

ENGINEERING DEPARTMENT NOTES:

1. REMOVE ALL WATER SERVICE LINES AND WATER METERS SERVING THE PROPERTY. A PERMIT WILL BE REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.
2. REMOVE ALL SEWER LATERALS TO THE RIGHT OF WAY LINE AND CAP THE LATERAL AND MARK ON THE SURFACE.
3. THE EXISTING POWER POLE WILL NEED TO BE UNDERGROUND NEAR THE NEW DRIVEWAY AT CYPRESS STREET.
4. OVERNIGHT PARKING PERMITS WILL NOT BE ISSUED BY LHPD.
5. ADD (24" STOP SIGN, SQUARE TELESPAR POST W/ BREAKAWAY SLEEVE, (12" WHITE) STOP BAR LEGEND, AND (8" WHITE) STOP LEGEND TO DRIVEWAY APPROACH ONTO CYPRESS STREET.

FIRE DEPARTMENT NOTES:

1. INSTALL ONE (1) PUBLIC FIRE HYDRANT AS INDICATED ON SITE PLAN.
2. ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/2" BRASS OR BRONZE, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL AND SHALL BE INSTALLED IN ACCORDANCE WITH 2017 COUNTY OF LOS ANGELES FIRE CODES, TABLE B105.1.1.
3. THE REQUIRED FIRE FLOW FOR THE PUBLIC FIRE HYDRANT FOR THIS PROJECT IS 2500 GPM AT 20 PSI RESIDUAL PRESSURE FOR 2 HOURS. TWO PUBLIC FIRE HYDRANTS FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW. FIRE CODE 507.3
4. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED FOR THE PROPOSED BUILDINGS. THE PROJECT WILL NEED TO BE SUBMITTED TO THE FIRE DEPARTMENT SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. FOR THE FINAL MAP, THE PRIVATE DRIVEWAYS PROPOSED AS PRIVATE STREETS FOR ACCESS THROUGHOUT THE DEVELOPMENT SHALL BE LABELED AS "PRIVATE DRIVEWAY" ON THE FINAL MAP. THE PORTION OF THE PRIVATE DRIVEWAY INTENDED FOR FIRE APPARATUS ACCESS SHALL BE IDENTIFIED AS "FIRE LANE" ON THE FINAL MAP. ALL WIDTHS AND DIMENSIONS SHALL BE CLEARLY DELINEATED WITH A RECIPROCAL ACCESS AGREEMENT FOR ALL PRIVATE DRIVEWAY

BUILD'G #	UNIT #	# OF BEDRM.	LIVING AREA (SF)	GARAGE (SF)	OPEN SPACE (SF)
BUILD'G 1	UNIT A	3-BEDRM.	2,258 1ST FL: 441 3RD FL: 740 2ND FL: 1,077	436	253 PRIVATE BALCONY: 163 COMMON 90
	UNIT B,C,D	3-BEDRM.	2,393 1ST FL: 424 3RD FL: 851 2ND FL: 1,118	432	259 PRIVATE BALCONY: 97 GROUND: 162
	UNIT E	3-BEDRM.	2,071 1ST FL: 371 3RD FL: 725 2ND FL: 975	432	262 PRIVATE BALCONY: 165 GROUND: 97
BUILD'G 2	UNIT F	3-BEDRM.	2,071 1ST FL: 371 3RD FL: 725 2ND FL: 975	432	262 PRIVATE BALCONY: 97 GROUND: 165
	UNIT G, H	3-BEDRM.	2,393 1ST FL: 424 3RD FL: 851 2ND FL: 1,118	432	259 PRIVATE BALCONY: 97 GROUND: 162
	UNIT I	3-BEDRM.	1,622 1ST FL: 300 3RD FL: 556 2ND FL: 766	429	251 PRIVATE BALCONY: 91 COMMON 70
BUILD'G 3	UNIT J	3-BEDRM.	2,188 1ST FL: 163 3RD FL: 856 2ND FL: 1,169	432	256 PRIVATE BALCONY: 186 COMMON 70
	UNIT K	3-BEDRM.	2,877 1ST FL: 671 3RD FL: 922 2ND FL: 1,284	436	382 PRIVATE BALCONY: 219 BALCONY: 163
	UNIT L	3-BEDRM.	3,056 1ST FL: 663 3RD FL: 1,062 2ND FL: 1,331	432	385 PRIVATE BALCONY: 219 BALCONY: 166
	UNIT M	3-BEDRM.	3,056 1ST FL: 663 3RD FL: 1,062 2ND FL: 1,331	432	291 PRIVATE BALCONY: 125 BALCONY: 166
	UNIT N	3-BEDRM.	2,454 1ST FL: 486 3RD FL: 843 2ND FL: 1,125	432	265 PRIVATE BALCONY: 175 COMMON 90
	UNIT O	2-BEDRM.	1,497 1ST FL: 217 3RD FL: 526 2ND FL: 754	511	257 PRIVATE BALCONY: 77 COMMON 180
	UNIT P	2-BEDRM.	1,407 1ST FL: 64 3RD FL: 565 2ND FL: 778	461	252 PRIVATE BALCONY: 134 COMMON 110

TOTAL COMMON OPEN SPACE REQ.: 700 SF
PROVIDED: 820 SF

PROJECT DATA

SCOPE OF WORK- PROPOSE NEW SIXTEEN THREE-STORY CONDOMINIUM UNITS. EACH UNIT IS ATTACHED WITH A TWO-CAR GARAGE.

ZONING: R-6

BUILDING HEIGHT: 34'-7", (29'-8" TO EAVE LINE AT DRIVEWAY), THREE STORIES

LOT AREA (- STREET DEDICATION): 39,986 SF

BUILDING 1 (UNIT A, B, C, D, E)
TOTAL LIVING AREA: 11,540 SF TOTAL GARAGE AREA: 2,164 SF

BUILDING 2 (UNIT F, G, H, I, J)
TOTAL LIVING AREA: 10,667 SF TOTAL GARAGE AREA: 2,157 SF

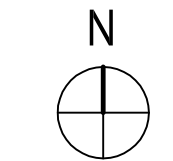
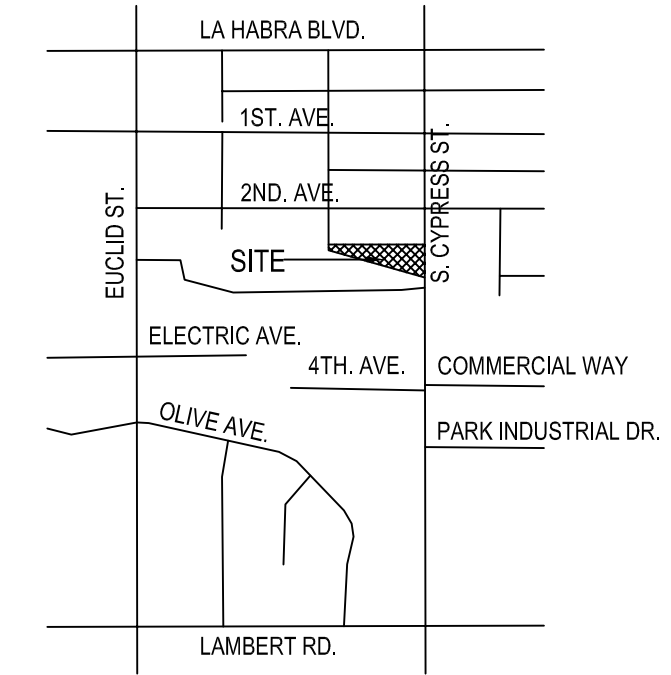
BUILDING 3 (UNIT K, L, M, N, O, P)
TOTAL LIVING AREA: 14,351 SF TOTAL GARAGE AREA: 2,704 SF

LOT COVERAGE: (5,501 SF + 5,281 SF + 6,743 SF) / 39,986 SF = 43.83 %

PARKING REQUIREMENT

- REQUIRED 55 SPACES-
3X 14 (3-BEDRM UNIT) + 2.5 X 2 (2-BEDRM UNIT) = 47 SPACES
0.5 (GUEST) X 16 (UNITS) = 8 SPACES (UNCOVERED)
- PROVIDED 55 SPACES-
2 SPACES (GARAGE) X 16 (UNIT) = 32 SPACES
15 (COVERED) + 8 (UNCOVERED) = 23 SPACES

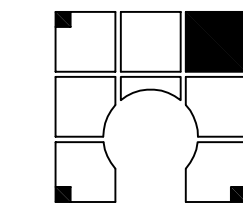
COMMON OPEN SPACE PROVIDED: 820 SF



VICINITY MAP NTS

REVISION DATE

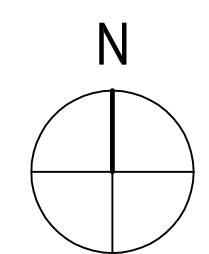
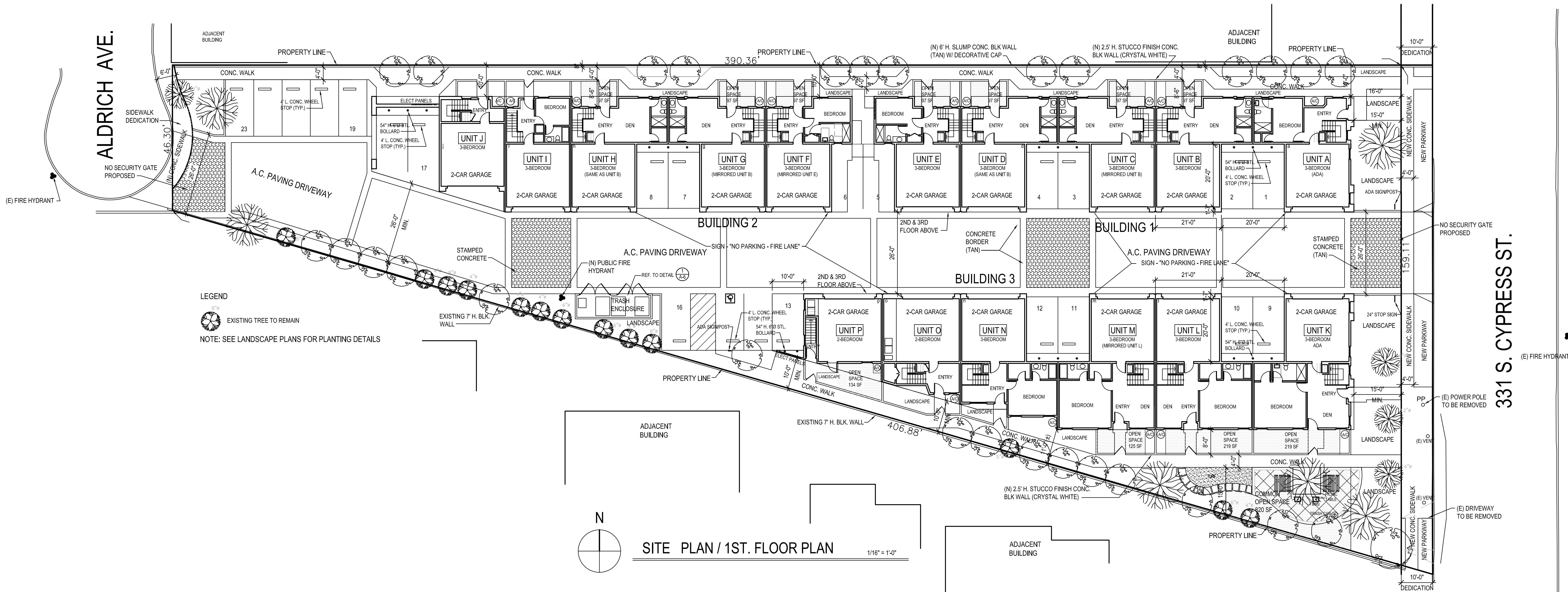
10-20-21



KBR & ASSOCIATES

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SITE PLAN / 1ST. FLOOR PLAN

1/16" = 1'-0"

16-UNIT CONDOMINIUMS

331 S. CYPRESS ST.
LA HABRA, CA

Drawn Date 01-02-2021

Sheet

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Of Sheets



EAST ELEVATION - BUILDING 3 & 1 STREET VIEW

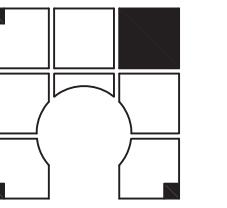


SOUTH ELEVATION - BUILDING 1



NORTH ELEVATION - BUILDING 1

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16-UNIT CONDOMINIUMS

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CE-1

Of Sheets



WEST ELEVATION - BUILDING 2



SOUTH ELEVATION - BUILDING 2



NORTH ELEVATION - BUILDING 2



NORTH ELEVATION - BUILDING 3

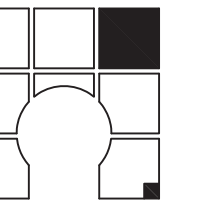


WEST ELEVATION - BUILDING 3



SOUTH ELEVATION - BUILDING 3

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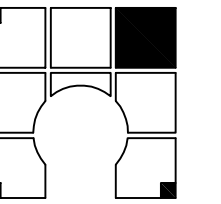
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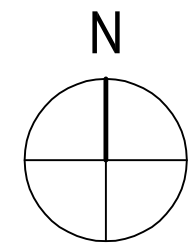
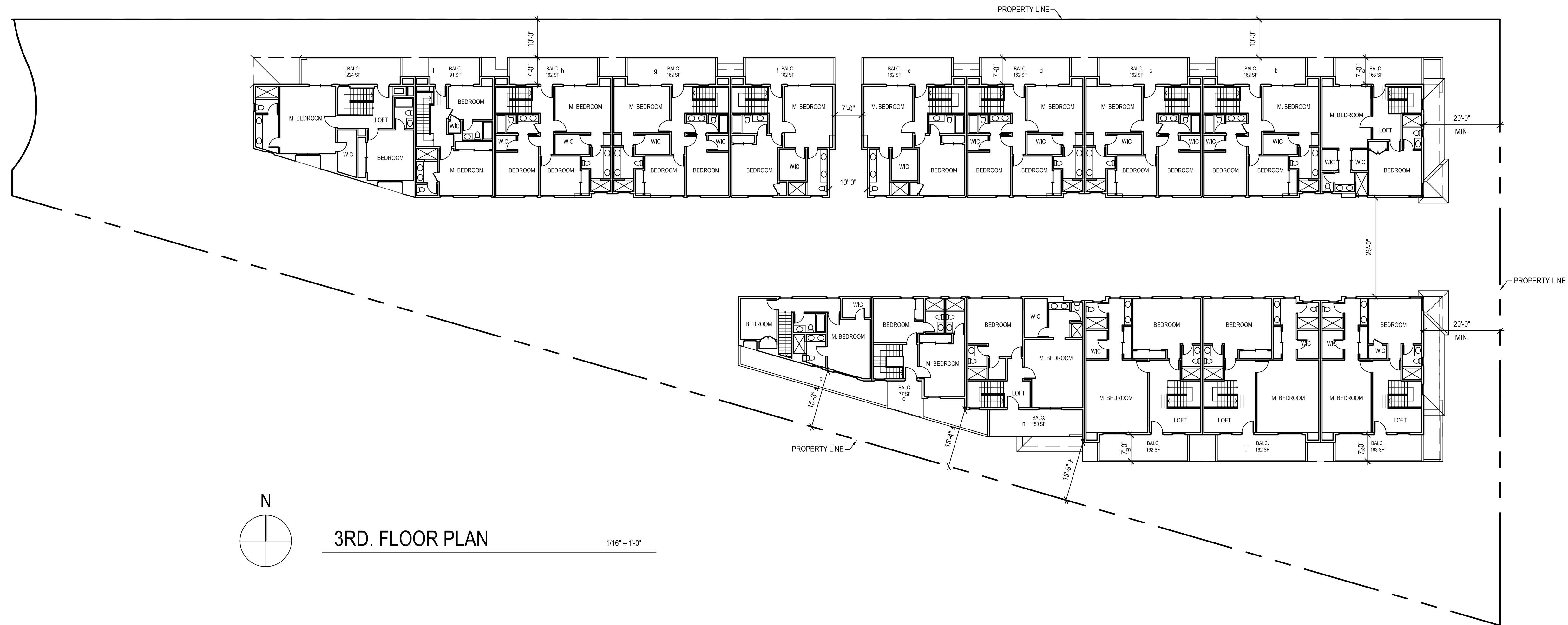
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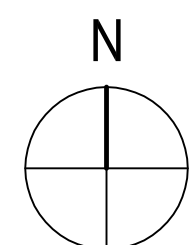
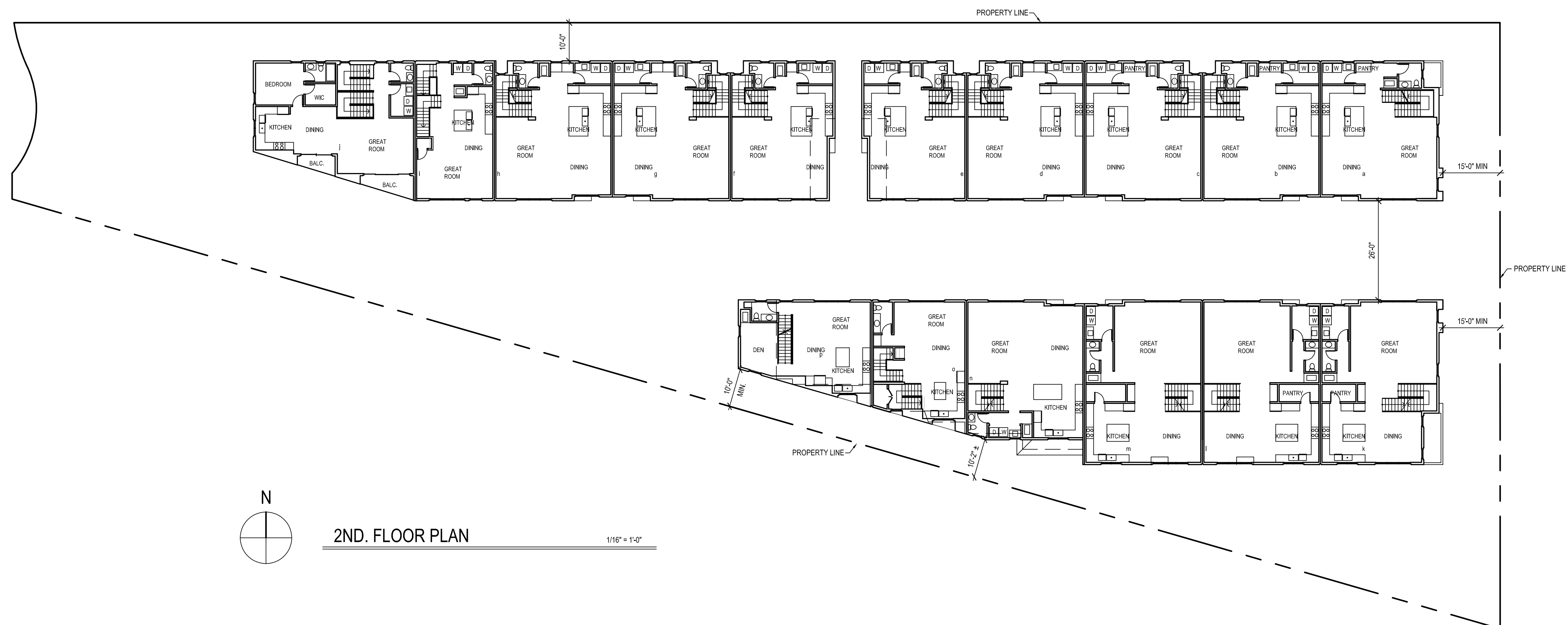
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3RD. FLOOR PLAN

1/16" = 1'-0"

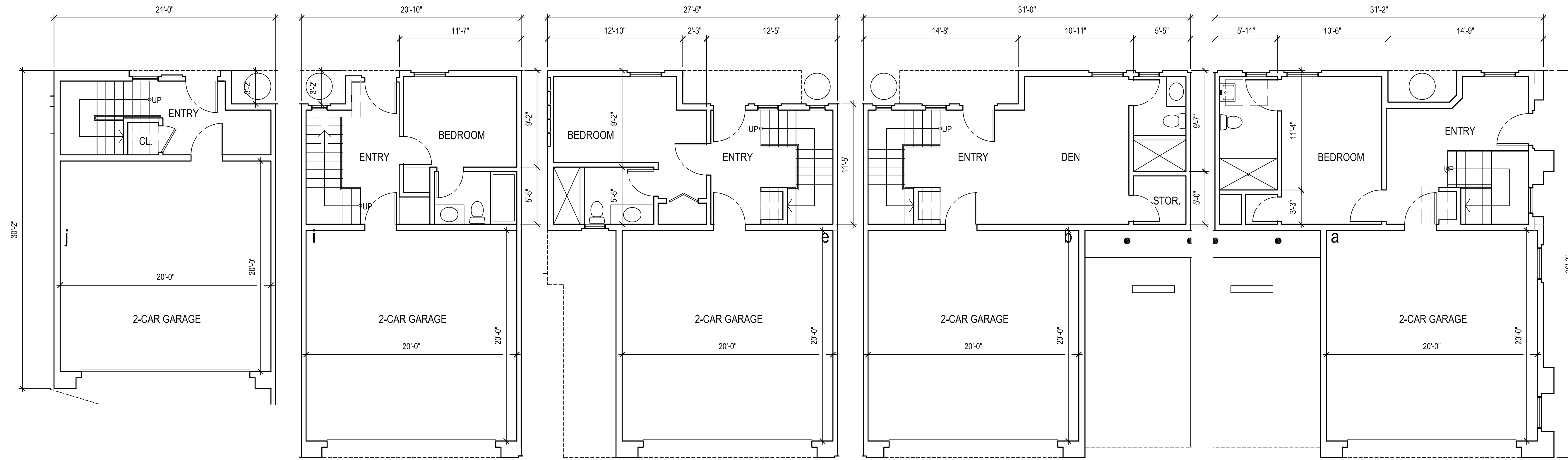


2ND. FLOOR PLAN

1/16" = 1'-0"

