

DIVISION 1 - GENERAL CONDITIONS

A) CONSTRUCTION OBSERVATION SERVICES

1. DIRECT CONSTRUCTION OBSERVATIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INCLUDED AS PART OF THE ARCHITECT'S & ENGINEER'S BASIC SERVICES. IT IS UNDERSTOOD THAT SUCH RESPONSIBILITIES WILL BE ASSUMED BY OTHERS. THE ARCHITECT RESERVES THE RIGHT TO REQUEST THAT THE ARCHITECT, CONTRACTOR AND OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX OR E-MAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATION OR RESOLVING ISSUES AND CONCERNS.

B) EXAMINATION

1. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN OTHER OR BOTH. 2. THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED, AS A CONDITION OF THE CONTRACT, TO ACCQUANT THEMSELVES WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES, AND TO NOTIFY AND APPRISE ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT, OF AND THEM TO ITS CONDITIONS. 3. PRIOR TO SUBMITTING BID, CONTRACTOR SHALL OBTAIN A COPY OF THE LEASE/TENANT AGREEMENT, AND ANY EXHIBITS AND/OR DESIGN CRITERIA THAT PERTAIN TO TENANT BUILD OUT. ALL INFORMATION SHALL BE NOTED FOR RESPONSIBILITIES AND COORDINATION.

4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY DESIGNER/ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. 5. ANY DETAILS OR NOTES REQUIRING FIELD VERIFICATION BY THE CONTRACTOR ARE TO BE DONE DURING THE BID PROCESS. DISCREPANCIES FOUND AFTER THE CONTRACTOR IS SELECTED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND CORRECTED AT THE CONTRACTOR'S EXPENSE.

6. THE CONSTRUCTION MANAGER SHALL BE IMMEDIATELY NOTIFIED OF ANY APPARENT CONFLICTS, ERRORS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS. ANY APPARENT MISAPPLICATION OF ANY PRODUCT, SYSTEM OR ASSEMBLY FOR THE INTENDED USE, OR ANY DISCOVERED EXISTING CONDITIONS THAT ARE CONTRARY TO THE CONDITIONS INDICATED IN THE CONSTRUCTION DRAWINGS, INCLUDING, BUT NOT LIMITED TO, SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. ANY RFS SHALL GO THROUGH CONSTRUCTION MANAGER TO DESIGNER/ARCHITECT. CONTRACTOR SHALL NOT PROCEED WITH WORK ON THE AFFECTED PORTION UNTIL THE CONSTRUCTION MANAGER OR DESIGNER/ARCHITECT PROVIDES DIRECTION AND CLARIFICATION IN WRITING. FAILURE TO NOTIFY THE CONSTRUCTION MANAGER OF SUCH CONDITIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK UNLESS THE CONSTRUCTION DRAWINGS ARE GENERAL DIAGRAMMATIC REPRESENTATIONS OF THE WORK, AND DO NOT INDICATE OR SPECIFY IN DETAIL, EVERY CONDITION AND COMPONENT PARTITIONS OF THE CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT, FABRICATE ALL ASSEMBLIES AND INSTALL ALL EQUIPMENT AND SYSTEMS TO PRODUCE A COMPLETE, INTEGRATED AND FULLY FUNCTIONAL WORK PRODUCT IN ACCORDANCE WITH ALL MATERIALS AND EQUIPMENT MANUFACTURERS' REQUIREMENTS, INDUSTRY STANDARDS AND FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS.

7. PRIOR TO ACCEPTANCE OF SUB-CONTRACTOR BIDS AND COMMENCEMENT OF CONSTRUCTION, CONTRACTOR TO PROVIDE ALL SUB-CONTRACTORS ACCESS TO A FULL SET OF CONSTRUCTION DOCUMENTS. 8. THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST EDITION PRIOR TO COMMENCING CONSTRUCTION. IT SHALL MAINTAIN ONE COPY AT THE SITE, INCLUDING ALL ADDENDUM, CHANGE ORDERS & FIELD CHANGES. 9. CONTRACTOR SHALL VISIT PROJECTS AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS, LOCATIONS OF UTILITIES AND THE PROCEDURES THE OWNER OR LANDLORD EXPECTS THE CONTRACTOR TO FOLLOW DURING CONSTRUCTION. THIS REFERS TO ACCESS TO THE CONSTRUCTION SITE, TRASH REMOVAL, DURING CONSTRUCTION PARKING OF CONSTRUCTION VEHICLES, DELIVERIES, STORAGE AREAS & ANY OTHER ITEMS NECESSARY TO COMPLY WITH ALL ASPECTS OF THE LEASE AND TENANT OBLIGATIONS. FAILURE OF CONTRACTOR TO VISIT JOB SITE PRIOR TO BIDDING WILL RESULT IN FORTIFORRE OF EXTENSIVE DELAYS.

10. THE CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANIES TO VERIFY ALL ELEVATIONS, SIZES, LOCATIONS AND CONNECTION POINTS FOR ALL UTILITIES AFFECTED BY THIS PROJECT. THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL APPLICATIONS FOR, AND INSURE ALL UTILITIES ARE TURNED ON PRIOR TO COMPLETION OF WORK.

C) USE/OWNERSHIP OF DRAWINGS

1. THE ARCHITECT, THE ARCHITECT'S CONSULTANTS AND DAVE'S HOT CHICKEN SHALL BE DEEMED THE AUTHORS OF THE DRAWINGS AND SPECIFICATIONS, & WILL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING BUT NOT LIMITED TO, AND THE ARCHITECT, TENANT, OR THE BRAND OWNER ASSUME NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE DOCUMENTS FOR ANY PURPOSE OTHER THAN SPECIFICALLY AUTHORIZED BY THE ARCHITECT/ENGINEER AND SIGNED AND SEALED FOR THE SPECIFIC LOCATION IN THE STATE SHOWN ON THE DRAWINGS AND SEAL.

D) CONTRACTS

1. THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA 201, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, ARE HEREBY MADE PART OF THESE DRAWINGS AND SPECIFICATIONS. 2. THREE DAYS BEFORE CONSTRUCTION COMMENCEMENT, THE CONTRACTOR SHALL PROVIDE THE ARCHITECT, FRANCHISEE, BRAND OWNER AND THE CONSTRUCTION MANAGER WITH A DETAILED AND COMPLETE CONSTRUCTION SCHEDULE, SHOWING ALL TRADES WITH STARTING AND COMPLETION DATES. A COMPLETE LIST OF ALL SUBCONTRACTORS MUST ALSO BE INCLUDED WITH THE SCHEDULE. THE SCHEDULE IS TO BE NOTIFIED IN WRITING IN RECEIPT OF PROJECT SCHEDULE IF ANY CHANGES OCCUR WHICH AFFECT THE COMPLETION DATE. FAILURE TO COMPLETE THE SCHEDULE MAY RESULT IN PENALTIES INCURRED BY THE CONTRACTOR REGARDING FINAL PAYMENT.

3. GENERAL CONTRACTOR SHALL SUBMIT WEEKLY PROGRESS REPORTS AND PHOTOGRAPHS OF WORK TO OWNER'S REPRESENTATIVE VIA FTP PROJECT MANAGEMENT WEBSITE. 4. THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, COMPLET, DIRECT, CLEAN AND/OR CONDUCT MAINTENANCE ARTICLES, MATERIALS AND/OR FOR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND THE ARCHITECT BEFORE PROCEEDING.

5. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS INCLUDING BUT NOT LIMITED TO, TELEPHONE, DATA AND "TOWER'S FORESEY ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING, FITTING AND FINISHING OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS. 6. ANY CHANGES TO THE WORK BEING PERFORMED THAT SUBVERTS THE CONSTRUCTION COST SHALL BE APPROVED BY THE OWNER IN WRITING PRIOR TO THE CONTRACTOR COMMENCING WITH THE WORK SCOPE CHANGE.

7. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE WORK PRODUCT TO ASSURE THAT ALL ASSEMBLIES, COMPONENTS AND PARTS INDICATED OR REQUIRED QUANTITY WITH CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO, SHALL BE PROVIDED PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND OWNER WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL COMPONENTS SPECIFIED OR REQUIRED TO SATISFACTORILY COMPLETE THE INSTALLATION ARE TO BE COMPLIANT WITH ALL APPLICABLE GOVERNING SUBSTITUTES, MATERIALS AND WORK BY OTHER TRADES, AND WITH THE CONDITIONS OF INSTALLATION AND EXPECTED USE.

E) INSURANCE

1. ALL CONTRACTORS (GENERAL AND SUBCONTRACTORS) SHALL COMPLY WITH THE REQUIREMENTS FOR INSURANCE BONDS AND WAIVERS OF LIEN AS OUTLINED IN THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA 201, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS AND SHALL MEET THE OWNER'S ALL COI REQUIREMENTS. 2. TO THE FULLEST EXTENT PERMITTED BY LAW, THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, ARCHITECT'S CONSULTANTS, AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM & AGAINST CLAIMS/DAMAGES ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK, PROJECTS THAT SUBVERTS THE CONSTRUCTION COST OR LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY, BUT ONLY TO THE EXTENT CAUSED BY THE NEGLIGENT ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY SUBCONTRACTOR, ANOTHER DIRECTOR, OR INDIRECTLY EMPLOYED BY THE OWNER OR ANYONE FOR WHOSE ACTS THEY MAY BE UNLAWFULLY HELD LIABLE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, LOSS OR EXPENSE IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER.

F) STANDARDS AND CODES

1. GIVE ALL NOTICES AND COMPLY WITH ALL NATIONAL, STATE AND LOCAL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE DESIGNER/ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS. 2. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY COSTS FOR BUILDING PERMITS AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED INSTRUMENTS, AND FINAL WRITE-UPS FOR PROJECT TRANSACTIONS AND COPIES OF TRANSACTIONS ARE TO BE FORWARDED TO THE PROJECT MANAGER.

3. IF THE CONTRACTOR (INCLUDING PERFORMING ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE SHALL PROMPTLY MAKE CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARISING THEREFROM. 4. COMMENTS IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.

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5. WHERE CODES OR REGULATIONS OTHER THAN THOSE LISTED IN THIS SECTION ARE REFERRED TO IN VARIOUS SECTIONS OF THE DOCUMENTS, IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THE WORK AS WELL AS IF THEY WERE SPECIFICALLY REFERRED TO. 6. LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSTRUCTIONS SHALL CONFORM TO LOCAL, STATE AND ALL GOVERNING CODES. 7. THE CONTRACTOR SHALL MAINTAIN, FOR ALL INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANCY, A RECORD OF THE WORK, FOR THE ENTIRE LENGTH OF THEIR CONTRACT, EXITS, EGRESS REQUIREMENTS, LOCAL LAWS, ORDINANCES AND ALUMAS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND/OR MISPLACEMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

9. WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING. 10. WHERE A FIRE RESISTANCE CLASSIFICATION IS INDICATED OR REQUIRED FOR CONSTRUCTION, PROVIDE MATERIALS, ACCESSORIES AND APPLICATION PROCEDURES WHICH COMPLY WITH THE REQUIREMENTS OF UL "FIRE RESISTANCE INDEX" FOR THE UL DESIGN NUMBERS CORRESPONDING WITH THE CONSTRUCTION ASSEMBLIES INDICATED. 11. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD SHALL BE FIRE-RETARDANT TREATED WHERE REQUIRED BY LOCAL BUILDING CODES. 12. THE CONTRACTOR SHALL PROVIDE BACK FLOOR FINISHES AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES. 13. THE GENERAL CONTRACTOR SHALL INSTALL SAFETY BARRIERS DURING CONSTRUCTION AS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ACCESS TO THE SITE. REVIEW SPECIFIC REQUIREMENTS WITH THE BUILDING, MUNICIPAL, AND DEVELOPMENT COORDINATOR PRIOR TO BEGINNING CONSTRUCTION.

G) LAYOUT OF WORK

1. EXERCISE PROPER PRECAUTIONS TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. SUCH ERROR WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA COMPENSATION. 2. CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT IF SUBSURFACE OR OTHERWISE CONCEALED PHYSICAL CONDITIONS DIFFER MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS, OR DIFFER FROM THOSE CONDITIONS ORDINARILY FOUND TO EXIST & GENERALLY RECOGNIZED AS INHERENT IN THE CONSTRUCTION ACTIVITIES OF THIS NATURE.

3. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. 4. THE CONTRACTOR IS RESPONSIBLE FOR LAY OUT OF ALL WORK AND IS RESPONSIBLE FOR ALL LINES AND MEASUREMENTS OF THE BUILDING, UTILITIES AND OTHER WORK EXECUTED UNDER THE CONTRACT. CONTRACTOR SHALL VERIFY ALL TRADES SHALL ENSURE THAT THE WORK PERFORMED COMPLIES WITH APPROVED DRAWINGS. 5. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING TILE, "FRP, ETC. DIMENSIONS MARKED "TYPICAL" ARE TO BE WITHIN 1/4" ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.

6. ALL ROUGH OPENINGS AND DIMENSIONS LABELED "HOLD" ARE CRITICAL AND ARE NOT TO BE ADJUSTED WITHOUT WRITTEN CONSENT OF ARCHITECT/DESIGNER. 7. ALL WALL AND FLOOR PLACES ARE TO BE LOCATED AND POSITIONED CONFORMED WITH FLOOR PLAN PRIOR TO DRYWALL INSTALLATION. 8. DIMENSIONS ARE "TYPICAL" UNLESS OTHERWISE NOTED: - TO INSIDE FACE OF JAMB AT DOORS & OTHER OPENINGS - TO TOP OF FINISHED FLOORS - TO BOTTOM OF FINISHED CEILING - TO ROSE FACE OF FINISHED MILLWORK

9. CONTRACTOR SHALL INSTALL PORTABLE FIRE EXTINGUISHERS (I.D.B.C. TYPE 2A & TYPE K FOR SERVING FRIER IN KITCHEN AREA) PER FC SECTION 306. 10. FOR BUILT-IN WORK SUBSEQUENT TO PARTITIONS, INCLUDING BUT NOT LIMITED TO APPLIANCES AND FURNISHINGS, CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/4" IN 20'-0". NOTIFY ARCHITECT/DESIGNER IF THIS TOLERANCE IS EXCEEDED.

11. NEW EPS/BAW BOARD CONSTRUCTION ADDING EXISTING CONSTRUCTION IN THE SAME AREA SHALL BE FLUSH WITH EXISTING JOINTS, UNLESS OTHERWISE NOTED. DIMENSIONS KNOWN AS V.A.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. DIMENSIONS KNOWN AS W.A.F. SHALL BE VERIFIED BY THE CONTRACTOR MANAGER AND ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.

12. THE ARCHITECT AND THEIR CONSULTANTS WILL NOT HAVE CONTROL OVER, NOR CHANGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. THE SAFETY PROGRAM AND THE SAFETY PROGRAM CONNECTION WITH THE WORK, THE CONTRACTOR'S FAILURE TO MEANS THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACT, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK. 13. WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE AS SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED.

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23. THE CONTRACTOR SHALL NOTIFY CONTRACTOR MANAGER AND ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA. 24. THE ARCHITECT AND THEIR CONSULTANTS WILL NOT HAVE CONTROL OVER, NOR CHANGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. THE SAFETY PROGRAM AND THE SAFETY PROGRAM CONNECTION WITH THE WORK, THE CONTRACTOR'S FAILURE TO MEANS THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACT, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK. 25. WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE AS SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED.

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50. THE CONTRACTOR SHALL NOTIFY CONTRACTOR MANAGER AND ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA. 51. THE ARCHITECT AND THEIR CONSULTANTS WILL NOT HAVE CONTROL OVER, NOR CHANGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. THE SAFETY PROGRAM AND THE SAFETY PROGRAM CONNECTION WITH THE WORK, THE CONTRACTOR'S FAILURE TO MEANS THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACT, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK. 52. WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE AS SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED.

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DIVISION 1 - GENERAL CONDITIONS

4. CUT-OUTS AT FUTURES IN LAY-IN CEILINGS SHALL BE PRECISE WITH NO GAPS, CHIPS OR IRREGULARITIES. 5. CEILING GRID SHALL BE LEVEL WITHIN A TOLERANCE OF 1/8" IN A SPAN OF 10'-0". 6. LAY-IN LIGHTING FIXTURES SHALL NOT RELY ON THE CEILING SYSTEM ALONE FOR SUPPORT. LAY-IN LIGHTING FIXTURES SHALL BE SUPPORTED FROM THE STRUCTURE BY A MINIMUM OF TWO BRACES AND SECURED TO THE CEILING GRID SYSTEM WITH THE APPROPRIATE ATTACHMENT HARDWARE. 7. ALL ELECTRICAL SHALL BE MAINTAINED AND INSTALLED ALL REQUIRED ACCESSORIES, OPTIONS, MOUNTING HARDWARE AND FIELD FABRICATION REQUIRED TO PROPERLY ADAPT THE FIXTURES TO THE SPECIFIC APPLICATIONS. 8. ELECTRICAL SHALL BE CONTROLLED BY LABEL, PANEL BOARD CIRCUITING AS TO OPERATION.

9. ALL ELECTRICAL DEVICES SHALL BEAR THE UL LABEL. 10. ALL ELECTRICAL WORK SHALL FOLLOW ALL APPLICABLE NATIONAL, STATE & LOCAL CODES, REGULATIONS AND STANDARDS. 11. REFER TO LIGHT FIXTURE SCHEDULE FOR FINISH OF LIGHT FIXTURE TRIM. 12. WHERE FINISHING CEILING ARE SCHEDULED TO REMAIN, & ARE DAMAGED OR OTHERWISE DAMAGED TO ACCOMMODATE THE NEW LAYOUT, THE C.C. SHALL PATCH, REPAIR OR RESTORE AND BE COORDINATED TO "LIKE NEW" CONDITION. 13. IF ANY LIGHTS ARE SPECIFIED IN A LOCATION EXPOSED TO THE WEATHER, ELECTRICAL CONTRACTOR SHALL OBTAIN A SIMILAR FIXTURE RATED FOR EXTERIOR APPLICATION. 14. IF EXISTING MECHANICAL AND THE PROTECTION SYSTEMS ARE PRESENT, CONTRACTOR SHALL REMOVE THE SYSTEMS TO ACCOMMODATE THE NEW CEILING AND WALL LAYOUTS. 15. USE OF THE ABOVE CEILING FLENUM AREA AS A RETURN AIR SYSTEM IS NOT ACCEPTABLE. RETURN AIR SHALL BE DIRECTED TO THE CEILING. 16. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TESTING AND BALANCING OF ANY REFORMED MECHANICAL SYSTEM.

I) OWNER FURNISHED ITEMS

1. PRODUCTS TO BE FURNISHED AND PAID FOR BY THE OWNER AND INSTALLED BY THE CONTRACTOR AS NEEDED AS "OWNER SUPPLIED" TO THE EQUIPMENT SCHEDULE. 2. OWNER'S RESPONSIBILITIES FOR OWNER FURNISHED PRODUCTS: - SUPPLY CONTRACTOR WITH PRODUCT LITERATURE, OWNER REVIEWED. - PART CONTRACTOR TO PRODUCT DELIVERY TO SITE. - MAINTAIN RECORDS OF PRODUCTS WITH CONTRACTOR PROMPTLY. - SUBMIT CLAIMS FOR DAMAGE, REPLACEMENT, DEFECTIVE OR DEFICIENT ITEMS. - WARRANT FOR MANUFACTURER'S WARRANTIES, INSPECTIONS AND SERVICE. 3. CONTRACTOR'S RESPONSIBILITIES FOR OWNER FURNISHED PRODUCTS: - REVIEW SHOP DRAWINGS, PRODUCT DATA AND SAMPLES TO ADEQUATELY ACCOUMNT OVER TO THE PROJECT. - REVIEW THE ORDER, SCHEDULE THE DELIVERY, REVEAL, UNLOAD AND STORE. - INSPECT FOR COMPLETE OR DAMAGE. IF ITEMS ARE DAMAGED, CONTRACTOR TO NOTIFY PROJECT MANAGER AND OWNER.

