



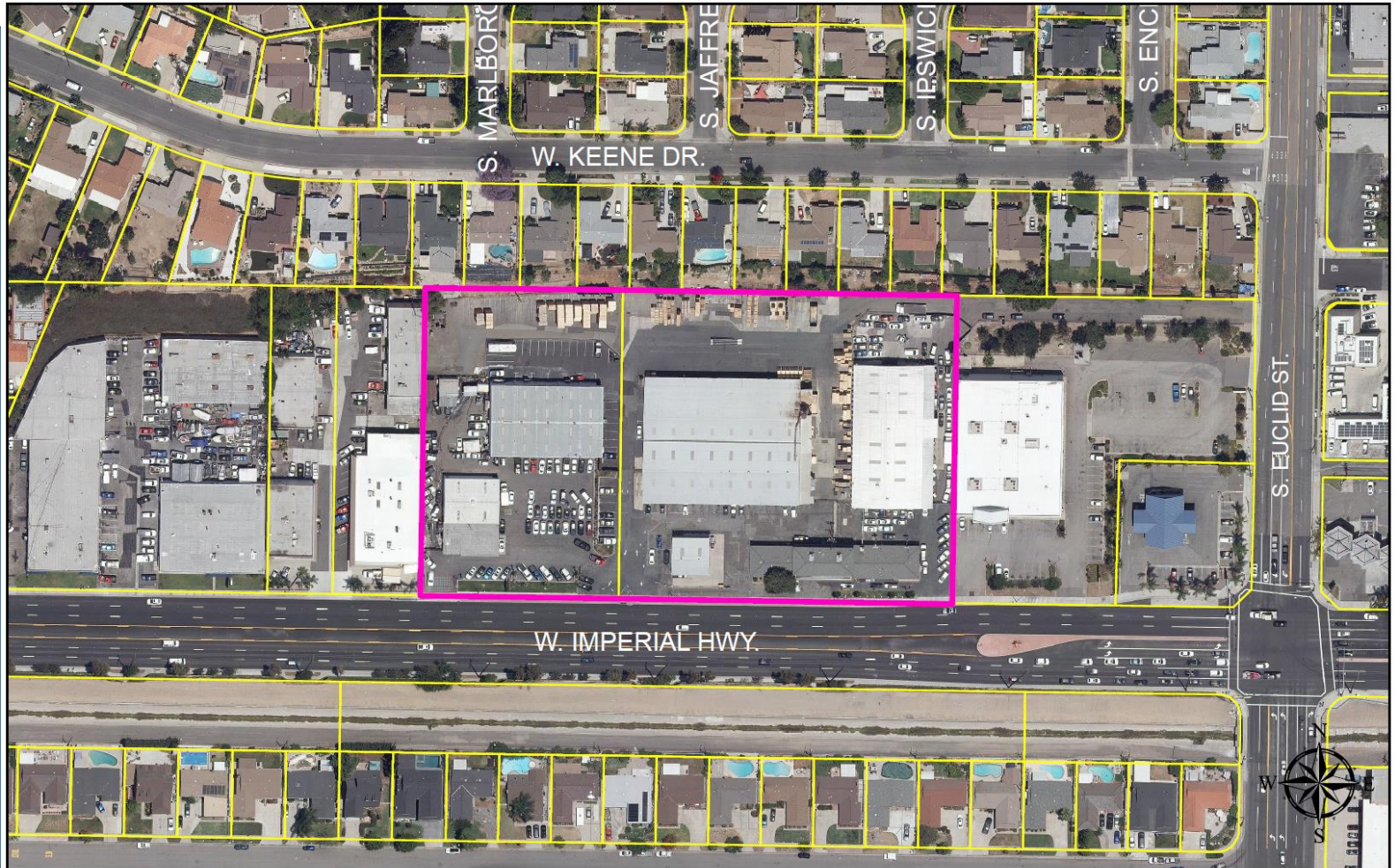
PLANNING COMMISSION MEETING

JANUARY 10, 2022

PUBLIC HEARING

DULY NOTICED PUBLIC HEARING TO CONSIDER A REQUEST FOR MITIGATED NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACTS 21-01 (SCH # 2021110209), DESIGN REVIEW 21-01, CONDITIONAL USE PERMIT 21-01 AND TENTATIVE TRACT MAP 19143 FOR A 117-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT INCLUDING 12 AFFORDABLE UNITS AT 251-351 WEST IMPERIAL HIGHWAY.

