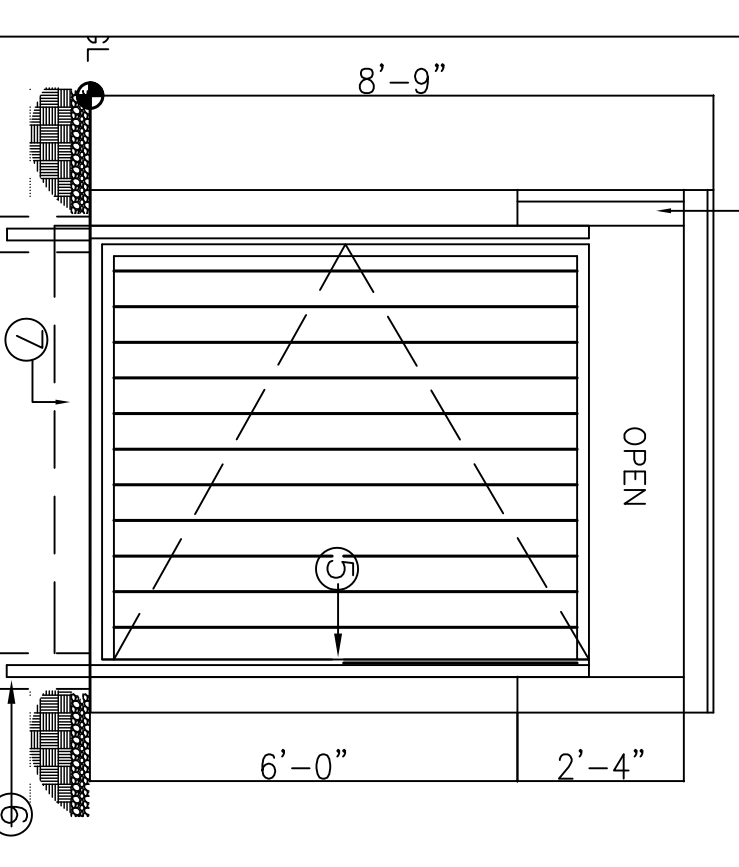
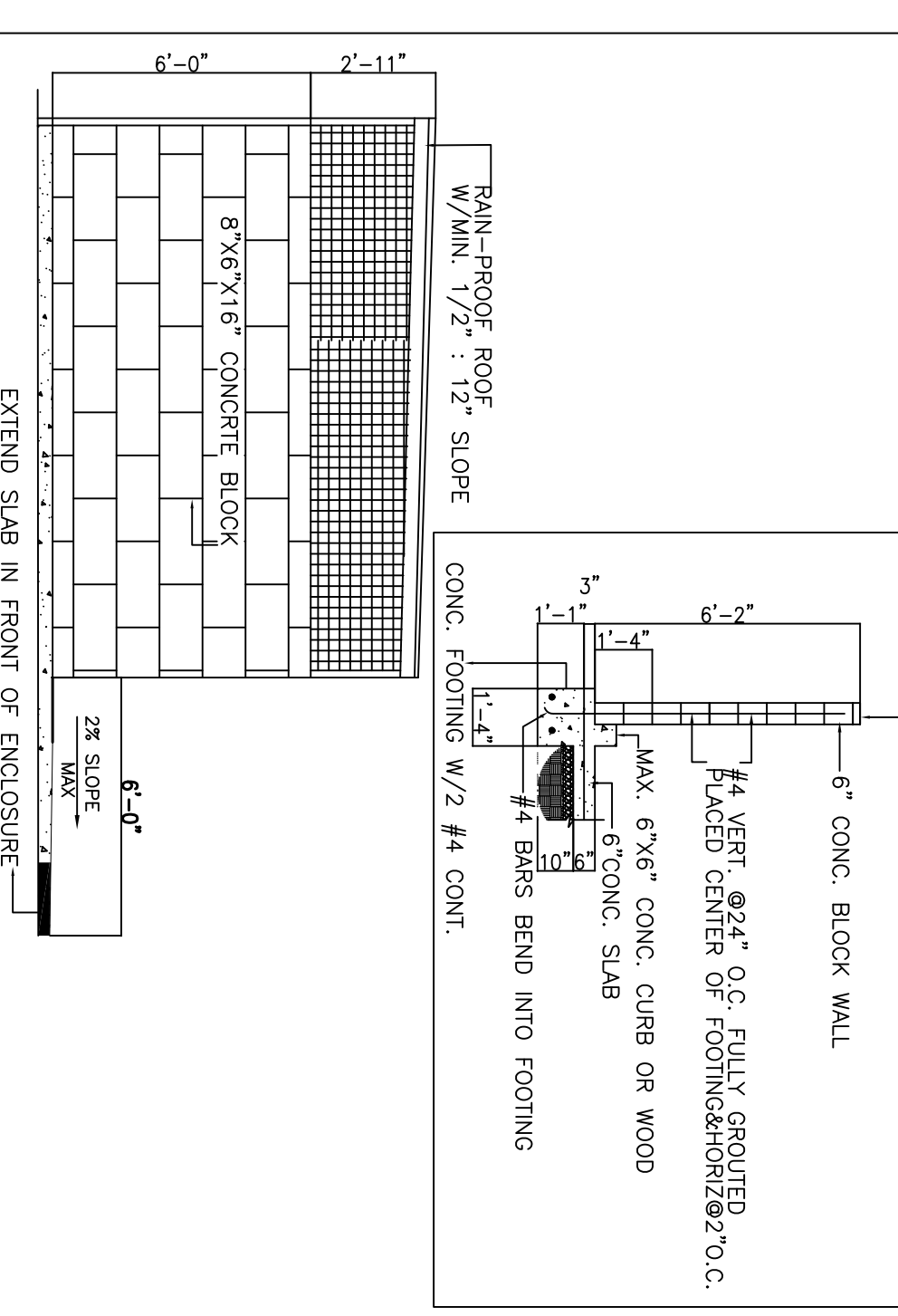


