



AGENDA
CITY PLANNING COMMISSION

City Hall - Council Chambers
6131 Taylorsville Road
March 11, 2025
6:00 P.M.

1. Call Meeting To Order
2. Oath of Office
 - A. Matthew Shomper
3. Roll Call
4. Opening Remarks By The Chair and Commissioners
5. Citizens Comments
6. Swearing of Witnesses
7. Pending Business
 - A. None
8. New Business

- A. REZONING - The applicant, SHARITEN RENTALS, LLC, is requesting approval of a Rezoning for 6.686 acres from Residential (R-2) to Industrial (I-1). Property is located at 4341 Taylorsville Road (Case RZ 25-07).
 - B. DETAILED DEVELOPMENT PLAN - The applicant, GREY FOX CAPITAL, is requesting approval of a Detailed Development Plan for Creekside Woods Phase 2, comprised of 81 units on 9.4 acres. Property is located at 5425 Charlesgate Road (Case DDP 25-08).
9. Additional Business
- A. None
10. Approval of Minutes
- A. Without objection, the minutes of the February 11, 2025, Planning Commission meeting are approved.
11. Reports and Calendar Review
12. Upcoming Meetings
- A. April 15, 2025
May 13, 2025
13. Adjournment

AI-10702

8. A.

Planning Commission

Meeting Date: 03/11/2025

Rezoning

Information

Agenda Title

REZONING - The applicant, SHARITEN RENTALS, LLC, is requesting approval of a Rezoning for 6.686 acres from Residential (R-2) to Industrial (I-1). Property is located at 4341 Taylorsville Road (Case RZ 25-07).

Purpose and Background

Attachments

Application

Staff Report

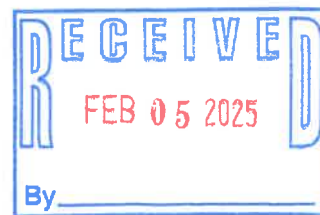
Decision Record

Aerial view

DEVELOPMENT APPLICATION
CITY OF HUBER HEIGHTS

'25 FEB 5 2:31

31P



PLANNING DEPARTMENT

6131 Taylorsville Road
Huber Heights, Ohio 45424

937.233.1423
937.233.1272 (Fax)

Application Number AZ 25-07
Receipt Number 830080

Date Filed 2/5/25
Amount Paid 200.00

TYPE OF ACTION REQUESTED

Check all that apply. Attach explanations & additional information as required.

- | | |
|---|--|
| <input type="checkbox"/> Annexation & Zoning (Attach original annexation petition to this application.) | <input type="checkbox"/> Planned Unit Development |
| <input type="checkbox"/> Annexation Agreement | <input type="checkbox"/> Basic Development Plan |
| <input checked="" type="checkbox"/> Rezoning to <u>I-2</u> | <input type="checkbox"/> Detailed Development Plan |
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Major Change |
| <input type="checkbox"/> Variance from the Zoning Ordinance | <input type="checkbox"/> Minor Change |
| <input type="checkbox"/> Lot Split | <input type="checkbox"/> Other |
| <input type="checkbox"/> Final Plat/Replat | |
| <input type="checkbox"/> Preliminary Plat | |
| <input type="checkbox"/> Text Amendment | |
| <input type="checkbox"/> Zoning Ordinance | |
| <input type="checkbox"/> Subdivision Regulations | |
| <input type="checkbox"/> Other | |

Mar 11, 2025

APPLICANT INFORMATION

Identify the applicant & contact person on this page. Complete the attachment to list the owner(s) & other parties involved with the application.

	<u>APPLICANT</u>	<u>CONTACT PERSON</u>
Name	<u>TOM DONAHUE / SHARITEN RENTALS, LLC</u>	<u>TOM DONAHUE</u>
Address	<u>5294 Pleasant Valley Rd SW</u> <u>Lancaster, OH 43130</u>	<u>5294 Pleasant Valley Rd SW</u> <u>Lancaster, OH 43130</u>
Phone	<u>740.808.0760</u>	<u>740.808.0760</u>
Fax		<u>740.652.9193</u>
Email	<u>Sureshthorringinc@gmail.com</u>	<u>Sureshthorringinc@gmail.com</u>

PROPERTY INFORMATION

Project Name: _____

Location of property: 4341 Taylorsville Rd, Huber Heights, OH

Book _____ Page _____ Parcel Number(s) P70-04009 0057

Current Zoning: RESIDENTIAL Proposed Zoning: I-1

Property Owner's Name: SHARITEN RENTALS, LLC Telephone: 740.808.0760

Address: 4341 Taylorsville Rd, Huber Heights, OH

Total acres included in this application: 6.686

Type of Development: Residential ___ Commercial ___ Office ☒ Industrial ___ Other ___

Brief description of application request:

Change Zoning FROM SINGLE FAMILY RESIDENTIAL TO Industrial.

Applicant's status: Owner ☒ Lessee ___ Purchaser ___ Agent ___

Name of Engineer: _____ Telephone: _____

Attach additional information as required. Please refer to the applicable application submittal checklist.

Applicant's Signature

Thomas W. Donahue

Applicant's Signature:

Thomas W. Donahue

Printed Name:

The owner of the property, if other than the applicant, must sign this application as evidence of concurrence with the request.

Thomas W. Donahue
OWNER

Subscribed and sworn to before me this 4 day of February, 2025.



TALIA ANN BARS
Notary Public, State of Ohio
My Commission Expires
September 02, 2029

Talia Ann Barsi
NOTARY PUBLIC

BY THE ABOVE SIGNATURE, THE APPLICANT HEREBY ATTESTS TO THE TRUTH AND EXACTNESS OF ALL INFORMATION SUPPLIED AND SUBMITTED ON AND WITH THIS APPLICANT. BY THE ABOVE SIGNATURE, THE APPLICANT FURTHERMORE CONSENTS TO BE BOUND BY THIS APPLICATION, BY ANY AGREEMENT MADE BY THE APPLICANT OR ITS AGENT, AND BY ALL DECISIONS MADE BY THE CITY OF HUBER HEIGHTS RELATING TO AND IN CONNECTION WITH APPLICATION AND REQUESTS.

=====

Date Received _____ Fee Paid _____ Received by _____

ADDITIONAL CONTACT INFORMATION

PROPERTY OWNER

Name _____
Address _____

Phone _____
Fax _____
Email _____

ATTORNEY

Name _____
Address _____

Phone _____
Fax _____
Email _____

LAND PLANNER

Name _____
Address _____

Phone _____
Fax _____
Email _____

LANDSCAPE ARCHITECT

Name _____
Address _____

Phone _____
Fax _____
Email _____

AGENT

Name _____
Address _____

Phone _____
Fax _____
Email _____

DEVELOPER

Name _____
Address _____

Phone _____
Fax _____
Email _____

ENGINEER

Name _____
Address _____

Phone _____
Fax _____
Email _____

OTHER

Name _____
Address _____

Phone _____
Fax _____
Email _____

STATEMENT OF APPLICANT OBLIGATION FOR PAYMENT
OR CERTAIN PROFESSIONAL COSTS AND EXPENSES

The Applicant is obligated by Ordinance 87-O-231 to pay the City of Huber Heights ("City") for all costs and expenses incurred by the City if this application or request causes the City to incur extra expenses for professional analysis or other services by persons or organizations not part of the full-time City staff.

The payment of expenses and costs referred to in this statement shall be made to the City of Huber Heights in accordance with the then current administrative policy for such payment. An application or request may require funds to be deposited in advance with the City for such costs and expenses. The payment of such costs and expenses shall be in addition to any other application fee required by the City. The person whose signature appears below as Applicant states that she/he has full and complete authority to agree to, bind and obligate the Applicant to pay the costs and expenses referred to in this statement and to fully comply with the above statement.

By the signature below, the Applicant herein states she/he has fully and completely read the above statement, understands the above statement, and agrees to fully comply with the above statement.

_____ Witness	By: _____ Applicant's Signature
_____ Witness	Date: _____
	Project: _____

The undersigned, owner(s) of the certain real property described in the attached Exhibit "A" (the "Property"), do hereby appoint and expressly grant full authority to _____ to act as the sole agent of and on behalf of the undersigned in all matters related to and in connection with the attached Development Application. The undersigned hereby consents and agrees to be bound by the application, by any agreement made by the herein named agent with the City of Huber Heights in connection with this same case, and by all decisions made by the City in connection with this same case.

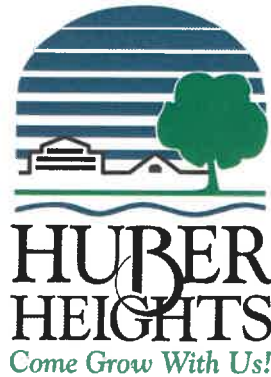
_____ Owner's Signature	_____ Owner's Signature
_____ Printed Name	_____ Printed Name

Sworn to before me and subscribed in my presence by the said

_____ on this _____ day of _____, 20____.

Notary Public

REZONING APPLICATION SUBMITTAL CHECKLIST
CITY OF HUBER HEIGHTS



PLANNING DEPARTMENT

- Submit a statement addressing the following items:
 1. What is the proposed disposition of any existing structures on the property?
 2. In what ways will the proposed rezoning and proposed use benefit the community or the surrounding area in terms of convenience, welfare, or other considerations?
 3. Are the proposed zoning districts and use compatible with surrounding uses?
 4. Is any data available to indicate a need for the proposed zoning district in this area?
 5. List any other reasons supporting the request for rezoning.
- Submit an application map containing the following information:
 1. Property for rezoning along with dimensions and distances necessary to define the limits of the proposed district.
 2. Outline of lots and streets around subject property sufficient to identify location.
 3. Mailing labels of the names and addresses of all owners of property within 200' of proposed property to be rezoned referenced to the parcels shown on the Application Map.
 4. Current zoning of subject property and surrounding properties.
 5. Any existing structures on subject property and dimensions to the property line.
 6. Eight (8) copies of these plans, and a pdf of all drawings to ghoskins@hhoh.org.
- Other information as requested by the City.

FEE SCHEDULE - CITY OF HUBER HEIGHTS PLANNING & ZONING

ZONING

Accessory Building	\$ 30.00
Alteration (Exterior Only)	
Commercial/Residential	\$ 30.00
Carport	\$ 30.00
Commercial TV/Radio	\$ 100.00
Cellular / Co-Location	
Construction Trailer/Office	\$ 30.00
Festivals/Carnivals	\$ 30.00
Fireplace	\$ 30.00
Garage – Attached/Detached	\$ 30.00
Hot Tub	\$ 30.00
Mobile Food Vending	\$ 100.00
Outdoor Sales	\$ 100.00
Patio Cover / Pergola	\$ 30.00
Patio Enclosure	\$ 30.00
Pre-Sale Inspections	\$ 40.00
Pre-Sale Multi-Unit	\$ 20.00 per unit
Re-Inspection	\$ 20.00
(after 2nd inspect)	
Room Addition	\$ 30.00
Signs:	
Temporary Signs	\$ 25.00 /30 days (limit 3 per year)
Permanent Signs	\$ 30.00 + \$1.00 per sq. ft.
Storage Shed	\$ 30.00
Swimming Pool	\$ 30.00
Temporary Dumpster	\$ 30.00/60 days (limit 2 per year)
Temporary Storage	\$ 30.00/30 days (limit 3 per year)
Transfer of Responsibility	\$ 25.00
Transfer of Special Use	\$ 50.00
Zoning Compliance Certificate	\$ 50.00
BZA	\$ 75.00

STRUCTURES – NEW CONSTRUCTION:

Single Family Dwelling	\$ 150.00
Multiple Family Dwelling	\$ 75.00 per unit
Commercial, Industrial, & Public Structures	\$ 150.00 + \$ 50 per additional 1,000 sq. ft. over 5,000 sq. ft.

PLANNING

Amendment to Zoning Ord	\$ 200.00
Appeal of Admin Decision	\$ 75.00
BZA (Variance)	\$ 75.00
Codified Ordinances	\$ 75.00
Basic Development Plan	\$ 500.00
Combined Development Plan	\$ 800.00 + \$25 per acre
Comprehensive Dev Plan	\$ 35.00
Detailed Development Plan	\$ 300.00 + \$25 per acre
Preliminary Plat	\$ 100.00
Final Plat	\$ 40.00 per acre
Replat	\$ 40.00 per acre
Lot Splits	\$ 50.00 per new lot created
Major Change to PUD	\$ 250.00
Minor Change to PUD	\$ 150.00
Rezoning	\$ 200.00
Special Use	\$ 150.00
Transfer of Special Use	\$ 50.00
Subdivision Regulations	\$ 10.00

The proposed disposition of the existing structure would be to keep the current home that is located on the property and reuse for potential office space or demolish it altogether.

The proposed rezoning will contribute to new employment opportunities and an increase in local tax revenue.

The proposed industrial zoning is compatible with the existing zoning located in this district.

There is one other property that is zoned residential that is adjacent to the property that is requesting the zoning change. All other properties in the immediate area are zoned industrial or commercial.

This property is surrounded by multiple other properties that are zoned commercial or Industrial. The adjacent 5-acre tract parcel number P70 04009 0092 to the east is zoned planned Industrial, adjacent 12 acre tract parcel number P70 04009 0069 and 1 acre parcel number P70 04009 0058 to the west are zoned industrial. Two parcels to the south 1 acre parcel number P70 04009 0067 and 31.572 acres parcel number P70 04009 0018 are zoned other commercial structures.

Memorandum

Staff Report for Meeting of March 11, 2025

To: Huber Heights City Planning Commission
From: Aaron K. Sorrell, Assistant City Manager
Date: March 4, 2025
Subject: RZ 25-07 – 4341 Taylorsville Road (Rezoning to I-1)

Application dated February 5, 2025

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Tom Donahue – Applicant / Owner

DEVELOPMENT NAME: N/A

ADDRESS/LOCATION: 4341 Taylorsville Road

ZONING/ACREAGE: R-2 / 6.68 Acres

EXISTING LAND USE: Industrial

ZONING

ADJACENT LAND: East: PI, South: 1-1; West: I-1

REQUEST: The applicant requests approval of a rezoning from R-2 to I-1 to facilitate the reuse of the land for industrial purposes.

ORIGINAL APPROVAL: N/A

APPLICABLE HHCC: Chapter 1130, 1156

CORRESPONDENCE: In Favor – None received
In Opposition – None received

STAFF ANALYSIS AND RECOMMENDATION:

Overview:

The applicant requests a rezoning to I-1 to facilitate using the existing site for industrial purposes. The applicant owns the adjacent industrial site and desires to expand its industrial use. The adjacent lands are zoned and used for industrial purposes, and this rezoning is compatible with the surrounding areas.

Applicable Zoning Regulation

The applicable zoning chapters include: 1130 Amendments, 1156 I-1 Light Industrial and Mixed Use District. The relevant sections are cited and discussed below:

1156.01 Purpose.

This District is intended to provide for industrial and mixed office-industrial uses having a minimum impact upon the surrounding environment in areas that are suitable for such development by reason of location and the availability of adequate utility and transportation systems. Uses that can be operated in a clean and quiet manner (subject only to those regulations and performance standards necessary to prohibit congestion and to protect adjacent residential uses, business activities, and the overall environment) are permitted. Uses which may present problematic characteristics are administered as special uses.

(Case 388; Ord. 2002-O-1365, Passed 8-26-02)

1156.02 Uses.

(a) *Permitted Uses.*

- (1) All uses permitted in the O-1 District.
- (2) Any use the principal function of which is basic research, design and/or pilot or experimental product development or technical training.
- (3) Office buildings of an executive or of an administrative nature or incidental to those uses listed herein.
- (4) Business and industrial service facilities.
- (5) Laboratories: experimental, film, testing, research or engineering.
- (6) Printing, publishing, binding and typesetting plants.
- (7) Warehouses and distribution facilities.
- (8) Wholesale or combined wholesale-retail sales facilities.
- (9) The manufacture, compounding, processing, packaging or treatment of products such as, but not limited to: bakery goods; business machinery; candy; clocks; toys; cosmetics; electrical and electronic products, components and equipment; food products; hardware including cutlery, tools, dies, gauges; pharmaceuticals. The Zoning Officer shall make the decision that an unlisted product is similar and that such decision may be appealed to the Planning Commission.
- (10) The manufacturing, compounding, assembling or treatment of articles or merchandise from previously prepared materials such as, but not limited to: bone, canvas, cellophane, cloth, cork, feathers, felt, fiber, fur, glass, hair, horn, leather, paper, plastics, precious or semi-precious metals or stone, sheet

- metal (excluding large stampings, such as automobile fenders or bodies), shell, textiles, tobacco, wax, wire, wood (excluding saw and planing mills), and yarns.
- (11) Computer-communications hardware assembly, testing and operation; development, testing, operation and maintenance of software; and communications services and facilities that are incidental to the principal use.
 - (12) Medical, dental and optical manufacturing.
 - (13) The manufacture of pottery and figurines or other similar ceramic products using only previously pulverized clay and kilns fired only by electricity or gas.
 - (14) The manufacture, installation and repair of signs including, but not limited to electric and neon signs.
 - (15) Reserved.
 - (16) Accessory buildings and uses incidental to the principal use. Regulations governing accessory facilities and uses are specified in Chapter 1191.
 - (17) Truck and motor freight terminals and hauling services.
 - (18) Self-service storage facilities.
- (b) *Accessory Uses.* Accessory uses shall be permitted in this District that are customarily accessory and incidental to any permitted use.
- (c) *Special Uses.* The following special uses are subject to review in accordance with Chapter 1135.
- (1) Electroplating.
 - (2) Graphic products manufacture.
 - (3) Laundries and dry cleaning plants.
 - (4) Automobile service stations.
 - (5) Car and truck washing facilities.
 - (6) Garages for storage, repair and servicing of motor vehicles, including but not limited to body repair, painting, and engine rebuilding.
 - (7) Radio, television or other transmission towers and related station facilities.
 - (8) Yards for the storage, display, minor repair or sales of building materials or equipment; materials and equipment yards of general contractors engaged in building or heavy construction.
 - (9) Machinery and heavy equipment storage, rental or sales.
 - (10) Other manufacturing, processing or storage uses determined by the City Planning Commission to be of the same general character as the permitted uses previously listed and found not to be obnoxious, unhealthful or offensive by reason of the potential emission or transmission of noise, vibration, smoke, dust, heat, odors or glare. In this regard, the Commission may seek expert advice on what conditions should be imposed on a particular operation to carry out the purposes of this zone; and the cost of such expert advice shall be borne by the applicant.
 - (11) Places of worship.
 - (12) Fraternal organizations, service clubs, youth centers and senior citizens' centers.
 - (13) Machine shops.
 - (14) Sexually oriented businesses.
 - (15) Self-storage facilities.
 - (16) Self-storage facilities, indoor.

1156.03 Site development regulations.

See Chapter 1181 for additional provisions for commercial and industrial facilities and Chapter 1135 regarding standards for special uses.

(a) *Lot Requirements.*

(1)	Minimum lot area	None
(2)	Minimum lot frontage	100 feet*

* Or such lesser frontage as shall permit compliance with the side yard off-street parking requirements.

(b) *Yard Requirements.*

- (1) Minimum front yard depth. Fifty feet from the established or future right-of-way line as shown on the approved Official Thoroughfare Plan.
- (2) Minimum rear yard depth and minimum side yard width on each side.
 - A. The side or rear yards shall be 25 feet or equal to the height of the building, whichever is greater. Where a side or rear yard abuts onto a residential district, the yard shall in no case be less than 50 feet or equal to the height of the building, whichever is greater, and no building, structure, paving or parking shall be permitted in such yard. A landscaped area including ground cover and a screening shall be required containing a six foot high wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent in such side or rear yard abutting a residential district.
 - B. The side or rear yards for special uses shall be 50 feet or equal to two times the height of the principal building, whichever is greater. Where a side or rear yard abuts onto a residential district, such yard shall in no case be less than 100 feet. A landscaped area including ground cover and a screening shall be required containing a six foot high wooden or vinyl fence structure, earth mound, or wall with an opaqueness of 100 percent in such side or rear yard abutting a residential district.
 - C. Any portion of the side and rear yards in excess of 15 feet from the property line may be used for parking, except where such a yard abuts a residential district.

- (c) *Structural Requirements.* No maximum height restriction shall apply, except that the proposed development meets all Federal Aviation Administration (FAA), Dayton International Airport or Wright Patterson Air Force Base height or abatement requirements.

(d) *Parking and Loading Requirements.*

- (1) See Chapter 1185 for off-street parking and loading requirements.

(e) *Signs.*

- (1) See Chapter 1189 for size and location of permitted signs.

- (f) *Building Materials.* The front facade of a principal building facing any public street on any property in the I-1 District shall be required to be constructed of at least 30 percent masonry materials that will extend along the entire length of the facade of the principal building. For the purposes of this section, the front facade of a principal building shall include any wall of the principal building that is parallel to the public street and is located within 100 feet of the established building line. The Director of Public Service or his/her designee shall determine the appropriateness of the proposed masonry material design. In the case of a property which has frontage on more than one public street, the facade facing the public street from which access to the property is provided shall be considered the front facade of the building. In addition to the front facade, the side or rear facades of the principal building that face Interstate 70 or a State Route shall be constructed of at least 30 percent masonry materials that shall be clearly visible to Interstate 70 or the State Route unless a sufficient landscaping buffer is provided and is determined appropriate by the Director of Public Service or his/her designee. Recommended masonry materials include brick, split face block, tilt-up concrete, or dryvit or any similar material determined appropriate by the Director of Public Service or his/her designee.

- (g) *Street Tree Requirement.* Please refer to Chapter 1181 for street tree requirements.
- (h) *Trash Container Enclosures.* Please refer to Chapter 1181 for trash container enclosure requirements.
- (i) *Site Plan Approval.*
 - (1) Prior to obtaining a zoning certificate for any proposed actual development on a site located within an I-1 Zoning District, an applicant shall submit a site plan to the Director of Public Service or his/her designee for approval. Such site plan shall graphically include the location and dimensions of vehicular entrances, exits, internal circulation pattern, off-street parking and loading facilities, lighting, and any required screening/landscaping. No site plan shall be approved unless it explicitly conforms with the I-1 Zoning District site development regulations set forth herein.
- (j) *Determination of Compliance.*
 - (1) The Director of Public Service or his designee shall prior to issuing a certificate of occupancy for any development in an I-1 Zoning District determine in writing that it complies in all aspects with the previously approved site plan.
- (l) No sexually oriented business shall be located within a 500 foot radius of any other sexually oriented business. No sexually oriented business shall be located within a 500 foot radius from any residential use or residential zoning district, any public park, church or church grounds, public or private school, kindergarten or nursery school. No sexually oriented business shall be located within 1,000 feet of the right-of-way of, or be on a lot with frontage upon any divided, limited access highway including but not limited to applicable portions of Interstate 70, Ohio Route 4 and Ohio Route 235.

Staff Analysis of Standards for approval

The applicant has owned the adjacent parcel to the east since 2015 and purchased the parcel subject to this rezoning application in 2021. Both parcels are being used for construction-related storage and offices. Rezoning the current parcel from R-2 to I-1 would make the parcel a conforming use under the zoning code.

Industrial uses surround the parcel in question and all adjacent lands are zoned I-1 or Planned Industrial. This rezoning will be consistent and compatible with the existing land uses and zoning districts.

Other Comments

Fire: See attached.

Engineering: No comments submitted.

STAFF RECOMMENDATION

The staff believes that the rezoning furthers the public interest in supporting industrial growth and orderly development. The current use is permitted in the I-1 district, and the site conforms to all setback and height requirements.

Staff recommends approval without conditions.

Planning Commission Action

The Planning Commission may take the following actions with a motion:

- 1) Recommend approval of the rezoning with or without conditions;
- 2) Recommend denial of the rezoning; or
- 3) Table the application.



Planning Commission Decision Record

WHEREAS, on February 5, 2025, the applicant, SHARITEN RENTALS, LLC, requested approval of a Rezoning to from Residential (R-2) to Industrial (I-1). Property is located at 4341 Taylorsville Road, further identified as Parcel Number P70 04009 0057 on the Montgomery County Auditor's Map (Case RZ 25-07), and;

WHEREAS, on March 11, 2025, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, Shariten Rentals, LLC, for approval of a Rezoning. Property is located at 4341 Taylorsville Road, further identified as Parcel Number P70 04009 0057 on the Montgomery County Auditor's Map (Case RZ 25-07), in accordance with the recommendation of Staff's Memorandum dated March 4, 2025, with the following conditions:

1. No conditions

Seconded by Roll call showed: YEAS: NAYS: Motion to recommend approval carried

Terry Walton, Chair
Planning Commission

Date



AI-10703

8. B.

Planning Commission

Meeting Date: 03/11/2025

DETAILED DEVELOPMENT PLAN

Information

Agenda Title

DETAILED DEVELOPMENT PLAN - The applicant, GREY FOX CAPITAL, is requesting approval of a Detailed Development Plan for Creekside Woods Phase 2, comprised of 81 units on 9.4 acres. Property is located at 5425 Charlesgate Road (Case DDP 25-08).

Purpose and Background

Attachments

Application

Staff Report

Decision Record

Legal Description

Drawings

Fire Assessment

DEVELOPMENT APPLICATION
CITY OF HUBER HEIGHTS



PLANNING DEPARTMENT

6131 Taylorsville Road **937.233.1423**
Huber Heights, Ohio 45424 **937.233.1272 (Fax)**

Application Number _____ Date Filed _____
Receipt Number _____ Amount Paid _____

TYPE OF ACTION REQUESTED

Check all that apply. Attach explanations & additional information as required.

- | | |
|---|---|
| <input type="checkbox"/> Annexation & Zoning (Attach original annexation petition to this application.) | <input type="checkbox"/> Planned Unit Development |
| <input type="checkbox"/> Annexation Agreement | <input type="checkbox"/> Basic Development Plan |
| <input type="checkbox"/> Rezoning to _____ | <input checked="" type="checkbox"/> Detailed Development Plan |
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Major Change |
| <input type="checkbox"/> Variance from the Zoning Ordinance | <input type="checkbox"/> Minor Change |
| <input type="checkbox"/> Lot Split | <input type="checkbox"/> Other |
| <input type="checkbox"/> Final Plat/Replat | |
| <input type="checkbox"/> Preliminary Plat | |
| <input type="checkbox"/> Text Amendment | |
| <input type="checkbox"/> Zoning Ordinance | |
| <input type="checkbox"/> Subdivision Regulations | |
| <input type="checkbox"/> Other | |

APPLICANT INFORMATION

Identify the applicant & contact person on this page. Complete the attachment to list the owner(s) & other parties involved with the application.

	<u>APPLICANT</u>		<u>CONTACT PERSON</u>
Name	<u>Grey Fox Capital</u>	Name	<u>Jake Shields</u>
Address	<u>6161 Oak Tree Blvd. Ste 260</u>	Address	<u>6161 Oak Tree Blvd. Ste 260</u>
	<u>Independence OH 44131</u>		<u>Independence OH 44131</u>
Phone	<u>330-618-5692</u>	Phone	<u>330-618-5692</u>
Fax	<u>N/A</u>	Fax	<u>N/A</u>
Email	<u>jacobshields@greyfoxcapital.net</u>	Email	<u>jacobshields@greyfoxcapital.net</u>

PROPERTY INFORMATION

Project Name: Creekside Woods Phase 2

Location of property: 5425 Charlesgate Road, Huber Heights, OH 45424

Book 110 Page 6 Parcel Number(s) P70 01924 0003

Current Zoning: PR - Planned Residential Proposed Zoning: PR - Planned Residential

Property Owner's Name: Luke Smith Trustee Telephone: (760) 274-7711

Address: Mailing Address: 1106 2nd Street 851, Encinitas, CA 92024

Total acres included in this application: 9.4 Acres

Type of Development: Residential ☒ Commercial ☐ Office ☐ Industrial ☐ Other ☐

Brief description of application request:

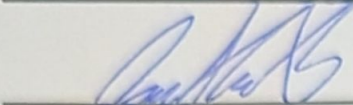
This application request is for the Detailed Development Plan Review and Approval of a residential development consisting of 81 Townhomes with associated road and utility infrastructure

Applicant's status: Owner ☐ Lessee ☐ Purchaser ☒ Agent ☐

Name of Engineer: CESO, Inc. Telephone: 937-609-4381

Attach additional information as required. Please refer to the applicable application submittal checklist.

Applicant's Signature

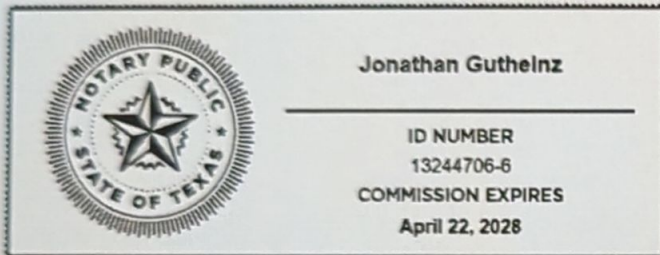

Applicant's Signature:

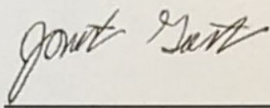
Jacob Shields
Printed Name:

The owner of the property, if other than the applicant, must sign this application as evidence of concurrence with the request.

Luke Smith
OWNER

Subscribed and sworn to before me this 19 day of September, 2024.




Jonathan Gutheinz NOTARY PUBLIC
Electronically signed and notarized online using the Proof platfor

BY THE ABOVE SIGNATURE, THE APPLICANT HEREBY ATTESTS TO THE TRUTH AND EXACTNESS OF ALL INFORMATION SUPPLIED AND SUBMITTED ON AND WITH THIS APPLICANT. BY THE ABOVE SIGNATURE, THE APPLICANT FURTHERMORE CONSENTS TO BE BOUND BY THIS APPLICATION, BY ANY AGREEMENT MADE BY THE APPLICANT OR ITS AGENT, AND BY ALL DECISIONS MADE BY THE CITY OF HUBER HEIGHTS RELATING TO AND IN CONNECTION WITH APPLICATION AND REQUESTS.

=====

Date Received _____ Fee Paid _____ Received by _____

ADDITIONAL CONTACT INFORMATION

PROPERTY OWNER
Name Luke Smith Trustee
Address 1106 2nd Street 851
Encinitas, CA 92024

Phone
Fax
Email

ATTORNEY
Name N/A
Address

Phone
Fax
Email

LAND PLANNER
Name Same as Engineer
Address

Phone
Fax
Email

LANDSCAPE ARCHITECT
Name Same as Engineer
Address

Phone
Fax
Email

AGENT
Name Tracey Herron
Address 11 West Monument Avenue, Suite 506
Dayton, OH 45402

Phone
Fax
Email

DEVELOPER
Name Grey Fox Capital
Address 6161 Oak Tree Blvd. Ste 260
Independence OH 44131

Phone 330-618-5692
Fax
Email jacobshields@greyfoxcapital.net

ENGINEER
Name CESO, Inc.
Address 3601 Rigby Road, Ste 300
Miamisburg, OH 45342

Phone 937-609-4381
Fax
Email buchanan@cesoinc.com

OTHER
Name
Address

Phone
Fax
Email

STATEMENT OF APPLICANT OBLIGATION FOR PAYMENT
OR CERTAIN PROFESSIONAL COSTS AND EXPENSES

The Applicant is obligated by Ordinance 87-O-231 to pay the City of Huber Heights ("City") for all costs and expenses incurred by the City if this application or request causes the City to incur extra expenses for professional analysis or other services by persons or organizations not part of the full-time City staff.

The payment of expenses and costs referred to in this statement shall be made to the City of Huber Heights in accordance with the then current administrative policy for such payment. An application or request may require funds to be deposited in advance with the City for such costs and expenses. The payment of such costs and expenses shall be in addition to any other application fee required by the City. The person whose signature appears below as Applicant states that she/he has full and complete authority to agree to, bind and obligate the Applicant to pay the costs and expenses referred to in this statement and to fully comply with the above statement.

By the signature below, the Applicant herein states she/he has fully and completely read the above statement, understands the above statement, and agrees to fully comply with the above statement.

Danor Lueke
Witness

Ryan Shaw
Witness

By: [Signature]
Applicant's Signature

Date: 9/24/24

Project: Creek side Townhomes

The undersigned, owner(s) of the certain real property described in the attached Exhibit "A" (the "Property"), do hereby appoint and expressly grant full authority to Jake Shields to act as the sole agent of and on behalf of the undersigned in all matters related to and in connection with the attached Development Application. The undersigned hereby consents and agrees to be bound by the application, by any agreement made by the herein named agent with the City of Huber Heights in connection with this same case, and by all decisions made by the City in connection with this same case.

Luke Smith
Owner's Signature

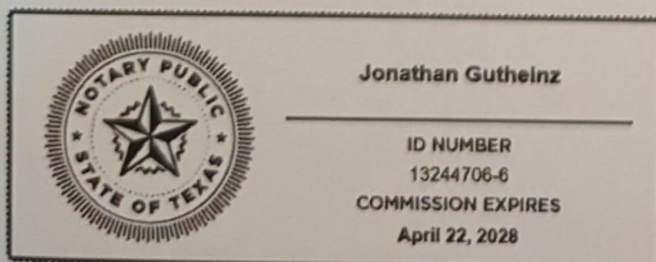
Luke Smith
Printed Name

Owner's Signature

Printed Name

Sworn to before me and subscribed in my presence by the said

Luke Smith on this 19 day of September, 2024.



[Signature]
Jonathan Gutheinz Notary Public

DETAILED DEVELOPMENT PLAN SUBMITTAL CHECKLIST
CITY OF HUBER HEIGHTS



PLANNING DEPARTMENT

1. Legal description of the subject property.
2. Mailing labels to be provided with the names and addresses of adjoining property owners within 200' of the development.
3. Eight (8) drawings 24" x 36" in size and a pdf of all drawings to ghoskins@hhoh.org.
4. Detailed Development site plans shall be scaled at 1" to 20', 1" to 40', or other scale acceptable to the City. Plans must show the following:
 - a. North arrow.
 - b. Measurements in feet to nearest hundredth.
 - c. Show for conveyance:
 - i. Boundaries by length, by bearings in clockwise direction, by interior angles and by dimensions of radius, arc, and chord of curves. Show both measured and recorded figures if not in agreement. Show right-of-way line if not contiguous with property line.
 - ii. Area in acres.
 - iii. Label streets.
 - iv. Indicate types of corner markers used.
 - v. Dimension between property lines and;
 1. sidewalk
 2. curbs or paving
 3. centerline of street
 4. adjacent structure
 - vi. Names of owners of adjoining properties.
 - vii. Right-of-ways, easements, recorded and/or actual.
 - viii. Traffic impact study prepared by a third-party professional.
 - ix. Right-of-way widening (required by thoroughfare plan).
 - x. Building set back lines.
 - xi. If site is adjacent to limited access highway, indicate limited access right-of-way.
 - xii. Indicate recorded property lines if parcel is made up of two or more parcels.
 - d. Topographical Information:
 - i. Structures, walks, curbs, street pavement, valve boxes, manholes, and catch basins.

- ii. Location of nearest fire hydrant.
- iii. Established bench mark as close to property as possible. (U.S.G.S.)
- iv. Proposed street and right-of-way widening and elevations.
- v. Elevation of ground surface at lot corners, at 20' contour intervals and at points where grade changes significantly on vacant parcels. Developed parcels need only to show elevations at lot corners and spot elevation to show drainage patterns.
- vi. Foundation of existing building, if applicable.
- vii. Indicate size and invert elevations of sanitary and storm sewers.
- viii. Show location of water and gas services.
- ix. Note if any utility is not available.
- x. If utilities are not accessible at property line but can be obtained within a reasonable distance, indicate the most probable point of connection.
- xi. If sanitary sewer is not available, indicate location for leach field system.
- xii. If water is not available, indicate probable location for well.
- xiii. Indicate approximate height of utility wires crossing property and nature and type of service, i.e., 240 three-phase, 208, 100, etc. Indicate distance to nearest transformer and location.
- xiv. Indicate zoning of this property and properties on adjacent sides.
- xv. Indicate if sprinkler system is required in work room, storeroom, or sales area.

e. Finished Drawings:

- i. All proposed construction: structures, walks, curbs, parking, loading areas, etc.
- ii. All proposed utilities complete which includes water, sanitary, gas, electric, cablevision, and telephone services.
- iii. All on site storm drainage and final grading plan including storm detention complete to Montgomery County, Ohio standards with calculations.
- iv. Final detailed sign(s) location, including elevation above grade.
- v. Landscape plan.
- vi. Lighting plan with photometrics.

5. Other information as requested by the City.

6. Upon receipt of final review comments from the Planning Department, applicant shall submit eight (8) copies of the revised plans required in this checklist, any other revised or amended documents, and a pdf of all drawings to ghoskins@hhoh.org at least one week prior to the date of the Planning Commission meeting.

