

THE CITY NOTES

THERE IS NO CHANGE IN BUILDINGS SIZE AND LAND USE TYPES. THEREFORE, NO VMT ANALYSIS AND LOS ANALYSIS REQUIRED.

NPDES NOTES:

- In case of emergency, call _____ at Work Phone # _____ or Home# _____.
- Sediment from areas disturbed by construction shall be retained on site using structural controls to the maximum extent practicable.
- Stockpiles of oil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
- Appropriate BMPs for construction-related materials, wastes, spills shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind runoff.
- Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to reduce or remove sediment and other pollutants.
- All construction contractor and subcontractor personnel are to be made or the required best management practices and good house keeping measures for the project site and any associated construction staging areas.
- At the end of each day of construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
- Construction site shall be maintained in such a condition that an anticipated storm does not carry waste or pollutants off the site. Discharges of material other than stormwater only when necessary for performance and completion of construction practices and where they do not: cause or contribute to a violation of any water quality standard; cause or threaten to cause pollution, contamination, or nuisance; or contain a hazardous substance in a quantity reportable under Federal Regulations 40 CFR Parts 117 and 302.
- Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, glues, limes, pesticides, herbicides, wood preservatives and solvents; asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; fertilizers, vehicle/equipment wash water and concrete wash water, detergent or floatable wastes; wastes from any engine/equipment steam cleaning or chemical degreasing and super chlorinated potables water line flushing. During construction, permittee shall dispose of such materials in a specified and controlled temporary area on site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state, and federal requirements.
- Dewatering of contaminated groundwater, or discharging contaminated soils via surface erosion is prohibited. Dewatering of contaminated groundwater requires a National Pollutant Discharge Elimination System Permit from the respective State Regional Water Quality Control Board.
- Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage is to be directed toward desilting facilities.
- The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.
- The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plans.
- The permittee shall notify all general contractors, subcontractors, material suppliers, lessees, and property owners: that dumping of chemicals into storm drains system or the water is prohibited.
- Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.
- All removable erosion protective devices shall be in place at the end of each working day when the 5-Day Rain Probability Forecast exceeds 40%.
- Sediments from areas disturbed by construction shall be retained on site using an effective combination of erosion and sediment controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to street, drainage facilities of adjacent properties via runoff, vehicle tracking, or wind.
- Appropriate BMP's construction-related materials, waste, spills, or residues shall be implemented and retained on site to minimize transport from the site to street, drainage facilities, or adjoining property by wind or runoff.

BUILDING DATA SUMMARY

SITE ADDRESS: 121, 131, and 241 S. HARBOR BLVD. and 1100 E. LA HABRA BLVD. LA HABRA, CALIFORNIA 90631
 OCCUPANCY GROUP: B
 USE OF STRUCTURE: OFFICE AND BUSINESS
 TYPE OF CONSTRUCTION: VB
 FIRE DEPARTMENT: SPRINKLERED
 NUMBER OF STORIES: ONE
 SITE AREA: 138,700 S.F.
 CODES: 2019 EDITION C.B.C., C.E.C. C.M.C., C.P.C., 2019 CALIFORNIA ENERGY CODE (T-24 CEC) 2019 OCCA

BUILDING AREA SUMMARY

TOTAL EXISTING BUILDING - A AREA: 14,635 SQ.F.
 TOTAL EXISTING BUILDING - B AREA: 10,475 SQ.F.
 TOTAL EXISTING BUILDING - C AREA: 3,532 SQ.F.
 TOTAL EXISTING BUILDING - D AREA: 1,682 SQ.F.
 TOTAL EXISTING BUILDING - E AREA: 2,239 SQ.F.
 TOTAL EXISTING BUILDING AREA: 32,563 SQ.F.