16-UNIT CONDOMINIUMS

**331 S. CYPRESS ST.
LA HABRA, CA**



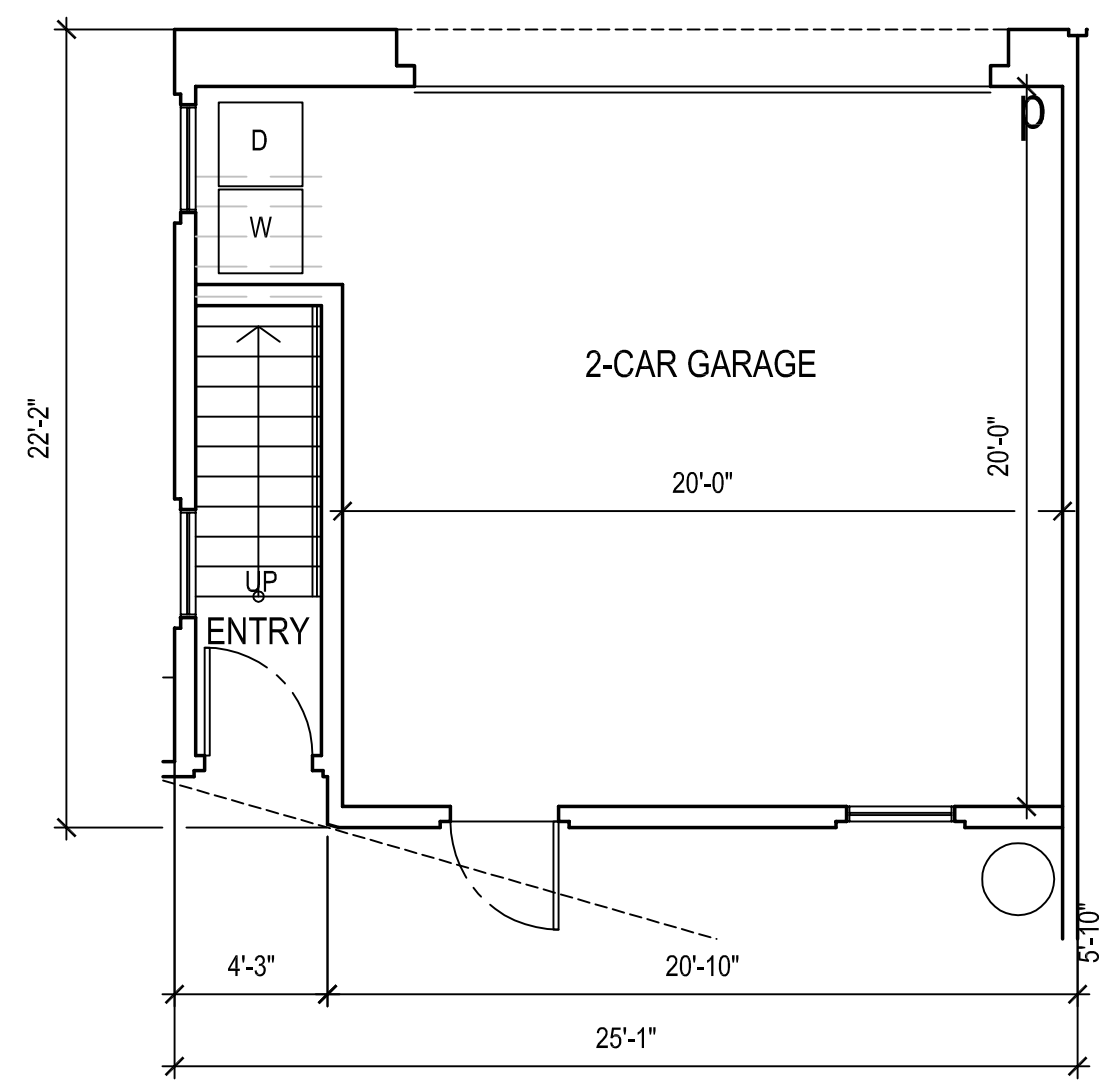
1ST. FLOOR PLAN (UNIT J) 3/16" = 1'-0"

1ST. FLOOR PLAN (UNIT I) 3/16" = 1'-0"

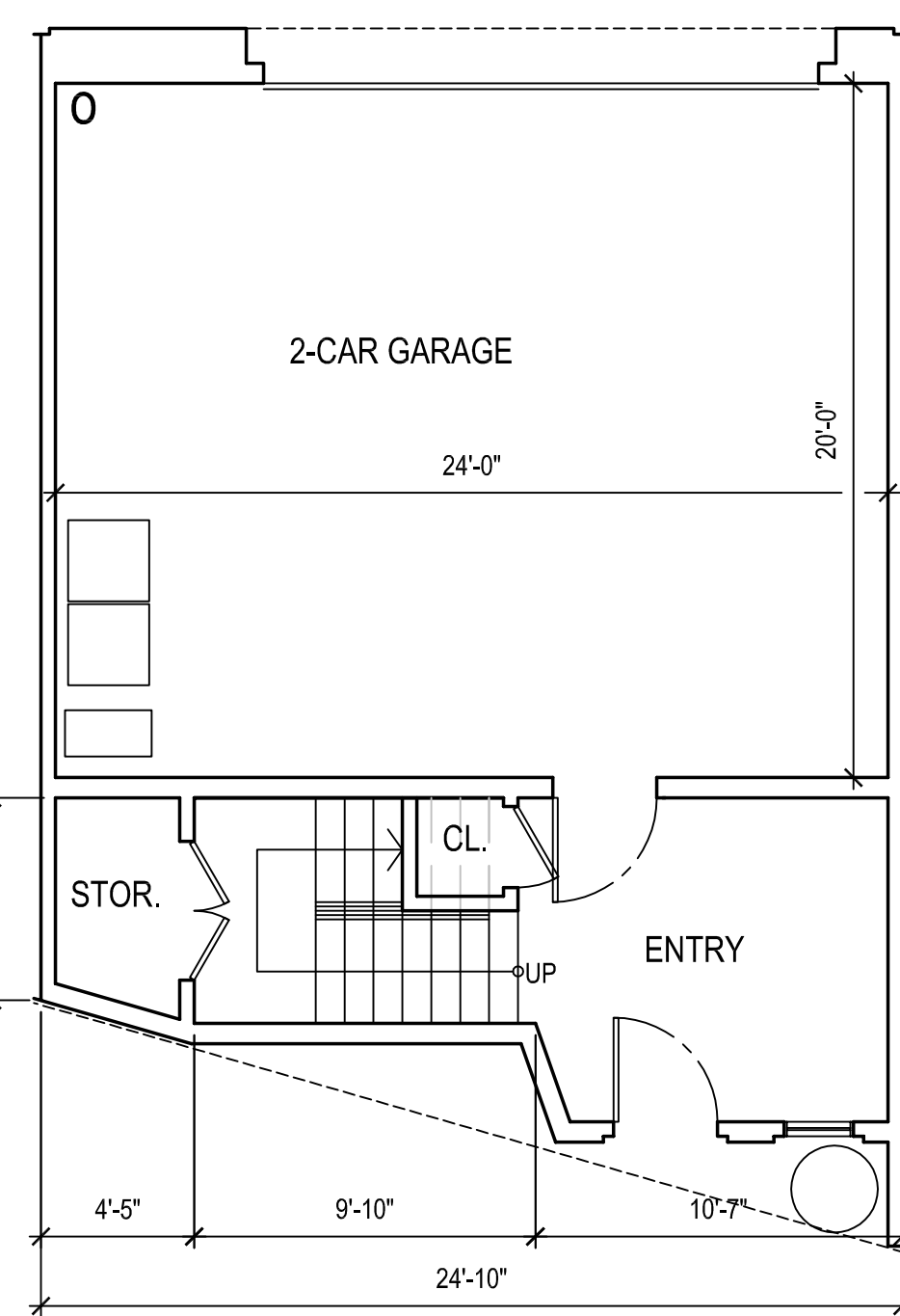
1ST. FLOOR PLAN (UNIT E) 3/16" = 1'-0"
(MIRRORED UNIT F)

1ST. FLOOR PLAN (UNIT B,D,H) 3/16" = 1'-0"
(MIRRORED UNIT C,G)

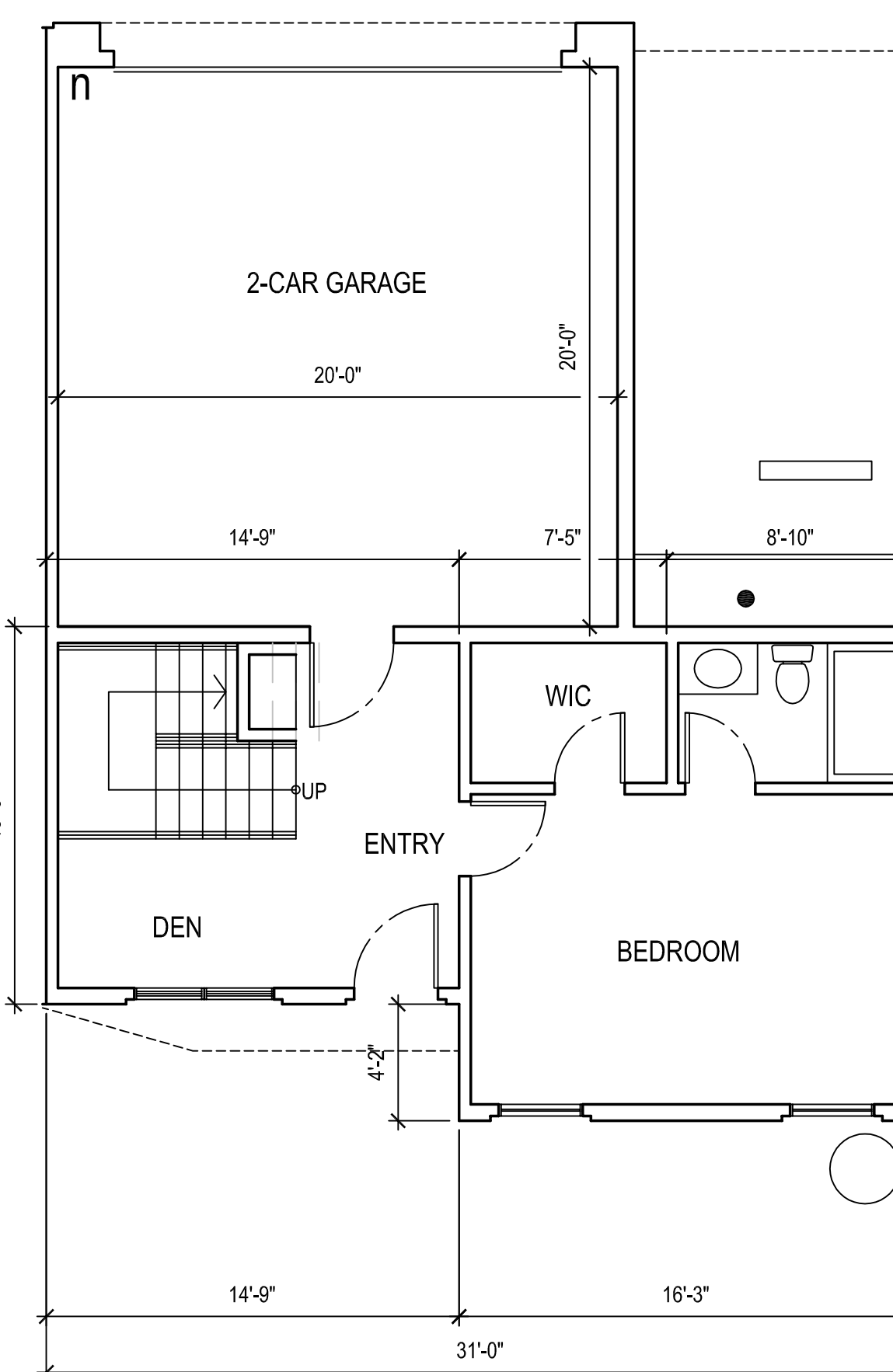
1ST. FLOOR PLAN (UNIT A) 3/16" = 1'-0"
ACCESSIBLE UNIT



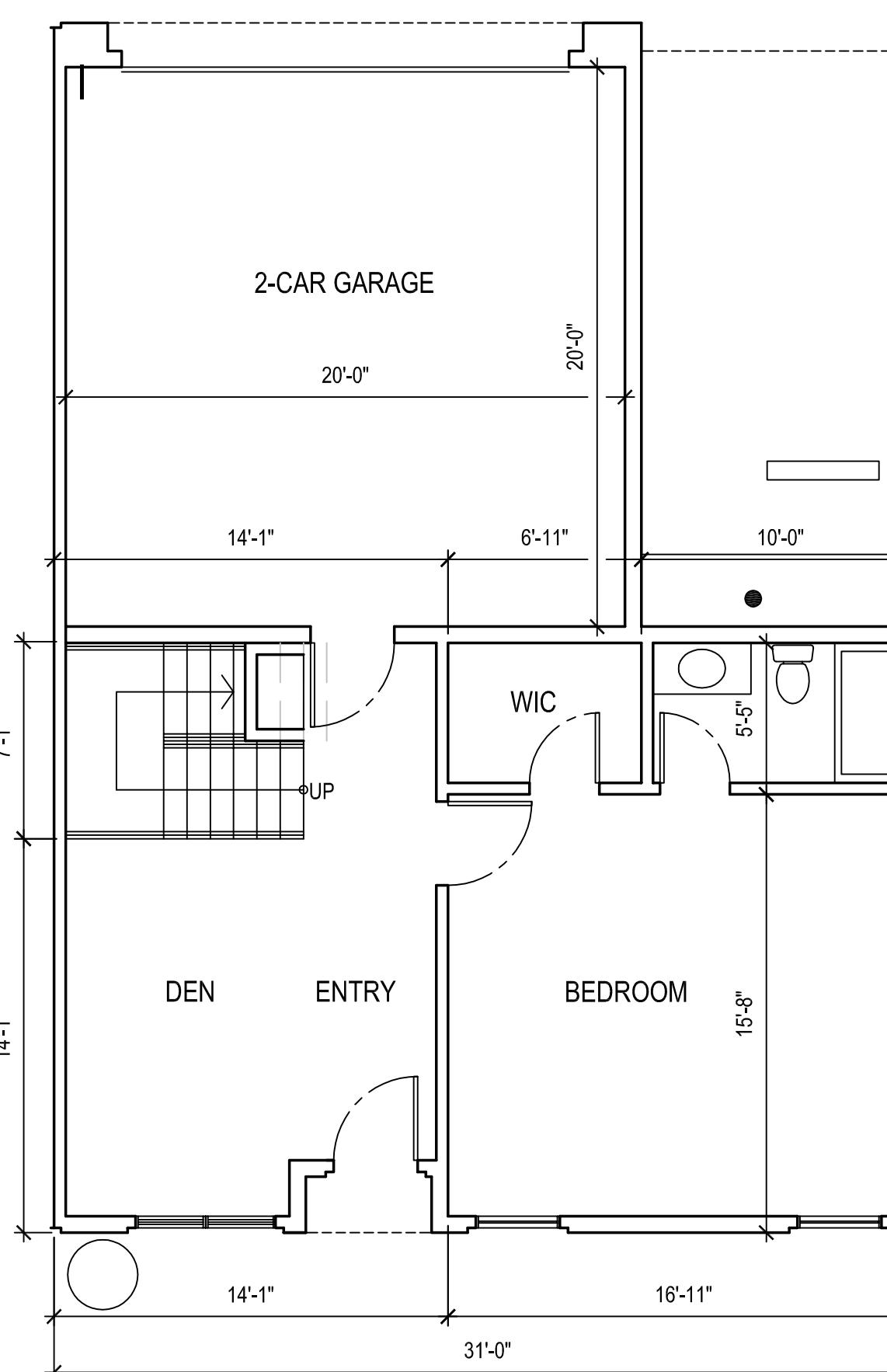
1ST. FLOOR PLAN (UNIT P) 3/16" = 1'-0"



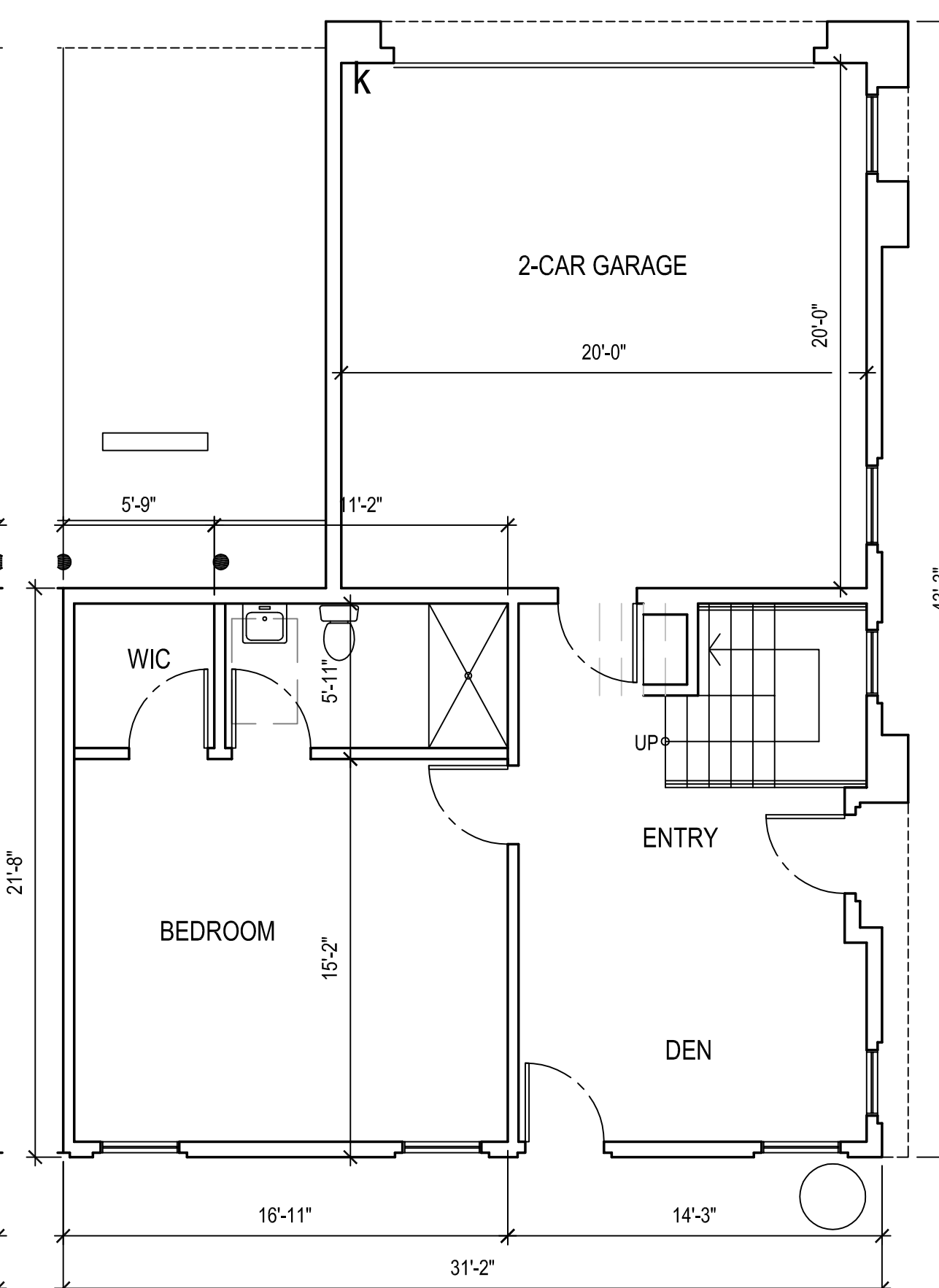
1ST. FLOOR PLAN (UNIT O) 3/16" = 1'-0"



1ST. FLOOR PLAN (UNIT N) 3/16" = 1'-0"

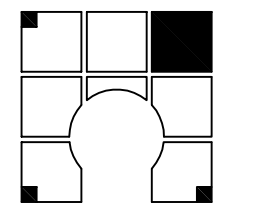


1ST. FLOOR PLAN (UNIT L) 3/16" = 1'-0"
(MIRRORED UNIT M)