J) ALTERATIONS/DEMOLITION (IF APPLICABLE)

1. ARRANGE WITH LANDLORD/OWNER A CONVENIENT TIME TO PERFORM ALL WORK AND INSTALL TEMPORARY PROTECTIVE MEANS OF EGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND BUILDING MANAGEMENT REQUIREMENTS. 2. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. CONSTRUCTION FOR THIS PROJECT IS CONSIDERED PART OF THIS CONTRACT AND SHALL BE EXECUTED IN ACCORDANCE WITH THE LANDLORD'S REQUIREMENTS. ITEMS INDICATED AS EXISTING TO REMAIN MUST BE INSPECTED BY THE C.C. TO DETERMINE ADEQUACY FOR REUSE. AT COMPLETION OF CONSTRUCTION, ALL MATERIALS SHALL BE IN "LIKE NEW" CONDITION. 3. DEMOLISHED WORK SHALL BE REMOVED FROM THE SITE OR DISPOSED OF IN A LEGAL MANNER PER STATE, LOCAL AND LANDLORD REQUIREMENTS. 4. ALL DEMOLITION WORK SHALL BE REMOVED, REPAIRED, RESTORED OR OTHERWISE NECESSARY OR INDICATED ON THE DRAWINGS. OUT ALL NECESSARY EQUIPMENT AND REPAIR AFTER CUTTING WHERE NECESSARY. ALL PROTRUSIONS, MARKS, CRACKS, OR OTHER DEFECTS OF A DEFECTIVE OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY ITEMS WHICH ARE SPILT, CRACKED, CHIPPED, OR OTHERWISE DAMAGED SHALL BE REPAIRED, RESTORED OR OTHERWISE NECESSARY OR INDICATED ON THE DRAWINGS. ALL STRUCTURALLY UNSOUND OR UNSOUND, BENT, TORN, OR OTHERWISE DEFECTED OR OTHERWISE DAMAGED SHALL BE REPAIRED, RESTORED OR OTHERWISE NECESSARY OR INDICATED ON THE DRAWINGS. ALL STRUCTURALLY UNSOUND OR UNSOUND, BENT, TORN, OR OTHERWISE DEFECTED OR OTHERWISE DAMAGED SHALL BE REPAIRED, RESTORED OR OTHERWISE NECESSARY OR INDICATED ON THE DRAWINGS. ALL STRUCTURALLY UNSOUND OR UNSOUND, BENT, TORN, OR OTHERWISE DEFECTED OR OTHERWISE DAMAGED SHALL BE REPAIRED, RESTORED OR OTHERWISE NECESSARY OR INDICATED ON THE DRAWINGS.

5. PERFORM DEMOLITION WORK AND SUCH SPRINKLER WORK, CONCRETE SAW CUTTING, AND MAINTAIN RECORDS OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING CONDITIONS, OR ANY WORK DISRUPTING TENANTS OR PUBLIC TRAFFIC WITHIN THE AFFECTED AREA & REPORT THE CONDITION TO THE OWNER IN WRITING. 6. SPECIAL ATTENTION SHALL BE GIVEN TO EXISTING AREAS SURROUNDING THE EXTERIOR OF THE PROJECT. SPECIAL ATTENTION SHALL BE GIVEN TO EXISTING AREAS SURROUNDING THE EXTERIOR OF THE PROJECT. SPECIAL ATTENTION SHALL BE GIVEN TO EXISTING AREAS SURROUNDING THE EXTERIOR OF THE PROJECT. SPECIAL ATTENTION SHALL BE GIVEN TO EXISTING AREAS SURROUNDING THE EXTERIOR OF THE PROJECT. SPECIAL ATTENTION SHALL BE GIVEN TO EXISTING AREAS SURROUNDING THE EXTERIOR OF THE PROJECT.

K) HAZARDOUS MATERIALS

1. ASBESTOS AND HAZARDOUS WASTE EXCLUSION: THE ARCHITECT HEREBY STATES, AND THE OWNER ACKNOWLEDGES, THAT THE ARCHITECT HAS NO PROFESSIONAL LIABILITY OR OTHER INSURANCE (SINCE IS UNABLE TO REASONABLY OBTAIN SUCH INSURANCE) FOR CLAIMS ARISING OUT OF THE PERFORMANCE OF OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO, THE PREPARATION OF REPORTS, DESIGNS, DRAWINGS, AND SPECIFICATIONS, AND RELATED TO THE INVESTIGATION DETECTION OF HAZARDOUS MATERIALS. 2. IF THE CONTRACTOR ENCOUNTERS HAZARDOUS MATERIALS, & IF REASONABLE PRECAUTIONS WILL BE INADEQUATE TO PREVENT OR MINIMIZE BODILY INJURY OR DEATH TO PERSONS RESULTING FROM A MATERIAL OR SUBSTANCE ENCOUNTERED ON THE SITE, THE CONTRACTOR SHALL, UPON RECOGNIZING THE CONDITION, IMMEDIATELY STOP WORK IN THE AFFECTED AREA & REPORT THE CONDITION TO THE OWNER IN WRITING.

L) CONTRACTOR USE OF PREMISES

1. THE RESTRICTIONS FOR PERFORMING WORK VERIFY WITH OWNER & LOCAL CODES. 2. UTILITY OPERATIONS AND SHUTDOWN SHALL BE COORDINATED WITH THE OWNER. 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO, TELEPHONE, DATA AND "TOWER'S FORESEY ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING, FITTING AND FINISHING OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS. 4. ANY CHANGES TO THE WORK BEING PERFORMED THAT SUBVERTS THE CONSTRUCTION COST SHALL BE APPROVED BY THE OWNER IN WRITING PRIOR TO THE CONTRACTOR COMMENCING WITH THE WORK SCOPE CHANGE.

5. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE WORK PRODUCT TO ASSURE THAT ALL ASSEMBLIES, COMPONENTS AND PARTS INDICATED OR REQUIRED QUANTITY WITH CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO, SHALL BE PROVIDED PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND OWNER WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL COMPONENTS SPECIFIED OR REQUIRED TO SATISFACTORILY COMPLETE THE INSTALLATION ARE TO BE COMPLIANT WITH ALL APPLICABLE GOVERNING SUBSTITUTES, MATERIALS AND WORK BY OTHER TRADES, AND WITH THE CONDITIONS OF INSTALLATION AND EXPECTED USE.

M) TEMPORARY JOB SITE SIGN

1. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A TEMPORARY JOB SITE SIGN LOCATED AS DIRECTED CONSTRUCTION MANAGER. SIGN SHALL BE PREPARED BY THE CONTRACTOR AND MAINTAINED THROUGH EXCESSIVE WIND, RAIN OR OTHER WEATHER CONDITIONS. 2. THE CONTRACTOR SHALL PROVIDE AND INSTALL A TEMPORARY JOB SITE SIGN LOCATED AS DIRECTED CONSTRUCTION MANAGER. SIGN SHALL BE PREPARED BY THE CONTRACTOR AND MAINTAINED THROUGH EXCESSIVE WIND, RAIN OR OTHER WEATHER CONDITIONS.

N) FINISH NOTES

1. ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES AND ARE ACCEPTABLE TO RECEIVE NEW FINISHES. DO NOT PROCEED WITH WORK UNTIL UNACCEPTABLE CONDITIONS HAVE BEEN CORRECTED. COMMENTARY OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE. 2. ALL CODE-REQUIRED LABELS SUCH AS "UL" FACTORY MUTUAL OR ANY EQUIPMENT

DIVISION 1 - GENERAL CONDITIONS

IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED. 2. THE CONTRACTOR SHALL PATCH UP WITH SURFACES AS NECESSARY TO MATCH ADJACENT IN A MANNER SUITABLE TO FINISHES. 4. ALL MATERIALS AND FINISHES INDICATED ON DRAWINGS SHALL BE NEW AND UNUSED. 5. NO MATERIAL SUBSTITUTIONS SHALL BE PERMITTED UNLESS AUTHORIZATION HAS BEEN GRANTED BY THE BRAND OWNER DESIGN AND CONSTRUCTION DEPARTMENT AND THE ARCHITECT. ANY MATERIAL SUBSTITUTIONS WITHOUT AUTHORIZATION WILL SUBJECT THE CONTRACTOR TO REPLACEMENT OF SUCH SUBSTITUTED MATERIALS WITH APPROVED MATERIALS. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT, LIGHT FIXTURES, AND ANY OTHER MATERIALS TO BE UTILIZED IN THE PROJECT. THE C.C. SHALL NOTIFY THE ARCHITECT/DESIGNER IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE ITEMS SPECIFIED THAT ARE NOT READY FOR AVAILABLE. IF NOTIFICATION IS NOT RECEIVED, THE C.C. ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW-UP OF SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER, AND NOT TO DELAY PROGRESS OF THE WORK. NO EXTENSION OF TIME TO THE CONTRACT WILL BE ALLOWED FOR C.C.'S INABILITY TO SECURE SPECIFIED ITEMS. 7. COORDINATE WITH OWNER'S REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF OWNER SUPPLIED ITEMS AND FURNISHINGS. 8. REFER TO FINISH SCHEDULE FOR SPECIFIED FINISHES. 9. ALL DOOR AND WINDOW FRAMES SHALL BE CALLED AROUND ENTIRE PERIMETER. 10. CONTRACTOR SHALL CAULK BETWEEN BASE AND FLOOR WITH CLEAR SILICONE SEALANT. 11. CONTRACTOR SHALL TAPE AND SEAL ALL WALLS FOR A SMOOTH PAINTED FINISH. 1

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y	SECTION PART
	5.303.3.4 Faucets and fountains.
	5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi.
	5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.
	5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 [im space (inches) at 60 psi].
	5.303.3.4.4 Misting faucets. Misting faucets shall not deliver more than 0.20 gallons per cycle.
	5.303.3.4.5 Moisting faucets for wash fountains. Moisting faucets for wash fountains shall have a maximum flow rate of not more than 1.2 gallons per minute/20 [im space (inches) at 60 psi].
	Note: Where compliant faucets are unavailable, aerators or other means may be used to achieve reduction.

Y	SECTION PART
	5.303.4 COMMERCIAL KITCHEN EQUIPMENT.
	5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is in use (not actively grinding food waste) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers that use no more than 1 gpm of water.
	Note: This code section does not affect local jurisdiction authority to promote or require disposer installation.
	5.303.4.2 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission located in Section 103, the provisions of Section 5.303.3.1 and 5.303.4 shall apply to new fixtures in addition or areas of alteration to the building.
	5.303.4.3 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 103.1 of the California Plumbing Code and in Chapter 6 of this code.

Y	SECTION PART
	SECTION 5.304 OUTDOOR WATER USE
	5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Wood Water Efficient Landscape Ordinance (MVELCO), whichever is more stringent.
	Note:
	1. The Wood Water Efficient Landscape Ordinance (MVELCO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2.
	2. MVELCO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov .
	5.304.2 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. For public schools and community colleges, Sections 5.304.1 and 5.304.2 shall comply with the California Department of Water Resources' Wood Water Efficient Landscape Ordinance (MVELCO) commencing with Section 4.0 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.
	Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MVELCO.
	5.304.4.1 Newly constructed landscape. New construction projects with an aggregate landscape area equal to or greater than 500 square feet.
	5.304.4.2 Rehabilitated landscapes. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet.

Y	SECTION PART
	DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
	SECTION 5.401 GENERAL.
	5.401.1 SCOPE. The provisions of this chapter shall outline means of achieving material conservation and resource efficiency through production of buildings from exterior materials, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.
	ADJUST. To regulate field low rate and air patterns as defined in Chapter 2 (and are included here for reference)
	BALANCE. To proportion flows within the distribution system, including sub-panels, branches and terminals, according to design quantities.
	BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.
	ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.
	TEST. A procedure to determine quantitative performance of a system or equipment.

Y	SECTION PART
	SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS
	5.410.1 RECYCLING. The following items are defined in Chapter 2 (and are included here for reference)
	ADJUST. To regulate field low rate and air patterns as defined in Chapter 2 (and are included here for reference)
	BALANCE. To proportion flows within the distribution system, including sub-panels, branches and terminals, according to design quantities.
	BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.
	ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.
	TEST. A procedure to determine quantitative performance of a system or equipment.
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	5.410.1 RECYCLING. The following items are defined in Chapter 2 (and are included here for reference)
	ADJUST. To regulate field low rate and air patterns as defined in Chapter 2 (and are included here for reference)
	BALANCE. To proportion flows within the distribution system, including sub-panels, branches and terminals, according to design quantities.
	BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.
	ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.
	TEST. A procedure to determine quantitative performance of a system or equipment.

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	SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS
	5.410.1 RECYCLING. The following items are defined in Chapter 2 (and are included here for reference)
	ADJUST. To regulate field low rate and air patterns as defined in Chapter 2 (and are included here for reference)
	BALANCE. To proportion flows within the distribution system, including sub-panels, branches and terminals, according to design quantities.
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	ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.
	TEST. A procedure to determine quantitative performance of a system or equipment.

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	SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS
	5.410.1 RECYCLING. The following items are defined in Chapter 2 (and are included here for reference)
	ADJUST. To regulate field low rate and air patterns as defined in Chapter 2 (and are included here for reference)
	BALANCE. To proportion flows within the distribution system, including sub-panels, branches and terminals, according to design quantities.
	BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.
	ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.
	TEST. A procedure to determine quantitative performance of a system or equipment.

Y	SECTION PART
	SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT
	5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local ordinance, whichever is more stringent.
	5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods.
	5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures.
	5.407.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or air-wind-rain to prevent water intrusion into buildings as follows:
	5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings and at least one of the following:
	1. An installed awning at least 4 feet in depth.
	2. The door protected by a roof overhang at least 4 feet in depth.
	3. The door closed or sealed at least 4 feet.
	4. Other methods which provide equivalent protection.
	5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane.

Y	SECTION PART
	SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
	5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Sections 5.408.1.1, 5.408.1.2 or 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent.
	5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that:
	1. Identifies the construction and demolition waste materials to be diverted from disposed by efficient design, recycling, reuse or project salvage for future use or sale.
	2. Determines if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
	3. Identifies diversion areas where construction and demolition waste material collected will be taken.
	4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
	5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.
	Note: The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company.
	Exceptions to Sections 5.408.1.1 and 5.408.1.2:
	1. Excavated soil and land clearing debris.
	2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist.
	3. Demolition waste meeting local ordinance or calculated in accordance with local recycling facilities and materials.
	5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement as approved by the enforcing agency.
	5.408.4 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.
	Note:
	1. Sample forms found in 7A Guide to the California Green Building Standards Code ("Nonresidential" located at www.tdsc.ca.gov/home/CALGreen.aspx may be used to assist in documenting compliance with the waste management plan.
	2. Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

Y	SECTION PART
	SECTION 5.409 UNIVERSAL WASTE (UW)
	5.409.1 UNIVERSAL WASTE (UW). Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials, are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents.
	Note: Refer to the Universal Waste Rule link at: http://www.tdsc.ca.gov/LawsRegs/PoliciesRegsUpdates/DEAR_A_REGS_UWR_Final.pdf
	5.409.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be recycled or reused. For a phased project, such material may be stockpiled on-site until the storage site is developed.
	Exception: Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation.
	Note:
	1. If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow his/her direction for recycling or disposal of the material.
	2. For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture, www.cdaf.ca.gov

Y	SECTION PART
	SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS
	5.410.1 RECYCLING. The following items are defined in Chapter 2 (and are included here for reference)
	ADJUST. To regulate field low rate and air patterns as defined in Chapter 2 (and are included here for reference)
	BALANCE. To proportion flows within the distribution system, including sub-panels, branches and terminals, according to design quantities.
	BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.
	ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.
	TEST. A procedure to determine quantitative performance of a system or equipment.

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	TEST. A procedure to determine quantitative performance of a system or equipment.

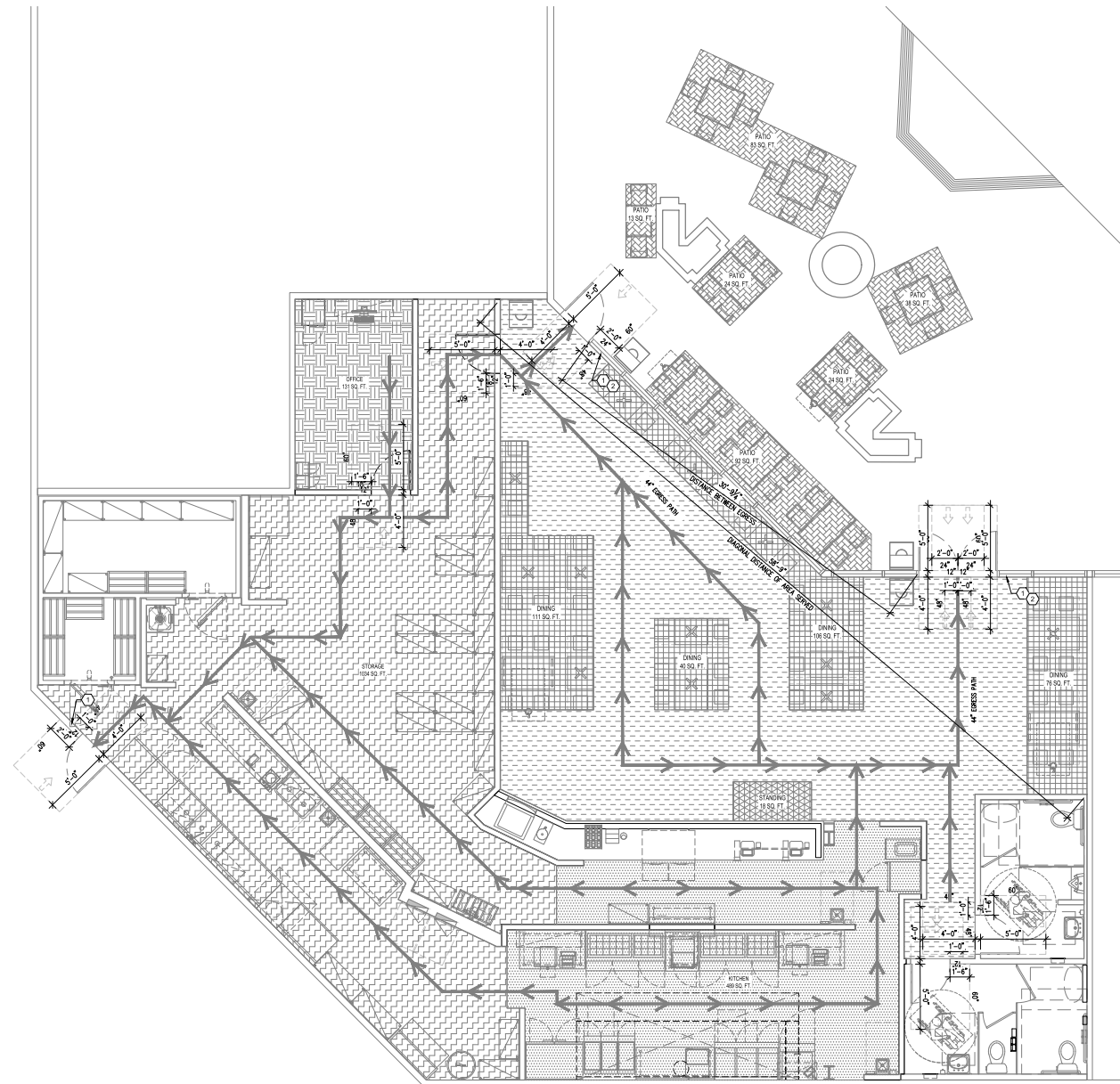
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	ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.
	TEST. A procedure to determine quantitative performance of a system or equipment.

Y	SECTION PART
	SECTION 5.410.2 COMMISIONING. New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project (including the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For occupancies that are not regulated by CDPH or for occupancies and Locations that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 and 5.410.2.7 apply.
	Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, interior lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.0 for commissioning requirements. Commissioning requirements shall include:
	1. Owner's or Owner Representative's project requirements.
	2. Basis of design.
	3. Commissioning measures shown in the construction documents.
	4. Commissioning plan.
	5. Functional performance testing.
	6. Commissioning and training.
	7. Commissioning report.
	Exceptions:
	1. Unconditioned warehouses of any size.
	2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses.
	3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1.
	4. Open parking garages of any size, or open parking garage areas, of any size, within a structure.
	Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and/or air conditioning.
	Informational Notes:
	1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 does not certify individuals to conduct functional performance tests or to adjust building systems.
	2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code.