2 TRASH ENCLOSURE FLOOR PLAN
 2"x3" WELDED WIRE MESH BETWEEN REINFORCED MASONRY WALL & ROOF

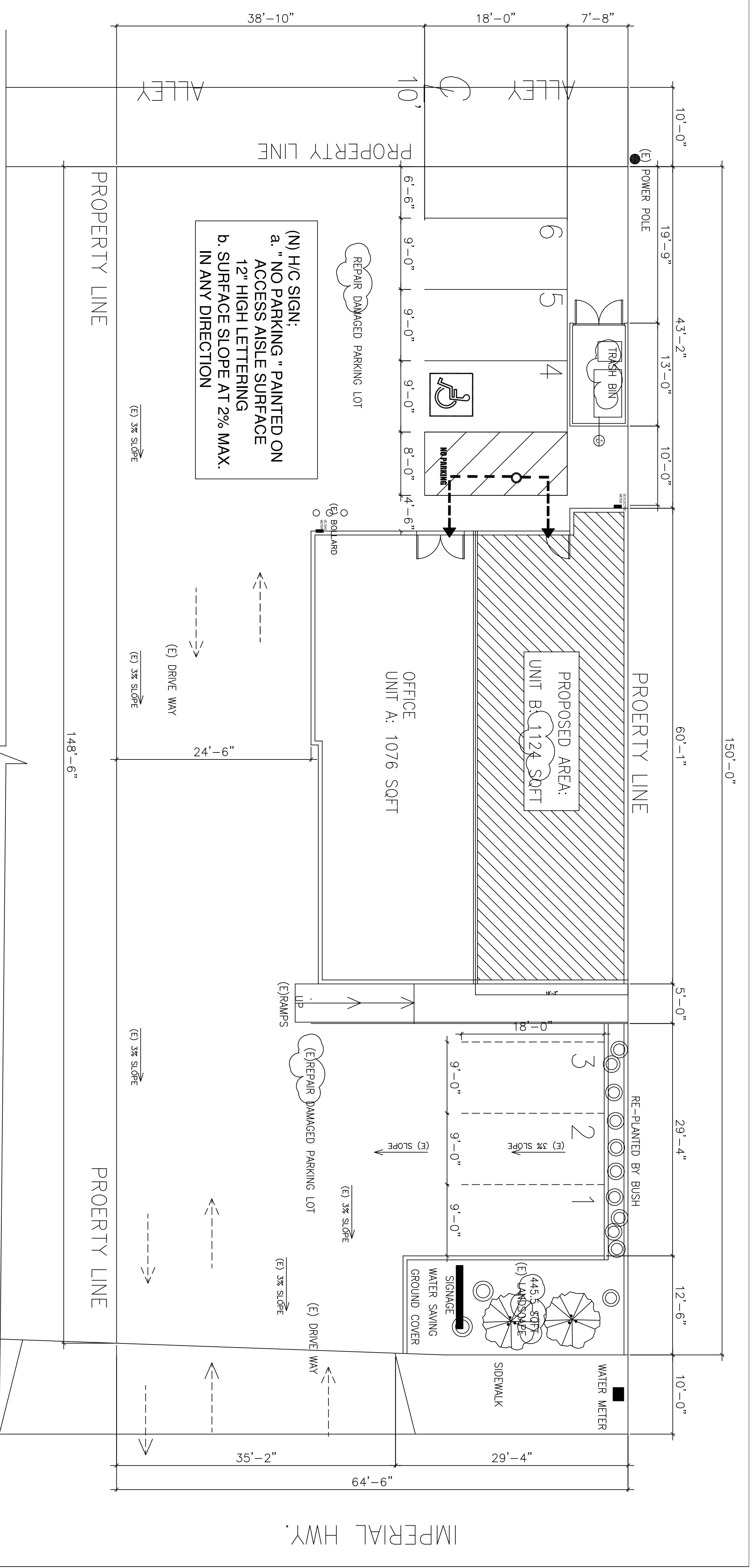


3 TRASH ENCLOSURE FRONT VIEW

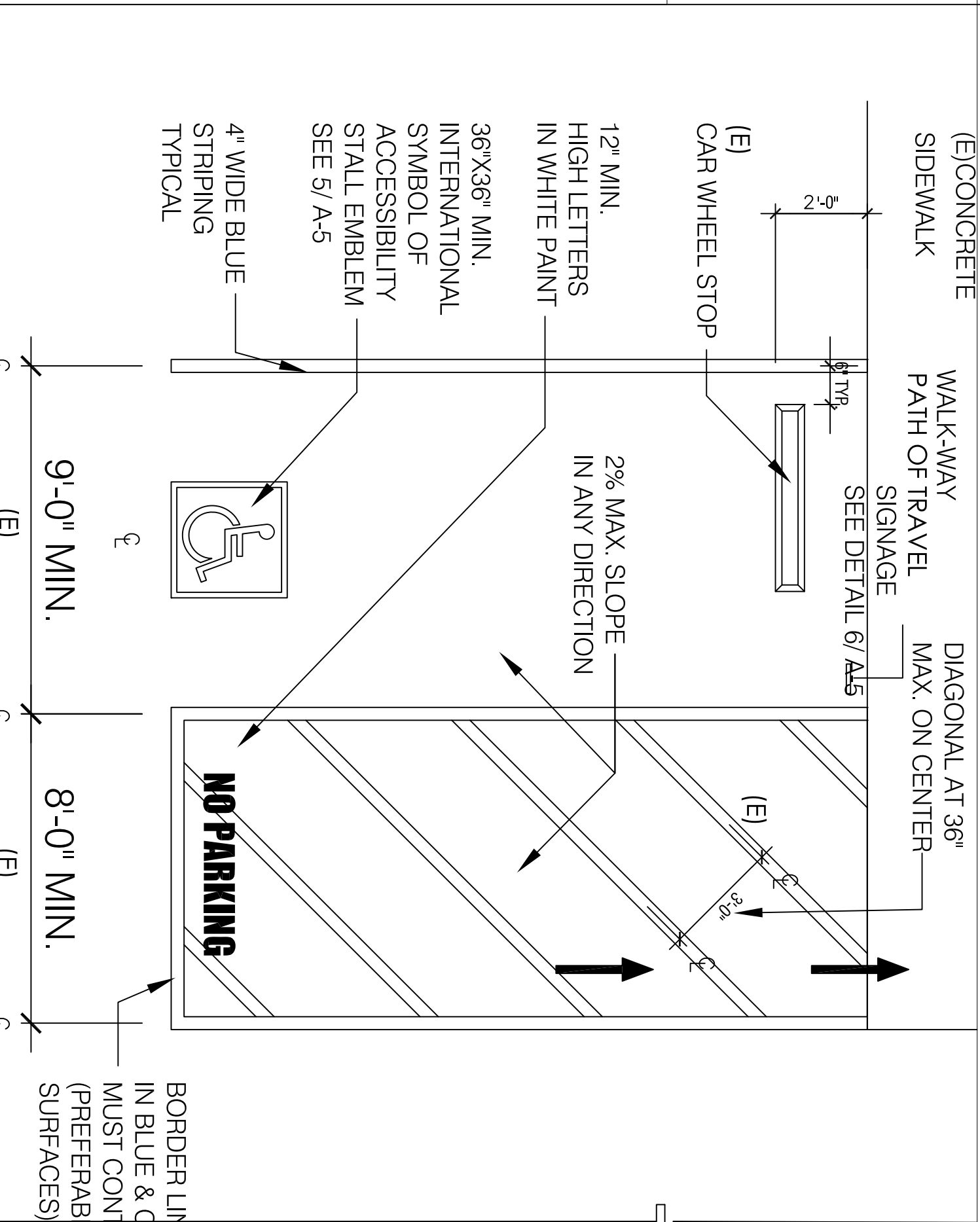
- 1 6"x6"x16" CONCRETE BLOCK
- 2 6" SQUARE 2" THK STEEL JAMB TUBES, CONCRETE FILLED 2" CLEARANCE BETWEEN TUBE AND WALLS.
- 3 16GA RIBBED METAL GATES W/ 2"x2"x1/8" STEEL ANGLE IRON FRAME AND DIAGONAL BRACING, CONTINUOUS WELD ALL JOINTS.
- 4 6" X4" HIGH CONCRETE CURB.
- 5 2" METAL PLATE W/ SLIDE BOLT ASSEMBLY WELDED IN PLACE.
- 6 14"x56" CONCRETE FOOTING.
- 7 6" THK CONCRETE LANDING PAD, 2% MAXIMUM SLOPE.



