	WASH BAY	3070	03	AL/GS	0-HR	TEMP	SET 04	B	AL	CLOSER
1.05B	WASH BAY	3070	02	AL/GS	0-HR	TEMP	SET 05	B	H.M.	CLOSER, ENTRY KEY (LABEL E8)

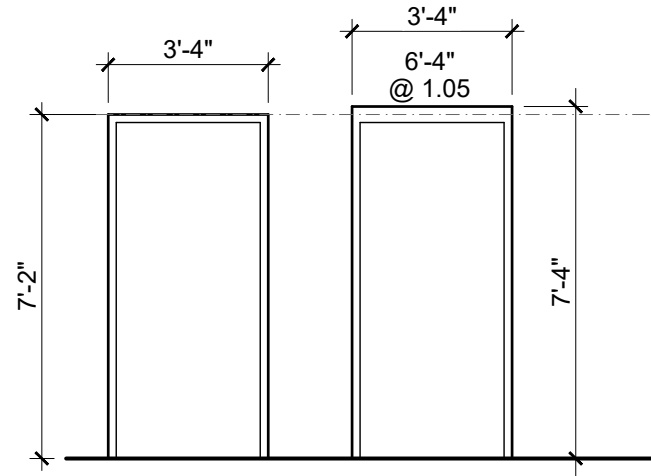
## DOOR GENERAL NOTES

- 1 ALL DOOR HARDWARE TO BE ANSI COMPLIANT LEVER STYLE
- 2 ALL DOOR HARDWARE TO BE MOUNTED BETWEEN 34" - 48" A.F.F.
- 3 ALL GLAZING IN NEW DOORS TO BE TEMPERED
- 4 ALL DOORS TO RECEIVE (3) HITS
- 5 ALL DOORS TO RECEIVE (3) SILENCERS
- 6 ALL DOORS TO RECEIVE DOOR STOP
- 7 ALL EXTERIOR DOORS TO RECEIVE CLOSER
- 8 ALL EXTERIOR DOORS TO HAVE ADA THRESHOLD (1/4" MAX)
- 9 EXCEPT FOR THE REAR DOOR, ALL EXTERIOR DOORS SHALL UNLATCH  
WITH ONLY ONE OPERATION OF THE DOOR HARDWARE, READILY OPERABLE  
FROM EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND  
OPERATION OF THE DOOR HARDWARE SHALL NOT REQUIRE TUGGING OR TWISTING OF THE  
WRIST TO OPERATE OBC 10.10.1.9.010,1.9.10.1.9.10.1.9.5.

## DOOR HARDWARE SETS

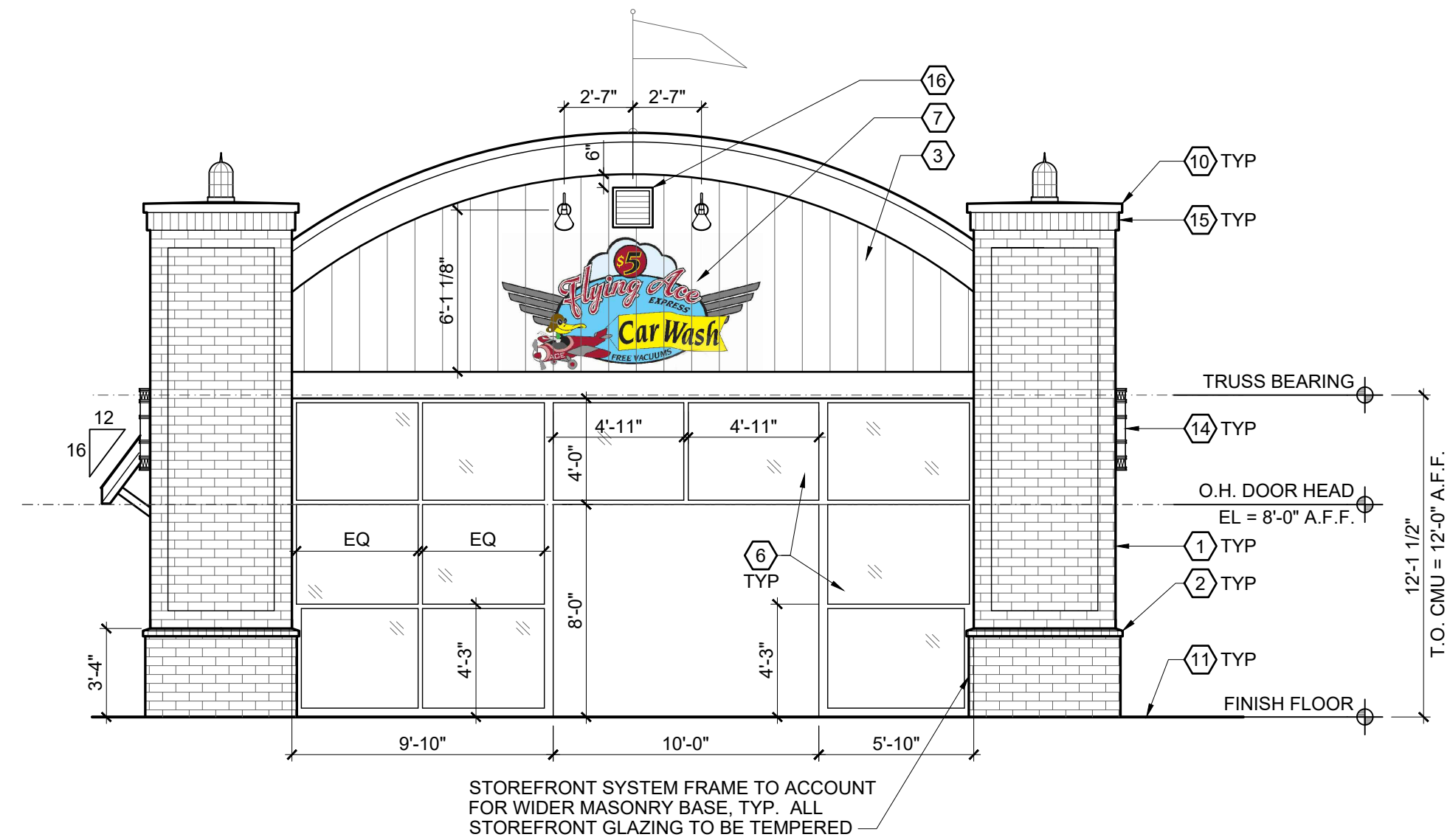
SET 01: OFFICE LOCKS  
SET 02: STORAGE LOCKS  
SET 03: PRIVACY LOCKS  
SET 04: PASSAGE LOCKS  
SET 05: EXIT LOCKSET  
SET 06: PUSH / PULL  
KEY ALL DOORS ALIKE

## FRAME ELEVATIONS

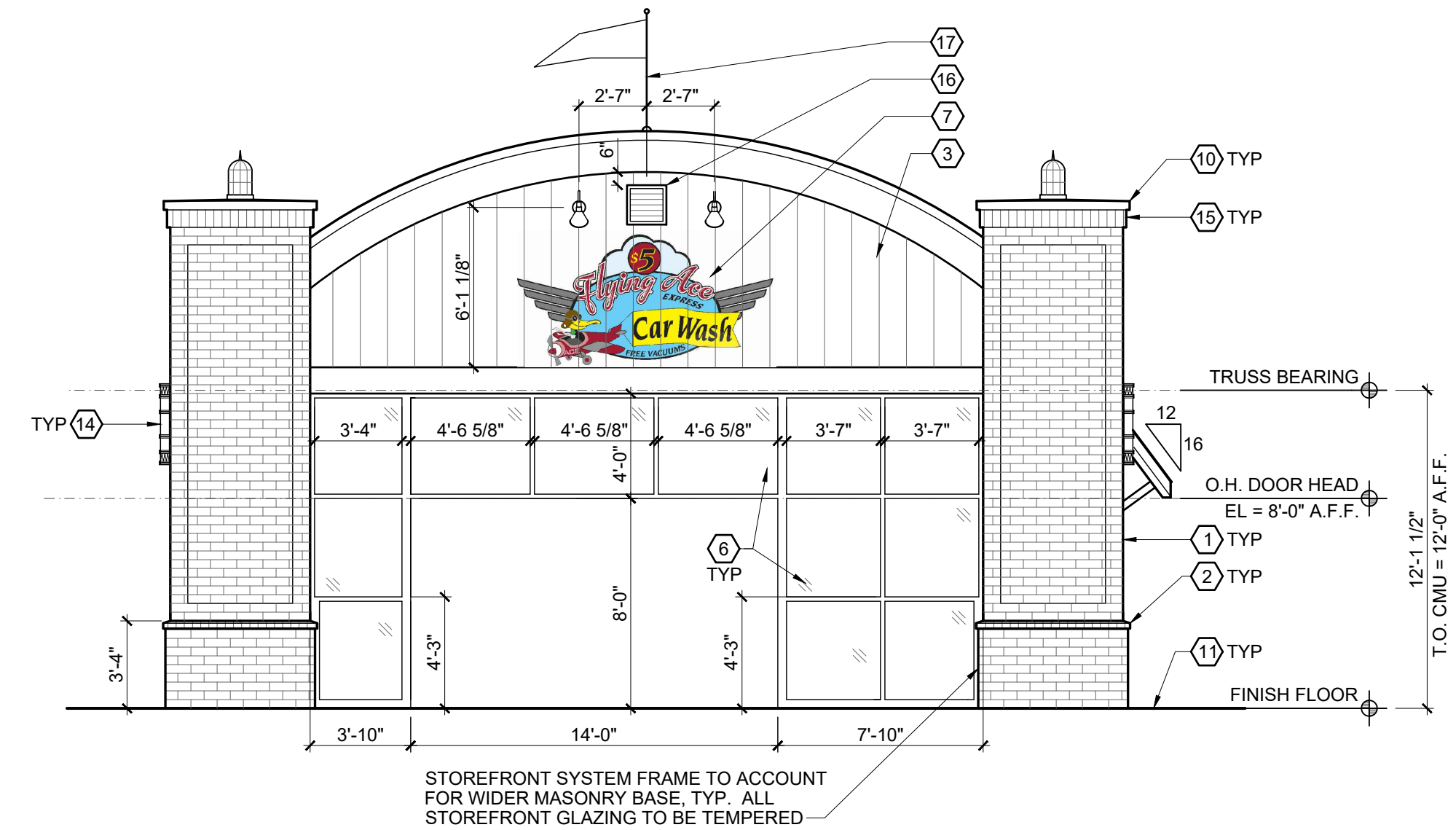


1	DOOR SCHEDULE
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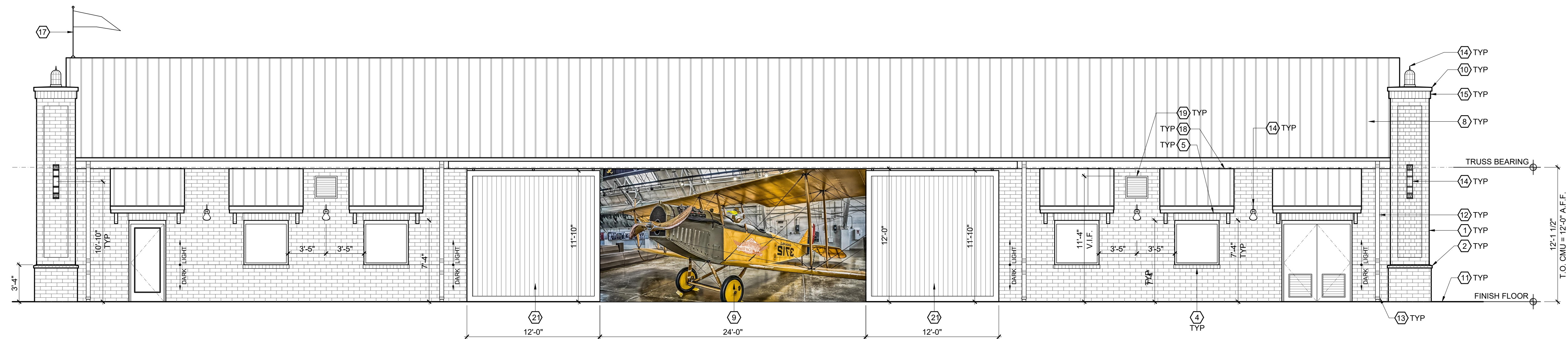




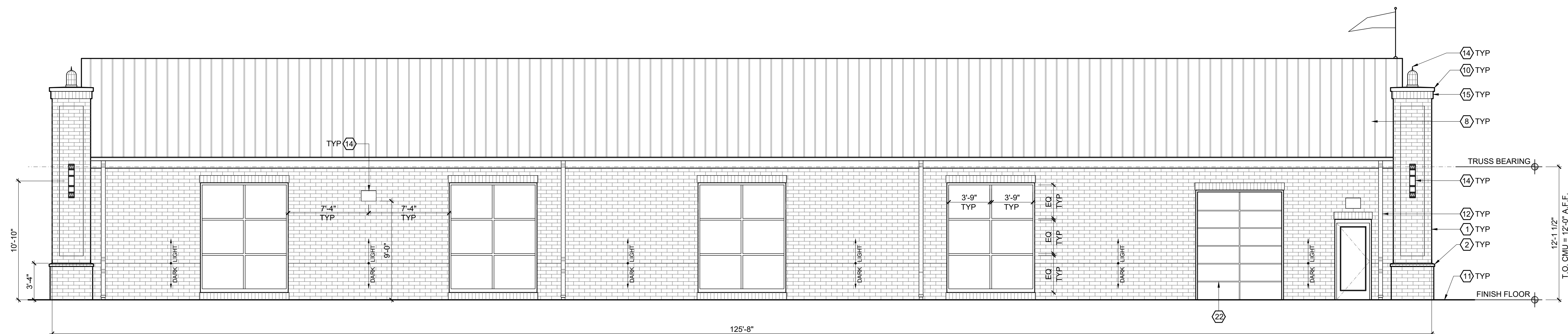
#### 4 EXIT ELEVATION



### 3 ENTRANCE ELEVATION



2 SIDE ELEVATION

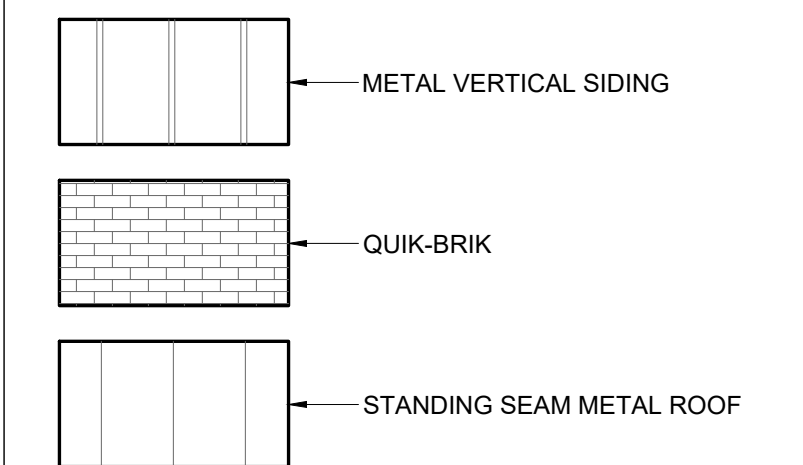


1	SIDE ELEVATION
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## ELEVATION CODED NOTES

1. 'QUIK-BRIK' MASONRY WALL CONSTRUCTION.
2. 'QUIK-BRIK' WATER TABLE.
3. METAL VERTICAL SIDING WALL FINISH SYSTEM.
4. 'QUIK-BRIK' WINDOW SLID COURSE.
5. 'QUIK-BRIK' WINDOW / DOOR HEADER.
6. ALUMINUM STOREFRONT GLAZING SYSTEM IN RED FINISH.  
MANUFACTURER TO DESIGN FOR WIND LOAD REQUIREMENTS  
PER CODE.
7. SIGNAGE PROVIDED BY OWNER.
8. STANDING SEAM METAL ROOF.
9. AVIATION GRAPHIC PROVIDED BY OWNER.
10. PRECAST STONE CAP SLOPED @ 1/4" PER FOOT W/ 12"x12" FLAT  
TOP FOR LIGHT MOUNTING. PROVIDE 3/4" DIA. HOLE AT CENTER  
FOR WIRING
11. GRADE, COORDINATE W/ CIVIL DRAWINGS.
12. ALUMINUM DOWNSPOUT.
13. DOWNSPOUT BOOT
14. EXTERIOR LIGHT FIXTURE
15. 'QUIK-BRIK' SOLDIER COURSE.
16. 18"x18" METAL LOUVER FOR ATTIC VENTILATION. PAINT TO  
MATCH METAL SIDING COLOR
17. RAFTER MOISTURE DATED FLAG STOP, PROVIDE SOLID BLOCKING FOR  
ATTACHMENT
18. STANDING SEAM METAL ROOF AWWING W/ BRACKETS. CENTER  
OVER WINDOWS / DOORS
19. 24"x24" METAL WALL LOUVER.
20. NOT USED
21. CORRUGATED METAL HORIZONTAL SLIDING DOOR, FIXED.  
PROVIDE DECORATIVE SLIDING TRACK AT TOP OF DOOR
22. AIRLIFT 'ALASKA' OVERHEAD DOOR ALUMINUM FRAMED DOOR W/ POLYCARBONATE GLAZED PANELS.