1ST. FLOOR PLAN (UNIT K) 3/16" = 1'-0"
ACCESSIBLE UNIT

REVISION DATE
10-20-21



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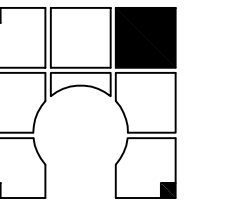
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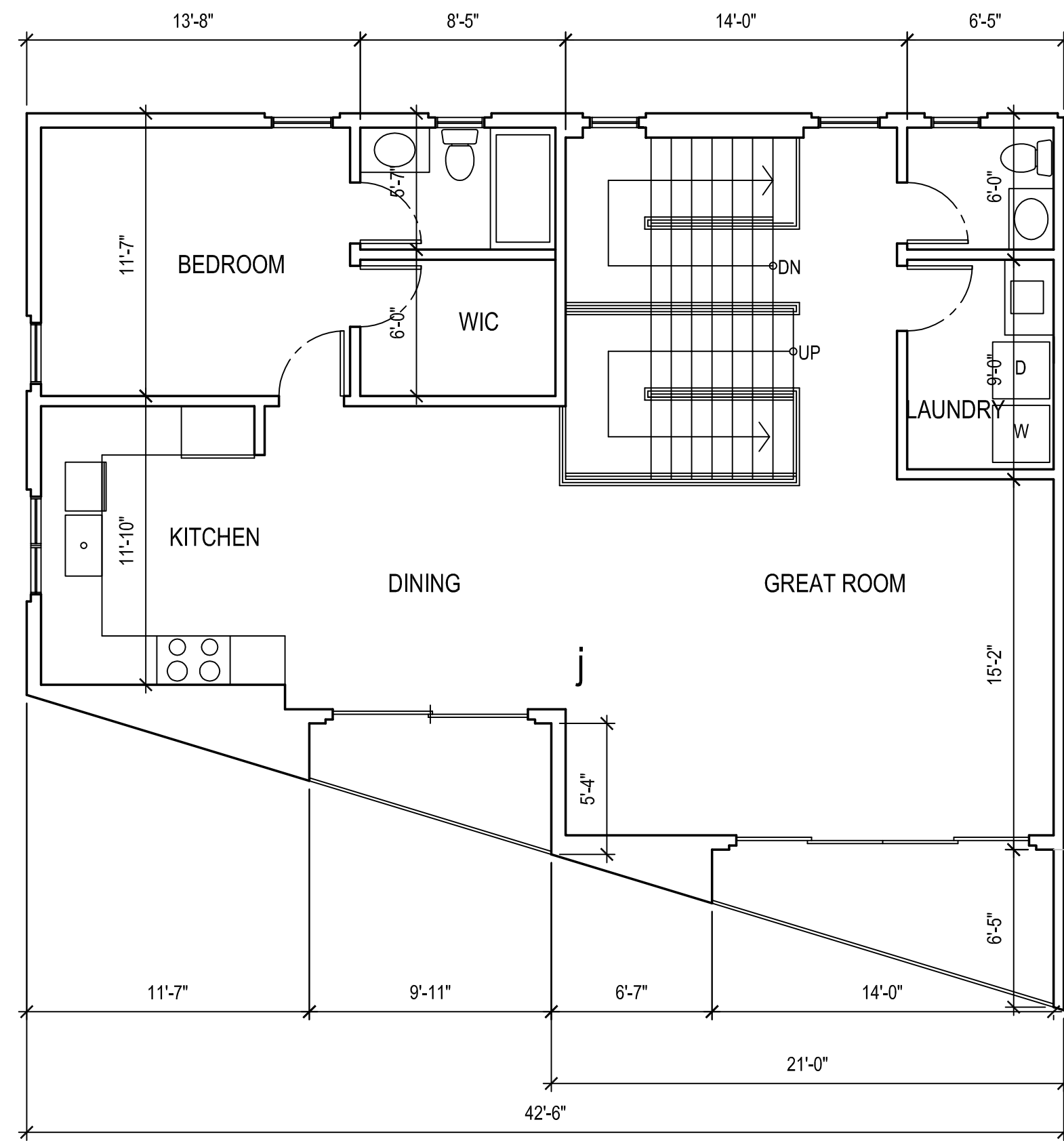
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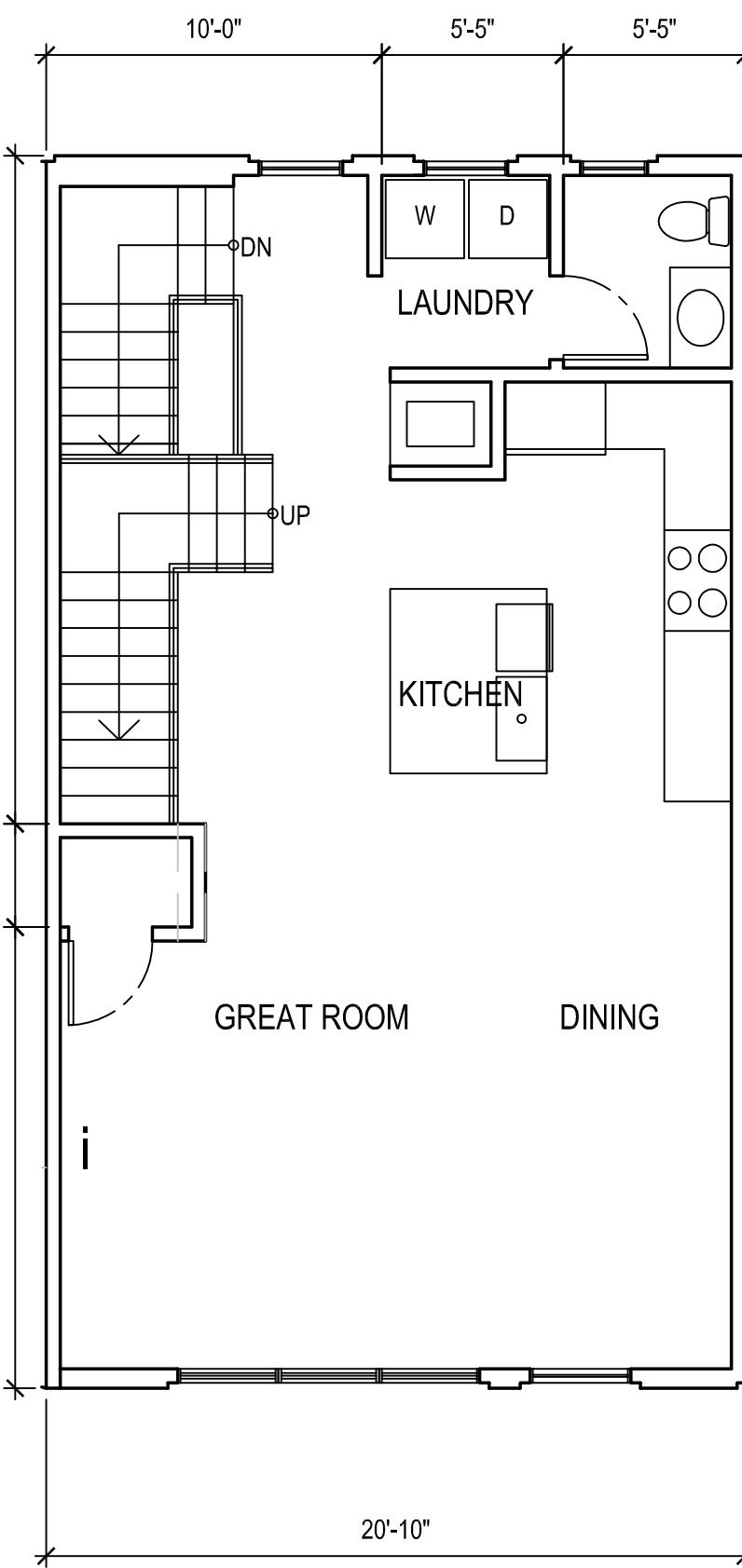
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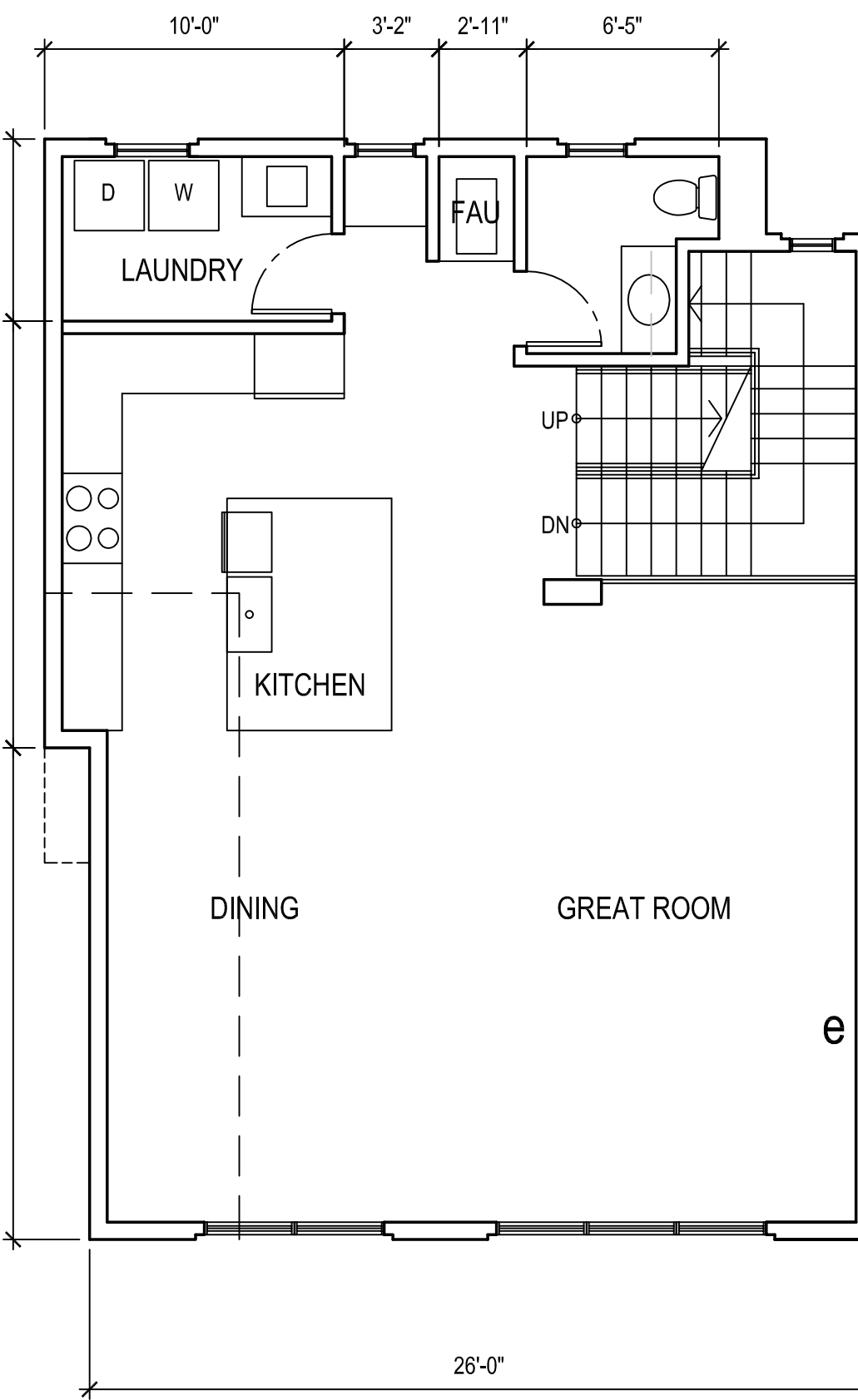
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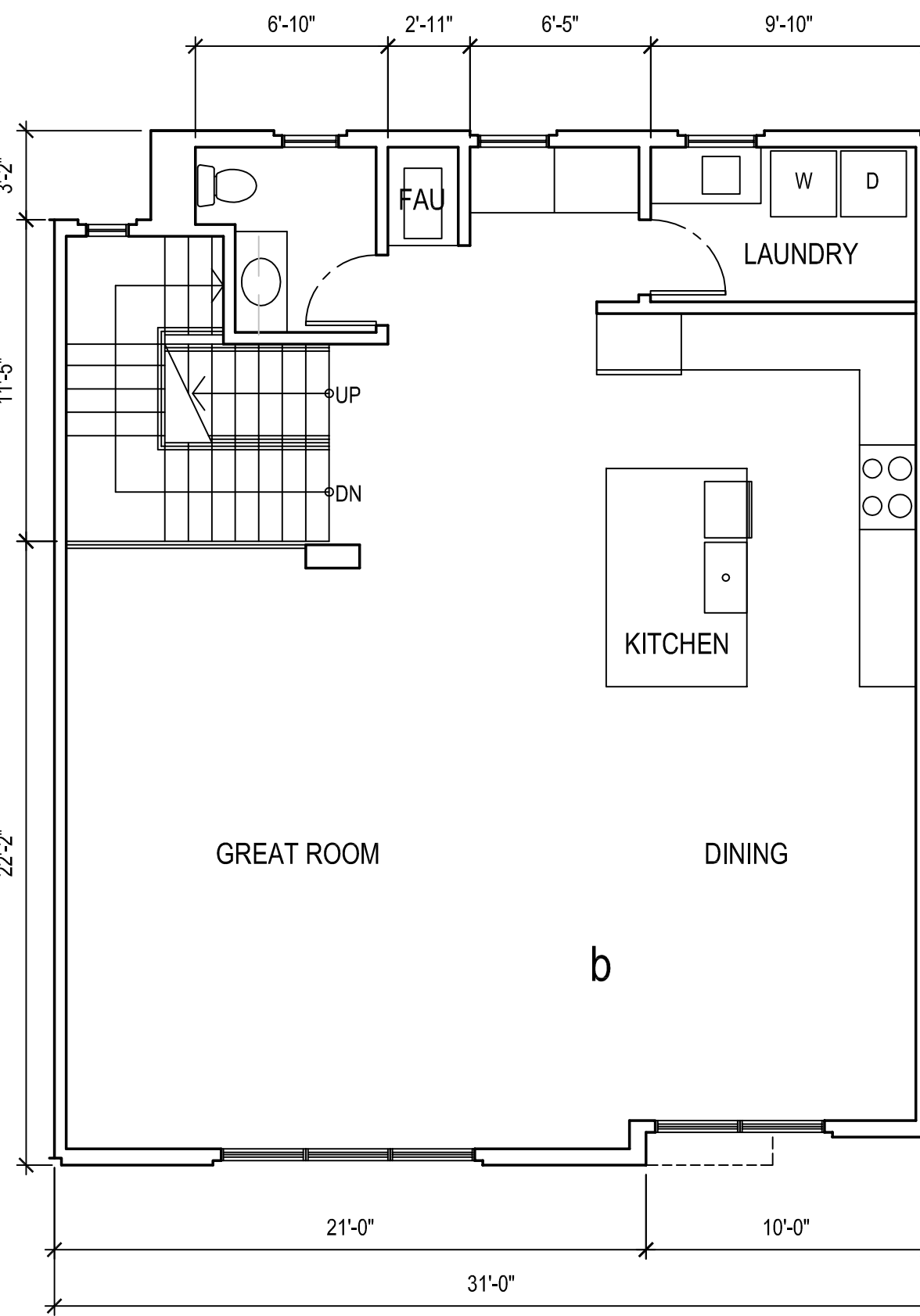
2ND. FLOOR PLAN (UNIT J) 3/16" = 1'-0"



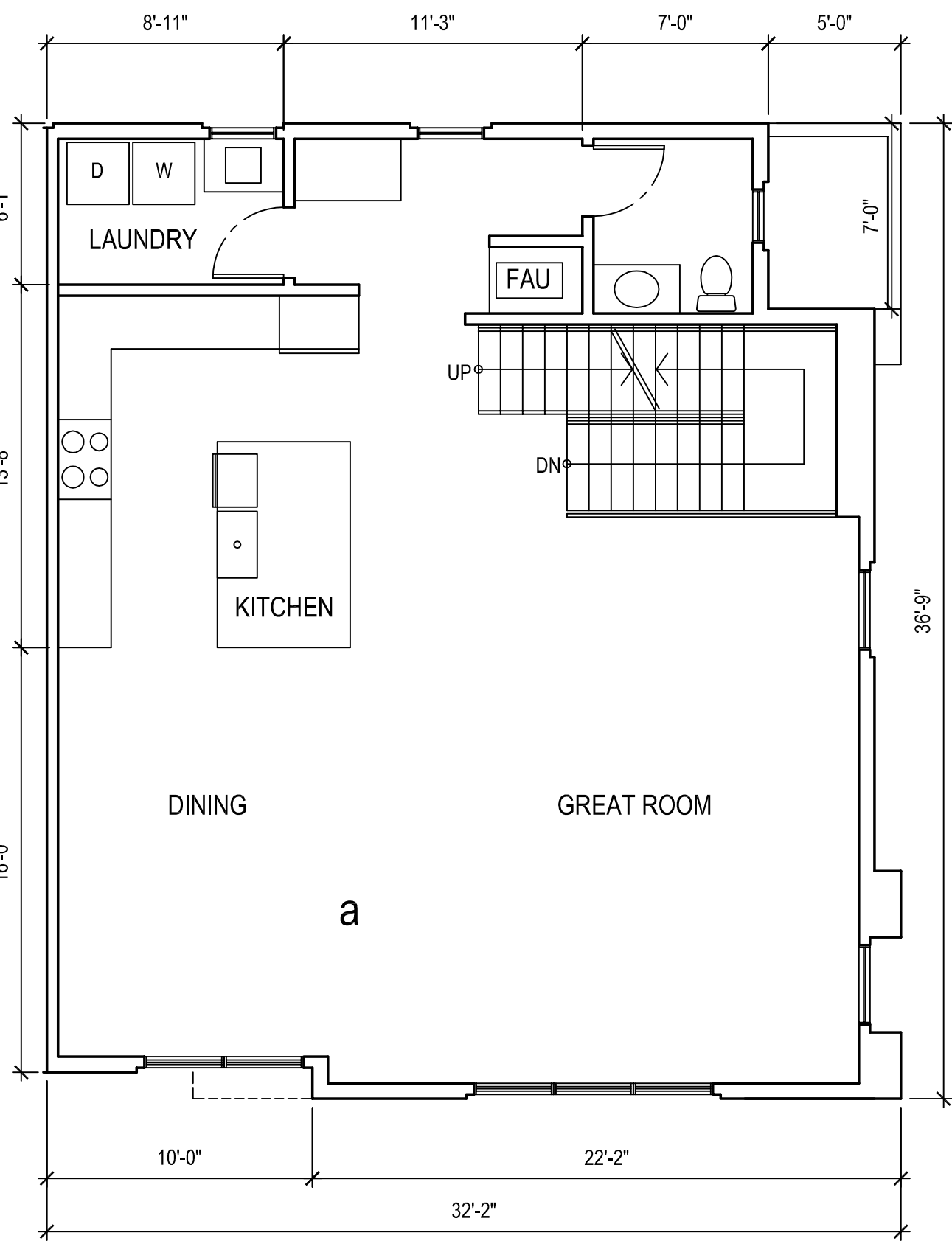
2ND. FLOOR PLAN (UNIT I) 3/16" = 1'-0"



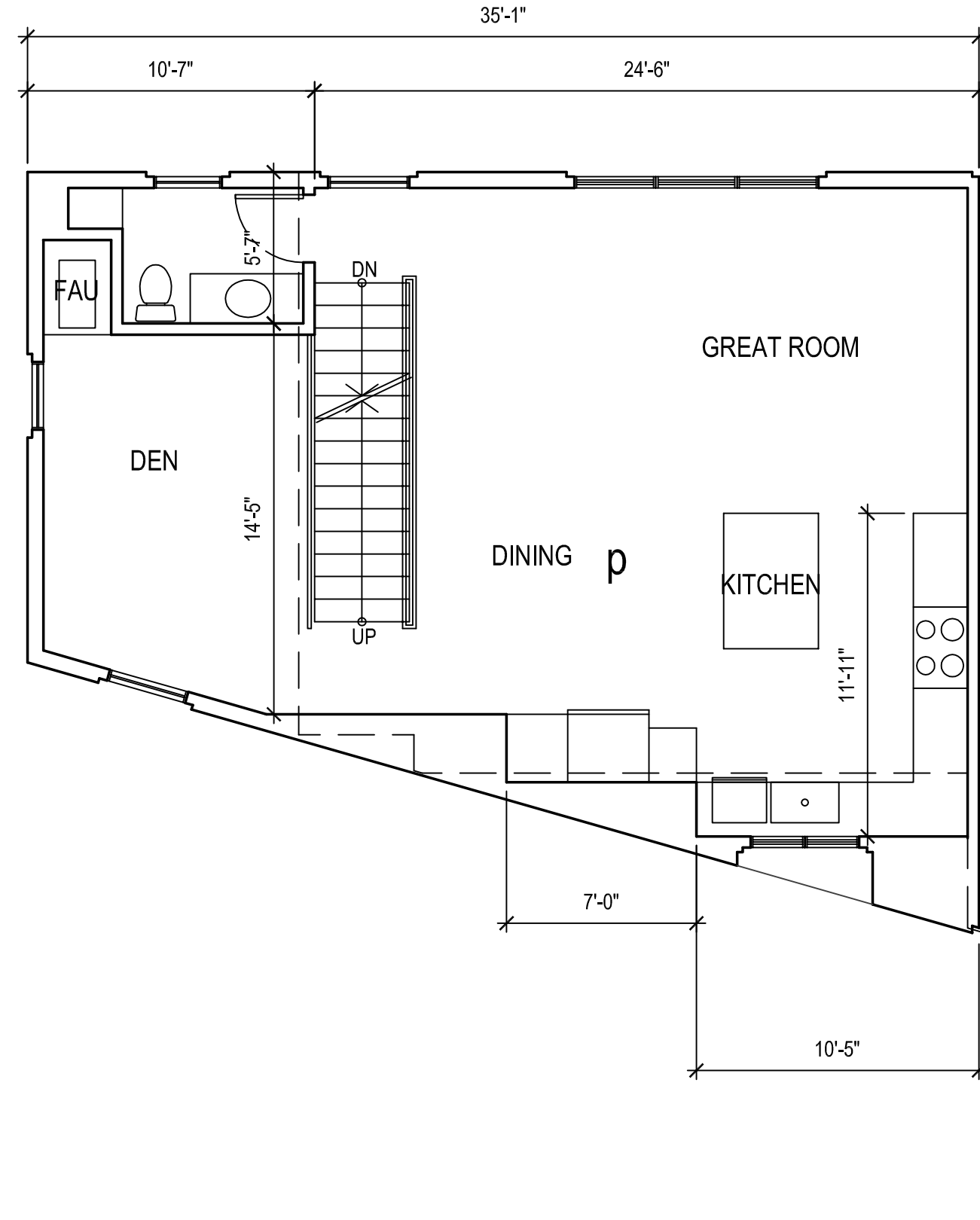
2ND. FLOOR PLAN (UNIT E) (MIRRORED UNIT F) 3/16" = 1'-0"



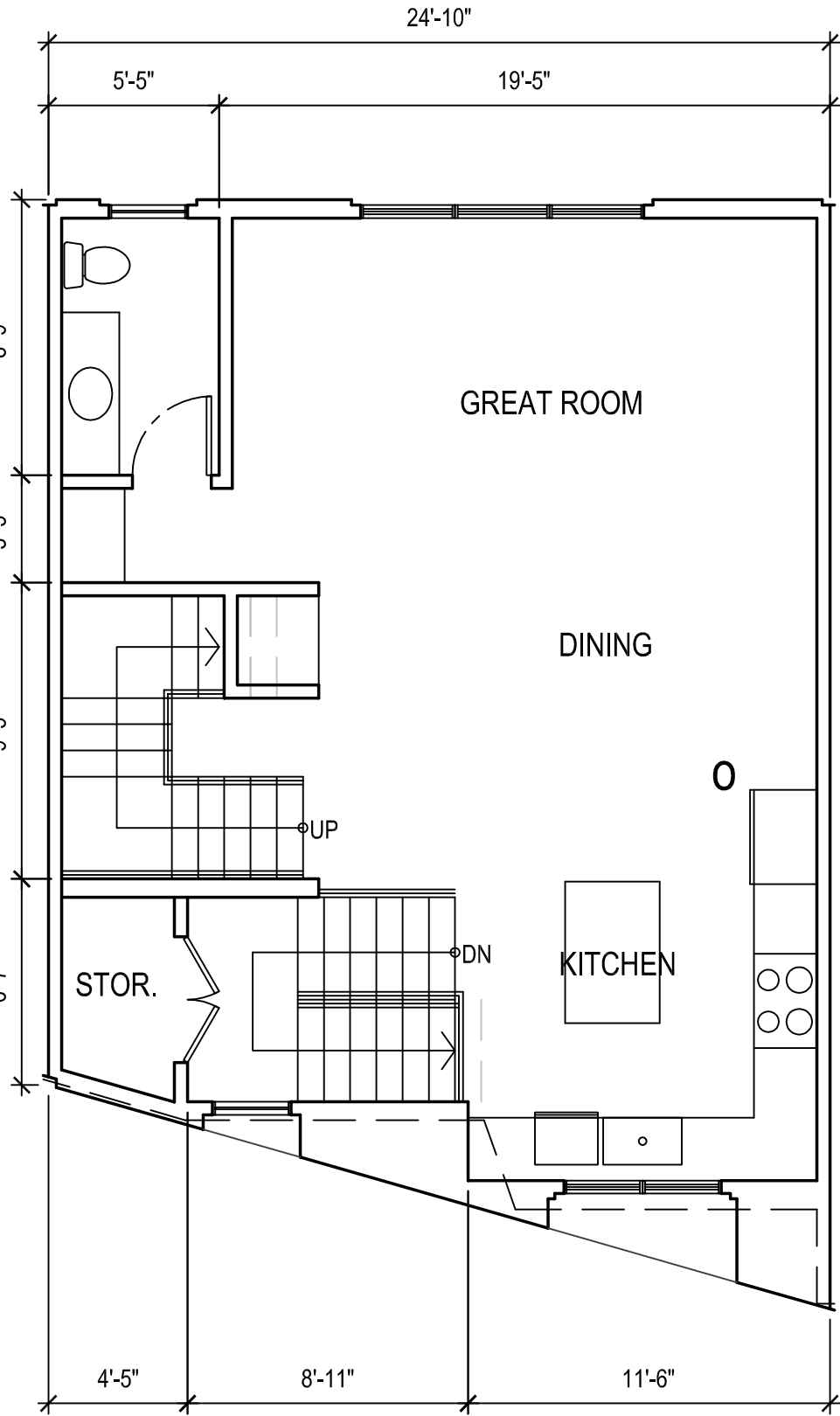
2ND. FLOOR PLAN (UNIT B,D,H) (MIRRORED UNIT C,G) 3/16" = 1'-0"