Y	SECTION PART
	SECTION 5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. The OPR shall include the following:
	1. Environmental and sustainability goals.
	2. Building sustainability goals.
	3. Indoor environmental quality requirements.
	4. Project program, including facility functions and hours of operation, and need for after hours operation.
	5. Equipment and systems expectations.
	6. Building operation and maintenance (O&M) personnel expectations.
	5.410.2.2 Basis of Design (BOD). (A) A written statement of how the design of the building system meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems:
	1. Renewable energy systems.
	2. Landscape irrigation systems.
	3. Water reuse system.
	5.410.2.3 Commissioning plan. Prior to permit issuance a commissioning plan shall be completed to document the project will be implemented. The commissioning plan shall include the following:
	1. General project information.
	2. Commissioning goals.
	3. System to be tested, including: Basis of Design, Basis of Systems and components of the building.
	4. An explanation of the original design intent.
	5. Functional test methods to be tested, including the extent of tests.
	6. Functions to be tested.
	7. Conditions under which the test shall be performed.
	8. Measurable criteria for acceptable performance.
	9. Commissioning team information.
	10. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning.
	5.410.4 Functional performance testing (N). Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments made.
	5.410.2.5 Documentation and training. (A) Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), Title 8, Section 5142, and other related regulations.
	5.410.2.5.1 Systems manual. (N) Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following:
	1. Site information, including facility description, history and current requirements.
	2. Site contact information.
	3. Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log.
	4. Major systems.
	5. Site equipment inventory and maintenance notes.
	6. A copy of warranties required by the enforcing agency or its code.
	7. Other resources and documentation, if applicable.
	5.410.2.5.2 Systems operations training. (N) A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following:
	1. System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces).
	2. Review and demonstration of servicing/equipment maintenance.
	3. Review of the intent of the Systems Manual.
	4. Review of the record drawings in the systems/equipment.
	5.410.2.6 Commissioning report. (N) A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative.
	5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.
	5.410.4.2 (Reserved)
	Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, interior lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.0 for commissioning requirements and Sections 100.0, 130.4, 130.4, and 140.0(d) for additional testing requirements of specific systems.

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	1. Environmental and sustainability goals.
	2. Building sustainability goals.
	3. Indoor environmental quality requirements.
	4. Project program, including facility functions and hours of operation



EGRESS AND ACCESSIBILITY PLAN

Scale: 1/4" = 1'-0"

CALCULATED OCCUPANCY LOAD:

ASSEMBLY AREAS	TOTAL	CALCULATED OCCUPANT LOAD
DINING: 15 SQ. FT. PER OCCUPANT	333 SQ. FT.	23
FIXED BENCH SEATING: 18 LINEAL INCHES PER OCCUPANT	0 L.I.	0
FIXED BOOTH SEATING: 24 LINEAL INCHES PER OCCUPANT	0 L.I.	0
STANDING SPACE: 18 SQ. FT. PER OCCUPANT	18 SQ. FT.	4
KITCHEN: 200 SQ. FT. PER OCCUPANT	489 SQ. FT.	3
ACCESSORY STORAGE: 200 SQ. FT. PER OCCUPANT	451 SQ. FT.	2
OFFICE: 100 SQ. FT. PER OCCUPANT	131 SQ. FT.	2
TOTAL INTERIOR OCCUPANTS:		34
PATIO: 15 SQ. FT. PER OCCUPANT	274 SQ. FT.	19
FIXED (PATIO) BENCH SEATING: 18 LINEAL INCHES PER OCCUPANT	0 L.I.	0
TOTAL EXTERIOR OCCUPANTS:		19
TOTAL OCCUPANTS:		53

ACCESSIBLE SEATING CALCULATIONS

TOTAL SEATING:	53
TOTAL REQUIRED ACCESSIBLE INTERIOR SEATING (5% OF TOTAL)	3
REQUIRED ACCESSIBLE PATIO SEATING (5% OF TOTAL)	1

REQUIRED EGRESS WIDTH

BUILDING EGRESS	
TOTAL EGRESS WIDTH REQUIRED:	34 MAX INT. OCCUP. X 2" = 7'
TOTAL EGRESS WIDTH PROVIDED:	THREE 36" CLEAR DOOR EXITS LEAFS = 108"

MAIN ENTRANCE	
WIDTH REQUIRED (1/2 OCCUPANT LOAD):	34 INTERIOR OCCUP. / 2 = 17 X .20 = 3"
CLEAR WIDTH PROVIDED:	2 REQUIRED = 72"
NUMBER OF EXITS:	2 REQUIRED - 3 PROVIDED

RESTROOM PLUMBING FIXTURES

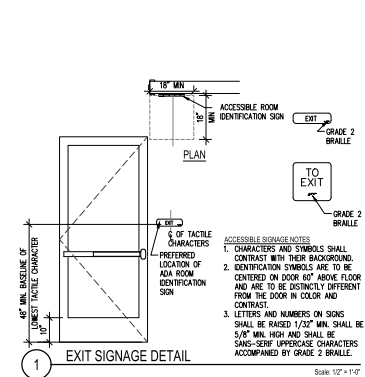
BUILDING OCCUPANCY CALCULATIONS (FROM TABLE A) -	
MAXIMUM OCCUPANTS PER OPC 422.1 TABLE A	
DINING S.F. = 1150 / 30 = 39	
PATIO S.F. = 939 / 30 = 32	
ACCESSORY S.F. = 1896 / 200 = 10	
TOTAL OCCUPANT COUNT =	81
50% MALE AND 50% FEMALE =	81 / 2 = 41
FEMALE - REQUIRED FIXTURES 1-25=	W.C. 1, UR. MALE 1, W.C. 1, LAV. MALE/FEMALE 1
MALE - REQUIRED FIXTURES 1-50=	MALE 1, FEMALE 0, 2, 1 EACH
REQUIRED LAVATORIES: 1-150=	1, 0, 2, 1 EACH

GENERAL NOTES

- G.C. TO VERIFY QUANTITY & LOCATIONS OF FIRE EXTINGUISHERS WITH LOCAL AUTHORITIES. FIRE EXTINGUISHERS TO BE SUPPLIED BY G.C. - SEE DETAIL 11/A600
- G.C. TO PROVIDE FIRE DEPARTMENT REQUIRED KEY BOX. COORDINATE LOCATION AND TYPE WITH LOCAL AUTHORITIES.
- IF APPLICABLE, SEE MEP DRAWINGS AND RESPONSIBILITY SCHEDULE FOR INFORMATION REGARDING SPRINKLER AND FIRE ALARM SYSTEM - SYSTEM BY GENERAL CONTRACTOR
- G.C. TO INSTALL EMERGENCY LIGHTS IN DINING AREAS SUCH THAT THEY DO NOT INTERFERE WITH WALL DECOR OR DINING ROOM LIGHTS.
- ALL CLEAR FLOOR SPACE AND TURNING SPACE TO BE NO GREATER THAN 2% SLOPE PER CBC 304.2 & 305.2
- ACCESSIBILITY IN THE KITCHEN AND BACK OF HOUSE AREAS ARE FOR EGRESS PURPOSES ONLY

CODED NOTES

- TACTILE SIGNAGE AT EXTERIOR EXIT DOORS. SIGNAGE TO READ: "EXIT", PER CBC 1013.4 - SEE DETAIL 11/6100
- SIGNAGE "MAXIMUM OCCUPANCY 34 PERSONS".



EXIT SIGNAGE DETAIL

Scale: 1/2" = 1'-0"

DAVE'S HOT CHICKEN
PROTOTYPE 1.0



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PROJECT: 21-827
DRAWN BY: KB
CHECKED BY: MP

REVISIONS	DATE	DESCRIPTION
1	12/21/21	PERMIT SET



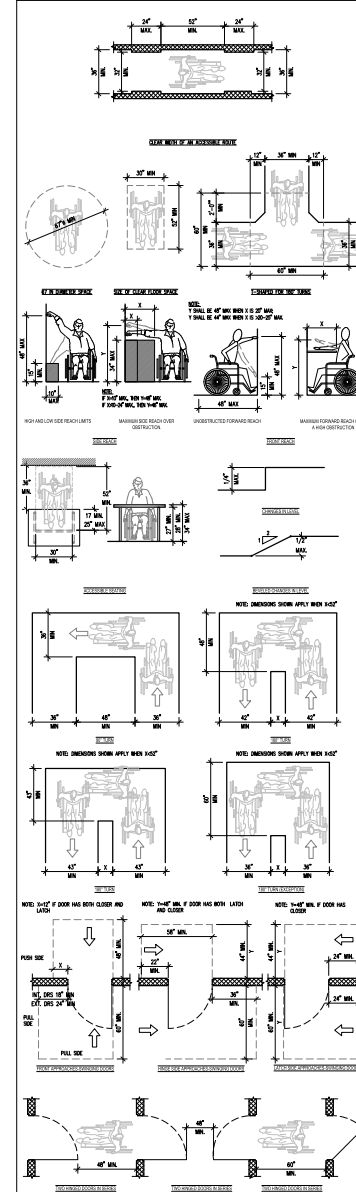
DAVE'S HOT CHICKEN

ADDRESS: 1331 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE: EGRESS AND ACCESSIBILITY PLAN

SHEET NUMBER: G100

TYPICAL ACCESSIBILITY DETAILS



DAVE'S HOT CHICKEN PROTOTYPE 1.0

LINEA DESIGN GROUP INC.
158 WEST MAIN STREET
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PROJECT A
21-627
DRAWN BY: KB
CHECKED BY: MF

REVISIONS

12/21/21 - PERMIT SET

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DAVE'S HOT CHICKEN

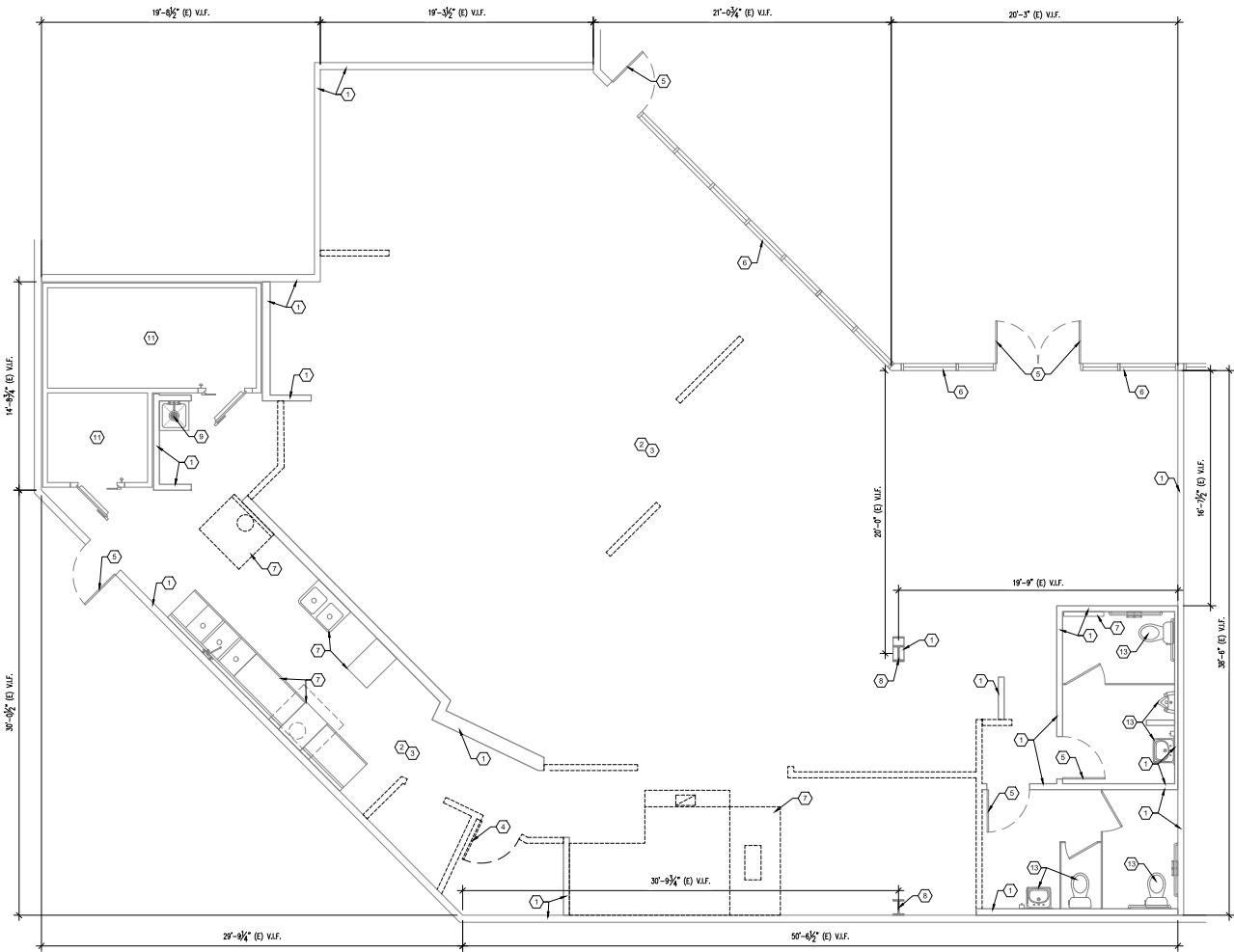
STORE

ADDRESS
1331 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE
EGRESS AND ACCESSIBILITY DETAILS

SHEET NUMBER

G110



DEMOLITION PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

- A. GENERAL CONTRACTOR TO DEMO EXISTING SPACE, AS REQUIRED, TO ACCOMMODATE ALL NEW CONSTRUCTION.
- B. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSPECT THE ENTIRE PROJECT SPACE PRIOR TO BID TO BECOME AWARE OF ALL THE TYPES OF MATERIALS AND QUANTITIES OF SUCH THAT WILL HAVE TO BE REMOVED.
- C. THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING ELEMENTS (PUBLIC HALLWAYS, SURROUNDING TENANTS, ETC.) WHICH ARE ADJACENT TO THE CONSTRUCTION AREA.
- D. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE HANDLING AND DUMPING COSTS FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL, TRASH AND REFUSE ACCUMULATED ON THE JOB SITE BY ALL SUBCONTRACTORS. THE GC IS RESPONSIBLE TO INSURE THAT THE SPACE AND ALL SURFACES ARE DISPOSED OF IN A SAFE AND LEGAL MANNER.
- E. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING LIGHTING, HVAC EQUIPMENT, SPEAKERS, FIRE PROTECTION SYSTEMS, ELECTRICAL SYSTEMS, SECURITY SYSTEMS AND ALL OTHER EQUIPMENT. GC TO RELOCATE IF IN CONFLICT WITH NEW CONSTRUCTION.
- F. GENERAL CONTRACTOR IS TO CONTACT THE ARCHITECT OF RECORD FOR THE RESOLUTION OF ANY CONFLICTS OF INFORMATION ON DRAWINGS DURING DEMOLITION OR CONSTRUCTION DUE TO UNFORSEEN ELEMENTS.
- G. GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY PATCHING REQUIRED INSIDE & OUTSIDE OF THE CONSTRUCTION AREA, WHERE AFFECTED BY DEMOLITION.
- H. COORDINATION OF THE LOCATION OF DUMPSTER USED FOR REMOVAL OR DEMOLISHED MATERIAL WITH BUILDING MANAGEMENT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- I. "UNDER CONSTRUCTION" BARRIERS, WINDOW PAPER, AND SIGNAGE TO BE TAPED INSIDE WINDOWS AT THE START OF CONSTRUCTION.

CODED NOTES

- ① SURFACES TO BE PREPARED TO RECEIVE NEW FINISH PER PLAN
- ② EXISTING LIGHTING TO BE REMOVED
- ③ EXISTING SLAB TO BE REMOVED AS NECESSARY FOR SUBORDNEAN WORK, REFER TO MEP DRAWINGS - SURFACE TO BE PREPARED TO RECEIVE NEW FINISH PER PLAN
- ④ EXISTING DOOR TO BE REMOVED - SEE A110 FOR DETAILS
- ⑤ EXISTING DOOR TO REMAIN - REMOVE OPERATING HARDWARE, CAP, SHUT AND LOCK
- ⑥ EXISTING STOREFRONT TO REMAIN
- ⑦ EXISTING HOOD TO BE REMOVED
- ⑧ EXISTING COLUMN TO REMAIN
- ⑨ EXISTING MOP SINK TO REMAIN
- ⑩ EXISTING ELECTRICAL PANEL TO REMAIN - GC TO VERIFY LOCATION AGAINST PROPOSED LAYOUT
- ⑪ EXISTING WALK-IN TO REMAIN
- ⑫ EXISTING EQUIPMENT TO REMAIN
- ⑬ EXISTING PLUMBING FIXTURES TO REMAIN

WALL LEGEND:

- INDICATES EXISTING WALL, COLUMN, OR CONSTRUCTION TO REMAIN, UNL.O. PATCH + PAINT AS NEEDED.
- - - - - INDICATES DEMO WALL
- ▬▬▬▬▬ INDICATES STOREFRONT W/ FIXED GLAZING.

**DAVE'S HOT CHICKEN
PROTOTYPE 1.0**



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PROJECT: 24-027
DRAWN BY: KB CHECKED BY: MP

REVISIONS

▲	22/11/21 - PERMIT SET
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DAVE'S HOT CHICKEN

STORE:
ADDRESS:
1331 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
D100

DAVE'S HOT CHICKEN PROTOTYPE 1.0

INGLE Design Group
158 West Main Street
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1764 Blake St
Downey, CA 92628
303.974.5873
www.ingledesign.com



PROJECT: 24-027
DRAWN BY: KB
CHECKED BY: MP

REVISIONS

1	12/21/21 - PERMIT SET
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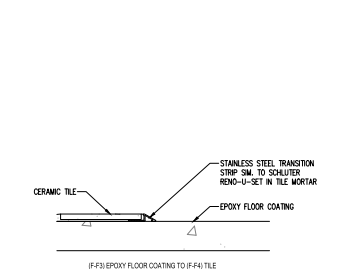
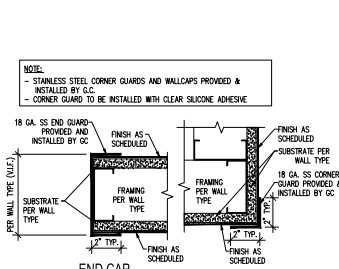
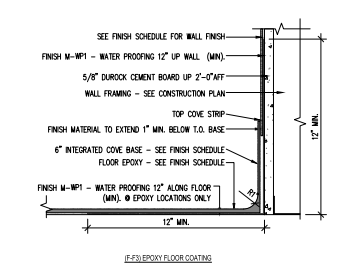
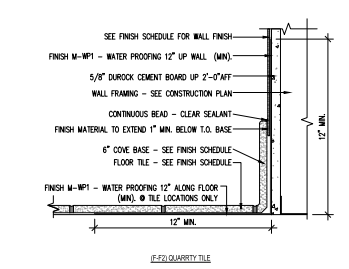
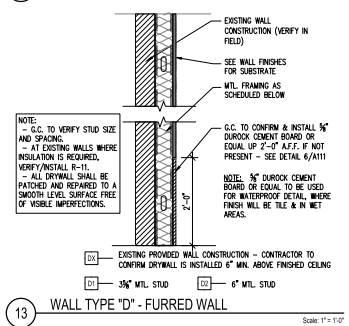
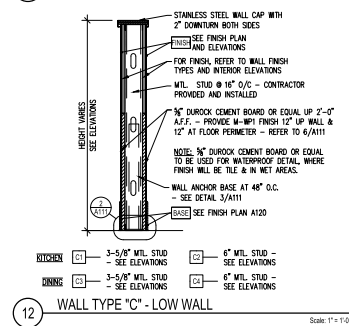
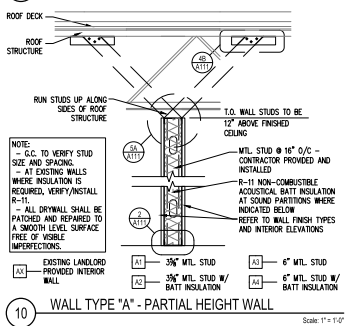
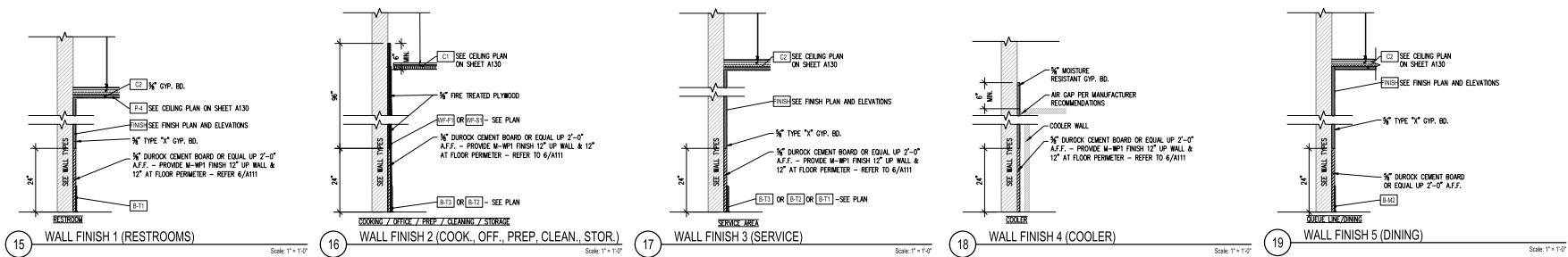


STORE:
ADDRESS:
1331 W IMPERIAL HWY
LA HABRA, CA 90631
SHEET TITLE:

WALL TYPES

SHEET NUMBER:

A111

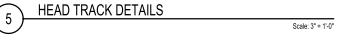
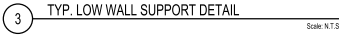
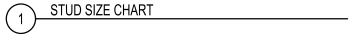
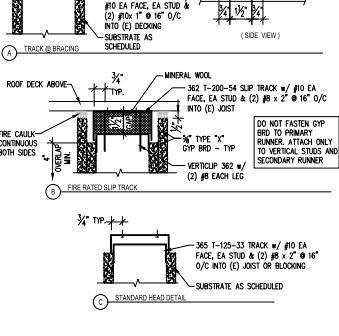
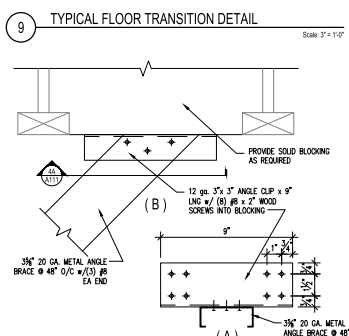
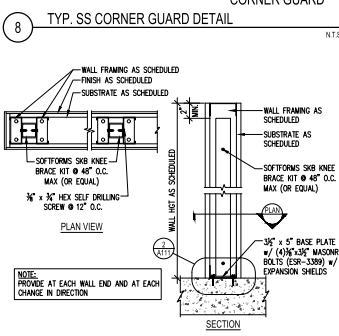
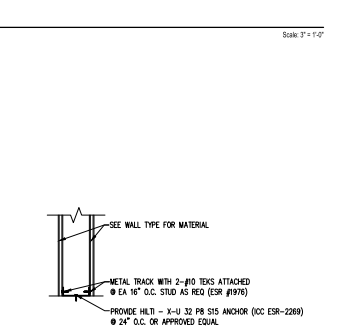


1 TYPICAL INTERIOR NON-LOAD BEARING STUD WALL - SLIP TRACK AT TOP
Scale: 3" = 1'-0"

SIZE	STUDS TO BE USED (ICC-ES ESR-3016)		
	SPACING	ALLOWABLE HEIGHT	BOTTOM TRACK GAUGE
3/8" - 25C STN	16"	15.4"	20
3/8" - 20G STR	16"	17.0"	20
3/8" - 18 G HDS	16"	22.6"	20
6" - 20G STR	16"	24.5"	20
6" - 18G HDS	16"	33.6"	20

TOP - "SLIP" TRACK GAUGE (3" DEEP TRACK)

NOTES:
BUILDING CODE REQUIRES THAT INTERIOR PARTITION WALLS BE DESIGNED FOR A LATERAL LOAD OF 5 PSF FOR THE FOLLOWING GUIDELINES ARE BASED ON THIS LOAD. ALL STUDS WHEN ASSUMED TO BE EQUIVALENT TO THOSE MANUFACTURED BY DETROIT ROOFING, INC. ALL STUDS AND TRACKS ARE ASSUMED TO HAVE AN Fy = 33.0 KSI. ALL STUDS ARE ASSUMED TO HAVE 5/8" CYP BRD ON BOTH FACES FOR THE FULL HEIGHT OR ARE PROVIDED WITH BRIDGING AS REQUIRED. DETAILS ARE PROVIDED TO ACCOMMODATE VERTICAL MOVEMENT AT THE TOP USING A 3" DEEP TRACK CONNECTION OR NO MOVEMENT. MAXIMUM HORIZONTAL DEFLECTION IS ASSUMED TO BE LIMITED TO 1/8"/240. PROVIDE LATERAL BRACING PER SCHEDULE.



CODED NOTES

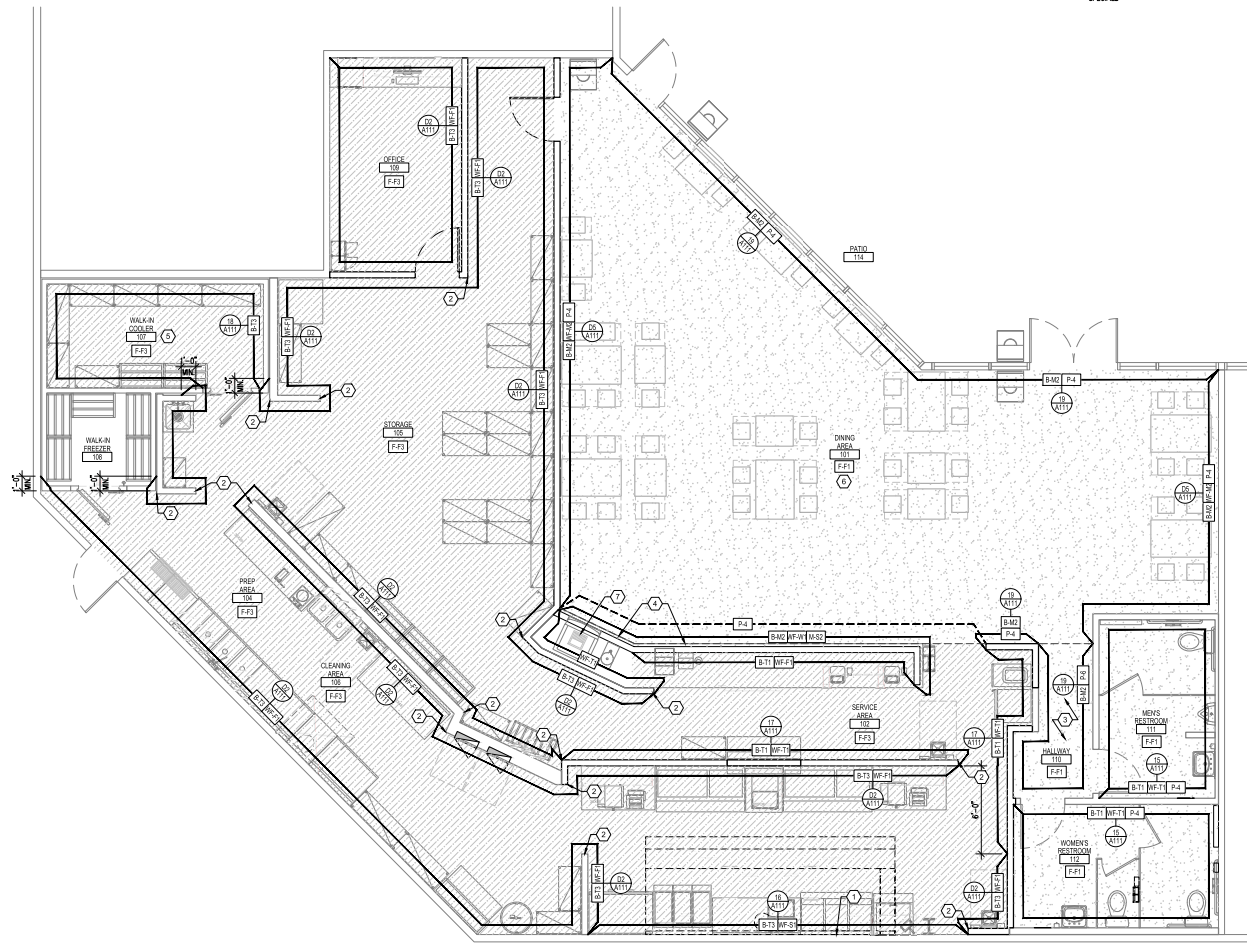
- ① WF-S1 @ HOOD WALL TO EXTEND 18" ABOVE HOOD MIN.
- ② STAINLESS STEEL CORNER GUARD TO BE 2" WIDE & FULL HT. & END CAPS TO FULLY COVER END WALL CONDITIONS FULL HEIGHT WITH 2" RETURNS, PROVIDE CLEAR COATED FINISH & ADHERE TO WALL W/ CLEAR BULGONE - NO SCREWS FURNISHED & INSTALLED BY GC. - SEE DETAIL 8/A111
- ③ BRAND MAKE ON METAL PANELS IN HALLWAY - VERIFY FINAL GRAPHIC PACKAGE AND LOCATION WITH FRANCHISOR, CLIENT, AND VENDOR
- ④ CASEWORK TO SIT FLUSH TO F-1 FLOOR - BASE AND FLOOR BELOW TO BE FINISHED AFTER CASEWORK IS SET IN PLACE
- ⑤ SET WALK-IN COOLER & FREEZER PRIOR TO FLOOR - FLOOR AND BASE TO BE FINISHED AFTER WALK-IN IS SET IN PLACE - FLOOR FINISH TO CONTINUE INTO COOLER AREA, PROVIDE INTEGRAL COVE INSIDE AND OUTSIDE OF WALK-IN COOLER, NO FLOOR OR BASE IN FREEZER.
- ⑥ WALL GRAPHICS - VERIFY FINAL GRAPHIC PACKAGE AND LOCATION WITH FRANCHISOR, CLIENT, AND VENDOR
- ⑦ INTERIOR OF CABINERY WALLS TO BE COVERED (B-T1) AROUND FLOOR SINK. CABINET DOORS WILL OPEN TO ALLOW FULL ACCESS TO FLOOR SINK FOR CLEANING AND MAINTENANCE.

GENERAL NOTES

- A. G.C. TO SUBMIT SAMPLES OF ALL FINISH MATERIAL TO HEALTH DEPARTMENT FOR REVIEW PRIOR TO PURCHASE AND INSTALLATION.
- B. ALL FLOOR FINISHES SHALL BE INSTALLED WITH TOP EDGES LEVEL WITH ADJACENT MATERIAL. TOP EDGES CONFORM TILE THICKNESS AS THESE MAY VARY. CONFORM THAT NO OVERALL FLOATING OF FLOOR IS REQUIRED.
- C. COORDINATE FLOORING TRANSITIONS AND BASE INSTALLATION WITH MILLWORK SHOP DRAWINGS AND FIELD CONDITIONS.
- D. ALL THRESHOLDS SHALL HAVE A MAXIMUM HEIGHT OF 1/2" ABOVE EXISTING CONCRETE SLAB AND/OR INTERIOR FINISHES.
- E. FLOORING TRANSITION BETWEEN ROOMS TO BE CENTERED ON DOOR FRAME.
- F. SEE ROUGH-IN / PLUMBING DRAWINGS FOR DIMENSIONS AND LOCATIONS OF FLOOR DRAINS AND FLOOR SINKS.
- G. G.C. TO LEAVE ON-SITE, UPON COMPLETION OF JOB (1) BOX EACH OF ALL WALL, FLOOR AND CEILING TILE USED.
- H. ALL FINISH MATERIALS TO BE IRC CHAPTER 8 COMPLIANT.
- I. ALL INTERIOR FINISHES TO HAVE A FLAME SPREAD RATING OF 25 OR LESS, WITH A MAXIMUM SMOKE GENERATION FACTOR OF 450.
- J. THE INSTALLER SHALL COORDINATE WITH GENERAL CONTRACTOR AND PROVIDE LAYOUT OF ALL WALL TILE PRIOR TO INSTALLATION. GENERAL CONTRACTOR SHALL PREPARE WALLS AS TO MINIMIZE CUT TILES IN THE HORIZONTAL DIRECTION AND ELIMINATE CUT TILES IN THE VERTICAL DIRECTION ON ANY WALLS. CONTACT ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS FOR DIRECTION PRIOR TO INSTALLATION. FAILURE TO ADHERE TO THESE REQUIREMENTS RESULTING IN ANY REMEDIATION REQUIRED TO MEET DESIGN INTENT WILL BE AT CONTRACTORS COST.
- K. ALL WALL MOUNTED HVAC VENT REGISTERS AND GRILLS IN PUBLIC AREAS TO BE PAINTED TO MATCH ASSOCIATED WALL SURFACE.
- L. ALL CYPRESS BOARD WALLS TO RECEIVE PAINT TO HAVE LEVEL 5 FINISH
- M. ALL EXPOSED CONCRETE FLOORS TO BE POLISHED CONCRETE. INSTALLER TO POLISH TO A MINIMUM 1200 GRIIT LEVEL 3 FINISH.
- N. IF ALTERNATE PAINT SPECIFICATIONS USED, PAINTING CONTRACTOR TO VERIFY COLORS MATCH SPECIFIED

INTERIOR FINISH SCHEDULE

MARK	DESCRIPTION	MANUFACTURER & SPEC	REMARKS
P-1	PAINT - BLACK	DUNN EDWARDS - COLOR: DE830 DARK ENGINE - FINISH: SATIN	SEE PLAN - SEMI GLOSS FINISH WHERE FOOD & UTENSILS ARE PRESENT
P-2	PAINT - GRAY	DUNN EDWARDS - COLOR: DE349 EDGE OF BLACK (14/10)	SEE PLAN - SEMI GLOSS FINISH WHERE FOOD & UTENSILS ARE PRESENT
P-3	PAINT - LIGHT GRAY	DUNN EDWARDS - COLOR: DE348 DRAW YOUR SWORD - FINISH: SATIN	SEE PLAN - SEMI GLOSS FINISH WHERE FOOD & UTENSILS ARE PRESENT
P-4	PAINT - WHITE	DUNN EDWARDS - COLOR: DEW93 COOL DECEMBER - FINISH: SATIN	SEE PLAN - SEMI GLOSS FINISH WHERE FOOD & UTENSILS ARE PRESENT
P-5	PAINT - OFF WHITE	DUNN EDWARDS - COLOR: DE344 MSP OF SMOKE BRIGHT - FINISH: SATIN	SEE PLAN - SEMI GLOSS FINISH WHERE FOOD & UTENSILS ARE PRESENT
P-6	PAINT - RED	DUNN EDWARDS - COLOR: DET42 HEART THROB - FINISH: SATIN	SEE PLAN - SEMI GLOSS FINISH WHERE FOOD & UTENSILS ARE PRESENT
P-7	PAINT - DARK RED	DUNN EDWARDS - COLOR: DET410 FLOREGRAFHY - FINISH: SATIN	SEE PLAN - SEMI GLOSS FINISH WHERE FOOD & UTENSILS ARE PRESENT
WALL FINISH			
WF-F1	FRP WALL PANEL	MARLITE INC. - 5-100 SMOOTH (DRY-ERASE)	INSTALL FULL HEIGHT IN BACK OF HOUSE - NOT IN CUSTOMER VIEW
WF-M2	DIAMOND PLATE METAL SHEETS	FURNISHED BY MILLWORK PROVIDER - 48"x96"	
WF-S1	STAINLESS STEEL	FURNISHED BY MILLWORK PROVIDER	
WF-S2	STAINLESS STEEL	FURNISHED BY MILLWORK PROVIDER	
WF-T1	CERAMIC TILE	DALTILE - SERIES: COLOR WHEEL CLASSIC - SIZE: 3"x6" - COLOR: 0190 ARTIC WHITE	SCHLUTER QUADRIC STAINLESS STEEL TRIM TO BE USED AT OUTSIDE CORNERS & OPEN EDGES OF TILE - INSTALL FULL HEIGHT IN SERVICE AREA (WITHIN CUSTOMER VIEW) - SEE DETAILS/600 FOR LAYOUT
WF-T2	CERAMIC TILE	DALTILE - SERIES: COLOR RED - SIZE: 3"x6" - COLOR: CURRANT SH17 RED	SCHLUTER QUADRIC STAINLESS STEEL TRIM TO BE USED AT OUTSIDE CORNERS & OPEN EDGES OF TILE - INSTALL FULL HEIGHT IN SERVICE AREA (WITHIN CUSTOMER VIEW) - SEE DETAILS/600 FOR LAYOUT
WF-W	WOOD FINISH	MIDRAN RECLAIMED WOOD - DAVE'S HOT WALNUT - SIZE: 5/8"x3 1/2"X1/2" LENGTHS VARY 24"-96"	FURNISHED BY MILLWORK PROVIDER
BASE			
B-M2	DIAMOND PLATE METAL SHEET	CCS MILLWORK - 3/8" RADIUS COVE BASE	
B-T1	CERAMIC TILE	DALTILE - SERIES: COLOR WHEEL CLASSIC - SIZE: 6"x6" W/ MIN. 1/2" RADIUS COVE - COLOR: 0190 ARTIC WHITE	SCHLUTER QUADRIC STAINLESS STEEL TRIM TO TILE WANSICOT. RESTROOMS - SEE DETAILS/600 FOR LAYOUT - USE 3/4" FOOT OPTION S36197N W/ F-11
B-T2	QUARRY TILE (OPTIONAL ALTERNATE)	DALTILE - MODEL: 0703 - SIZE: 5 7/8" W/ MIN. 3/8" RADIUS COVE - COLOR: ASHEN GRAY #090 - GROUT: CUSTOM BUILDING PRODUCTS - CEG-16 100% SOLIDS INDUSTRIAL GRADE EPOXY GROUT - CHARCOAL #60	(OPTIONAL ALTERNATE) TO BE PARDED W/ B-T2
B-T3	EPOXY	SUKAL - 61 CO - 1/2" DEPTH W/ 1" RADIUS COVE - COLOR: QUARTZ BLEND #4	TO BE PARDED W/ F-13
B-T4	CERAMIC TILE	DALTILE - SERIES: COLOR RED - SIZE: 2"x6" - COLOR: CURRANT SH17 RED	
FLOOR			
F-F1	CONCRETE	POLISHED & SEALED (G.C. SUPPLY SPEC) - COLOR: CLEAR - WARRANTY INFO TO BE PRESENTED AT WALK THROUGH	USE HEALTH DEPT. APPROVED SEALER FOR HIGH TRAFFIC. INSTALL THROUGHOUT DINING AND HALLWAY AREA.
F-F2	QUARRY TILE (OPTIONAL ALTERNATE)	DALTILE - MODEL: 0703 - SIZE: 5 7/8" W/ MIN. 3/8" RADIUS COVE - COLOR: ASHEN GRAY #090 - GROUT: CUSTOM BUILDING PRODUCTS - CEG-16 100% SOLIDS INDUSTRIAL GRADE EPOXY GROUT - CHARCOAL #60	(OPTIONAL ALTERNATE) TO BE PARDED W/ B-T2
F-F3	EPOXY	SUKAL - 61 CO - 1/2" DEPTH W/ 1" RADIUS COVE - COLOR: QUARTZ BLEND #4	
MISCELLANEOUS			
M-S1	STAINLESS STEEL	LOCALLY SOURCED BY G.C. - TYPE 304 - 18 GA. - NO.4 - BRUSHED VERTICAL FINISH	CORNER GUARDS & END CAPS - INSTALL FULL HEIGHT
M-S2	STAINLESS STEEL	LOCALLY SOURCED BY G.C.	EDGE DETAIL/GAUGE
M-WF1	WATERPROOFING MEMBRANE	REDGARD - CUSTOM BUILDING PRODUCTS	INSTALL AT ALL WET WALLS & JOINTS. WALLS & JOINTS. FLOORING - SEE 2/A111



FINISH PLAN

Scale: 1/8" = 1'-0"

DAVE'S HOT CHICKEN PROTOTYPE 1.0



PROJECT: 21-027
DRAWN BY: KB
CHECKED BY: MP

REVISIONS

1	2/22/21 - PERMIT SET
2	
3	
4	
5	
6	
7	



ADDRESS:
13131 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE:
FINISH PLAN

SHEET NUMBER:

A120

GENERAL NOTES:

- VERIFY ALL PLACEMENTS OF LIGHTS WITH OWNER PRIOR TO INSTALLATION - SEE INTERIOR ELEVATIONS FOR MOUNTING INFORMATION, GC TO CONFIRM ALL MOUNTING HEIGHTS OF ALL FIXTURES, MOUNTING, HARDWARE & CONDUIT
- SEE ELECTRICAL PLANS FOR ADDITIONAL LIGHTING INFORMATION
- ALL CEILING MATERIAL SHALL NOT EXCEED FLAME CLASS II - FLAME SPREAD INDEX 25-75
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE THAT PROPER CLEARANCES FOR DUCTS, LIGHTS, PIPING, ETC. ARE MET AND THAT THE CEILING HEIGHTS NOTED ON THE DRAWING ARE MAINTAINED
- GENERAL CONTRACTOR TO VERIFY REQUIREMENTS AND QUANTITIES OF FIRE PROTECTION DEVICES INCLUDING SMOKE DETECTORS, DUCT SMOKE DETECTORS, FIRE ALARMS, RELATED SPEAKERS, STROBES, ETC. LIFE SAFETY INSTALLATIONS TO MEET REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES
- ELECTRICAL CONTRACTOR SHALL SUPPLY 10% ADDITIONAL SPARE, OF ALL LAMP TYPE TO BE LEFT AT JOB SITE AT END OF JOB.
- G.C. TO SUPPLY (1) UNFINISHED CASE OF EACH TYPE OF CEILING TILE USED.
- ALL LIGHTING SHALL BE 20 FC AT 30" A.F.F., LIGHTING ABOVE FOOD OR UTENSILS SHALL BE SHATTERPROOF.
- CAULK JOINTS BETWEEN CEILING GRID AND ADJACENT SURFACES.
- EXISTING CONDITIONS CEILING CONDITIONS WHICH CAUSE ATYPICAL CHANGES MUST BE VERIFIED WITH CLIENT, CORPORATION, AND LIGHTING VENDOR.
- NOT ALL FIXTURES SHOWN ARE USED. VERIFY WITH CLIENT AND CORPORATION.