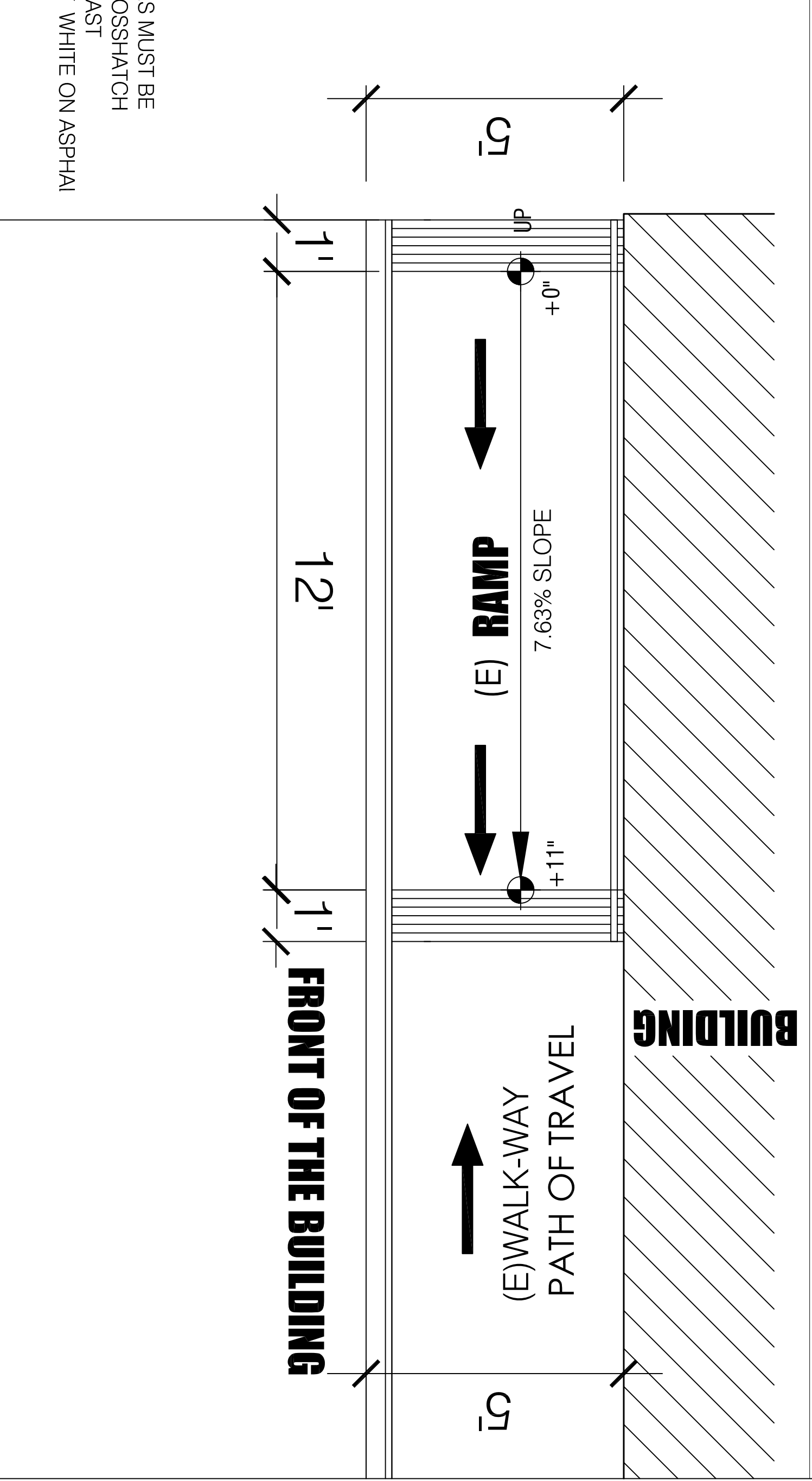
4 TRASH ENCLOSURE SIDE/ DETAIL



1 SITE PLAN



5 ADA PARKING STALL



6 ADA LAMP

NOTE: IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM BUILDING AT 2% MIN. SLOPE FOR A MINIMUM DISTANCE OF 10' ; LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.GRADE