FEE SCHEDULE - CITY OF HUBER HEIGHTS PLANNING & ZONING

ZONING

Accessory Building	\$ 30.00
Alteration (Exterior Only)	
Commercial/Residential	\$ 30.00
Carport	\$ 30.00
Commercial TV/Radio	\$ 100.00
Cellular / Co-Location	
Construction Trailer/Office	\$ 30.00
Festivals/Carnivals	\$ 30.00
Fireplace	\$ 30.00
Garage – Attached/Detached	\$ 30.00
Hot Tub	\$ 30.00
Mobile Food Vending	\$ 100.00
Outdoor Sales	\$ 100.00
Patio Cover / Pergola	\$ 30.00
Patio Enclosure	\$ 30.00
Pre-Sale Inspections	\$ 40.00
Pre-Sale Multi-Unit	\$ 20.00 per unit
Re-Inspection	\$ 20.00
(after 2nd inspect)	
Room Addition	\$ 30.00
Signs:	
Temporary Signs	\$ 25.00 /30 days (limit 3 per year)
Permanent Signs	\$ 30.00 + \$1.00 per sq. ft.
Storage Shed	\$ 30.00
Swimming Pool	\$ 30.00
Temporary Dumpster	\$ 30.00/60 days (limit 2 per year)
Temporary Storage	\$ 30.00/30 days (limit 3 per year)
Transfer of Responsibility	\$ 25.00
Transfer of Special Use	\$ 50.00
Zoning Compliance Certificate	\$ 50.00
BZA	\$ 75.00

STRUCTURES – NEW CONSTRUCTION:

Single Family Dwelling	\$ 150.00
Multiple Family Dwelling	\$ 75.00 per unit
Commercial, Industrial, & Public Structures	\$ 150.00 + \$ 50 per additional 1,000 sq. ft. over 5,000 sq. ft

PLANNING

Amendment to Zoning Ord	\$ 200.00
Appeal of Admin Decision	\$ 75.00
BZA (Variance)	\$ 75.00
Codified Ordinances	\$ 75.00
Basic Development Plan	\$ 500.00
Combined Development Plan	\$ 800.00 + \$25 per acre
Comprehensive Dev Plan	\$ 35.00
Detailed Development Plan	\$ 300.00 + \$25 per acre
Preliminary Plat	\$ 100.00
Final Plat	\$ 40.00 per acre
Replat	\$ 40.00 per acre
Lot Splits	\$ 50.00 per new lot created
Major Change to PUD	\$ 250.00
Minor Change to PUD	\$ 150.00
Rezoning	\$ 200.00
Special Use	\$ 150.00
Transfer of Special Use	\$ 50.00
Subdivision Regulations	\$ 10.00

Memorandum

Staff Report for Meeting of March 11, 2025

To: Huber Heights City Planning Commission
From: Aaron K. Sorrell, Assistant City Manager
Date: March 4, 2025
Subject: DDP 25-08 Creekside Woods (Phase 2)
Wildcat Road & Charlesgate Road

Department of Planning and Zoning

City of Huber Heights

APPLICANT/OWNER: Grey Fox Capital – Applicant
Luke Smith Trustee – Owner

DEVELOPMENT NAME: Creekside Woods

ADDRESS/LOCATION: 5425 Charlesgate Road

ZONING/ACREAGE: PR Planned Residential / 9.4 Acres

EXISTING LAND USE: Vacant lands

ZONING
ADJACENT LAND: North: R-2 / R-6
East : PP
West: A
South: A

REQUEST: The applicant seeks Detailed Development Plan approval of Creekside Woods Phase 2, comprised of 81 units on 9.4 acres.

ORIGINAL APPROVAL: N/A

APPLICABLE HHCC: Chapter 1171, 1172

CORRESPONDENCE: In Favor – None Received
In Opposition – None Received

Overview

The applicant seeks Detailed Development Plan approval for Creekside Woods, Phase 2, comprised of 81 townhome units and related public infrastructure on 9.4 acres. The Basic Development Plan for the entire 159-unit townhome development on 24.6 acres was approved by the Huber Heights City Council on December 10, 2024, through case BDP 24-23. The Planning Commission approved the Detailed Development Plan for Phase 1 on February 11, 2025.

Site Characteristics

The site is wooded, with a steep ravine and stream bisecting it. This ravine and stream have historically been an impediment to its development. The applicant is proposing two development areas with entrances from Wildcat Road and Charlesgate Road. The two development areas will be connected via pedestrian paths.

Staff Analysis

The staff analysis addresses the elements of the Basic Development Plan requirements and standards for approval of the Detailed Development Plan.

Applicable Zoning Regulations

The applicable zoning regulations are Chapter 1171 – General Provisions, Chapter 1172 – Planned Residential, Chapter 1181 – General Provisions, Chapter 1182 – Landscaping, and Chapter 1185 – Parking and Loading.

The approved Basic Development Plan contained the following conditions:

1. The applicant shall assess the health of the existing trees along the stream that will be incorporated into the landscaping plan. Healthy trees shall be identified and incorporated into the landscaping plan as appropriate, subject to approval as part of the Detailed Development Plan. The applicant shall also develop a plan to protect key trees during construction, subject to staff approval.
2. The applicant shall work with staff to determine the final street tree placement during the Detailed Development Plan phase.
3. Signs shall conform with Chapter 1189 of the City Code, unless otherwise approved in the Detailed Development Plan by the Planning Commission.
4. Water and sanitary lines shall be placed in public easements.
5. The frontage along Wildcat Road shall be improved to City standards and additional right of way shall be dedicated for a future 10 to 12-foot multi-use path.
6. The revised site plan shall substantially conform to the Conceptual Landscape Plan dated November 21, 2024, including setbacks, buffering, screening and building.

Conformance with the Basic Development Plan Conditions

1. The applicant shall assess the health of the existing trees along the stream that will be incorporated into the landscaping plan. Healthy trees shall be identified and incorporated into the landscaping plan as appropriate, subject to approval as part of

the Detailed Development Plan. The applicant shall also develop a plan to protect key trees during construction, subject to staff approval.

Sheet 40 (Overall Erosion Control Plan) indicates the stream and large areas of the ravine will remain undisturbed. This is consistent with the conceptual landscaping plan dated 11-21-2024.

2. The applicant shall work with staff to determine the final street tree placement during the Detailed Development Plan phase.

The Detailed Development Plan satisfies the overall requirement for street trees. Trees have been clustered in areas to avoid sanitary sewer utility easements in certain front yards.

3. Signs shall conform with Chapter 1189 of the City Code, unless otherwise approved in the Detailed Development Plan by the Planning Commission.

The proposed monument entry feature complies with Chapter 1189.

4. Water and sanitary lines shall be placed in public easements.

All water and sanitary lines are within public easements.

5. The frontage along Wildcat Road shall be improved to City standards and additional right of way shall be dedicated for a future 10 to 12-foot multi-use path.

Additional rights of way are shown in the plans.

6. The revised site plan shall substantially conform to the Conceptual Landscape Plan dated November 21, 2024, including setbacks, buffering, screening and building

The revised site plan substantially conforms to the November 21, 2024, conceptual landscape plan.

Conformance with other zoning provisions

Conformance with Planned Residential District Requirements:

Uses: Rowhouses are a permitted use.

Density: The overall density of the development is 6.5 units / acre, consistent with the zoning code.

Setback: The code does not require minimum building setbacks for rowhouses in Planned Residential districts. However, to accommodate parking in the driveway, the minimum setback should be 20 feet, measured from the back of the sidewalk. All Phase 2 buildings meet this requirement.

The setbacks along Wildcat Road are 30-feet.

Parking: The code requires two spaces per unit. The development provides two spaces per unit and six additional spaces for visitors in Phase 2. The Detailed Development Plan satisfies the zoning code requirements.

Utilities: All utilities are below ground.

Building Materials: Building materials were approved with the Phase 1 Detailed Development Plan.

Additional Comments:

Fire: See attached.

City Engineer: The engineer's comments have been provided to the applicant.

Recommendation

Staff supports approving the Phase 2 Detailed Development Plan application submitted on February 18, 2025. It is the staff's opinion that the requirements of Section 1171.06 can be met, and recommends approval of the Detailed Development Plan with the following conditions:

1. Residential building materials shall be those approved in the Phase 1 Detailed Development Plan.
2. The applicant shall comply with all Fire Department requirements.

Planning Commission Action

Planning Commission may take the following actions with a motion to:

- 1) Approve the Detailed Development Plan application, with or without conditions;
- 2) Deny the Detailed Development Plan application; or,
- 3) Table the application to gather additional information.



Planning Commission Decision Record

WHEREAS, on February 18, 2025, the applicant, GREY FOX CAPITAL, requested approval of a Detailed Development Plan for Creekside Woods Phase 2, comprised of 81 units on 9.4 acres. Property is located at 5425 Charlesgate Road, further identified as Parcel Number P70 01924 0003 on the Montgomery County Auditor's Map (Case DDP 25-08), and;

WHEREAS, on March 11, 2025, the Planning Commission did meet and fully discuss the details of the request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby recommended approval of the request.

moved to approve the request by the applicant, GREY FOX CAPITAL, for approval of a Detailed Development Plan. Property is located at 5425 Charlesgate Road, further identified as Parcel Number P70 01924 0003 on the Montgomery County Auditor's Map (Case DDP 25-08), in accordance with the recommendation of Staff's Memorandum dated March 4, 2025, with the following conditions:

1. Residential building materials shall be those approved in the Phase 1 Detailed Development Plan.
2. The applicant shall comply with all Fire Department requirements.

Seconded by _____ Roll call showed: YEAS: _____ NAYS: _____ Motion to recommend approval carried

Terry Walton, Chair
Planning Commission

Date

DESCRIPTION

Containing 24.597 Total Acres

Situated in Section 30, Town 2, Range 8, M.R.S., City of Huber Heights, Montgomery County, Ohio, Being all of Lot 15161 of Herbert C. Huber Plat No. 66, as recorded in Plat Book 110, Page 6 of the Montgomery County Recorders Office and being more particularly described as follows;

Beginning at the southwest corner of Lot 20685 as recorded in Herbert C. Huber Plat No. 68, Section One-C, as recorded in Plat Book 112, Page 17, said point being on the northerly right-of-way line of Charlesgate road;

Thence with said northerly right-of-way line of Charlesgate Road, **South 47°21'43" West**, a distance of **716.74 feet** to a point on the northerly line of Lot 8 of Northpark Section Five, as recorded in Plat Book 232, Page 59;

Thence with the north line of said Northpark Section Five, **North 84°28'01" West**, a distance of **1093.62 feet** to a found 5/8-inch iron pin with yellow cap on the easterly right-of-way line of Wildcat Road, as dedicated in Plat Book 110, Page 6;

Thence with said easterly right-of-way line of Wildcat Road, **North 05°25'54" East**, a distance of **785.62 feet** to a found 5/8-inch iron pin stamped "NBP 6508" on the south line of a 15.4715 acre tract of land conveyed to David Studebaker, as recorded in I.R. Deed 20-009464;

Thence with the southerly line of said 15.4715 acre tract, and with the southerly lines of a 4.091 acres tract conveyed to Doris M. Studebaker, as recorded in I.R. Deed 02-011063, and a 3.877 acre tract conveyed to David Scott and Susan McCoy, as recorded in I.R. Deed 2023-00052709, **South 84°29'41" East**, a distance of **1291.42 feet** to a found 3/4 inch iron pin at a westerly corner of aforesaid Lot 20685 of Herbert C. Huber Plat number 68 Section One-C;

Thence with a westerly line of said Lot 20685, **South 42°37'19" East**, a distance of **378.01 feet** to the **POINT OF BEGINNING** containing 24.597 acres more or less.

This description is for zoning purposes only.

DEVELOPER:
GREY FOX CAPITAL
6161 OAK TREE BOULEVARD, SUITE 250
INDEPENDENCE, OH 44131
EMAIL: JACOBSHIELDS@GREYFOXCAPITAL.NET
PHONE: (330) 618-5692
CONTACT: JAKE SHIELDS

OWNER:
SMITH LUKE TR
1106 2ND ST 851
ENCINITAS, CA 92024

SURVEY PROVIDED BY:
CESO INC.
3601 RIGBY ROAD, SUITE 300
MIAMISBURG, OH 45342
PHONE: (937) 435-8584
CONTACT: JERRY HOLLOWAY

ENGINEER:
CESO INC.
3601 RIGBY ROAD, SUITE 300
MIAMISBURG, OH 45342
PHONE: (937) 435-8584
CONTACT: JUSTIN ELAM, P.E.

CONTRACTOR TO VERIFY EXISTING
CONDITIONS PRIOR TO BID AND
CONSTRUCTION.

SITE DATA:

ZONING: PLANNED RESIDENTIAL (PR)

TOTAL ACREAGE: 24.597 AC
TOTAL UNIT COUNT: 159 UNITS
UNIT COUNT PHASE 1: 78 UNITS
UNIT COUNT PHASE 2: 81 UNITS
OPEN SPACE: 8.33 AC (33.87%)
PROPOSED DENSITY: 6.5 DUA

BUILDING SETBACKS:
FRONT (WILDCAT RD)*: 40'
FRONT (CHARLES GATE RD)*: 40'
FRONT: 15'
MIN. BUILDING SEPARATION REAR: 40'
MIN. BUILDING SEPARATION SIDE: 25'
* FRONT SETBACKS MEASURED FROM R/W
PARKING REQUIREMENTS: TWO (2) SPACES/ UNIT
TOTAL REQUIRED: 318
TOTAL PROVIDED: 347
GARAGE PARKING (1/ UNIT): 159
DRIVEWAY SPACES: 159
OFF-STREET SPACES: 29

GOVERNING AGENCIES AND UTILITY COMPANIES:

ELECTRIC
AES OHIO
1900 DRYDEN ROAD
DAYTON, OH 45459
(937) 331-4682

GAS
CENTERPOINT ENERGY
4285 NORTH JAMES MCGEE BLVD
DAYTON, OH 45427
(937) 440-1957

CABLE
SPECTRUM CABLE
3691 TURNER ROAD
DAYTON, OH 45415
1-(866)-459-0059

TELEPHONE
AT&T
111 N. 4TH STREET RM 802
COLUMBUS, OH 43215
(614) 233-8163

STREET, STORMWATER,
SANITARY SEWER & WATER:
CITY OF HUBER HEIGHTS
6131 TAYLORSVILLE ROAD
HUBER HEIGHTS, OHIO 45424
(937) 233-1423

BENCHMARKS (NAVD 88):

BM #1
CROSS NOTCH SET ON NORTHWEST ARROW BOLT OF FIRE HYDRANT. SAID HYDRANT IS
250 FEET NORTHEAST OF END OF CHARLES GATE ROAD, IN THE SOUTHEAST ROW.
ELEVATION = 901.56'

BM #2
BENCH TIE SET IN SOUTHWEST SIDE OF POWER POLE IN WEST ROW OF WILDCAT ROAD,
NEAR THE NORTHWEST CORNER OF SITE.
ELEVATION = 916.91'

BM #3
BENCH TIE SET IN EAST SIDE OF POWER POLE IN WEST ROW OF WILDCAT ROAD, JUST
SOUTH OF ENTRANCE TO GRAVEL PIT.
ELEVATION = 908.74'

SURVEY NOTES:

HORIZONTAL DATUM:
NORTH AND BEARING SYSTEM BASED ON THE OHIO STATE PLANE - SOUTH, NAD 83 AND
UPON GPS OBSERVATIONS TAKEN BY CESO INC IN SEPTEMBER, 2024.

VERTICAL DATUM:
ELEVATIONS AND DATUM AS SHOWN HEREON ARE BASED UPON NAVD88 ESTABLISHED
USING GPS OBSERVATIONS ALONG WITH THE OHIO DEPARTMENT OF TRANSPORTATION
RTN NETWORK AND OPUS SOLUTIONS. MADE IN CONJUNCTION WITH A SURVEY
CONDUCTED BY CESO INC. IN SEPTEMBER, 2024.

UTILITY DISCLAIMER:
THE UTILITIES SHOWN ARE LOCATED FROM FIELD SURVEY INFORMATION AND/OR
EXISTING DRAWINGS SUPPLIED BY CLIENT. THE SURVEYOR MAKES NO GUARANTEE THAT
THE UTILITIES LOCATED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE
OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES
LOCATED ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES
CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION
AVAILABLE.

OHIO 811 TICKET NUMBERS: B422900898-008, B422900912-008, B422900904-008,
B422900913-008, B423300294-008, B423300261-008.

DATE OF FIELD SURVEY: SEPTEMBER 12, 2024.
DATE OF PLAT OR MAP: SEPTEMBER 27, 2024

FEMA FLOODPLAIN:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) SHOWS THAT THE SUBJECT
PROPERTY IS LOCATED WITHIN AN AREA DESIGNATED AS ZONE X. ZONE X IS DEFINED
AS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS
SHOWN ON FLOOD INSURANCE RATE MAP (FIRM); MONTGOMERY COUNTY, OHIO,
39113C0069E, EFFECTIVE DATE: JANUARY 6, 2005.

SITE IMPROVEMENT PLAN

CREEKSIDE WOODS

PHASE 2

FEBRUARY, 2025

STATE OF OHIO, COUNTY OF MONTGOMERY, CITY OF HUBER HEIGHTS
SECTION 30, TOWN 2, RANGE 8, M.R.S.



INDEX MAP
SCALE: 1"=100'



VICINITY MAP
N.T.S.

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	GENERAL NOTES
3	CONSTRUCTION NOTES AND DETAILS
4	SANITARY DETAILS
5	WATER DETAILS
6	EXISTING CONDITIONS
7	OVERALL GRADING PLAN
8	INTERSECTION DETAILS
9	OVERALL UTILITY PLAN
10	OVERALL SITE PLAN
11	ROAD PLAN AND PROFILE
12	ROAD PLAN AND PROFILE
13	ROAD PLAN AND PROFILE
14	STORM SEWER PROFILES
15	STORM SEWER PROFILES
16	SANITARY PLAN AND PROFILE
17	SANITARY PLAN AND PROFILE
18	SANITARY PLAN AND PROFILE
19	OVERALL LANDSCAPE PLAN
20	LANDSCAPE PLAN
21	LANDSCAPE DETAILS
22	SWPPP NOTES
23	SWPPP DETAILS
24	SWPPP DETAILS
25	EROSION CONTROL PLAN



CESO
WWW.CESOINC.COM

3601 Rigby Rd., Suite 300
Miamisburg, OH 45342
Phone: 937.435.8584 Fax: 888.208.4826

THIS INFORMATION IS FOR PRELIMINARY OR
CONSTRUCTION PURPOSES ONLY. NOT FOR
CONSTRUCTION OR INFORMATION

GREY FOX CAPITAL

CREEKSIDE
WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

ID Description Date

© 2024 CESO, INC.

Project Number: 765054

Scale: AS SHOWN

Drawn By: JH

Checked By: JEE

Date: FEBRUARY, 2025

Issue: FINAL DEVELOPMENT

Drawing Title:

COVER SHEET

C:\Users\brock.michaels\Documents\DC\ACC\Docs\CESO\Grey Fox Creekside TH Charlesgate Rd\Project Files\CESO\DC-CVIL\PHASE 1\PLAN_A_765054_COVER SHEET.dwg - 2/18/2025 - Brock Michaelis

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF HUBER HEIGHTS SPECIFICATIONS AND STANDARD DRAWINGS. IF NO CITY STANDARD IS AVAILABLE, THEN STANDARD DRAWINGS AND SPECIFICATIONS FROM THE MONTGOMERY COUNTY, OHIO ENGINEERING DEPARTMENT OR THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION & MATERIALS SPECIFICATIONS" (LATEST EDITION) SHALL BE FOLLOWED.
- ALL UTILITY TRENCH EXCAVATION WITHIN THE EXISTING AND PROPOSED RIGHT-OF-WAY AND EASEMENTS SHALL BE BACKFILLED WITH GRANULAR FILL MATERIAL IN ACCORDANCE WITH CITY SPECIFICATIONS AND COMPACTED BEFORE SUB-GRADE APPROVAL.
- ALL UNDERGROUND UTILITY SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT-OF-WAY LINE BEFORE STREETS ARE SURFACED.
- ALL CATCH BASINS (CURB AND GUTTER INLET) ODOT TYPE 3A UNLESS OTHERWISE SPECIFIED. THE CASTING HOOD SHALL HAVE "DUMP NO WASTE" LETTERING AND FISH IMAGE.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE ASTM C-76, CLASS IV, UNLESS OTHERWISE NOTED.
- ALL MANHOLES TO BE TYPE "A", UNLESS OTHERWISE NOTED.
- CHANNEL BOTTOMS OF ALL MANHOLES.
- CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH CITY SPECIFICATIONS.
- CONCRETE CURBING TO BE A TYPE SPECIFIED IN THE CITY OF HUBER HEIGHTS STANDARD DRAWINGS. EXTRUDED CURB IS NOT PERMITTED.
- ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED OR CONNECTED TO THE STORM SEWER SYSTEM.
- SITE GRADING WITHIN SUBDIVISIONS SHALL BE SUCH THAT ALL LOTS WILL READILY DRAIN. LOTS SHALL HAVE A 1.5% MINIMUM SLOPE IN GRASS AREAS. OVERLAND FLOW ON LOTS SHALL BE LIMITED TO A MAXIMUM DISTANCE OF THREE HUNDRED (300) FEET UNLESS APPROVED BY THE CITY ENGINEER.
- ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764; THE DAYTON POWER & LIGHT CO. AT 937-866-3303, AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OUPS.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH THE LIFE OF THE CONTRACT. THESE MAY INVOLVE THE USE OF HAY AND STRAW BALES, DIKES, SEDIMENT PITS, MULCHES, FILTER FABRICS AND OTHER DEVICES AND METHODS. PARTICULAR CARE SHALL BE TAKEN TO AVOID EROSION AND SEDIMENTATION ON EXISTING PAVED AND GRAVELED AREAS. FOR RESIDENTIAL AND SMALL CONSTRUCTION SITES - PRIOR TO ANY SITE DISTURBANCE, THE CONTRACTOR SHALL HAVE IN PLACE EROSION CONTROL MEASURES PER EPA 830-F-15-001 GUIDELINES FOR STORMWATER PREVENTION.
- ROOF AREA DRAIN LINES SHALL NOT BE EXTENDED THROUGH CURBS BUT SHALL BE DIRECTLY CONNECTED TO THE STORM SEWER SYSTEM.
- ALL METAL CASTINGS SHALL BE PAINTED WITH TWO COATS OF BLACK ASPHALTUM PAINT.
- ALL EXISTING MONUMENTS SHALL BE PROTECTED AND OR REFERENCED BY THE CONTRACTOR. MONUMENTS SHOWN ON THE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN ON MONTGOMERY COUNTY STANDARDS. MONUMENT BOXES SHALL BE LOCATED AT ROADWAY PI, PC, PT POINTS AS WELL AS CROSS STREETS CENTERLINE.
- CONSTRUCTION STAKING MUST BE FURNISHED FOR THE CITY INSPECTOR TO VERIFY CONFORMANCE TO THE DESIGN PLAN. CONSTRUCTION STAKING IS REQUIRED AT SUFFICIENT DENSITY TO ENSURE THE CITY INSPECTOR CAN VERIFY THE WORK PERFORMED BY THE CONTRACTOR. CONTACT THE CITY INSPECTOR TO ENSURE ADEQUATE CONSTRUCTION STAKING IS FURNISHED.
- SUMP DRAIN LINES SHALL BE 4" OR 6" PVC SOLID WALL PIPE AND SHALL HAVE CLEAN-OUTS AT 200 FT INTERVALS. TOP OF SUMP DRAIN TO BE A MINIMUM OF 30" BELOW TOP OF CURB. PIPE BEDDING MATERIAL SHALL BE PEA GRAVEL OR PIPE FILL (SAND). BACKFILL SHALL BE THOROUGHLY TAMPED WITH MECHANICAL TAMPERS IN 6" LAYERS. SUMP DRAIN LINES SHALL BE PLACED IN GENERAL PARALLEL WITH THE CURB AND 6" BEHIND THE BACK OF CURB AND TIED INTO THE NEAREST POSSIBLE CATCH BASIN OR STORM MANHOLE. AT THE LOW SIDE OF THE PROPERTY, A 2 INCH TEE AND PLUG SHALL BE CONNECTED TO THE SUMP DRAIN LINE FOR EACH LOT. NO DOWNSPOUTS OR OTHER CLEAN WATER CONNECTIONS MAY BE TIED TO THIS SUMP DRAIN LINE. A 4" SUMP DRAIN LINE SHALL BE USED FOR 1-4 HOUSES. WALK OUT BASEMENTS DO NOT REQUIRE A SUMP PUMP. FOOTING DRAINS SHALL DRAIN BY GRAVITY TO THE REAR OF THE LOT.

WATERLINE NOTES:

- THE CONTRACTOR SHALL BE QUALIFIED TO CONSTRUCT WATER MAINS. ALL WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO CITY OF HUBER HEIGHTS SPECIFICATIONS.
- WATER MAINS, BENDS AND FITTINGS SHALL BE ZINC COATED DUCTILE CAST IRON PIPE AND CONFORM TO ANSI A-21.51 (AWWA C-151), CLASS 53. MECHANICAL JOINT FITTINGS DO NOT HAVE TO BE ZINC COATED. THE USE OF STANDARD DUCTILE IRON (ANSI A-21.51, AWWA C-151) CLASS 53 PIPE HAS TO BE PRE-APPROVED BY THE CITY ENGINEER. BENDS AND TEES SHALL BE RESTRAINED USING MECHANICAL JOINT RESTRAINTS SUCH AS MEGALUG OR APPROVED EQUAL.
- ALL WATER MAINS SHALL HAVE 4'-6" MINIMUM COVER.
- NO SERVICE CONNECTIONS SHALL BE MADE TO THE WATER MAIN UNTIL THE MAIN LINE HAS BEEN INSPECTED, TESTED, AND FLUSHED FOR 12 HOURS MINIMUM. NO TAPPING WILL BE PERMITTED IN INCLEMENT WEATHER.
- NO CONSTRUCTION SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN ISSUED.
- ALL UTILITY TRENCHES WITHIN THE EXISTING OR PROPOSED PAVEMENT OR EASEMENTS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL CONFORMING TO ODOT 310 IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
- NO ADDITIONS, DELETIONS, OR REVISIONS TO THE WATER FACILITIES ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF HUBER HEIGHTS.
- ONLY CITY OF HUBER HEIGHTS OR UNITED WATER PERSONNEL SHALL OPERATE MAIN LINE WATER VALVES.
- ALL FIRE HYDRANTS SHALL BE LOCATED 2' FROM AND WITHIN 5' OF THE CURB OR EDGE OF PAVEMENT AND 4" OPENING TO FACE THE STREET. THE FIRE HYDRANT IS TO BE INSTALLED AS PER THE DETAIL LOCATED WITHIN THE CITY OF HUBER HEIGHTS STANDARD DRAWINGS.
- WATER LINES CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDES OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUIDISTANT AND AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWERS, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
- ALL SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT OF WAY OR EASEMENT BEFORE STREETS ARE SURFACED.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING WATER MAINS BEFORE CONSTRUCTION OF NEW WATER MAIN AT PROPOSED CONNECTIONS.
- ALL GATE VALVES ARE TO BE LOCATED AT TEES OR CROSSES WITH A 2' MAXIMUM ANCHOR PIPE BETWEEN TEE OR CROSS AND VALVE. ALL PLUGS ARE TO BE CONNECTED TO VALVES EXCEPT WHERE SHOWN ON PLANS. PLUGS SHALL BE TAPPED WITH A 3/4" SHUT OFF VALVE FOR RELEASE OF AIR AND FOR FLUSHING.
- ALL VALVES AND FIRE HYDRANTS SHALL HAVE RIGHT HAND (CLOCKWISE) OPENING DIRECTION.
- GATE VALVES SHALL HAVE RESILIENT SEATS RATHER THAN BRASS SEATS. OPERATING RODS SHALL HAVE O-RING WATER SEALS RATHER THAN PACKING GLANDS.
- ALL FIRE HYDRANTS IN SINGLE FAMILY RESIDENTIAL DISTRICTS SHALL BE MUELLER CENTURION 250 MODEL A-423 WITH 5-1 1/4" MAIN VALVE OPENING WITH ONE 5" STORTZ OUTLET WITH CAP AND 2 2-1/2" OUTLETS WITH CITY OF DAYTON THREADS.
- ALL FIRE HYDRANTS IN MULTI FAMILY RESIDENTIAL AND COMMERCIAL DISTRICTS SHALL BE MUELLER CENTURION 200 MODEL A-425 WITH 5-1 1/4" MAIN VALVE OPENING TWO WAY WITH ONE 4" STORTZ OUTLET WITH CAP AND ONE 5" STORTZ OUTLET WITH CAP. OPERATING NUT TO BE A 1" SQUARE.
- THE FIRE HYDRANT BREAKAWAY FLANGE SHALL BE LOCATED 4" ABOVE THE TOP OF CURB.
- FIRE HYDRANTS SHALL BE PRIMED WITH RED OXIDE PRIMER AND PAINTED WITH TWO (2) COATS OF RED ENAMEL FROM THE BREAK-AWAY FLANGE TO THE TOP OF THE HYDRANT. LOWER SECTIONS OF THE HYDRANT, INCLUDING THE BARREL SHALL BE PAINTED WITH AN ASPHALTUM PAINT.
- WATER SERVICE LINES SHALL BE 1" TYPE K COPPER PER CITY STANDARDS. METER YOKES AND METER VAULTS SHALL BE PER MONTGOMERY COUNTY STANDARDS.
- BOLLARDS, WHERE REQUIRED, SHALL BE CONCRETE FILLED 8" DIAMETER POSTS WITH FOUNDATIONS SET 42" BELOW GRADE IN A CONCRETE FILLED EXCAVATION.
- ALL HYDRANTS SHALL HAVE CITY OF DAYTON THREADS RATHER THAN NATIONAL STANDARD THREADS EXCEPT FOR THE STREAMER CONNECTION WHICH SHALL BE A STORTZ FITTING.

SANITARY SEWER NOTES:

- THE CONTRACTOR SHALL BE QUALIFIED TO CONSTRUCT SANITARY SEWERS. ALL SUCH WORK SHALL BE CONSTRUCTED ACCORDING TO CITY OF HUBER HEIGHTS SPECIFICATIONS.
- SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC S3034 SDR 26.
- SANITARY SEWER PIPE JOINTS SHALL CONFORM TO ASTM D 3212 FOR PVC.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- NO CONSTRUCTION SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN ISSUED.
- ALL UTILITY TRENCHES WITHIN THE EXISTING OR PROPOSED STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL CONFORMING TO ODOT 310 IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
- NO ADDITIONS, DELETIONS OR REVISIONS TO THE SANITARY SEWER ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF HUBER HEIGHTS.
- WATER LINES CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDES OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUIDISTANT AND AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWERS, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
- ALL SERVICE LATERALS SHALL BE PVC SCHEDULE 40 AND ARE TO BE INSTALLED FROM MAIN TO RIGHT OF WAY OR EASEMENT BEFORE STREETS ARE SURFACED.
- ALL MANHOLES SHALL BE PRECAST IN ACCORDANCE WITH CITY STANDARDS. MANHOLE STEPS SHALL BE PLASTIC. ALL MANHOLE FRAMES AND LIDS SHALL BE DUCTILE IRON TRAFFIC BEARING WITH VENT HOLES TO BE AT THE OPTION OF THE CITY ENGINEER.