## ELEVATION MATERIAL LEGEND




#	DATE	ISSUED WITH: CHANGE DESCRIPTION

**FLYING ACE EXPRESS CAR WASH**  
7300 BRANDT PIKE  
HUBER HEIGHTS, OH 45424

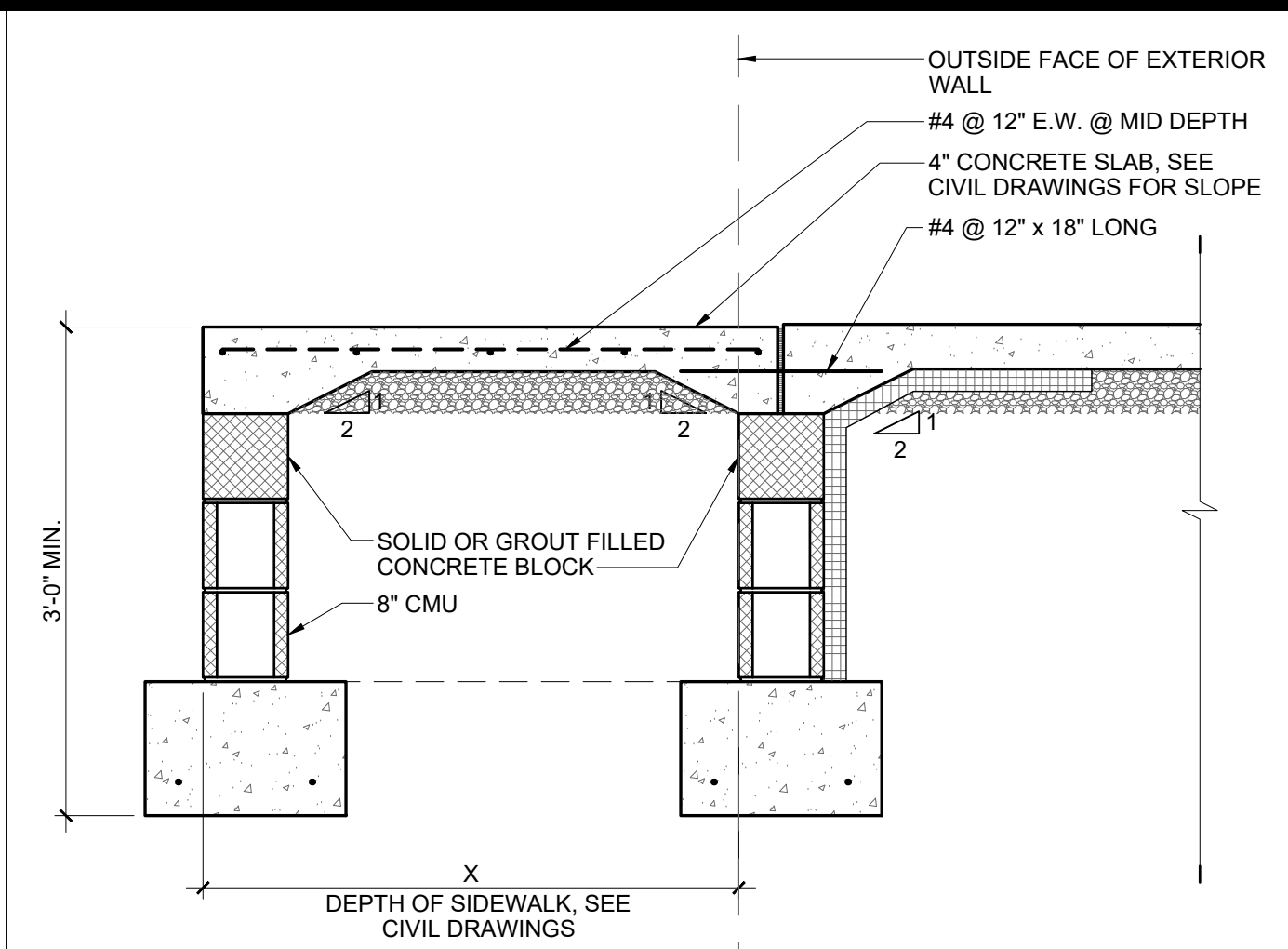


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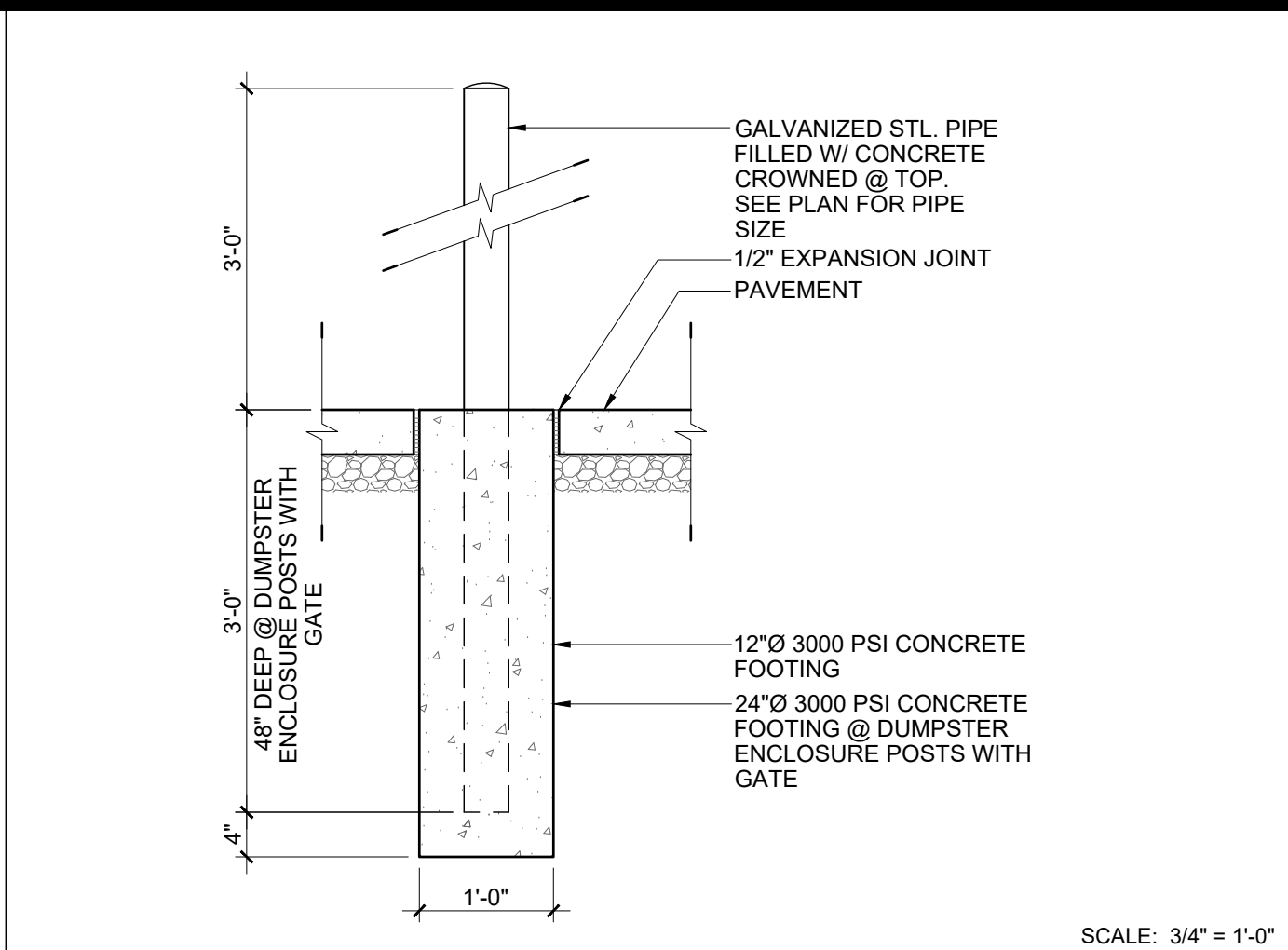


	SCALE: 3/16" = 1'-0"
	SHEET # / DESCRIPTION
	EXTERIOR ELEVATIONS
	<b>A2-1</b>
	DATE: 03.16.2023
DESIGN REVIEW	
SBA STUDIOS PROJECT # 2023-209	

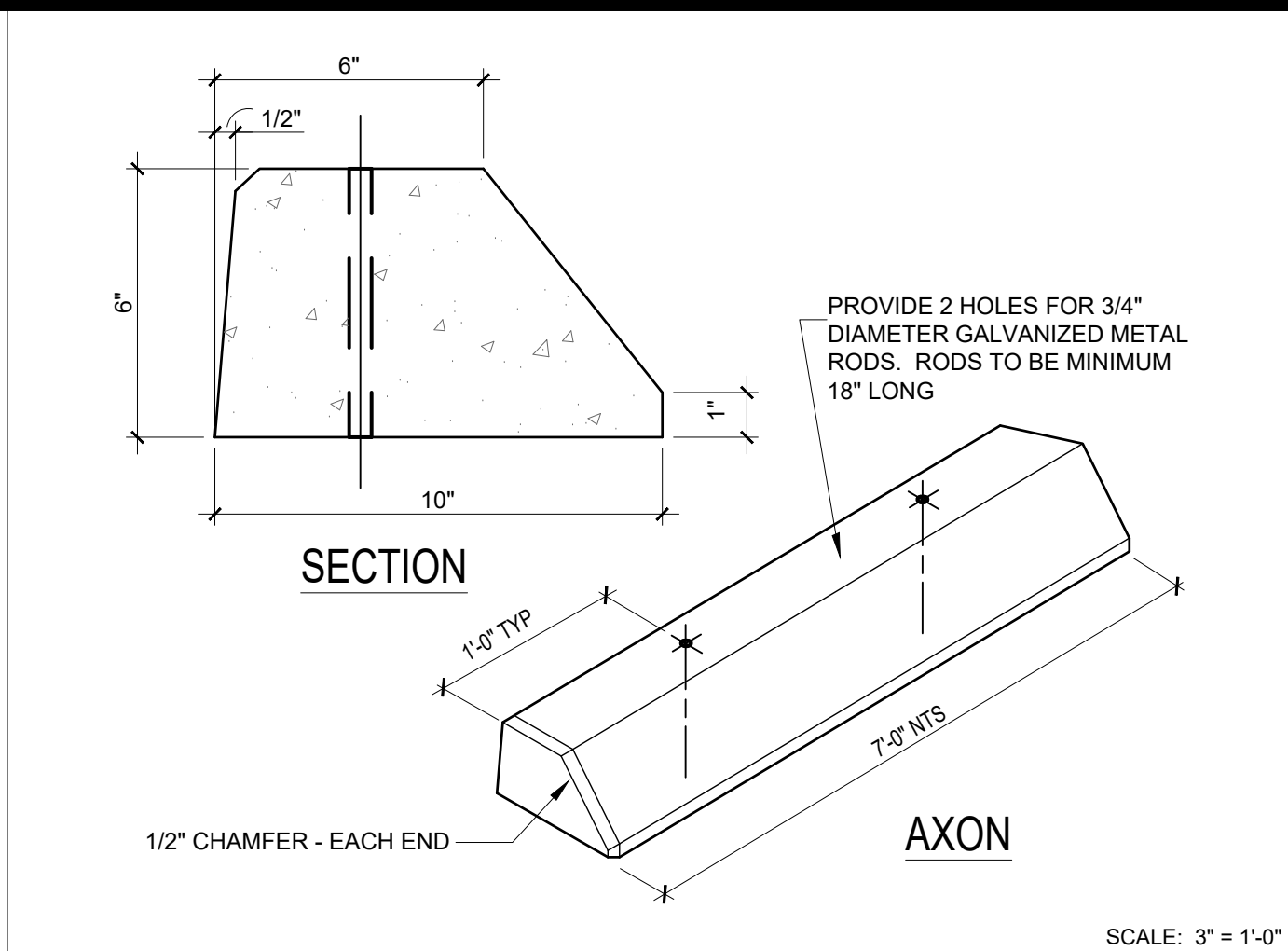




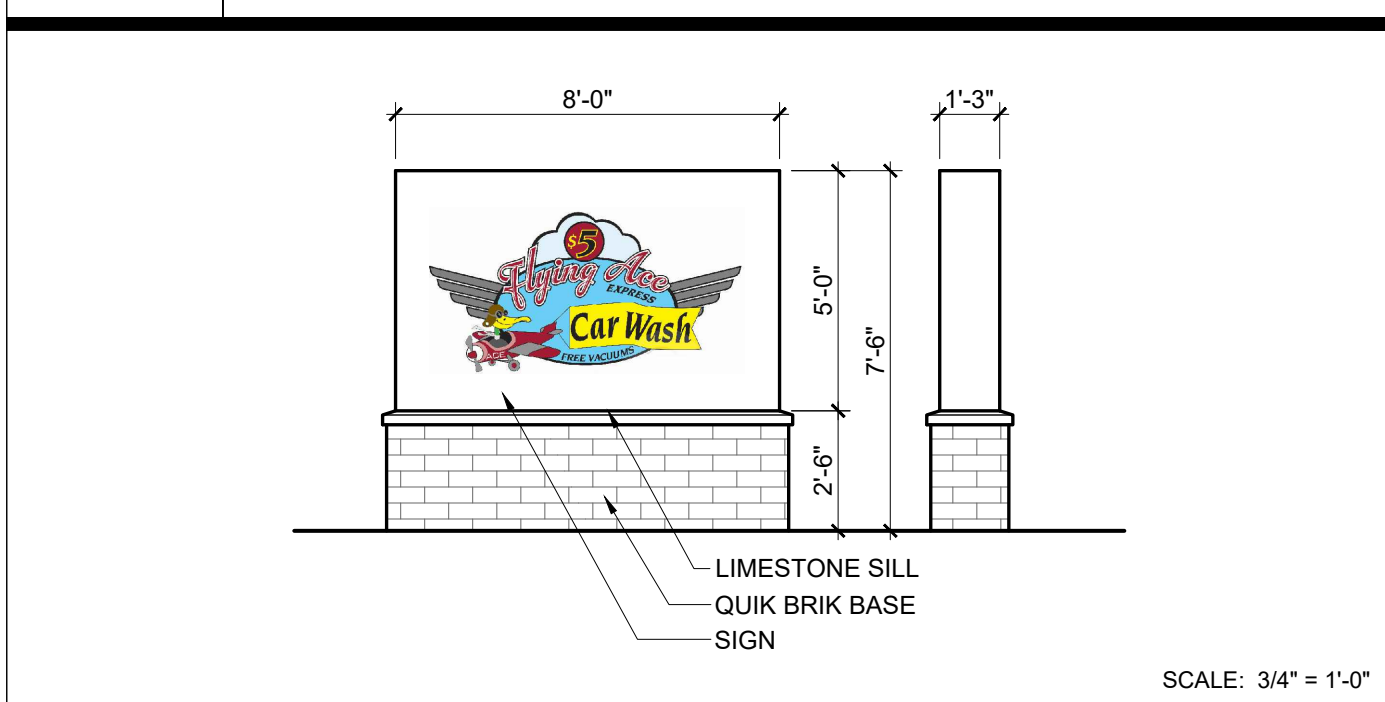
10 FROST SLAB DETAIL SCALE: 3/4" = 1'-0"