VICINITY MAP



251-351 W. Imperial Hwy.

PROJECT SITE



INITIAL STUDY / MITIGATED NEGATIVE DECLARATION

- Air Quality
- Biological Resources
- Cultural Resources
- Geology and Soils
- Greenhouse Gas Emissions
- Hazards and Hazardous Materials
- Tribal Cultural Resources
- Hydrology / Water Quality
- Noise
- Mandatory Finds of Significance



INITIAL STUDY / MITIGATED NEGATIVE DECLARATION 21-01

for

Imperial & Euclid Residential Project



Lead Agency:

City of La Habra

Chris Schaefer, Senior Planner
Department of Community Development
110 East La Habra Boulevard
La Habra, California 90631
Phone: 562-383-4128; Email: cschaefer@lahabracal.gov

Prepared by:

Comprehensive Planning Service
Contact: Joann Lombardo, Principal
Phone: 949-243-5274; Email: joann@jalcps.com

November 9, 2021

INITIAL STUDY / MITIGATED NEGATIVE DECLARATION

- Southern California Gas
 - Not adjacent to high-pressure line
- Caltrans
 - Considering reducing impacts on traffic by:
 - Encouraging alternative transportation
 - Install signage
 - Stripe parking stalls for van or car pools
 - Install EV charging stations
 - Encroachment permit required for work in ROW
- OCTA
 - Level of Service analysis may be required
- Response to comments sent

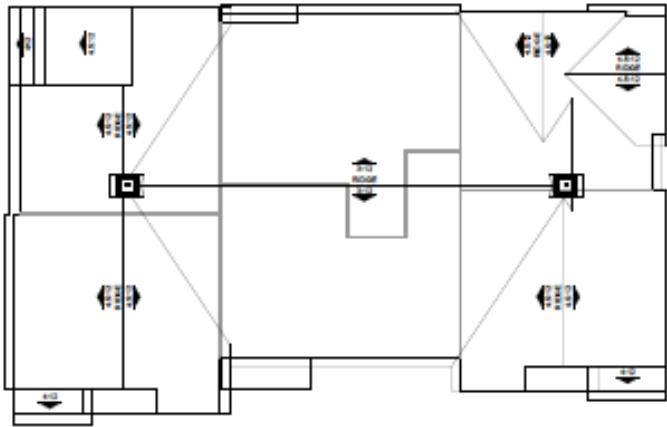
The image shows three overlapping email correspondence documents:

- Top Document (SoCalGas):** Dated December 13, 2021. From Chris Schaefer, City of La Habra. Subject: Transmission Technical Services Department. Content: "The Transmission improvement. Ho facilities within yo To assure no confi AtlasRequests/Wf Best Regards, SoCalGas Transmiss SoCalGasTransmission"
- Middle Document (Caltrans):** Dated December 13, 2021. From Chris Schaefer, City of La Habra. Subject: "Tra". Content: "Dear Mr. Schaf Thank you for ind the review of the Residential Proj development of ac site. The Prd Law, Senate Bill sale to qualified The proposed pr Habra, Imperial Caltrans. Therefo following commi"
- Bottom Document (OCTA):** Dated December 8, 2021. From Mr. Chris Schaefer, Senior Planner, City of La Habra. Subject: "Notice of Intent to Adopt a Mitigated Negative Declaration for the Imperial & Euclid Residential Development Project". Content: "Dear Mr. Schaefer: Thank you for providing the Orange County Transportation Authority (OCTA) with the Notice of Intent to Adopt a Mitigated Negative Declaration for the Imperial & Euclid Residential Development Project. The Long-Range Planning & Corridor studies has provided a comment for your consideration:
 - Please note, Imperial Highway is part of the Orange County Congestion Management Program (CMP) Highway System, along with the nearby intersections at Harbor Boulevard and Beach Boulevard. While CEQA now requires vehicle miles traveled to identify transportation impacts, level of service analysis may also be required consistent with the CMP Traffic Impact Analysis (TIA) Guidelines. If determined necessary, the CMP TIA should be submitted to OCTA along with any CEQA documents. For more information, please refer to the 2021 CMP Report available at <http://www.octa.net/Projects-and-Programs/Plans-and-Studies/Congestion-Management-Program/Overview/>.
 Throughout the development of this project, we encourage communication with OCTA on any matters discussed herein. If you have any questions or comments, please contact me at (714)-560-5907 or at dphu@octa.net. Sincerely, Dan Phu, Manager, Environmental Programs."