SHALL FALL 6" MIN. WITHIN 10' PER R401.3

SCALE: 1"=1/8"

IMPERIAL HWY.

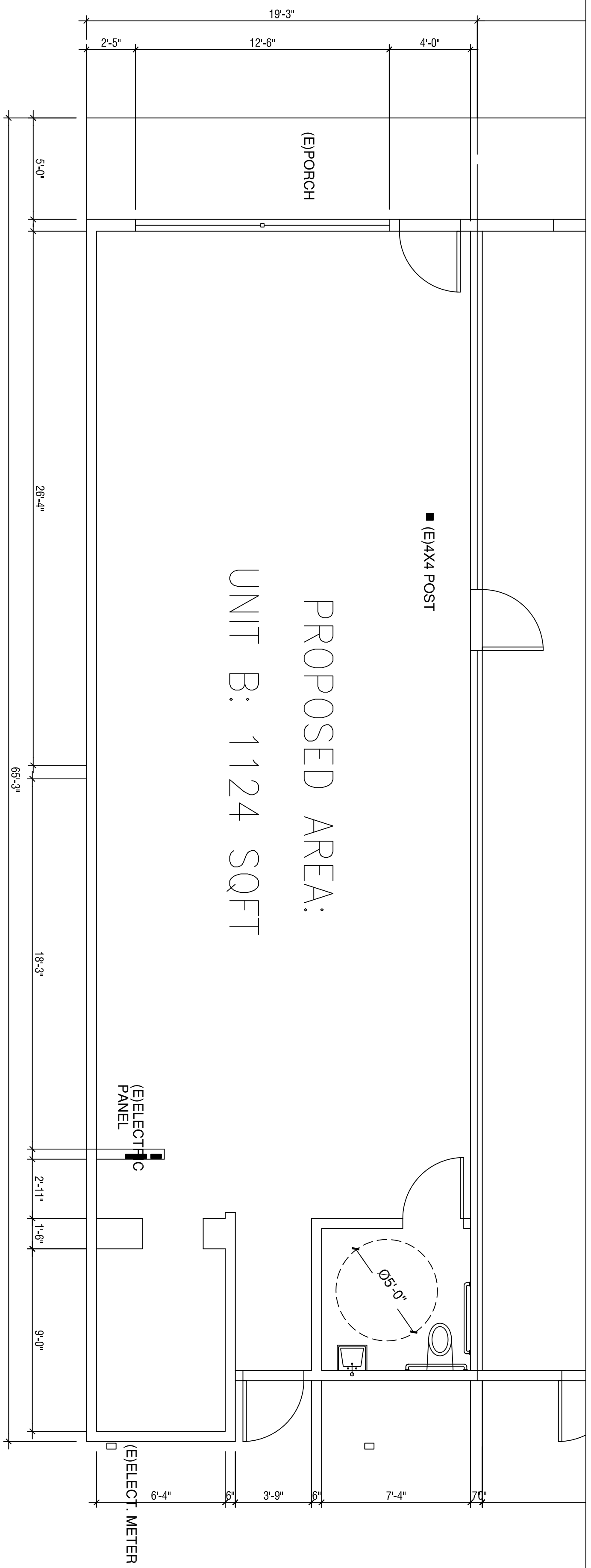
REVISIONS	DATE	NO.	ISSUED FOR	DATE	OWNER / ADDRESS
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 14730 BEACH BL. #101 LA HABRA, CA 90638 phone: 626-217-4794