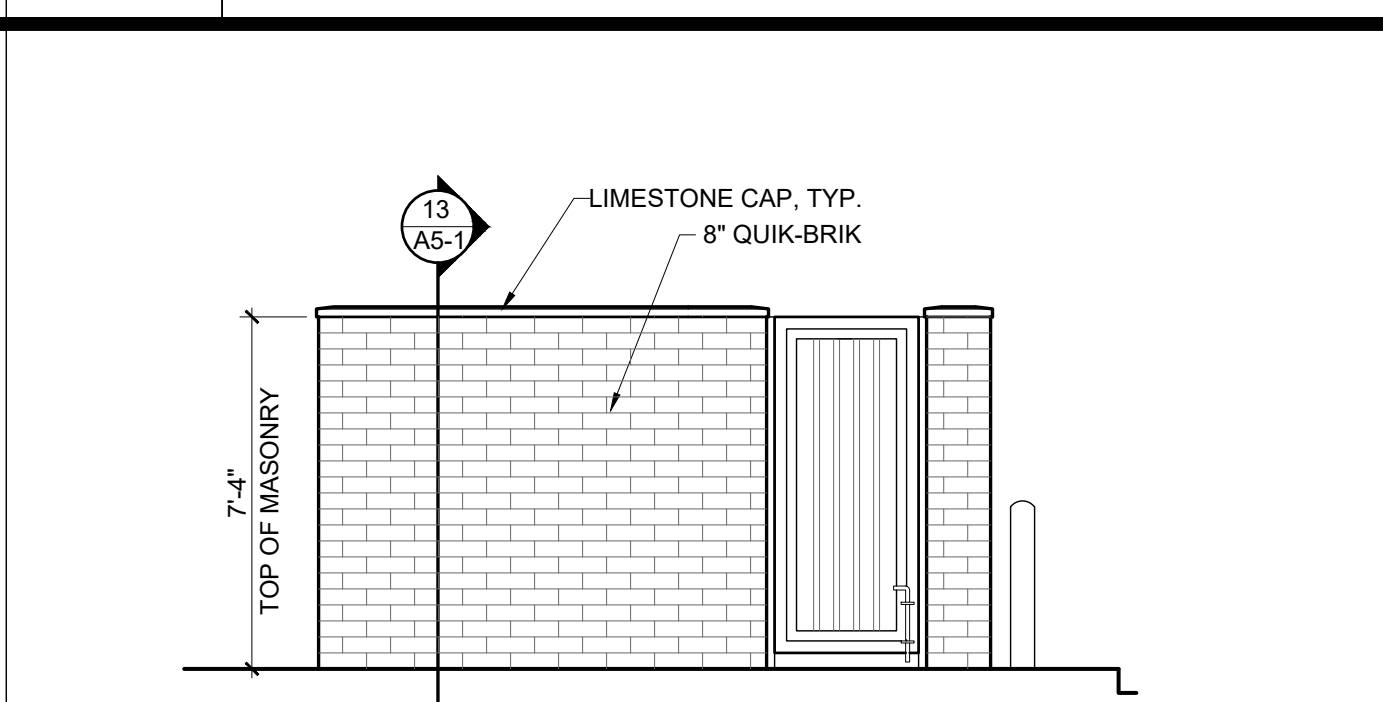
7 PIPE BOLLARD DETAIL SCALE: 3/4" = 1'-0"



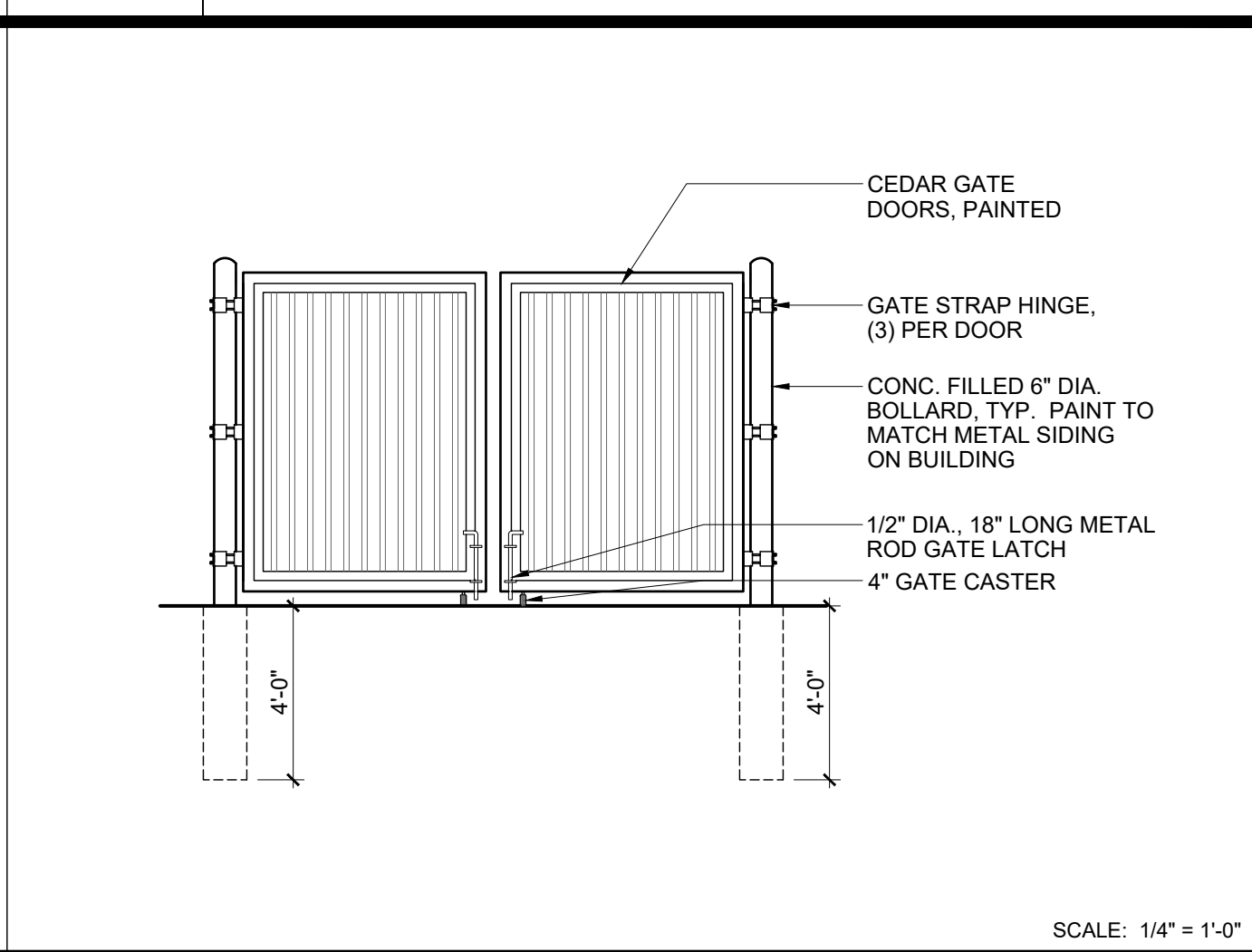
3 PARKING BLOCK DETAIL SCALE: 3" = 1'-0"



9 EXTERIOR MONUMENT SIGNAGE

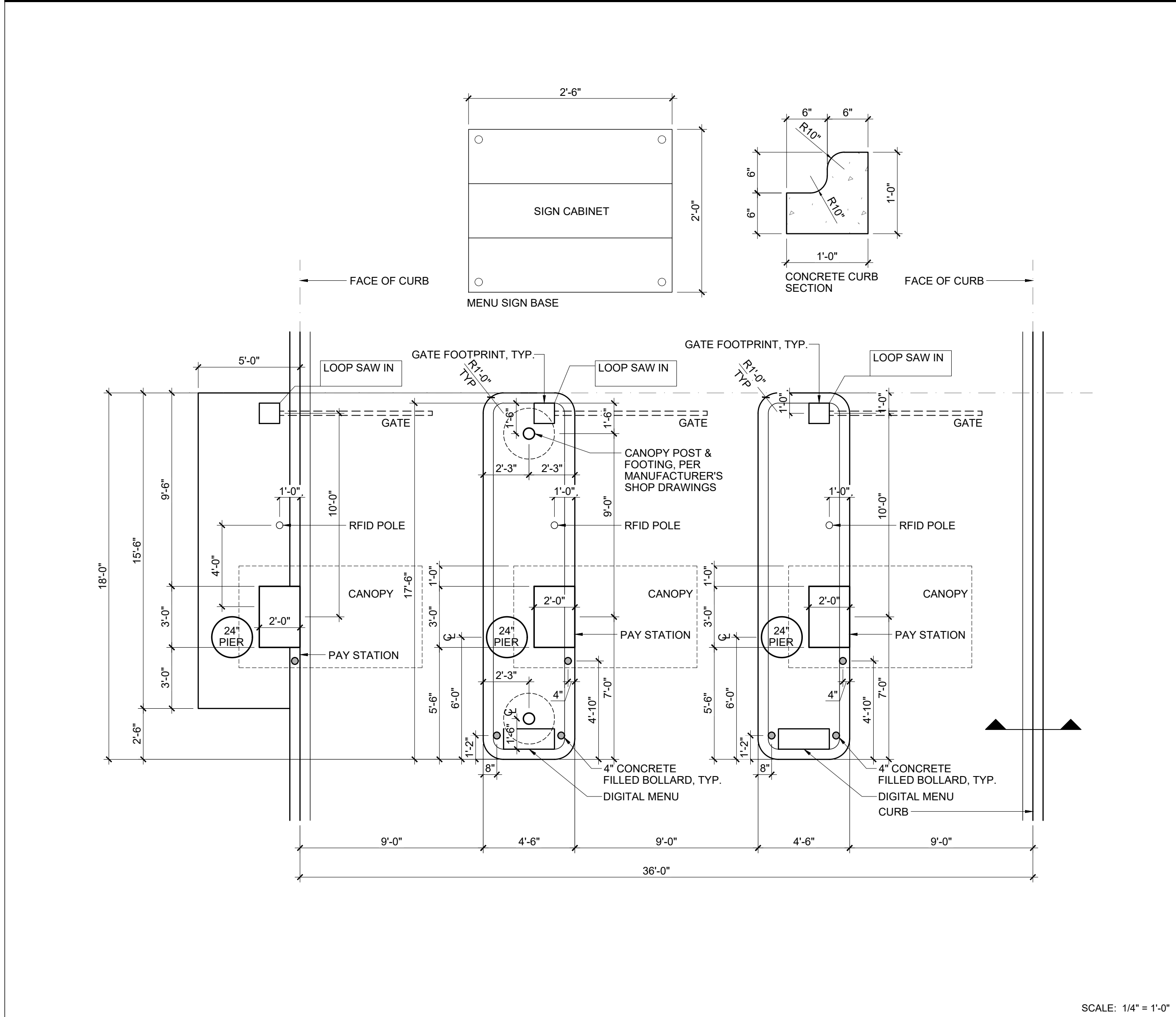


6 DUMPSTER ENCLOSURE - ELEVATIONS

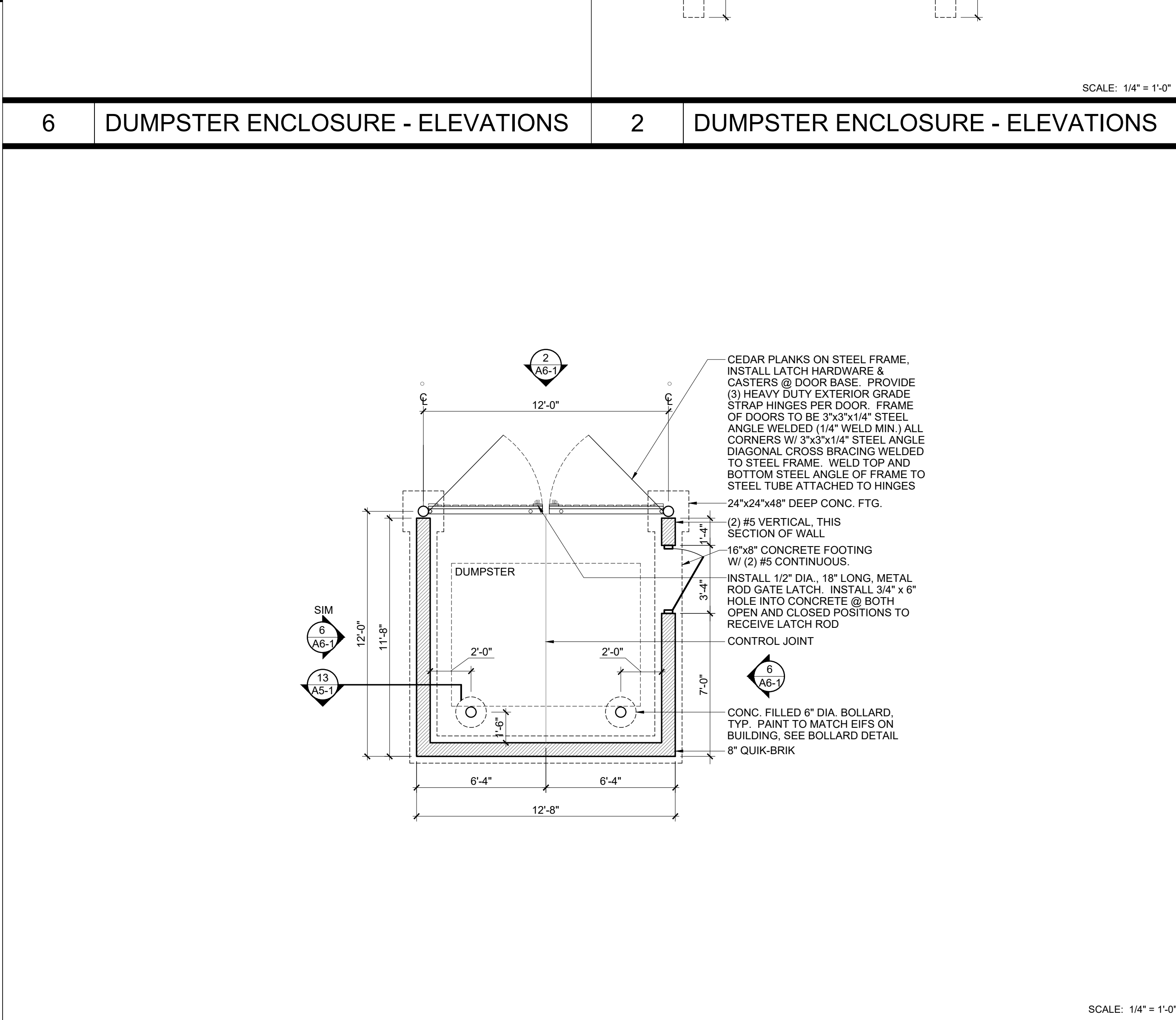


2 DUMPSTER ENCLOSURE - ELEVATIONS SCALE: 1/4" = 1'-0"

11 NOT USED



8 PAY STATION LAYOUT



4 DUMPSTER PLAN

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

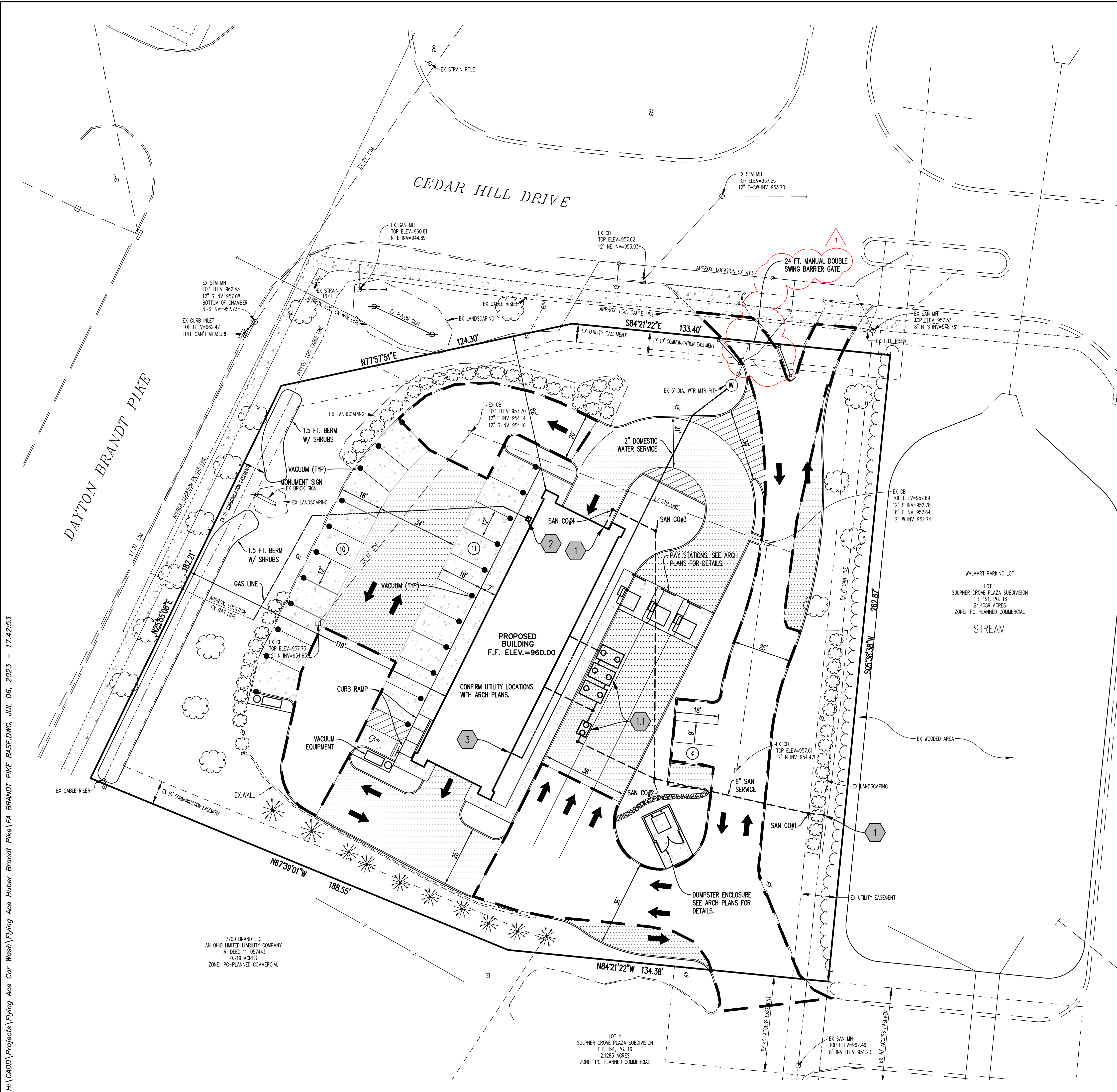
FLYING ACE EXPRESS CAR WASH  
7300 BRANDT PIKE  
HUBER HEIGHTS, OH 45424



	SCALE: VARIES
	SHEET # / DESCRIPTION
	SITE DETAILS
	A6-1
	DATE: 03.16.2023
SCOTT B. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021	DESIGN REVIEW
	SBA STUDIOS PROJECT # 2023-209