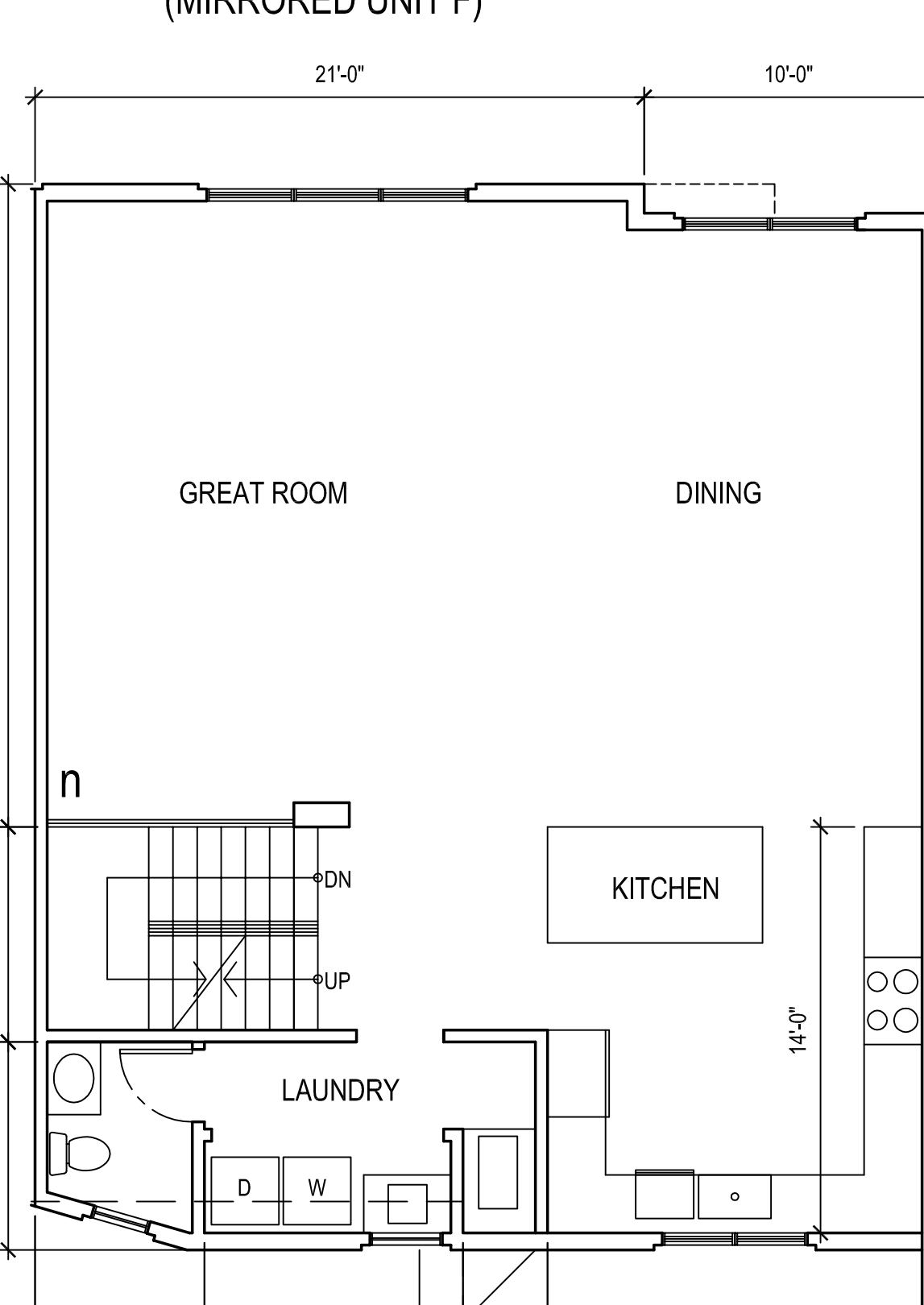
2ND. FLOOR PLAN (UNIT A) ACCESSIBLE UNIT 3/16" = 1'-0"



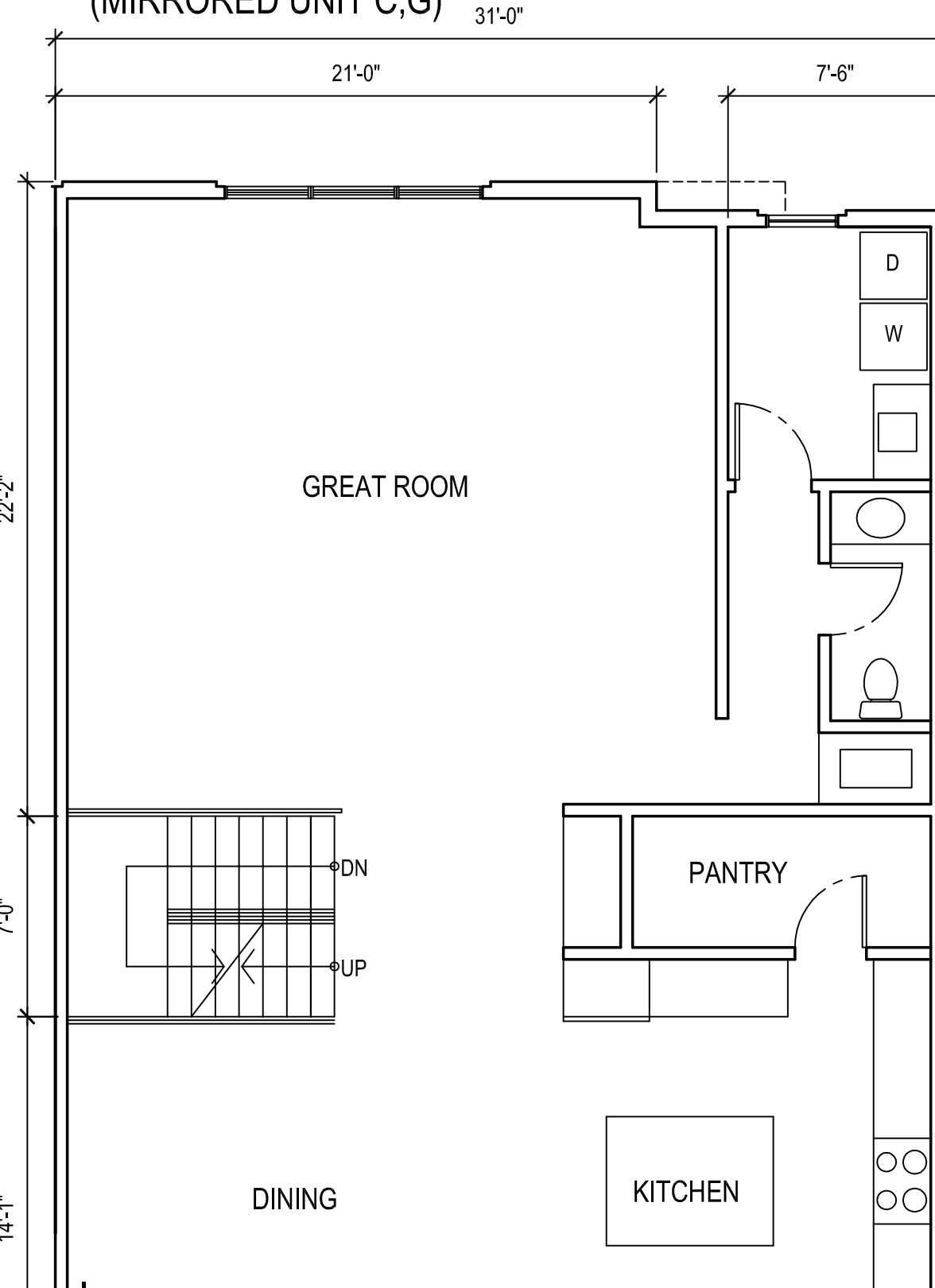
2ND. FLOOR PLAN (UNIT P) 3/16" = 1'-0"



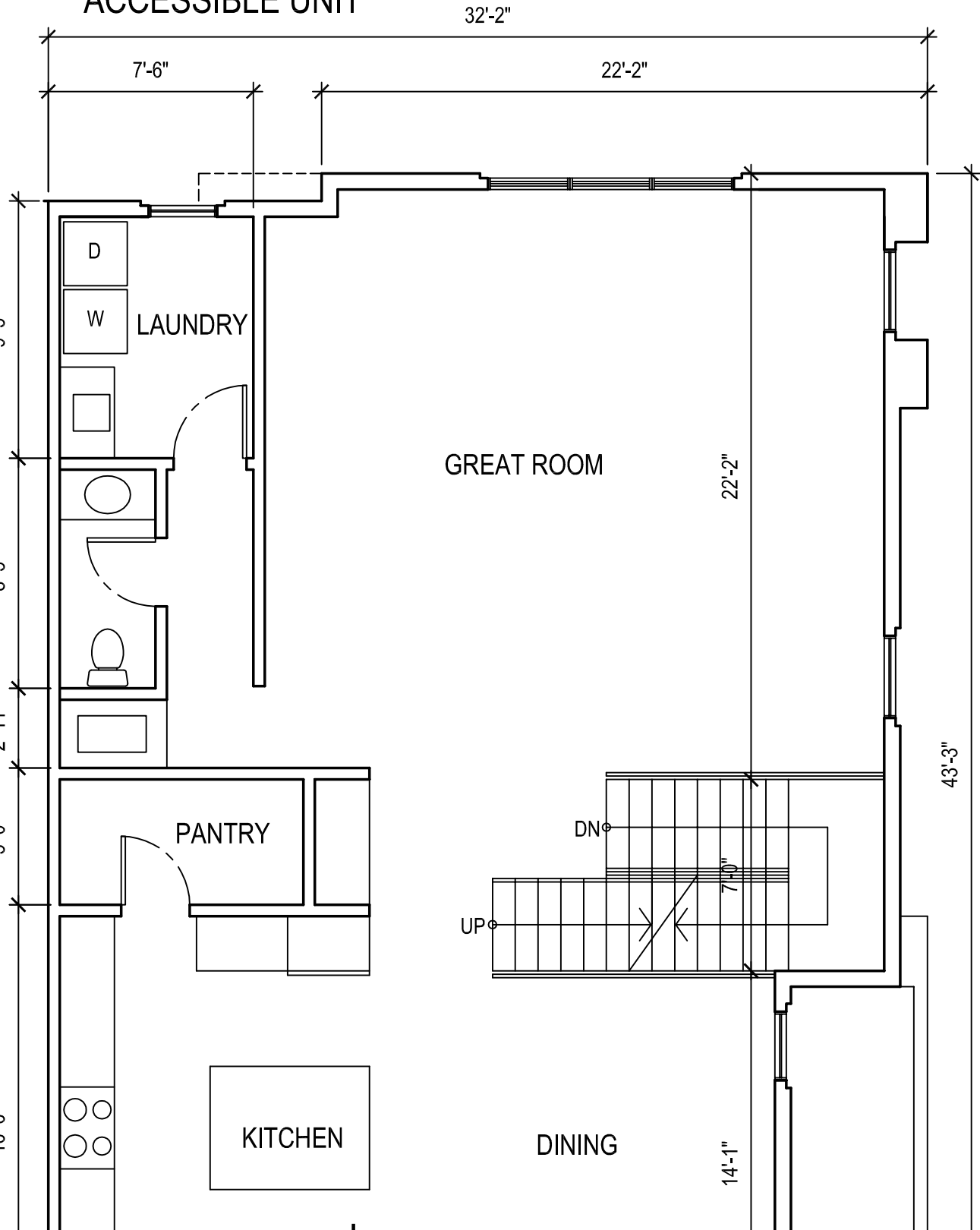
2ND. FLOOR PLAN (UNIT O) 3/16" = 1'-0"



2ND. FLOOR PLAN (UNIT N) 3/16" = 1'-0"



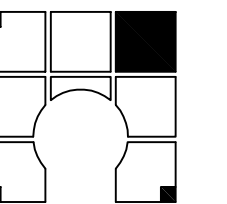
2ND. FLOOR PLAN (UNIT L) (MIRRORED UNIT M) 3/16" = 1'-0"



2ND. FLOOR PLAN (UNIT K) ACCESSIBLE UNIT 3/16" = 1'-0"

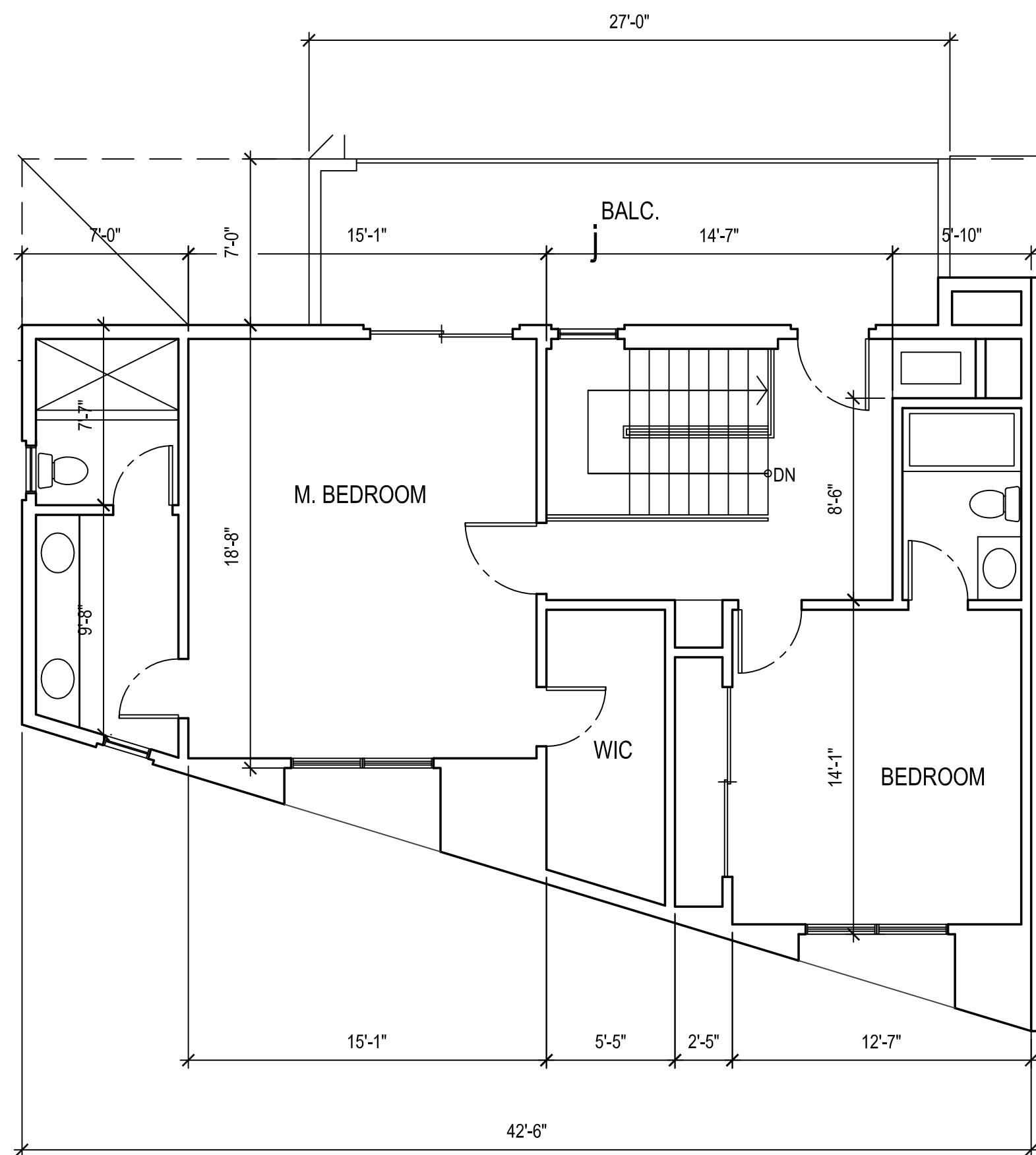
16-UNIT CONDOMINIUMS

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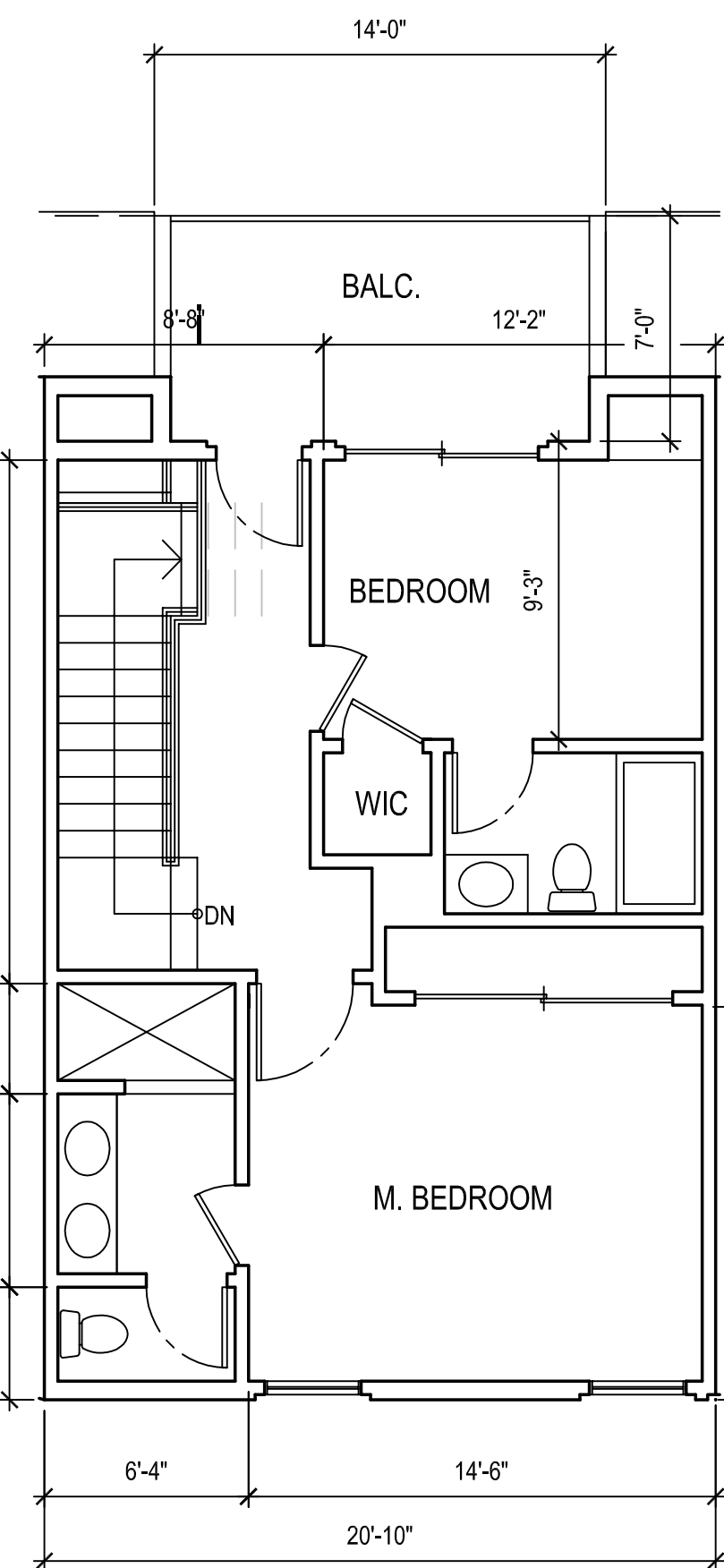