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GREY FOX CAPITAL

CREEKSIDE
WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

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Checked By: JEE

Date: FEBRUARY, 2025

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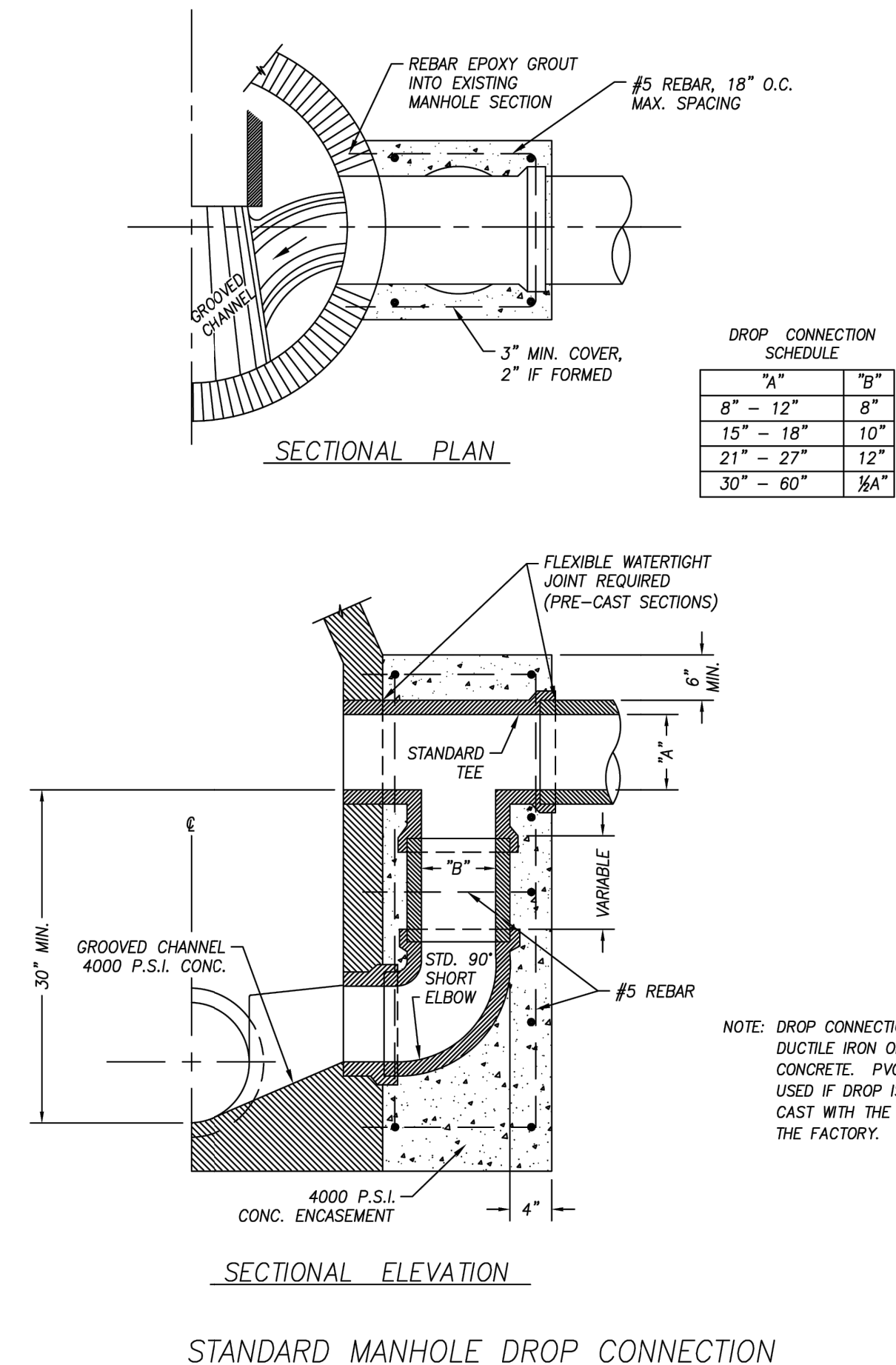
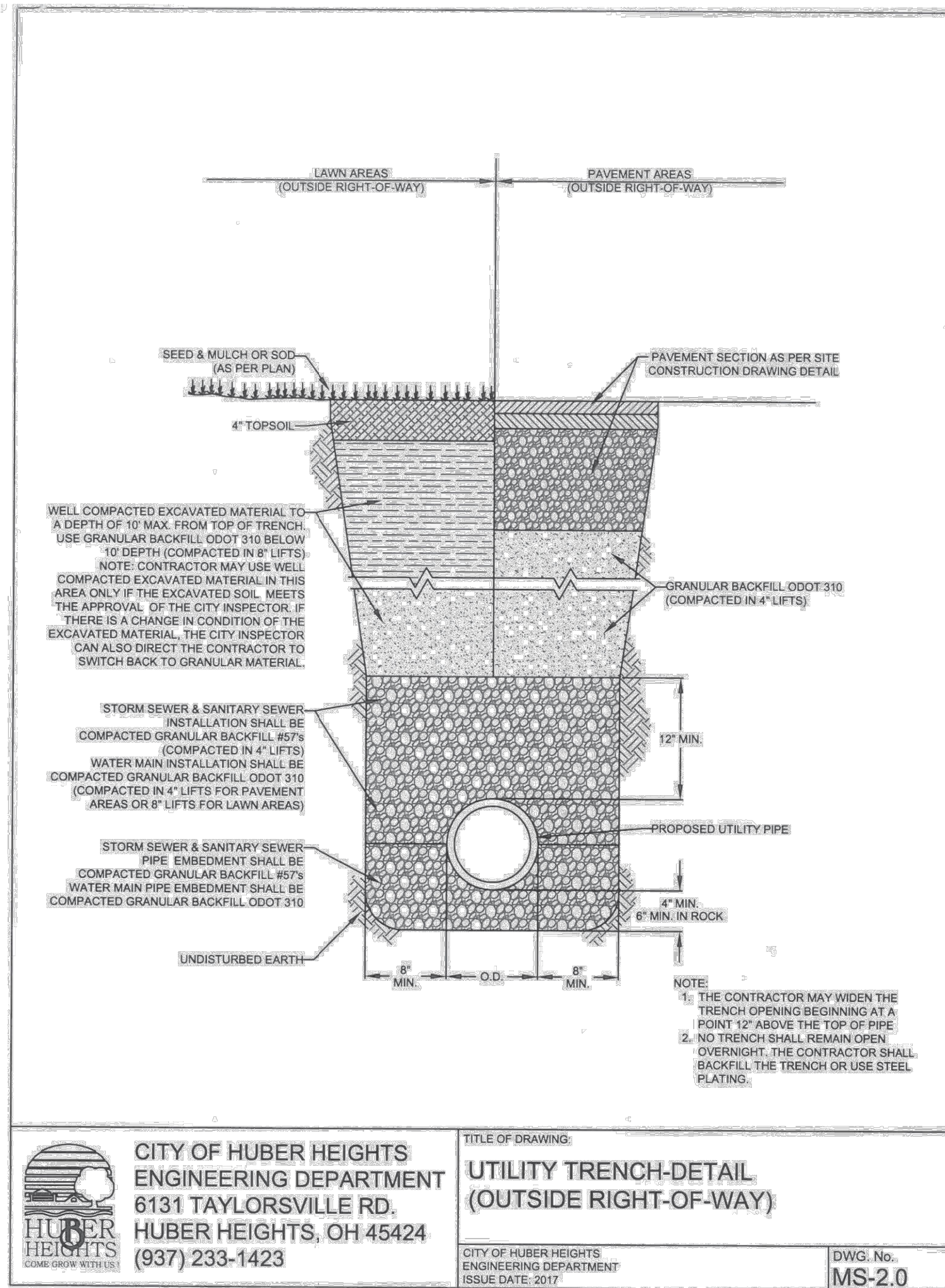
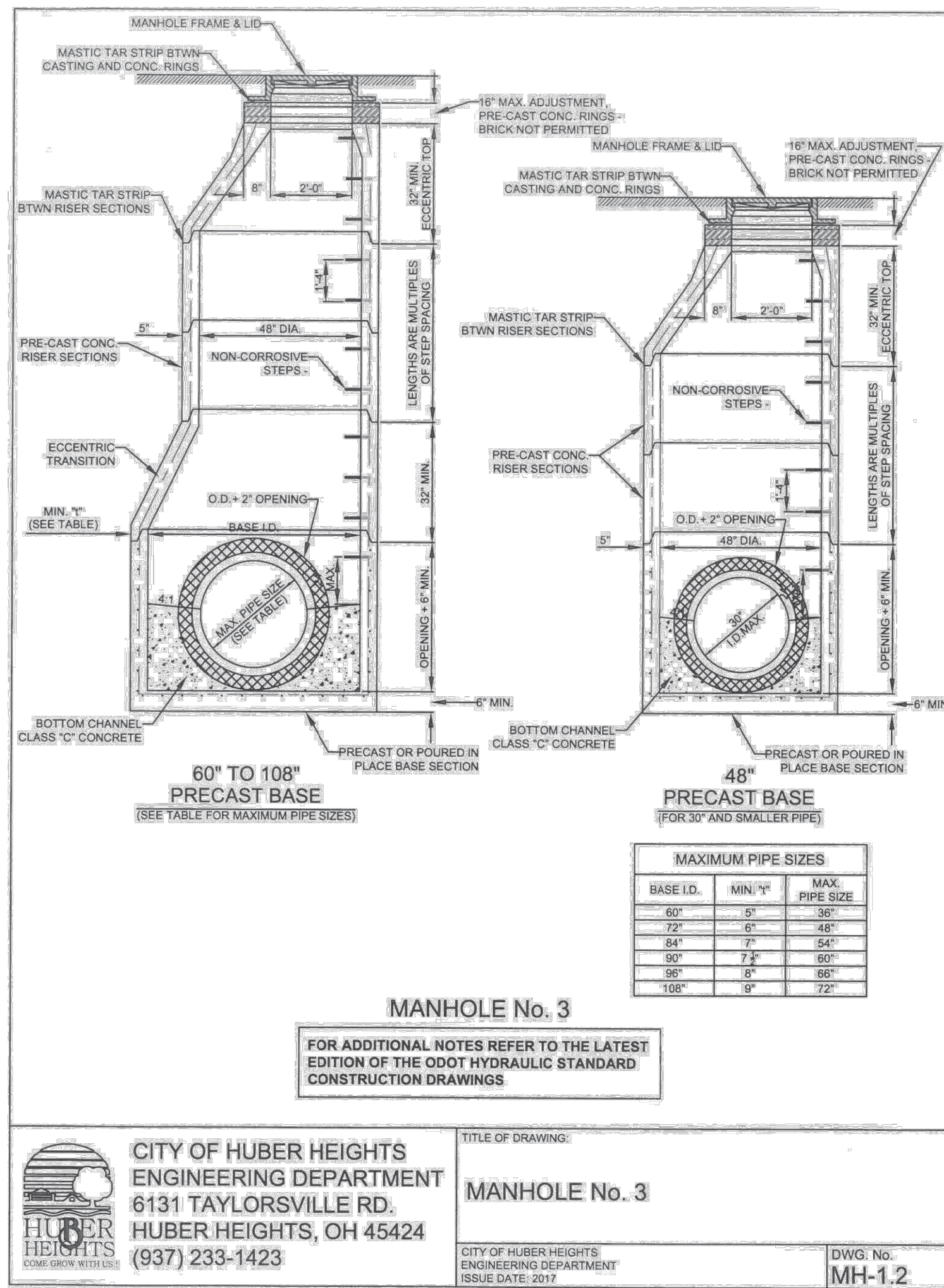
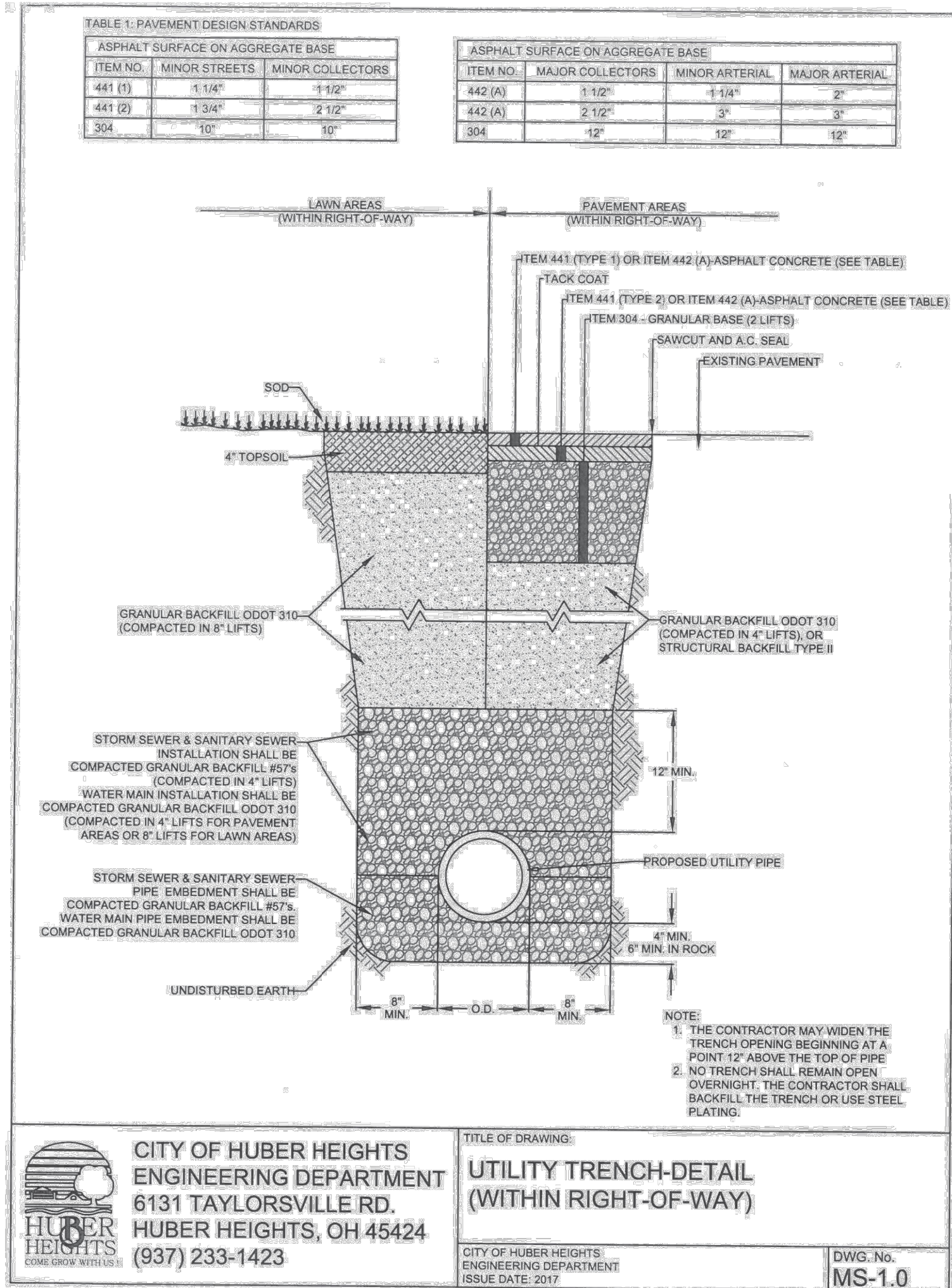
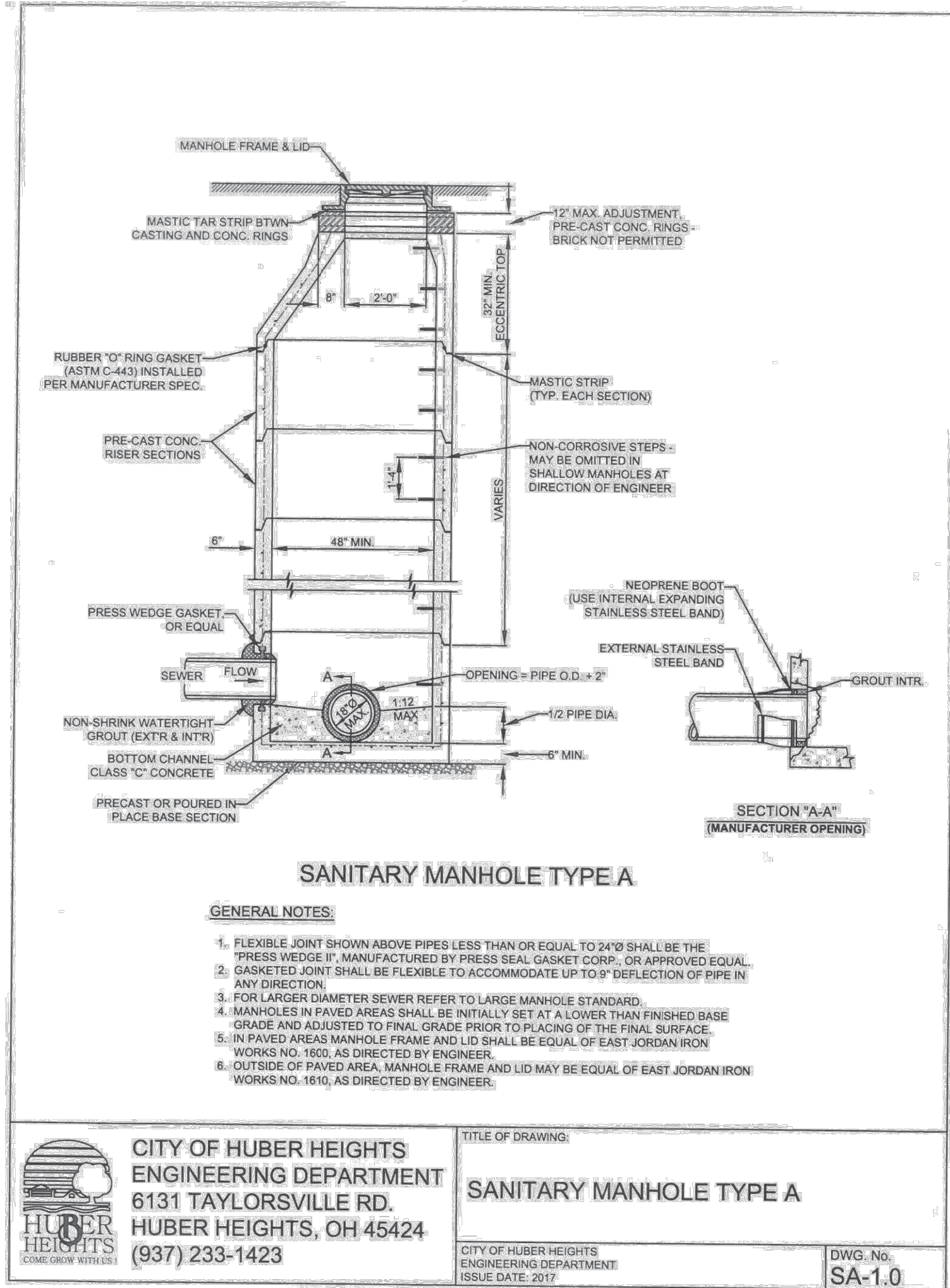
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GENERAL NOTES

Forty-eight (48) hours before digging is to commence, the contractors shall notify the following agencies: State Utilities Protection Service at 811 or 1-800-362-2764 and all other agencies which might have underground utilities involving this project and are nonmembers of Ohio Utilities Protection Service



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Ohio Utilities Protection Service
Call 811
before you dig

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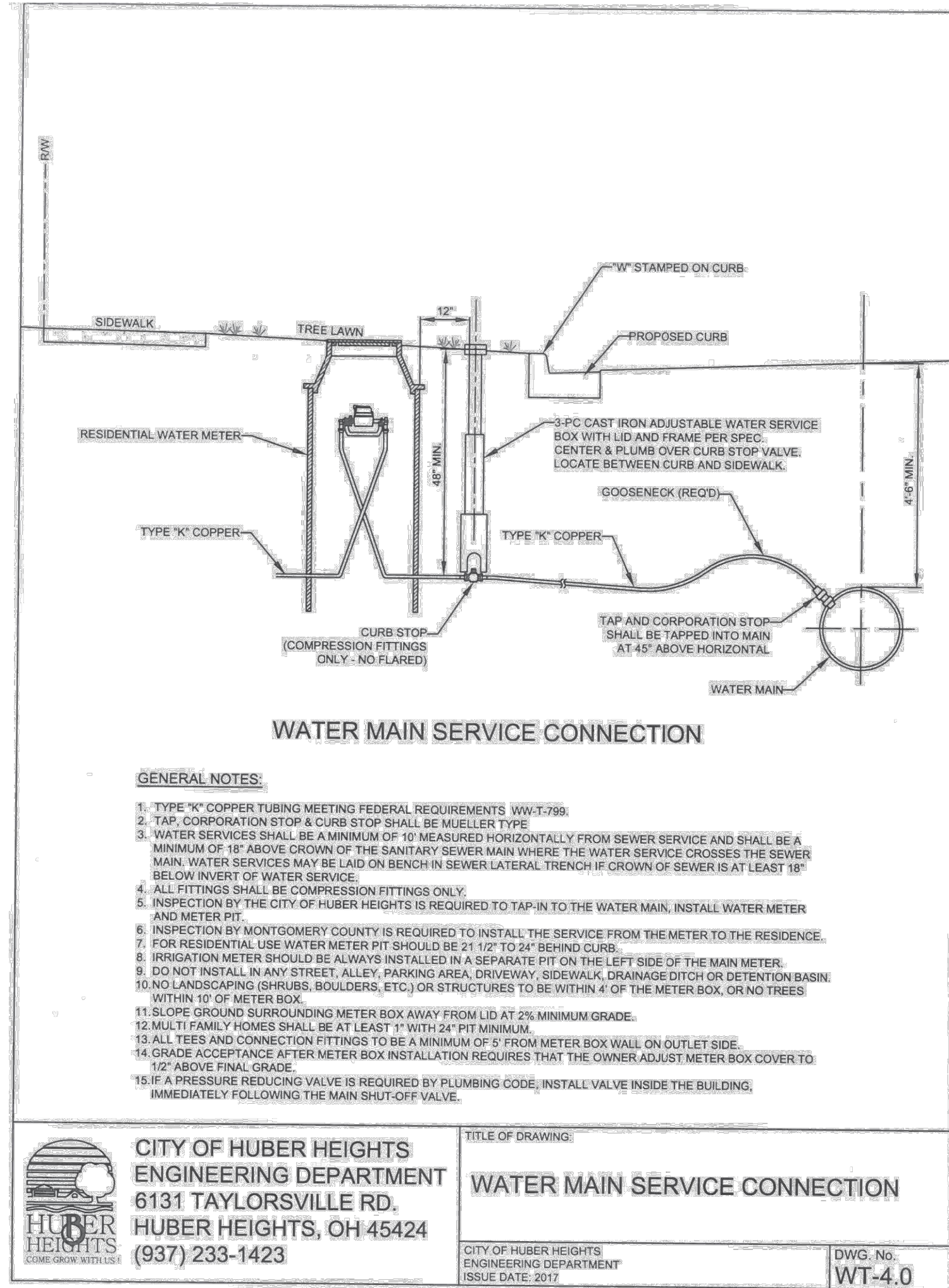
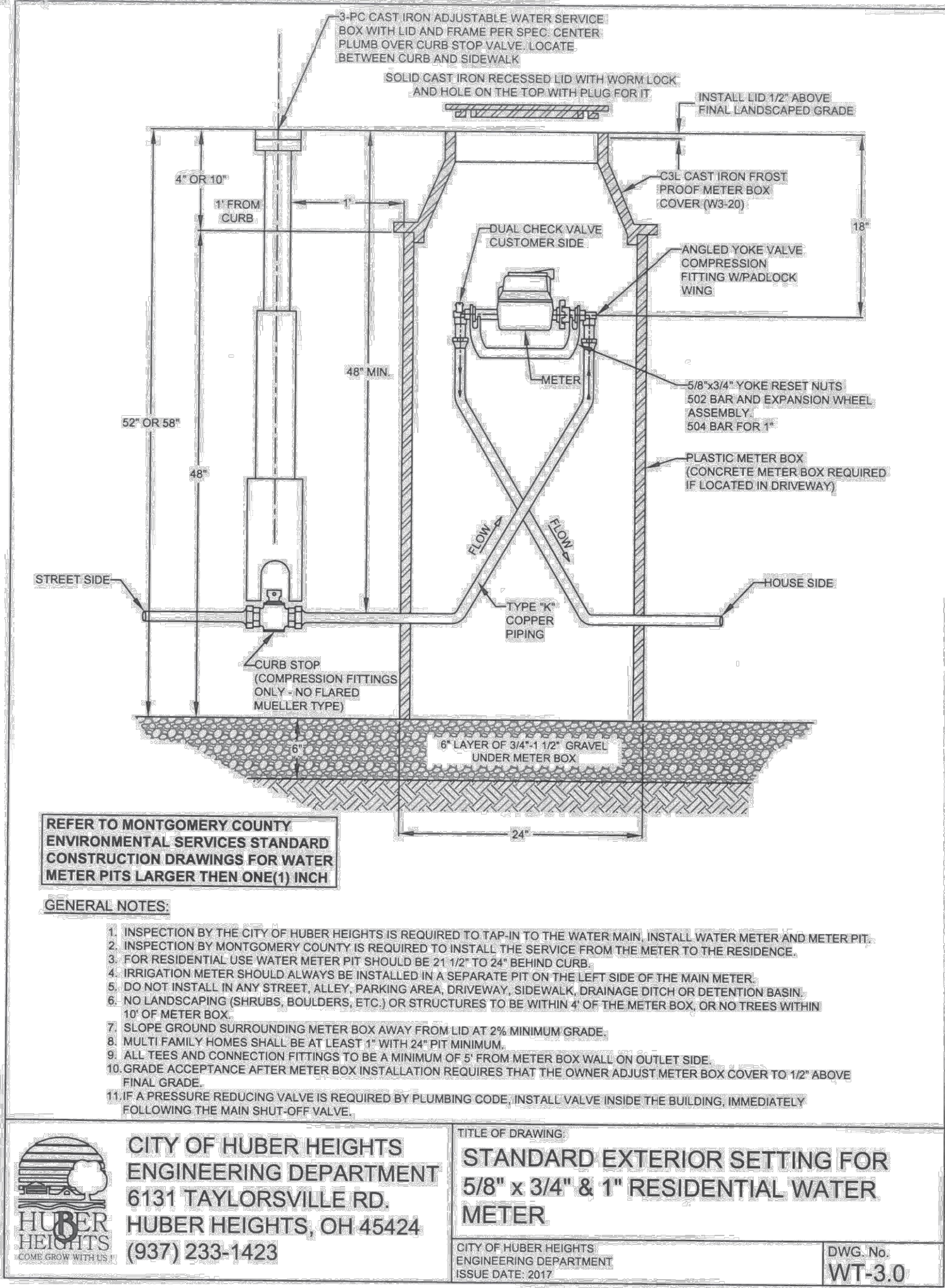
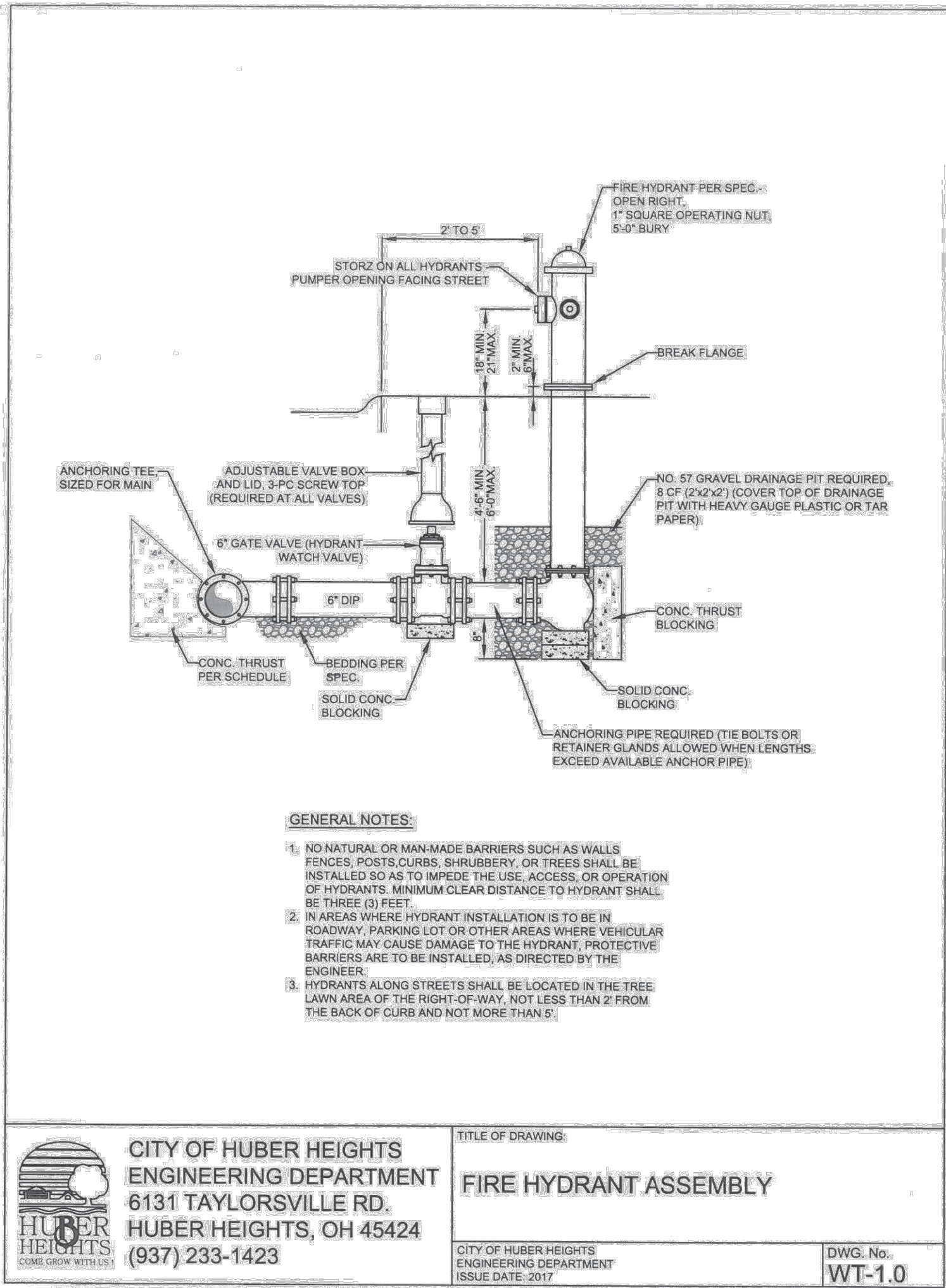
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Drawing Title:
SANITARY DETAILS

4

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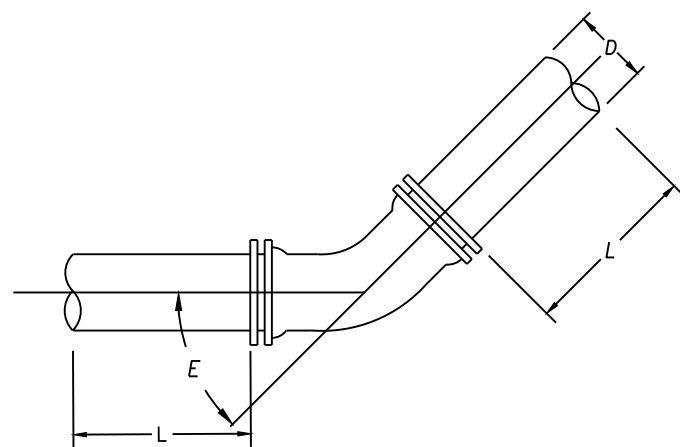


"E"	10°	4°	6°	8°	10°	12°	16°	20°	24°
11 1/4"	0	*	*	*	*	*	5'	5'	6'
22 1/2"	0	*	2'	3'	5'	6'	8'	10'	12'
45°	0	4'	8'	12'	14'	20'	30'	36'	45'
90°	0	12'	26'	38'	48'	66'	98'	125'	145'

TABLE FOR "L" (IN FEET)
REQUIRED LENGTH OF RESTRAINED JOINTS

* "D" - INSIDE DIAMETER OF PIPE
"E" - DEGREE OF DEFLECTION

* REQUIRED RESTRAINED JOINT
AT FITTING ONLY



RESTRAINED JOINT LENGTHS
FOR WATER MAINS

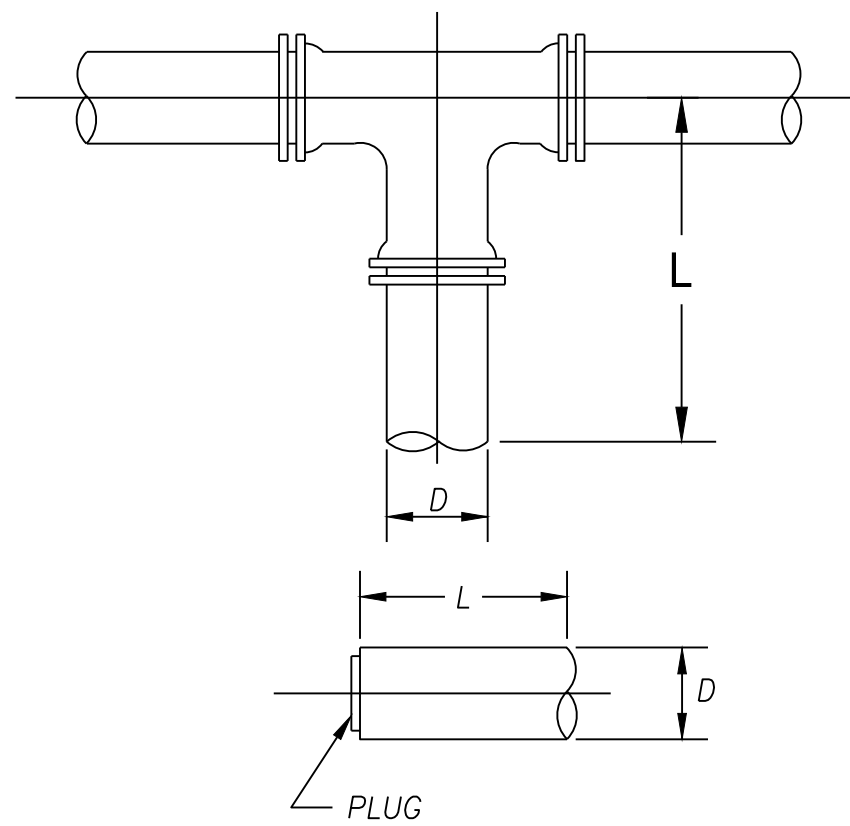
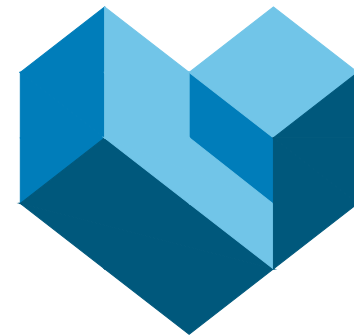


TABLE FOR L (FEET)
REQUIRED LENGTH OF RESTRAINED JOINTS
D - DIAMETER OF PIPE

D	4"	6"	8"	10"	12"	16"	20"	24"
L	34	49	64	79	94	124	154	184

JOINT RESTRAINT FOR DEAD END
VALVES, PLUGS, CAPS, AND TEES



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WATER DETAILS

FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: STATE UTILITIES PROTECTION SERVICE AT 811 OR 1-800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

Ohio Utilities Protection Service
Call 811
before you dig

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TRI-CITIES NORTH REGIONAL
WASTEWATER AUTHORITY
DEED 1983-00318C009
PARCEL P70 04010 0016
ZONING: A

FAIRBORN CEMENT
COMPANY LLC
DEED 2017-00019762
PARCEL P70 04010 0019
ZONING: A

WRIGHT WAY
OHIO LLC
DEED
2023-00055651
PARCEL
P70 04010 0008
ZONING: A

CITY OF HUBER HEIGHTS
PARCEL P70 02025 0012
ZONING: A

STUDEBAKER DAVID C
DEED 2020-00009464
PARCEL P70 04006 0002
ZONING: R-2

DORIS M STUDEBAKER
DEED 2002-00063C009
PARCEL P70 04006 0106
ZONING: I-1

DAVID SCOTT & SUSAN MCCOY
PARCEL P70 04006 0107
ZONING: R-2

HUBER COURTYARD
HOMES ASSN
DEED 1983-00138B005
PARCEL P70 01121 0056
ZONING: R-6

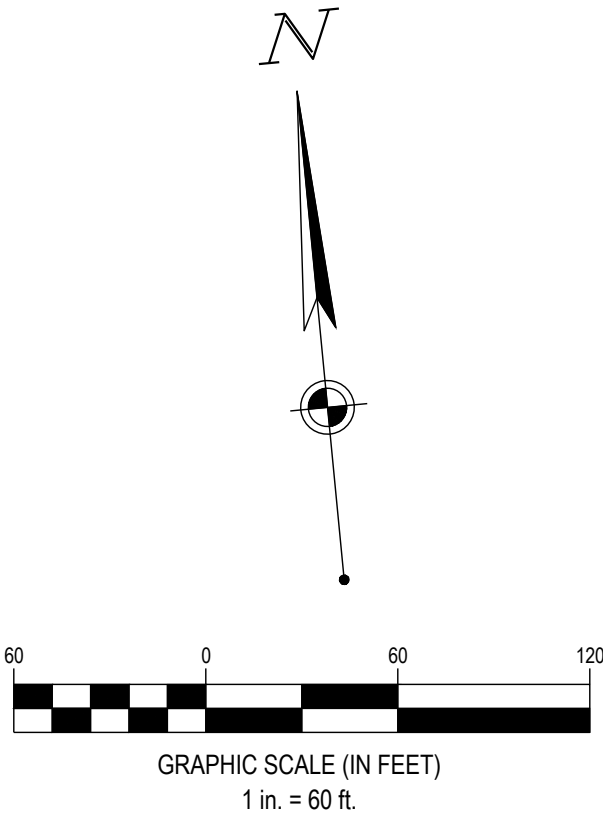
KETTERING HEALTH
NETWORK
DEED 1998-00416A009
PARCEL P70 02001 0001
ZONING: PP

LOWE'S HOME CENTERS INC.
DEED 1998-00822B003
PARCEL P70 04006 0155
ZONING: PC

TEMPORARY TURNAROUND TO BE
REMOVED AND TEMPORARY EASEMENT
TO BE VACATED ONCE SECONDARY
ACCESS HAS BEEN ESTABLISHED

LEGEND

- | | |
|--|-------------------------------|
| | SUBJECT BOUNDARY |
| | EXISTING PROPERTY LINE |
| | EXISTING RW |
| | EXISTING CENTERLINE |
| | EXISTING FACE OF CURB |
| | EXISTING BACK OF CURB |
| | EXISTING STORM SEWER |
| | EXISTING SANITARY SEWER |
| | EXISTING WATER MAIN |
| | EXISTING STORM STRUCTURE |
| | EXISTING SANITARY SEWER |
| | EXISTING WATER MAIN |
| | EXISTING INDEX CONTOUR |
| | EXISTING INTERMEDIATE CONTOUR |
| | EXISTING STREAM |