H:\CADD\Projects\Flying Ace Car Wash\Flying Ace Huber Brandt Pike Base.DWG, JUL 06, 2023 - 17:42:53



UTILITY KEY NOTES:

- 1 6" SANITARY SEWER SERVICE (SDR35) @ 1.00% MINIMUM SLOPE. CONNECT TO MAIN PER CITY OF HUBER HEIGHTS STANDARDS. SEE PLUMBING PLANS FOR BUILDING DETAILS. CONTRACTOR TO COORDINATE WITH CITY OF HUBER HEIGHTS PRIOR TO CONSTRUCTION.
- | MAIN CONNECTION                                   | BUILDING CONNECTION                               |
|---|---|
| 6" INV=951.06                                     | 6" INV=955.00                                     |
| EX. 8" INV(MAIN)=950.39                           |   |
| SAN CO#1<br>CLEANOUT ELEV=958.68<br>6" INV=953.03 | SAN CO#2<br>CLEANOUT ELEV=959.05<br>6" INV=953.69 |
| SAN CO#3<br>CLEANOUT ELEV=958.80<br>6" INV=954.72 | SAN CO#4<br>CLEANOUT ELEV=959.49<br>6" INV=954.92 |
- 1.1 3~1,500 GALLON WATER RECLAMATION TANKS AND OIL / WATER SEPARATOR. SEE PLUMBING PLANS FOR DETAILS.
- 2 GAS SERVICE. REUSE PORTION OF EX. GAS LATERAL. INSTALL NEW METER ON BUILDING FACE. SEE PLUMBING PLANS FOR DETAILS. COORDINATE WITH LOCAL UTILITY PROVIDER.
- 3 2" DOMESTIC WATER SERVICE. VERIFY EX. METER SIZE AND REUSE IF 2" METER AND SERVICE LINE AVAILABLE AND IN GOOD CONDITION. SEE PLUMBING PLANS FOR DETAILS. COORDINATE WITH LOCAL UTILITY PROVIDER.
- \*ALTERNATE: REMOVE EX. METER AND SERVICE LINE. PLUG @ MAIN. SADDLE TAP MAIN AND INSTALL NEW 2" SERVICE LINE (TYPE K COPPER) IN SAME TRENCH, CURB STOP @ PROPERTY LINE. REUSE EX. METER BOX AND INSTALL NEW 2" METER & BACKFLOW. COORDINATE WITH VAN ATTA ENGINEERING AND CITY OF HUBER HEIGHTS FOR PLANS AND APPROVAL PRIOR TO CONSTRUCTION. COORDINATE TRAFFIC CONTROL IN CEDAR HILL DRIVE WITH CITY OF HUBER HEIGHTS.

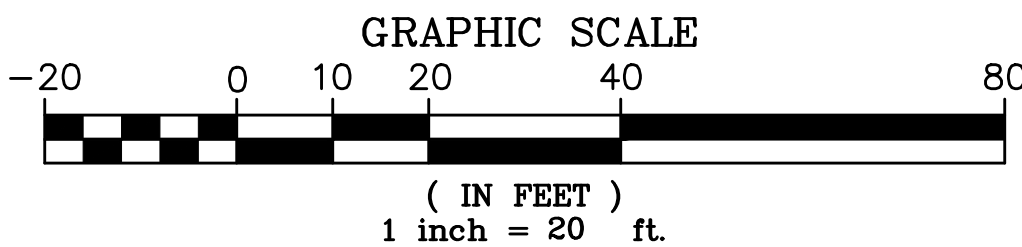
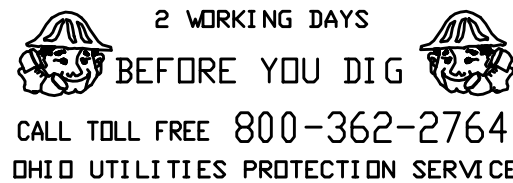
SITE DATA:

ZONING DISTRICT: PC-PLANNED COMMERCIAL  
TOTAL SITE = 1.56 ACRES  
PROPOSED IMPERVIOUS AREA = 0.91 ACRES (58%)  
PROPOSED OPEN SPACE = 0.65 ACRES (42%)  
EXISTING IMPERVIOUS AREA = 0.95 ACRES (61%)  
EXISTING OPEN SPACE = 0.61 ACRES (39%)

PARKING DATA:

20 VACUUM SPACES PROVIDED  
4 EMPLOYEE PARKING SPACES PROVIDED  
1 HANDICAP PARKING SPACE PROVIDED  
25 TOTAL PARKING SPACES PROVIDED

LEGEND	
	EX. TREE OR SHRUB
	EX. PINE TREE
	EX. LIGHT POLE
	HEAVY DUTY PAVEMENT
	PAVEMENT AREAS TO BE MILLED AND RESURFACED
	CONCRETE PAVEMENT OR SIDEWALK



SITE/UTILITY PLAN  
FLYING ACE CAR WASH  
7730 BRANDT PIKE  
LOCATED IN  
SECTION 17, TOWN 2, RANGE 8 M.Rs.  
CITY OF HUBER HEIGHTS, MONTGOMERY COUNTY, OHIO

DATE: JULY 6, 2023  
SCALE: 1"=20'  
PROJECT No. 7929  
FILE No.  
SHEET No.





Exit Elevation  
Scale: 3/16" = 1'-0"



Entrance Elevation  
Scale: 3/16" = 1'-0"



Side Elevation  
Scale: 3/16" = 1'-0"



Side Elevation  
Scale: 3/16" = 1'-0"

# FLYING ACE EXPRESS CAR WASH



# Huber Heights Fire Division

Occupancy Name:	Flying Aces		
Occupancy Address:	7730 Brandt Pike		
Type of Permit:	HHP&D Site Plan		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	23-216
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	7/28/2023

## **Fire Department Comments:**

*The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices*

These comments are based only on the proposed sitework, fire department access and basic fire protection concept at this time. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted for permit. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017, and the Huber Heights Codified Ordinance.

### **Site Plan :**

- The proposed turn radius appears to meet the requirements for fire department access as required in Ohio Fire Code.
- Verify that proposed trees do not obstruct fire department access and access roads. The minimum clear vertical height for fire apparatus access roads shall be 13 feet 6 inches, in accordance with Ohio Fire Code 503.2.1.
- A permit shall be obtained for construction from Montgomery County Building Regulations.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

**AI-9416**

**6. C.**

**Planning Commission**

Meeting Date: 08/15/2023

Rezoning and Basic Development Plan

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Information

Agenda Title

REZONING and BASIC DEVELOPMENT PLAN - The applicant, THOMAS E. DUSA, is requesting approval of a Basic Development Plan and Rezoning from Commercial (B3) to Planned Industrial (PI) to construct a truck stop and repair facility on approximately three (3) acres. Property is located at the Southeast corner of Technology Blvd. and Artz Road (RZ BDP 22-35).

Purpose and Background

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Attachments

Staff Report

Decision Record

Drawing

Drawing

Fire Assessment

applicant letter

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# Memorandum

Staff Report for Meeting of August 15, 2023

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, City Planner

Date: August 9, 2023

Subject: Basic Development Plan and Rezoning  
(Overnight truck parking and truck repair facility)

Revised plans dated July 31, 2023

Department of Planning and Zoning

City of Huber Heights

**APPLICANT/OWNER:** Thomas Dusa – Applicant  
Said Agaliyev - Owner

**DEVELOPMENT NAME:** Technology Blvd. Trucking Facility

**ADDRESS/LOCATION:** Southeast corner of Technology Blvd. and Artz Rd.

**ZONING/ACREAGE:** B-3 / 3.3 Acres

**EXISTING LAND USE:** Vacant / Agricultural

**ZONING**  
**ADJACENT LAND:** North: I-1 & PC  
East: PC  
West: I-1  
South: I-1

**REQUEST:** The applicant requests approval of a basic development plan and rezoning to Planned Industrial to construct a truck stop and repair facility on approximately three (3) acres.

**ORIGINAL APPROVAL:** N/A

**APPLICABLE HHCC:** Chapter 1171, 1177, 1181

**CORRESPONDENCE:**

In Favor – None Received  
In Opposition – None Received

**STAFF ANALYSIS AND RECOMMENDATION:****Overview**

The applicant requests approval of a basic development plan and rezoning to Planned Industrial to construct a truck stop and repair facility on a three (3) acre parcel. The site is very close to the I-70 / SR 235 interchange. Approximately 35 acres on the east side of SR 235 was rezoned to Planned Commercial to accommodate a fueling station, truck stop and repair facility.

The applicant's site is currently zoned B-3. The surrounding lands are predominantly zoned I-1 and used for manufacturing or logistics purposes. There is a significant amount of agricultural / vacant land immediately east of this site in Clark County that has development potential but limited access to SR 235 and I-70.

**Case History**

This case was originally in front of the Planning Commission on December 13, 2022. The City Council considered the case on the following dates:

Work Session 1/17/23  
Work Session 4/4/23  
Council Mtg. 4/10/23  
Work Session 4/20/23  
Council Mtg. 4/24/23  
Work Session 5/2/23  
Council Mtg. 5/8/23

In May, the City Council remanded the case back to the Planning Commission to consider a facility with more truck parking spaces and a refined operations plan. The revised plan indicates 30 truck parking spaces. The maintenance facility and auto parking are unchanged.

**On-Site Uses and Facilities**

The applicant is proposing a 4,500 SF building with 30 semi-truck parking spaces. The "shop floor" is approximately 843 SF. The applicant feels there is a need for support services for over-the-road truckers who have maximized their legal driving time and must rest.



Through discussions with the applicant, the maintenance building will be leased to an individual or company to provide heavy truck maintenance services. The revised operating / advertising plan is attached in the letter dated April 15, 2023.

### **Site Characteristics**

The site is located just north of the I-70 / SR-235 interchange and has a prominent location for those entering or leaving the city. The developable area sits approximately six (6) feet below street grade including SR-235, Artz Road and Technology Boulevard. There is an existing tree line along the east and south side of the site, which effectively screen the site from the view of those traveling northbound on SR-235.

The site has access to all utilities.

### **Applicable Zoning Regulations**

The applicable zoning chapters include: 1171 General Provisions, 1177 Planned Industrial District, 1181 General Provisions, 1182 Landscaping and Screening, 1185 Parking and Loading. The relevant sections are cited below:

## ***Chapter 1171 General Provisions***

### ***1171.01 Purpose.***

*Planned Unit Developments Districts may be permitted as amendments to the zoning map, after application and approval of specific and detailed plans, where tracts suitable in location and character for the uses and structures proposed are to be planned and developed as units. The provisions of this chapter are adopted to unify planning and development in such districts. Applications for rezoning of land into a Planned Unit Development District shall be granted only when the basic development plan for the project is such that the public health, safety and morals shall not be jeopardized by a departure from the restrictions on corresponding uses in the standard zoning district. PUD rezonings may be approved only when a basic development plan for the area has been approved by Council. A detailed development plan shall then be approved for zoning permit to be approved for development in the District. Normally the detailed development plan shall be approved by the Planning Commission after the rezoning and basic development plan have been approved by Council. Owners shall have the option however, of submitting a combined basic and detailed development plan ("combined development plan") if they should so desire for some or all of the site.*

*(Ord. 93-O-602, Passed 3-22-93)*

### ***1171.05 Contents of basic development plan.***

- (a) The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:*
  - (1) Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;*

- (2) *Typical elevation views of the front and side of each type of building;*
  - (3) *Planning location and dimensions of all proposed drives, service access road, sidewalks and curb openings;*
  - (4) *Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;*
  - (5) *Landscaping plan, walls and fences;*
  - (6) *Storm water detention and surface drainage;*
  - (7) *Exterior lighting plan;*
  - (8) *Vehicular circulation pattern;*
  - (9) *Location and square footage of signs;*
  - (10) *Topographic survey; and*
  - (11) *Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.*
- (b) *The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.*

*(Ord. 2006-O-1655, Passed 9-25-05)*

## ***Chapter 1177 (PI) Planned Industrial District***

### **1177.01 Principal permitted uses.**

Any principal permitted use in the Industrial Districts, I-1 and I-2, and PO Planned Office District shall be permitted. Manufacturing, processing, warehousing, industrial service activities, office and associated activities may be developed, operated and maintained within a single, organized development in accordance with an approved Planned Industrial Development District.

*(Case 388; Ord. 2002-O-1365, Passed 8-26-02)*

### **1177.02 Accessory uses.**

Only the following accessory uses shall be permitted in this District:

- (a) *Uses customarily incidental to all principal permitted uses; and*
- (b) *Temporary buildings and uses incidental to construction work, which buildings shall be removed upon the completion or abandonment of the construction work.*

*(Case 388; Ord. 2002-O-1365, Passed 8-26-02)*

### **1177.03 Development standards.**

Except when specifically modified herein, the provisions of Chapter 1181, "General Provisions" shall govern. In addition, the following developmental standards shall apply:

- (a) *Minimum Land Area Requirements.*
  - (1) No minimum land area shall be required.
- (b) *Site Planning, General Design Standards and Improvement Requirements.*
  - (1) Total land occupancy by all buildings for a Planned Industrial Development District shall not exceed 75 percent of the area of the tract to be developed.
  - (2) Planned Industrial Development Districts shall have access to at least one major thoroughfare as established on the Official Thoroughfare Plan.
  - (3) Landscaping and use of yards shall be as follows:
    - A. Required side and rear yards shall be maintained in landscaping and shall not be used for off-street parking along all property lines which abut residential or PM districts. The landscaping shall include, at a minimum, a six-foot high wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent.
    - B. Any front, side or rear yard that fronts a public street is required to be landscaped including street trees as outlined in Chapter 1181 and additional landscaping as determined appropriate by the Planning Commission.
    - C. The project area, where it abuts another business, office, or industrial district, shall be maintained in landscaping and not used for parking, to the extent of a minimum of 15-foot depth along property lines.
  - (4) Off-street parking and loading spaces shall be required as set forth in Chapter 1185. In addition:
    - A. Off-street parking and loading facilities shall be provided, with area, location and design appropriate to the needs and specific uses of the industrial project. Space designated for off-street parking shall not be used for off-street loading.
    - B. Off-street parking and loading facilities shall not be located in the front yard of any property.
    - C. Off-street parking and loading shall be of sufficient size to accommodate normal peak loads.
    - D. Loading docks shall not be placed between the building and the front lot line.
  - (5) There shall be a side and rear yard setback of 25 feet or equal to the heights of the principal building, whichever is greater. If adjacent to a residential district or PM District, a minimum of 75 feet.
  - (6) All streets within the Planned Industrial Development District shall have a width of not less than 40 feet and shall comply with the City's construction standards.
  - (7) The distribution systems for utilities are required to be underground.
  - (8) Building materials. The front facade of a principal building facing any public street on any property in the PI District shall be required to be constructed of at least 30 percent masonry materials that will extend along the entire length of the facade of the principal building. For the

purposes of this section, the front facade of a principal building shall include any wall of the principal building that is parallel to the public street and is located within 100 feet of the established building line. The Planning Commission shall determine the appropriateness of the proposed masonry material design. In the case of a property which has frontage on more than one public street, the facade facing the public street from which access to the property is provided shall be considered the front facade of the building. In addition to the front facade, the side or rear facades of the principal building that face Interstate 70 or a State Route shall be constructed of at least 30 percent masonry materials that shall be clearly visible to Interstate 70 or the State Route unless a sufficient landscaping buffer is provided and is determined appropriate by Planning Commission. Recommended masonry materials include brick, split face block, tilt-up concrete, dryvit or any similar material determined appropriate by the Planning Commission.