CEILING FINISH SCHEDULE

DESCRIPTION:	LOCATION:	NOTES:
CEILING: LAY-IN MINERAL FIBER TILE CEILING	FOOD PREP - G.C. TO SUPPLY AND INSTALL GRID (ESR-1306)	(1) NOT USED.
MFG: ARISTON - 868 OR E70		(2) SEE MECHANICAL PLANS FOR ALL HOOD AND HVAC INFORMATION. - GC TO COORD. MEP SUBCONTRACTORS
MATERIAL: 24"x48"		(3) NO CEILING ABOVE WALK-IN OR HOOD
COLOR: WHITE		(4) BLOCKING REQUIRED FOR CEILING MOUNTED PENDANTS TO BE LOCATED ABOVE GPR. BD.
FINISH: PAINTED LATEX SURFACE, SMOOTH		(5) SUBSTRATE
GRID: FACTORY FINISHED WHITE		(6) CONFIRM HVAC DUCTWORK AND DIFFUSER / RETURN LOCATIONS WITH MECHANICAL SHEETS. PAINT EXPOSED DUCT P-4 WHERE SHOWN
CEILING: SUSPENDED 5/8" GYP. BD. CEILING	SEE PLAN	(7) G.C. TO VERIFY STRUCTURE NOT PRIOR TO ORDERING FIXTURES & UNISTRUT - COORDINATE W/ LIGHTING VENDOR
MFG: ARISTON		(8) G.C. TO COORD. THE AUDIO SYSTEM ROUGH-IN WORK AND REQUIREMENTS NEEDED FOR THE AUDIO VENDOR TO COMPLETE THE SYSTEM INSTALLATION INCLUDING ALL SUSPENDED INTERIOR SPEAKERS, PATIO SPEAKERS, AND CONTROL CENTER. VERIFY REQUIREMENTS W/ THE VENDOR PRIOR TO THE ELEC. ROUGH-IN WORK.
FINISH: PAINT P-4 U.A.O.		(9) SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING
CEILING: EXPOSED TO STRUCTURE	DINING ROOM	(10) LOCATION FOR FUTURE NEON SIGN, COORDINATE MOUNTING HEIGHT AND EXACT LOCATION WITH OWNER. SEE POWER PLAN FOR POWER REQUIREMENTS.
FINISH: PAINT P-1 U.A.O.		(11) NON-ILLUMINATED MENU BOARD - REF. A300
CEILING: EXPOSED DUCTWORK	DINING ROOM	(12) NO CEILING ABOVE WATER HEATER
FINISH: LEAVE UNFINISHED - CLEAN		
MFG: PANELITE		
CEILING: SUSPENDED BACK LIT PANELS	SEE PLAN	
MATERIAL: CUSTOM		
COLOR: CUSTOM BRAND PRINT		
CEILING: SUSPENDED 5/8" GYP. BD. CEILING	SEE PLAN	
MFG: ARISTON		
FINISH: PAINT P-6 U.A.O.		

CODED NOTES

- NOT USED.
- SEE MECHANICAL PLANS FOR ALL HOOD AND HVAC INFORMATION. - GC TO COORD. MEP SUBCONTRACTORS
- NO CEILING ABOVE WALK-IN OR HOOD
- BLOCKING REQUIRED FOR CEILING MOUNTED PENDANTS TO BE LOCATED ABOVE GPR. BD.
- SUBSTRATE
- CONFIRM HVAC DUCTWORK AND DIFFUSER / RETURN LOCATIONS WITH MECHANICAL SHEETS. PAINT EXPOSED DUCT P-4 WHERE SHOWN
- G.C. TO VERIFY STRUCTURE NOT PRIOR TO ORDERING FIXTURES & UNISTRUT - COORDINATE W/ LIGHTING VENDOR
- G.C. TO COORD. THE AUDIO SYSTEM ROUGH-IN WORK AND REQUIREMENTS NEEDED FOR THE AUDIO VENDOR TO COMPLETE THE SYSTEM INSTALLATION INCLUDING ALL SUSPENDED INTERIOR SPEAKERS, PATIO SPEAKERS, AND CONTROL CENTER. VERIFY REQUIREMENTS W/ THE VENDOR PRIOR TO THE ELEC. ROUGH-IN WORK.
- SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING
- LOCATION FOR FUTURE NEON SIGN, COORDINATE MOUNTING HEIGHT AND EXACT LOCATION WITH OWNER. SEE POWER PLAN FOR POWER REQUIREMENTS.
- NON-ILLUMINATED MENU BOARD - REF. A300
- NO CEILING ABOVE WATER HEATER

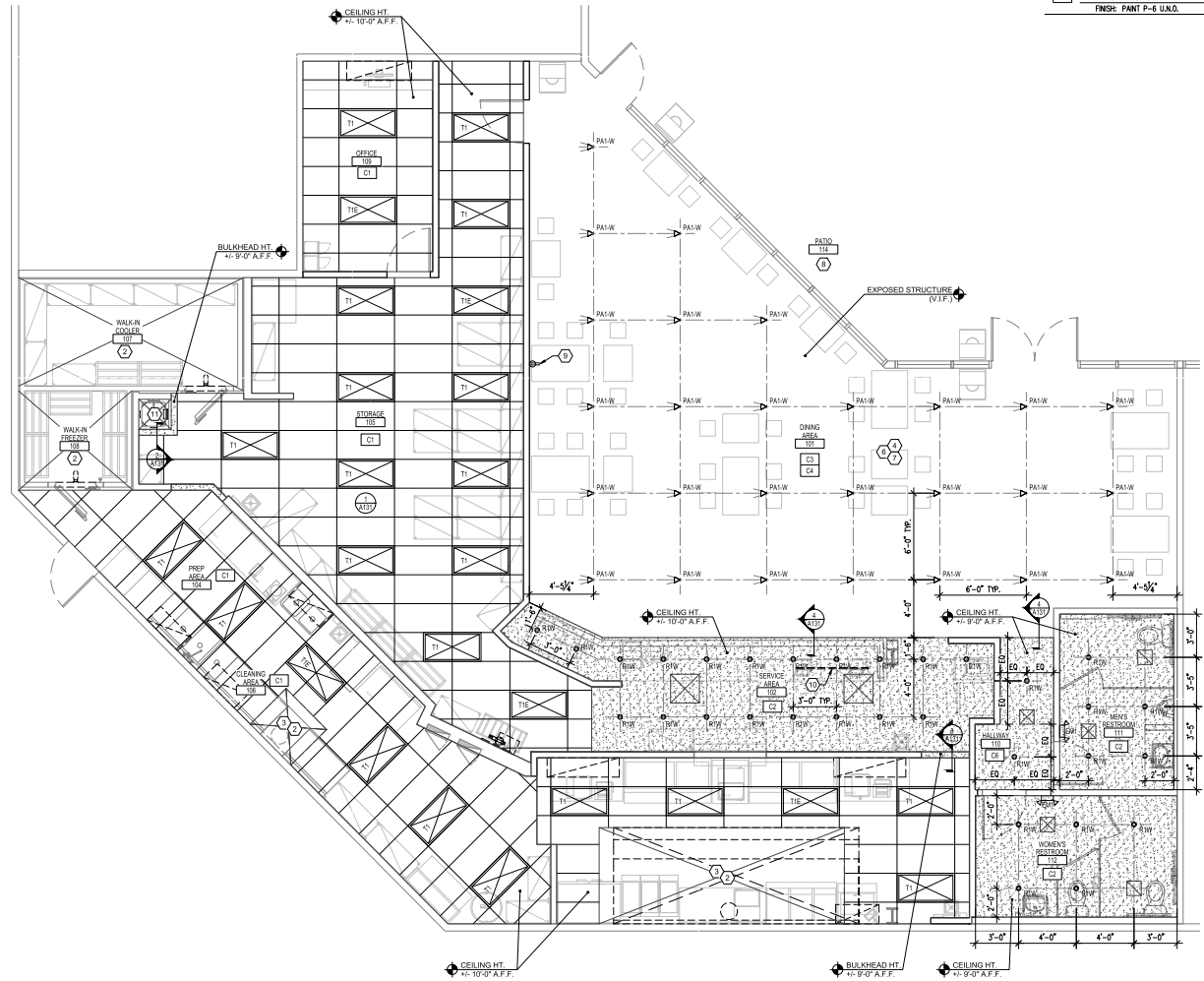
DAVE'S HOT CHICKEN
PROTOTYPE 1.0



LIGHT FIXTURE SCHEDULE

SYMBOL	DESCRIPTION:	MANUFACTURER & MODEL #	NOTES:
⊖	ROUND BACK TRACK HEAD - BLACK	ALNO #5018L8BL	BLACK TRACK HEAD ON BLACK TRACK EC TO SUPPLY HANGING HARDWARE TO MEET AFT.
⊙	ROUND 6" DOWNLIGHT IPES SURFACE MOUNT	BRUX #E11-EC-30K-90-38-UNV-BK	
⊖	LED TRACK HEAD 10.5w 3000k DIMMABLE FLOOD BEAM SPREAD - WHITE FINISH	ALNO #802L-30K-80CR-PDM-FL-WH	WHITE TRACK HEAD ON BLACK TRACK EC TO SUPPLY HANGING HARDWARE TO MEET AFT.
⊖	LED TRACK HEAD 10.5w 3000k DIMMABLE FLOOD BEAM SPREAD - BLACK FINISH	ALNO #802L-30K-80CR-PDM-FL-BL	BLACK TRACK HEAD ON BLACK TRACK EC TO SUPPLY HANGING HARDWARE TO MEET AFT.
⊖	DECORATIVE 6-LIGHT STEM HUNG FIXTURE - BLACK W/ RED VALVES - 'LEFT ORIENTATION'	WHITE #H-1LH1PSP6-1-FST-FRM-2-12N2-24N2-36N2ST-FIX --- 'LEFT'	
⊖	DECORATIVE 6-LIGHT STEM HUNG FIXTURE - BLACK W/ RED VALVES - 'RIGHT ORIENTATION'	WHITE #H-1LH1PSP6-1-FST-FRM-2-12N2-24N2-36N2ST-FIX --- 'RIGHT'	
⊖	4" RECESSED WHITE TRIM WITH WHITE REFLECTOR	NORA #NHC-4LMR4T / NOX7N-431WH	EMERGENCY LIGHT TO HAVE 90 MIN. BATTERY BACKUP
⊖	4" RECESSED BLACK TRIM WITH BLACK REFLECTOR	NORA #NHC-4LMR4T / NOX7N-431BH	
⊖	PATIO STRING LIGHTING	SIVAL #S2424488F	
⊖	TRACK MASTER ONE - CIRCUIT BLACK	ALNO #T-3000-BL	BLACK/OPEN CEILING ONLY INCLUDE NEON, POWER FEED AND CURRENT LIMITERS AS REQUIRED
⊖	TRACK MASTER ONE - CIRCUIT WHITE	ALNO #T-3000-WH	WHITE CEILING ONLY INCLUDE NEON, POWER FEED AND CURRENT LIMITERS AS REQUIRED
⊖	2x4 LED FLAT PANEL 5,500 LUMEN - 3500K	METALUX #M4025535	ADD FLANGE KIT FOR HARD-UD AREAS
⊖	2x4 LED FLAT PANEL 5,500 LUMEN - 3500K W/ FELD-INSTALLED EM BATTERY PACK	EATON #E4025535 / E11W	ADD FLANGE KIT FOR HARD-UD AREAS. INCLUDE 90 MIN. BATTERY BACKUP
⊖	PRD 60 SERIES - 24V LED TAPE - 2700K - 115 LUMENS/FT - REQUIRES POWER SUPPLIES	NOVA FLEX #NF-PRD-C-60-24V-2700K - PER FOOT	USE FOR SFFITTS THAT CALL FOR LED TAPE LIGHTING - REFER TO REFLECTED CEILING DETAILS
⊖	MINI NEON SERIES - 24V COLORED STRIP LIGHT - LETTER DENOTES TEMPERATURE: EB-BLUE, Y-YELLOW, R-RED	NOVA FLEX #NF-NEON-W-MINI-24V-X-5-BOTTOM	USE FOR SFFITTS THAT CALL FOR STRIP LIGHTING - REFER TO REFLECTED CEILING DETAILS
⊖	THERMOPLASTIC EXT SON W/ RED LETTERS WHITE HOUSING	EXTRONIX #MEX-U-BP-WB-WH	
⊖	THERMOPLASTIC EXT SON / EM COMBO EXTRONIX W/ RED LETTERS WHITE HOUSING	#MEX-U-BP-WH-EL90	
⊖	LED EM BASEYE HIGH OUTPUT - BLACK EXTRONIX FINISH	#LED-92-BL	
⊖	THERMOPLASTIC EXT/EM COMBO RED LETTERS WHITE HOUSING - REMOTE CAPABLE	EXTRONIX EMERGENCY LIGHTING #MEX-U-BP-WH-EL90-R6"	PROVIDES REMOTE POWER FOR TYPE ER
⊖	EXTERIOR RATED REMOTE EMERGENCY HEAD - GREY FINISH	EXTRONIX #MEX2-C-WP	REQUIRES TYPE ER FOR REMOTE POWER

- NOTES:
- GC CONTRACTOR TO FIELD VERIFY CEILING HEIGHTS FOR THE STEM/COMB MOUNTED FIXTURES.
 - SEE CORPORATE VENDOR LIST FOR APPROVED VENDORS.
 - LUMINAIRES, CONTROLS AND ELECTRICAL DISTRIBUTION EQUIPMENT AS SHOWN ON THE ONE LINE TO BE PURCHASED THROUGH APPROVED VENDOR BY ELECTRICAL CONTRACTOR.
 - ALL FIXTURES MAY NOT BE USED.
 - REFER TO ARCHITECTURAL INTERIOR ELEVATIONS FOR FIXTURE MOUNTING HEIGHTS.
 - THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING, STORAGE, INSTALLATION AND WIRING OF LUMINAIRES, CONTROLS AND ELECTRICAL DISTRIBUTION EQUIPMENT AS SHOWN ON THE ONE LINE.
 - THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING, STORAGE, INSTALLATION AND WIRING OF LUMINAIRES, CONTROLS AND ELECTRICAL DISTRIBUTION EQUIPMENT AS SHOWN ON THE ONE LINE OR MISSING PARTS TO VENDOR WITHIN 48 HOURS OF RECEIPT OF PACKAGE.
 - THE ELECTRICAL CONTRACTOR SHALL INCLUDE A 1 YEAR LABOR WARRANTY FOR LUMINAIRES, CONTROLS AND ELECTRICAL DISTRIBUTION EQUIPMENT AS SHOWN ON THE ONE LINE.
 - U.A.O. ALL FIXTURES ARE CONTRACTOR FURNISHED, CONTRACTOR INSTALLED



REFLECTED CEILING PLAN



Scale: 1/8" = 1'-0"



PROJECT: 21-027
 DRAWN BY: KB
 CHECKED BY: MP

REVISIONS

NO.	DESCRIPTION
1	12/22/21 - PERMIT SET
2	
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5	



1331 W IMPERIAL HWY
 LA HABRA, CA 90631

REFLECTED CEILING PLAN

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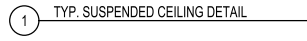
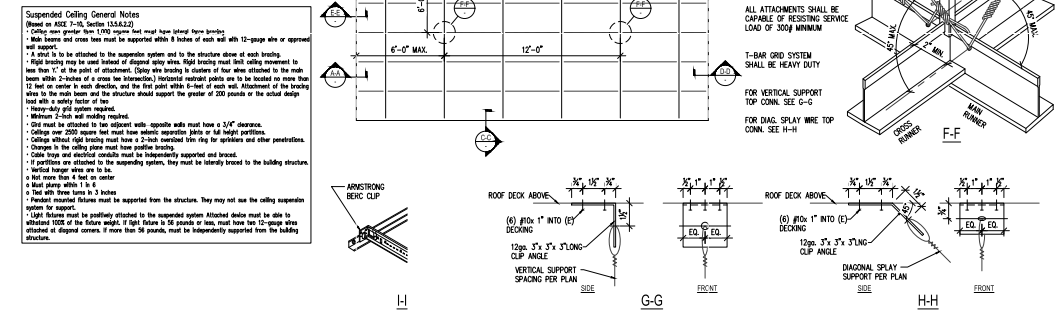
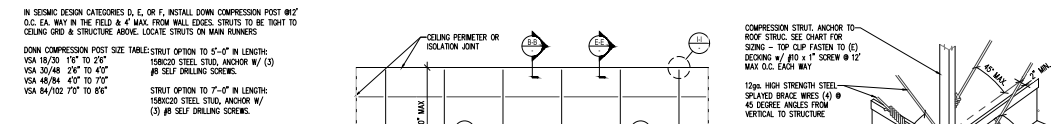
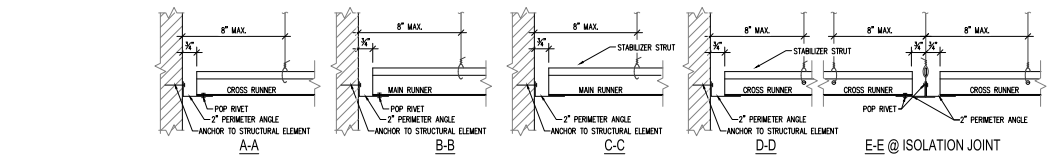
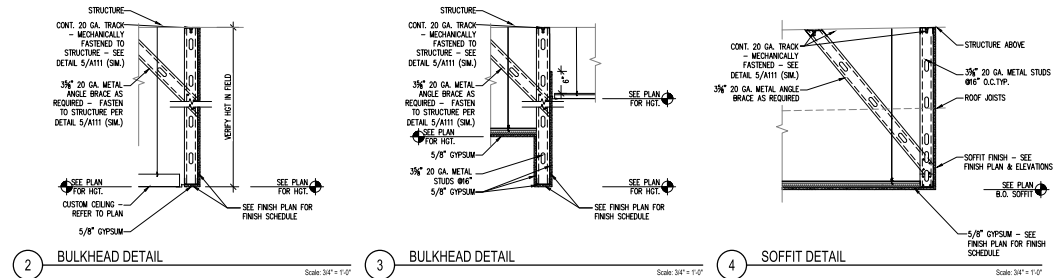
A130

DAVE'S HOT CHICKEN PROTOTYPE 1.0



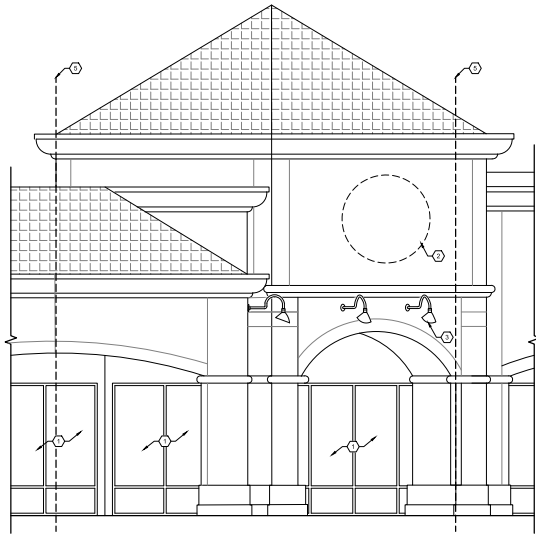
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DRAWN BY: KB
CHECKED BY: MP

NO.	REVISIONS
1	1/22/21 - PERMIT SET



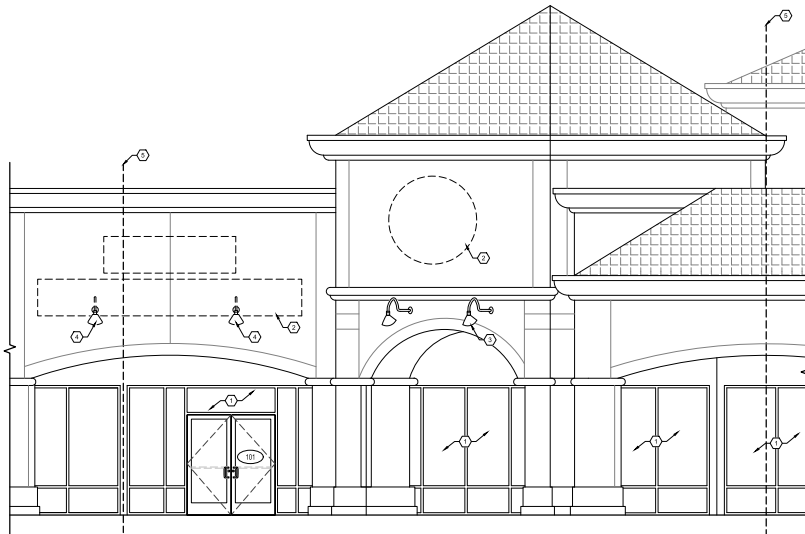
SHEET TITLE: REFLECTED CEILING DETAILS

SHEET NUMBER: A131



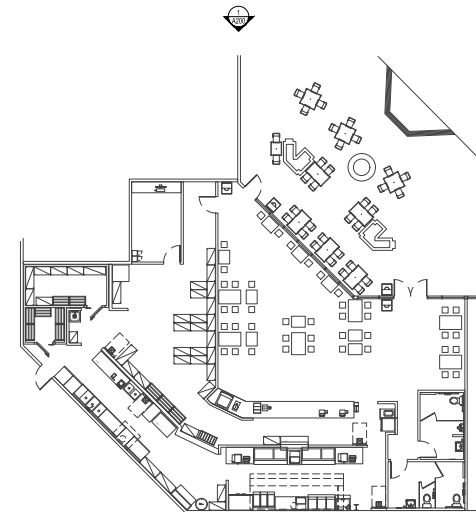
2 EAST ELEVATION

Scale: 1/4" = 1'-0"



1 NORTH ELEVATION

Scale: 1/4" = 1'-0"



EXTERIOR ELEVATIONS KEY PLAN

Scale: N.T.S.