RABBIT & BEAN COFFEE
171 E IMPERIAL HWY. #B
LA HABRA, CA

PROJECT: RABBIT & BEAN COFFEE
 SITE TITLE: SITE PLAN & TRASH ENCLOSURE
 DATE: 05-10-21
 DRAWING BY: JEN. C
 CHECKED BY: JEN. C
 SHEET NO.: A-1

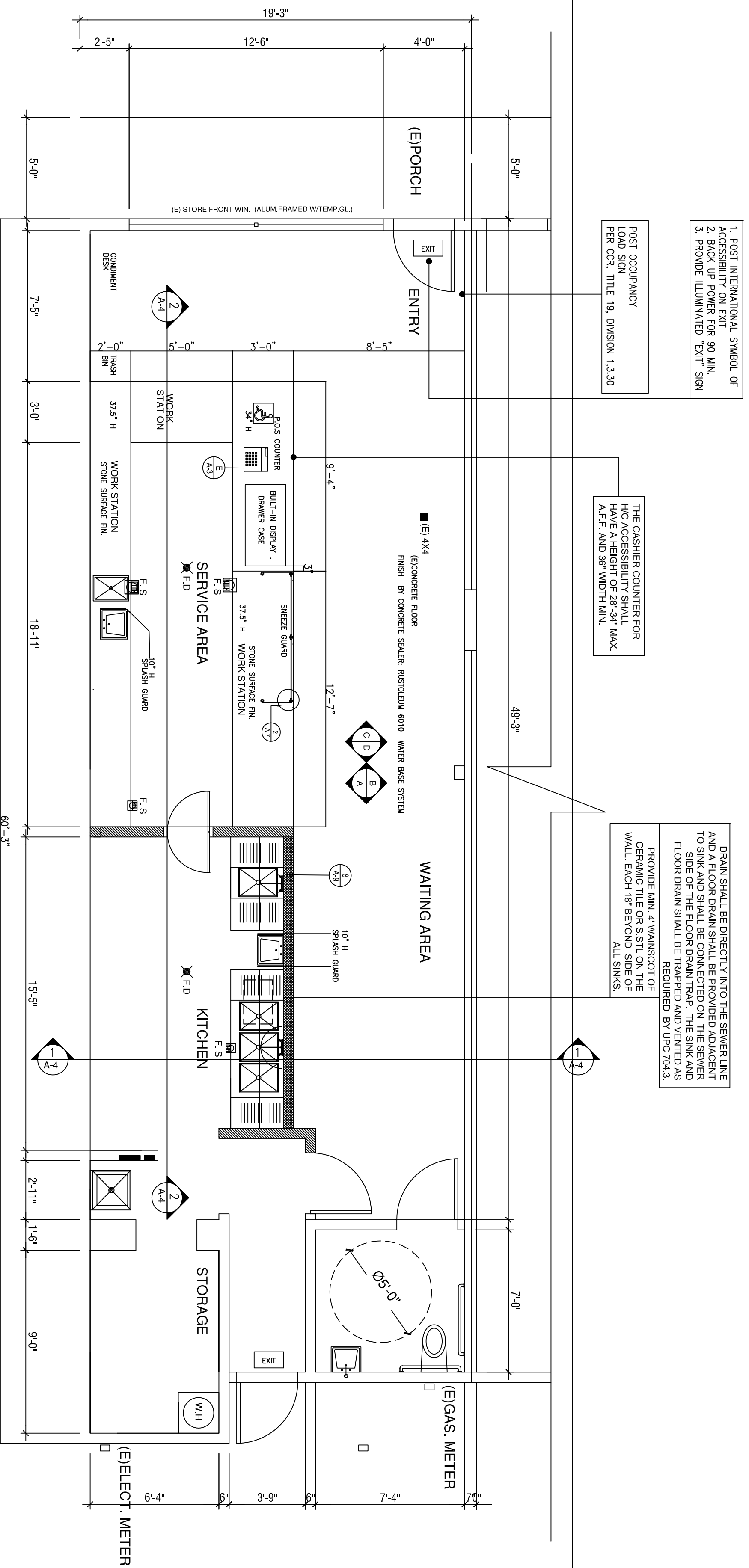
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PROPOSED AREA:
UNIT B: 1124 SQFT