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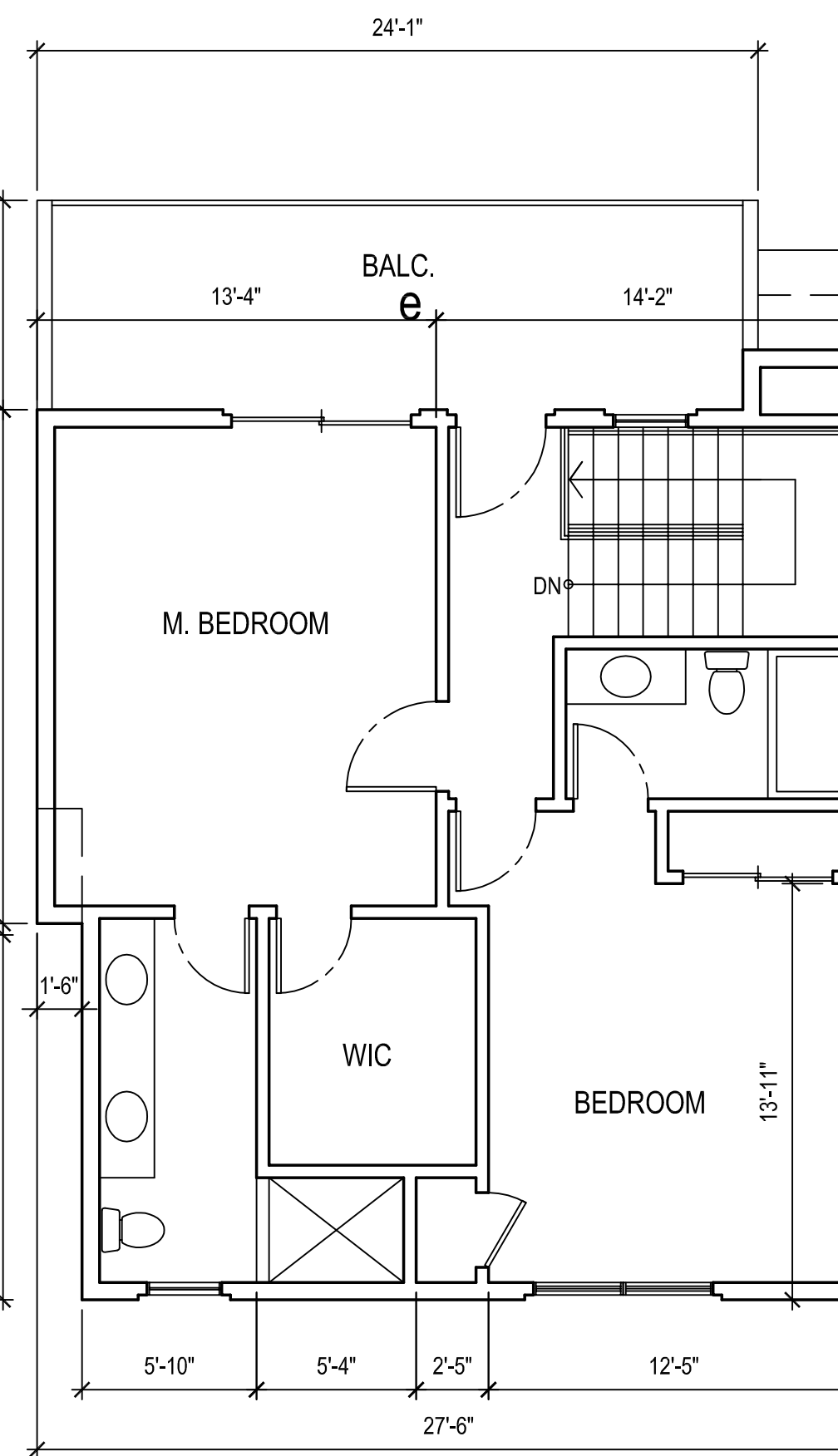
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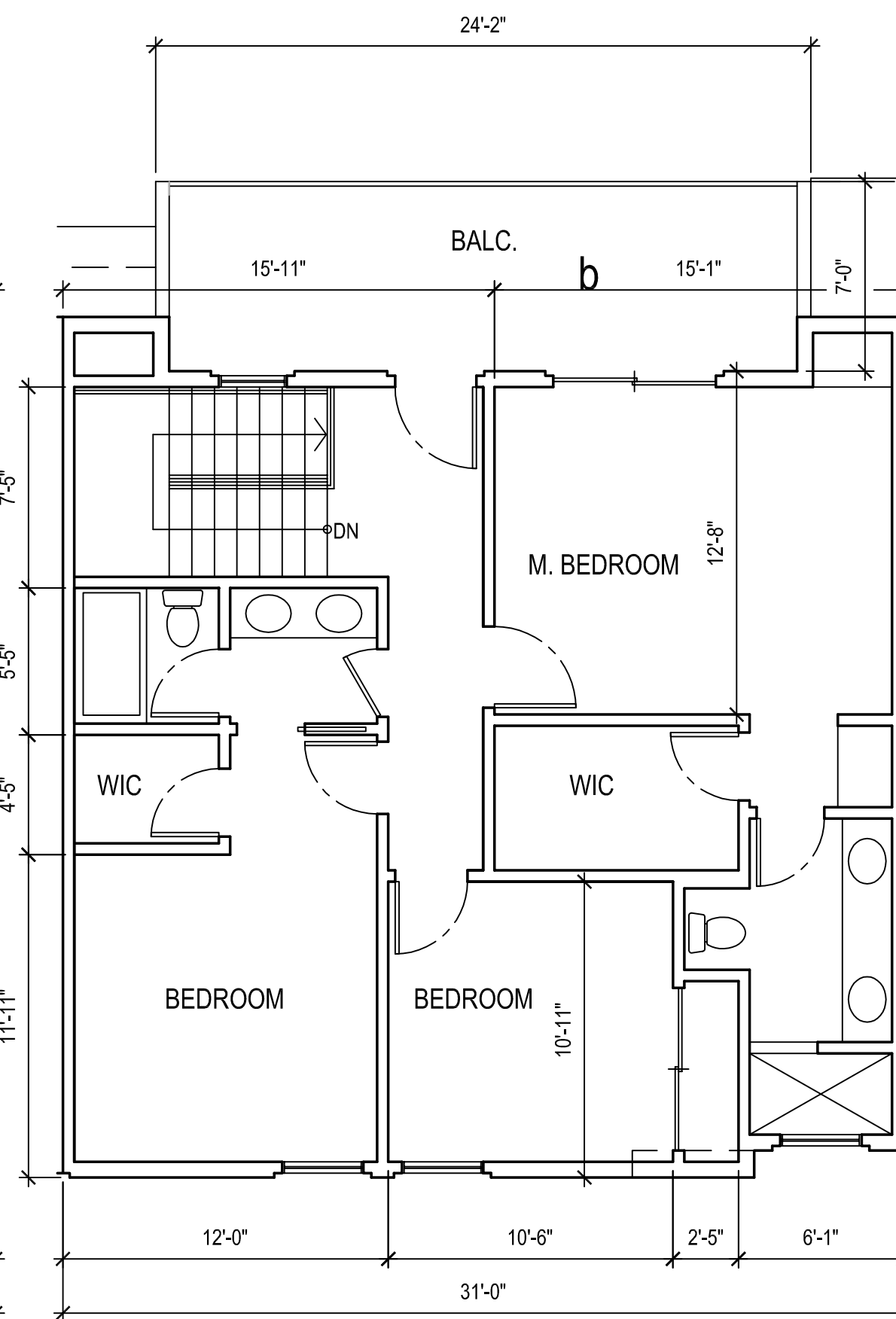
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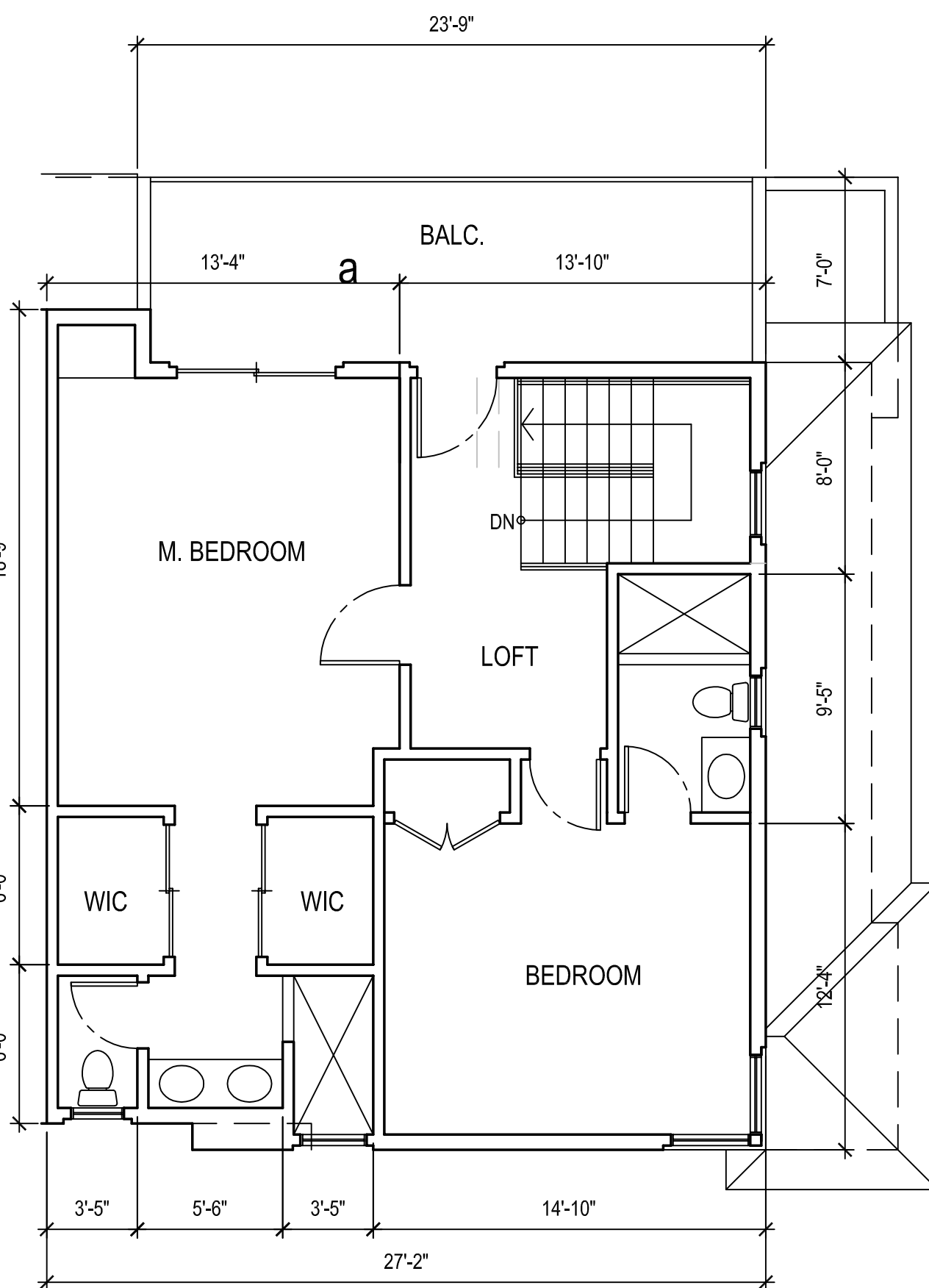
3RD. FLOOR PLAN (UNIT I) 3/16" = 1'-0"



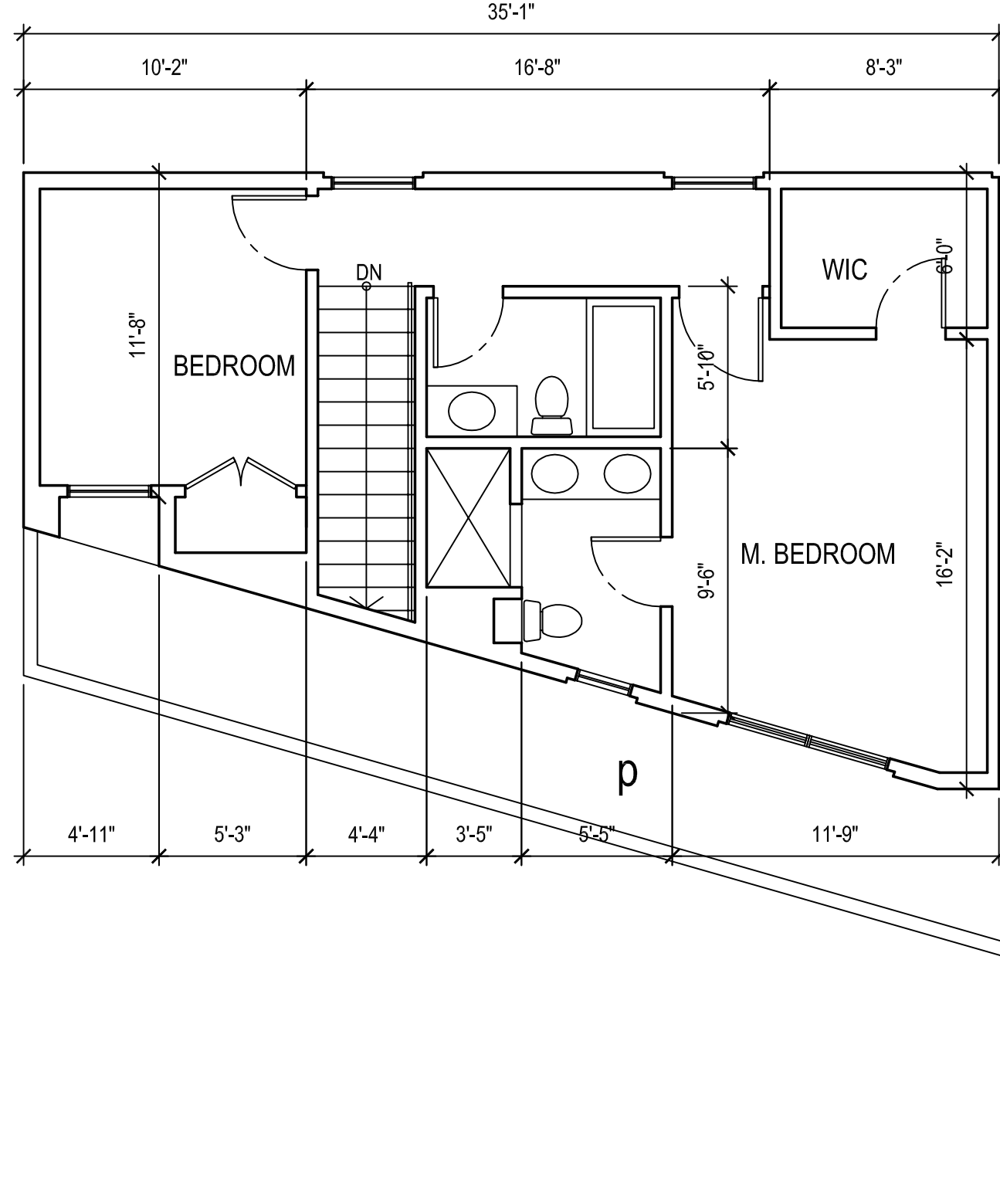
3RD. FLOOR PLAN (UNIT E) 3/16" = 1'-0"
(MIRRORED UNIT F)



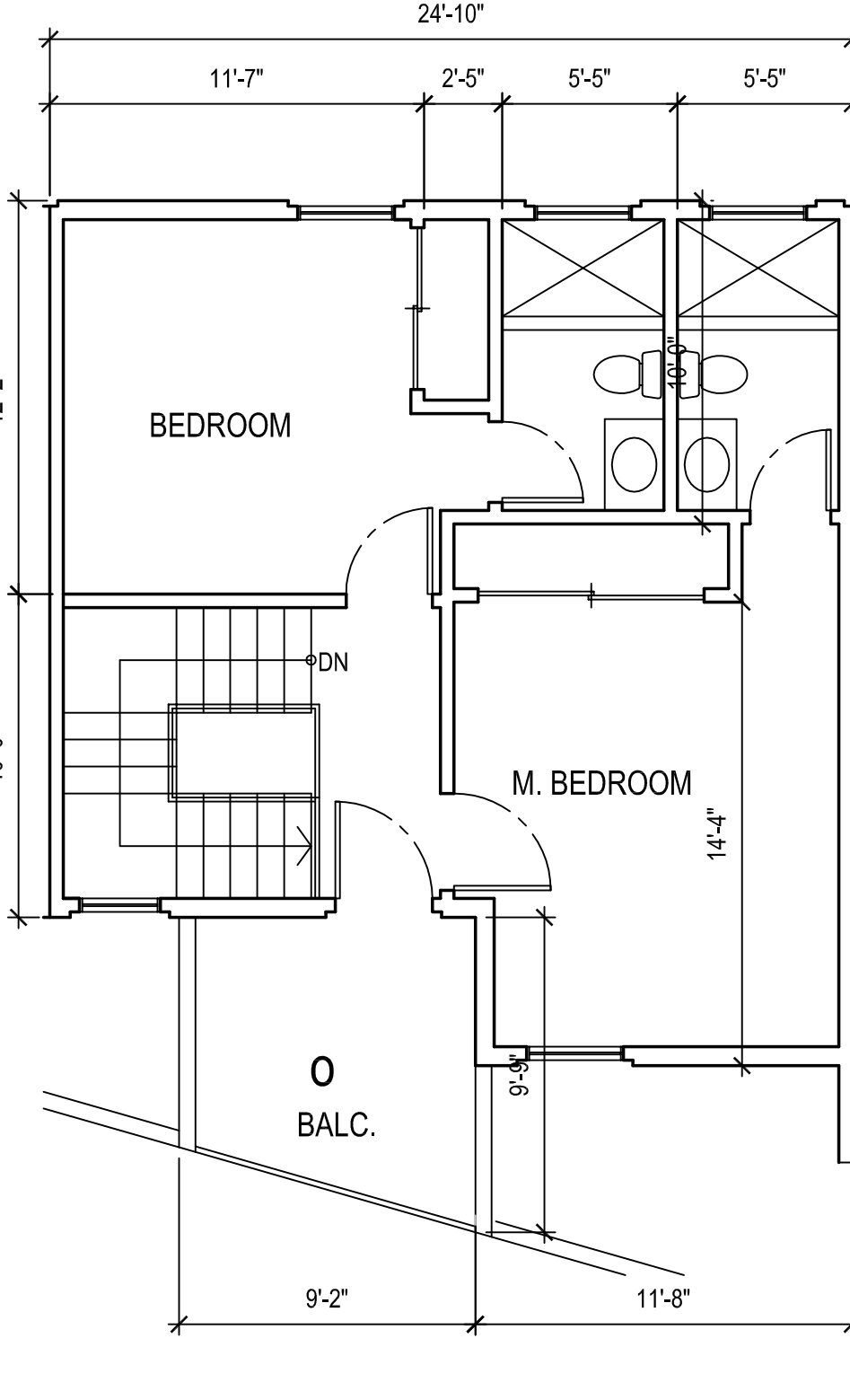
3RD. FLOOR PLAN (UNIT B,D,H) 3/16" = 1'-0"
(MIRRORED UNIT C,G)



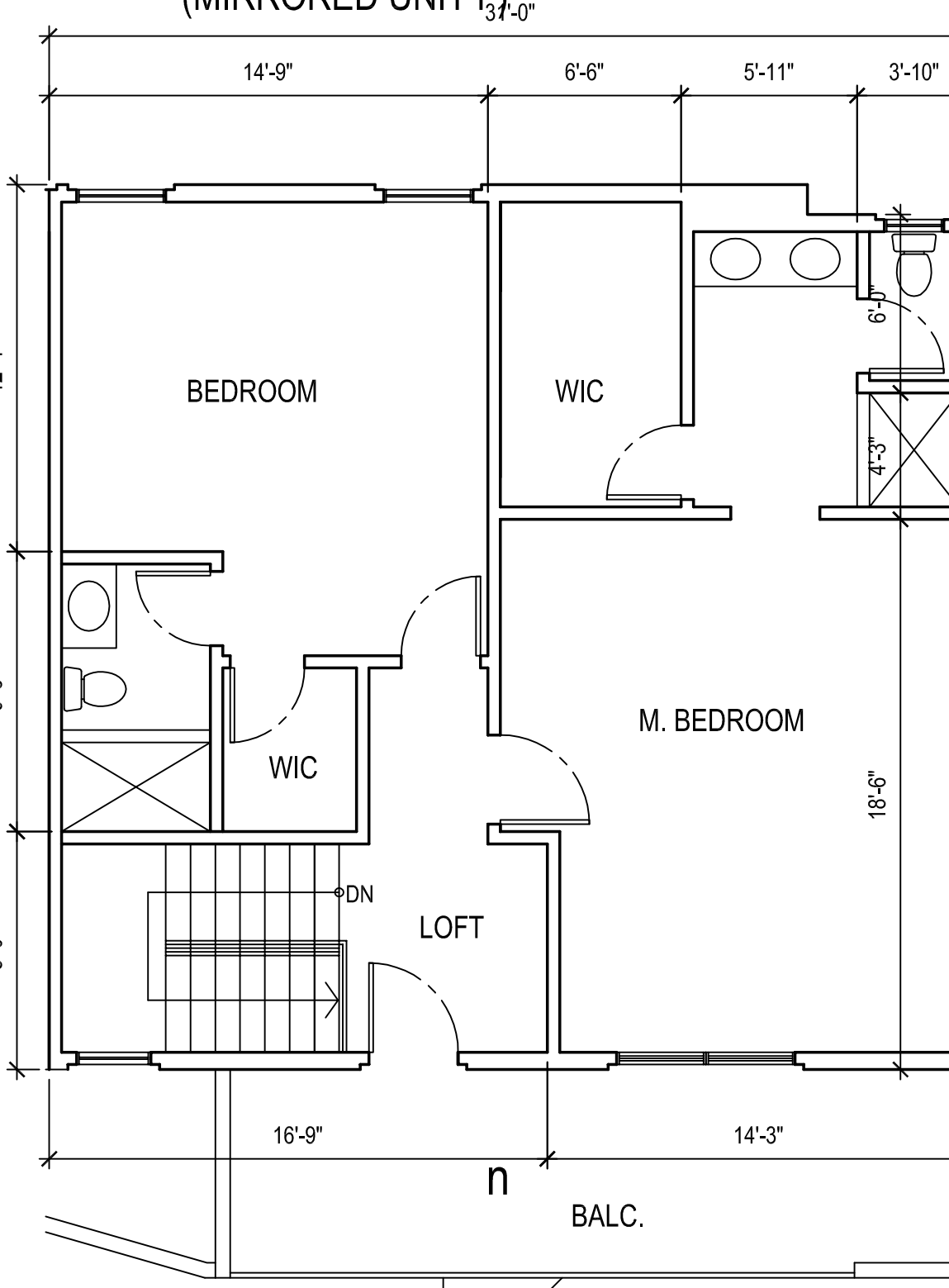
3RD. FLOOR PLAN (UNIT A) 3/16" = 1'-0"
ACCESSIBLE UNIT