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**EXISTING
CONDITIONS**



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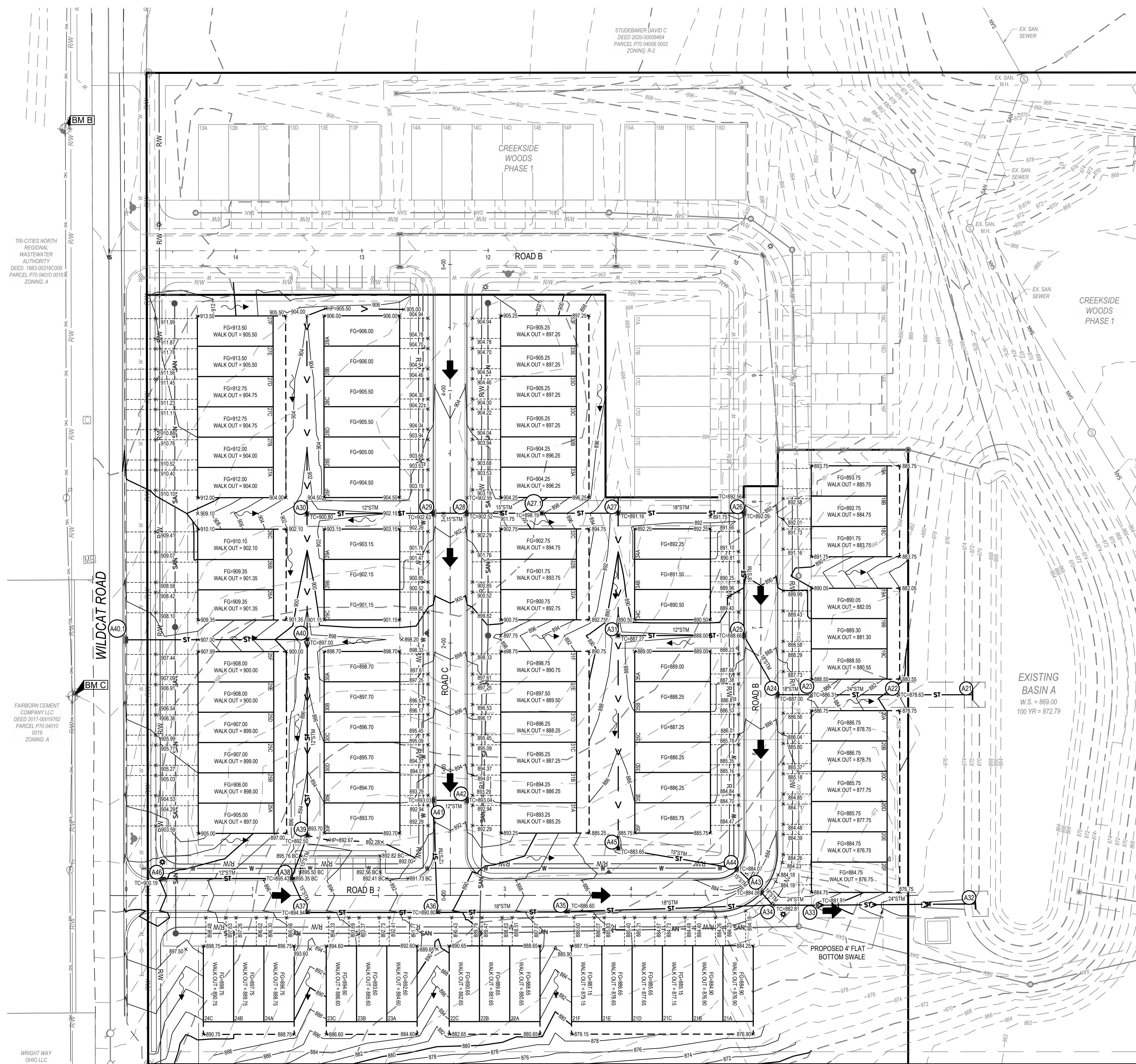
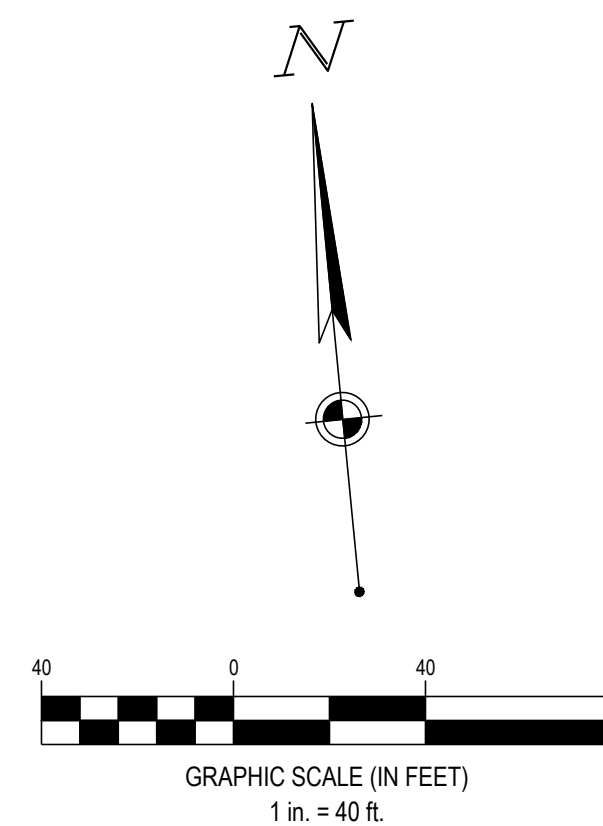
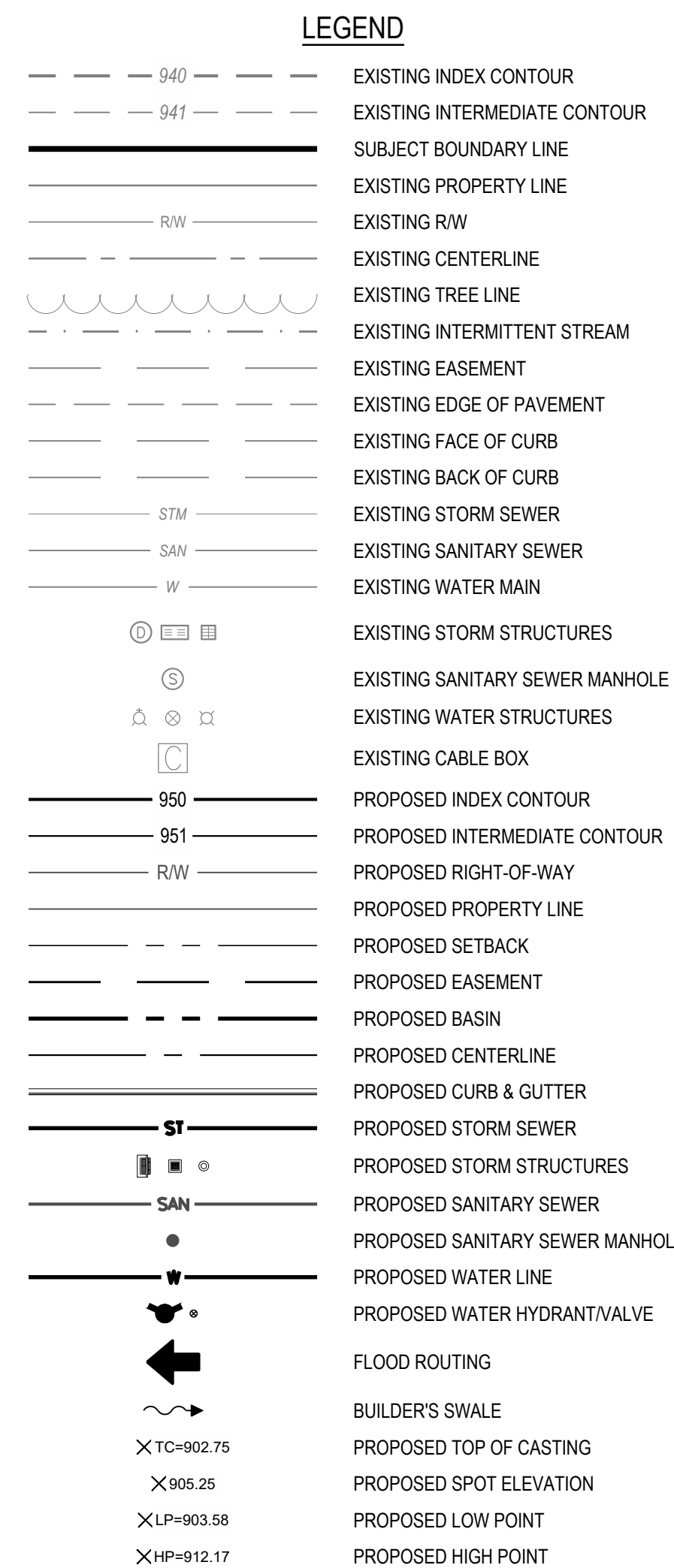
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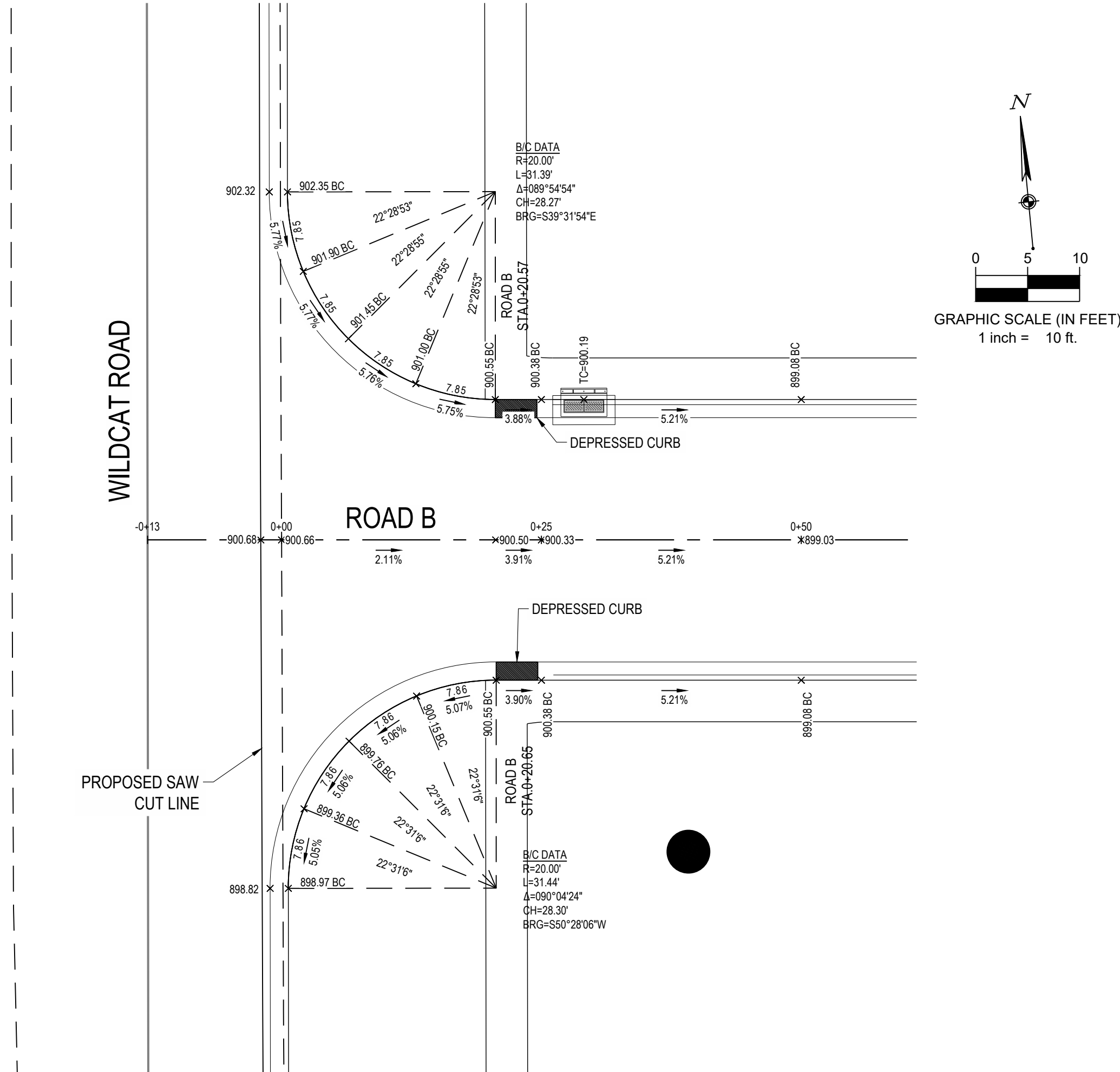
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**OVERALL GRADING
PLAN**

7

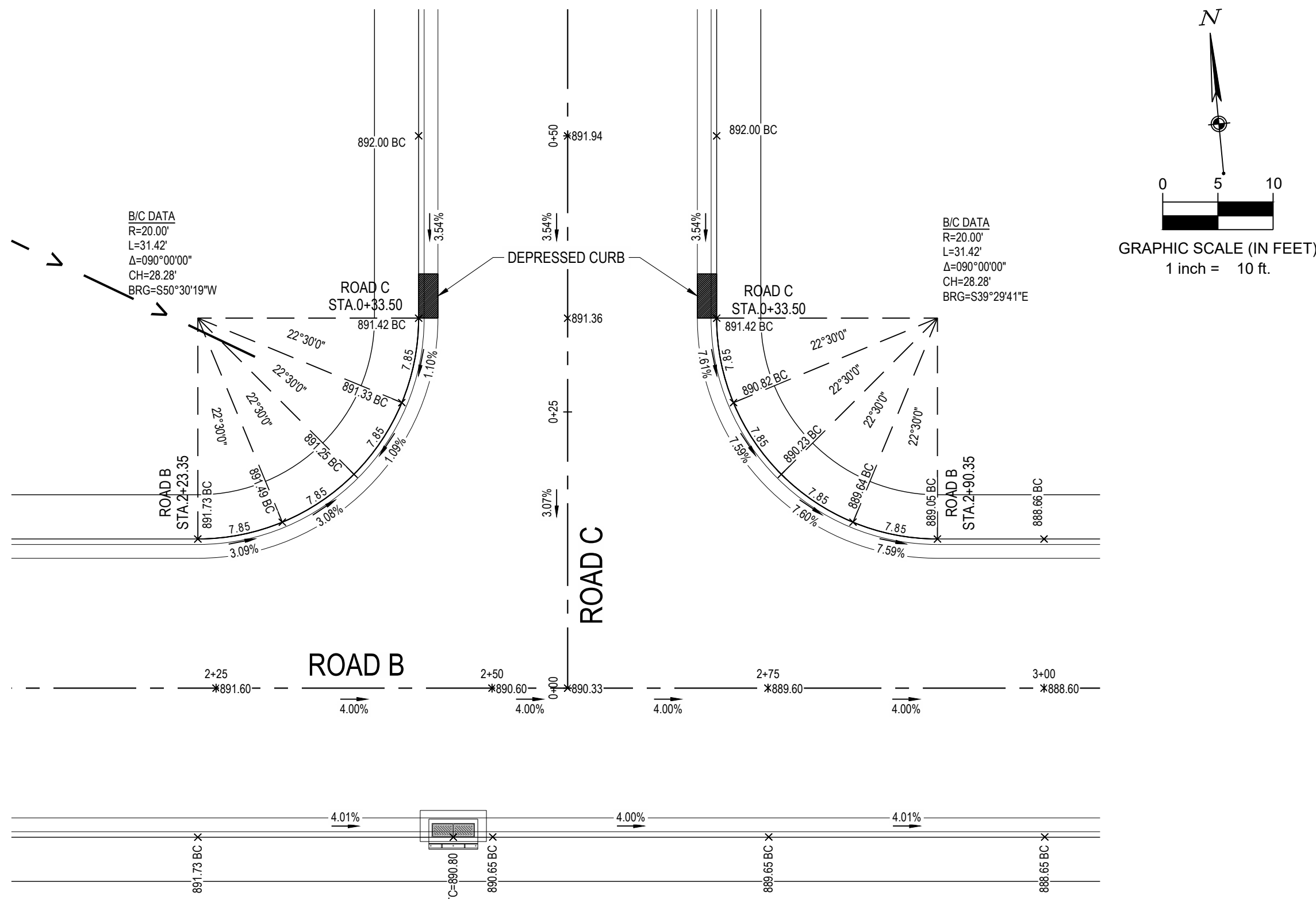


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INTERSECTION DETAIL
WILDCAT ROAD SOUTH & ROAD B



INTERSECTION DETAIL
ROAD B SOUTH & ROAD C

BC	BACK OF CURB
EP	EDGE OF PAVEMENT
RW	RIGHT-OF-WAY
VC	VERTICAL CURVE
TC	TOP OF CASTING
HP	HIGH POINT
→	PROPOSED SLOPE
× 910.27	PROPOSED SPOT ELEVATION
× 910.21 BC	PROPOSED BACK OF CURB ELEVATION
× 910.16 G	PROPOSED GUTTER ELEVATION
× 910.12 EP	PROPOSED EDGE OF PAVEMENT ELEVATION
▨	PROPOSED DETECTABLE WARNING MAT

LEGEND



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Revisions / Submissions

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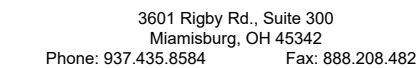
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Drawing Title:

INTERSECTION
DETAILS



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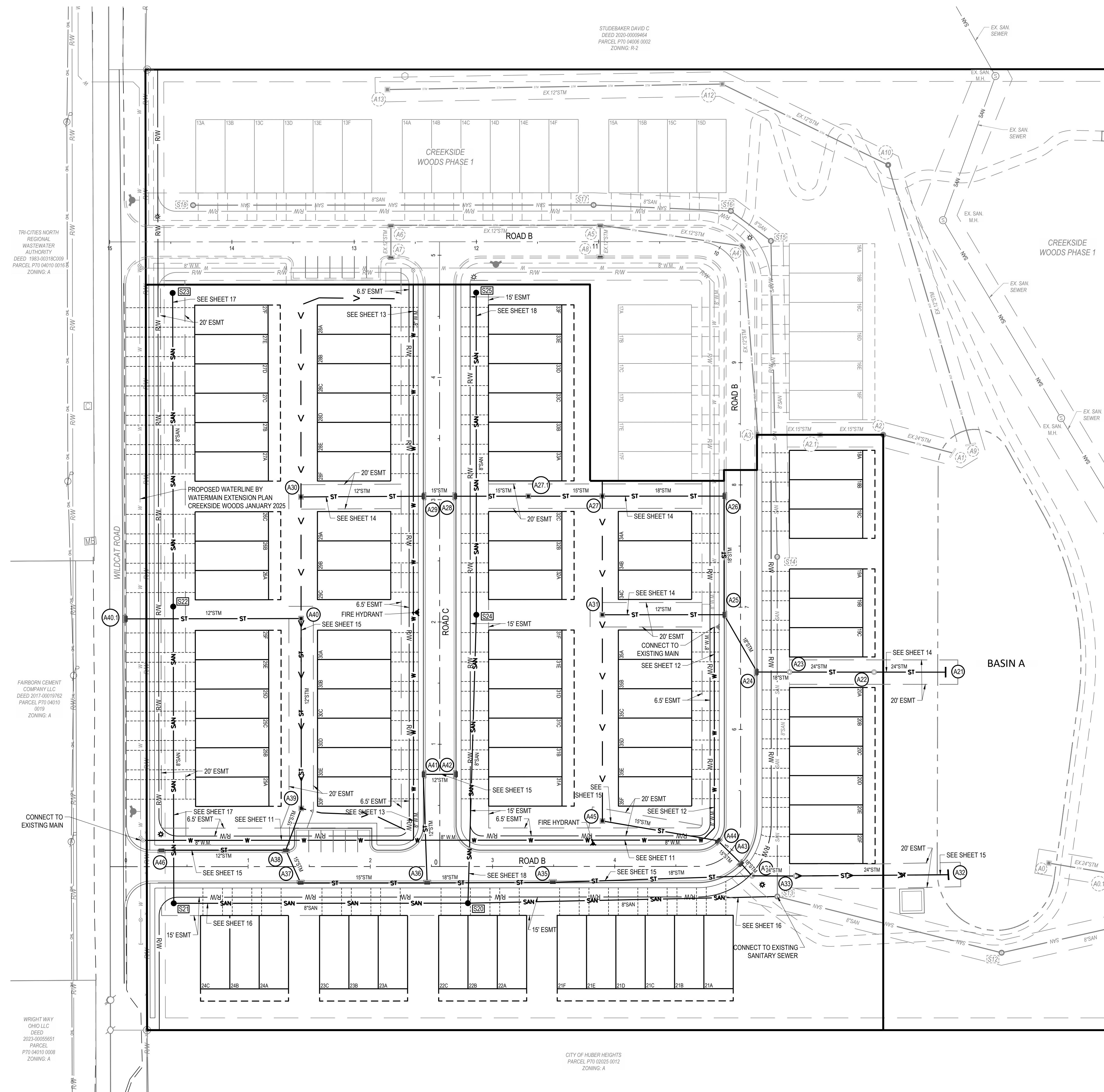
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OVERALL UTILITY

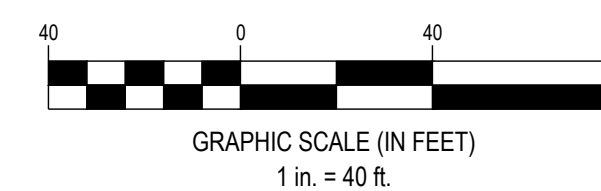
OVERALL UTILITY PLAN

9



LEGEND

	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING R/W
	EXISTING CENTERLINE
	EXISTING FACE OF CURB
	EXISTING BACK OF CURB
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM STRUCTURES
	EXISTING SANITARY STRUCTURES
	EXISTING WATER STRUCTURES
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB & GUTTER
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT/VALVE



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CHARLESGATE RD & WILDCAT RD
HUIRER HEIGHTS OH 45424

Revisions / Submissions

ID	Description	Date
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Project Number: 765054

Scale: AS SHOWN

Drawn By: JH

Checked By: JEE

Date: FEBRUARY, 2025

Issue: FINAL DEVELOPMENT

Drawing Title:

Drawing Title:
OVERALL SITE PLAN

OVERALL SITE PLAN

10

10

10

CENTERLINE CURVE TABLE						
CURVE #	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA	TANGENT
C1	35.00'	54.98'	49.50'	S50° 30' 19"W	090° 00' 00"	35.00'

CODED NOTES














- 1 TYPICAL DRIVEWAY (SEE DETAIL, SHEET 3).
- 2 4' WIDE SIDEWALK (SEE DETAIL, SHEET 3).
- 3 CURB AND GUTTER (SEE DETAIL, SHEET 3).
- 4 CURB RAMP SECTION (SEE DETAIL, SHEET 3).

40 0 40

GRAPHIC SCALE (N FEET)

1 in. = 40 ft.

LEGEND

	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
 R/W	EXISTING R/W
	EXISTING CENTERLINE
	EXISTING FACE OF CURB
	EXISTING BACK OF CURB
 R/W	PROPOSED RIGHT-OF-WAY
	EXISTING STREAM
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB & GUTTER

★

CREEKSIDE
TOWNHOMES PHASE 1

STUDEBAKER DAVID C
DEED 2020-00009464
PARCEL P70 04006 0002
ZONING: R-2

TRI-CITIES NORTH
REGIONAL
WASTEWATER
AUTHORITY
DEED 1983-00318C00
PARCEL P70 04010 00
ZONING: A

FAIRBORN CEMENT
COMPANY LLC
DEED 2017-0001976
PARCEL P70 04010
0019
ZONING: A

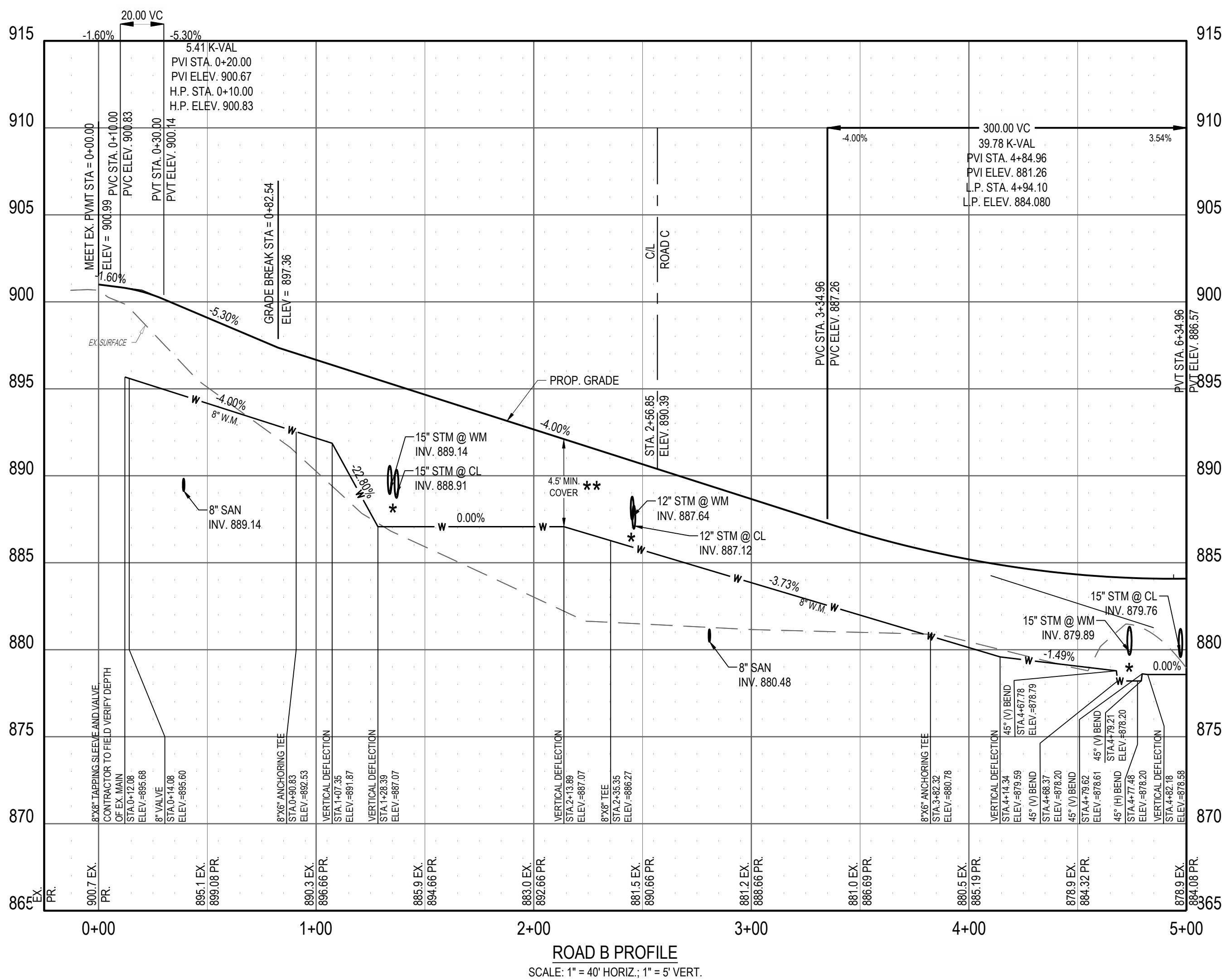
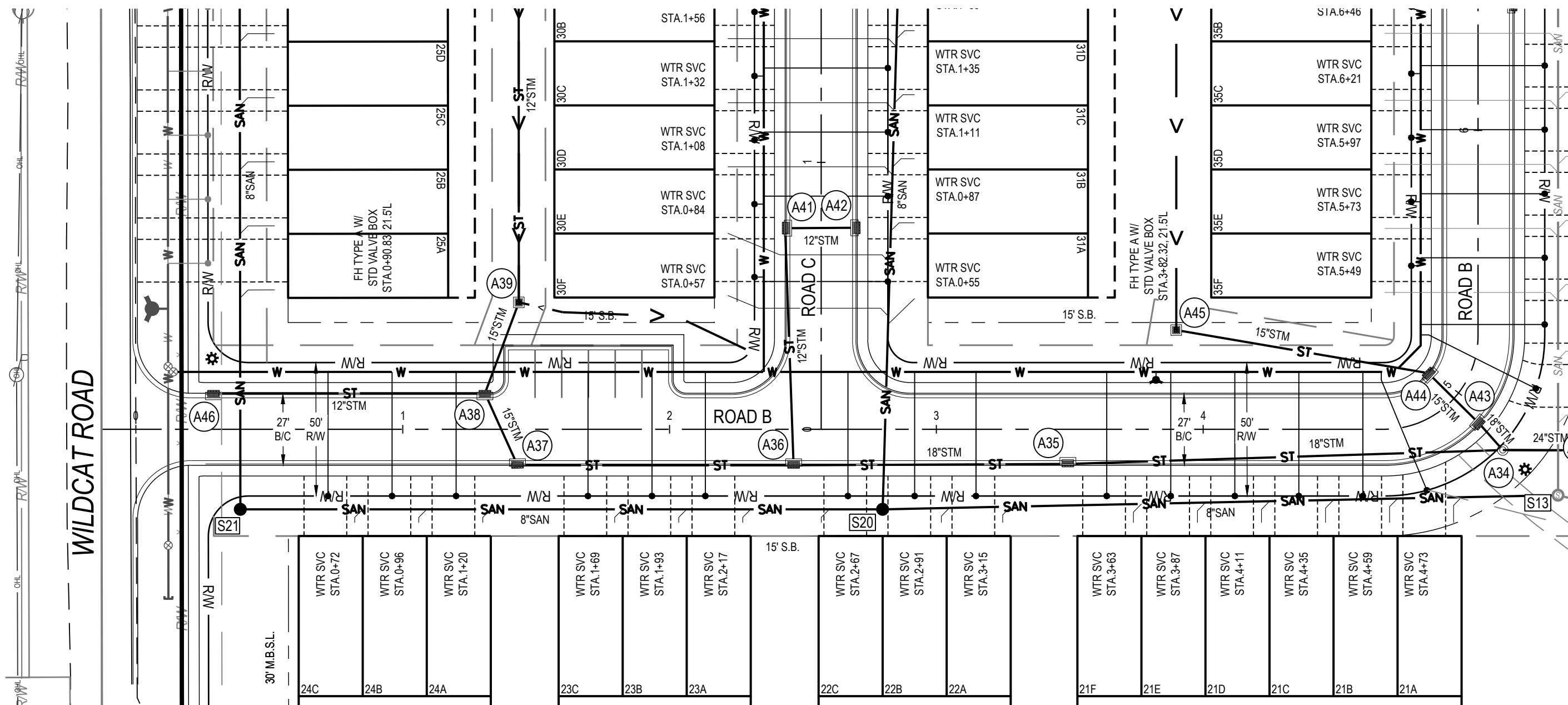
SEE INTERSECTI

WRIGHT WAY
OHIO LLC
DEED
2023-00055651
PARCEL
P70 04010 0008
ZONING: A

CITY OF HUBER HEIGHTS
PARCEL P70 02025 0012
ZONING: A

BASIN A

EXISTING GAZEBO AND
CONCRETE PAD INSTALLED IN
PHASE 1 CONSTRUCTION

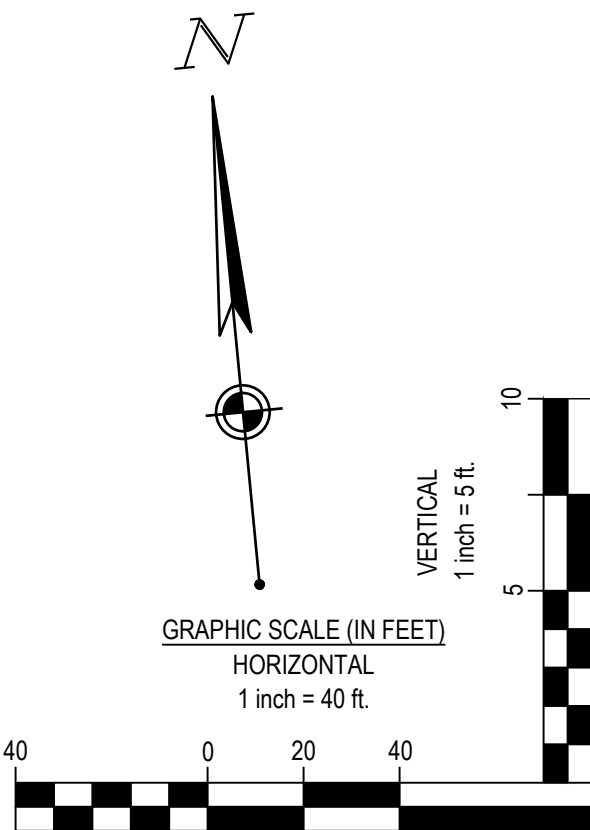


NOTES:

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- ALL ELEVATIONS SHOWN ON THIS PLAN ARE NAVD 88.
- ALL EXISTING ELEVATIONS ARE PER SURVEY PERFORMED BY CESO, INC. UNLESS OTHERWISE NOTED.
- ALL FITTINGS SHALL BE LEAD FREE.
- WATERLINE SHALL BE BACKFILLED WITH 4.5' OF COVER PRIOR TO TESTING.
- EXISTING TOPSOIL SHALL BE REMOVED. ALL FILLS SHALL BE PLACED WITH APPROVED MATERIAL PRIOR TO THE INSTALLATION OF ANY UTILITIES.
- 10' OF HORIZONTAL SEPARATION AND 18" OF VERTICAL SEPARATION, MEASURED OUTSIDE-TO-OUTSIDE, IS REQUIRED TO BE MAINTAINED BETWEEN ALL WATER MAINS AND STORM OR SANITARY SEWERS.
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- MINIMUM COVER OVER THE WATERLINE SHALL BE MEASURED BETWEEN THE PROPOSED PROFILE GRADE AND THE OUTSIDE TOP OF PIPE.

LEGEND

	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RW
	EXISTING CENTERLINE
	EXISTING EASEMENT
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM STRUCTURE
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	PROPOSED PHASE LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB AND GUTTER
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE
	PROPOSED HYDRANT/VALVE



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Phone: 937.435.8584 Fax: 888.208.4826

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GREY FOX CAPITAL

CREEKSIDE WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

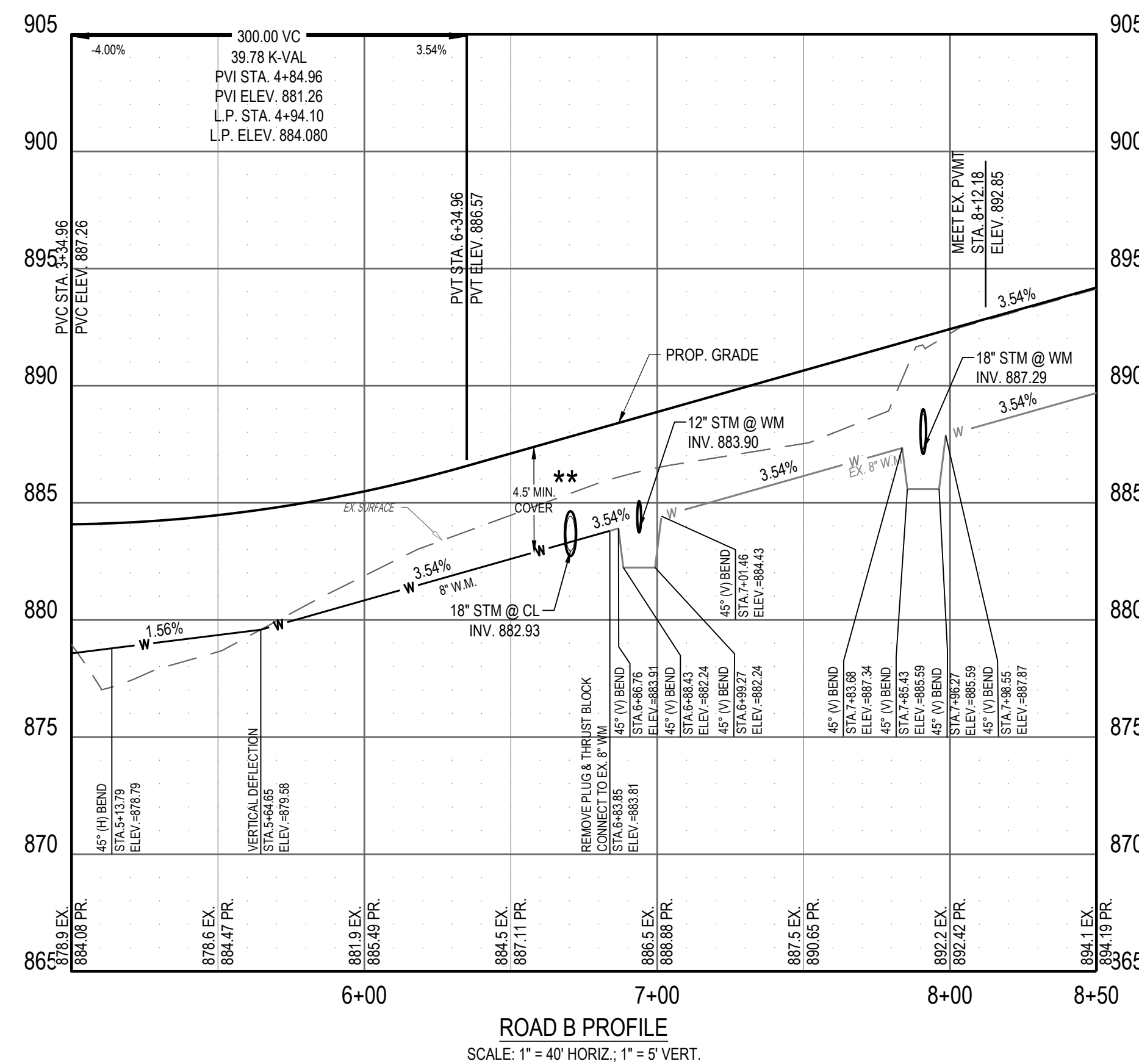
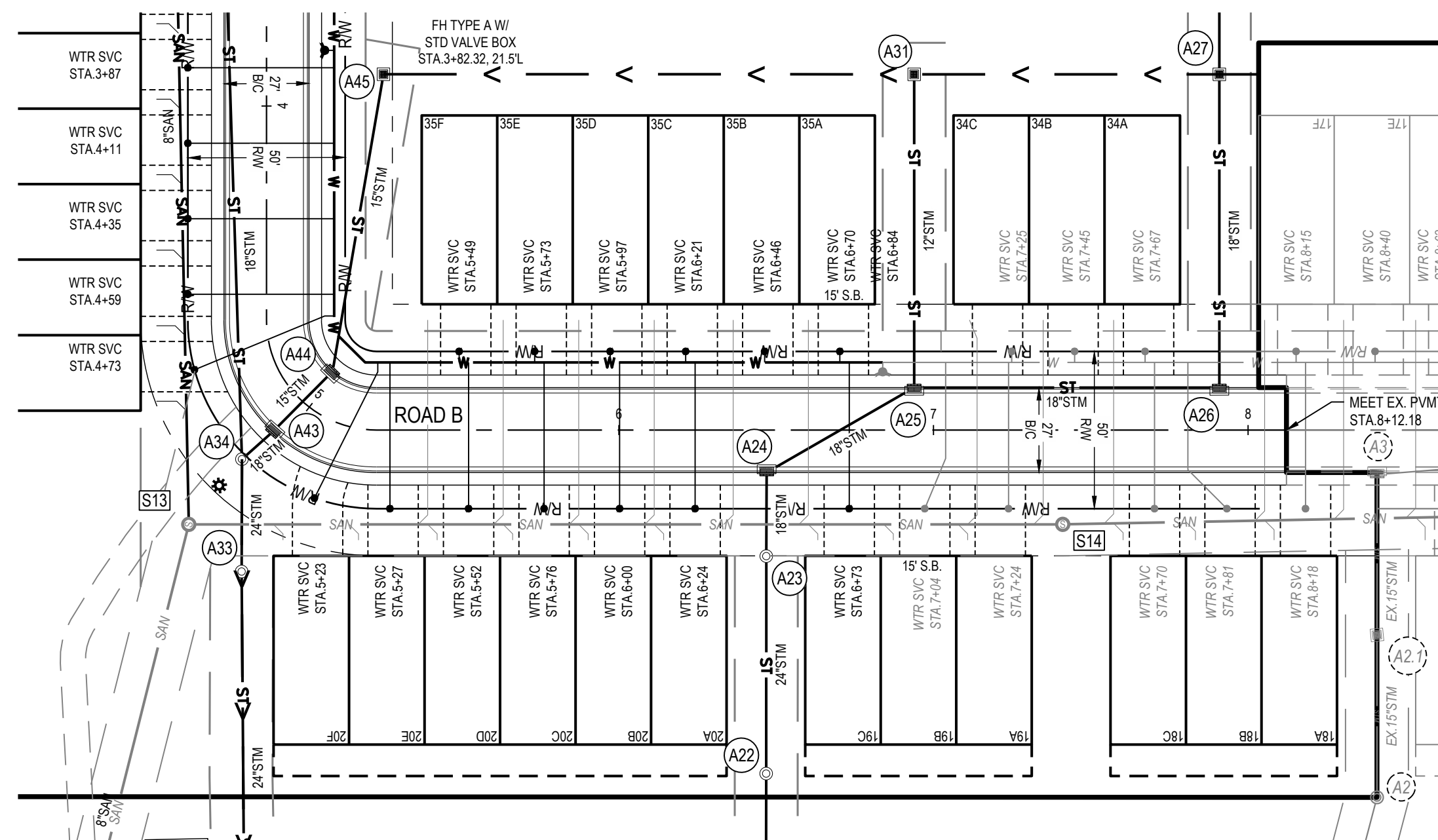
Revisions / Submissions