1 EXISTING FLOOR PLAN

SCALE: 1"=1/4"



1. POST INTERNATIONAL SYMBOL OF ACCESSIBILITY ON EXIT
2. BACK UP POWER FOR 90 MIN.
3. FLOOR ILLUMINATED EXIT SIGN

POST OCCUPANCY PER CODE TITLE 19, DIVISION 1.3.30

THE GASSES COUNTERS FOR HIC ACCESSIBILITY SHALL HAVE A HEIGHT OF 28"-32" MAX. A.F.F. AND 36" WIDTH MIN.

DRAIN SHALL BE DIRECTLY INTO THE SEWER LINE AND A FLOOR DRAIN SHALL BE PROVIDED ADJACENT TO THE SIDE OF THE FLOOR DRAIN TRAP. THE SINK AND FLOOR DRAIN SHALL BE TRAPPED AND VENTED AS REQUIRED BY UPC/PLUMBING CODE.

LEGEND

- (C) EXISTING
- (N) NEW
- F.D. FLOOR DRAIN
- F.S. FLOOR SINK
- (E) EXISTING DEMISING WALL TO BE REMAIN
- (E) EXISTING WALL TO BE REMAIN
- (E) EXISTING STORE FRONT
- (E) EXISTING STORE FRONT W/ ALUM. FRAMED & TEMP. GLASS
- (N) NEW WALL, 3 5/8" x 20GA. METAL STUDS W/ S/P BRDG ABOVE CEILING LINE
- (N) PLUMBING WALL, 4 7/8" x 16 GA. STUDS @ 16" O.C. W/ 1/2" THK GYP BD. ON BOTH SIDES.

NOTE:

TOILET ROOMS SHALL HAVE A FAN PROVIDING A FIFTEEN MINUTE AIR CHANGE AS AN ALTERNATE, A MINIMUM 100 SQUARE INCH DUCT TO THE OUTSIDE AIR FOR THE FIRST TOILET FACILITY WITH AN ADDITIONAL FIFTY SQUARE INCHES FOR EACH ADDITIONAL TOILET FACILITY MAYBE PROVIDED

STORAGE REQUIREMENT

- REQUIRE MINIMUM STORAGE AREA: 25% OF KITCHEN : 48.5 SQFT
- PROVIDE STORAGE ROOM: 59.25 SQFT
- REQUIRE STORAGE SHELVES : 96X 24/2/400 : MINIMUM PROVIDE TOTAL 58 LFT
- 3 WALL SHELVES X 6'=18 LFT
- SHELVES 5'+5'+5'+4'+3'=22' X4 TIER = 88 LFT
- PROVIDE TOTAL 106 LFT

2 PROPOSED FLOOR PLAN

SCALE: 1"=1/4"

NOTE:

1. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. (2011 CBC, SEC. 1009.5.1.2)
2. ALL HARDWARE TO BE LEVER TYPE OR APPROVED EQUAL FOR DISABLED ACCESS.
3. MINIMUM EXIT DOOR IS 5'-0" X 6'-8"
4. TENANT'S GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORKS AND DISPOSE FROM LEASED PREMISES. ALSO, VERIFY ALL EXISTING CONDITION BEFORE PROCEEDING CONSTRUCTION.
5. ALL DIMENSIONS ARE FROM FINISH FACE OF ALL FIELD VERIFY AS BUILT FROM CONSTRUCTION. NOTIFY DESIGNER FOR ANY DISCREPANCY PRIOR STARTING. FAILURE TO DO WILL BE CONTRACTOR'S RESPONSIBILITY.
6. A SEPARATE PERMIT IS REQUIRED FOR ELECTRICAL WORK, MECHANICAL WORK, PLUMBING WORK, FIRE SPRINKLER INSTALLATION & EXTERIOR SIGNS.
7. RETURN AIR PLUMBING REQUIRE NON-COMBUSTIBLE CONSTRUCTION
8. ALL FLOOR/CEILING FIXTURES WITH DOUBLE ENDED LAMPS SHALL BE EQUIPPED WITH DISCONNECT (NEC 410.7X (A) DEC PART 1 RULE 30-500R-4)
9. EXISTING WALL AND CEILING WILL BE REMAINED. (EXCEPT KITCHEN & COUNTER AREA)