- (9) Street tree requirement. Please refer to Chapter 1181 for street tree requirements.
- (10) Trash container enclosures. Please refer to Chapter 1181 for trash container enclosure requirements.

#### **1177.04 Conditions.**

All uses shall be conducted wholly within a completely enclosed building except for parking, loading and unloading facilities, which shall all be off-street. No use shall be permitted to be established or maintained which by reason of its nature or manner of operation is or may become hazardous, noxious or offensive owing to the emission of odor, dust, smoke, cinders, gas fumes, noise, vibration, refuse matter or water-carried waste.

(Case 388; Ord. 2002-O-1365, Passed 8-26-02)

### **Chapter 1181 General Provisions**

#### **1181.17 Street trees.**

*Any property that is zoned commercial, industrial, institutional or multi-family and that abuts a public street right-of-way and is being developed shall have one street tree per 40 feet of frontage planted at least four feet from the edge of the sidewalk on private property as determined appropriate by the City Engineer. If the location of the proposed street trees is determined inappropriate by the City Engineer, the City Engineer shall determine a location that is appropriate for the planting of the street trees. The City Engineer shall also approve the type of and the caliper of street trees that are to be planted. A list of appropriate trees and required caliper is available in the City Engineer's office.*

(Case 389; Ord. 2001-O-1240, Passed 2-12-01)

#### **1181.18 Screening of service structures.**

*Service structures shall be screened in all zoning districts. For the purposes of this section, service structures shall include but not be limited to loading docks, storage tanks, dumpsters, electrical transformers, utility vaults which extend above the surface, cooling towers, roof top units and other equipment or elements providing service to a nonresidential (excluding agricultural uses) or multi-family building or site. Structures may be grouped together; however, screening height shall be based upon the*

*tallest of the structures. Service structures located in the public right-of-way or public right-of-way easement shall be exempt from these provisions.*

*(a) Screening Requirements.*

- (1) Rooftop utilities screening. All mechanical equipment located on the roof or around the perimeter of the building shall be screened by the following means and with materials that are comparable and compatible with that of the exterior building materials. Roof top mechanical units must be screened to the full height of the unit and also be fully screened from view from surrounding public rights-of-way. A sight distance analysis may be required by the City to determine the necessary height or design of rooftop utilities screening. If due to factors unique to the property or the project, it is physically impossible or impractical to screen these utilities, the Board of Zoning Appeals, may approve alternative solutions that render them aesthetically compatible with the principal structure, except for development within a planned unit development district for which the Planning Commission would have authority to approve any alternative solutions.*
  - A. A raised parapet or other architectural feature is an integral part of the building as a method of screening for rooftop mechanical equipment or to soften rooftop view.*
  - B. Screening for rooftop mechanical equipment shall incorporate similar architectural features of the building and/or be constructed of a material and color compatible with other elements of the building.*
- (2) Waste Handling Screening. All waste, recycling and related handling equipment shall be stored and kept in four-sided enclosure constructed of a brick, stone, decorative concrete material or a material compatible with the material of the principle structure.*
  - A. Curbs to protect screening material. Whenever screening materials is placed around any trash disposal unit or waste collection unit which is emptied or removed mechanically on a regularly occurring basis, a curb to contain the placement of the container shall be provided within the screening material on these sides where there is such material. The curbing shall be at least one foot from the material and shall be designed to prevent possible damage to the screening when the container is moved or emptied.*
- (3) Screening of other service structures. A continuous (having 100 percent opacity) planting, hedge, fence, wall of earth, which would enclose any service structure on all sides is required, unless such structure must be frequently moved, in which case screening on all but one side is required. The height of the screening material shall be one foot more than the height of the enclosed structure, but shall not be required to exceed 12 feet in height. Whenever a service structure is located next to a building wall or landscaping material, such walls or screening material, may fulfill the screening requirement for that side of the service structure if that wall or screening material is of sufficient height to meet the height requirement set out in this section. Plant material used to screen a service structure shall be an evergreen species which retains its needles throughout the year. Deciduous plant material cannot be used to fulfill this screening requirement. The height of the evergreen plant material at*

*installation must be equal to, or greater than, two-thirds of the height of the service structure(s), and meet the height and opacity requirements within four years.*

**1181.21 Lighting standards.**

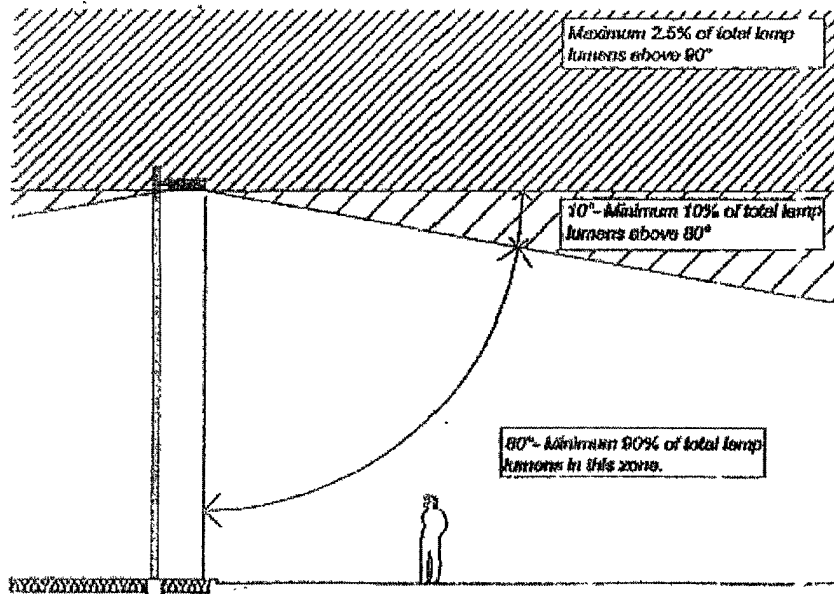
- (a) Intent. This section intends to regulate outdoor lighting in order to: establish appropriate minimum levels of illumination, prevent unnecessary glare, and reduce both spill-over onto adjacent properties and unnecessary transmission of light into the night sky. It is not intended to eliminate the need for an applicant to seek professional assistance to determine appropriate lighting for the use and design proposed.*
- (b) Approved Lighting Plan. Whenever the installation or modification of outdoor lighting is proposed or, for a commercial, industrial, multi-family or special use of a site plan approval, the enforcing officer shall review and approve all proposed lighting as part of the approval process. These standards shall also apply to modifications to existing lighting fixtures, whether or not site plan approval is required.*
  - (1) A lighting plan submitted for review shall contain the following:*
    - A. A site plan showing the location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures;*
    - B. Specifications for all proposed and existing lighting fixtures. These include: photometric data, fixture height, mounting and design, glare control devices, type and color rendition of lamps, and hours of operation. A photometric plan illustrating the levels of illumination at ground level shall account for all light sources that impact the subject site, including spill-over illumination from neighboring properties; and*
    - C. Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming of points of any remote fixtures.*
  - (2) A proposed lighting plan shall be reviewed based upon the following considerations:*
    - A. Whether the lighting is designed to minimize glare;*
    - B. Whether light will be directed beyond the boundaries of the area to be illuminated or onto adjacent properties or streets;*
    - C. Whether the lighting will cause negative impacts on residential districts and uses;*
    - D. Whether the plan will achieve appropriate levels of illumination for the use proposed;*
    - E. Whether the lighting is in harmony with the character of the surrounding area and the illumination levels of neighboring properties; and*
    - F. Whether the lighting is in keeping with the city's goal of prohibiting unnecessary illumination of the night sky.*
- (c) Required Conditions. When site plan or zoning permit approval is required for the installation or modification of exterior lighting, the following conditions shall apply:*

- (1) *Light fixtures shall not be mounted in excess of the maximum height limitation of the district in which they are located. Those maximum heights are listed below:*

•	<i>B-1, B-2, B-3, and EP</i>	<i>25' maximum mounting height</i>
•	<i>O-1</i>	<i>20' maximum mounting height</i>
•	<i>I-1 and I-2</i>	<i>35' maximum mounting height</i>
•	<i>Planned Unit Developments</i>	<i>Established by the City at the detailed plan approval stage (if not addressed, maximum mounting height shall be 25')</i>

*Electrical service to light fixtures shall be placed underground.*

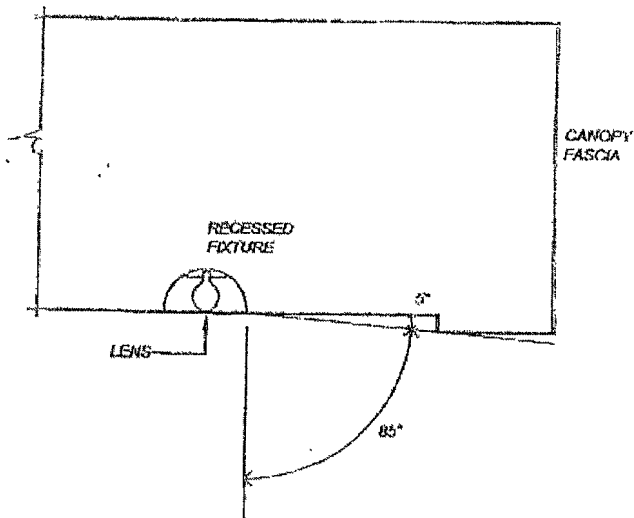
- (3) *No flashing lights or intermittent illumination shall be permitted.*
- (4) *Glare control shall be accomplished primarily through the proper selection and application of lighting equipment. Only after those means have been exhausted shall landscaping, fencing and similar screening methods be considered acceptable means for reducing glare.*
- (5) *Outdoor lighting shall be designed to achieve uniform illumination levels. The ratio of the average light level of the surface being lit to the lowest light level of the surface being lit, measured in foot-candles, shall not exceed 4:1. One foot-candle is equal to the amount of light generated by one candle shining on a square foot surface one foot away. The average illumination is determined by: adding the foot-candle value of all the points in the photometric grid, and dividing the sum by the total number of points.*
- (6) *The use of true color rendering lamps, such as metal halide, is required instead of the utilization of high and low pressure sodium lamps.*
- (7) *Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.*
- (8) *Lighting for security purposes shall be directed only onto the area to be secured.*
- A. *All fixtures shall be located, shielded and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky.*
- B. *Fixtures mounted on the building and designed to illuminate the facade are preferred.*
- (9) *Parking lot lighting shall be designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare and direct illumination away from adjacent properties and streets. Designs that result in even levels of illumination across a parking area are preferred*



*Cut-off fixture as defined by IESNA.*

- (10) The illumination of gasoline service stations and convenience stores shall be the minimum level necessary to facilitate such uses. Unnecessary lighting for the purposes of attraction and advertising shall not be permitted.
  - A. Areas away from gasoline pump islands that are used for parking and vehicle storage shall be illuminated in accordance with the parking area requirements of subsection (9) above.
  - B. Light fixtures mounted on canopies shall be recessed or flush with the bottom of the canopy. Where a drop-down fixture is used, the lens shall be flush with (i.e., no more than one inch beyond) the casing so that light is directed down and not sideways. All canopy lighting shall be shielded to provide a cut-off angle of 85 degrees. Fixtures shall not be mounted on the top or sides of canopies.





*This illustration provides an example of a fixture with an 85-degree cut-off. Other designs that achieve the same cut-off requirement are also acceptable.*

## **Chapter 1182 Landscaping and Screening Standards**

### **1182.01 General information.**

- (a) *Applicability. All of the requirements of this chapter of the Zoning Code are applicable to all new developments located in all zoning districts except for those located in ER, R-1, R-2, R-3, R-4, R-4B, RMV, A, WO, and C districts. For new developments located in ER, R-1, R-2, R-3, R-4, R-4B, RMV, A, WO, and C districts, only the requirements listed in the schedule of required buffers, detailed in figure 4 in Section 1182.05, shall apply. Property owners are under a continuing obligation to ensure that their property is maintained in accordance with these requirements.*
- (b) *Application Process. For PUD applications and standard zoning permit applications certain landscape information must be provided.*
  - (1) *In a PUD application, proposals in the re-zoning and basic development plan stage need to illustrate conceptual buffering and screening requirements on the basic development plan.*
  - (2) *In a PUD application in the detailed development plan stage and final plat stage, a detailed landscape plan shall be submitted as outlined in 1182.02.*

## **Chapter 1185 Parking and Loading**

### **1185.02 Off-street parking standards.**

- (a) *General Standards. Off-street parking facilities shall be used solely for the parking of motor vehicles except as otherwise permitted in this chapter. Other approved accessory structures such as landscaping islands, light poles, shopping cart racks, and ATMs are considered as part of the off-*

*street parking facilities. All motor vehicles shall be in operating condition by persons on the premises in connection with any use of the premises allowed by the Zoning Ordinance.*

- (b) Parking of motor vehicles on a residentially zoned premises shall be on a continuous hard surface, as defined by the term "hard surface driveway" in Chapter 1123.*
- (c) Garage sales may be conducted on off-street parking facilities located on a residentially zoned premises.*
- (d) Festival and fund-raising activities sponsored by nonprofit organizations, as well as activities/events organized by government agencies, may be conducted on off-street parking facilities.*
- (e) Planned unit developments may be approved to permit other uses of off-street parking facilities.*

*(Case 293; Ord. 90-O-450, Passed 12-3-90; Ord. 96-O-922, Passed 10-28-96)*

### **1185.03 Size and design.**

- (a) Off-street parking spaces shall meet or exceed the minimum design standards for parking lot layouts as set forth in this chapter. The minimum size for an off-street parking space shall be 18 feet in length by ten feet wide.*
- (b) Off-street parking requirements and limitations for semis are defined in HHCO Chapter 1193.*
- (c) Minimum Design and Construction Standards.*
  - (1) Off-street parking may be open to the sky, or enclosed in a building or structure, either above or below ground. Off-street parking areas shall meet City and, as set forth by the City Engineer, Southwest Ohio Engineers Association (S.W.O.E.A) standards. Such standards shall include, but not be limited to, driveway widths, island design, curbs, barriers, grades, turning radii, vertical clearance, stacking, and waiting areas and drainage.*
  - (2) Nonresidential uses (including multi-family residential uses).*
    - A. Each off-street parking space shall open directly into an aisle or driveway of adequate width and design for safe and efficient vehicular access to the parking space. No parking space shall open directly onto any public street.*
    - B. An aisle or driveway shall not be used for parking of vehicles.*
    - C. All off-street parking areas shall be graded and have a continuous hard surface of asphalt or concrete. When approved by the City Engineer the off-street parking areas for impound lots, junked vehicle yards, dormant semi-truck parking areas, and certain storage areas may be composed of granular aggregate and a double chip seal or a fabric type pavement with aggregate base and surface stabilization or a slurry seal pavement with aggregate base as shown on the attached sketches. A chip sealed lot or a slurry seal lot or a fabric type lot shall be resealed at a minimum of five-year intervals or as designated by the City Engineer.*

### **1185.06 Landscaping required.**

*All parking lots exceeding 20 parking spaces shall have interior landscaped areas in the overall design. This requirement shall be satisfied only by those landscaped areas encompassed by the perimeter*

*of the parking lot. Required parking or paving setbacks, screening areas, or other landscaping required by this Zoning Ordinance shall not be utilized to meet any requirement of these landscaping provisions.*

- (a) Any parking lot having a capacity of at least 20 parking spaces shall be required to have not less than five percent of the interior of the parking lot landscaped.*
- (b) The landscaped area shall include at least one tree (not less than one and three-fourths inch caliper, measured at chest height of a species approved by the City Engineer or his designee) for every 100 square yards of interior landscaped area, living plantings aesthetically located and maintained.*
- (c) All landscaped areas shall be designed and located in a manner that clearly defines internal streets, traffic lanes and parking areas and to standards acceptable to the Department of Engineering, Zoning and Planning.*
  - (1) Landscaped areas shall have a minimum width of five feet.*
  - (2) A turning radius shall be constructed where a landscaped area defines an intersection of streets, traffic lanes or parking stalls.*
  - (3) Concrete curbing shall be placed around the perimeter of all landscaped areas.*
  - (4) Intersection sign distance shall be maintained at all entrance and exit points to a public street and all internal intersections of streets and traffic lanes.*

*(Ord. 90-O-450, Passed 12-3-90)*

#### **1185.12 Computation.**

- (a) Number of Spaces Rounded Up. When determination of the number of off-street parking spaces required by this chapter results in a fraction that is less than a whole, such fraction shall be rounded up to a whole number and counted as one parking space.*
- (6) Road service and commercial entertainment uses.*
  - A. Automobile accessories sale or installation: two spaces for every service bay, plus one space for every 400 square feet of sales area.*
  - B. Automobile filling station and auto repair, painting, and body shop: two spaces for each service bay, plus one space for each employee on the largest shift, and also one space for each service vehicle; with a minimum of six spaces, plus one space for every 125 square feet of retail floor area if a convenience store is an accessory use.*
  - C. Automobile washing facility: one space for each employee with a minimum of four spaces, plus five off-street waiting spaces for each car-washing device or stall, or 15 off-street waiting spaces for an assembly-line type washing establishment, and two parking spaces at the end of each washing bay for drying and hand-finishing vehicles.*

#### **Standards for Approval**

##### **1171.06 – General Standards For Approval**

*The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:*

- (a) Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*
- (b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*
- (c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*
- (d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*
- (e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*
- (f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*
- (g) Shall preserve natural features such as water courses, trees and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*
- (h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*
- (i) Shall place underground all electric and telephone facilities, streetlight wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*
- (j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*
- (k) Shall not involve uses, activities, processes, materials, equipment and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and*
- (l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

### **Staff Analysis**

The analysis below is divided into two discussions: the rezoning analysis and the conformance with the zoning regulations.