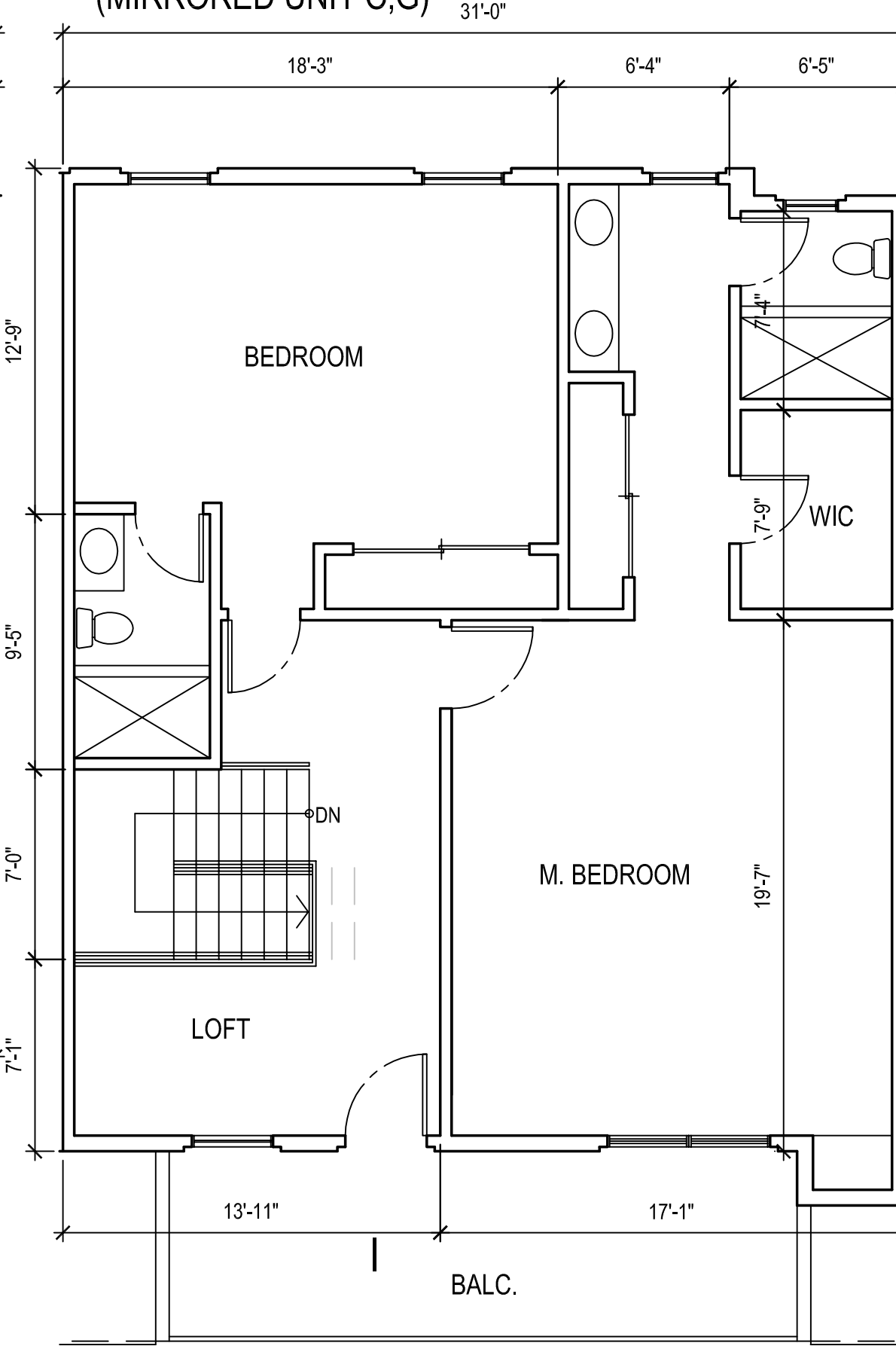
3RD. FLOOR PLAN (UNIT P) 3/16" = 1'-0"



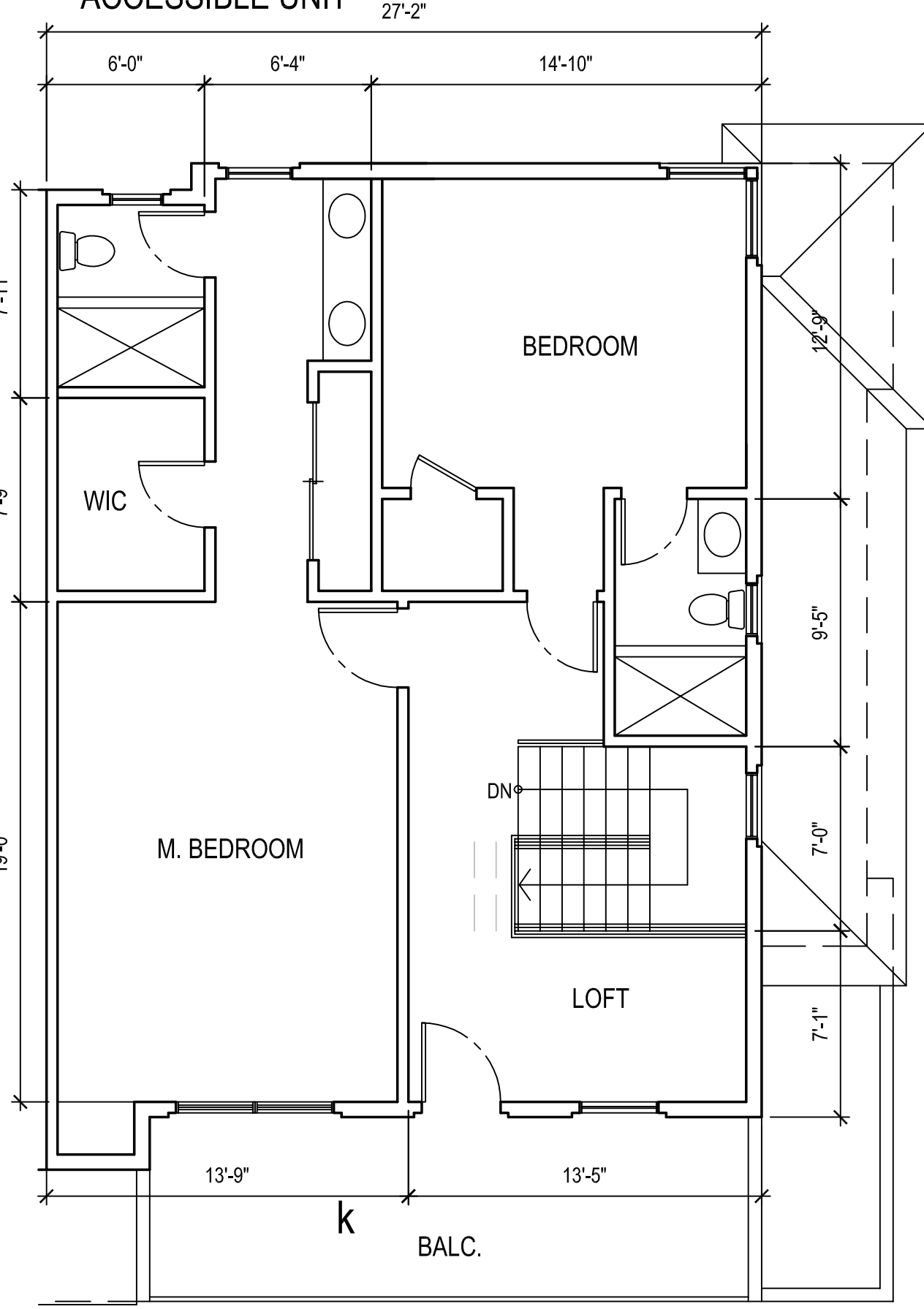
3RD. FLOOR PLAN (UNIT O) 3/16" = 1'-0"



3RD. FLOOR PLAN (UNIT N) 3/16" = 1'-0"



3RD. FLOOR PLAN (UNIT L) 3/16" = 1'-0"
(MIRRORED UNIT M)



3RD. FLOOR PLAN (UNIT K) 3/16" = 1'-0"
ACCESSIBLE UNIT

16-UNIT CONDOMINIUMS

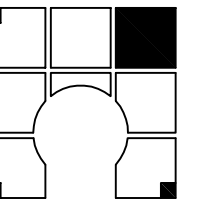
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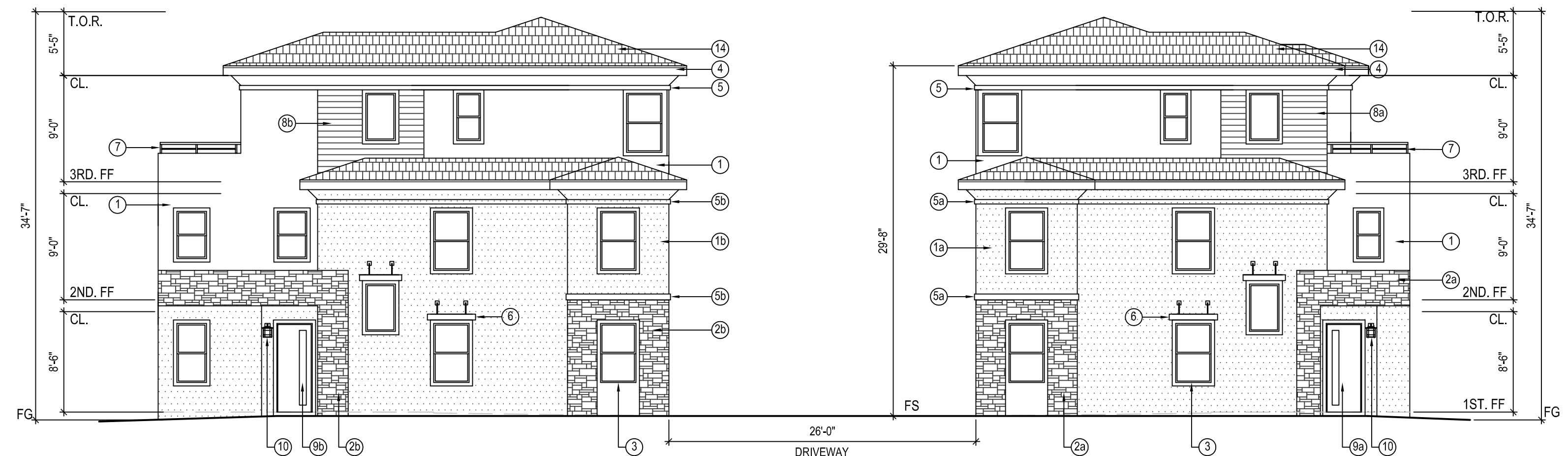
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ELEVATION KEY NOTES:

- ① STUCCO - LAHABRA, 50 CRYSTAL WHITE
- ② STUCCO - LAHABRA, 81584 SUFFOLK
- ③ STUCCO - LAHABRA, 81593 BAY RIDGE
- ④ STONE VENEER - CORONADO, 3" SPLIT LIMESTONE - GENOA SANDS
- ⑤ STONE VENEER - CORONADO, 3" SPLIT LIMESTONE - GREY
- ⑥ 2" RECESSED WINDOW - BRONZE VINYL FRAME
- ⑦ SMOOTH STUCCO FINISH FACIA BOARD - DUNN-EDWARDS, TREASURE CHEST, DE6224
- ⑧ SMOOTH FINISH STUCCO MOLDING - LAHABRA, 50 CRYSTAL WHITE
- ⑨ SMOOTH FINISH STUCCO MOLDING - LAHABRA, 81584 SUFFOLK
- ⑩ SMOOTH FINISH STUCCO MOLDING - LAHABRA, 81593 BAY RIDGE
- ⑪ 12" DEEP METAL CONOPY - DUNN-EDWARD, DARK ENGINE DE6350
- ⑫ STEEL GUARDRAIL OR WITH WIRE MESH - DUNN-EDWARD, DARK ENGINE DE6350
- ⑬ WOOD SIDING - DUNN-EDWARDS, CHOCOLATE CHUNK DE6070
- ⑭ WOOD SIDING - DUNN-EDWARDS, DARK ENGINE DE6350
- ⑮ FRONT DOOR W/ GLASS ON SIDE - DUNN-EDWARDS, CHOCOLATE CHUNK DE6070
- ⑯ FRONT DOOR W/ GLASS ON SIDE - DUNN-EDWARDS, DARK ENGINE DE6350
- ⑰ DECORATIVE WALL LIGHT - BLACK
- ⑱ PATIO DOOR - BRONZE VINYL FRAME
- ⑲ FRENCH DOOR - COLOR TO MATCH WINDOW FRAME
- ⑳ METAL SECTIONAL GARAGE DOOR WITH GLASS ON SIDE - DUNN-EDWARDS, CHOCOLATE CHUNK DE6070
- ㉑ METAL SECTIONAL GARAGE DOOR WITH GLASS ON SIDE - DUNN-EDWARDS, DARK ENGINE DE6350
- ㉒ ROOF TILE - EAGLE ROOFING, BEL AIR, 4602 CONCORD BLEND - CHARCOAL, TAN BLEND



EAST ELEVATION - BUILDING 3 & 1 STREET VIEW

1/8" = 1'-0"



SOUTH ELEVATION - BUILDING 1

1/8" = 1'-0"

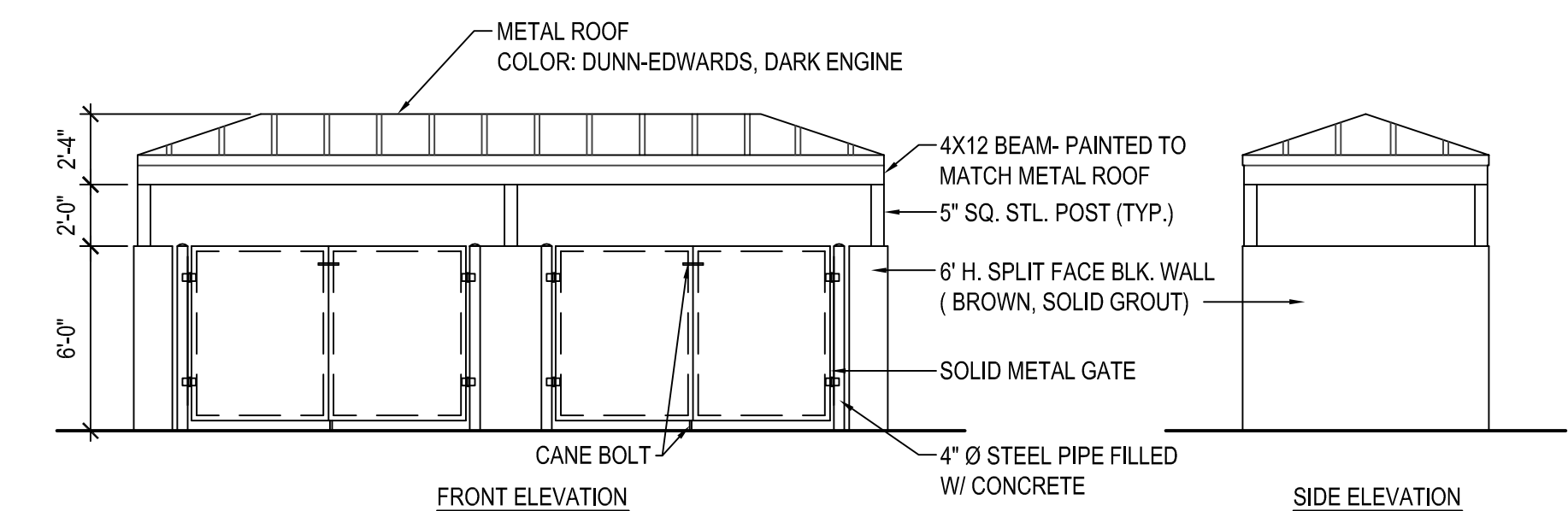


NORTH ELEVATION - BUILDING 1

1/8" = 1'-0"

COLOR SCHEME 1	
① STUCCO - LAHABRA, 50 CRYSTAL WHITE	
⑤ SMOOTH FINISH STUCCO MOLDING	
⑱ STUCCO - LAHABRA, 81584 SUFFOLK	
⑳ SMOOTH FINISH STUCCO MOLDING	
④ SMOOTH STUCCO FINISH FACIA BOARD - DUNN-EDWARDS, TREASURE CHEST, DE6224	
②② STONE VENEER - CORONADO, 3" SPLIT LIMESTONE - GENOA SANDS	
⑥ 12" DEEP METAL CONOPY - DUNN-EDWARD, DARK ENGINE, DE6350	
⑦ STEEL GUARDRAIL	
⑬ WOOD SIDING - DUNN-EDWARDS, CHOCOLATE CHUNK, DE6070	
⑭ FRONT DOOR	
③ WINDOW - BRONZE VINYL FRAME	
⑱ PATIO DOOR - BRONZE VINYL FRAME	
⑲ FRENCH DOOR - BRONZE	
㉒ ROOF TILE - EAGLE ROOFING, BEL AIR, 4602 CONCORD BLEND CHARCOAL, TAN BLEND	

COLOR SCHEME 2	
① STUCCO - LAHABRA, 50 CRYSTAL WHITE	
⑤ SMOOTH FINISH STUCCO MOLDING	
⑱ STUCCO - LAHABRA, 81593 BAY RIDGE	
⑳ SMOOTH FINISH STUCCO MOLDING	
④ SMOOTH STUCCO FINISH FACIA BOARD - DUNN-EDWARDS, TREASURE CHEST, DE6224	
②② STONE VENEER - CORONADO, 3" SPLIT LIMESTONE - GREY	
⑥ 12" DEEP METAL CONOPY - DUNN-EDWARD, DARK ENGINE, DE6350	
⑦ STEEL GUARDRAIL	
⑬ WOOD SIDING - DUNN-EDWARDS, DARK ENGINE, DE6350	
⑭ FRONT DOOR	
③ WINDOW - BRONZE VINYL FRAME	
⑱ PATIO DOOR - BRONZE VINYL FRAME	
⑲ FRENCH DOOR - BRONZE	
㉒ ROOF TILE - EAGLE ROOFING, BEL AIR, 4602 CONCORD BLEND CHARCOAL, TAN BLEND	



- NOTES:
1. ALL EXT. STEEL AND METAL SHALL BE PAINTED COLOR:
DUNN-EDWARDS, DARK ENGINE.
2. PROVIDE HOSE BIB AND AN AREA DRAIN CONNECTED TO THE SANITARY SEWER SYSTEM.

① TRASH ENCLOSURE

3/16" = 1'-0"

16-UNIT CONDOMINIUMS

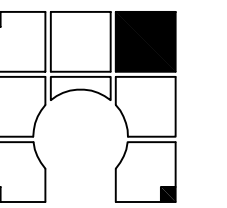
**331 S. CYPRESS ST.
LA HABRA, CA**

Drawn Date 01-02-2021

Sheet

A-6

Of Sheets



**KBR
&
ASSOCIATES**

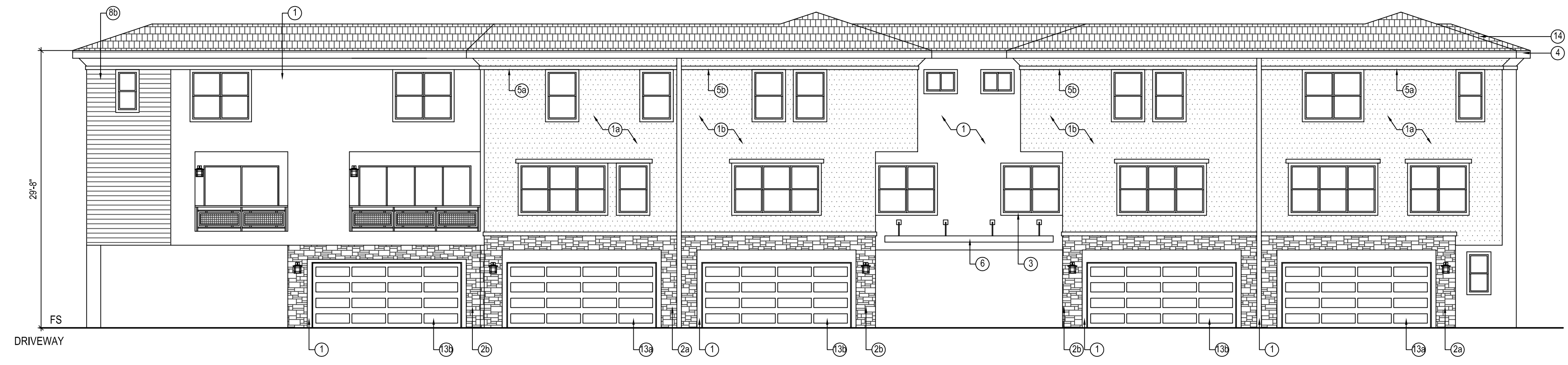
22288 ROUNDUP DR.,
WALNUT, CA 91789
(909) 444-9272

tsyrickyeh@gmail.com



WEST ELEVATION - BUILDING 2

1/8" = 1'-0"

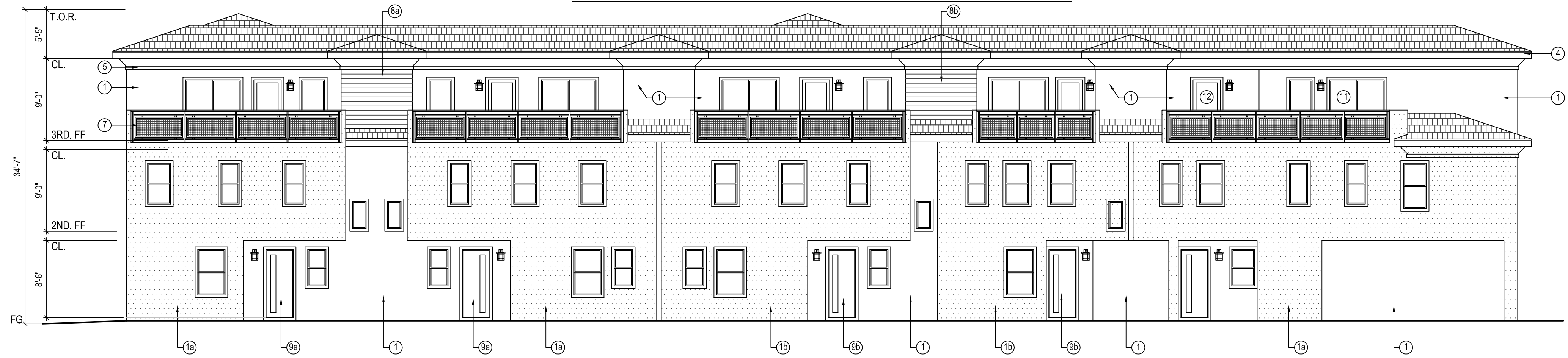


SOUTH ELEVATION - BUILDING 2

1/8" = 1'-0"