ID	Description	Date
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Project Number: 765054
Scale: AS SHOWN
Drawn By: JH
Checked By: JEE
Date: FEBRUARY, 2025
Issue: FINAL DEVELOPMENT

Drawing Title:
ROAD PLAN AND PROFILE

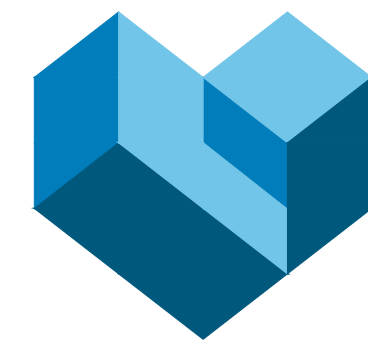
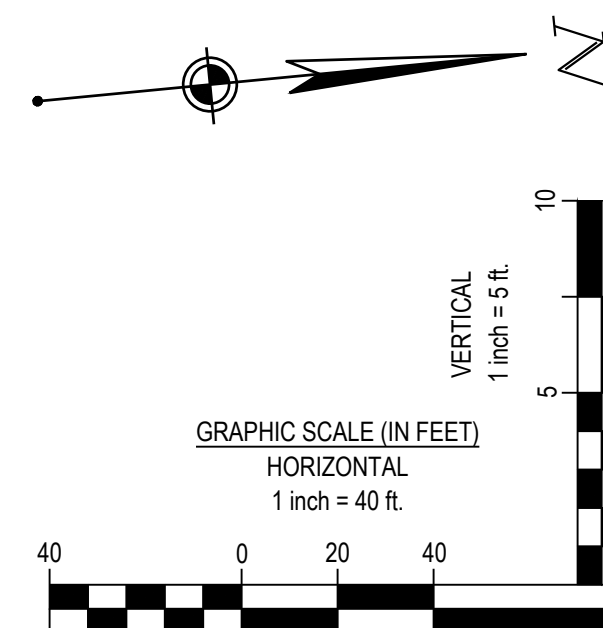


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LEGEND

	SUBJECT PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING R/W
	EXISTING CENTERLINE
	EXISTING EASEMENT
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM STRUCTURE
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	PROPOSED PHASE LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB AND GUTTER
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE
	PROPOSED HYDRANT/VALVE



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CREEKSIDE WOODS PHASE 2

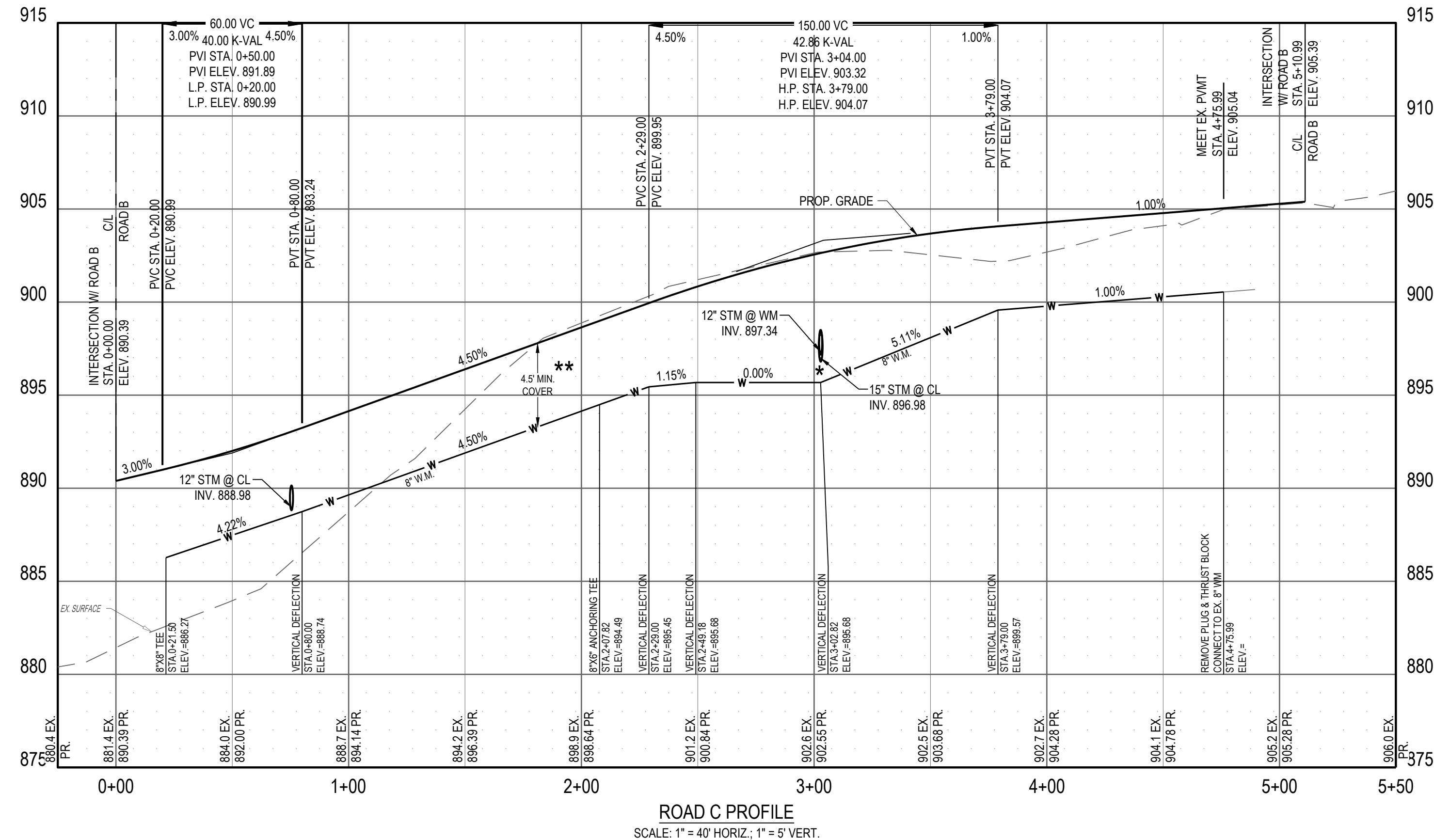
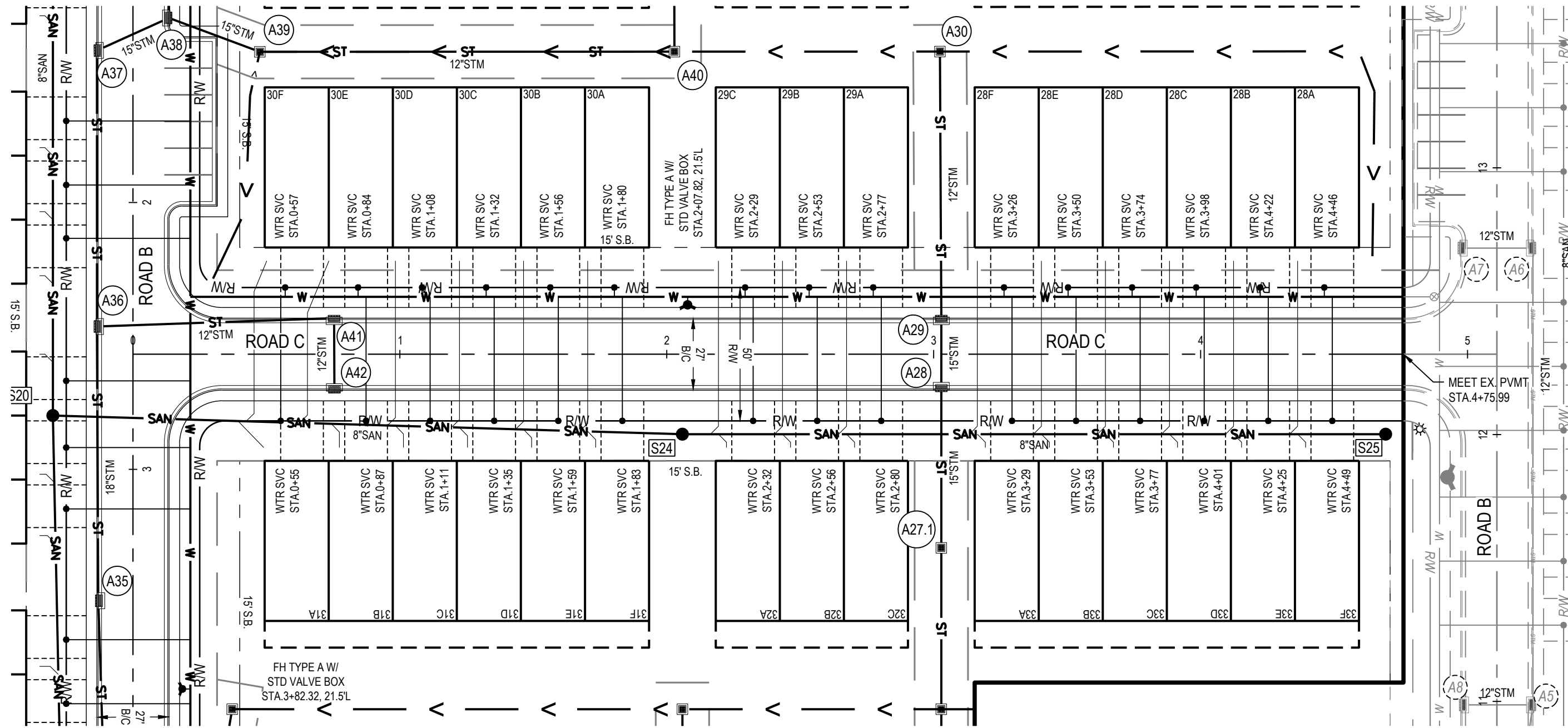
CHARLESGATE RD & WILDCAT RD
HUBER HEIGHTS OH 45424

Revisions / Submissions		
ID	Description	Date

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Project Number:	765054
Scale:	AS SHOWN
Drawn By:	JH
Checked By:	JEE
Date:	FEBRUARY, 2025
Issue:	FINAL DEVELOPMENT

Drawing Title:
**ROAD PLAN AND
PROFILE**

12



NOTES:

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LEGEND

	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RW
	EXISTING CENTERLINE
	EXISTING EASEMENT
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM STRUCTURE
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN BOX
	PROPOSED PHASE LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB AND GUTTER
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE
	PROPOSED HYDRANT VALVE



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GREY FOX CAPITAL

CREEKSIDE
WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

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Project Number: 765054

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Drawn By: JH

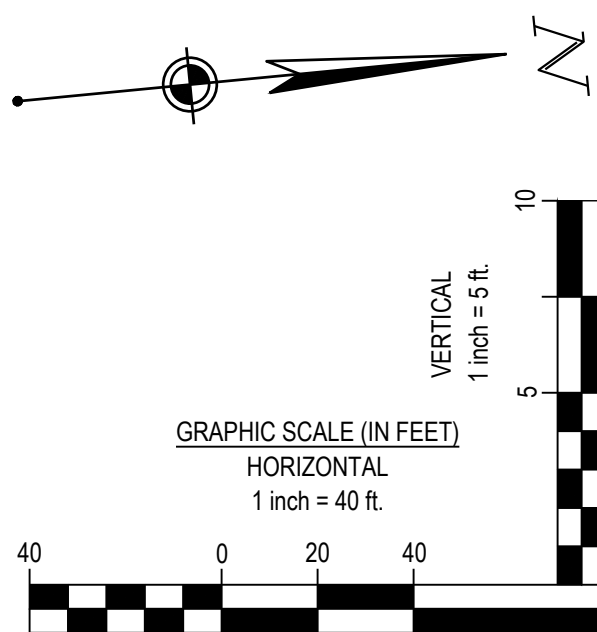
Checked By: JEE

Date: FEBRUARY, 2025

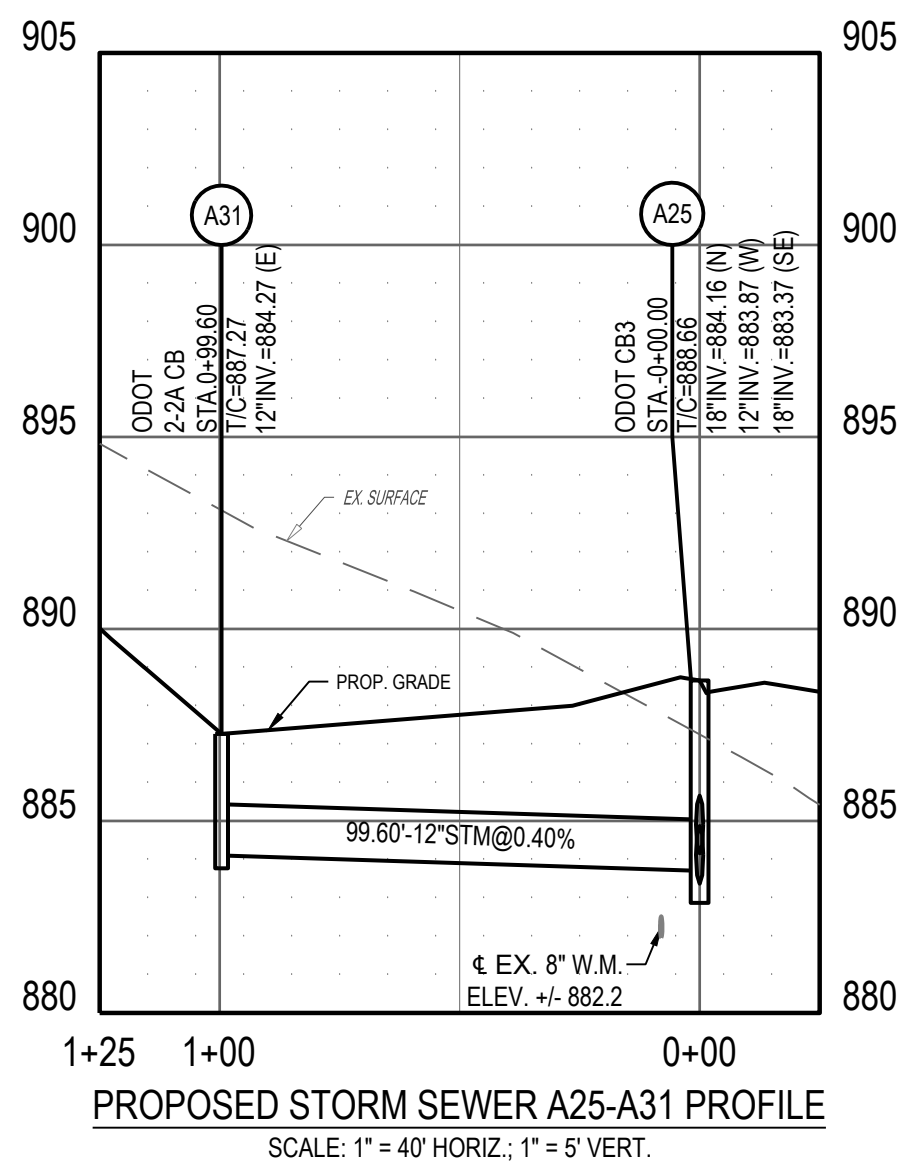
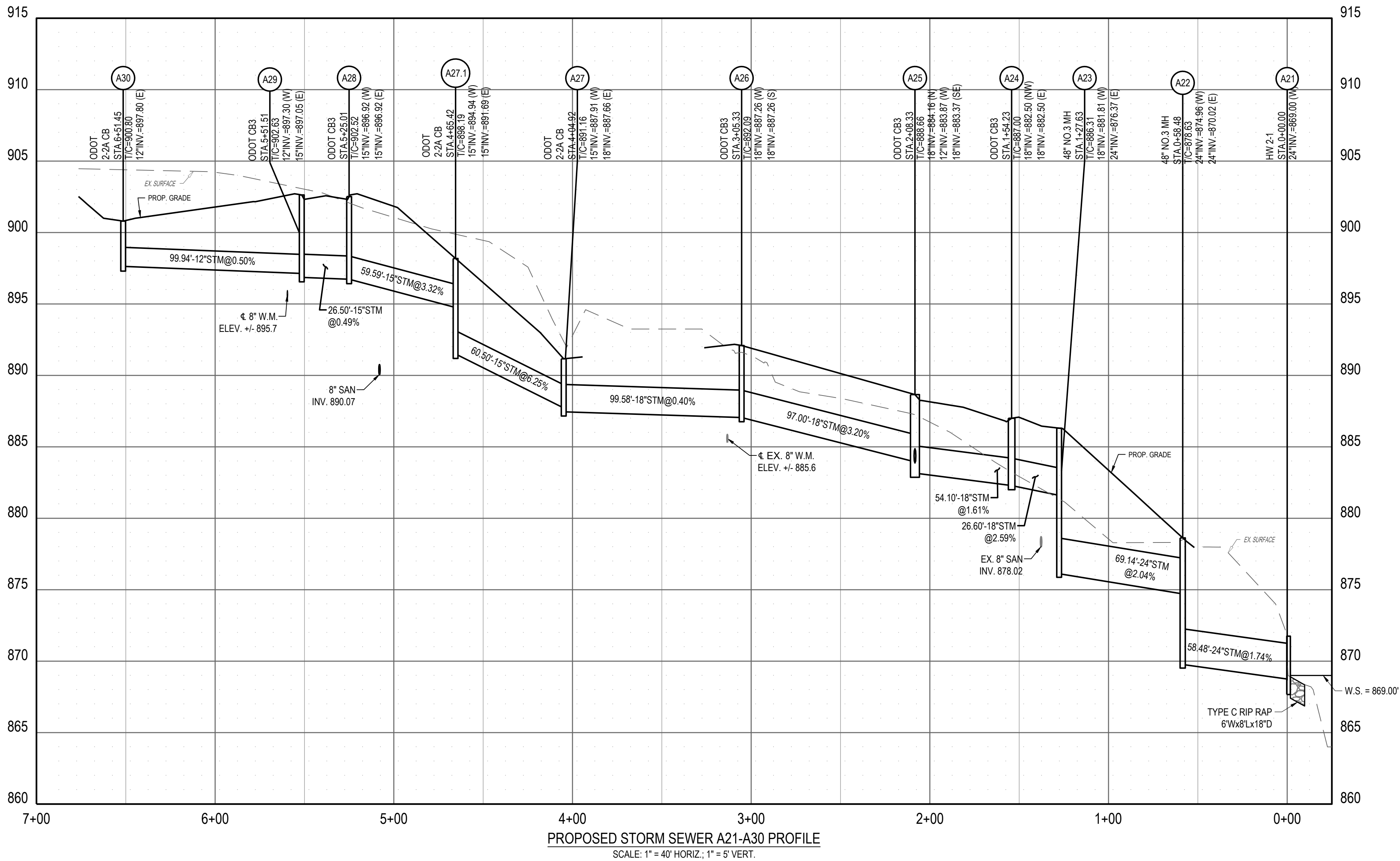
Issue: FINAL DEVELOPMENT

Drawing Title:

ROAD PLAN AND
PROFILE

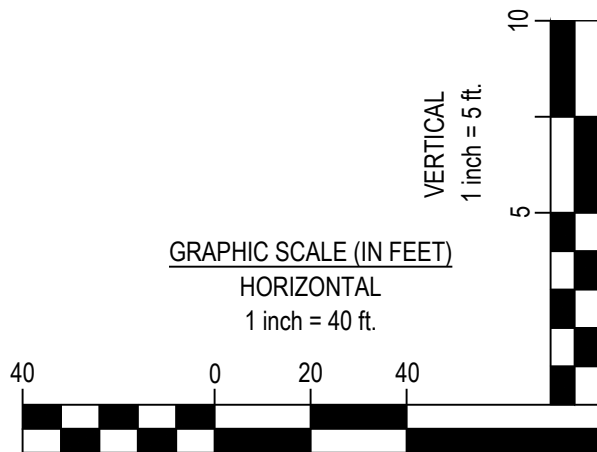


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NOTES

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GREY FOX CAPITAL

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HUBER HEIGHTS, OH 45424

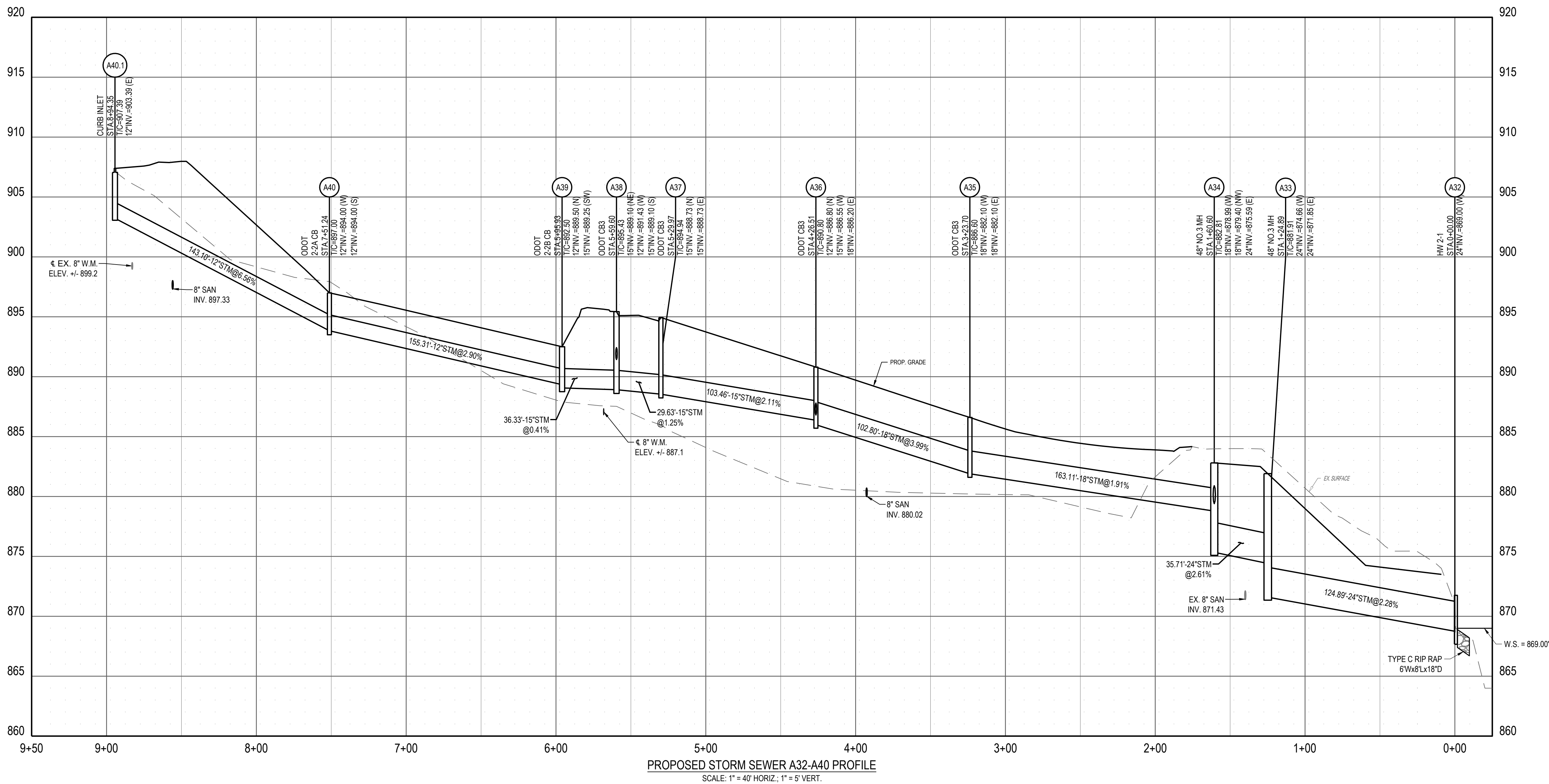
Revisions / Submissions		
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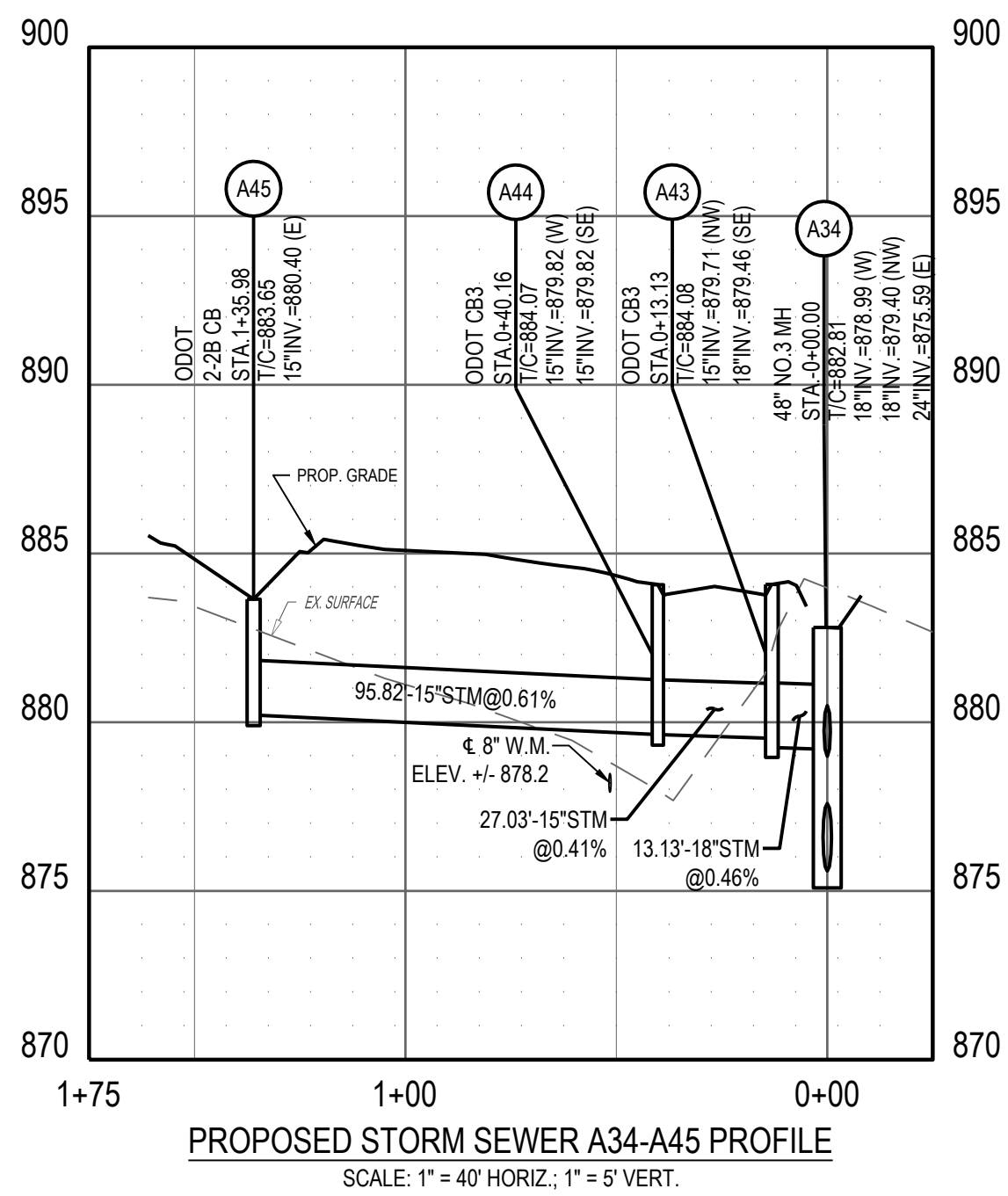
Drawing Title:

**STORM SEWER
PROFILES**

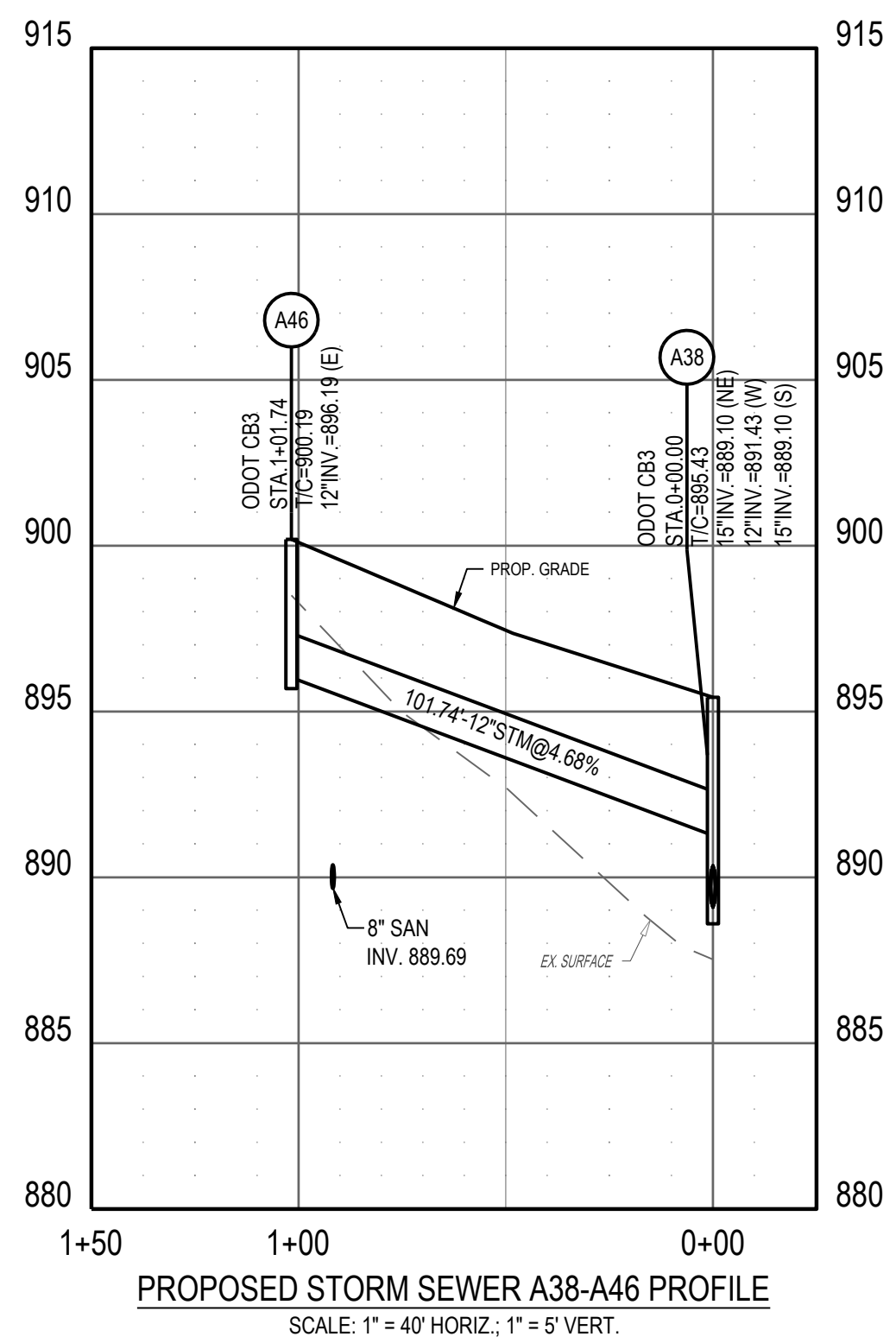
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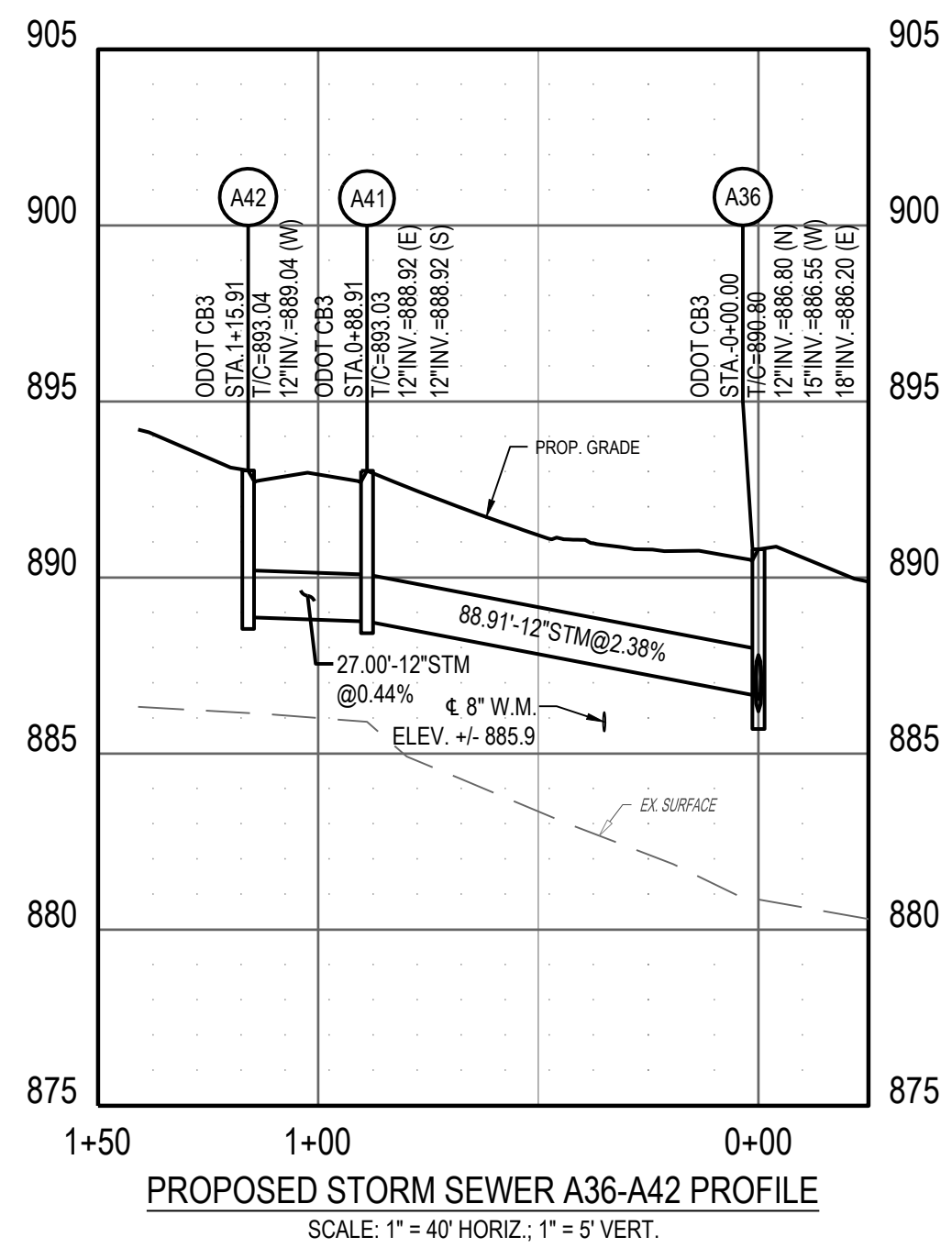
PROPOSED STORM SEWER A32-A40 PROFILE
SCALE: 1" = 40' HORIZ.; 1" = 5' VERT.



PROPOSED STORM SEWER A34-A45 PROFILE
SCALE: 1" = 40' HORIZ.; 1" = 5' VERT.



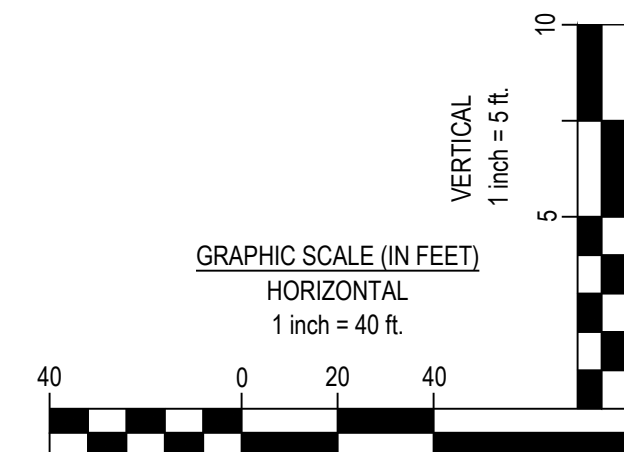
PROPOSED STORM SEWER A38-A46 PROFILE
SCALE: 1" = 40' HORIZ.; 1" = 5' VERT.



PROPOSED STORM SEWER A36-A42 PROFILE
SCALE: 1" = 40' HORIZ.; 1" = 5' VERT.