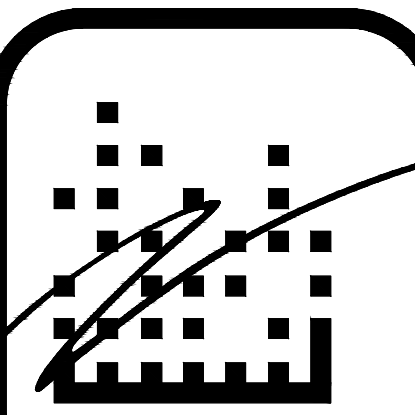
SCOPE OF WORK

- REPAIR AND REPLACE EXISTING EXTERIOR VENEER SURFACES.
- REMOVED AND REPLACED EXISTING ROOF AND UNDERLAYMENT.
- REPLACE EXISTING SOFFIT AND WALL LIGHTING WITH NEW LED FIXTURES SAME LOCATION.
- INSTALL NEW STONE WAINSCOT ALONG THE FRONT ELEVATIONS.
- UPGRADE EXISTING TRASH ENCLOSURE TO COMPLY WITH LATEST THE CITY OF LA HABRA CODES.
- RESURFACE, UPGRADE AND INSTALL LARGE PLAZA SIGNAGE WALLS AND SIGNS TO MATCH WITH NEW COLORS AND MATERIALS FOR MORE INFORMATION BY SIGN COMPANY. SEE MASTER SIGN PROGRAM PLANS (A-7.1 TO A-7.4).
- REPLACE EXISTING TRANSIT SYSTEM PASSENGER SHELTER WITH NEW DESIGN AND MATERIALS AT HARBOR BLVD.
- REPLACED EXISTING PARKING LOT LIGHT FIXTURES AND OUTSIDE SOFFIT LIGHT FIXTURES TO NEW LED LIGHTING FIXTURES.

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THE CITY COMMENTS 08/11/2025	▲