CODED NOTES

- ① EXISTING & NEW GLASS STOREFRONT
- ② NEW DAVE'S HOT CHICKEN SIGNAGE (UNDER SEPARATE PERMIT) - ACCESS PANEL TO BACK OF SIGNAGE TO BE INSTALLED BY G.C. - COORDINATE WITH SIGNAGE VENDOR - SEE ELECTRICAL DRAWINGS
- ③ EXISTING WALL SCONCE TO REMAIN, TYP.
- ④ EXISTING WALL SCONCE TO BE REMOVED
- ⑤ TENANT LEASE LINE/DOWNSIDE WALL BEYOND

**DAVE'S HOT CHICKEN
PROTOTYPE 1.0**



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PROJECT: 24-027
DRAWN BY: KB CHECKED BY: MP

REVISIONS

NO.	DESCRIPTION
1	2/22/21 - PERMIT SET
2	
3	
4	
5	



DAVE'S HOT CHICKEN

STORE: _____
ADDRESS: 1331 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE: EXTERIOR ELEVATIONS

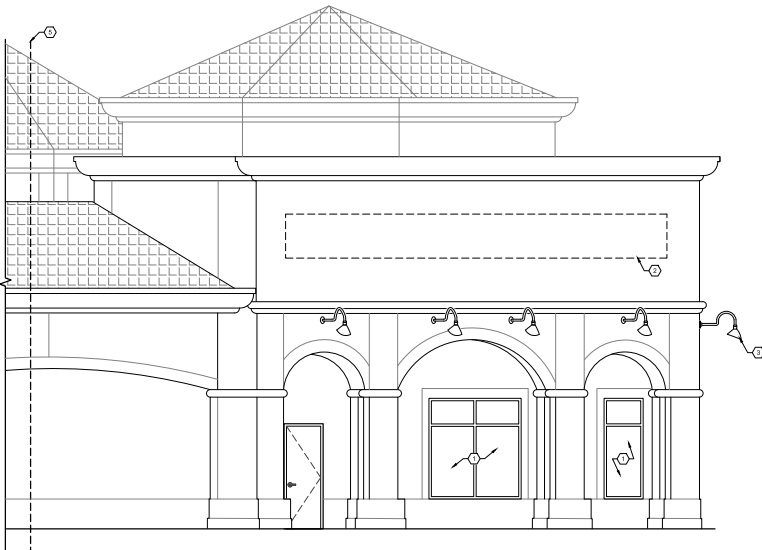
SHEET NUMBER:

A200



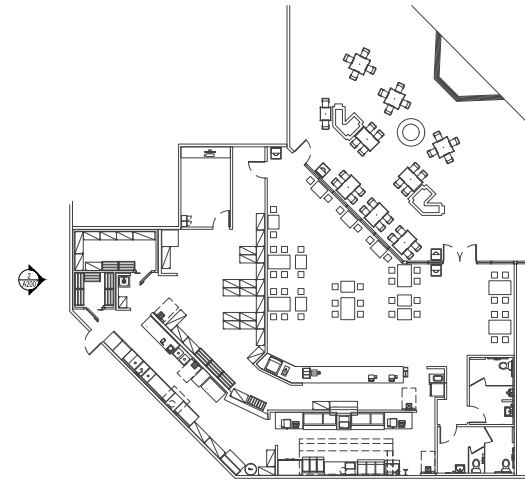
2 SOUTH ELEVATION

Scale: 1/4" = 1'-0"



1 WEST ELEVATION

Scale: 1/4" = 1'-0"



EXTERIOR ELEVATIONS KEY PLAN

Scale: 1/8" = 1'-0"

CODED NOTES

- ① EXISTING & NEW GLASS STOREFRONT
- ② NEW DAVE'S HOT CHICKEN SIGNAGE (UNDER SEPARATE PERMIT) - ACCESS PANEL TO BACK OF SIGNAGE TO BE INSTALLED BY G.C. - COORDINATE WITH SIGNAGE VENDOR - SEE ELECTRICAL DRAWINGS
- ③ EXISTING WALL SCONCE TO REMAIN, TYP.
- ④ EXISTING WALL SCONCE TO BE REMOVED
- ⑤ TENANT LEASE LINE/DEMISING WALL BEYOND

**DAVE'S HOT CHICKEN
PROTOTYPE 1.0**



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PROJECT:
24-027
DRAWN BY: KB CHECKED BY: MP

REVISIONS

NO.	DATE	DESCRIPTION
1	12/21/21	PERMIT SET

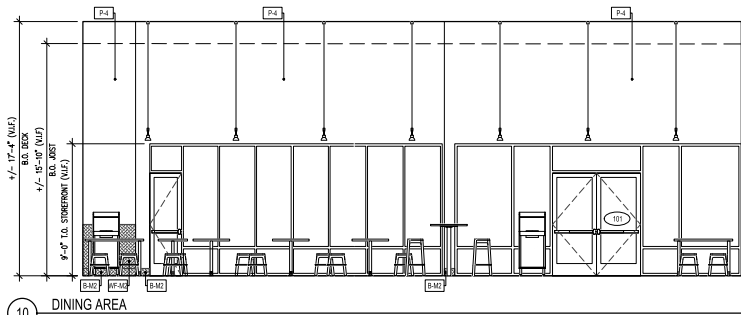


DAVE'S HOT CHICKEN

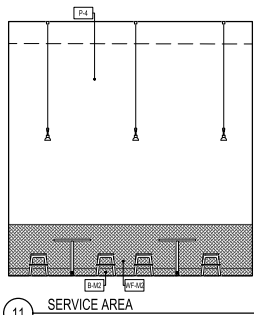
STORE:
ADDRESS:
1331 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE:
EXTERIOR ELEVATIONS

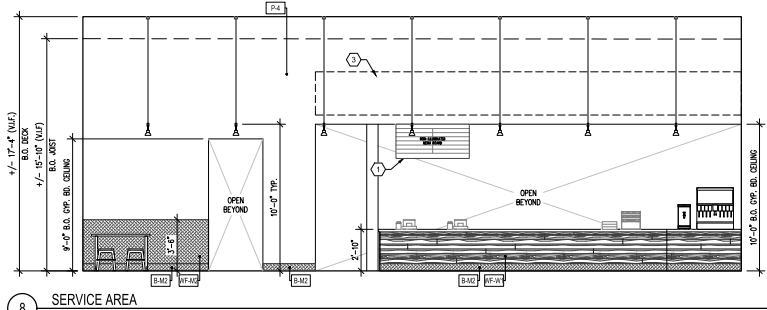
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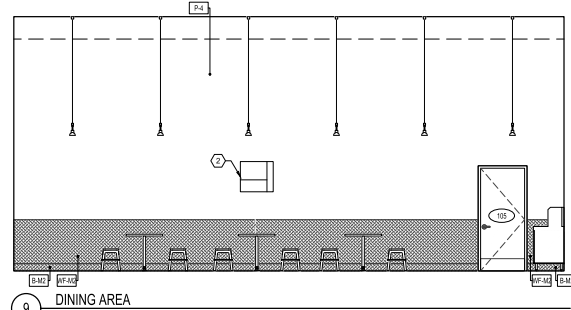
10 DINING AREA Scale: 1/4\"/>



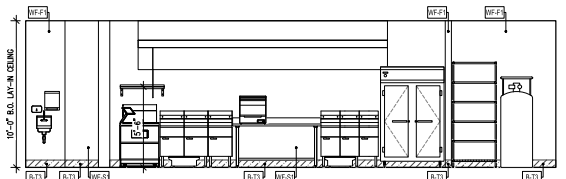
11 SERVICE AREA Scale: 1/4\"/>



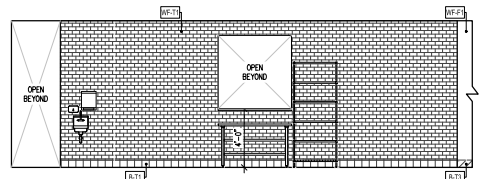
8 SERVICE AREA Scale: 1/4\"/>



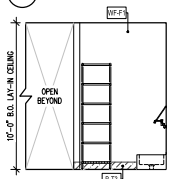
9 DINING AREA Scale: 1/4\"/>



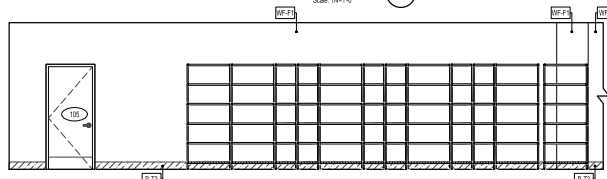
6 COOKING AREA Scale: 1/4\"/>



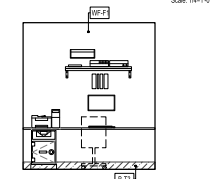
7 SERVICE AREA Scale: 1/4\"/>



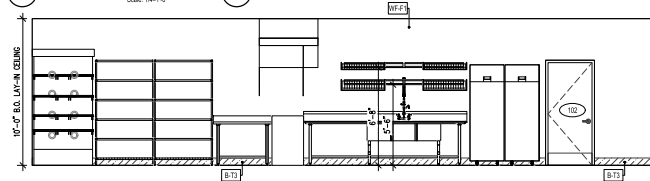
3 CLEANING AREA Scale: 1/4\"/>



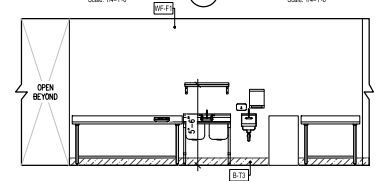
4 STORAGE AREA Scale: 1/4\"/>



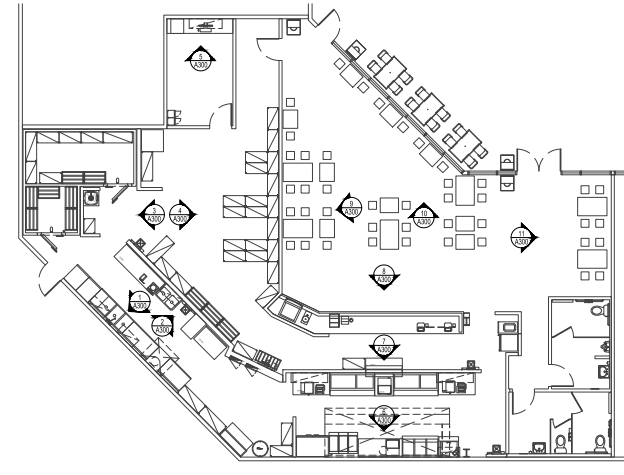
5 OFFICE Scale: 1/4\"/>



1 CLEANING AREA Scale: 1/4\"/>



2 PREP AREA Scale: 1/4\"/>



INTERIOR ELEVATIONS KEY PLAN Scale: N.T.S.

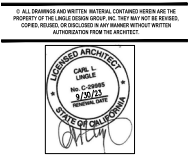
INTERIOR FINISH SCHEDULE

MARK	DESCRIPTION
PANT	
P-1	PANT - BLACK
P-2	PANT - GRAY
P-3	PANT - LIGHT GRAY
P-4	PANT - WHITE
P-5	PANT - OFF WHITE
P-6	PANT - RED
P-7	PANT - DARK RED
WALL FINISH	
WF-1	FRP WALL PANEL
WF-M2	DIAMOND PLATE METAL SHEETS
WF-S1	STAINLESS STEEL
WF-S2	STAINLESS STEEL
WF-T1	CERAMIC TILE
WF-T2	CERAMIC TILE
WF-W1	WOOD FINISH
BASE	
B-M2	DIAMOND PLATE METAL SHEET
B-T1	CERAMIC TILE
B-T2	QUARRY TILE
B-T3	EPoxy
B-T4	CERAMIC TILE
MISCELLANEOUS	
M-S1	STAINLESS STEEL
M-S2	STAINLESS STEEL
M-WP1	WATERPROOFING MEMBRANE

CODED NOTES

- 1 MENU BOARD - COORDINATE MOUNTING LOCATION W/ OWNER
- 2 PROVIDE POWER AND TRANSFORMER FOR MENU SIGN, SEE ELECTRICAL DRAWINGS
- 3 ARTWORK - COORDINATE WITH DMC CORPORATE

DAVE'S HOT CHICKEN
PROTOTYPE 1.0



PROJECT: 24-027
DRAWN BY: KB CHECKED BY: MP

REVISIONS

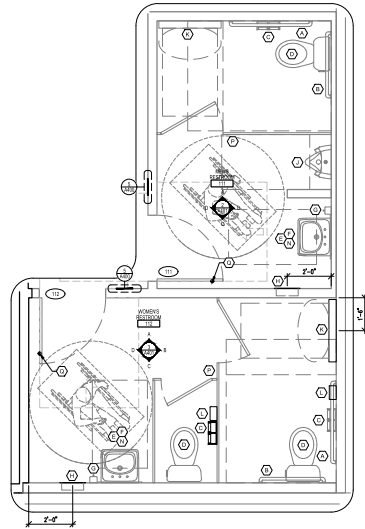
NO.	DATE	DESCRIPTION
1	12/21/21	PERMIT SET



STORE ADDRESS: 1331 W IMPERIAL HWY LA HABRA, CA 90631

SHEET TITLE: INTERIOR ELEVATIONS

SHEET NUMBER: A300

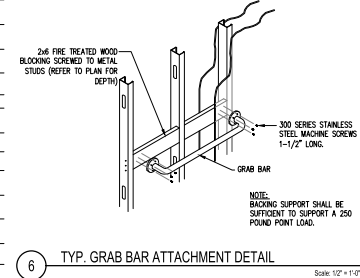


1 ENLARGED RESTROOM PLAN

Scale: 3/8" = 1'-0"

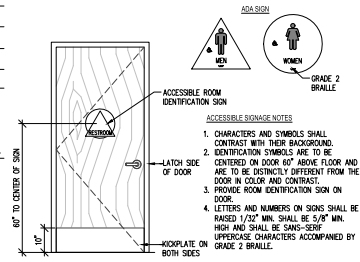
RESTROOM FIXTURE SCHEDULE				FURNISHED	INSTALLED
TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS	
①	42" HORIZONTAL GRAB BAR	BOBRICK	EXPOSED MOUNTING SERIES B-8106	(1) 2X6'S 4'-0" LONG CENTER MOUNTED @ 33" A.F.F. TO CENTER OF SUPPORT GRAB BAR - SEE DETAIL D5/A400	EX EX
②	30" HORIZONTAL GRAB BAR	BOBRICK	EXPOSED MOUNTING SERIES B-8106	(1) 2X6'S 4'-0" LONG CENTER MOUNTED @ 33" A.F.F. TO CENTER OF SUPPORT GRAB BAR - SEE DETAIL D5/A400	EX EX
③	DUAL TOILET TISSUE DISPENSER	BOBRICK	B-2740	PROVIDE 2X6 BLOCKING AS NEEDED (HANDICAPPED STALL TISSUE DISPENSER)	G.C. G.C.
④	WATER CLOSETS	KOHLER	HIGHLINE MODEL K3999 16.5" WHITE VITREOUS CHINA FLOOR MOUNTED		EX EX
⑤	WATER CLOSET SEATS	KOHLER	WHITE		EX EX
⑥	LAVATORIES	KOHLER	GREENWICH K-3032 VITREOUS CHINA - WALL MOUNT ADA	(1) 2X6 WALL TO WALL 3'-7" MOUNTED @ 30" A.F.F. TO CENTER OF SUPPORT (LAVATORIES)	EX EX
⑦	MIRROR	BOBRICK	B-165 24X6		EX EX
⑧	SOAP DISPENSER	BY DISTRIBUTOR	BOBRICK B-40		EX EX
⑨	RECESSED PAPER TOWEL DISPENSER/NSPOSAL	BOBRICK	B-369	MOUNTED 48" A.F.F. MAX.	VENDOR G.C.
⑩	HAND DRYER-OPTIONAL (AT OWNER REQUEST)	DYSON	HJ02 SPRAYED NICKEL	PROVIDE 2X6 BLOCKING AS NEEDED	G.C. G.C.
⑪	URNAL	KOHLER	BARSON MODEL 4991-ET-0 WHITE VITREOUS CHINA TOP SPUD URNAL	(2) 2X6 2'-4" LONG (1) MOUNTED @ 10" A.F.F. AND (1) MOUNTED @ 30" A.F.F. TO CENTER OF SUPPORT (URNAL)	EX EX
⑫	BABY CHANGING STATION	BY DISTRIBUTOR	KOALA KARE K820R GREY GRANITE 12	HORIZONTAL UNIT	OWNER G.C.
⑬	SANITARY NAPKIN DISPOSER	BOBRICK	B-270		G.C. G.C.
⑭	COAT HOOK	BOBRICK	B-8717	LOCATE ON RESTROOM DOOR, PARTITION DOOR OR ACCESSIBLE STALL DOOR @ 4'-0" A.F.F.	G.C. G.C.
⑮	PROTECTIVE PLUMBING COVERS	TRUEBRO	LAV GUARD 2 - 103 E-Z		G.C. G.C.
⑯	TOILET SEAT COVER DISPENSER	BOBRICK	B-221	INSTALL MAX. 40" A.F.F. SEE ELEVATIONS FOR CLARIFICATION	G.C. G.C.
⑰	RESTROOM STALL PARTITIONS	BOBRICK	1530 SERIES	LAMINATE COLOR: D-81-00 - 2X6 WOOD BLOCKING AT PARTITION WALL ANCHORS	EX EX
⑱	DOOR STOP	--	--	SEE HARDWARE SCHEDULE ON SHEET A110	G.C. G.C.