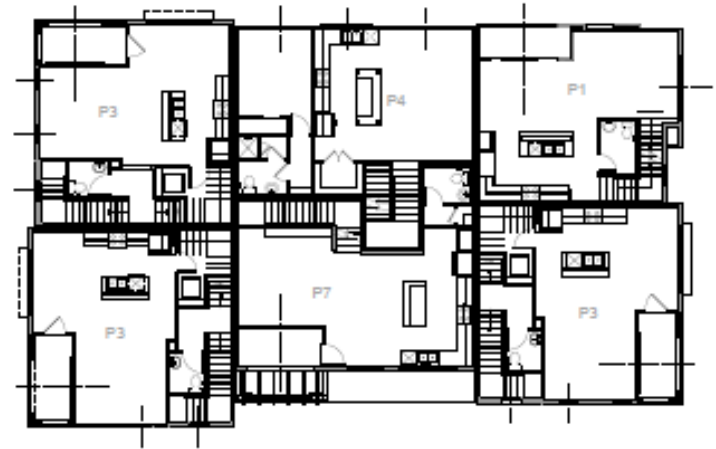
SITE PLAN



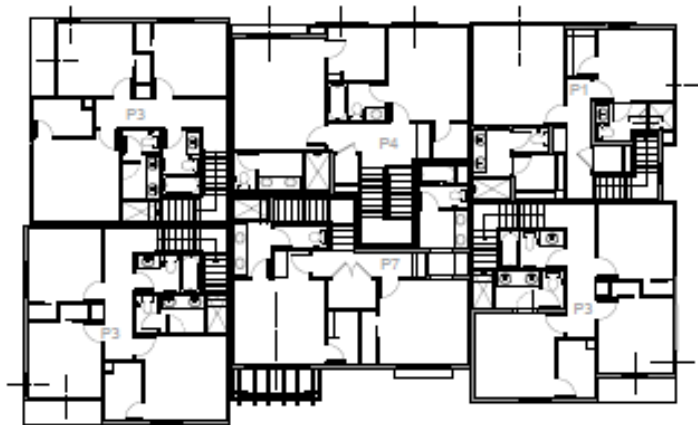
FLOOR PLAN



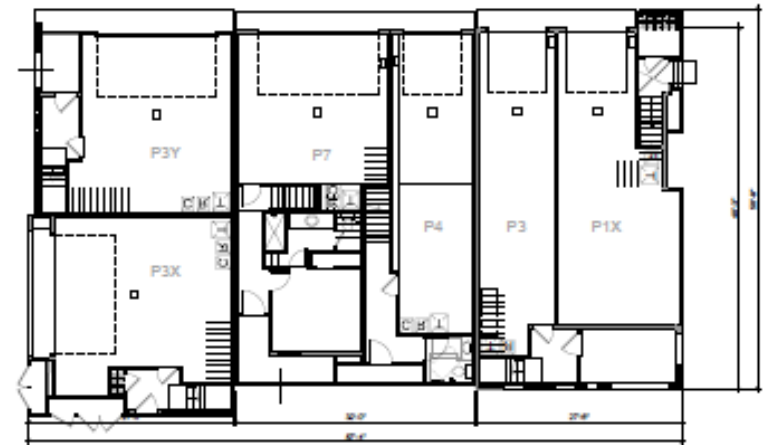
ROOF



SECOND FLOOR



THIRD FLOOR

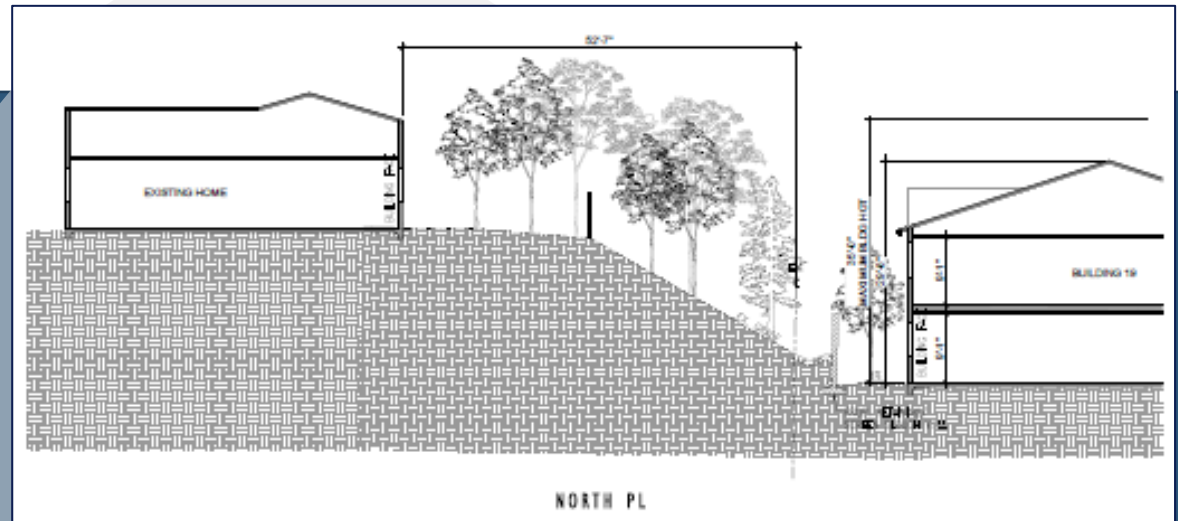


FIRST FLOOR

ELEVATIONS

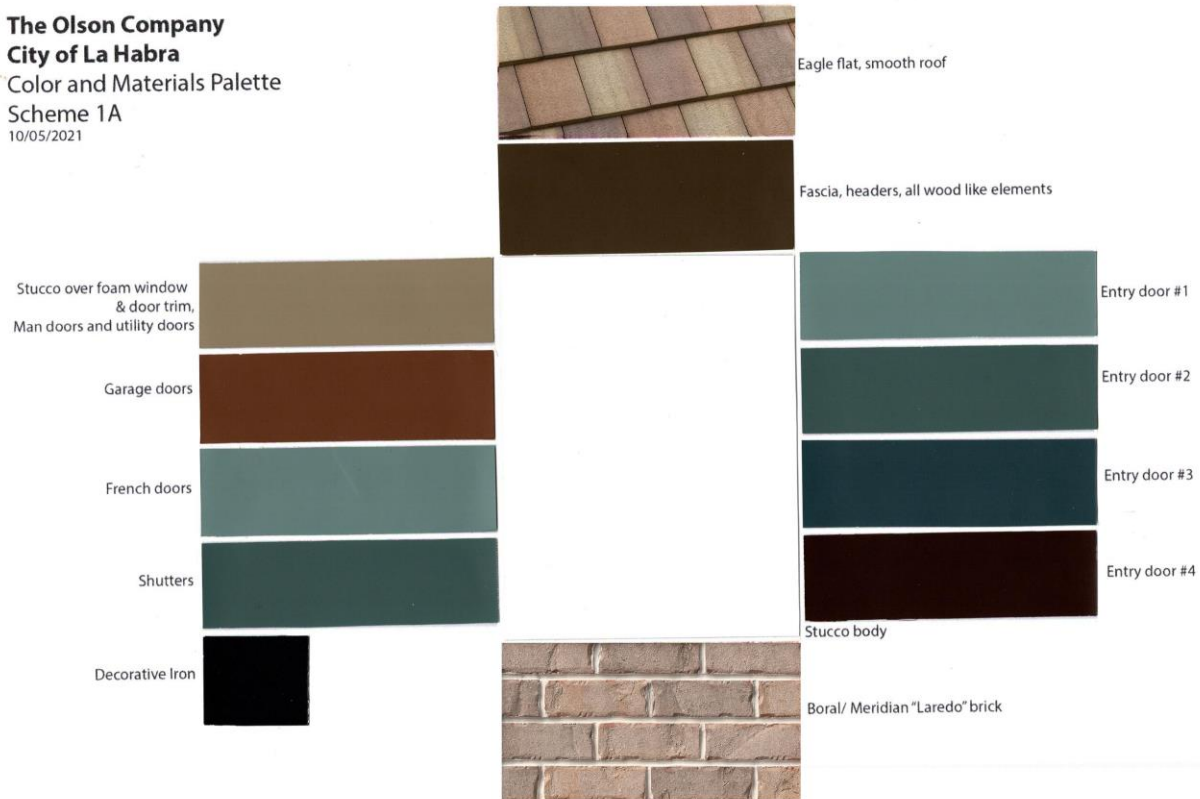


ELEVATIONS



COLORS AND MATERIALS

The Olson Company
City of La Habra
Color and Materials Palette
Scheme 1A
10/05/2021



LANDSCAPING



LEGEND

1. Central community open space area with Shade Structure, WIG Island, and leaf and seating arrangement for small and large group gathering.
2. Two community shade structures, per CIVIC review and alignment.
3. Proposed wall, planter, gate or fence, per PAD & Future Plan.
4. Enhanced paving at main project entry.
5. Proposed trees, per Planting Plan.
6. 2' wide community landscaped concrete sidewalk, with light topcoat finish and access points.
7. Accessible parking stall and seating, per CIDL plans.
8. Street parking stall.
9. Enhanced concrete sidewalk accessibility, with topcoat finish.
10. Private patio / pool area, fence/wall as indicated.
11. Common area landscape, including irrigation and WIG installation.
12. Natural concrete retaining wall, light topcoat finish and access points.
13. Property line.
14. Public street W.C.D.
15. Proposed public street sidewalk, per CIDL plans.
16. Proposed Project Storage per separate site plan.
17. Small open space with wall to left, bench and seating area for small gathering.
18. Small open space with wall to left and bench for passive use.
19. Small open space with shade structure, play/ping table and seating arrangement for small gathering.
20. Proposed landscaping, per CIDL plans.
21. Street bike parking stall.
22. Decorative post, wall or landscape.



*Conceptual images provided based on conceptual and subject to design.