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GREY FOX CAPITAL

CREEKSIDE WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

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Drawing Title:
**STORM SEWER
PROFILES**

GREY FOX CAPITAL
CREEKSIDE
WOODS PHASE 2
CHARLESGATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

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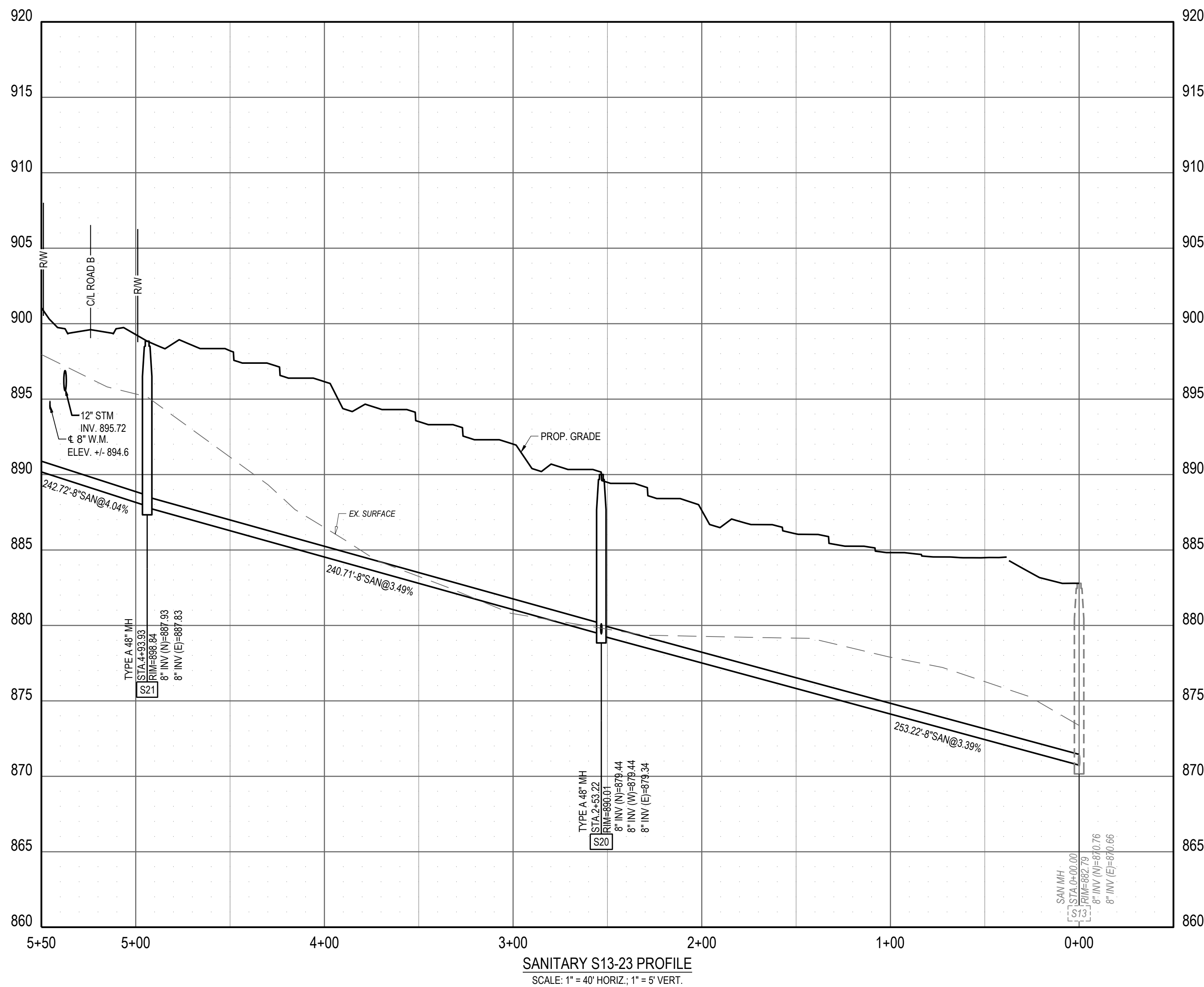
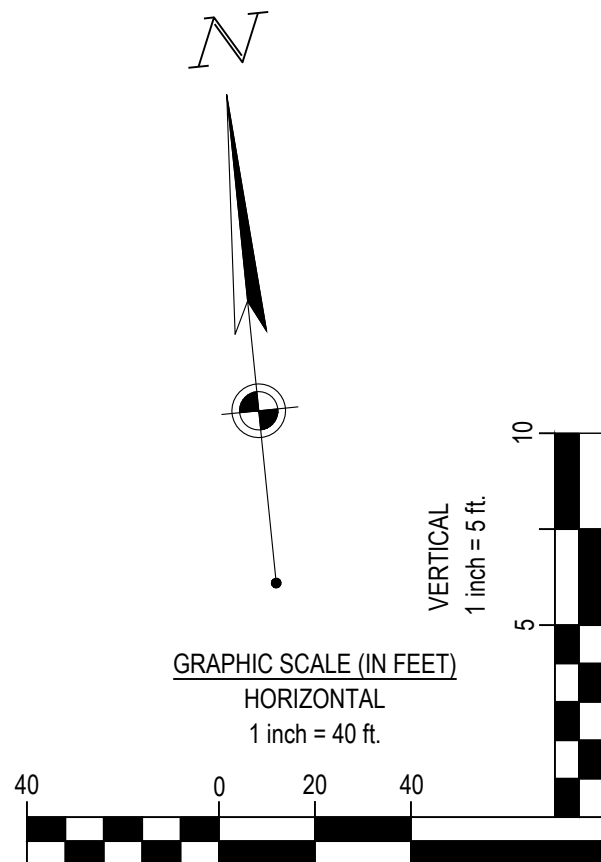
Drawing Title:

SANITARY PLAN AND PROFILE

16

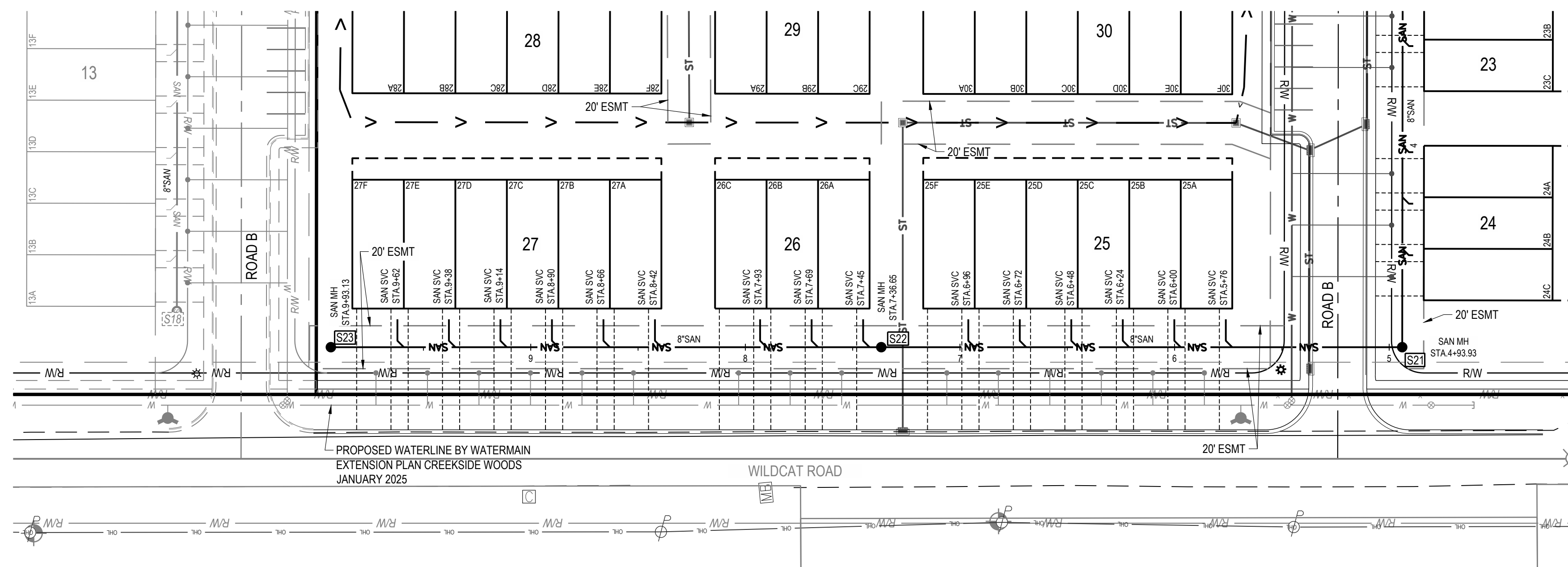
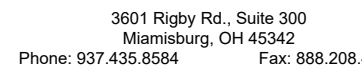
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4. ALL ELEVATIONS SHOWN ON THIS PLAN ARE NAVD 88.



LEGEND

- | | |
|--|------------------------------------|
| | SUBJECT BOUNDARY |
| | EXISTING PROPERTY LINE |
| | EXISTING R/W |
| | EXISTING CENTERLINE |
| | EXISTING TREE LINE |
| | EXISTING INTERMITTENT STREAM |
| | EXISTING EASEMENT |
| | EXISTING EDGE OF PAVEMENT |
| | EXISTING FACE OF CURB |
| | EXISTING BACK OF CURB |
| | EXISTING STORM SEWER |
| | EXISTING SANITARY SEWER |
| | EXISTING WATER MAIN |
| | EXISTING STORM STRUCTURE |
| | EXISTING SANITARY MANHOLE |
| | EXISTING WATER MAIN |
| | EXISTING CABLE BOX |
| | EXISTING STRUCTURE |
| | EXISTING WETLAND (TO REMAIN) |
| | EXISTING WETLAND (TO BE MITIGATED) |
| | PROPOSED PHASE LINE |
| | PROPOSED RIGHT-OF-WAY |
| | PROPOSED PROPERTY LINE |
| | PROPOSED SETBACK |
| | PROPOSED EASEMENT |
| | PROPOSED BASIN |
| | PROPOSED CENTERLINE |
| | PROPOSED CURB AND GUTTER |
| | PROPOSED STORM SEWER |
| | PROPOSED STORM STRUCTURES |
| | PROPOSED SANITARY SEWER |
| | PROPOSED SANITARY SEWER MANHOLE |
| | PROPOSED WATER LINE |
| | PROPOSED HYDRANT/VALVE |
| | PROPOSED SIDEWALK |



Sanitary S13-23 Profile

Scale: 1" = 40' Horiz., 1" = 5' Vert.

Profile Data:

Station	Prop. Grade (Elev.)	Ex. Surface (Elev.)	Notes
10+00	912.5	910.0	Start of Profile
7+36.65	897.83	897.73	12" STM, INV. 900.86
6+00	890.0	888.0	End of Profile

Grades:

- 266.47'-8" SAN @ 1.52%
- 242.72'-8" SAN @ 4.04%

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	EXISTING R/W
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	EXISTING TREE LINE
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	EXISTING EDGE OF PAVEMENT
	EXISTING FACE OF CURB
	EXISTING BACK OF CURB
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM STRUCTURE
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING CABLE BOX
	EXISTING STRUCTURE
	EXISTING WETLAND (TO REMAIN)
	EXISTING WETLAND (TO BE MITIGATED)
	PROPOSED PHASE LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB AND GUTTER
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE
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	PROPOSED SIDEWALK

CREEKSIDE WOODS PHASE 2

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Revisions / Submissions

ID	Description	Date
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Drawn By: JH

Checked By: JEE

Date: FEBRUARY 2025

Issue: FINAL DEVELOPMENT

Issue.	FINAL DEVELOPMENT
1. The first issue is the identification of the problem.	
2. The second issue is the identification of the causes of the problem.	
3. The third issue is the identification of the effects of the problem.	
4. The fourth issue is the identification of the stakeholders involved in the problem.	
5. The fifth issue is the identification of the resources available to solve the problem.	
6. The sixth issue is the identification of the constraints on the solution.	
7. The seventh issue is the identification of the potential solutions.	
8. The eighth issue is the identification of the criteria for evaluating the solutions.	
9. The ninth issue is the identification of the best solution.	
10. The tenth issue is the implementation of the solution.	
11. The eleventh issue is the evaluation of the solution.	
12. The twelfth issue is the monitoring and control of the solution.	
13. The thirteenth issue is the communication of the solution.	
14. The fourteenth issue is the documentation of the solution.	
15. The fifteenth issue is the review of the solution.	
16. The sixteenth issue is the closure of the problem.	

Drawing Title:

SANITARY PLAN AND

PROFIL F

PROFILE

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17

17

17

GRAPHIC SCALE (IN FEET)

HORIZONTAL
1 inch = 40 ft.

VERTICAL
1 inch = 5 ft.

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELEVATIONS AND INVERTS PRIOR TO START OF CONSTRUCTION.
2. 18" MINIMUM VERTICAL CLEARANCE AND 10' HORIZONTAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL SANITARY, STORM, AND WATER LINES.
3. LENGTH OF SANITARY SERVICE LATERAL REPRESENTS THE 2-DIMENSIONAL DISTANCE BETWEEN END OF SERVICE AND MAINLINE SEWER OR TOP OF RISER IF APPLICABLE.
4. ALL ELEVATIONS SHOWN ON THIS PLAN ARE NAVD 88.

	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING R/W
	EXISTING CENTERLINE
	EXISTING TREE LINE
	EXISTING INTERMITTENT STREAM
	EXISTING EASEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING FACE OF CURB
	EXISTING BACK OF CURB
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM STRUCTURE
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING CABLE BOX
	EXISTING STRUCTURE
	EXISTING WETLAND (TO REMAIN)
	EXISTING WETLAND (TO BE MITIGATED)
	PROPOSED PHASE LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB AND GUTTER
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE
	PROPOSED HYDRANT/VALVE
	PROPOSED SIDEWALK

CREEKSIDE WOODS PHASE 2

CHARLESGATE RD & WILDCAT RD
HUBER HEIGHTS OH 45424

Revisions / Submissions		
ID	Description	Date
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Project Number:		765054
Scale:		AS SHOWN
Drawn By:		JH
Checked By:		JEE
Date:		FEBRUARY, 2023
Issue:		FINAL DEVELOPMENT

Drawing Title:

**SANITARY PLAN AND
PROFILE**

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LANDSCAPE REQUIREMENTS

STREET TREES:
ANY PROPERTY THAT IS ZONED MULTI-FAMILY AND THAT ABUTS A PUBLIC STREET RIGHT-OF-WAY AND IS BEING DEVELOPED SHALL HAVE ONE STREET TREE PER 40 FEET OF FRONTAGE PLANTED AT LEAST FOUR FEET FROM THE EDGE OF THE SIDEWALK ON PRIVATE PROPERTY AS DETERMINED APPROPRIATE BY THE CITY ENGINEER. (118.17)

PHASE 2 WILDCAT ROAD REQUIRED: 15 (583 LF/40)
PHASE 2 WILDCAT ROAD PROPOSED: 16

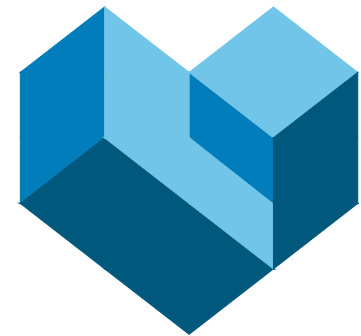
ROAD C REQUIRED: 23 (900 LF/40)
ROAD C PROPOSED: 13 (10 PROVIDED IN REAR AND SIDE OF BUILDINGS DUE TO UTILITY EASEMENT CONFLICTS)

PHASE 2 ROAD B REQUIRED: 40 (1590 LF/40)
PHASE 2 ROAD B PROPOSED: 26 (14 PROVIDED IN REAR AND SIDE OF BUILDINGS DUE TO UTILITY EASEMENT CONFLICTS)

NOTE: EXISTING TREES HAVE NOT BEEN SURVEYED AND ARE SHOWN FOR REFERENCE ONLY USING AERIAL IMAGERY.

LEGEND

	R/W	RIGHT OF WAY LINE
		LOT LINE
		PROPERTY BOUNDARY LINE
		EASEMENT LINE
		SIGHT TRIANGLE LINE
		PROPOSED FENCE
		PROPOSED CONCRETE SIDEWALK OR DECK
	P-OH	OVERHEAD POWER LINE
	STM	STORM DRAIN
	SAN	SANITARY SEWER
	W	WATER LINE
	G	GAS LINE
	UGT	UNDERGROUND TELEPHONE LINE
	UGE	UNDERGROUND ELECTRIC LINE
		EXISTING TREE CANOPY
		SWALE
	100	MAJOR EXISTING CONTOUR
	102	MINOR EXISTING CONTOUR
	960	MAJOR ENGINEERED CONTOUR
	962	MINOR ENGINEERED CONTOUR



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GREY FOX CAPITAL

CREEKSIDE WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

ID	Description	Date
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Project Number: 765054

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Drawn By: JMB

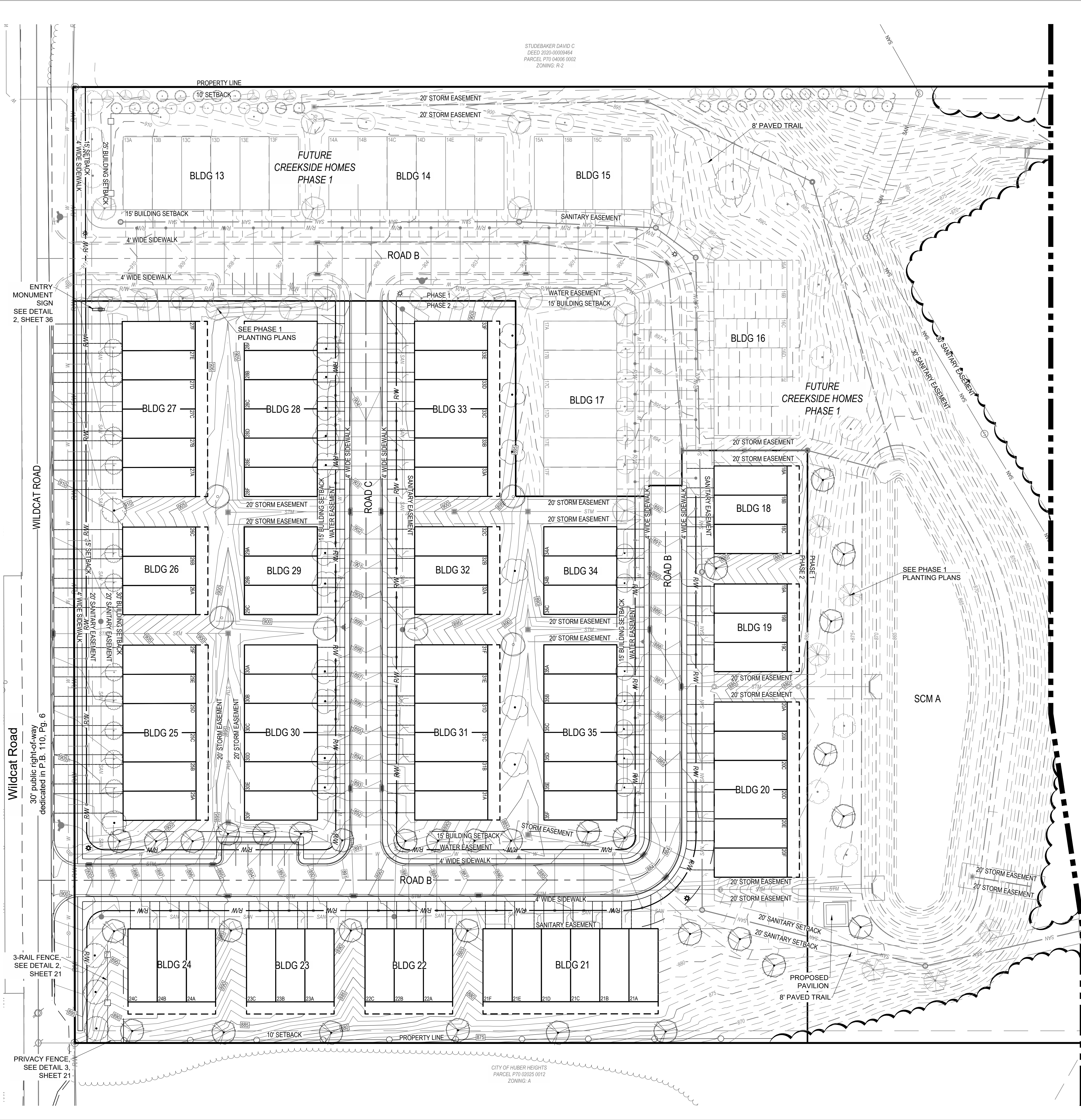
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Date: FEBRUARY, 2025

Issue: FINAL DEVELOPMENT

Drawing Title:
**OVERALL LANDSCAPE
PLAN**

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PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES					
	7	CORNUS FLORIDA FLOWERING DOGWOOD	1.5" CAL	8-10' HT	AS SHOWN
	5	NYSSA SYLVATICA 'WILDFIRE' WILDFIRE TUPELO	2.5" CAL	10-12' HT	AS SHOWN
	11	PRUNUS SARGENTII SARGENT CHERRY	1.5" CAL	8-10' HT	AS SHOWN
	17	SYRINGA RETICULATA JAPANESE TREE LILAC	1.5" CAL	8-10' HT	AS SHOWN
	33	TAXODIUM DISTICHUM BALD CYPRESS	2.5" CAL	10-12' HT	AS SHOWN
	6	TILIA CORDATA LITTLELEAF LINDEN	2.5" CAL	10-12' HT	AS SHOWN

NOTE: EXISTING TREES HAVE NOT BEEN SURVEYED AND
ARE SHOWN FOR REFERENCE ONLY USING AERIAL
IMAGERY.

LEGEND

	R/W	RIGHT OF WAY LINE
		LOT LINE
		PROPERTY BOUNDARY LINE
		EASEMENT LINE
		SIGHT TRIANGLE LINE
		PROPOSED FENCE
		PROPOSED CONCRETE SIDEWALK OR DECK
	P-OH	OVERHEAD POWER LINE
	STM	STORM DRAIN
	SAN	SANITARY SEWER
	W	WATER LINE
	G	GAS LINE
	UGT	UNDERGROUND TELEPHONE LINE
	UGE	UNDERGROUND ELECTRIC LINE
		EXISTING TREE CANOPY
		SWALE
	100	MAJOR EXISTING CONTOUR
	102	MINOR EXISTING CONTOUR
	960	MAJOR ENGINEERED CONTOUR
	962	MINOR ENGINEERED CONTOUR



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GREY FOX CAPITAL

CREEKSIDE
WOODS PHASE 2

CHARLESTOWN RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

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Project Number: 765054

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Checked By: JAL

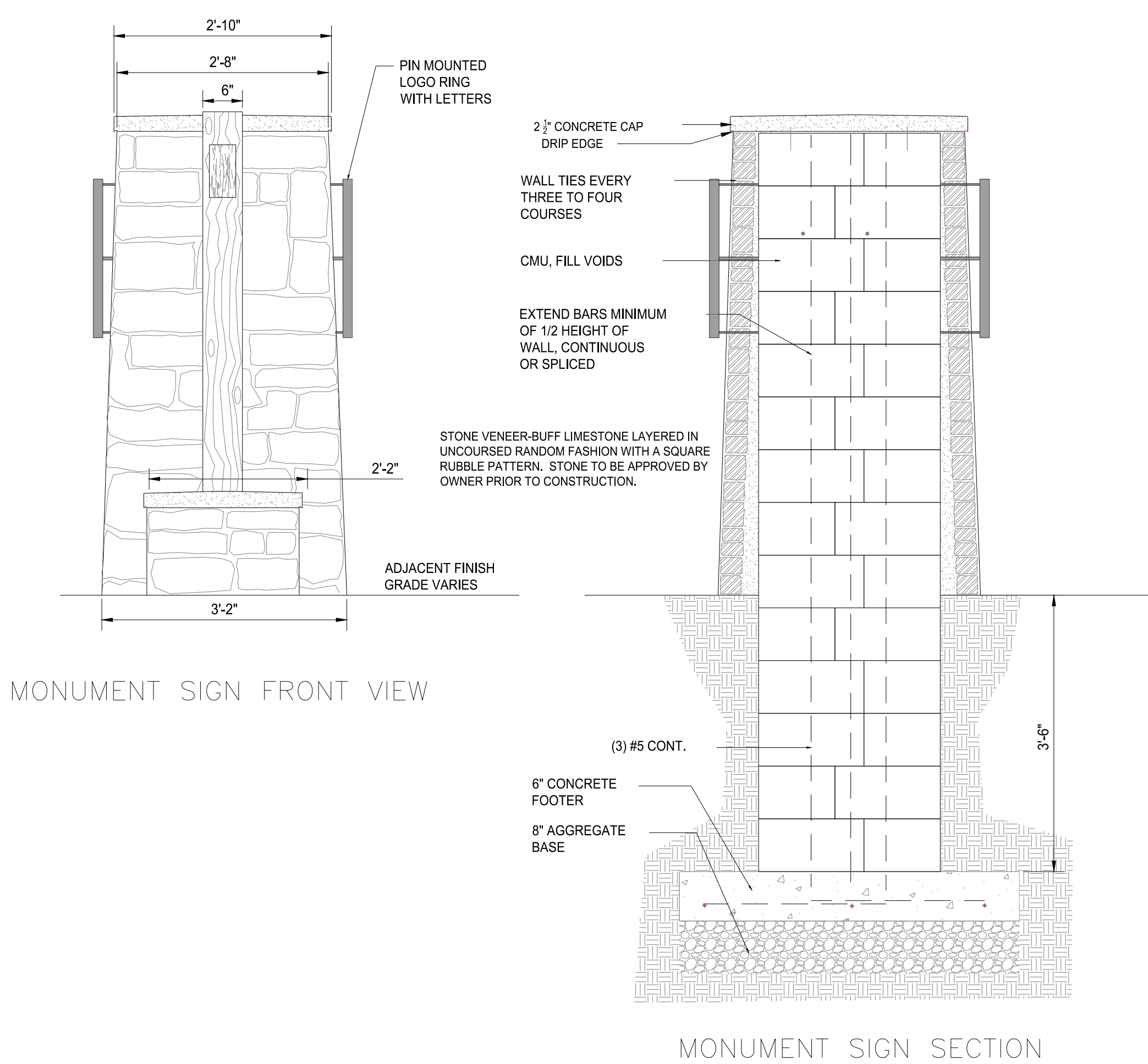
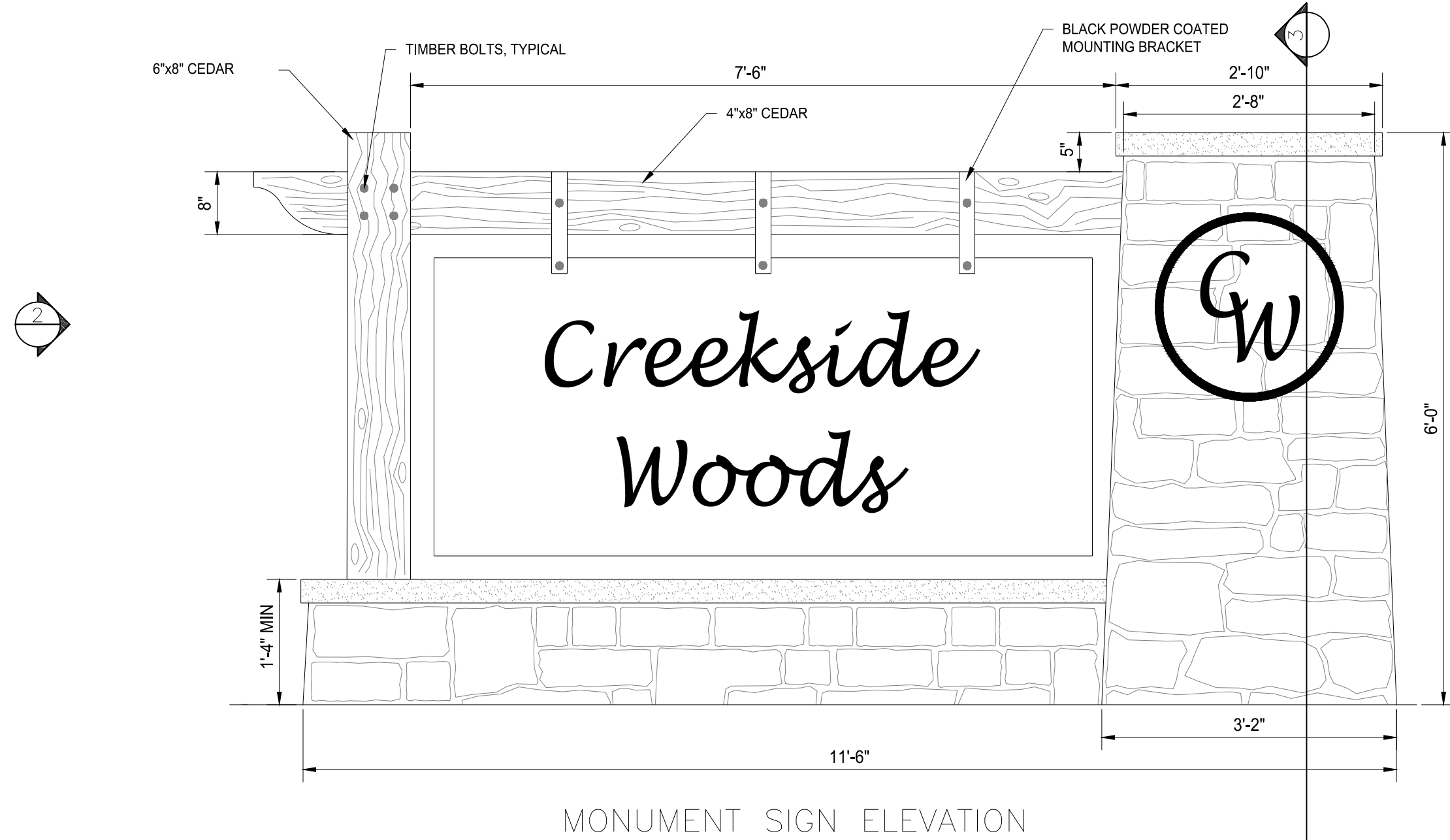
Date: FEBRUARY, 2025

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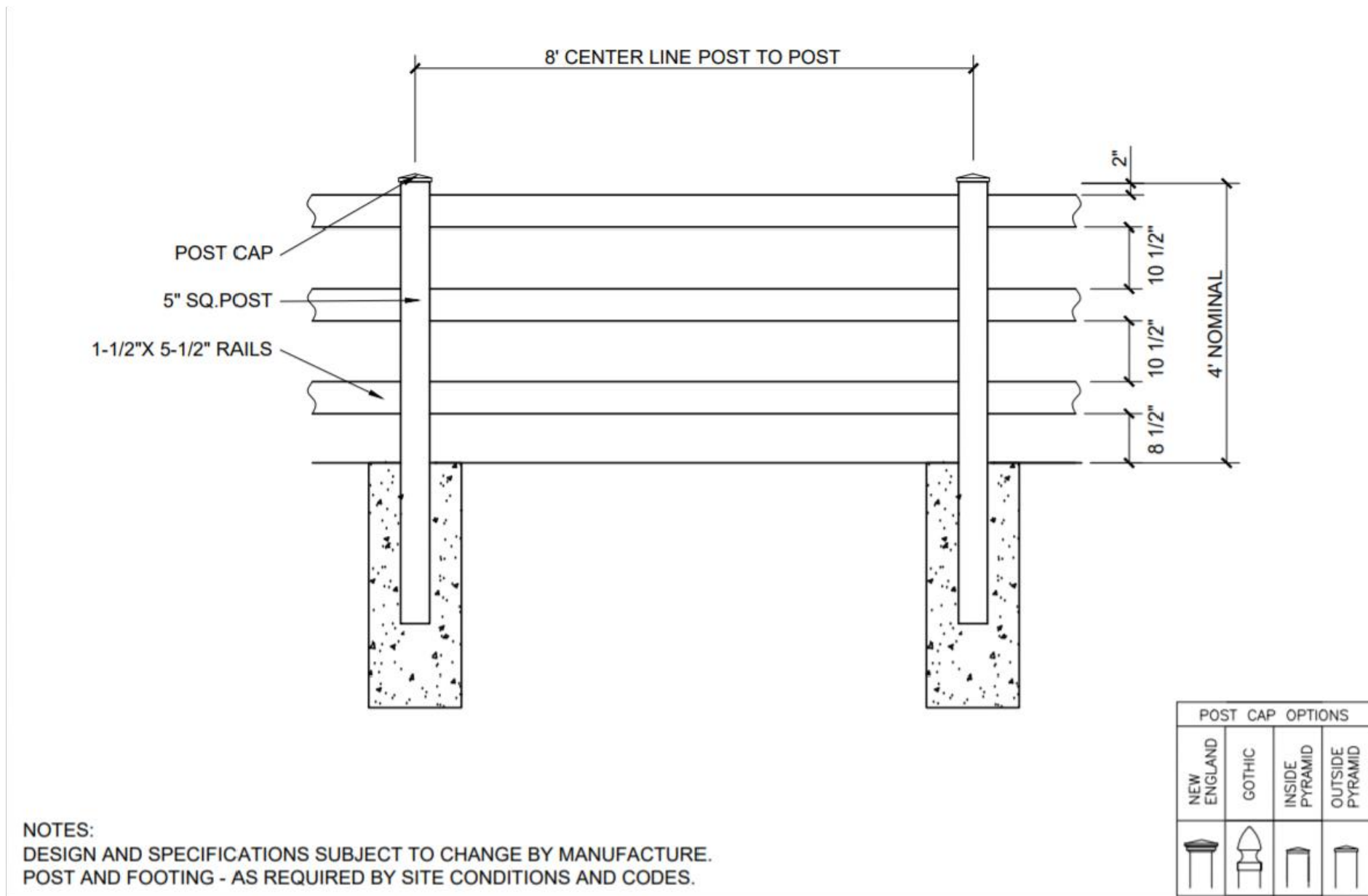
LANDSCAPE PLAN

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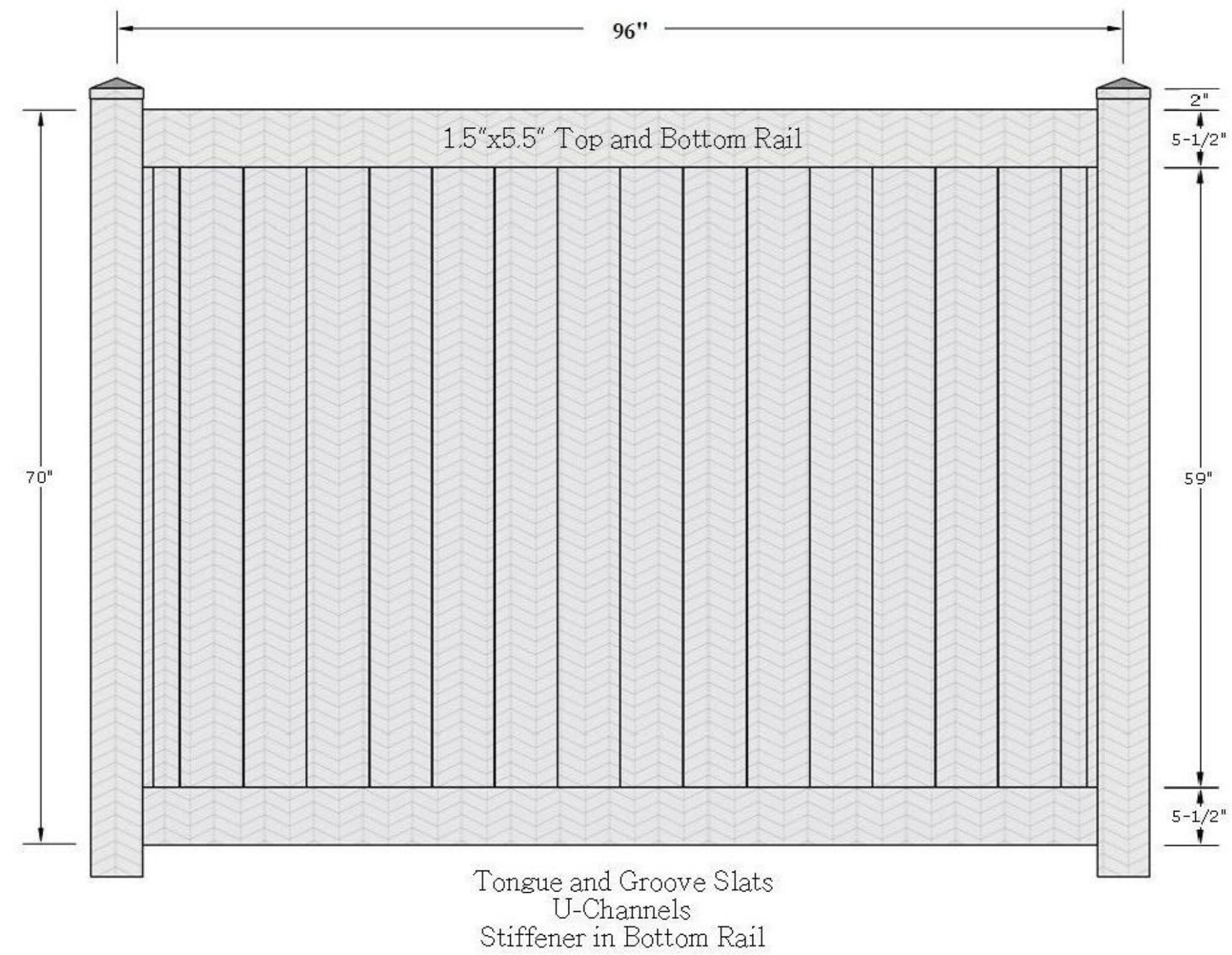
1 ENTRY MONUMENT

SCALE: 3/4"=1'-0"



2 3-RAIL FENCE

NTS



3 PRIVACY FENCE

NTS

Posts	Type	Length
5" x 5" Post	Line End Corner Blank 3-Way	96" or 108"

Materials Included with 8' Panel	Quantity	Length
1 1/2" x 5 1/2" Top Pocket Rail	1	95"
1 1/2" x 5 1/2" Bottom Pocket Rail	1	95"
7/8" x 6" T & G Picket	15	62.25"
7/8" x 1" U-channel	2	59"
Bottom Rail Stiffener	1	94"



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GREY FOX CAPITAL

CREEKSIDE
WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

ID Description Date

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Project Number: 765054

Scale: AS SHOWN

Drawn By: JAE

Checked By: JAE

Date: FEBRUARY, 2025

Issue: FINAL DEVELOPMENT

Drawing Title:

LANDSCAPE DETAILS

SITE DATA

OWNER: GREY FOX CAPITAL
6161 OAK TREE
BOULEVARD, SUITE 250
INDEPENDENCE, OH 44131

DEVELOPER: GREY FOX CAPITAL
6161 OAK TREE
BOULEVARD, SUITE 250
INDEPENDENCE, OH 44131

PLAN DESIGNER: CESO, INC.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OHIO 45342

DEVELOPMENT NAME AND DESCRIPTION:
CREEKSIDE WOODS SECTION ONE IS A MULTI-FAMILY RESIDENTIAL DEVELOPMENT THAT WILL CONSIST OF 18 BUILDINGS CONTAINING 81 UNITS.