NOTE:
 1. ALL FIXTURES & ACCESSORIES MUST MEET ALL NATIONAL AND LOCAL CODES AND ADA REQUIREMENTS. PROVIDE SOLID FIRE TREATED BLOCKING AT ALL WALL MOUNTED FIXTURES FOR SECURE ANCHORING, VERIFY LOCATION WITH MANUFACTURERS SPECIFICATIONS. CLEAR SILICONE CAULK ALL FIXTURES TO PARTITION.
 2. WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR.
 3. THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING CONTROLS, SHALL BE NO GREATER THAN 5 LBS.
 GENERAL NOTES:
 A. SEE SHEET A110 FOR ADDITIONAL DIMENSIONS.
 B. USE MOISTURE RESISTANT GYPSUM BOARD AT WALLS BEHIND PLUMBING FIXTURES.
 C. PROVIDE BATT INSULATION IN WALLS WHERE SCHEDULED ON SHEET A110.
 D. ALL ACCESSORIES SHALL BE INSTALLED AT 40" MAXIMUM TO THE CENTERLINE OF THE OPERATING PART FROM FINISHED FLOOR SURFACE.
 E. TOILET PARTITIONS FOR THE ACCESSIBLE TOILET SHALL BE PROVIDED WITH A LATCH THAT DOES NOT REQUIRE GRASP OR TWISTING, AND A U-SHAPE OR LOOP IMMEDIATELY BELOW THE LATCH ON THE INSIDE AND OUTSIDE OF THE PARTITION DOOR. (IF APPLICABLE)
 F. FIXTURES ARE DIMENSIONED FROM CENTER OF FIXTURE TO FACE OF TILE.
 (48) DOOR TAG - SEE DOOR SCHEDULE ON SHEET A110 (XX) FINISH TAG - SEE FINISH SCHEDULE ON SHEET A120



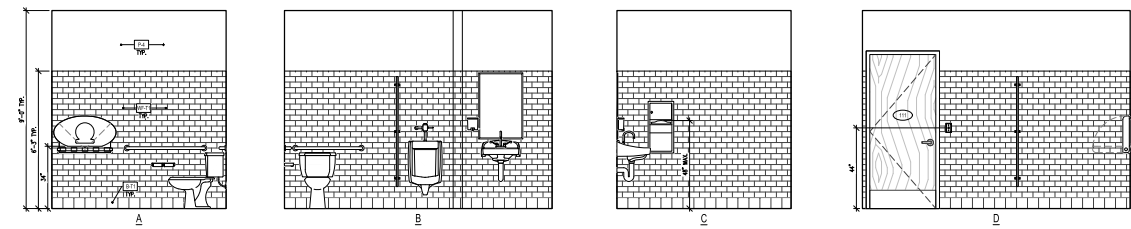
6 TYP. GRAB BAR ATTACHMENT DETAIL

Scale: 1/2" = 1'-0"



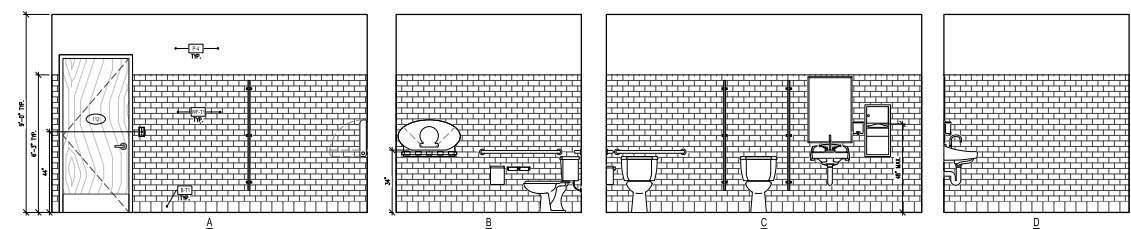
5 RESTROOM SIGNAGE DETAIL

Scale: 1/2" = 1'-0"



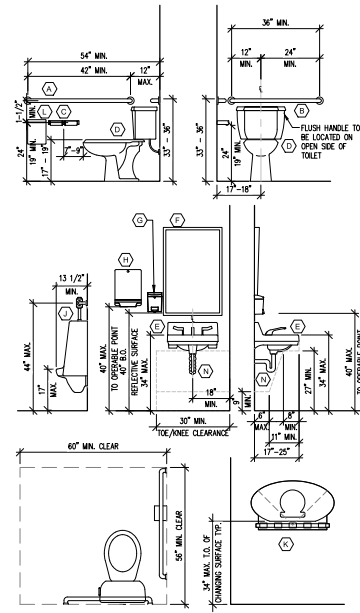
2 MEN'S RESTROOM

Scale: 3/8" = 1'-0"



3 WOMEN'S RESTROOM

Scale: 3/8" = 1'-0"



4 REQUIRED ACCESSIBLE FIXTURE CLEARANCES

Scale: 1/2" = 1'-0"

DAVE'S HOT CHICKEN PROTOTYPE 1.0



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PROJECT: 21-027
 DRAWN BY: KB
 CHECKED BY: MP

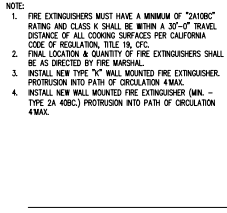
REVISIONS	DATE
1/22/21-1 PERMIT SET	



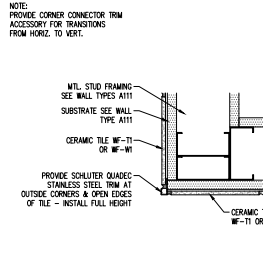
ADDRESS: 1331 W IMPERIAL HWY LA HABRA, CA 90631

SHEET TITLE: ENLARGED RESTROOM PLAN

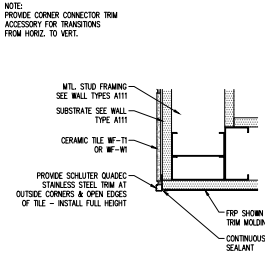
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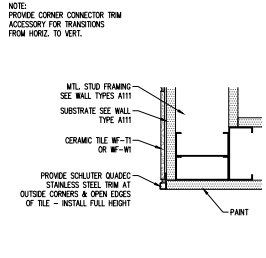
11 FIRE EXTINGUISHER DETAIL
Scale: 1" = 1'-0"



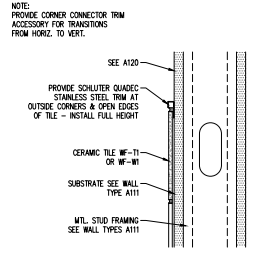
12 OUTSIDE CORNER TRIM - TILE TO TILE
Scale: 1" = 1'-0"



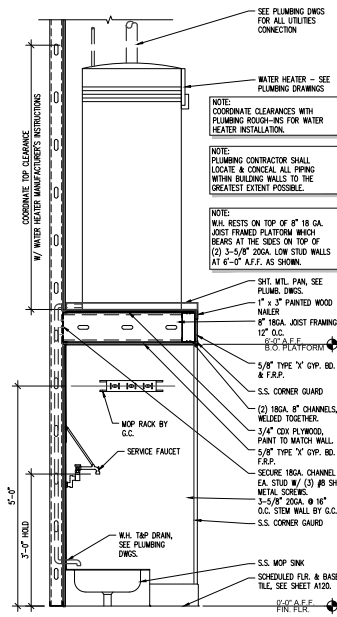
13 OUTSIDE CORNER TRIM - TILE TO FRP
Scale: 1" = 1'-0"



14 OUTSIDE CORNER TRIM - TILE TO PAINT
Scale: 1" = 1'-0"



15 TOP EDGE TRIM - TILE
Scale: 1" = 1'-0"



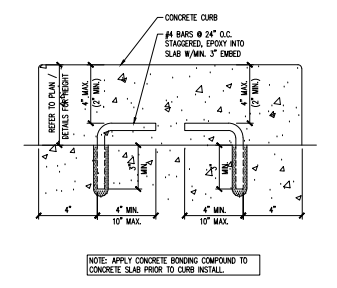
6 WATER HEATER MOUNTING DETAIL
Scale: 3/4\"/>



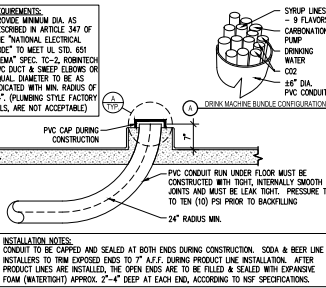
9 WALL SECTION AT PASS THRU SHELF
Scale: 1\"/>



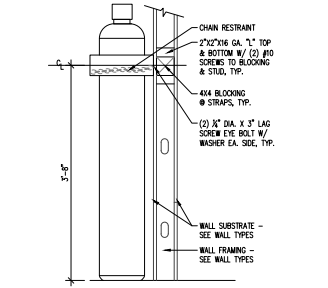
10 SERVICE COUNTER SECTION
Scale: 1\"/>



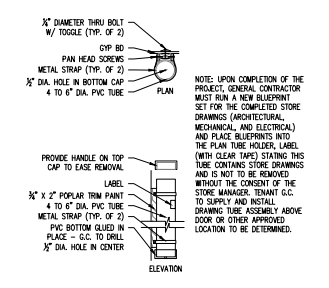
1 CURB DETAIL
Scale: N.T.S.



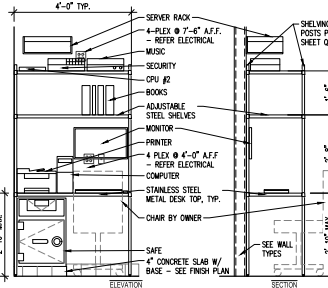
2 PVC CHASE - UNDERGROUND
Scale: N.T.S.



3 BRACING AT CO2 CANISTER
Scale: N.T.S.



4 PLANS STORAGE, TYP.
Scale: N.T.S.



5 MANAGER'S DESK & SHELVING (TYP.)
Scale: 1/2\"/>

DAVE'S HOT CHICKEN PROTOTYPE 1.0



PROJECT: 24-027
DRAWN BY: KB
CHECKED BY: MP

REVISIONS

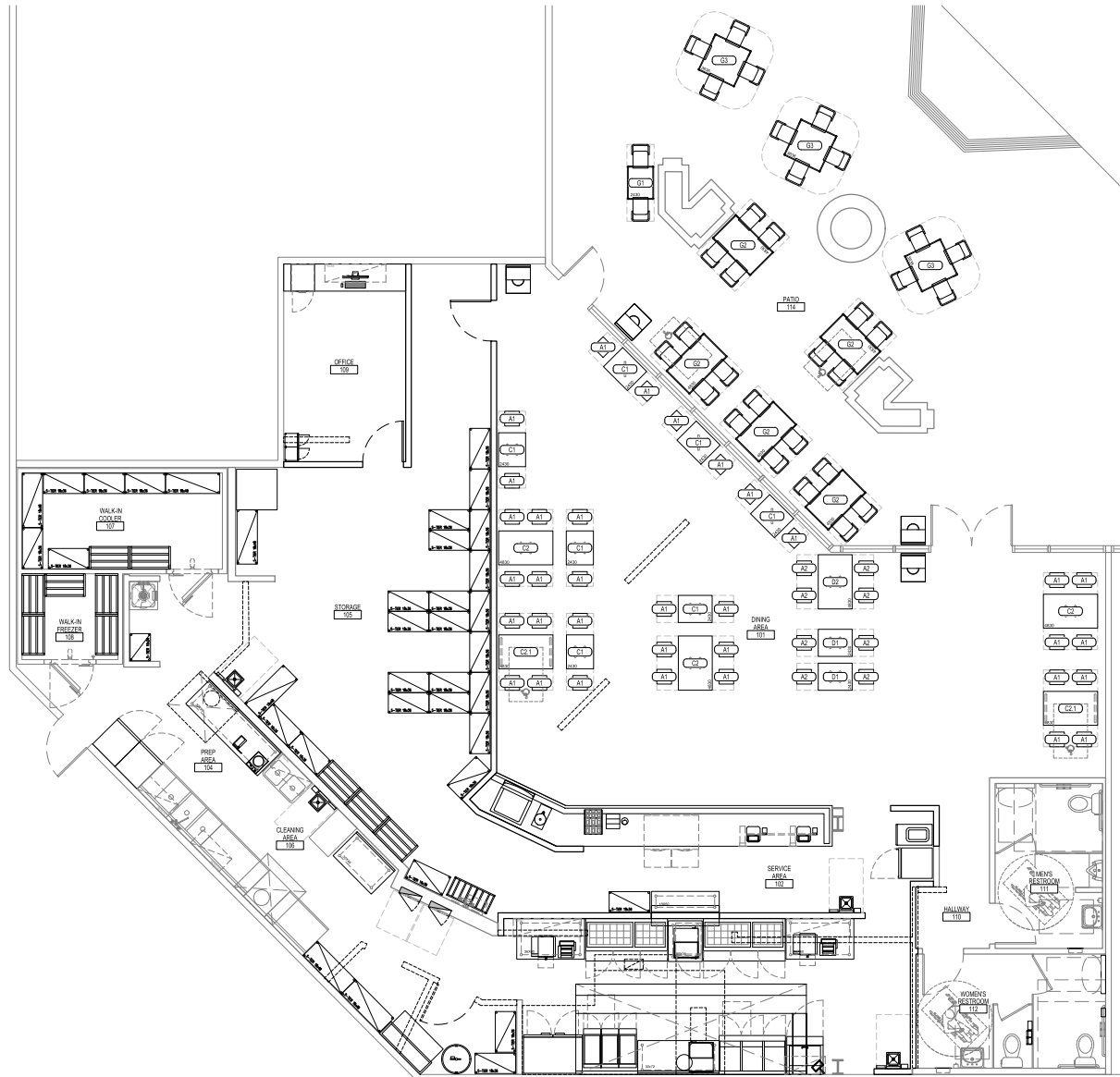
1	2/22/21 - PERMIT SET
2	
3	
4	
5	



ADDRESS: 1331 W IMPERIAL HWY
LA HABRA, CA 90631

DETAILS

SHEET NUMBER: A600



FURNITURE PLAN

Scale: 1/4" = 1'-0"

FURNITURE LIST

#	QTY	PLAN	DESCRIPTION	REMARKS
A1	34		TYPE 1 STOOL - "BLUE METAL"	INSTALL AT LOW TABLES
A2	8		TYPE 1 STOOL - "BLUE METAL"	INSTALL AT HIGH TABLES
A3	0		TYPE 1 CHAIR - "BLUE METAL"	INSTALL AT LOW TABLES
B1	0		24" STRAIGHT BANQUETTE BENCH	
B2	0		48" STRAIGHT BANQUETTE BENCH	
B3	0		60" STRAIGHT BANQUETTE BENCH	
B4	0		72" STRAIGHT BANQUETTE BENCH	
B5	0		84" STRAIGHT BANQUETTE BENCH	
C1	7		LOW 2-TOP TABLE	
C2	4		LOW 4-TOP TABLE	
C21	2		LOW 4-TOP TABLE	ADA COMPLIANT
D1	2		HIGH 2-TOP TABLE	
D2	1		HIGH 4-TOP TABLE	
E1	0		HIGH COUNTER	SEE PLAN FOR LENGTH
F1	0		PATIO CHAIR	PATIO USE ONLY
F2	0		EXTERIOR STRAIGHT BANQUETTE BENCH - WITH BACK	SEE PLAN FOR LENGTH
F3	0		EXTERIOR STRAIGHT BANQUETTE BENCH - NO BACK	SEE PLAN FOR LENGTH
G1	1		PATIO 2-TOP TABLE	PATIO USE ONLY
G2	5		PATIO 4-TOP TABLE	ADA COMPLIANT - PATIO USE ONLY
G3	3		PATIO 4-TOP TABLE	PATIO USE ONLY

FURNITURE NOTES

- NOTES: FOR VENDOR CONTACT INFORMATION SEE LIST ON SHEET G001
- FURNITURE SCHEDULE IS PROVIDED BY CORPORATE APPROVED VENDOR. CONTRACTOR SHALL CONFIRM MODEL AND SIZE PRIOR TO ORDERING. IF ANY DISCREPANCIES EXIST IN SIZE, MAKE, OR MODEL, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT OF RECORD AND Awaiting DIRECTION, SHOULD CONTRACTOR ORDER FURNITURE WITHOUT CONFIRMATION, CONTRACTOR DOES SO AT OWN RISK AND ANY ASSOCIATED COST.
 - ACCESSIBLE WHEELCHAIR SEATING FOR MIN. 5% OF TOTAL SEATS. AT LEAST (1) PER FUNCTIONAL AREA OF THE RESTAURANT. MIN. 36" W CLEAR AISLE & SEATS. SHALL PROVIDE A TABLE OR COUNTER HEIGHT OF 28" TO 34" AFF, W/ 27" H x 30" W x 19" D KNEE SPACE BELOW.
 - ALL INTERIOR AND EXTERIOR TABLES AND CHAIRS TO BE PROVIDED BY FURNITURE VENDOR. ALL BOOTH BENCHES AND BANQUETTE BENCHES TO BE PROVIDED BY MILLWORK VENDOR.
 - ALL TABLES ARE NOT TO BE FIXED

DAVE'S HOT CHICKEN
PROTOTYPE 1.0



PROJECT: 21-027
DRAWN BY: KB
CHECKED BY: MP

REVISIONS

NO.	DATE	DESCRIPTION
1	12/21/21	PERMIT SET



ADDRESS
1331 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE
FURNITURE PLAN

SHEET NUMBER
Q100

EQUIPMENT NOTES

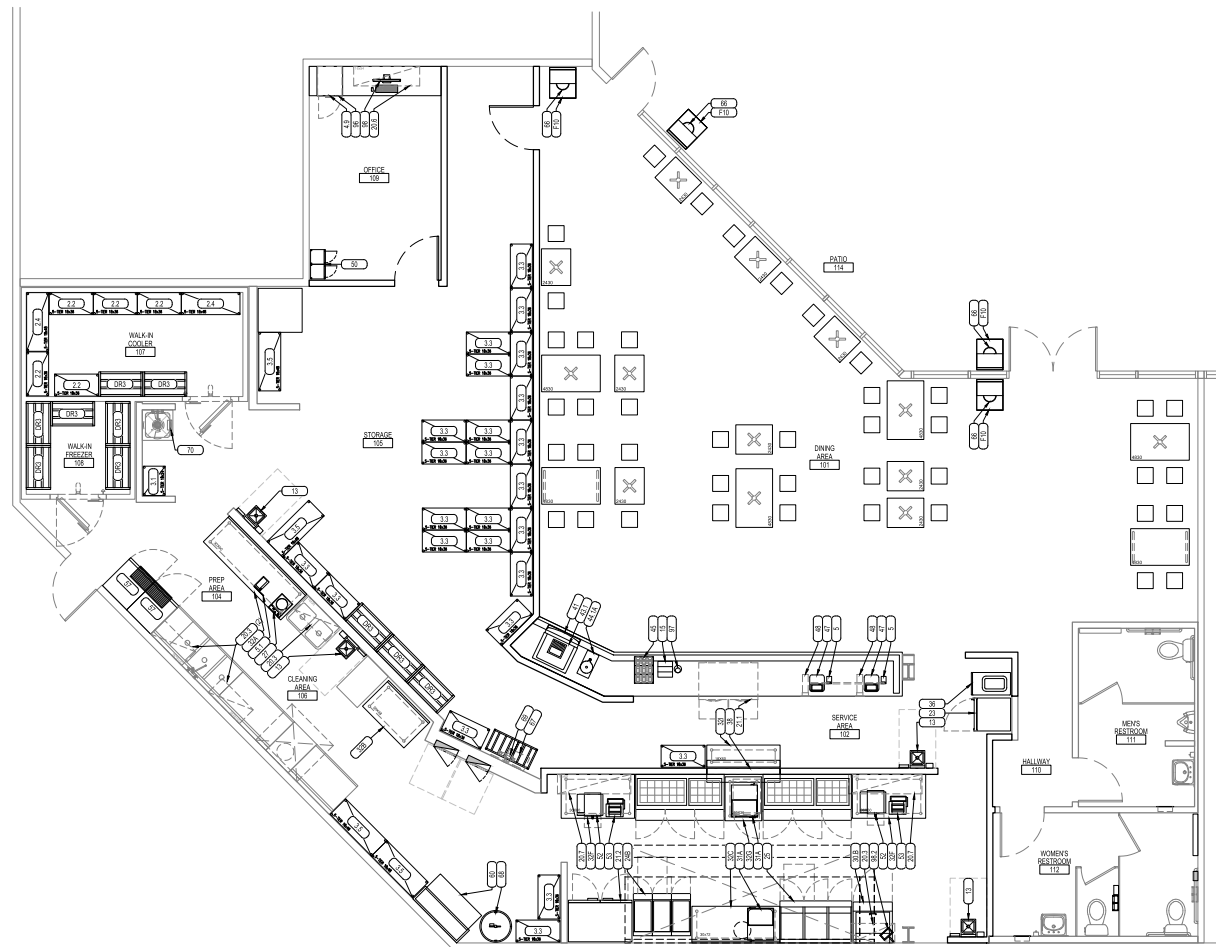
- A. ALL MOUNTING HEIGHTS SHALL COMPLY WITH ALL LOCAL AND STATE ACCESSIBILITY AND BUILDING CODE REQUIREMENTS.
- B. THE G.C. SHALL INSTALL ALL SOAP AND PAPER TOWEL DISPENSERS, AS FOLLOWS: SOAP DISPENSERS SHALL BE LOCATED DIRECTLY OVER THE SINK AND PAPER TOWEL DISPENSERS SHALL BE LOCATED TO THE RIGHT SIDE OF THE SINK, WITHIN REACHING DISTANCE, BUT NOT DIRECTLY OVER THE SINK.
- C. REFER TO THE ENLARGED RESTROOM PLAN FOR RESTROOM FIXTURES / EQUIPMENT.
- D. G.C. TO PROVIDE EPOXY BASED WATERPROOFING AT ALL FLOOR SINKS/FLOOR DRAINS WHEN INSTALLED IN NON-TILE AREAS
- E. G.C. TO CONFIRM ALL NECESSARY CLEARANCES PER PRODUCT CUT SHEET REQUIREMENTS FOR ALL EQUIPMENT.