**Rezoning Analysis:**

The applicant desires to rezone the property from B-3 to PI for the purpose of constructing a truck stop and repair facility. The applicant is in the trucking business and feels there is a need for facilities that allow drivers to rest and recuperate after they have maximized their allowable driving hours.

The majority of properties in the vicinity are zoned I-1 and are engaged in the manufacturing or warehousing and distribution of various goods. The majority of surrounding lands heavily utilize trucking services.

Last year, the Planning Commission and City Council approved the rezoning of 35 acres from I-1 to Planned Commercial to facilitate the construction of a convenience store, truck parking and diesel repair facility on approximately nine (9) acres. Planned Commercial zoning was required to support all the uses on the site, mainly the convenience store. During the rezoning discussion, the City Council increased the allowable truck stop parking spaces from 10 to 30, because at least one member felt there was a need for such services in the area.

This case was remanded back to the Planning Commission to consider a larger facility with more truck parking spaces.

***Conformance with Comprehensive Plan***

The city's comprehensive plan indicates the site is located in a "Gateway" and "Growth" area. Gateways are prominent entrances into the city which should be designed and landscaped in an attractive manner, limit sign clutter and preserve and maintain mature trees where possible. Growth areas are those locations within the city that where economic development should be encouraged, and low-density residential developments discouraged. These areas are the future economic engines of the city.

The rezoning request from B-3 to PI could be consistent with the comprehensive plan.

Staff feels the rezoning from business to industrial use is appropriate for this site. It has been widely reported there is a need for facilities and services to support truck drivers who have exhausted their allowable driving hours. It is unclear to staff whether the rest facility proposed directly or indirectly benefit the surrounding businesses or if the majority of users are over-the-road drivers simply passing through the community.

## **Conformance with Zoning Regulations:**

### 1177 (PI) Planned Industrial District

The proposed uses are principally permitted in the PI district. The current plan meets the standards of this Chapter and indicates a minimum 15-foot buffer, up from 10-feet from the original application.

### Chapter 1181 General Provisions

The rezoning and basic development plan do not have enough detail to evaluate against the zoning requirements in this Chapter. The applicant has indicated to staff that all requirements will be met during the detailed development plan phase.

### Chapter 1182 Landscaping and Screening Standards

The rezoning and basic development plan do not have enough detail to evaluate against the zoning requirements in this Chapter. Additional detail shall be provided during the detailed development plan phase.

### Chapter 1185 Parking and Loading

Based on conversations with the applicant and additional details regarding programing, the revised site plan meets all parking. There are 30 truck parking spots and five automobile parking places for the shop.

## **Other Considerations:**

During discussions with the applicant, it is clear there is an intent to construct a building. However, staff still recommends as a condition that the building be constructed before a final zoning certificate is issued. Staff is concerned that this location will simply become a trailer drop lot with no value-added services for drivers or surrounding businesses.

## **Additional Comments:**

**Fire:** See Attached.

**City Engineer:** No comments were received.

## **Recommendation**

There is a need for overnight truck parking in the area, given the large number of owner-operators in the region. The applicant is proposing an overnight storage facility for the tractor and/or trailer, but will prohibit on-site sleeping by the driver. Since the case was originally heard in December 2022, the applicant has further refined their

application and operations plan. Staff does feel the proposed use fills a market void and can be designed in a manner that projects an attractive entrance into a largely industrial area of the city.

If Planning Commission feels the rezoning and basic development plan are consistent with the comprehensive plan and the standards for development can be met, then staff recommends the following conditions:

1. The applicant shall submit a detailed programming plan, including floor plans and elevations for the building prior to detailed development plan approval;
2. The applicant shall submit a phasing plan for consideration and approval by the Planning Commission;
3. The applicant shall comply with all provisions of the zoning code;
4. The proposed overnight parking area shall be asphalt or concrete;
5. No activities including parking, storage or site improvements shall occur until a detailed development plan is approved and a zoning certificate issued.

### **Planning Commission Action**

Planning Commission may take the following actions with a motion to:

- 1) Approve the rezoning and basic development plan application, with or without conditions.
- 2) Deny the basic development plan.
- 3) Table the application in order to gather additional information.



## **Planning Commission Decision Record**

WHEREAS, on July 31, 2023, the applicant, Thomas E. Dusa, requested approval of a Basic Development Plan and Rezoning from Commercial (B3) to Planned Industrial (PI) to construct a truck stop and repair facility on approximately three (3) acres. Property is located at the Southeast corner of Technology Blvd and Artz Road, further identified as Parcel Number P70 03903 0007 of the Montgomery County Auditor's Map (Case RZ BDP 22-35), and;

WHEREAS, on August 15, 2023, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Thomas E. Dusa, for approval of a Basic Development Plan and Rezoning from Commercial (B3) to Planned Industrial (PI) to construct a truck stop and repair facility on approximately three (3) acres. Property is located at the Southeast corner of Technology Blvd and Artz Road (Case RZ BDP 22-35), in accordance with the recommendation of Staff's Memorandum dated August 9, 2023, with the following conditions:

1. The applicant shall submit a detailed programming plan, including floor plans and elevations for the building prior to detailed development plan approval;
2. The applicant shall submit a phasing plan for consideration and approval by the Planning Commission;
3. The applicant shall comply with all provisions of the zoning code;
4. The proposed overnight parking area shall be asphalt or concrete;
5. No activities including parking, storage or site improvements shall occur until a detailed development plan is approved and a zoning certificate issued.



RZ BDP 22-35 – Decision Record

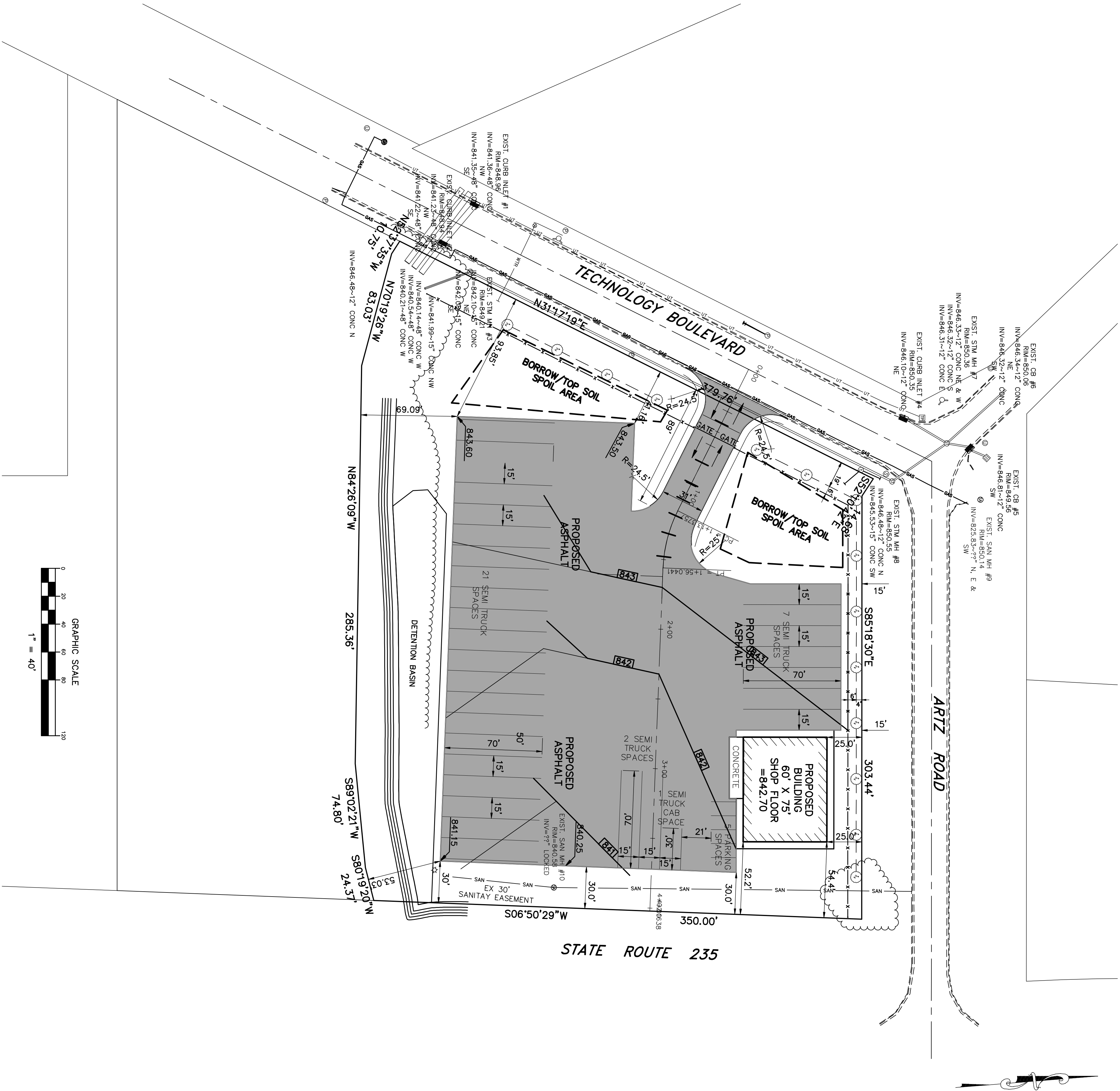
Seconded by      Roll call showed: YEAS:    NAYS:    Motion to recommend  
approval carried .

---

Terry Walton, Chair  
Planning Commission

---

Date



SYMBOL LEGEND	
⊕	STORM MANHOLE
⊕	CURB INLET CATCH BASIN
⊕	CATCH BASIN
⊕	SANITARY MANHOLE
⊕	GAS REGULATOR
☆	LIGHT POLE
⊕	POWER/TELECOM POLE W/ U/G CONNECTION(S)
⊕	POWER POLE
⊕	STOP SIGN
⊕	POWER/TELECOM POLE
⊕	TELECOM PULL BOX
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	POLE ANCHOR

2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE  
8-1-1 OR 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE  
OUPS REFERENCE NUMBERS:  
A 209 700 450 - SURVEY  
A 209 700 466 - DESIGN

By: \_\_\_\_\_ Reg. Engineer E-49719



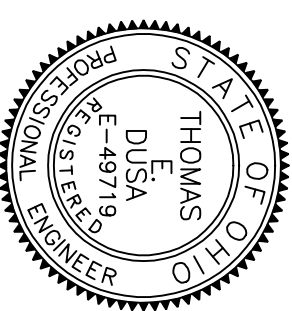
Haley-Dusa  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459  
Phone: (937) 439-4300 Fax: (937) 439-2005

PROJECT No: E3428  
DATE 04-14-23  
SCALE 1" = 40'  
DES. DES  
DR. JRC  
CKD. TED

No.	DATE	REVISION

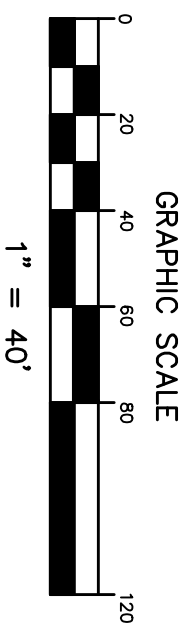
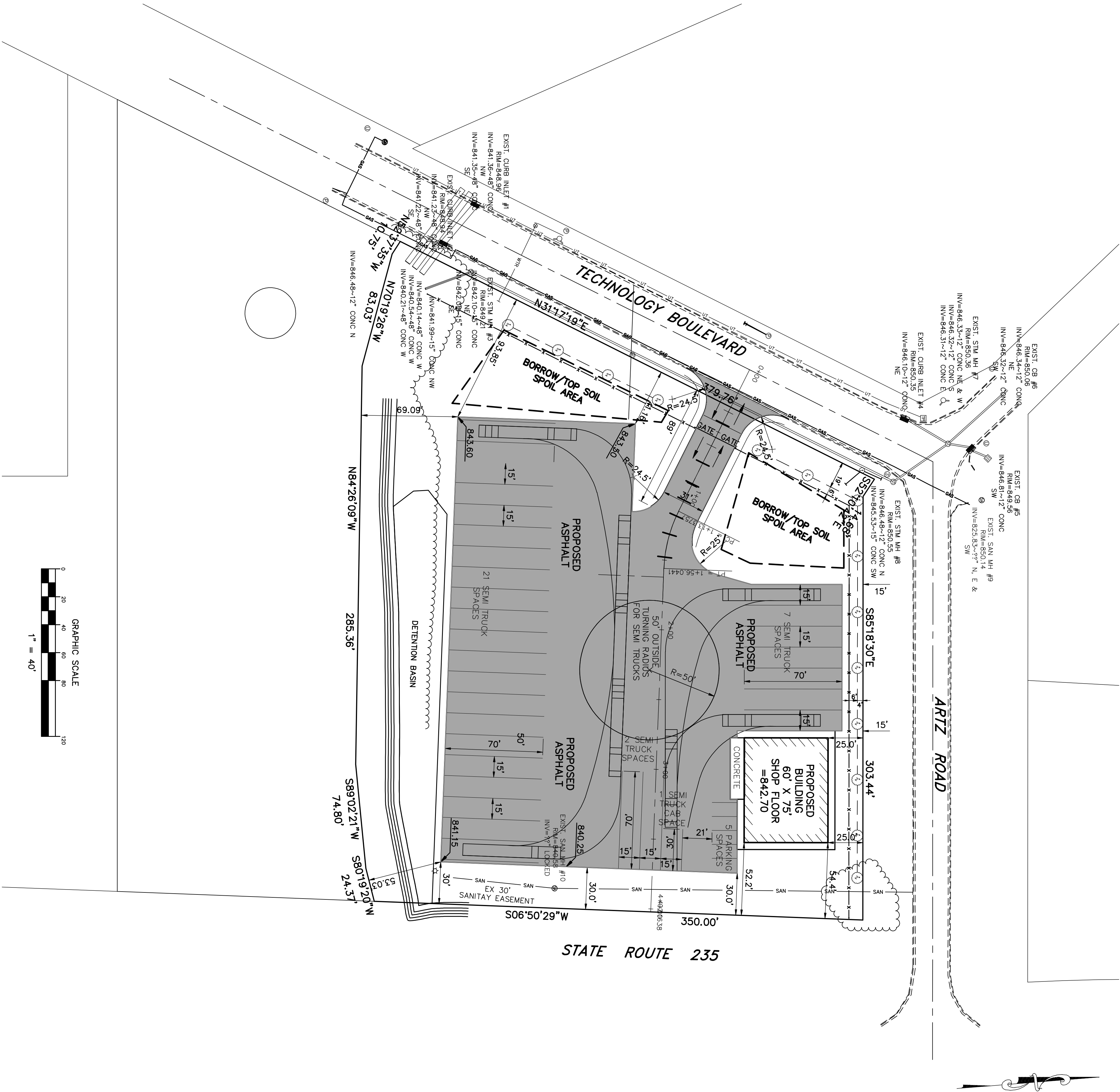
SEMI TRUCK LOT  
8080 TECHNOLOGY BOULEVARD  
CITY OF HUBER HEIGHTS  
MONTGOMERY COUNTY, OHIO

PRELIMINARY CIVIL SITE PLAN



SHEET NO.