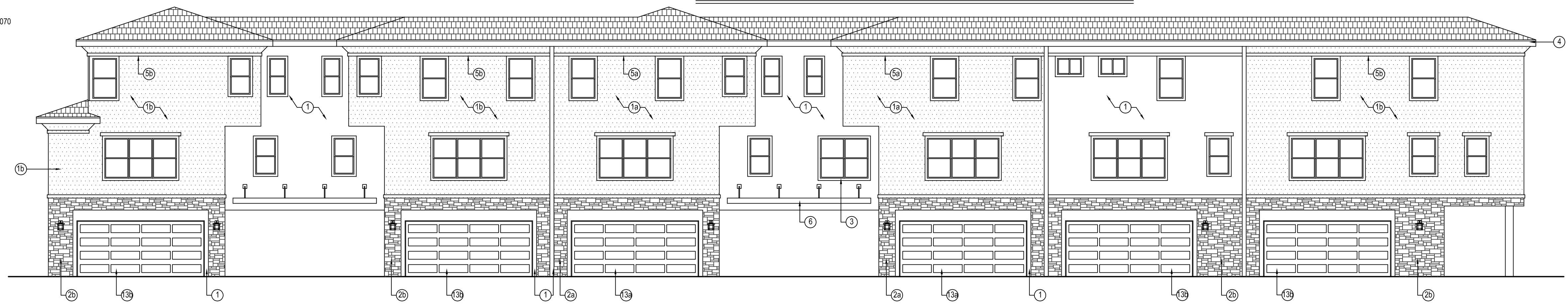
ELEVATION KEY NOTES:

- ① STUCCO - LAHABRA, 50 CRYSTAL WHITE
- ①a STUCCO - LAHABRA, 81584 SUFFOLK
- ①b STUCCO - LAHABRA, 81593 BAY RIDGE
- ②a STONE VENEER - CORONADO, 3" SPLIT LIMESTONE - GENOA SANDS
- ②b STONE VENEER - CORONADO, 3" SPLIT LIMESTONE - GREY
- ③ 2" RECESSED WINDOW - BRONZE VINYL FRAME
- ④ SMOOTH STUCCO FINISH FACIA BOARD - DUNN-EDWARDS, TREASURE CHEST, DE6224
- ⑤ SMOOTH FINISH STUCCO MOLDING - LAHABRA, 50 CRYSTAL WHITE
- ⑥a SMOOTH FINISH STUCCO MOLDING - LAHABRA, 81584 SUFFOLK
- ⑥b SMOOTH FINISH STUCCO MOLDING - LAHABRA, 81593 BAY RIDGE
- ⑦ 12" DEEP METAL CONOPY - DUNN-EDWARDS, DARK ENGINE DE6350
- ⑧ STEEL GUARDRAIL OR WITH WIRE MESH - DUNN-EDWARDS, DARK ENGINE DE6350
- ⑨a WOOD SIDING - DUNN-EDWARDS, CHOCOLATE CHUNK DE6070
- ⑨b WOOD SIDING - DUNN-EDWARDS, DARK ENGINE DE6350
- ⑩a FRONT DOOR W/ GLASS ON SIDE - DUNN-EDWARDS, CHOCOLATE CHUNK DE6070
- ⑩b FRONT DOOR W/ GLASS ON SIDE - DUNN-EDWARDS, DARK ENGINE DE6350
- ⑩c DECORATIVE WALL LIGHT - BLACK
- ⑪ PATIO DOOR - BRONZE VINYL FRAME
- ⑫ FRENCH DOOR - COLOR TO MATCH WINDOW FRAME
- ⑬a METAL SECTIONAL GARAGE DOOR WITH GLASS ON SIDE - DUNN-EDWARDS, CHOCOLATE CHUNK DE6070
- ⑬b METAL SECTIONAL GARAGE DOOR WITH GLASS ON SIDE - DUNN-EDWARDS, DARK ENGINE DE6350
- ⑭ ROOF TILE- EAGLE ROOFING, BEL AIR, 4602 CONCORD BLEND - CHARCOAL, TAN BLEND



NORTH ELEVATION - BUILDING 2

1/8" = 1'-0"



NORTH ELEVATION - BUILDING 3

1/8" = 1'-0"



WEST ELEVATION - BUILDING 3

1/8" = 1'-0"



SOUTH ELEVATION - BUILDING 3

1/8" = 1'-0"

16-UNIT CONDOMINIUMS

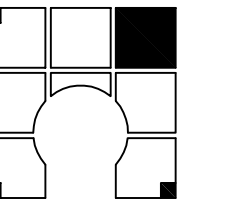
**331 S. CYPRESS ST.
LA HABRA, CA**

Drawn Date 01-02-2021

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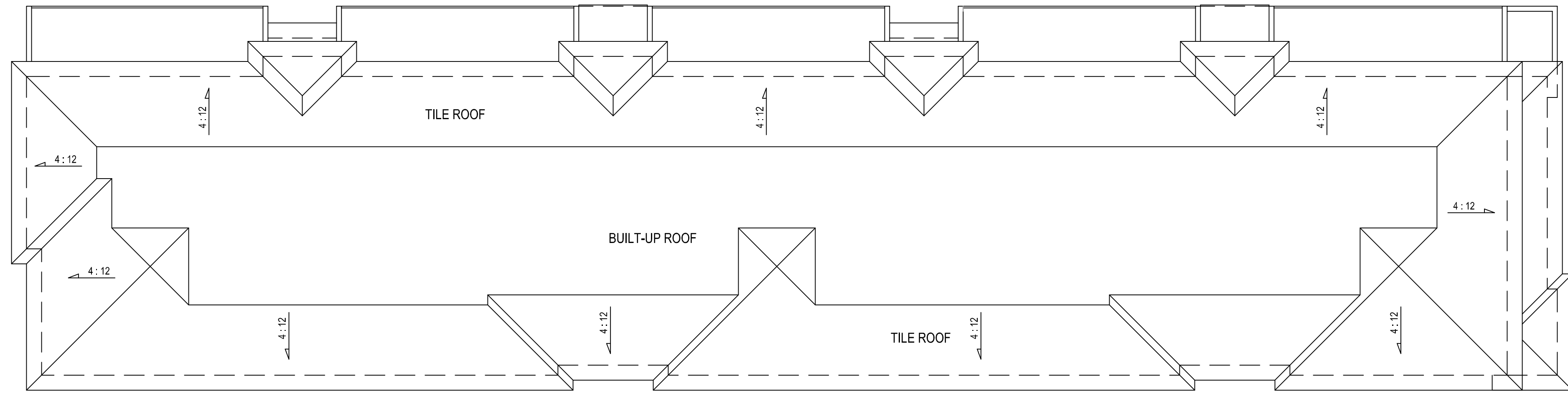
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**KBR
&
ASSOCIATES**

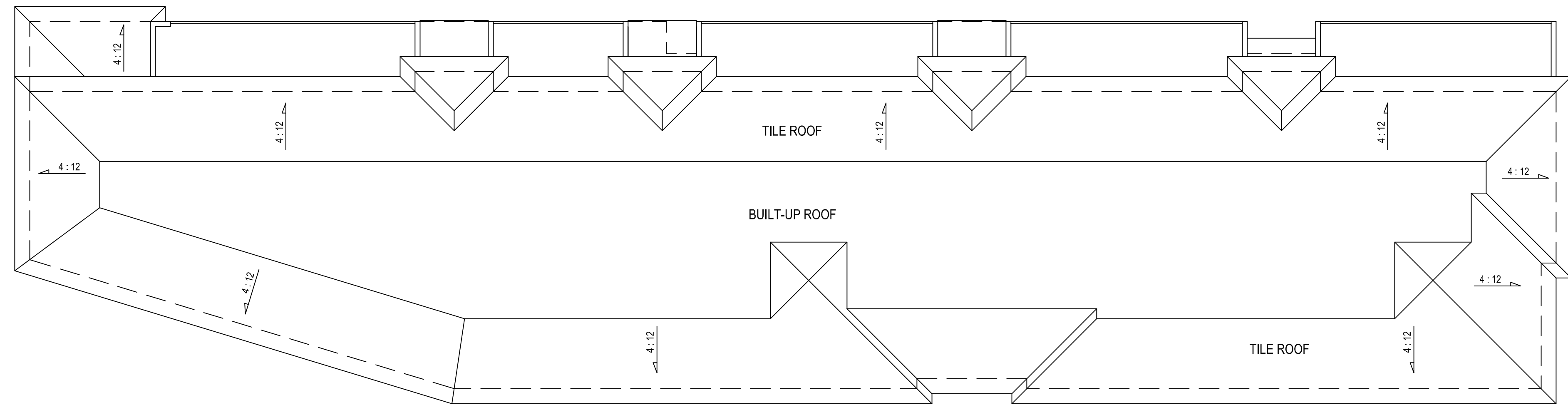
22288 ROUNDUP DR.,
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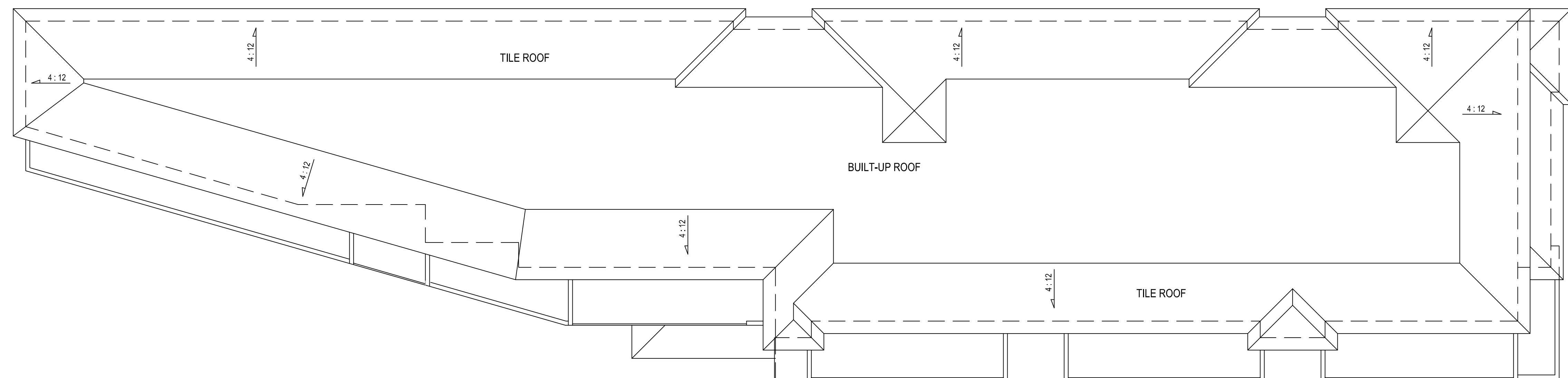
ROOF PLAN - BUILDING 1

1/8" = 1'-0"



ROOF PLAN - BUILDING 2

1/8" = 1'-0"



ROOF PLAN - BUILDING 3

1/8" = 1'-0"

16-UNIT CONDOMINIUMS

**331 S. CYPRESS ST.
LA HABRA, CA**

Drawn Date 01-02-2021

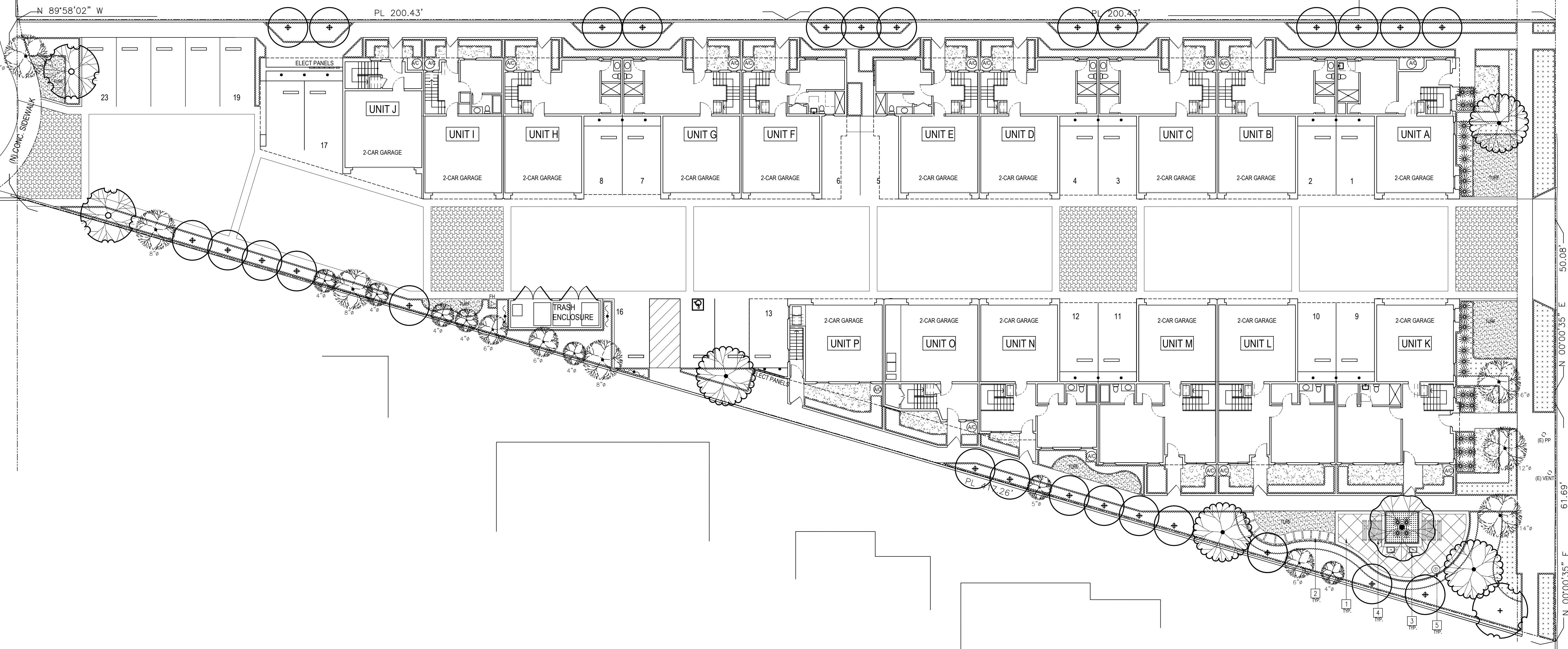
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Of Sheets

ALDRICH AVE.

331 S. CYPRESS ST.



1 LANDSCAPE PLAN
3/32"=1'-0"

CONCEPT TREE LEGEND

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	WATER USE PF
	SPECIMEN TREE		
	LAGERSTROEMIA INDICA 'MUSKOGEE' / GRAPE MYRTLE	24" BOX	MODERATE 5
	CERCIS OCCIDENTALIS/ WESTERN REDBUD	24" BOX	LOW 2
	OLEA EUROPAEA FRUITLESS/ FRUITLESS OLIVE TREE	24" BOX	LOW 2
	PINUS THUNBERGII/ JAPANESE BLACK PINE	24" BOX	LOW 2
	EVERGREEN COLUMNAR TREE		
	MAGNOLIA G. 'LITTLE GEM'/ LITTLE GEM MAGNOLIA	24" BOX	MODERATE 5
	TRISTANIA CONFERTA/ BRISBANE BOX TREE	24" BOX	MODERATE
	HYMENOSPORUM FLAVUM / SHEETSHADE	24" BOX	MODERATE
	FRAXINUS CAROLINIANA 'BRIGHT N TIGHT'/ CAROLINA LAUREL	24" BOX	MODERATE 5
	PODOCARPUS GRACILLIOR/ FERN PINE	24" BOX	MODERATE 5
	CYPRESSUS S. 'BLAUCA' / BLUE ITALIAN CYPRESS	24" BOX	LOW 2
	EXISTING TREE TO REMAIN		
	EXISTING TREE TO REMAIN PER PLAN		

CONCEPT SHRUB LEGEND

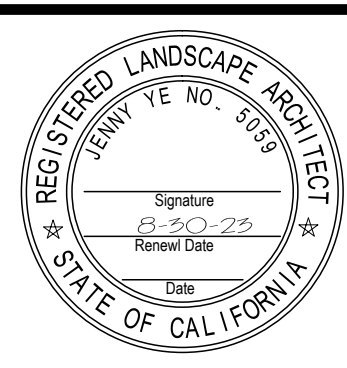
SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	WATER USE PF
	FOUNDATION SHRUB		
	ROSMARINUS O. 'BLUE SPIRES' /AFRIGHT ROSEMARY	5 GAL.	LOW 5
	CALLISTEMON C. 'LITTLE JOHN'/ LITTLE JOHN DWARF BOTTLEBRUSH		
	ROSE SHRUB		
	ROSE 'ICEBERG' / 'ICEBERG' ROSE	5 GAL.	MODERATE 5
	BUXIS M. J. /BOXWOOD HEDGE	2' O.C.	MODERATE 5
	ACCENT SHRUB		
	LAVANDULA S.OTTO QUAST' /SPANISH LAVENDER	5 GAL.	LOW 2
	SALVIA GREGII 'FORMAN'S RED' //AUTUMN SAGE		
	LANTANA MONTEVIDENSIS 'DWARF YELLOW' /DWARF YELLOW LANTANA		
	RHAPHIOLEPIS I. 'SPRINGTIME'/ INDIA HAWTHORN	5 GAL.	MODERATE 5
	AGAPANTHUS AFRICANUS/ LILY OF THE NILE		
	GROUNDCOVER/VINE/ TURF/OTHER		
	GERANIUM CANTABRIGIENSE 'BIKOVO' /BIKOVO GERANIUM	1 GAL.	MODERATE 5
	ROSEMARINUS OFFICINALIS 'HUNTINGTON CARPET'	1 GAL.	LOW 2
	BOUGAINVILLEA 'BARBARA KARST' /BOUGAINVILLEA	5 GAL.	LOW 2
	(ST. AUGUSTINE WARM SEASON TURF)	--	HST 6
	SYNTHETIC TURF OR DECOMPOSED GRANITE	--	--

HARDSCAPE LEGEND

KEY NOTE	DESCRIPTION
1	CONCRETE PAVING, PER ARCHITECTURAL PLAN
2	30" SQ. STEPPING CONC. ON TURF
3	B.B.Q. CHARCOAL GRILL, 23.5"L x 17"W x 11"H
4	HEAVY-DUTY STEEL, IVI MOUNTING PLATE, BLACK COLOR
5	WEATHER RESISTANT HDPE, BLACK COLOR
5	TRASH RECEPTACLE, 23"D. X 33" H, STEEL, BLACK

*REFER TO ARCHITECTURAL SITE PLAN FOR MORE INFO.

REVISIONS	BY
SKETCH 04-22-21	
CONCEPT 04-30-21	
05-03-21 01-02-21	
07-19-21 10-11-21	



JYC
LANDSCAPE ARCHITECTURE
PHONE: (951)317-6825
Email: jennyye@yahoo.com

SHEET TITLE:
CONCEPTUAL LANDSCAPE PLAN

PROJECT NAME:
CONDOMINIUM
331 SOUTH CYPRESS STREET,
LA HABRA, CA 90631

DATE	10-11-21
SCALE	PER PLAN
DRAWN	
JOB	210416
SHEET	L-1
	OF 1 SHEETS

BENCHMARK:
 COUNTY BENCHMARK NO. S-51-R68

DESCRIBED BY OCS 2003 - FOUND 3 3/4" USCGS BRONZED DISK STAMPED "S 51 RESET 1968" SET IN THE SOUTHEASTERLY CORNER OF A 4.5 FT. BY 4.0 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF EUCLID AVENUE AND A SINGLE SET OF RAILROAD TRACKS, 0.25 MILES SOUTHERLY FROM THE CENTERLINE OF LA HABRA, 105 FT. NORTHERLY OF THE CENTERLINE OF THE RAILWAY AND 32 FT. WESTERLY FROM THE CENTERLINE OF EUCLID. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 355.62'

EARTH WORK QUANTITIES:

CUT: 700 CU.YD.
 FILL: 200 CU.YD.
 EXPORT: 500 CU.YD.

NOTE:
 THE YARDAGE SHOWN HEREON IS FOR PERMIT AND BONDING PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING OF THE QUANTITIES.