GENERAL HEALTH DEPARTMENT NOTES

- 1. THE GENERAL CONTRACTOR SHALL NOTIFY THE FOOD SERVICE EQUIPMENT CONTRACTOR FOR FIELD INSPECTION FIVE (5) DAYS BEFORE THE SLAB IS POURED AND AGAIN BEFORE THE WALLS ARE CLOSED.
- 2. THE G.C. SHALL CLEAN WAREHOUSE EQUIPMENT IS TO BE INSTALLED, AT THE START OF INSTALLATION. THE G.C. SHALL BE RESPONSIBLE FOR SECURITY OF EQUIPMENT ON THE JOB SITE. THE G.C. SHALL BE RESPONSIBLE FOR CLEANUP AND DISPOSAL OF DEBRIS AFTER INSTALLATION.
- 3. ALL NEW, EXISTING, OR REPLACEMENT EQUIPMENT SHALL MEET NSF AND A.G.A. STANDARDS.
- 4. ALL PREP SINKS, CONDENSATE FROM ICE BINS, REFRIGERATORS (OR FACTORY MOUNTED EVAPORATOR) AND SIMILAR EQUIPMENT SHALL BE DRAINED TO A FLOOR SINK AT 1/4" PER 12" SLOPE WITH A LEGAL AIR GAP.
- 5. MOP SINK SHALL BE PROVIDED WITH HOT (120 DEGREE MINIMUM) AND COLD WATER THROUGH A MIXING FAUCET WITH AN APPROVED BACK FLOW PREVENTION DEVICE.
- 6. ALL SINKS, LAUNDRIES, AND HAND SINKS SHALL HAVE COMBINATION FAUCETS OR PREMIXING FAUCETS WITH HOT (120 DEGREE MINIMUM) AND COLD WATER UNDER PRESSURE.
- 7. ALL CURB MOUNTED EQUIPMENT SHALL BE SEALED TO THE WALL AND CURB IN APPROVED MANNER.
- 8. BUILDING SHALL BE FULL ENCLOSED AND RODENT PROOF.
- 9. ALL WALLS AND CEILINGS IN THE FOOD PREPARATION AND STORAGE AREAS SHALL BE SMOOTH, DURABLE, AND NON-ABSORBENT.
- 10. ALL EQUIPMENT AND COUNTERS SHALL BE SUPPORTED BY STAINLESS STEEL ROUND, 6" HIGH METAL LEGS OR CASTERS.
- 11. TRASH ENCLOSURE WALLS AND FLOORS SHALL BE SMOOTH AND EASILY CLEANABLE AND SEALED WITH AN APPROVED HEALTH DEPARTMENT APPROVED SEALANT.

CODED NOTES

- ① METAL CLOSURE PIECE BETWEEN WALK-IN-COOLER & WALL BY KITCHEN EQUIPMENT SUPPLIER.
- ② MOP SINK TO HAVE A DEDICATED WATER SUPPLY FOR THE CHEMICAL DISPENSER. CHEMICAL DISPENSERS CANNOT BE CONNECTED DIRECTLY TO THE MOP SINK FAUCET. PROVIDE HANGING MOP HOOKS ON BACK WALL TO ALLOW FOR AIR DRYING OF MOPS.
- ③ SODA MACHINE TO HAVE REDUCED PRESSURE BACKUP DEVICE (RPBD) - NO COPPER, BRASS, OR OTHER CORRODIBLE MATERIALS ARE ALLOWED AFTER THE RPBD.
- ④ 4" HIGH CONCRETE PAD FOR SAFE - COORDINATE LOCATION WITH CONSTRUCTION COORDINATOR - REFER TO DETAIL 1/A600.
- ⑤ "EMPLOYEES MUST WASH HANDS" SIGNAGE (PROVIDED BY G.C.)
- ⑥ WALK-IN EVAPORATOR TO BE LOCATED ABOVE RACKS
- ⑦ T-WALK TO BE INSTALLED AT BULK CO2 FOR BACKUP TANKS TO BE ATTACHED
- ⑧ 17" MINIMUM CLEAR SPACE BETWEEN BOTTOM TWO SHELVES AT ALL WALK-IN SHELVING UNITS
- ⑨ LOCATION OF NEW ELECTRICAL PANELS - REFER TO ELECTRICAL DRAWINGS
- ⑩ GO TO VERIFY COORDINATION & LOCATION OF BACKFLOW PREVENTER RELATED TO CLEARANCES AT MOP SINK & WATER HEATERS. COORDINATE ALTERNATE LOCATION IF ADDITIONAL SPACE IS NEEDED.
- ⑪ CONFIRM LOCATION OF FAN OPERATION SWITCH W/ OWNER PRIOR TO INSTALLATION.
- ⑫ VERIFY LOCATION OF COVERED ELECTRICAL BOX FOR EXHAUST HOOD COMPONENTS - SEE ELECTRICAL DRAWINGS
- ⑬ COORDINATE LOCATION OF WATER HEATER CONTROLS & ELECTRICAL OUTLET, PROVIDE PLYWOOD BACKING.
- ⑭ ROUTE WATER, ELECTRICAL, REFRIGERANT LINES & VENT THRU WALL BEHIND DRINK STATION CABINE (SEE PLAN)
- ⑮ OVERHEAD ICE CHASE - INSTALL PER MANUFACTURER'S REQUIREMENTS



**DAVE'S HOT CHICKEN
PROTOTYPE 1.0**



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PROJECT: 21-027
DRAWN BY: KB
CHECKED BY: MP

REVISIONS

NO.	DATE	DESCRIPTION
1	12/21/21	PERMIT SET



STORE:
ADDRESS:
1331 W IMPERIAL HWY
LA HABRA, CA 90631

SHEET TITLE:
EQUIPMENT PLAN

SHEET NUMBER:
Q110

EQUIPMENT LIST					EQUIPMENT LIST						
EQ#	QTY.	DESCRIPTION	MANUFACTURER	MODEL	REMARKS	EQ#	QTY.	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
1A	EQ	WALK-COOLER	KOLPAK	CUSTOM	W/ STRIP CURTAIN, 4 LIGHT, GLOVES ABOVE DOOR, INCLUDES REMOTE CONDENSER COORDINATE LOCATION W/ OWNER	30LB	1	FOOD PREP REFRIGERATOR	TRUE FOOD SERVICE EQUIPMENT	TFP-32-12M	
1B	EQ	WALK-FREEZER	KOLPAK	CUSTOM	W/ STRIP CURTAIN, 4 LIGHT, GLOVES ABOVE DOOR, INCLUDES REMOTE CONDENSER COORDINATE LOCATION W/ OWNER	30LB	0	FOOD PREP REFRIGERATOR	TRUE FOOD SERVICE EQUIPMENT	TFP-72-30M	
2.1	0	MISE SHELF - EPOXY FINISH	OLMPC	J2424K	24"X24" - .866 POSTS	30R	0	FOOD PREP REFRIGERATOR	TRUE FOOD SERVICE EQUIPMENT	TS2U-48-30M-B-05-ST-HC	
2.2	5	MISE SHELF - EPOXY FINISH	OLMPC	J1838K	18"X36" - .866 POSTS	30S	0	FOOD PREP REFRIGERATOR	TRUE FOOD SERVICE EQUIPMENT	TS2U-72-30M-B-05-ST-HC	
2.3	0	MISE SHELF - EPOXY FINISH	OLMPC	J2436K	24"X36" - .866 POSTS	31A	2	FRY WARMER	HATO CORPORATION	DRFIS-21	SS TOP W/ GALL. LEES - 30"X48" W/ 1.5" BACK SPLASH, W/ UNDER SHELF
2.4	2	MISE SHELF - EPOXY FINISH	OLMPC	J1848K	18"X48" - .866 POSTS	32A	1	WORK TABLE	JOHN BOOS	STBR1.5-3090SK-X	SS TOP W/ SS STEEL LEES - 30"X48" W/ 1.5" BACK SPLASH, W/ UNDER SHELF
2.5	0	MISE SHELF - EPOXY FINISH	OLMPC	J2448K	24"X48" - .866 POSTS	32B	1	WORK TABLE	JOHN BOOS	STBR1.5-3048SK-X	SS TOP W/ GALL. LEES - 30"X48" W/ 1.5" BACK SPLASH, NO UNDER SHELF
3.1	1	MISE SHELF - CHROMATE FINISH	OLMPC	J1840C	18"X40" - .866 POSTS	32C	1	WORK TABLE	JOHN BOOS	STBR1.5-30728K-X	SS TOP W/ SS - 30"X48" W/ 1.5" BACK SPLASH, NO UNDER SHELF
3.2	0	MISE SHELF - CHROMATE FINISH	OLMPC	J1830C	18"X30" - .866 POSTS	32D	0	WORK TABLE	JOHN BOOS	STBR1.5-3048BK-X	SS STEEL TOP W/ SS LEES - 30"X48" W/ 5" BACK SPLASH, NO UNDER SHELF
3.3	25	MISE SHELF - CHROMATE FINISH	OLMPC	J1836C	18"X36" - .866 POSTS	32E	0	WORK TABLE	JOHN BOOS	ST495-30245W	SS STEEL TOP W/ SS LEES - 30"X48" W/ 5" BACK SPLASH, NO UNDER SHELF
3.4	0	MISE SHELF - CHROMATE FINISH	OLMPC	J1842C	18"X42" - .866 POSTS	32F	2	WORK TABLE	JOHN BOOS	ST6-3660SK	SS TOP W/ SS LEES - 30"X48" NO BACK SPLASH, W/ UNDER SHELF
3.5	4	MISE SHELF - CHROMATE FINISH	OLMPC	J1848C	18"X48" - .866 POSTS	32G	1	WORK TABLE	JOHN BOOS	ST6-3036SK	SS TOP W/ SS LEES - 30"X48" NO BACK SPLASH, W/ UNDER SHELF
3.6	0	MISE SHELF - CHROMATE FINISH	OLMPC	J1844C	18"X44" - .866 POSTS	32H	0	WORK TABLE	JOHN BOOS	ST6-3648BK	SS TOP W/ SS LEES - 30"X48" NO BACK SPLASH, NO UNDER SHELF
3.7	0	MISE SHELF - CHROMATE FINISH	OLMPC	J1860C	18"X60" - .866 POSTS	32I	1	WORK TABLE	JOHN BOOS	ST6-1800SK	SS TOP W/ SS LEES - 18"X60" NO BACK SPLASH, W/ UNDER SHELF
4.1	0	MISE SHELF - CHROMATE FINISH	OLMPC	J2424C	24"X24" - .866 POSTS	32J	0	WORK TABLE	JOHN BOOS	ST6-3642BK	SS TOP W/ SS LEES - 30"X48" NO BACK SPLASH, NO UNDER SHELF
4.2	0	MISE SHELF - CHROMATE FINISH	OLMPC	J2436C	24"X36" - .866 POSTS	32K	0	REACH-IN FREEZER	HOSHIZAKI AMERICA	F7A-1S	
4.3	0	MISE SHELF - CHROMATE FINISH	OLMPC	J2430C	24"X30" - .866 POSTS	36	1	SHAKE MACHINE/PRELEZ	TANCO COMPANY	PT506-18B4	
4.4	0	MISE SHELF - CHROMATE FINISH	OLMPC	J2442C	24"X42" - .866 POSTS	38	1	FACE-THERO WALL MOUNTED SHELF	JOHN BOOS	PT506-18B4	
4.5	0	MISE SHELF - CHROMATE FINISH	OLMPC	J2448C	24"X48" - .866 POSTS	40	0	POS COUNTER	---	---	
4.6	0	MISE SHELF - CHROMATE FINISH	OLMPC	J2454C	24"X54" - .866 POSTS	40.1	0	LIFT UP COUNTER	---	---	
4.7	0	MISE SHELF - CHROMATE FINISH	OLMPC	J2460C	24"X60" - .866 POSTS	40.2	0	POS COUNTER ASSEMBLY	---	---	
4.9	1	MISE SHELF - CHROMATE FINISH	OLMPC	J2460C	24"X60" W/ ONLY TWO SHELS & ONE FIXED TOP FOR DESKTOP	41	1	BEVERAGE STATION	---	---	
5	2	PRINTER	EPSON	TM-88H	---	43	0	ICE MAKER W/ ICE BIN	MANTOMCO	DTD45A	
5.1	1	PREP W/ FRONT	---	---	43.1	0	DRINK DISPENSER W/ ICE BIN	---	---		
6	0	AWR CURTAIN	MAVS	NE 42	---	43.5	0	ICE MAKER	FOLLETT	HCC410A1S	W/ MACHINE STAND
7	0	SPEED RAIL - 24"	KROMBE	RS-24	VERIFY LOCATION W/ OWNER	44.1A	1	TEA BREWER	CONC/GOLD PEAK	---	
8	0	INCREMENT BIN	CAMERO	BS27	---	45	1	CONDIMENT ORGANIZER	VOLLRATH	CICP49-9	
9.1	0	FAUCET - 2-COMPARTMENT SINK	TAS BRASS	B-0231-6ST	---	47	2	POS TERMINAL	---	---	CASH DRAWER MOUNTED ON UNDERSHELF
9.2	0	STRAINER	TAS BRASS	B-392	---	48	2	DROP-IN CUP DISPENSER	SAN JAMAR	C2210M	
10	0	2-COMPARTMENT - PREP SINK	JOHN BOOS	2BR1244-2018	---	50	1	LOCKER	MEHEL	PE1280	WALL SECURED, GC TO PROVIDE BLOCKING
11	0	3-COMPARTMENT - WASH SINK	JOHN BOOS	3PR12094-2020	1/4" GA. TYP. 300 S.S. / 14" BOW DEPTH / 84 PRL-30MIN. TYP.	51	0	LOW TEMPERATURE HOLDING CABINET	MINHOLT	HNPL-1810-HHC	
11.1	0	FAUCET - 3 COMPARTMENT SINK	TAS BRASS	B-0133-B	PRE-RINSE FAUCET / 8" WALL MNT / 44" S.S. LEES WIDE / 142 GPM / 6" WALL BRKT. / 1/2" NPT FEMALE NUT	52	2	STEAMER	ANTUNES	MS-150-9100423	
0	0	FAUCET - 3 COMPARTMENT SINK	TAS BRASS	B-0156	---	53	2	VERTICAL CONTACT TOASTER	ANTUNES	VCT-2-9210207	
12	0	OVERSHELF	JOHN BOOS	OS108FK-2436-DM	CEILING HUNG - PROVIDE BLOCKING, INCLUDES RAIL W/ HEAT LAMP	56B	0	REACH-IN FREEZER	HOSHIZAKI AMERICA	F1A-1S	
4	4	HAND SINK	JOHN BOOS	PB15-W-0609-X	---	57	2	DIGITAL TRAWING CABINET	ELECTROLYN PROFESSIONAL	72799 (1047020K)	1/3RD HP / #134A REFRIGERANT / 304 AND NUTL. / CASTERS
4	4	FAUCET - HAND SINK	JOHN BOOS	PB15-KM-3017-X	---	58	0	PAN RACK	JOHN BOOS	ABPR-180-4RD-4	FULL HEIGHT / ALL METAL
4	4	MOUNTING KIT - HAND SINK	JOHN BOOS	PB-38MK-90	---	60	4	OL MANAGEMENT TANK	DAMRO SOLUTIONS	BOSS SPACE SAVER TANK	PROVIDE TO INCLUDE OIL RECLAMATION FITTINGS
4	4	PAPER TOWEL DISPENSER	ECOLAB	---	---	66	4	TRASH RECEPTACLES	---	---	
4	4	SOAP DISPENSER	ECOLAB	---	---	67	1	BAC-N-BOX CARBONATOR	---	---	
14	0	MOP SINK	JOHN BOOS	PBMS2424-12	---	68	1	BULK COZ TANK	CHART	VON 4415-15 (9700752)	
14.1	0	FAUCET - MOP SINK	KROMBE	16-127	W/ PAUL HOOK & FLUX HOSE	70	1	WATER HEATER	---	---	REFER TO PLUMBING DRAWING
15	1	DRINK DISPLAY	CAL-MIL	1491-89	COLOR - CLASSIC GRAPHITE	71	0	DISHWASHER	ECOLAB	ES-2000	REFER TO PLUMBING DRAWING
16	0	ROLLING SPICE RACK	JOHN BOOS	2-DAVESHK-MCH	---	96	1	SAFE	FIRE KING	CS2820	PROVIDE CONCRETE BASE - VERIFY SAFE SIZE
16.1	0	WALL MOUNTED SPICE RACK - 2 BAY	JOHN BOOS	2-DAVESHK-SPICZ-2	DO NOT CAULK PER NSF STANDARDS	97	1	MC STAND	---	---	
16.2	0	WALL MOUNTED SPICE RACK - 6 BAY	JOHN BOOS	2-DAVESHK-SPICZ-6	DO NOT CAULK PER NSF STANDARDS	98	1	POS SYSTEM	---	---	
19	0	WASTE RECEPTACLE	CARUSLE	34202023 / 369210	W/ DOLLY	98.2	1	SCREEN	---	---	
20.1	0	WALL SHELF	JOHN BOOS	B1624	STAINLESS STEEL	99	0	PICK-UP RACK	---	---	
20.2	0	WALL SHELF	JOHN BOOS	B1630	STAINLESS STEEL	DH1	0	DUNNAGE RACK	JOHN BOOS	ALB482012-X	20"X36"
20.3	4	WALL SHELF	JOHN BOOS	B1636	STAINLESS STEEL	DH2	0	DUNNAGE RACK	JOHN BOOS	ALB362012-X	24"X36"
20.4	0	WALL SHELF	JOHN BOOS	B1642	STAINLESS STEEL	DH3	10	DUNNAGE RACK	JOHN BOOS	ALB362012-X	20"X36"
20.5	0	WALL SHELF	JOHN BOOS	B1648	STAINLESS STEEL	F10	4	TRASH CAN CABINET	CSW	S-WRA	STAINLESS STEEL
20.6	1	WALL SHELF	JOHN BOOS	B1654	STAINLESS STEEL						
20.7	2	WALL SHELF	JOHN BOOS	B1660	STAINLESS STEEL						
20.8	0	WALL SHELF	JOHN BOOS	B1666	STAINLESS STEEL						
20.9	0	WALL SHELF	JOHN BOOS	B1672	STAINLESS STEEL						
21	0	HAND HEIGHT FREEZER & WORK TOP	TRUE FOOD SERVICE EQ.	TWT-48-HC	---						
21.1	1	UNDER COUNTER REFRIGERATOR	TRUE FOOD SERVICE EQ.	TUC-48D-4-LP-HC	SELF CLEANING CONDENSER COIL STANDARDS						
21.2	1	REACH-IN FREEZER	TRUE FOOD SERVICE EQ.	T-49-HC	---						
23	1	UPRIGHT GLASS DOOR MESHWASHER	TRUE FOOD SERVICE EQ.	T-230-2-HC-FD001	---						
24	0	FRYER	PTCO	SS475-3FD	2 VAT FRENCH FRY FRYER						
24A	0	OIL RECLAMATION FITTING	BK RESOURCES	BKG-GHC-7540-50K3	---						
1	1	FRYER	PTCO	SS475-3FD	3 VAT FRENCH FRY FRYER						
24B	1	OIL RECLAMATION FITTING	BK RESOURCES	BKG-GHC-7540-50K3	---						
0	0	FRYER	PTCO	SS475-4FD	4 VAT FRENCH FRY FRYER						
24C	0	OIL RECLAMATION FITTING	BK RESOURCES	BKG-GHC-7540-50K3	---						
1	1	FRYER	PTCO	SS480-3FD	SOLID STATE CONTROL						
1	1	OIL RECLAMATION FITTING	BK RESOURCES	BKG-GHC-7540-50K3	---						
25	1	COUNTER TOP WARMER	HATO CORPORATION	RHW-1	---						
29	0	WALL SHELF	JOHN BOOS	B1636K-T-X	STAINLESS STEEL (GREEN COATED) - TUBULAR						
29.1	0	DRYER RACK	SPG INT'L	(2)CS1836-F (2)CS1838-F	TUBULY BRACKETS/ TRAYTOP PER LAYOUT						

DAVE'S HOT CHICKEN PROTOTYPE 1.0



PROJECT: 24-027
DRAWN BY: KB
CHECKED BY: MP

REVISIONS

12/21/21 - PERMIT SET

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1331 W IMPERIAL HWY
LA HABRA, CA 90631

EQUIPMENT SCHEDULE

SHEET NUMBER: **Q111**

EQUIPMENT SCHEDULE IS PROVIDED BY CORPORATE APPROVED KEY. CONTRACTOR SHALL CONFIRM MAKE, MODEL AND SIZE PRIOR TO ORDERING ANY EQUIPMENT. IF ANY DISCREPANCIES EXIST IN SIZE, MAKE, OR MODEL, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT AND AWAIT FOR DIRECTION. SHOULD CONTRACTOR ORDER EQUIPMENT WITHOUT CONFIRMATION, CONTRACTOR DOES SO AT OWN RISK AND ANY ASSOCIATED COST.

NOTE: FOR VENDOR CONTACT INFORMATION SEE PROJECT TEAM DIRECTORY ON SHEET 0201