C2



SYMBOL LEGEND	
⊕	STORM MANHOLE
⊕	CURB INLET CATCH BASIN
⊕	CATCH BASIN
⊕	SANITARY MANHOLE
⊕	GAS REGULATOR
☆	LIGHT POLE
⊕	POWER/TELECOM POLE W/ U/G CONNECTION(S)
⊕	POWER POLE
⊕	POWER/TELECOM POLE
⊕	STOP SIGN
⊕	TELECOM PULL BOX
⊕	WATER VALVE
⊕	FIRE HYDRANT
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8-1-1 OR 800-362-2764  
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OUPS REFERENCE NUMBERS:  
A 209 700 450 - SURVEY  
A 209 700 466 - DESIGN



SEMI TRUCK LOT  
8080 TECHNOLOGY BOULEVARD  
CITY OF HUBER HEIGHTS  
MONTGOMERY COUNTY, OHIO

TRUCK TURNING RADIUS EXAMPLES

**Haley-Dusa**  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459  
Phone: (937) 439-4300 Fax: (937) 439-2005

PROJECT No: E3428  
DATE 04-14-23  
SCALE 1" = 40'  
DES. DES  
DR. JRC  
CKD. TED

No.	DATE	REVISION



# Huber Heights Fire Division

**Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)**

Occupancy Name:	Semi Lot – Revision 2		
Occupancy Address:	Technology Blvd. & Artz Rd.		
Type of Permit:	HHP&D Site Plan		
Additional Permits:	Choose an item.		
Additional Permits:	Choose an item.		
MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	22-196/23-228
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	8/2/2023

## **Fire Department Comments:**

**The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has adopted by reference OFC and IFC Appendices**

**These comments are based only on the proposed site work, fire department access and basic fire protection concept at this time. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2017, and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met.**

- Fire hydrants shall be provided where any portion of the building is greater than 400 feet from existing hydrants. Ohio Fire Code 507.5.1 and HHCO 1521.06(c).
- All new places of assembly, educational, health care, detention and correctional occupancies, and business, industrial, storage or unusual structures, which are located more than 150 feet from a public street, or which require quantities of water beyond the capabilities of the public water distribution system shall be provided with properly placed fire hydrants. HHCO 1521.01(a).
- If the property is to be fenced provisions for the Huber Heights Fire Division to obtain access shall be provided.
- A permit shall be obtained for construction from Montgomery County Building Regulations.

Please reference contact information below for questions or concerns with this document.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in **ALL** respects to this code, as prescribed in **SECTION (D) 104.1 of the 2017 Ohio Fire Code**. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with **ALL** applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.



# Haley-Dusa Engineering & Surveying Group, LLC

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April 15, 2023

To: Aaron Sorrell, Interim City Planner  
Huber Heights Planning

Subject: Business Plan

Development Name: Technology Blvd. Trucking Facility

Address/Location: Southeast corner of Technology Blvd. and Artz Rd

## Business Plan:

The simple answer to the Business Plan is to generate revenue through renting space to semi-trucks. We plan to generate two kinds of rental revenue. The first is by directly renting parking space to semi-trucks, and the second is more indirect by renting (or leasing) a building and parking lot to another business that will work on semi-trucks.

The indirect rental will be on a monthly lease that will generate constant monthly revenue. This is anticipated to generate only about 15% of the monthly revenue.

The direct rental will need to cover 85% of the monthly revenue. We anticipate this can be made up of a combination of truckers needing to park their trucks as they rest to meet the requirements of their CDL license; local truckers who need a place to store their trucks while at home on down time; and occasionally the overflow truck traffic from the business on site. Initially and for security reasons, we are expecting the truckers renting space to leave the site after they have parked their trucks. They will need to find their own form of transportation to and from the site. The site is secured with a fence, gate, and cameras. All rental transactions must be under the control of the owner and/or his employees, and done while they are there.

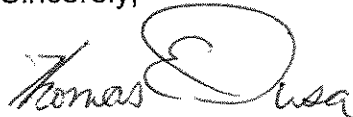
We plan to advertise by billboard and Internet. In all advertisements it will be stressed that this is a gated place that needs to be contacted by phone or text to confirm there is room to park. We cannot control the drive-ups that show up without making contact and find out there is no space for them. We have suggested that 'NO PARKING ALONG CURB-VIOLATORS WILL BE FINED' signs are installed along Technology Blvd and Artz Rd.

We are roughly estimating that the cost to get this business up and running could range between \$400,000 and \$500,000. We plan to use a small business loan to help with the construction, until we can get the business started and start generating revenue. Once in business our expenses will be predominately payroll, utilities, and insurance. Adding paying back the loan to this will define our monthly expenses.

Getting back to the initial statement, we plan on paying these monthly expenses by generating revenue renting space to semi-trucks. We will see how the market adjusts to our business plan. If we need to increase revenue by staying open 24-hours, we can do that. If we can increase our revenue with higher fees by letting truckers sleep in their cab, we can consider it as long as we can control security on our site.

Hopefully this answers some of your questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas E. Dusa". The signature is fluid and cursive, with the first name "Thomas" and last name "Dusa" clearly distinguishable.

Thomas E. Dusa, P.E., P.S.  
Project Engineer  
Haley-Dusa Engineering & Surveying Group

**AI-9411**

**8. A.**

**Planning Commission**

Meeting Date: 08/15/2023

Informal Review

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Information

Agenda Title

Buc-ees

Purpose and Background

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Attachments

Memo

Site Plan

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# Memorandum

To: Huber Heights City Planning Commission

From: Aaron K. Sorrell, City Planner

Date: August 9, 2023

Subject: Informal Review: Buc-ee's

Representatives from the Buc-ee's development team will present their initial concept for a new 75,000 SF convenience store and fueling center. The site is approximately 52 acres at the northeast corner of the I-70 / SR-235 interchange. About 35 acres were rezoned to PC in 2022 to accommodate a convenience store, fueling center and heavy diesel repair facility. I understand Buc-ee's does not cater to semi-trucks, only automobiles and RVs. At present, this would be their only Ohio location.

City staff have been working with the applicant to ensure the site is compatible with our sanitary sewer lift station that will be constructed on-site. Additionally, Buc-ee's team has been working with ODOT on the necessary improvements that may be required along SR-235 to accommodate the increase in traffic to this site.

For this project to move forward, the remaining three parcels must be rezoned to PC, and City Council must approve a Basic Development Plan. The applicant has indicated that they plan to formally apply later this month to be considered at the September Planning Commission meeting.

The Buc-ee's team is seeking initial comments and feedback from the Planning Commission at the August 15<sup>th</sup> meeting. You can find additional information about Buc-ee's at their website: [www.buc-ees.com](http://www.buc-ees.com)





**AI-9412**

**9. A.**

**Planning Commission**

Meeting Date: 08/15/2023

Minutes

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Information

Agenda Title

Planning Commission July 11, 2023

Purpose and Background

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Attachments

Minutes

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**Planning Commission  
July 11, 2023, Meeting  
City of Huber Heights**

- I. Chair Terry Walton called the meeting to order at approximately 6:02 p.m.
- II. Present at the meeting: Mr. Cassity, Mr. Jeffries, Ms. Thomas, Ms. Vargo, and Mr. Walton.

Members absent: None.

Staff Present: Aaron K. Sorrell, Interim City Planner, and Geri Hoskins, Planning & Zoning Administrative Secretary.

**III. Opening Remarks by the Chairman and Commissioners**

None.

**IV. Citizens Comments**

None.

- V. **Swearing of Witnesses** Mr. Walton explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

**VI. Pending Business**

- 1. **TEXT AMENDMENT - The applicant, THE CITY OF HUBER HEIGHTS, is requesting approval of a text amendment pertaining to Chapter 1181.20 Building Materials for Dwellings (TA 23-14A).**

Mr. Sorrell stated that over the years, building materials have improved and builders utilize a range of materials to provide a mixture of building facades along a street, convey different design aesthetics, and control construction costs as prices of materials can vary depending on local and regional demand. This text amendment seeks to codify community expectations and provide reasonable flexibility for contemporary designs and modern material utilization.

Based on feedback from the Planning Commission this version has been revised for clarity and ease of administration.

**Staff Analysis**

Currently, there is a significant schism with exterior building material requirements between building in a straight zoned area (A, R-1, R-2, etc.) versus building on a lot in a Planned Residential areas. If a buyer seeks to construct a new single-story home or build a single-story addition in any district other than a PUD, they must fully wrap their single-story home in brick or masonry material. New two-story homes must have the first floor wrapped in brick or masonry material. The floors above can be any other material.

## Planning Commission Meeting

July 11, 2023

Recent Planning Commission decisions have established a minimum masonry limit at approximately 25% of the front façade for single-family homes. Multi-family structures have ranged from 10% to 20% in recent years.

Staff is proposing the following standards:

### Non-PUD Zoning:

- One-Story dwellings: 25% of the front façade
- Multi-Story dwellings: 25% of the first-floor front façade.

### PUD Zoning:

- 1 & 2-family buildings: 25% of the front facades
- Multi-family and mixed-use buildings: 10% of the aggregate building wall surface.

These standards encourage the Planning Commission to consider the types, location and layouts of the buildings. Every development is different, and the Planning Commission should include those details. Specifically, the Planning Commission is encouraged to:

When establishing the requirements, the Planning Commission shall consider the types, location, and layout of the buildings to:

- (1) Encourage a mix of building facades and material usage and discourage monotonous building repetition.
- (2) Encourage higher percentages of full depth brick, cultured brick, stone, cultured stone, or other approved masonry product along the frontage of major public streets and thoroughfares.

### **Additional Comments:**

Staff feels that these revised materials requirements for dwellings reflect the recent decisions of the Planning Commission and City Council and are a bridge from the previous masonry requirements to a constituent that desires a diverse architectural palate within the community.

**Fire:** No comments.

**City Engineer:** No comments.

Discussion on building in phases, each section held to standard, eliminate aggregated amount.

### **Action**

Ms. Thomas moved to approve the request by the applicant THE CITY OF HUBER HEIGHTS, for approval of a Text Amendment pertaining to Chapter 1181.20 Building Materials for Dwellings (TZ 23-14A) in accordance with the recommendation of Staff's Memorandum dated July 5, 2023, and the Planning Commission Decision Record attached thereto.

July 11, 2023

Seconded by Mr. Jeffries. Roll call showed: YEAS: Mr. Jeffries, Ms. Vargo, Mr. Cassity, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5 -0.

## **VII. New Business**

- 1. MINOR CHANGE - The applicant, KELLEY KOONS, is requesting approval of Minor Change to the Detailed Development Plan to construct a four-season enclosed patio. Property is located at 5420 Brandt Pike (MC 23-16).**

Mr. Sorrell stated that the applicant requests a minor change to the Detailed Development Plan to construct a 300 SF four-season enclosure on the north side of the existing building. The 30' by 10' structure will have overhead doors on each end of the building, and windows along the northern wall. The addition will be nearly 500' from Brandt Pike and barely visible due to its relatively small size.

### **Applicable Zoning Regulations**

The applicable zoning regulations are Chapter 1171 – General Provisions and Chapter 1174 -Planned Public and Private Buildings and Grounds District (PP).

### **Staff Analysis**

#### **Detailed Development Plan Analysis:**

The applicant requests a minor change to the Detailed Development Plan to construct a 300 SF four-season enclosure on the north side of the existing building. The exterior of the addition is mostly windows on the north side, and one window and overhead door on each end.

#### **Conformance With Planned Public and Private Buildings and Grounds District Requirements:**

Uses: Fraternal organizations are a permitted use.

Development Standards:

- The addition meets all setback and yard requirements.
- No additional parking is necessary.

No other changes are being proposed by the applicant. The existing structure is just over 18,000 SF. This addition represents an enlargement of under 2% of the existing floor area. No other improvements are required by the zoning code.

**Fire:** No comments received.

**City Engineer:** No comments received.

### **Action**

Mr. Jeffries moved to approve the request by the applicant KELLY KOONS, for approval of a Minor Change to the Detailed Development Plan (MC 23-16) in accordance with the recommendation of Staff's Memorandum dated July 5, 2023, and the Planning Commission Decision Record attached thereto.

July 11, 2023

Seconded by Mr. Cassity. Roll call showed: YEAS: Ms. Vargo, Mr. Cassity, Ms. Thomas, Mr. Jeffries, and Mr. Walton. NAYS: None. Motion to approve carried 5 -0.

**2. REPLAT - The applicant, THE CITY OF HUBER HEIGHTS, is requesting approval to vacate Thorngate Road north of Waynegate Road (RP 23-18).**

Mr. Sorrell stated that the city is requesting approval to vacate Thorngate Drive, north of Waynegate Road. This is a stub street intended to connect to the subdivision to the north. The connection was never approved or completed, nor will it ever be constructed. As a result, this stub serves no municipal purpose, and has created drainage problems for the adjacent property owners.

Once the right of way is officially vacated and the road bed removed, the two parcels will be transferred to the adjacent property owners.

**Applicable Subdivision Regulations**

The applicable subdivision regulations for the plat are found in Chapter 1107 - Final Plat. The vacation of public right of way is governed by ORC 711.39 - Vacating Plat by Legislative Authority.

Vacating the public right of way requires approval by the platting commission (Planning Commission) and the Huber Heights City Council.

**Staff Analysis**

The vacation is being initiated by the City at the request of the adjacent property owners who have consistent flooding issues due to this stub. The stub serves no municipal function since the connection to the northern subdivision was never completed. The City is removing the road bed for the adjacent property owners.

**Additional Comments:**

**Fire:** The Fire Department has approved vacation and replat.

**City Engineer:** The engineer has approved vacation and replat.

Discussion on changing the deeds, fully restored.

**Action**

Mr. Jeffries moved to approve the request by the applicant THE CITY OF HUBER HEIGHTS, for approval to vacate Thorngate Road north of Waynegate Road (RP 23-18) in accordance with the recommendation of Staff's Memorandum dated July 5, 2023, and the Planning Commission Decision Record attached thereto.

Seconded by Mr. Cassity. Roll call showed: YEAS: Mr. Jeffries, Ms. Vargo, Mr. Cassity, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5 -0.



July 11, 2023

3. **DETAILED DEVELOPMENT PLAN - The applicant, METROPOLITAN HOLDINGS LTD, is requesting approval of a Detailed Development Plan for an apartment project. Property is located at Executive Boulevard across the street from the Rose Music Center (DDP 23-19).**

Mr. Sorrell stated the applicant requests Detailed Development Plan approval to facilitate the construction of 312 residential units (1- and 2-bedroom apartments) on approximately 21.3 acres.

The Planning Commission recommended approval of a rezoning and basic development plan on February 14, 2023. The Huber Heights City Council approved the rezoning and basic development plan on April 11, 2023.

#### **Applicable Zoning Regulations**

The applicable zoning regulations are Chapter 1130 – Amendments, Chapter 1171 – General Provisions, Chapter 1179 – Planned Mixed Use, Chapter 1181 – General Provisions.

The staff analysis addresses the elements of the Detailed Development Plan and standards for approval.

#### **Staff Analysis**

The approved rezoning and Basic Development Plan ordinance has the following relevant conditions:

1. The Basic Development and Zoning Regulations shall be those submitted with the application dated January 30, 2023.
2. The northern property buffering requirements shall be determined during the Detailed Development Plan review.

#### **Conformance with the approved conditions of the BDP:**

1. **The Basic Development and Zoning Regulations shall be those submitted with the application dated January 30, 2023.**

The development regulations that were submitted with the Basic Development Plan will be recorded as part of the detailed development plan approval. The Project Zoning and Design Standards are attached for reference.

The submitted detailed development plan substantially conforms to these requirements.

#### **Setbacks**

Minimum Requirements	As indicated on the DDP	Conforming (Y/N)
Front yard: 20 feet	25 feet	Y
Rear yard: 25 feet	25 feet	Y
East Side yard: 25 feet	25 feet	Y
West Side yard: 25 feet	20 feet	N*

\*The applicant has indicated that this is an error and will be submitting corrected plans.



### **Signage**

The DDP indicates two (2) internal illuminated wall signs on the clubhouse building. The two wall signs total 75 square feet.

Two non-illuminated entrance columns (monument signs) are proposed. The columns are 6 feet high and just under 4 feet wide. The signage graphic affixed to each column is approximately 3.5 square feet.

Staff feels the signs are appropriately located and well designed to showcase the music branding of apartment complex.