Schematic Landscape Plan



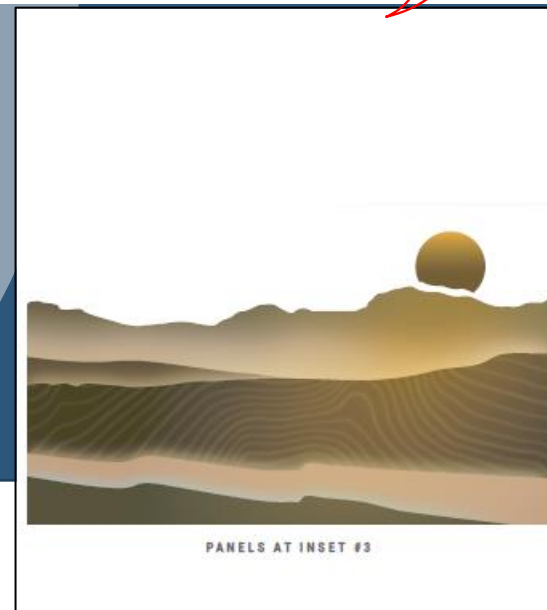
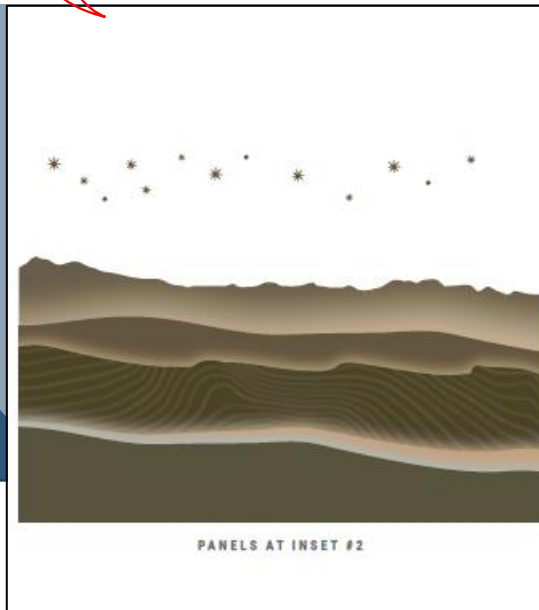
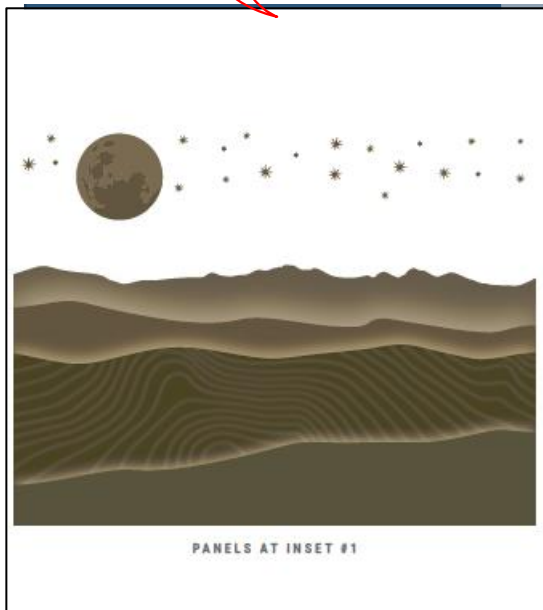
The Olson Company

10/15/2024 | Paper No. 75007 | 10/15/2024



La Habra - Imperial PAD

PUBLIC ART



CONDITIONAL USE PERMIT 21-01

- Section 18.80.030 of the LHMC requires approval of CUP to utilize Affordable Housing Incentives
- Restriction of 10% of units at moderate income level provides 1 concession
 - Applicant requested placement of front 6-foot tall wall within front setback
- Reduced parking permitted by right
- Tandem parking spaces permitted by right



RECOMMENDATION



A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA HABRA CERTIFYING MITIGATED NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACTS 21-01 (SCH # 2021110209) FOR A 117-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT AT 251-351 WEST IMPERIAL HIGHWAY SUBJECT TO THE MITIGATION MONITORING AND REPORTING PROGRAM AND THE STATEMENT OF FINDINGS OF FACT HERETO ATTACHED AS EXHIBITS "A" & "B".

RECOMMENDATION



A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA HABRA APPROVING DESIGN REVIEW 21-01 FOR A 117-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT AT 251-351 WEST IMPERIAL HIGHWAY, AS PER THE APPROVED PLANS AND SUBJECT TO CONDITIONS.

RECOMMENDATION



A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA HABRA APPROVING CONDITIONAL USE PERMIT 21-01 TO PERMIT AFFORDABLE HOUSING INCENTIVES IN ASSOCIATION WITH A 117-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT AT 251-351 WEST IMPERIAL HIGHWAY, MAKING THE APPROPRIATE FINDINGS, AS PER THE APPROVED PLANS AND SUBJECT TO CONDITIONS.

RECOMMENDATION



A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA HABRA APPROVING TENTATIVE TRACT MAP 19143 FOR A 117-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT AT 251-351 WEST IMPERIAL HIGHWAY, AS PER THE APPROVED PLANS AND SUBJECT TO CONDITIONS.



THANK YOU!