SITE ACREAGE:
THE PHASE 2 SITE IS APPROXIMATELY 7.63 ACRES.
OVERALL 9.12 TOTAL ACRES WILL BE DISTURBED BY CONSTRUCTION.

RUNOFF COEFFICIENT:
PRE-CONSTRUCTION RUNOFF COEFFICIENT, C=0.40
POST-CONSTRUCTION RUNOFF COEFFICIENT, C=0.80

IMPERVIOUS AREA:
PRE-CONSTRUCTION - 0 ACRE, 0%
POST-CONSTRUCTION - 2.14 ACRE, 28%

PRIOR LAND USE
THE SITE WAS PREVIOUSLY OCCUPIED BY A COMBINATION OF DENSE WOODS AND MEADOWS.

SOIL TYPES:
MIAMIAN SILT LOAM - 8.6%
MILLSDALE SILTY CLAY LOAM - 2.7%
MILTON SILT LOAM - 55.6%
PLATTVILLE SILT LOAM - 1.8%
RITCHEY SILT LOAM - 8.2%
SLOAN SILT LOAM - 23.2%

ADJACENT AREAS:
THE SITE IS BOUND BY RESIDENTIAL AND LIGHT INDUSTRIAL TO THE NORTH, HUBER PLAT NO. 68 SECTION 1C TO THE EAST, WILDCAT ROAD TO THE WEST, AND AGRICULTURAL TO THE SOUTH. THE SITE IS NORTH OF INTERSTATE 70 AND WEST OF OLD TROY PIKE.

STORM WATER MANAGEMENT:
THE SITE DRAINS TO AN EXISTING UNNAMED TRIBUTARY THAT OUTLETS INTO THE GREAT MIAMI RIVER SOUTH OF THE SITE.

SEQUENCE OF CONSTRUCTION

1. INSTALL CONSTRUCTION ENTRANCE, HAZARDOUS WASTE STORAGE AREA, VEHICLE REFUELING AREA, AND CONCRETE WASH PIT.
2. CLEAR & GRUB SITE
3. ROUGH GRADE SITE
4. CONSTRUCT SANITARY, DISTURBING TRENCH AREA ONLY
5. INSTALL STORM & WATER LINE, PLACING INLET PROTECTION AS INLETS ARE CONSTRUCTED
6. GRADE STREETS FIXING INLET PROTECTION AS NEEDED
7. PAVE STREETS
8. FINAL GRADE LOTS
9. SEED & MULCH ALL DISTURBED AREAS
10. REMOVE ALL EROSION CONTROL PRACTICES

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS, AND IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

GENERAL LAND CONSERVATION NOTES

NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 30 DAYS IF IT IS TO REMAIN DORMANT FOR MORE THAN 45 DAYS UNLESS AUTHORIZED BY THE STATE GOVERNING JURISDICTION'S INSPECTOR. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE.

ALL STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING FOR ALL SITES.

ALL STORM SEWER, SANITARY SEWER, WATER MAIN AND SERVICE TRENCHES SHALL BE MULCHED AND SEEDED WITHIN 14 DAYS AFTER BACK FILL IF INSTALLATION IS THROUGH STABILIZED AREAS. NO MORE THAN 500 FEET OF TRENCH WILL BE OPEN AT ANY ONE TIME.

ELECTRIC POWER, TELEPHONE, CATV AND GAS SUPPLY TRENCHES SHALL BE COMPACTED SEEDED AND MULCHED WITHIN 14 DAYS AFTER BACK FILL, IF INSTALLATION IS THROUGH STABILIZED AREAS.

ALL TEMPORARY DIVERSIONS, SEDIMENT BASIN EMBANKMENTS AND EARTH STOCKPILES SHALL BE SEEDED AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 7 DAYS AFTER GRADING. STRAW, HAY MULCH OR EQUIVALENT IS REQUIRED.

ALL STORM SEWER INLETS SHALL BE PROTECTED BY SEDIMENT TRAPS (INLET PROTECTION) WHICH WILL BE MAINTAINED AND MODIFIED AS REQUIRED AS CONSTRUCTION PROGRESSES.

ANY DISTURBED AREA NOT STABILIZED WITH SEEDING, SODDING, PAVING OR BUILT UPON BY NOVEMBER 1ST, OR AREAS DISTURBED AFTER THAT DATE, SHALL BE MULCHED IMMEDIATELY WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE AND OVER-SEEDED BY APRIL 15TH.

AT THE COMPLETION OF CONSTRUCTION, ALL TEMPORARY SEDIMENT CONTROLS SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE STABILIZED.

HOA SHALL MAINTAIN AND KEEP RECORD OF ANY MAINTENANCE/INSPECTIONS OF COMMON AREAS.

SWPPP NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED ACCORDING TO: SWPPP AND DETAIL PLANS; ACCORDING TO THE LATEST OHIO EPA AUTHORIZATION FOR CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES); ANY AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OHC000006 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
2. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AND GRADE CHANGES TO THE SITE AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE MAXIMUM EXTENT POSSIBLE OR AS REQUIRED BY THE GENERAL PERMIT. EVERY EFFORT SHALL BE MADE TO PRESERVE THE NATURAL RIPARIAN SETBACK ADJACENT TO STREAMS OR OTHER SURFACE WATER BODIES.
4. SEDIMENT STRUCTURE AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
5. TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOIL PRESERVATION OF EXISTING VEGETATION, AND OTHER APPROVED TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM NOT AT FINAL GRADE REMAINING DORMANT FOR OVER FOURTEEN (14) DAYS.
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR MORE THAN FOURTEEN (14) DAYS. PRIOR TO THE ONSET OF WINTER WEATHER FOR AREAS THAT WILL BE IDLE OVER WINTER. FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN (7) DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR INDIVIDUALS.
6. PERMANENT SOIL STABILIZATION OF DISTURBED AREAS BY MEANS OF VEGETATION, LANDSCAPE TYPE MULCHING, MATTING, SOD, RIP RAP, AND OTHER APPROVED LANDSCAPING TECHNIQUES TO BE APPLIED AS FOLLOWS:
WITHIN SEVEN (7) DAYS OF ANY AREA THAT WILL BE DORMANT FOR ONE (1) YEAR OR MORE.
WITHIN TWO (2) DAYS OF ANY AREA WITHIN 50 FEET OF A STREAM AT FINAL GRADE.
WITHIN SEVEN (7) DAYS FOR ANY OTHER AREA AT FINAL GRADE.
7. TEMPORARY SEEDING, MULCHING, AND FERTILIZER SPECIFICATIONS:
SEEDING: ANNUAL RYEGRASS AT 2.02 #/1,000 S.F.
MULCHING: STRAW MATERIAL SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT A RATE OF TWO (2) TON/ACRE, OR 80-100 POUNDS PER 1,000 S.F. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITIVE NOXIOUS WEEDS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICAL MEANS. FROM NOVEMBER 01 THRU MARCH 15 INCREASE THE RATE OF STRAW MULCH TO THREE (3) TON/ACRE.
FERTILIZER: APPLY FERTILIZER AT HALF THE RATE OF PERMANENT APPLICATION AND AS PER STATE DOT SPECIFICATIONS. IF PROJECT CONDITIONS PREVENT FERTILIZING THE SOIL, THEN THIS ITEM MAY BE WAIVED.
8. PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH ODOT STANDARD SPECIFICATIONS.
9. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. ALL SLOPES 3:1 OR GREATER THAN 3:1 SHALL BE FERTILIZED, SEEDED, AND CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY, NORTH AMERICAN GREEN, INC. OR AN APPROVED EQUAL AS SPECIFIED IN THE PLANS SHALL BE INSTALLED ON THE SLOPES.
10. OHIO EPA SWPPP REGULATIONS REQUIRES THAT A SEDIMENT TRAP OR POND BE SIZED TO PROVIDE AT LEAST 104 CUBIC YARDS (67 CY FOR DEWATERING AND 37 CY FOR SEDIMENT STORAGE) OF STORAGE PER ACRE OF TOTAL CONTRIBUTING AREA. MAXIMUM DEPTH OF SEDIMENT SETTLING POND SHALL BE EQUAL OR LESS THAN 5-FEET WITH A LENGTH TO WIDTH RATIO GREATER THAN OR EQUAL TO 2:1)
11. OUTLET STRUCTURES IN SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT MUST BE REMOVED FROM BASINS AND OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 40% (APPROXIMATELY ONE-HALF OF POND DEPTH).
12. NO SOLID (OTHER THAN SEDIMENT) OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF.
13. ALL TOXIC WASTES, HAZARDOUS WASTES AND NON-SEDIMENT POLLUTANTS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN DESIGNATED PIT OR DIKED AREAS, WHERE WASHINGS CAN BE REMOVED AND PROPERLY DISPOSED OFF-SITE WHEN THEY HARDEN. STORAGE TANKS SHOULD ALSO BE LOCATED IN PIT OR DIKED AREAS. IN ADDITION, SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CLEAN AND CONTAIN FUEL AND CHEMICAL SPILLS MUST BE KEPT ON SITE. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS OR BY BURYING, BURNING OR MIXING THE WASTES.
14. CONTAINERS SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.
15. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
16. BRICKS, HARDENING CONCRETE AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.
17. CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.
18. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE 3745-20).
19. AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
20. EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.
21. A SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS OR BELOW-GROUND STORAGE OF 4,200 GALLONS OF FUEL.
22. ALL DESIGNATED CONCRETE CHUTE OR WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS OR OTHER STORMWATER DRAINAGE AREAS.
23. THERE IS A POTENTIAL FOR HIGH GROUND WATER AT THIS SITE. CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING A PLAN TO CONTROL BOTH SURFACE AND GROUND WATER DURING THE COURSE OF CONSTRUCTION.
24. DISCHARGE OF WATER WITH POTENTIAL SEDIMENT FROM THE SITE SHALL BE THROUGH A FILTER BAG, SUMP PIT OR OTHER SEDIMENT REMOVAL DEVICE.
25. ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).
26. IF THE SITE CONTAINS CONTAMINATED SOIL, THE FOLLOWING SHALL BE USED TO PREVENT CONTAMINATION FROM BEING RELEASED:
1. BERMS, TRENCHES AND PITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT DISCHARGES.
2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR APPROVAL OF THE SANITARY SYSTEM OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
3. COVERING AREAS OF CONTAMINATION WITH TARPS OR OTHER METHODS THAT PREVENT STORM WATER FROM COMING INTO CONTACT WITH THE MATERIAL.

SWPPP NOTES (CONT.)

27. IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND ALL REQUIRED PERMITS, REPORTS, AND RELATED DOCUMENTS. SEE OHIO EPA PERMIT NO. OHC000006 FOR SWPPP RULES AND REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE ABOVE.
28. THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800.282.9378, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN.
29. OPEN BURNING IS NOT PERMITTED ON THE SITE.
30. DUST CONTROL USING APPROVED MATERIALS MUST BE PERFORMED AT ALL TIMES. DUST SUPPRESSANTS SHALL NOT BE APPLIED NEAR CATCH BASINS FOR STORM SEWERS OR OTHER DRAINAGE WAYS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
31. APPROPRIATE MEASURES MUST BE TAKEN TO ENSURE THAT ALL PROPER AIR POLLUTION PERMITS ARE OBTAINED.
32. PROCESS WASTEWATERS (EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL AND CONCRETE WASH-OUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
33. SANITARY AND WATER PTI FORMS SHALL BE FILED WITH THE OHIO EPA AS REQUIRED.
34. PROTECTED STORAGE AREAS SHALL BE USED FOR INDUSTRIAL AND CONSTRUCTION MATERIALS IN ORDER TO MINIMIZE THE EXPOSURE OF SUCH MATERIALS TO STORMWATER.
35. ALL CONTROL MEASURES STATED IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL TEMPORARY OR PERMANENT STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON IN ACCORDANCE TO THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED ACCORDING TO THE FOLLOWING:
36. INSPECTIONS OF BMPS SHALL BE PERFORMED BY QUALIFIED PERSONS PROVIDED BY THE PERMITTEE AND THE INSPECTION LOGS ARE TO BECOME A PART OF THIS PLAN. INSPECTIONS RECORDS SHALL BE SIGNED BY THE INSPECTOR AND WILL BE KEPT FOR 3 YEARS AFTER THE NOTICE OF TERMINATION IS SUBMITTED.
37. INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE IN EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, FROM THE BEGINNING OF CONSTRUCTION THROUGH THE FINAL INSPECTION PRIOR TO THE NOTICE OF TERMINATION.
38. NON-SEDIMENT POND BMPS TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND BMPS WITHIN 10 DAYS OF INSPECTION. BMPS NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED WITHIN 10 DAYS OF INSPECTION. MISSING BMPS SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
39. IF THE SITE IS STABILIZED AND WILL BE DORMANT FOR A LONG PERIOD OF TIME, LESS FREQUENT INSPECTIONS MAY BE REQUESTED OF THE OEPA VIA A WAIVER REQUEST.
40. INLET PROTECTION DEVICES AND CONTROLS SHALL BE REPAIRED OR REPLACED WHEN THEY SHOW SIGNS OF UNDERMINING AND OR DETERIORATION.
41. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STANDING OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
42. SILT FENCES, INLET PROTECTION, SILT DIKES AND PERVIOUS LOGS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT ACCUMULATION MUST BE REMOVED WHEN SEDIMENT HEIGHT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE, INLET PROTECTION, SILT DIKE AND PERVIOUS LOG.
43. MINIMIZE OFF-SITE SEDIMENT TRACKING OF VEHICLES BY THE USE OF STONE MATERIAL IN ALL CONSTRUCTION ENTRANCES, ALONG WITH REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING. STABILIZED CONSTRUCTION ENTRANCES TO BE PROPERLY MAINTAINED AND IN GOOD WORKING ORDER AT ALL TIMES. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE STONE AS CONDITIONS DEMAND.
44. IF THE ACTION OF VEHICLES TRAVELING OVER THE STABILIZED CONSTRUCTION ENTRANCE DOES NOT SUFFICIENTLY REMOVE MOST OF THE DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
45. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED ONTO THE ROADWAYS OR INTO THE STORM SEWERS MUST BE REMOVED IMMEDIATELY.
46. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
47. CONTRACTORS AND SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE SITE, INCLUDING DETENTION PONDS, AND STORM SEWER SYSTEMS. SEDIMENT DEPOSITION DURING SITE STABILIZATION MUST ALSO BE REMOVED.
48. ALL RIP RAP MUST BE PLACED OVER GEOTEXTILE FILTER.
49. STONE CONSTRUCTION ENTRANCE TO BE MAINTAINED BY CONTRACTOR UNTIL SITE HAS BEEN PAVED OR IS NO LONGER REQUIRED.
50. ALL CATCH BASIN GRATES ARE TO BE PROTECTED WITH INLET BAGS AFTER THEY ARE INSTALLED. THEY SHOULD BE ROUTINELY CLEANED AND MAINTAINED.
51. ROCK CHECK DAMS SHOULD BE ROUTINELY CLEANED ONCE SEDIMENT BEGINS TO APPEAR ON THE UPSTREAM SIDE OF THE ROCK.
52. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE USE OF BEST MANAGEMENT PRACTICES. THESE AREAS MUST BE SHOWN IN THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
53. CONTRACTOR TO DELINEATE STOCK PILE LOCATION ON PLANS TO BE KEPT ON SITE DURING CONSTRUCTION.
54. CONSTRUCT STOCKPILES IN ACCESSIBLE LOCATIONS THAT DO NOT INTERFERE WITH NATURAL DRAINAGE. INSTALL APPROPRIATE SEDIMENT CONTROLS TO TRAP SEDIMENT SUCH AS SILT FENCE IMMEDIATELY ADJACENT TO THE STOCKPILE OR SEDIMENT TRAPS OR BASINS DOWNSTREAM OF STOCKPILE. STOCKPILE SIDE SLOPES SHALL NOT EXCEED A RATIO OF 2:1.
55. IF STOCKPILE IS STORED FOR MORE THAN 14 DAYS, IT SHOULD BE TEMPORARY SEEDED, OR COVERED WITH A TARP.
56. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH DAY; THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR ASPHALT FOR ROAD CONSTRUCTION.
57. THE LAST LAYER OF SOIL, INCLUDING TOP SOIL SHOULD BE COMPACTED TO 80% - 85% OF THE MAXIMUM STANDARD PROCTOR DENSITY, IN AREAS OUTSIDE THE PARKING LOT THAT WILL RECEIVE VEGETATION. THIS IS PARTICULARLY IMPORTANT IN CUT SLOPE AND EMBANKMENT AREAS. IN PAVEMENT AND ISLAND AREAS, IT IS RECOMMENDED THAT THE SOIL BE COMPACTED TO 98% AND 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY RESPECTIVELY. THE LAST COMPACTED LAYER MAY BE SCARIFIED TO IMPROVE THE SOIL GROWTH CHARACTERISTICS.
58. THE POST CONSTRUCTION WATER QUALITY REQUIREMENTS OF OHIO EPA PERMIT OHC000006 SHALL BE MET BY THE EXISTING WATER QUALITY BASIN.
59. ALL WATER FROM DEWATERING ACTIVITES SHALL BE PROCESSED THROUGH A BMP PRIOR TO LEAVING THE SITE.

STRUCTURAL BMP LONG-TERM MAINTENANCE (GENERAL NOTES)

1. THE OWNER AGREES TO MAINTAIN IN PERPETUITY THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH APPROVED MAINTENANCE PLANS LISTED IN #2 BELOW AND IN A MANNER THAT WILL PERMIT THE STORM WATER MANAGEMENT PRACTICES TO PERFORM THE PURPOSES FOR WHICH THEY WERE DESIGNED AND CONSTRUCTED. THIS INCLUDES ALL PIPES, STRUCTURES, IMPROVEMENTS, AND VEGETATION PROVIDED TO CONTROL THE QUANTITY OF THE STORM WATER.
2. NO ALTERATIONS TO THE WATER QUALITY/DETENTION BASINS WITHOUT APPROVAL FROM THE JURISDICTIONAL REVIEWING AUTHORITY.
3. THE OWNER SHALL PROVIDE A MAINTENANCE PLAN FOR EACH STORM WATER MANAGEMENT PRACTICE. THE MAINTENANCE PLANS SHALL INCLUDE A SCHEDULE FOR MONTHLY AND ANNUAL MAINTENANCE. THE OWNER SHALL MAINTAIN, UPDATE AND STORE THE MAINTENANCE RECORDS FOR THE STORM WATER MANAGEMENT PRACTICES. THE SPECIFIC MAINTENANCE PLANS FOR EACH STORM WATER MANAGEMENT PRACTICE ARE AS FOLLOWS.

MAINTENANCE TO BE COMPLETED EVERY 3 MONTHS

- REMOVE TRASH AND/OR ACCUMULATED SEDIMENT FROM POND AREA.
- REMOVE OBSTRUCTIONS IN ORIFICES AND/OR OUTLETS WITHIN POND.
- REMOVE DEBRIS AND SEDIMENT FROM INLET PIPES, OUTLET PIPES AND STRUCTURES.

MAINTENANCE TO BE COMPLETED YEARLY

- REPAIR EROSION TO OUTFALL OR SPILLWAY OF THE POND
- REPAIR AND/OR REPLACE DAMAGED STRUCTURES, SUCH AS CATCH BASINS, RISERS, PIPES AND HEADWALLS.
- MOW EMBANKMENTS AND REMOVE WOODY VEGETATION ON EMBANKMENTS

YEARLY REPORT REQUIREMENTS
SKETCH SHOWING GENERAL AREA OF BMPS, SUMMARY OF ALL MAINTENANCE ACTIVITIES SINCE LAST ANNUAL INSPECTION, PHOTOS AND DESCRIPTION OF ALL BMP DESIGN FEATURES, INDICATION OF ANY DEVIATION FROM APPROVED PLAN FOR BMP, IDENTIFICATION OF IMPROVEMENTS NECESSARY TO RESTORE ORIGINAL DESIGN FUNCTION, MAINTENANCE ACTIVITIES REQUIRED IN THE NEXT 6 MONTHS, IDENTIFICATION AND CONTACT INFORMATION OF ENTITY RESPONSIBLE FOR BMP, AND IDENTIFICATION AND CONTACT INFORMATION FOR ENGINEER PREPARING THE REPORT INCLUDING SIGNATURE AND SEAL.



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GREY FOX CAPITAL

CREEKSIDE
WOODS PHASE 2

CHARLESGATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

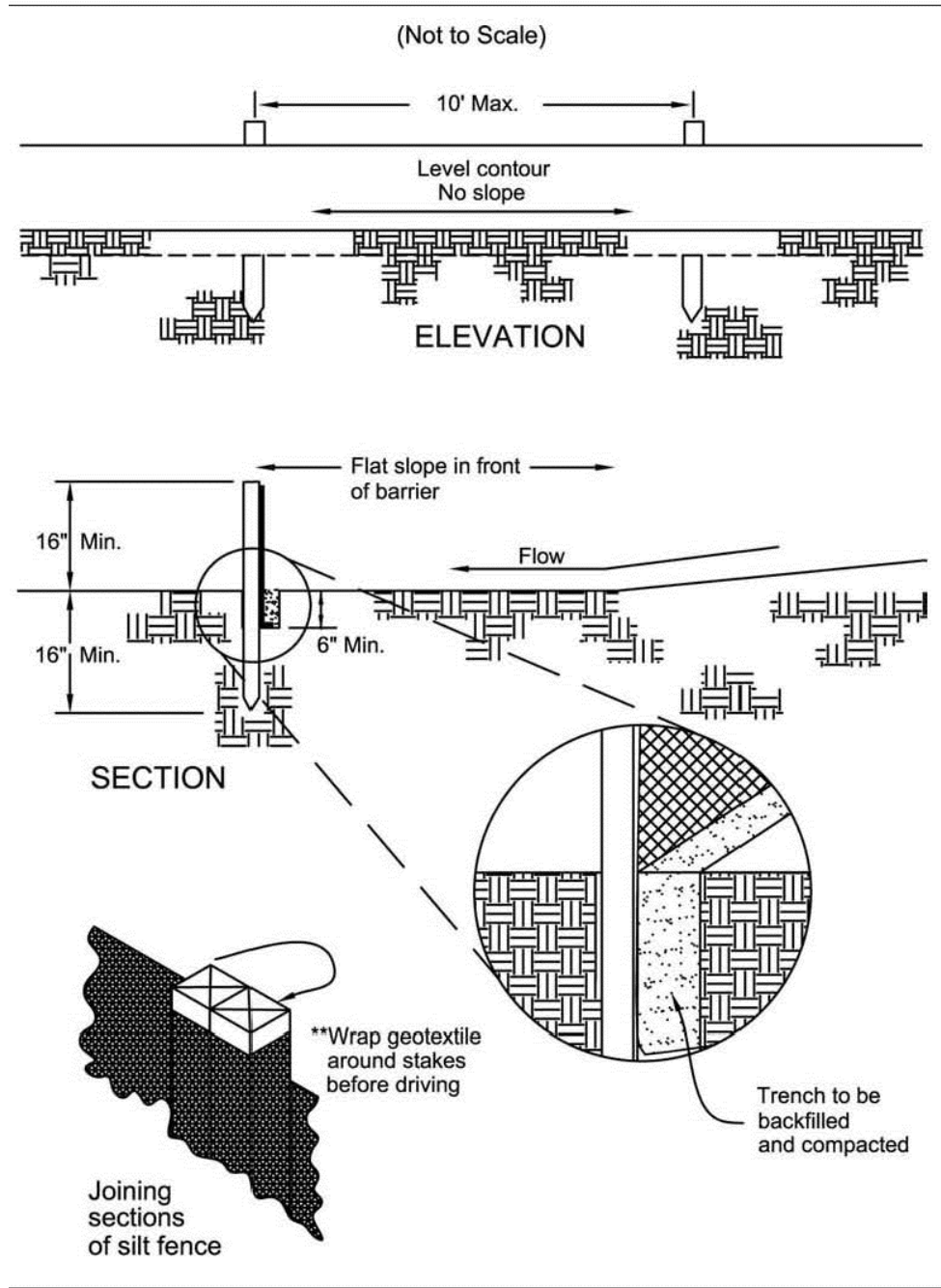
Revisions / Submissions		
ID	Description	Date

Project Number: 765054
Scale: AS SHOWN
Drawn By: JH
Checked By: JEE
Date: FEBRUARY, 2025
Issue: FINAL DEVELOPMENT

Drawing Title:
SWPPP NOTES

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Specifications
for
Silt Fence

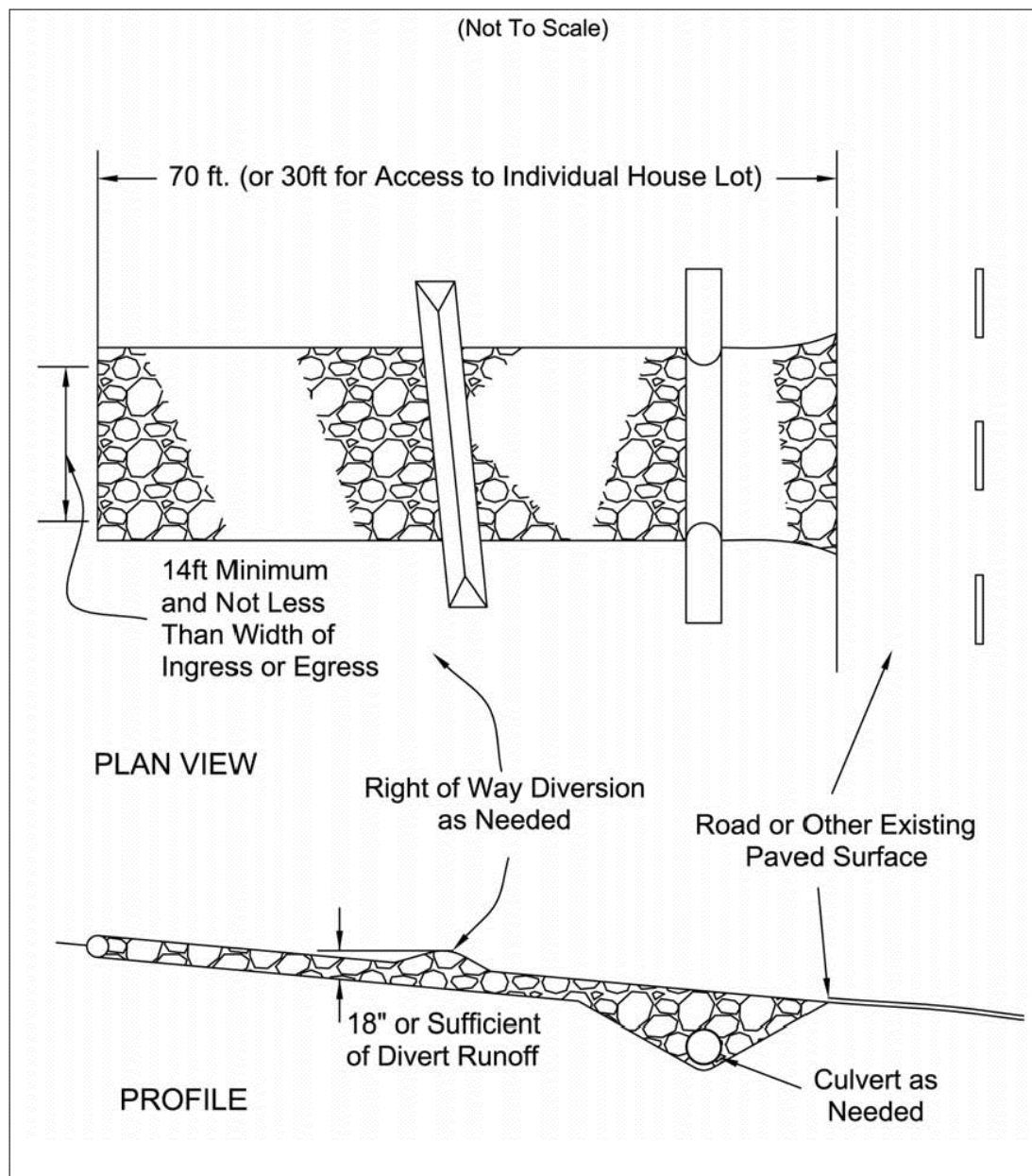


- Silt fence shall be constructed before upslope land disturbance begins.
 - All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions that may carry small concentrated flows to the silt fence are dissipated along its length.
 - Ends of the silt fences shall be brought upslope slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
 - Silt fence shall be placed on the flattest area available.
 - Where possible, vegetation shall be preserved for 5 feet (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
 - The height of the silt fence shall be a minimum of 16 inches above the original ground surface.
 - The silt fence shall be placed in an excavated or sliced trench cut a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, slicing machine, or other suitable device that will ensure an adequately uniform trench depth.
 - The silt fence shall be placed with the stakes on the downslope side of the geotextile. A minimum of 8 inches of geotextile must be below the ground surface. Excess material shall lay on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
 - Seams between sections of silt fence shall be spliced together only at a support post with a minimum 6-in. overlap prior to driving into the ground. (see details).
 - Maintenance—Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff over-tops the silt fence, flows under the fabric or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed, 2) accumulated sediment shall be removed, or 3) other practices shall be installed.
- Sediment deposits shall be routinely removed when the deposit reaches approximately one-half of the height of the silt fence.
- Silt fences shall be inspected after each rainfall and at least daily during a prolonged rainfall. The location of existing silt fence shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.

- Criteria for silt fence materials
- Fence post –The length shall be a minimum of 32 inches. Wood posts will be 2-by-2-in. nominal dimensioned hardwood of sound quality. They shall be free of knots, splits and other visible imperfections, that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 16 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
 - Silt fence fabric – See chart below.

Table 6.3.2 Minimum criteria for Silt Fence Fabric (ODOT, 2002)		
FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (535 N)	ASTM D 4632
Maximum Elongation at 60 lbs	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4633
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	≤ 0.84 mm	ASTM D 4751
Minimum Permittivity	1X10-2 sec.-1	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM G 4355

Specifications
for
Construction Entrance

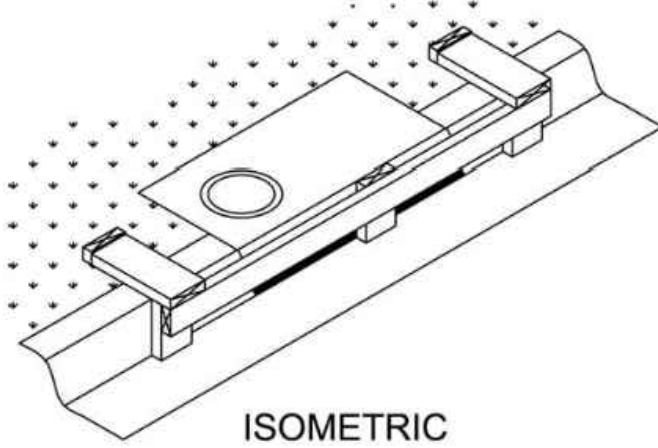
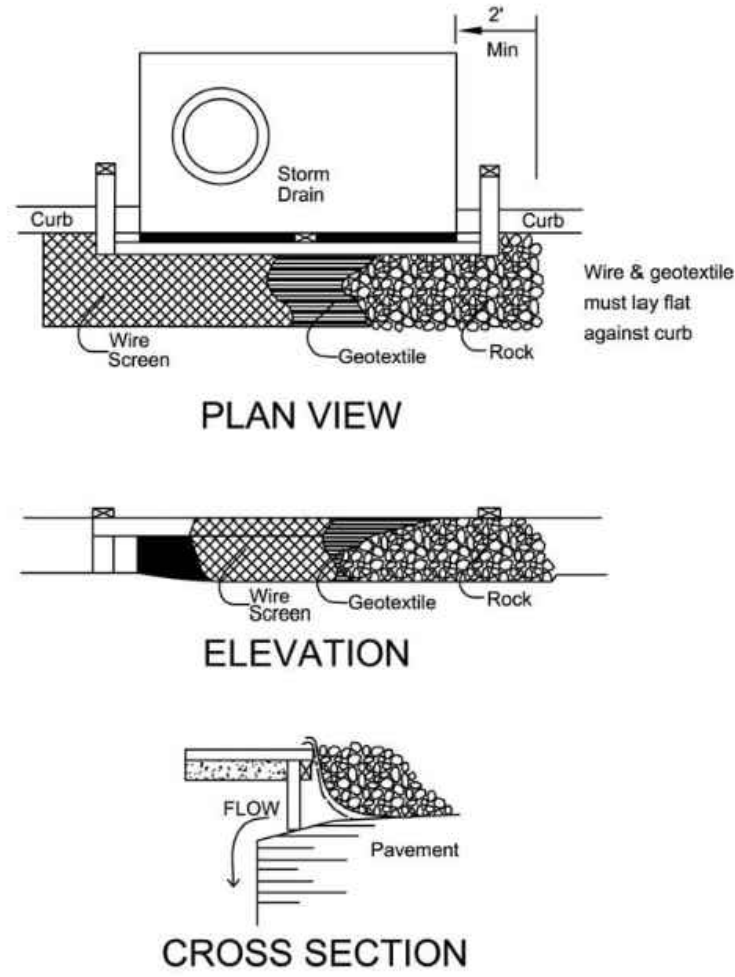


- Stone Size—ODOT # 2 (1.5-2.5 inch) stone shall be used, or recycled concrete equivalent.
- Length—The Construction entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (exception: apply 30 ft. minimum to single residence lots).
- Thickness -The stone layer shall be at least 6 inches thick for light duty entrances or at least 10 inches for heavy duty use.
- Width -The entrance shall be at least 14 feet wide, but not less than the full width at points where ingress or egress occurs.
- Geotextile -A geotextile shall be laid over the entire area prior to placing stone. It shall be composed of strong rot-proof polymeric fibers and meet the following specifications:
- Timing—The construction entrance shall be installed as soon as is practicable before major grading activities.
- Culvert -A pipe or culvert shall be constructed under the entrance if needed to prevent surface water from flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.
- Water Bar -A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
- Maintenance -Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surface where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
- Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.
- Removal—the entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.

Figure 7.4.1

Geotextile Specification for Construction Entrance	
Minimum Tensile Strength	200 lbs.
Minimum Puncture Strength	80 psi.
Minimum Tear Strength	50 lbs.
Minimum Burst Strength	320 psi.
Minimum Elongation	20%
Equivalent Opening Size	EOS < 0.6 mm.
Permittivity	1x10-3 cm/sec.