1. WHERE FOOD OR DRINK IS SERVED FOR CONSUMPTION AT A COUNTER EXCEEDING 34" IN HEIGHT, A PORTION OF MAIN COUNTER 60" MINIMUM IN LENGTH SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-902.3, CBC 11B-226.3
2. ACCESSIBLE CHECK STANDS SHALL ALWAYS BE OPEN TO CUSTOMERS WITH DISABILITIES AND SHALL BE IDENTIFIED BY A SIGN CLEARLY VISIBLE TO THOSE IN WHEELCHAIRS. THE SIGN SHALL DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON BLUE BACKGROUND AND STATE: (CBC 11-B216.11) "THIS CHECK STAND TO BE OPEN AT ALL TIMES FOR CUSTOMERS WITH DISABILITIES"

HEALTH DEPARTMENT NOTE

1. ALL EQUIPMENT SHALL MEET NATIONAL SANITATION FOUNDATION DESIGN AND INSTALLATION OR ITS EQUIVALENT.
2. LIGHT FIXTURES IN FOOD PREPARATION, OPEN FOOD STORAGE AND UTENSIL WASHING AREAS ARE TO BE PROTECTED AGAINST BREAKAGE THROUGH THE USE OF PLASTIC SLEEVES, SHATTER PROOF BULBS AND OR OTHER APPROVED DEVICES.
3. EXTERIOR DOORS SHALL BE SELF-CLOSING AND FIT TO A MAXIMUM 1/4" AT THE BASE AND SIDES.
4. PROVIDE PERMANENTLY MOUNTED SINGLE SERVICE SOAP AND TOWEL DISPENSERS AT ALL HAND SINKS.
5. TOILET ROOMS AND DRESSING ROOM DOORS SHALL BE SELF-CLOSING.
6. SEAL ALL CRACKS AND CREVICES IN COUNTERS, CABINETS, AROUND METAL FLASHING, SINK BACK SPLASHES, AND AROUND PIPES AND CONDUITS WITH A NON-HARDENING SILICONE SEALANT.
7. PROVIDE AN AREA OR CABINET FOR STORAGE OF CLEANING EQUIPMENT AND SUPPLIES AWAY FROM FOOD PREPARATION, UTENSIL WASHING, AND FOOD STORAGE AREAS.
8. A ROOM, ENCLOSURE, OR DESIGNATED AREA SHALL BE PROVIDED WHERE EMPLOYEES MAY CHANGE AND STORE CLOTHES.
9. PRIOR TO STARTING CONSTRUCTION, SUBMIT THREE(3) SETS OF PLANS TO YOUR LOCAL BUILDING AND SAFETY DEPARTMENT FOR REVIEW, APPROVAL, AND NECESSARY PERMITS.

HEALTH FINAL INSPECTION NOTES

PLEASE CHECK THE FOLLOWINGS PRIOR TO CALL FOR INSPECTION:

1. YOUR APPROVED SET OF PLANS MUST BE AT THE JOBSITE.
2. ALL BUILDING & SAFETY FINALS MUST BE SIGNED OFF (MECHANICAL, PLUMBING, & ELECTRICAL)
3. ALL UTILITIES MUST BE ON (I.E., HOT WATER TO ALL SINKS)
4. ALL EQUIPMENT INSTALLED SHALL BE N.S.F. APPROVED OR EQUIVALENT, CLEAN & OPERABLE.
5. ALLOW AT LEAST THREE WORKING DAYS PRIOR NOTICE TO ARRANGE FOR YOUR FINAL INSPECTION. ESTABLISHMENT NOT IN COMPLIANCE MAY REQUIRE AN ADDITIONAL THREE WORKING DAYS TO RESCHEDULE.

REVISIONS	DATE	NO.	ISSUED FOR	DATE	OWNER / ADDRESS
					JUNG W. KIM 626-380-5631

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Client: RABBIT & BEAN COFFEE
Project: 171 E IMPERIAL HWY. #B LA HABRA, CA

Architect: JEN, C
Check by: A-2

RABBIT & BEAN COFFEE
171 E IMPERIAL HWY. #B
LA HABRA, CA

PROJECT: FLOOR PLAN
DATE: JEN, C
CHECK BY: A-2