### **Architecture and Site Standards**

The detailed development plan appears to satisfy the building material requirements outlined in the Project Zoning and Design Standards. The residential buildings are mixture of stone, cement panels, and lap and batten siding. The buildings facing Executive Boulevard including the clubhouse have extensive stone and masonry elements.

Additionally, the applicant is proposing a significant amenity package for residents including pool, outdoor kitchen and gathering areas.

### **Landscaping**

The landscaping plan is substantially compliant to the standards outlined in the Project Zoning and Design Standards. This includes street tree, perimeter and interior landscaping, and open space requirements. Sheets L1 and L2 illustrate the proposed landscaping plan.

### **Lighting**

The lighting plan indicates pedestrian scale decorative poles and fixtures will be used the parking areas and travel lanes. The decorative fixtures are mounted on 12-foot poles. The lighting standards limit light trespass to no more the 0.5 foot-candle. However, the photometric plan indicates areas of illumination on the north property line which exceeds this standard. As a condition of approval, the applicant shall shield the perimeter fixtures adjacent to the north property line.

### **Street and Transportation Standards**

The detailed development plan complies with the street and transportation standards outlined in the Project Zoning and Design Standards.

The only significant change is the multi-use path along Executive Boulevard. The basic development plan indicated a 10-foot path. After discussions between the applicant and staff, the path has been reduced to eight (8) feet. This was done to better accommodate decorative street lighting that is being planned for Executive Boulevard. The width of the path matches the width of the path in front of the Rose.

2. **The northern property buffering requirements shall be determined during the Detailed Development Plan review.**

How the project is buffered from the northern neighborhood was a significant discussion topic and particular concern to the adjacent neighbors. Staff encouraged the development team to survey the treeline to determine which

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mature trees are healthy and should remain, and to cluster landscaping between the garages to further reduce visual and noise impacts. Additionally, specific grading requirements and their impacts to the treeline was unknown at the point of basic development plan approval.

Surprisingly, only eight trees within the 25-foot setback must be removed. They are clustered in the areas where two retaining walls must be constructed to achieve the grading required for the parking areas and garages. No trees along the property line are indicated to be removed. Sheet C201 and C202 illustrate the planned removals. Sheet C501 and C502 illustrate the grading limits and location of the retaining walls.

To mitigate the loss of the trees and increase buffering, the applicant is proposing substantial landscaping along the northern property line. Sheet L2 and L2.1 There is a dense mixture of evergreen and deciduous trees planned. The evergreens will be 6 feet at planting, and the various deciduous trees will have a 3-inch diameter. These are substantially larger than typically planted.

Staff feels the northern property line is adequately buffered between the existing trees remaining and the substantial amount of new plantings.

#### **Staff Analysis**

The DDP application substantially conforms with the Basic Development Plan ordinance approved by the City Council. Additionally, the DDP generally conforms to all relevant zoning regulations, including landscaping, lighting, parking, architectural standards and signs.

#### **Additional Comments:**

**Fire:** See Attached.

**City Engineer:** No comments received.

Discussion on parking compared to Parkview, fire issues, 9 ft. parking spaces, another lane on south side of Executive, 8 ft sidewalks, font for sign, what name means, tree survey, retaining walls, 1 phase.

Ryan Young, Jamie Oberschlake,

Pat Dyer, resident, asked about retaining wall, between buildings and garages, dumpsters, maintenance, how long building will take.

Annamarie Norgrove, resident, asked about tree lines and when construction will start.

Melissa Cleary, resident, said the name was really cool and it's a great idea.

#### **Action**

Ms. Vargo moved to approve the request by the applicant METROPOLITAN HOLDINGS LTD, for approval of a Detailed Development Plan for a proposed new 312 unit apartment project. Property is located across the street from the Rose Music Center (DDP 23-19) in accordance with the recommendation of Staff's Memorandum dated July 6, 2023, and the Planning Commission Decision Record attached thereto.

Seconded by Mr. Jeffries. Roll call showed: YEAS: Mr. Jeffries, Ms. Vargo, Mr. Cassity, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5 -0.

- 4. BASIC DEVELOPMENT PLAN - The applicant, BP-OTP, LLC, is requesting approval of a Rezoning from O1 to PC, and a Basic Development Plan for a gas station convenience mart with fueling pumps. Property is located at 4949 Chambersburg Road (BDP 23-17).**

Mr. Sorrell stated that the applicant seeks to construct a new 5,915 SF Wawa convenience store with eight fueling pumps at the corner of Old Troy Pike and Chambersburg Road. Wawa is entering the Dayton area market, and this will be its first Huber Heights store.

The proposed store will sit on 5.41 acres, of which approximately three (3) acres are zoned Planned Commercial and approximately 2.4 acres are zoned O-1.

Convenience stores and fueling stations are permitted in the Planned Commercial District but not the O-1. Thus, a replat and rezoning are included in the Basic Development Plan application.

Nearby commercial and retail uses at this intersection include Walgreens on the southwest corner; KeyBank on the northeast corner; and Speedway at the southeast corner.

#### **Site Characteristics**

Approximately half the site is currently developed as a single-family house in a densely wooded and landscaped lot. The other half is wooded, undeveloped land. There is a steep grade change with the plateau of the site approximately 30 feet above the Chambersburg / OTP intersection. The grade change between the road and the site becomes less dramatic as one travels east on Chambersburg and north on Old Troy Pike.

While the proposed store is located in the general clearing of the lot, grading will be required to develop the building pad, parking area, fueling bays and access drives. However, it does appear that grading will end approximately 80 feet from the east property line and have no impact on the home north of the site.

The site has access to all necessary utilities. Additionally, the applicant will dedicate the required right-of-way for the planned Chambersburg widening and multi-use path.

#### **Applicable Zoning Regulations**

The applicable zoning regulations are Chapter 1171 – General Provisions, Chapter 1176 – Planned Commercial, Chapter 1181 – General Provisions, Chapter 1182 – Landscaping, and Chapter 1185 – Parking and Loading.

Chapter 1171.05 - Contents of basic development plan, states:

(a) The basic development plan shall consist of at least the following information together with such other data and materials as may be required by the City:

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- (1) Site plan showing the actual shape and dimensions of the lot to be built upon or to be changed in its use together with the location of the existing and proposed structures with approximate square footages, number of stories including heights of structures;
  - (2) Typical elevation views of the front and side of each type of building;
  - (3) Planning location and dimensions of all proposed drives, service access road, sidewalks and curb openings;
  - (4) Parking lot areas (show dimensions of a typical parking space), unloading areas, fire lanes and handicapped parking;
  - (5) Landscaping plan, walls and fences;
  - (6) Storm water detention and surface drainage;
  - (7) Exterior lighting plan;
  - (8) Vehicular circulation pattern;
  - (9) Location and square footage of signs;
  - (10) Topographic survey; and
  - (11) Listing of proposed uses taken from the list of permitted and special uses of the PUD zoning district to which rezoning is being sought.
- (b) The Planning Commission shall schedule both the proposed rezoning and the issue of approval of the basic development plan for a combined public hearing, following which it shall make its recommendation indicating approval, approval with modification or disapproval.

Chapter 1171.06 - General standards for approval, states:

The Planning Commission shall review the application, prepared development plan and the facts presented at the hearing. The applicant shall have the burden of proof. No approval shall be given unless the Commission shall find by a preponderance of the evidence that such PUD on the proposed locations:

- (a) Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;
- (b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;
- (c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;
- (d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;
- (e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;
- (f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible

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with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;

(g) Shall preserve natural features such as water courses, trees and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;

(h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;

(i) Shall place underground all electric and telephone facilities, street light wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;

(j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;

(k) Shall not involve uses, activities, processes, materials, equipment and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and

(l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.

**Staff Analysis**

The staff analysis addresses the rezoning request and elements of the Basic Development Plan and standards for approval.

**Rezoning Analysis:**

The applicant requests the rezoning of approximately 2.44 acres from O-1 General Office to Planned Commercial (PC).

*Conformance with Comprehensive Plan*

The City's comprehensive plan indicates the site is within the Estates pattern area adjacent to the Southtown pattern area. The Estates development pattern area recognizes that is area is where large-scale development is unlikely to occur and where large-lot residential development is appropriate. This is particularly true on the west side of the pattern area where environmental constraints, such as flooding, limit the development potential.

However, that is not to say the area is determined to be exclusively residential. One of the key elements within the Estates development pattern area is to "allow for incremental, contextually relevant non-residential uses and amenities." This site is on the east edge of the pattern district, not subject to flooding and at the intersection of two major roadways. Additionally, all necessary utilities are available.

Given the location of this site and its context within the Estate pattern district, staff feels the rezoning from O-1 to PC is consistent with the comprehensive plan.



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**Basic Development Plan Analysis:**

The applicant proposes constructing a 5,915 SF convenience store and four-island fueling center. The applicant has submitted all necessary plans and studies for the Basic Development Plan review.

Conformance With Planned Commercial District Requirements:

Uses: Retail uses and filling stations are principally permitted in the district.

Development Standards:

- The site plan meets all parking and building setback and yard requirements.
- Nineteen street trees are required. The preliminary landscaping plan shows 19 street trees. However, due to grading issues and Chambersburg Road's planned widening, most of them are not near the sidewalk. During the Detailed Development plan review, staff will work with the applicant to place the required trees appropriately.
- The lighting plan submitted with the application meets all requirements. The proposed fixture height is 20 feet, and the fixture types meet the code. The photometric analysis indicates no light trespasses across the property lines.
- The building design substantially meets the exterior material recommendation. Not including glazing, the building's entire exterior is 68% masonry. The front façade is 78% masonry and glazing. Approximately 28% of the exterior is a wood composite accent siding.
- All utilities are below ground.

Parking and Loading:

- The applicant proposes 53 parking spaces, more than the code requires. Parking stall dimensions are 10' x 20', as required.

Landscaping:

- The plans appear to meet the landscaping requirements but will be verified when the detailed development plan is submitted.

Signs:

- A sign package was not submitted with the application and will be reviewed when the detailed development plan is submitted. The elevations indicate three wall signs, and the site plan indicates two monument signs.

Conformance with General Standards of Approval:

Below is the staff analysis of conformance with the general standards of approval.

- (a) *Is consistent with official thoroughfare plan, comprehensive development plan and other applicable plans and policies;*

It is the staff's opinion that the proposal is consistent with the comprehensive plan and thoroughfare plan. The site is located at the intersection of arterial and collector streets.

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*(b) Could be substantially completed within the period of time specified in the schedule of development submitted by the developer;*

While no development schedule has been submitted, the applicant has stated to staff that they will initiate construction shortly after all plans are approved by the City and County. There are no concerns on the part of staff that the applicant would have difficulty financing and constructing the project in a reasonable time.

*(c) Is accessible from public roads that are adequate to carry the traffic that shall be imposed upon them by the proposed development. Further, the streets and driveways on the site of the proposed development shall be adequate to serve the residents or occupants of the proposed development;*

It is important to note that the traffic counts were taken when school was in session, and they represent an accurate assessment of the existing peak traffic volume. The traffic study estimates there will be 541 AM and 467 PM weekday peak hour trips.

This store's net new peak hour trips are estimated at 129 AM and 1179 PM. It's important to note that the study estimates that 76% of those trips are pass-by, meaning those vehicles are on the road regardless of whether the Wawa development is constructed.

The traffic study indicates that no drop-down lanes are necessary. The applicant is required to dedicate additional ROW along Chambersburg Road to facilitate the construction of a future roadway widening.

*(d) Shall not impose an undue burden on public services such as utilities, fire and police protection, and schools;*

Staff does not anticipate any undue burden on public services. The area has adequate utility and street capacity. We are unaware of any policing concerns, and the development will comply with all building and fire code requirements.

*(e) Contains such proposed covenants, easements and other provisions relating to the proposed development standards as may reasonably be required for the public health, safety and welfare;*

Any conditions imposed by the Planning Commission or City Council will be memorialized in the PUD legislation and remain in effect unless modified by the Planning Commission or City Council.

*(f) Shall be landscaped or otherwise improved and the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the existing intended uses, and any part of a PUD not used for structures, parking and loading areas, or accessways;*

The staff believes the site plan is generally well arranged, and internal circulation is efficient and compatible with the intended use. Pedestrian connections between the streets and the store are provided. The landscaping requirements will be reviewed with the Detailed Development application.

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*(g) Shall preserve natural features such as water courses, trees and rock outcrops, to the degree possible, so that they can enhance the overall design of the PUD;*

The site will retain a significant amount of wooded area to the west and north. Additionally, the existing decorative retaining wall will remain.

*(h) Is designed to take advantage of the existing land contours in order to provide satisfactory road gradients and suitable building lots and to facilitate the provision of proposed services;*

As discussed, the site has significant topographic features. The grading plan illustrates significant grading on the site's west, south and northeast edges. The grading should not impact the properties west or north of the site since there is an adequate buffer between the property lines and the extent of the grading activities. The applicant is grading to a 3:1 slope and providing vegetative ground cover, which will limit erosion.

*(i) Shall place underground all electric and telephone facilities, street light wiring and other wiring conduits and similar facilities in any development which is primarily designed for or occupied by dwellings, unless waived by the Commission because of technical reasons;*

All utilities will be placed underground.

*(j) Shall not create excessive additional requirements at public cost of public facilities and services and shall not be detrimental to the economic welfare of the community;*

Staff does not anticipate any additional public services required to support this development.

*(k) Shall not involve uses, activities, processes, materials, equipment and conditions of operation that shall be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors; and*

All proposed uses are consistent with the Planned Commercial district zoning being requested as part of this application. The traffic study does not indicate that this development will generate excessive traffic.

*(l) Rezoning of the land to the PUD District and approval of the development plan shall not adversely affect the public peace, health, morals, safety or welfare.*

The staff believes the rezoning is consistent with the comprehensive plan and will not adversely affect surrounding properties.

**Additional Comments:**

**Fire:** See attached.

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**City Engineer:** The engineer has reviewed the site plan and requested additional right of way along Old Troy Pike and Chambersburg Road. The applicant has indicated that they will revise their plans accordingly.

**Recommendation**

Staff supports the partial rezoning from General Office (O-1) to Planned Commercial. It is the staff's opinion that the requirements of Section 1171.06 can be met, and recommends approval of the rezoning and Basic Development Plan with the following conditions:

- The applicant shall assess the health of the existing trees along the site's perimeter that will be incorporated into the landscaping plan. Healthy trees shall be identified and incorporated into the landscaping plan as appropriate, subject to approval as part of the Detailed Development Plan. The applicant shall also develop a plan to protect key trees during construction, subject to staff approval.
- The applicant shall work with staff to determine the final street tree placement during the Detailed Development Plan phase.
- Signs shall conform with Chapter 1189, unless otherwise approved in the Detailed Development Plan by the Planning Commission.
- Permitted uses shall be those listed as permitted uses in Section 1176.01, except the following are prohibited:
  - Vehicle sales, rental or service
  - Sweepstakes Cafes
  - Short-term lenders (pay-day lenders, loans against auto titles, etc.)
  - Dry cleaners
  - Outdoor sales and storage, unless approved by the Planning Commission
- The applicant shall submit a revised Basic Development Plan indicating the corrected ROW dedication along Old Troy Pike and Chambersburg Road, as the City engineer requires.

Discussion on sidewalk width, undeveloped half of site, left turn onto Troy, traffic coming south, Chambersburg design timeline, 3-1 slope, full shielding on West side, traffic lane on Troy Pike, retaining wall, 19 ft. drop, bike racks, lower the crest on Chambersburg.

Patrick O'Leary, Eric Williams, Patrick Warnemont, Adam Malonjao, Jason Waite, Ryan Vickers.

**Action**

Ms. Thomas moved to approve the request by the applicant BP-OPT, LLC, for approval of a Rezoning from O1 to PC, and a Basic Development Plan for a gas station convenience mart with fueling pumps (BDP 23-17) in accordance with the recommendation of Staff's Memorandum dated July 5, 2023, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Vargo. Roll call showed: YEAS: Mr. Jeffries, Ms. Vargo, Mr. Cassity, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 5 -0.

**VIII. Additional Business**

None.

**IX. Approval of the Minutes**

Without objection, the minutes of the June 13, 2023, Planning Commission meeting are approved.

**X. Reports and Calendar Review**

Mr. Sorrell stated Flying Ace, Huber Health Center, and Technology and Artz Road.

**XI. Upcoming Meetings**

August 15, 2023  
September 12, 2023

**XII. Adjournment**

There being no further business to come before the Commission, the meeting was adjourned at approximately 8:40 p.m.

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**Terry Walton, Chair**

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**Date**

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**Geri Hoskins, Administrative Secretary**

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**Date**