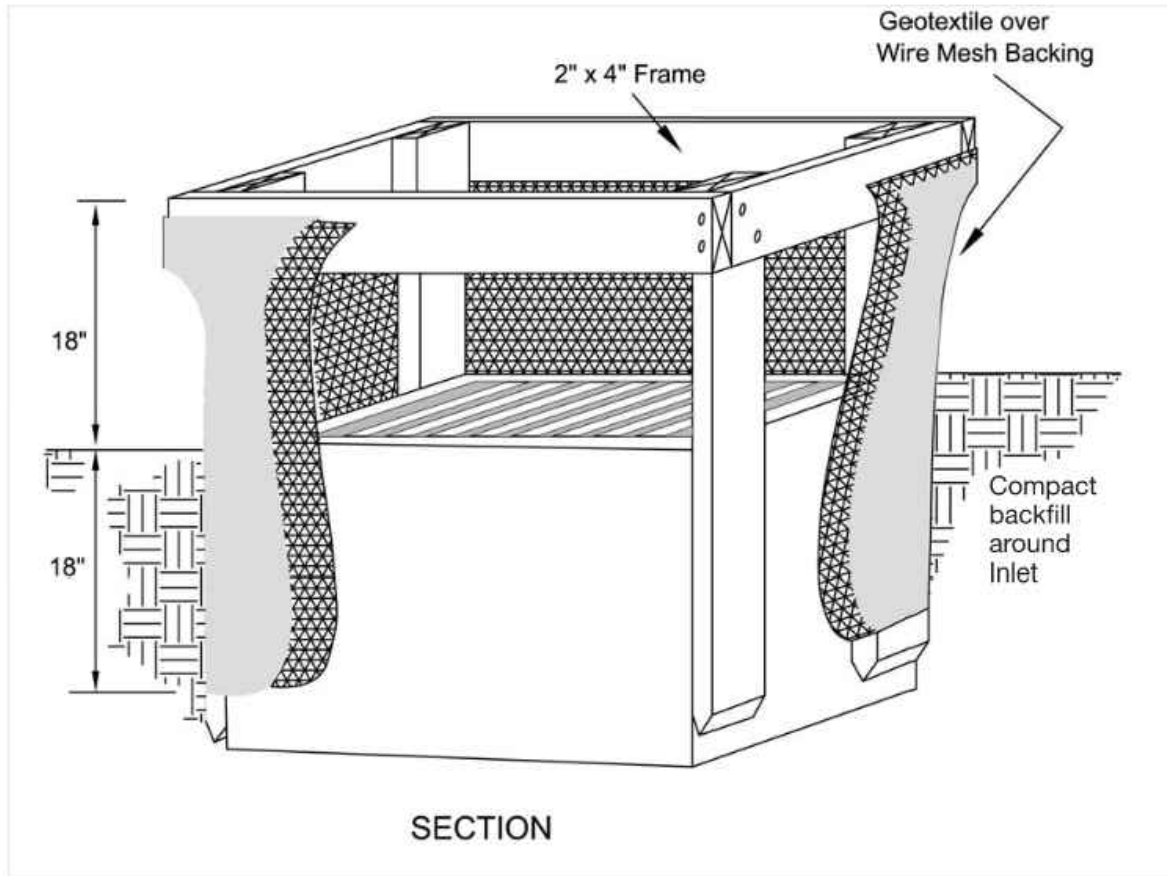
Specifications
for
Geotextile - Stone Inlet Protection for Curb Inlets



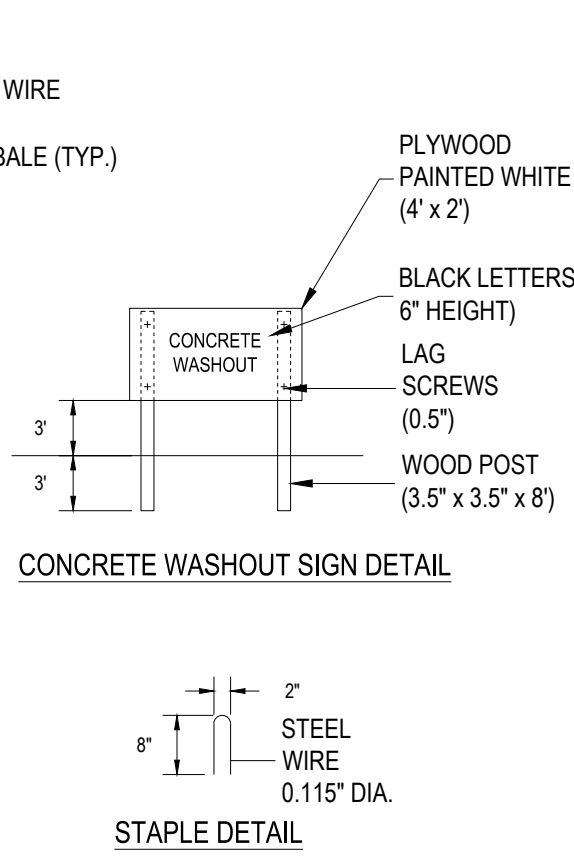
Geotextile-Stone Inlet Protection for Curb Inlets

- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- Construct a wooden frame of 2-by-4-in. construction-grade lumber. The end spacers shall be a minimum of 1 ft. beyond both ends of the throat opening. The anchors shall be nailed to 2-by-4-in. stakes driven on the opposite side of the curb.
- The wire mesh shall be of sufficient strength to support fabric and stone. It shall be a continuous piece with a minimum width of 30 in. and 4 ft. longer than the throat length of the inlet, 2 ft. on each side.
- Geotextile cloth shall have an equivalent opening size (EOS) of 20-40 sieve and be resistant to sunlight. It shall be at least the same size as the wire mesh.
- The wire mesh and geotextile cloth shall be formed to the concrete gutter and against the face of the curb on both sides of the inlet and securely fastened to the 2-by-4-in. frame.
- Two-inch stone shall be placed over the wire mesh and geotextile in such a manner as to prevent water from entering the inlet under or around the geotextile cloth.
- This type of protection must be inspected frequently and the stone and/or geotextile replaced when clogged with sediment.

Specifications
for
Geotextile Inlet Protection



- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- The earth around the inlet shall be excavated completely to a depth at least 18 inches.
- The wooden frame shall be constructed of 2-inch by 4-inch construction grade lumber. The 2-inch by 4-inch posts shall be driven one (1) ft. into the ground at four corners of the inlet and the top portion of 2-inch by 4-inch frame assembled using the overlap joint shown. The top of the frame shall be at least 6 inches below adjacent roads if ponded water will pose a safety hazard to traffic.
- Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- Geotextile material shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 inches below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6-inch layers until the earth is even with notch elevation on ends and top elevation on sides.
- A compacted earth dike or check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression. The top of the dike shall be at least 6 inches higher than the top of the frame.



- NOTES:
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING BUT NOT LIMITED TO OPERATIONS ASSOCIATED WITH GROUT AND MORTAR.

CONCRETE WASHOUT
NTS



CESO
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GREY FOX CAPITAL

**CREEKSIDE
WOODS PHASE 2**

CHARLESGATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

ID	Description	Date
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Project Number: 765054

Scale: AS SHOWN

Drawn By: JH

Checked By: JEE

Date: FEBRUARY, 2025

Issue: FINAL DEVELOPMENT

Drawing Title:

SWPPP DETAILS

Specifications
for
Mulching

1. Mulch and other appropriate vegetative practices shall be applied to disturbed areas within 7 days of grading if the area is to remain dormant (undisturbed) for more than 21 days or on areas and portions of the site which can be brought to final grade.

2. Mulch shall consist of one of the following:
 - Straw - Straw shall be unrotted small grain straw applied at the rate of 2 tons/ac. or 90 lb./1,000 sq. ft. (two to three bales). The straw mulch shall be spread uniformly by hand or mechanically so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 sq.ft. sections and place two 45-lb. bales of straw in each section.
 - Hydroseeders - Wood cellulose fiber should be used at 2,000 lb./ac. or 46 lb./1,000 sq. ft.
 - Other - Acceptable mulches include mulch mattings and rolled erosion control products applied according to manufacturer's recommendations or wood mulch/chips applied at 10-20 tons/ac.
3. Mulch Anchoring - Mulch shall be anchored immediately to minimize loss by wind or runoff. The following are acceptable methods for anchoring mulch.
 - Mechanical - Use a disk, crimper, or similar type tool set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but be left generally longer than 6 inches.
 - Mulch Nettings - Use according to the manufacturer's recommendations, following all placement and anchoring requirements. Use in areas of water concentration and steep slopes to hold mulch in place.
 - Synthetic Binders - For straw mulch, synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosel, Terra Tack or equal may be used at rates recommended by the manufacturer. All applications of Synthetic Binders must be conducted in such a manner where there is no contact with waters of the state.
 - Wood Cellulose Fiber - Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 lb./acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal. of wood cellulose fiber.

Specifications
for
Small Construction Site Controls

1. Preexisting vegetation shall be retained on idle portions of the building lot for as long as construction operations allow. Clearing shall be done so only active working areas are bare.

2. Temporary seed and/or mulch shall be applied to areas, such as stockpiles and rough graded areas, that are bare and not actively being worked. This shall apply to areas that will not be reworked for 21 days or more.

3. Stockpiles created from basement excavation and grading shall be situated away from streets, swales, or other waterways and shall be seeded and/or mulched immediately.

4. Silt fence or other sediment barriers shall control sheet flow runoff from the building lot. These shall not be constructed in channels or areas of concentrated flow. Other sediment controls such as sediment traps and
- inlet protection shall also be used as needed to control sediment runoff. Sediment control practices shall be inspected weekly after storm events, and maintained in good working condition.

5. Construction vehicle access shall be limited to one route, to the greatest extent practical. The access shall be gravel or crushed rock underlain with geotextile.

6. Mud tracked onto streets or sediment settled around curb inlet protection shall be removed daily or as needed to prevent it from accumulating. It shall be removed by shoveling and scraping and shall NOT be washed off paved surfaces or into storm drains. Sediment removed shall be placed where it will not be subject to erosion or concentrated runoff.

Specifications
for
Temporary Seeding

Table 7.8.1 Temporary Seeding Species Selection				
Seeding Dates	Species	Lb./1000 ft ²	Lb./Acre	
March 1 to August 15	Oats	3	128 (4 Bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Ryegrass	1	40	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Annual Ryegrass	1.25	55	
	Perennial Ryegrass	3.25	142	
	Creeping Red Fescue	0.4	17	
	Kentucky Bluegrass	0.4	17	
August 16th to November	Oats	3	128 (3 bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Wheat	3	112 (2 bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Ryegrass	1	40	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Annual Ryegrass	1.25	40	
November 1 to Feb. 29	Perennial Ryegrass	3.25	40	
	Creeping Red Fescue	0.4	40	
	Kentucky Bluegrass	0.4	40	

Note: Other approved species may be substituted.

1. Structural erosion and sediment control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction site.

2. Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 21 days or greater. These idle areas shall be seeded within 7 days after grading.

3. The seedbed should be pulverized and loose to ensure the success of establishing vegetation. Temporary seeding should not be postponed if ideal seedbed preparation is not possible.
4. Soil Amendments—Temporary vegetation seeding rates shall establish adequate stands of vegetation, which may require the use of soil amendments. Base rates for lime and fertilizer shall be used.

5. Seeding Method—Seed shall be applied uniformly with a cyclone spreader, drill, cutpacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cutpacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

Specifications
for
Temporary Seeding

Mulching Temporary Seeding

1. Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates on favorable, very flat soil conditions may not need mulch to achieve adequate stabilization.

2. Materials:
 - Straw—If straw is used, it shall be unrotted small-grain straw applied at a rate of 2 tons per acre or 90 lbs./1,000 sq. ft. (2-3 bales)
 - Hydroseeders—If wood cellulose fiber is used, it shall be used at 2000 lbs./ ac. or 46 lb./1,000-sq.-ft.
 - Other—Other acceptable mulches include mulch mattings applied according to manufacturer's recommendations or wood chips applied at 6 tons/ ac.
3. Straw Mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but left to a length of approximately 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosel, Terra Tack or equivalent may be used at rates recommended by the manufacturer.
 - Wood-Cellulose Fiber—Wood-cellulose fiber binder shall be applied at a net dry wt. of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal.

Specifications
for
Permanent Seeding

Site Preparation

1. Subsoiler, plow, or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.

2. The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.

3. Topsoil shall be applied where needed to establish vegetation.
- From October 1 through November 20, prepare the seedbed, add the required amounts of lime and fertilizer, then mulch and anchor. After November 20, and before March 15, broadcast the selected seed mixture. Increase the seeding rates by 50% for this type of seeding.

• From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.

• Apply seed uniformly with a cyclone seeder, drill, cutpacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.

• Where feasible, except when a cutpacker type seeder is used, the seedbed should be firmed following seeding operations with a cutpacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible.

Seedbed Preparation

1. Lime—Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.

2. Fertilizer—Fertilizer shall be applied as recommended by a soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1000 pounds per acre of a 10-10-10 or 12-12-12 analysis.

3. The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil shall be worked on the contour.
- Mulch material shall be applied immediately after seeding. Dormant seeding shall be mulched. 100% of the ground surface shall be covered with an approved material.

2. Materials
 - Straw—If straw is used it shall be unrotted small-grain straw applied at the rate of 2 tons per acre or 90 pounds (two to three bales) per 1,000-sq. ft. The mulch shall be spread uniformly by hand or mechanically applied so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000-sq.-ft. sections and spread two 45-lb. bales of straw in each section.
 - Hydroseeders—If wood cellulose fiber is used, it shall be applied at 2,000 lb./ac. or 46 lb./1,000 sq. ft.
 - Other—Other acceptable mulches include rolled erosion control mattings or blankets applied according to manufacturer's recommendations or wood chips applied at 6 tons per acre.

Seeding Dates and Soil Conditions

- Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the above-specified dates, additional mulch and irrigation may be required to ensure a minimum of 80% germination. Tillage for seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.

Dormant Seedings

1. Seedings should not be made from October 1 through November 20. During this period, the seeds are likely to germinate but probably will not be able to survive the winter.

2. The following methods may be used for "Dormant Seeding":
3. Straw and Mulch Anchoring Methods

Straw mulch shall be anchored immediately to minimize loss by wind or water.

- Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Asphalt Emulsion—Asphalt shall be applied as recommended by the manufacture or at the rate of 160 gallons per acre.

- Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosel, Terra Tack or equivalent may be used at rates specified by the manufacturer.

• Wood Cellulose Fiber—Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gallons of water.
- Irrigation

Permanent seeding shall include irrigation to establish vegetation during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant growth.

Irrigation rates shall be monitored to prevent erosion and damage to seeded areas from excessive runoff.

Table 7.10.2 Permanent Seeding

Seed Mix	Seeding Rate		Notes:
	Lbs./acre	Lbs./1,000 Sq. Feet	
General Use			
Creeping Red Fescue	20-40	1/2-1	For close mowing & for waterways with <2.0 ft/sec velocity
Domestic Ryegrass	10-20	1/4-1/2	
Kentucky Bluegrass	20-40	1/2-1	
Tall Fescue	40-50	1-1 1/4	
Turf-type (dwarf) Fescue	90	2 1/4	
Steep Banks or Cut Slopes			
Tall Fescue	40-50	1-1 1/4	
Crown Vetch	10-20	1/4-1/2	Do not seed later than August
Tall Fescue	20-30	1/2-3/4	
Flat Pea	20-25	1/2-3/4	Do not seed later than August
Tall Fescue	20-30	1/2-3/4	
Road Ditches and Swales			
Tall Fescue	40-50	1-1 1/4	
Turf-type (Dwarf) Fescue	90	2 1/4	
Kentucky Bluegrass	5	0.1	
Lawns			
Kentucky Bluegrass	100-120	2	For shaded areas
Perennial Ryegrass		2	
Kentucky Bluegrass	100-120	2	
Creeping Red Fescue		1-1/2	

Note: Other approved seed species may be substituted.

Specifications
for

Additional Construction Site Pollution Controls

1. Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:
 - Prevent spills
 - Use products up
 - Follow label directions for disposal
 - Remove lids from empty bottles and cans when disposing in trash
 - Recycle wastes whenever possible
 - Don't pour into waterways, storm drains or onto the ground
 - Don't pour down the sink, floor drain or septic tanks
 - Don't bury chemicals or containers
 - Don't burn chemicals or containers
 - Don't mix chemicals together

2. Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CD&D) waste must be disposed of at an Ohio EPA approved CD&D landfill.

3. No construction related waste materials are to be buried on-site. By exception, clean fill (bricks, hardened concrete, soil) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.

4. Handling Construction Chemicals. Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any watercourse, ditch or storm drain.

5. Equipment Fueling and Maintenance, oil changing, etc., shall be performed away from watercourses, ditches or storm drains, in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel oil storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 0.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, accumulative above ground storage of 1330 gallons or more, or 42,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.

6. Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged. For small projects, truck chutes may be rinsed away from any water conveyances.

7. Spill Reporting Requirements: Spills on pavement shall be absorbed with sawdust or kitty litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-9378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 30 min. of the discovery of the release. All spills which contact waters of the state must be reported to Ohio EPA.

8. Contaminated Soils. If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility. (not a construction/demolition debris landfill). Note that storm water run off associated with contaminated soils are not be authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.

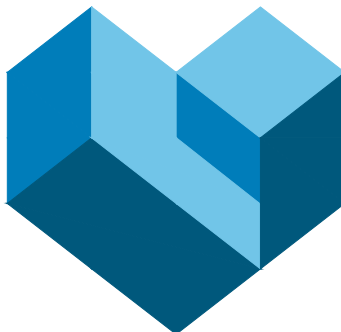
9. Open Burning. No materials containing rubber, grease, asphalt, or petroleum products, such as tires, auto parts, plastics or plastic coated wire may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within corporation limits; 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000, and 3) a one mile zone outside of a corporation of 10, 000 or more. Outside of restricted areas, no open burning is allowed within a 1000 feet of an inhabited building on another property. Open burning is permissible in a restricted area for: heating tar, welding, smudge pots and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land-clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.

10. Dust Control or dust suppressants shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner, which prevent a discharge to waters of the state. Sufficient distance must be provided between applications and nearby bridges, catch basins, and other waterways. Application (excluding water) may not occur when rain is imminent as noted in the short term forecast. Used oil may not be applied for dust control.

11. Other Air Permitting Requirements: Certain activities associated with construction will require air permits including but not limited to: mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required.

12. Process Waste Water/Leachate Management. Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic leachate concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or septage is discharged; it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.

13. A Permit To Install (PTI) is required prior to the construction of all centralized sanitary systems, including sewer extensions, and sewerage systems (except those serving one, two, and three family dwellings) and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.



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GREY FOX CAPITAL

CREEKSIDE
WOODS PHASE 2

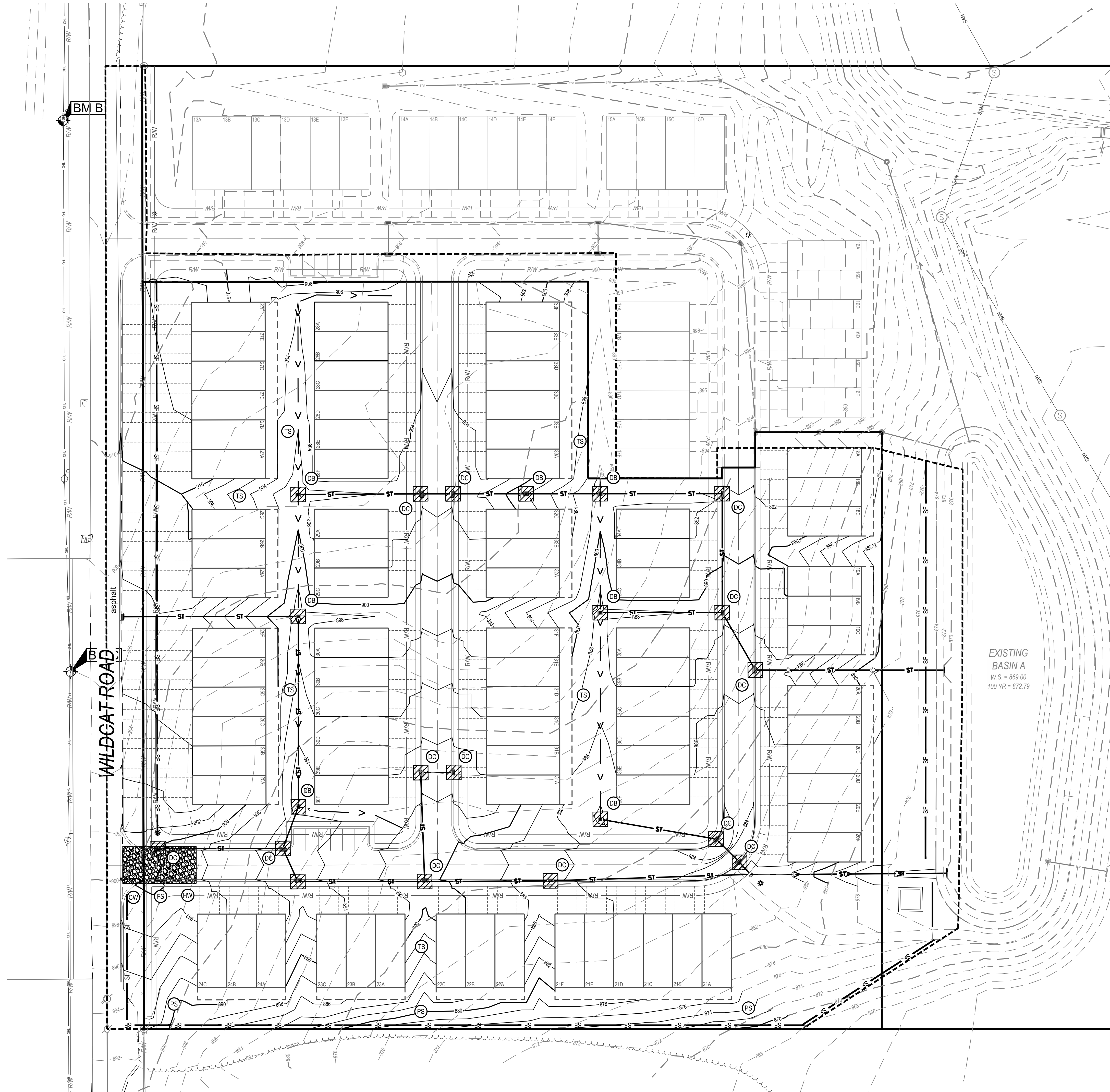
CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

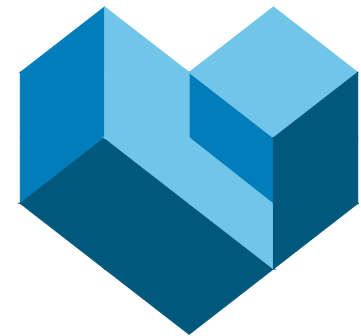
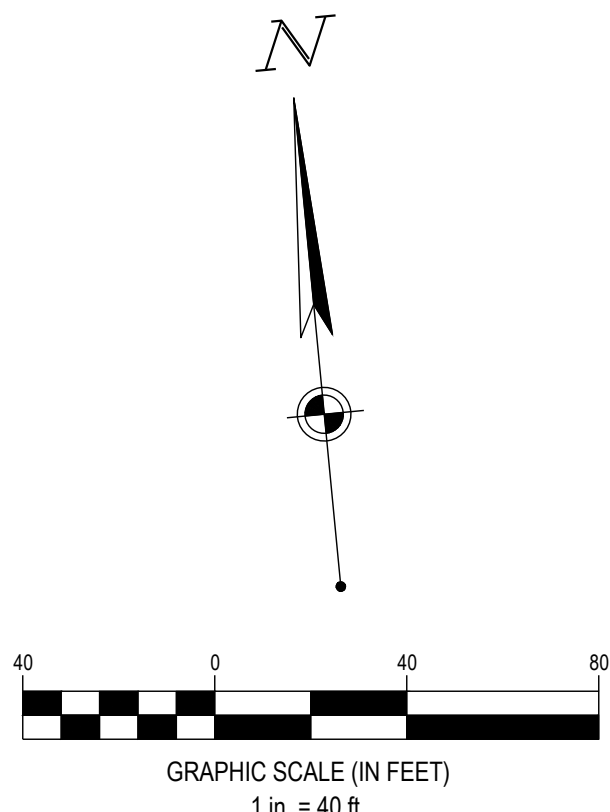
ID	Description	Date
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Project Number: 765054
Scale: AS SHOWN
Drawn By: JH
Checked By: JEE
Date: FEBRUARY, 2025
Issue: FINAL DEVELOPMENT

Drawing Title:
SWPPP DETAILS



- LEGEND**
- 940 --- EXISTING INDEX CONTOUR
 - 941 --- EXISTING INTERMEDIATE CONTOUR
 - SUBJECT BOUNDARY LINE
 - EXISTING PROPERTY LINE
 - R/W --- EXISTING R/W
 - EXISTING CENTERLINE
 - EXISTING TREE LINE
 - EXISTING SIDEWALK
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FACE OF CURB
 - EXISTING BACK OF CURB
 - STM --- EXISTING STORM SEWER
 - SAN --- EXISTING SANITARY SEWER
 - EXISTING STORM STRUCTURES
 - EXISTING SANITARY SEWER MANHOLE
 - 950 --- PROPOSED INDEX CONTOUR
 - 951 --- PROPOSED INTERMEDIATE CONTOUR
 - STABILIZED CONSTRUCTION ENTRANCE
 - LIMITS OF DISTURBANCE
 - SF --- SILT FENCE
 - FS --- FILTER SOCK
 - ST --- PROPOSED STORM SEWER
 - PROPOSED STORM STRUCTURES
 - TS --- TEMPORARY SEEDING
 - PS --- PERMANENT SEEDING
 - HW --- HAZARDOUS WASTE STORAGE AREA
 - FS --- FUEL STORAGE AREA
 - CW --- CONCRETE WASHOUT AREA
 - DB --- DANDY BAG
 - DC --- DANDY CURB



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GREY FOX CAPITAL

CREEKSIDE WOODS PHASE 2

CHARLES GATE RD & WILDCAT RD
HUBER HEIGHTS, OH 45424

Revisions / Submissions

ID	Description	Date
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Project Number: 765054

Scale: AS SHOWN

Drawn By: JH

Checked By: JEE

Date: FEBRUARY, 2025

Issue: FINAL DEVELOPMENT

Drawing Title:

**EROSION CONTROL
PLAN**



Huber Heights Fire Division

Inspections require two business days advance notice! (OAC)1301:7-7-09(A)(5)

Occupancy Name:	Creekside Townhomes – Phase 2
Occupancy Address:	5425 Charlesgate Road

Type of Permit:	HHP&D Site Plan
Additional Permits:	Choose an item.
Additional Permits:	Choose an item.

MCBR BLD:	Not Yet Assigned	HH P&D:	
MCBR MEC:		HHFD Plan:	25-088
MCBR ELE:		HHFD Box:	
REVIEWER:	Susong	DATE:	3/5/2025

Fire Department Comments:

The Huber Heights City Code Part 15 Refers to Fire Code Requirements and has been adopted by reference OFC and IFC Appendices

These comments are based only on the proposed sitework, fire department access and basic fire protection concept currently. A full plan review of the building systems, fire protection, egress and life safety will need to be conducted once the architectural plans have been submitted. The proposed development will need to meet the requirements of the Ohio Fire Code 2017, Ohio Building Code 2024, and the Huber Heights Codified Ordinance. Based on the drawings provided the following requirements need to be met. Be advised that additional questions and comments may arise as the project progresses.

Requirements:

- Fire lane signs as specified in Ohio Fire Code D103.6 shall be posted on one side of fire apparatus access roads more than 26 feet wide and less than 32 feet wide. Ohio Fire Code D103.6.2. ***(Signs should be located on the side with fire hydrants.)***
- Hydrants in multi-family and commercial districts shall be placed not more than 300 feet apart, measured on the main and not more than 400 feet from any opening in any building. All new fire hydrants and any existing fire hydrants that need replacement, shall meet the Huber Heights hydrant standard for this district of two (2), five (5) inch steamer nozzles. These steamer nozzles shall have a five (5) inch STORTZ quick connection and one steamer shall have a four (4) inch STORTZ connection approved by the Code Official. Huber Heights Codified Ordinance 1521.06(c). ***(Hydrant spacing exceeds the 300 feet distance on Wildcat Road and Road B, northeast corner.)***

- If buildings are required to be sprinklered at least one fire hydrant shall be provided within 75 feet of the fire department connection for each building. Huber Heights Codified Ordinance 1521.01(e).
- Unobstructed access to fire hydrants shall be always maintained. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Ohio Fire Code 507.5.4. *(See below.)*
- A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. *(No trees, bushes, plantings, etc.)* Ohio Fire Code 507.5.5.
- The water supply for fire protection shall meet the requirements of OFC 507 and Appendix B. Calculations and findings will need to be determined and provided. Water Main and hydrant extension sizes and spacing will also need to be shown in detail. Fire flow requirements shall be determined in accordance with Ohio Fire Code, Appendix B, Fire Flow Requirements for Buildings. Once the fire flow has been determined the minimum number of required fire hydrants can be confirmed.
(Building Construction Classification and Square Footage will need to be determined first).
- Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical height for fire apparatus access roads shall be 13 feet 6 inches, in accordance with Ohio Fire Code 503.2.1. *(Roads with fire hydrants shall have a minimum width of 26 feet. Ohio Fire Code D103.1. Current layout shows roads to be 27 feet wide.)*
- Fire department access roads shall be capable of supporting the imposed load of fire apparatus weighing up to 75,000 lbs. Refer to Ohio Fire Code Appendix D102.1.
- Turn radius for fire department vehicle access shall meet the requirements for Huber Heights Fire Division. Refer to Ohio Fire Code Appendix D103.3 and 503.2.4. *(Turn radius appears to comply on drawing dated January 2025.)*
- Buildings where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, shall be provided with approved aerial fire apparatus access roads. OFC Appendix D105.1. Refer to D105.2, D105.3 and D105.4 for additional requirements. *(Elevation dimensions were not shown on drawings.)*
- If required, fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or otherwise approved by the fire code official. Ohio Fire Code 912.2.1.
- If required, immediate access to fire department connections shall be always maintained and without obstruction by fences, bushes, trees, walls or any other fixed or movable object. Access to fire department connections shall be approved by the fire code official. Ohio Fire Code 912.4.

Plans reviewed by the Huber Heights Fire Division are reviewed with the intent they comply in ALL respects to this code, as prescribed in SECTION (D) 104.1 of the 2017 Ohio Fire Code. Any omissions or errors on the plans or in this review do not relieve the applicant of complying with ALL applicable requirements of this code. These plans have been reviewed for compliance with the Ohio Fire Code adopted by this jurisdiction. There may be other regulations applicable under local, state, or federal statutes and codes, which this department has no authority to enforce and therefore have not been evaluated as part of this plan review.

AI-10676

10. A.

Planning Commission

Meeting Date: 03/11/2025

Minutes

Information

Agenda Title

Without objection, the minutes of the February 11, 2025, Planning Commission meeting are approved.

Purpose and Background

Attachments

Minutes

**Planning Commission
February 11, 2025, Meeting
City of Huber Heights**

I. Chair Terry Walton called the meeting to order at approximately 6:00 p.m.

II. Present at the meeting: Ms. Thomas, Ms. Vargo, and Mr. Walton.

Members absent: Mr. Cassity

Staff Present: Aaron K. Sorrell, Assistant City Manager

III. Opening Remarks by the Chairman and Commissioners

None.

IV. Citizens Comments

None.

V. **Swearing of Witnesses** Mr. Walton explained the proceedings of tonight's meeting and administered the sworn oath to all persons wishing to speak or give testimony regarding items on the agenda. All persons present responded in the affirmative.

VI. Pending Business

None.

VII. New Business

1. **DETAILED DEVELOPMENT PLAN – The applicant, GREY FOX CAPITAL, is requesting approval of a Detailed Development Plan for Creekside Woods Phase 1, comprised of 78 units on 15.2 acres. Property is located at 5425 Charlesgate Road (Case DDP 25-03).**

Mr. Sorrell stated that the applicant seeks Detailed Development Plan approval for Creekside Woods, Phase 1, comprised of 78 townhome units and related public infrastructure on 15.2 acres. The Basic Development Plan for the entire 159-unit townhome development on 24.6 acres was approved by the Huber Heights City Council on December 10, 2024, through case BDP 24-23.

The site is wooded with a steep ravine and stream bisecting the site. This ravine and stream have historically been an impediment to its development. The applicant is proposing two development areas with entrances from Wildcat Road and Charlesgate Road. The two development areas will be connected via pedestrian paths.

The staff analysis addresses the elements of the Basic Development Plan requirements and standards for approval of the Detailed Development Plan.

The applicable zoning regulations are Chapter 1171 – General Provisions, Chapter 1172 – Planned Residential, Chapter 1181 – General Provisions, Chapter 1182 – Landscaping, and Chapter 1185 – Parking and Loading.

The approved Basic Development Plan contained the following conditions:

1. The applicant shall assess the health of the existing trees along the stream that will be incorporated into the landscaping plan. Healthy trees shall be identified and incorporated into the landscaping plan as appropriate, subject to approval as part of the Detailed Development Plan. The applicant shall also develop a plan to protect key trees during construction, subject to staff approval.
 2. The applicant shall work with staff to determine the final street tree placement during the Detailed Development Plan phase.
 3. Signs shall conform with Chapter 1189 of the City Code, unless otherwise approved in the Detailed Development Plan by the Planning Commission.
 4. Water and sanitary lines shall be placed in public easements.
 5. The frontage along Wildcat Road shall be improved to City standards and additional right of way shall be dedicated for a future 10 to 12-foot multi-use path.
 6. The revised site plan shall substantially conform to the Conceptual Landscape Plan dated November 21, 2024, including setbacks, buffering, screening and building.
-
1. The applicant shall assess the health of the existing trees along the stream that will be incorporated into the landscaping plan. Healthy trees shall be identified and incorporated into the landscaping plan as appropriate, subject to approval as part of the Detailed Development Plan. The applicant shall also develop a plan to protect key trees during construction, subject to staff approval.

Sheet 40 (Overall Erosion Control Plan) indicates the stream and large areas of the ravine will remain undisturbed. Additionally, there is an area along the northern property line where the Limit of Disturbance is approximately 40-feet from the property lines. This is consistent with the conceptual landscaping plan dated 11-21-2024.

Staff requests the applicant provide tree fencing along the northern 40-foot setback to reduce tree damage during grading as a condition of approval.

2. The applicant shall work with staff to determine the final street tree placement during the Detailed Development Plan phase.

The Detailed Development Plan satisfies the overall amount of street trees required. Trees have been clustered in areas to avoid sanitary sewer utility easements in certain front yards.

3. Signs shall conform with Chapter 1189 of the City Code, unless otherwise approved in the Detailed Development Plan by the Planning Commission.

The proposed monument entry feature complies with Chapter 1189.

4. Water and sanitary lines shall be placed in public easements.

All water and sanitary lines are within public easements.

5. The frontage along Wildcat Road shall be improved to City standards and additional right of way shall be dedicated for a future 10 to 12-foot multi-use path.

Additional right of way is shown on the plans.

6. The revised site plan shall substantially conform to the Conceptual Landscape Plan dated November 21, 2024, including setbacks, buffering, screening and building.

The revised site plan substantially conforms to the conceptual landscape plan dated November 21, 2024. Notably, the northern buffer and additional evergreen plantings are illustrated, street trees are provided throughout the site, pedestrian pathways are provided as illustrated.

Uses: Rowhouses are a permitted use.

Density: The overall density of the development is 6.5 units / acre, consistent with the zoning code.

Setback: The code does not have required minimum building setbacks for rowhouses in Planned Residential districts. To accommodate parking in the driveway, the minimum building setback should be 20-feet, measured from the back of the sidewalk. All Phase 1 buildings meet this requirement.

The setbacks along main roads (Charlesgate & Wildcat) are approximately 40-feet.

Parking: The code requires two spaces per unit. The development provides two spaces per unit, plus an additional 20 spaces for visitors in Phase 1. The Detailed Development Plan satisfies the zoning code requirements.

Utilities: All utilities are below ground.

Building Materials: The applicant anticipates the builder will be NVR (Ryan Homes). The buildings are very similar to the row housing being constructed in Heathermere Woods.

The conceptual elevations and plans appear to meet our building materials standards with a stone veneer watertable. Staff recommends as a condition of approval the applicant, and/or applicant's builder shall comply with the building materials for dwelling requirements outlined in Section 1181.20(c) and 10% of the aggregate building wall surface, within the development, shall be full depth brick, cultured brick, stone, or cultured stone.

Fire: See attached.

City Engineer: The engineer's comments have been provided to the applicant.

Recommendation

Staff supports the approval of the Detailed Development Plan application submitted on January 28, 2024. It is the staff's opinion that the requirements of

Planning Commission Meeting

February 11, 2025

Section 1171.06 can be met, and recommends approval of the Detailed Development Plan with the following conditions:

1. The applicant install protective fencing along the northern 40-foot buffer area to protect existing trees from damage during construction.
2. Building elevations shall be similar in design and masonry composition as illustrated on the renderings submitted with the Basic Development Plan application.
3. The applicant shall comply will all Fire Department requirements.

Discussion on the masonry percentage.

Action

Ms. Thomas moved to approve the request by the applicant, GREY FOX CAPITAL, for a Detailed Development Plan (DDP 25-03) in accordance with the recommendation of Staff's Memorandum dated February 5, 2025, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Vargo. Roll call showed: YEAS: Ms. Vargo, Ms. Thomas, and Mr. Walton. NAYS: None. Motion to approve carried 3-0.

2. **REPLAT – The applicant, THE CITY OF HUBER HEIGHTS, is requesting approval of a Replat to dedicate 1.231 acres of public right of way. Property is located at 6900 Executive Boulevard (Case RP 25-05).**

Mr. Sorrell stated that the applicant requests approval of a replat to dedicate 1.231 acres of public right of way. This dedication will facilitate the development of the city-owned lot at 6900 Executive Boulevard.

The applicable subdivision regulations are Chapter 1107 – Final Plat

The proposed record plan meets all subdivision requirements. Access to the Rose Music Center, Tru Hotel and TJ Chumps are currently through non-dedicated lanes with cross access easements. This record plan dedicates the lanes as public rights of way and slightly enlarges the right of way along Executive Boulevard.

Street names will be determined prior to recording the record plan.

Fire:

City Engineer: The City Engineer had no comments.

Recommendation

Planning staff recommends approval of the Record Plan

Action

Ms.Vargo moved to approve the request by the applicant, THE CITY OF HUBER HEIGHTS, for approval of a Replat (RP 25-05) in accordance with the recommendation of Staff's Memorandum dated February 5, 2025, and the Planning Commission Decision Record attached thereto.

Seconded by Ms. Thomas. Roll call showed: YEAS: Ms. Thomas, Ms. Vargo, and Mr. Walton. NAYS: None. Motion to approve carried 3-0.

VIII. Additional Business

None.

IX. Approval of the Minutes

Without objection, the minutes of the January 14, 2025, Planning Commission meeting are approved.

X. Reports and Calendar Review

None.

XI. Upcoming Meetings

March 11, 2025

April 15, 2025

XII. Adjournment

There being no further business to come before the Commission, the meeting was adjourned at approximately 6:50 p.m.

Terry Walton, Chair

Date

Geri Hoskins, Administrative Assistant

Date