UTILITY SERVICES:

- CABLE - SPECTRUM
- ELECTRICAL - SOUTHERN CALIFORNIA EDISON
- FIRE - ORANGE COUNTY FIRE AUTHORITY
- GAS - SOUTHERN CALIFORNIA GAS COMPANY
- POLICE - LA HABRA POLICE DEPARTMENT
- REFUSE - CR&R INCORPORATED
- SCHOOL - LA HABRA CITY SCHOOL DISTRICT
- SEWER - CITY OF LA HABRA
- TELEPHONE - VERIZON
- WATER - CITY OF LA HABRA

PREPARED BY:

JACK LEE, RCE 40870
 CAL LAND ENGINEERING, INC.
 576 E. LAMBERT ROAD,
 BREA, CA 92821
 TEL: (714) 671-1050
 FAX: (714) 671-1090

OWNER/SUBDIVIDER:

DE INVESTMENT, LLC
 2818 N. KINGSGATE DRIVE,
 ORANGE, CA 92667
 TEL: (626) 999-7350
 EMAIL: HCHIH@YAHOO.COM

PROJECT SUMMARY

GROSS AREA: 41,746.85 SF (0.958 ACRE)
 NET AREA: 40,143.36 SF (0.922 ACRE)
 IMPERVIOUS AREA: 32,643.07 SF (81.32%)
 PERVIOUS AREA: 7,500.29 SF (18.68%)
 ZONING: R-6 MULTIPLE FAMILY DWELLING
 NUMBER OF UNITS: 16

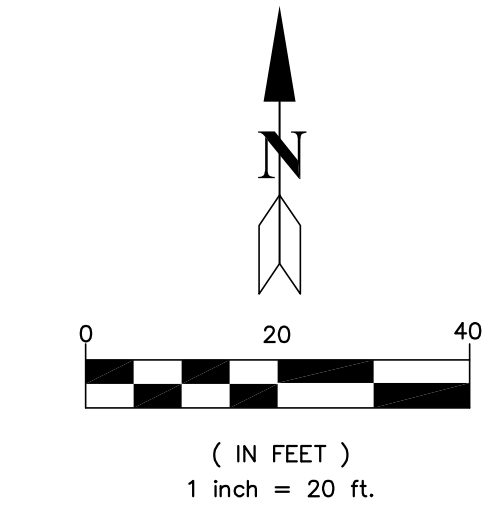
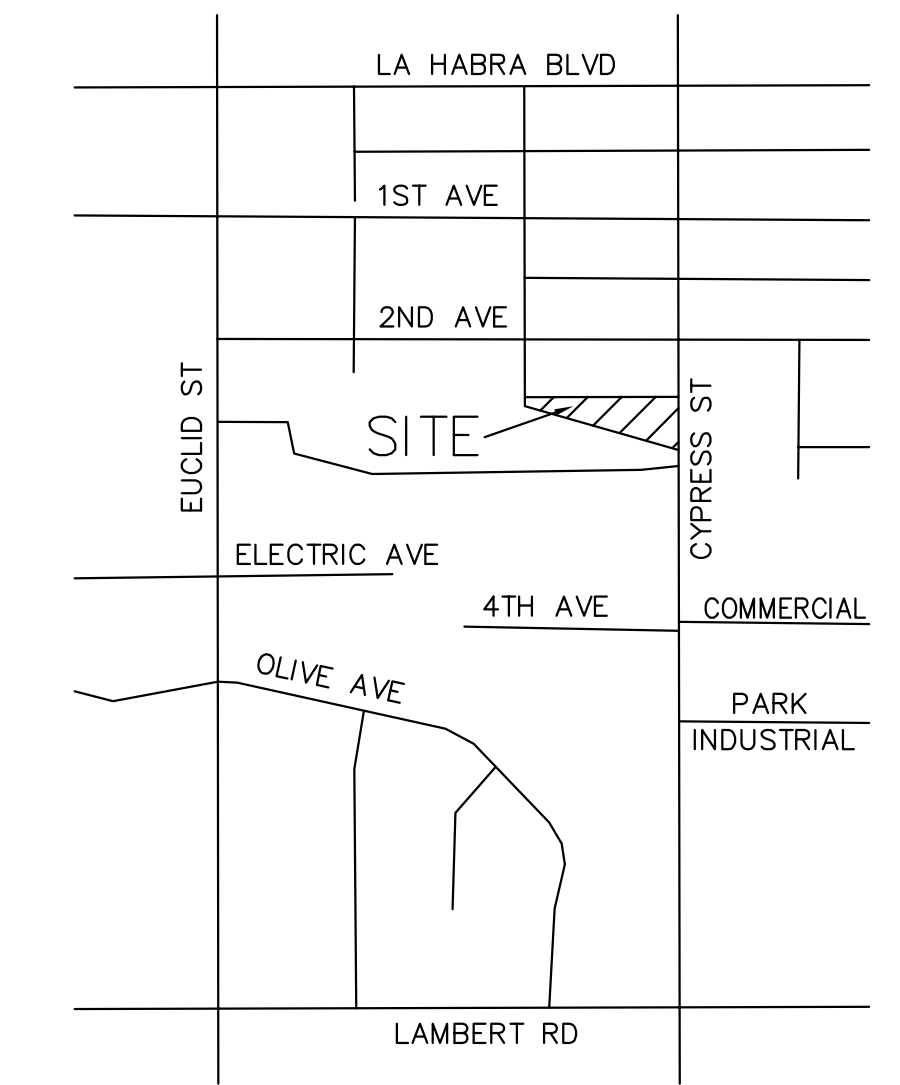
TENTATIVE TRACT MAP NO. 19155

IN THE CITY OF LA HABRA, COUNTY OF ORANGE
 STATE OF CALIFORNIA

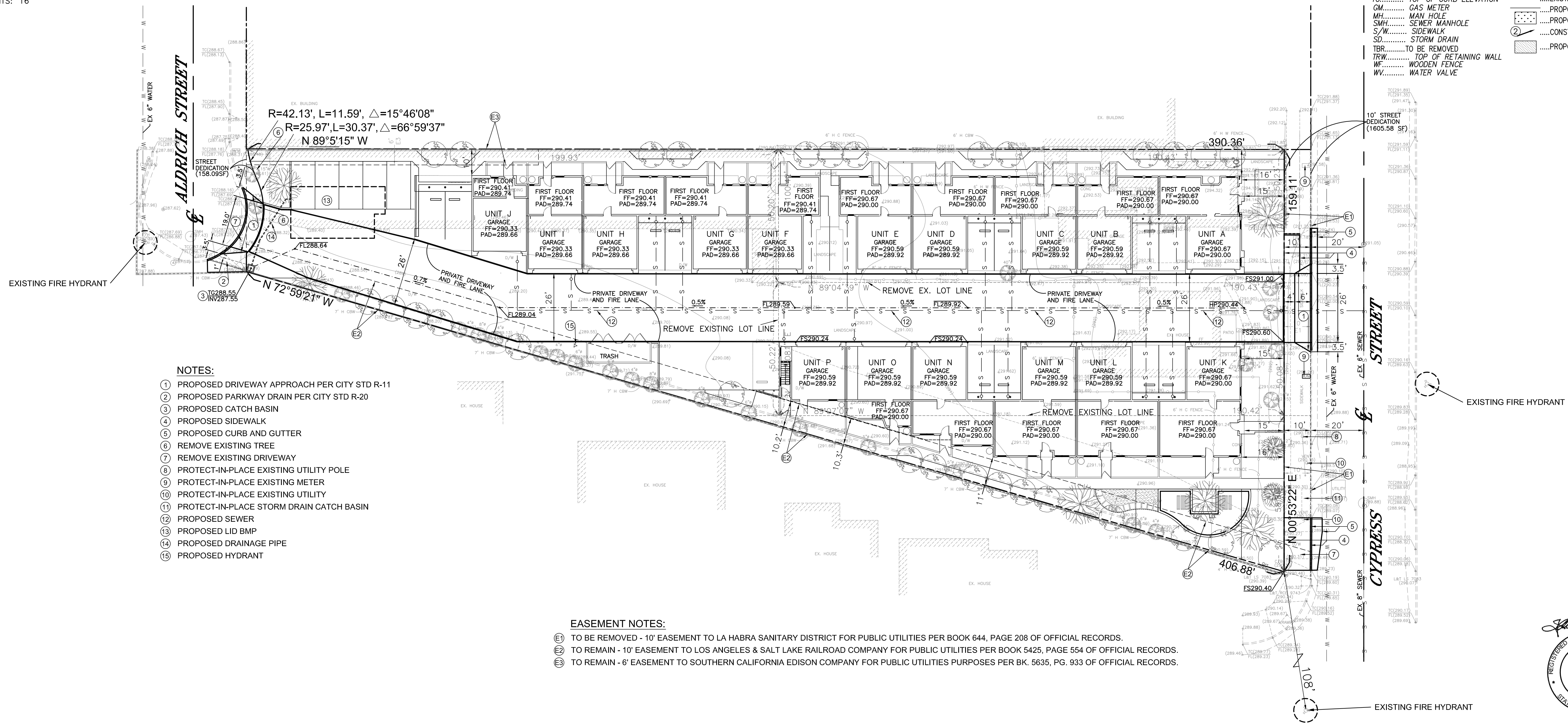
LOT 11, 12 AND PORTIONS OF LOTS 1 & 2 IN BLOCK 1 OF RESUBDIVISION OF REDFERN ADDITION TO LA HABRA, IN THE CITY OF LA HABRA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 99, OF MISCELLANEOUS MAPS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY, AND A PORTION OF LOT 7 OF THE KEELER ADDITION TO LA HABRA, IN THE CITY OF LA HABRA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 95, OF MISCELLANEOUS MAPS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.

APN: 022-181-21, 022-181-22, 022-181-23 AND 022-181-24

FOR CONDOMINIUM PURPOSES

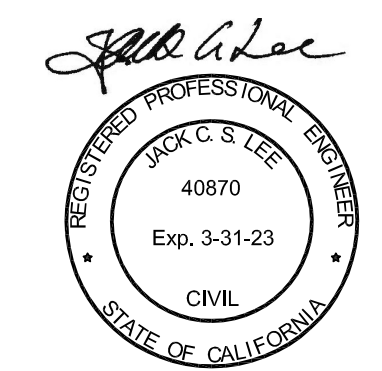


- ABBREVIATIONS/LEGEND:**
- CBW..... CONC. BLOCK WALL
 - C&G..... CURB AND GUTTER
 - D/A..... DRIVEWAY APRON
 - DWY..... DRIVEWAY
 - EP..... EDISON POLE
 - EX..... EXISTING
 - FH..... FIRE HYDRANT
 - FL..... FLOW LINE ELEVATION
 - TC..... TOP OF CURB ELEVATION
 - GM..... GAS METER
 - MH..... MAN HOLE
 - SMH..... SEWER MANHOLE
 - S/W..... SIDEWALK
 - SD..... STORM DRAIN
 - TBR..... TO BE REMOVED
 - TRW..... TOP OF RETAINING WALL
 - WF..... WOODEN FENCE
 - WV..... WATER VALVE
- LEGEND:**
-PIPE SLOPE
 -DRAINAGE PATTERN
 -EXISTING STRUCTURE
 -PROPOSED STRUCTURE
 -PROPOSED SOD AREA
 -CONSTRUCTION NOTE
 -PROPOSED PLANTER AREA



- NOTES:**
- 1 PROPOSED DRIVEWAY APPROACH PER CITY STD R-11
 - 2 PROPOSED PARKWAY DRAIN PER CITY STD R-20
 - 3 PROPOSED CATCH BASIN
 - 4 PROPOSED SIDEWALK
 - 5 PROPOSED CURB AND GUTTER
 - 6 REMOVE EXISTING TREE
 - 7 REMOVE EXISTING DRIVEWAY
 - 8 PROTECT-IN-PLACE EXISTING UTILITY POLE
 - 9 PROTECT-IN-PLACE EXISTING METER
 - 10 PROTECT-IN-PLACE EXISTING UTILITY
 - 11 PROTECT-IN-PLACE STORM DRAIN CATCH BASIN
 - 12 PROPOSED SEWER
 - 13 PROPOSED LID BMP
 - 14 PROPOSED DRAINAGE PIPE
 - 15 PROPOSED HYDRANT

- EASEMENT NOTES:**
- (E) TO BE REMOVED - 10' EASEMENT TO LA HABRA SANITARY DISTRICT FOR PUBLIC UTILITIES PER BOOK 644, PAGE 208 OF OFFICIAL RECORDS.
 - (L) TO REMAIN - 10' EASEMENT TO LOS ANGELES & SALT LAKE RAILROAD COMPANY FOR PUBLIC UTILITIES PER BOOK 5425, PAGE 554 OF OFFICIAL RECORDS.
 - (S) TO REMAIN - 6' EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES PURPOSES PER BK. 5635, PG. 933 OF OFFICIAL RECORDS.



CALLAND ENGINEERING, INC.
 dba QUARTECH CONSULTANTS
 574 E. LAMBERT ROAD, BREA, CA 92821
 TEL: (714) 671-1050 FAX: (714) 671-1090

PROJECT LOCATION:
 331, 341, 351 CYPRESS ST /
 316 ALDRICH ST.
 LA HABRA CA 90631

DRAWN: RR
CHECKED:
DATE: 10/14/2021
JOB NO.: 20-019-042
SCALE: 1" = 20'
FILE NAME:

BENCHMARK:
COUNTY BENCHMARK NO. S-51-R68

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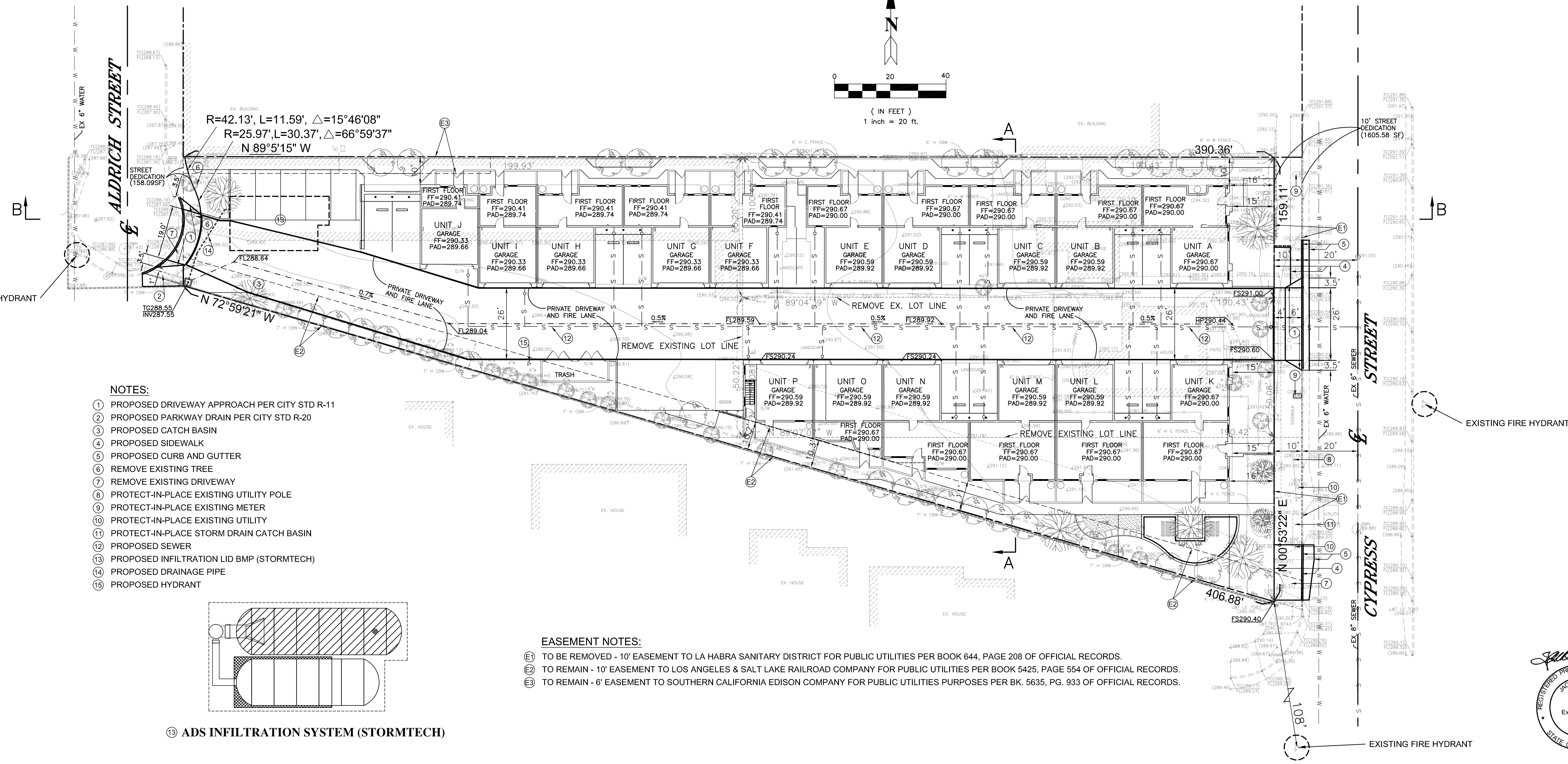
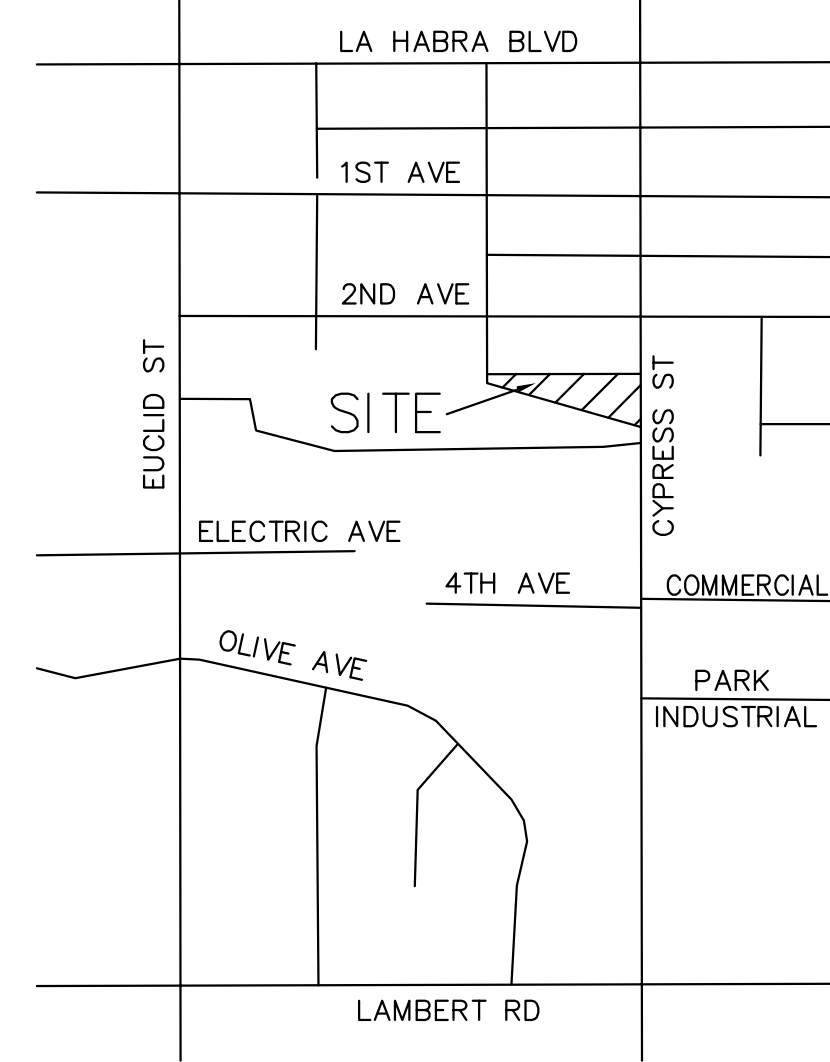
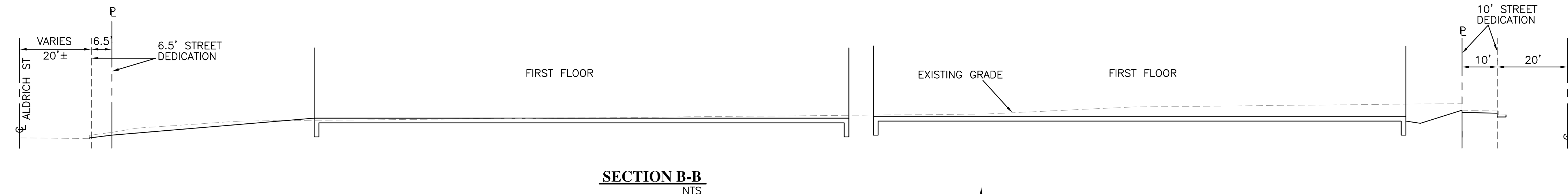
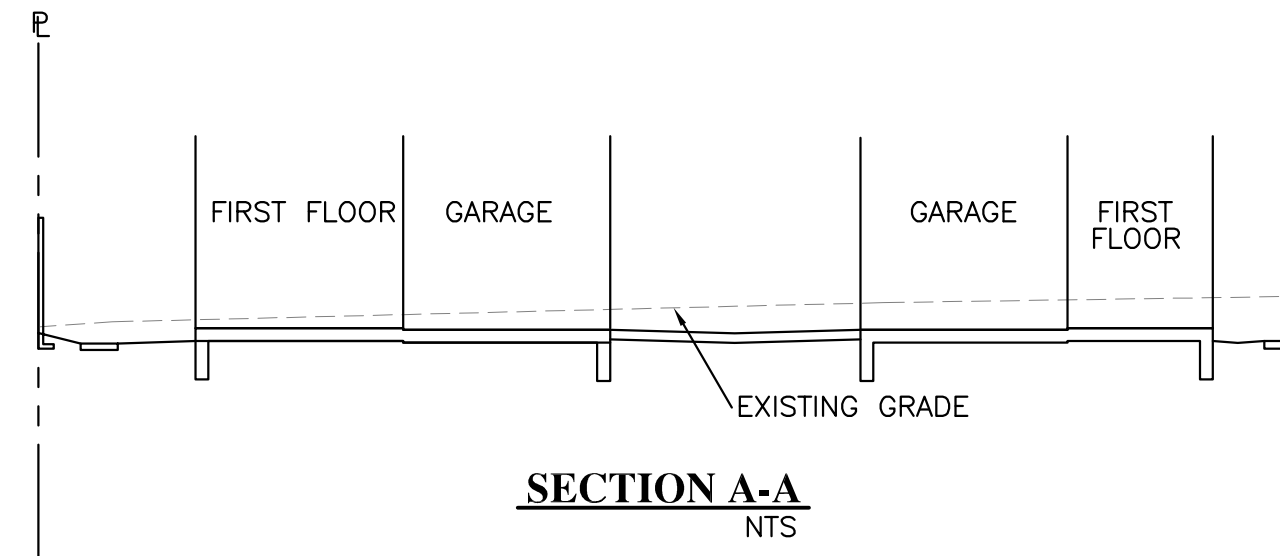
CONCEPTUAL GRADING PLAN

ABBREVIATIONS/LEGEND:

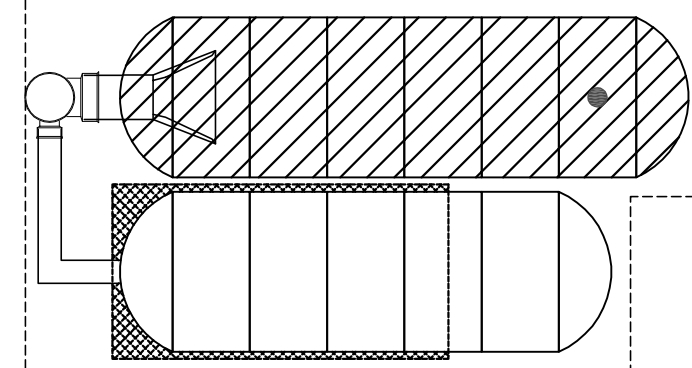
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WV..... WATER VALVE

LEGEND:

.....PIPE SLOPE
.....DRAINAGE PATTERN
.....EXISTING STRUCTURE
.....PROPOSED STRUCTURE
.....PROPOSED SOD AREA
.....CONSTRUCTION NOTE
.....PROPOSED PLANTER AREA



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 - PROTECT-IN-PLACE EXISTING METER
 - PROTECT-IN-PLACE EXISTING UTILITY
 - PROTECT-IN-PLACE STORM DRAIN CATCH BASIN
 - PROPOSED SEWER
 - PROPOSED INFILTRATION LID BMP (STORMTECH)
 - PROPOSED DRAINAGE PIPE
 - PROPOSED HYDRANT



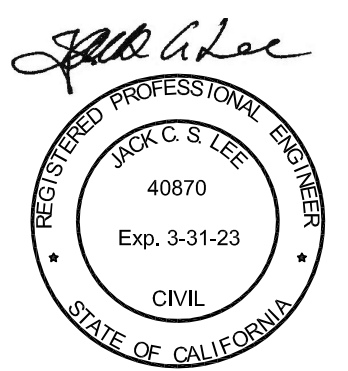
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PG-1