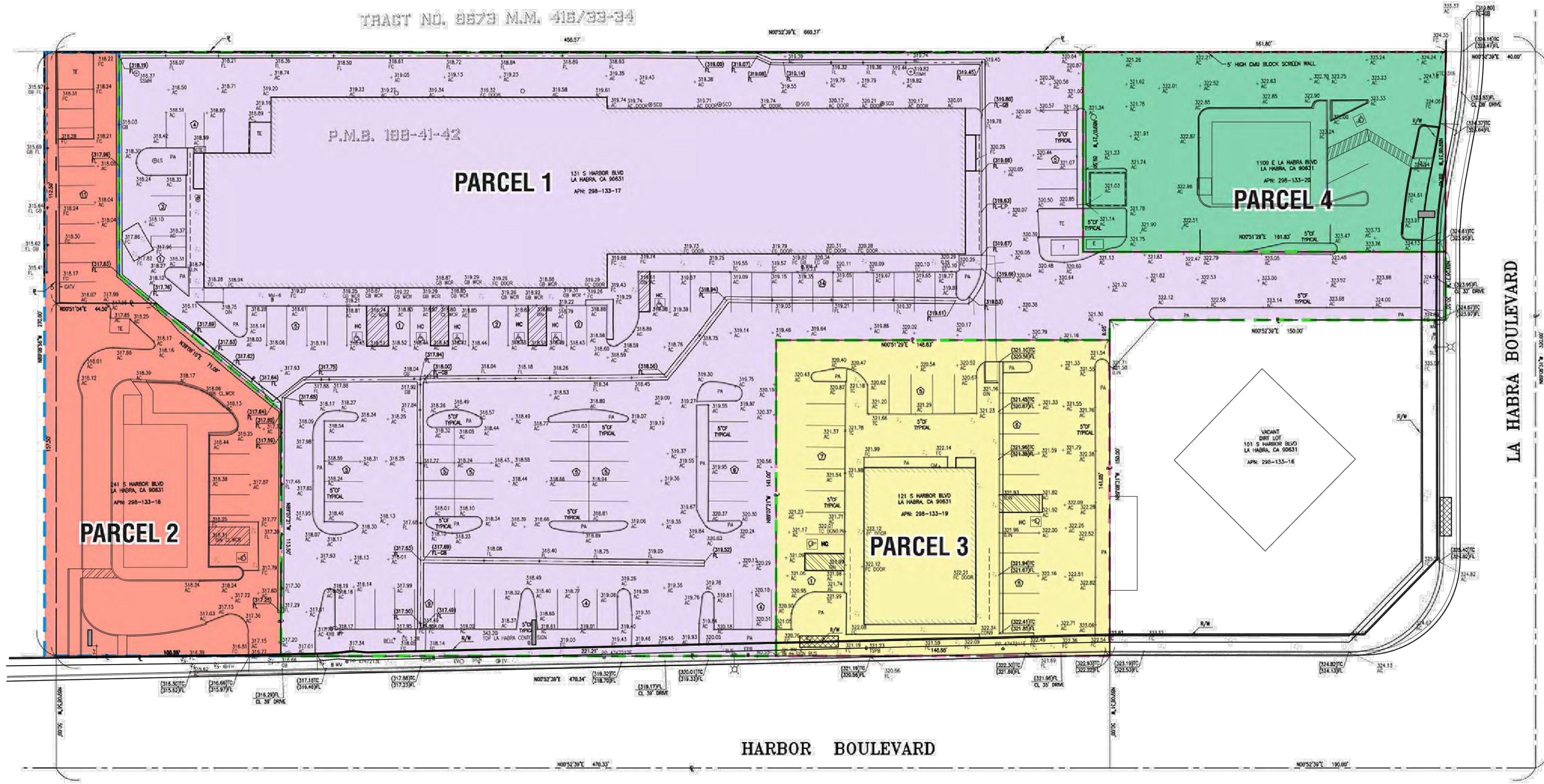
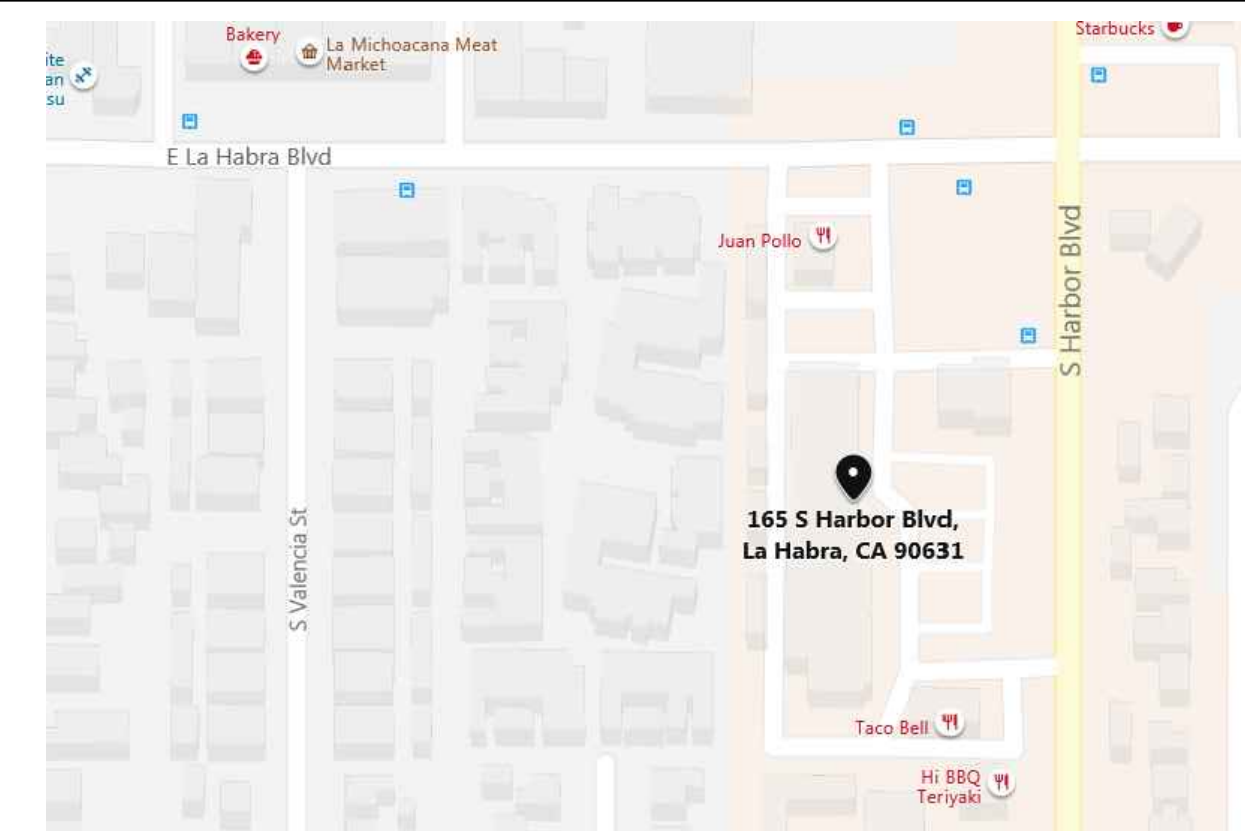


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 FAX: 949-855-4387

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 08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
 121, 131, AND 241 S. HARBOR BLVD.
 and 1100 E. LA HABRA BLVD.
 LA HABRA, CALIFORNIA 90631

VICINITY MAP



SITE PLAN

SCALE: 1"=30'

DRAWN
CHECKED
DATE: 08-11-25
SCALE
JOB NO.
SHEET
A-0

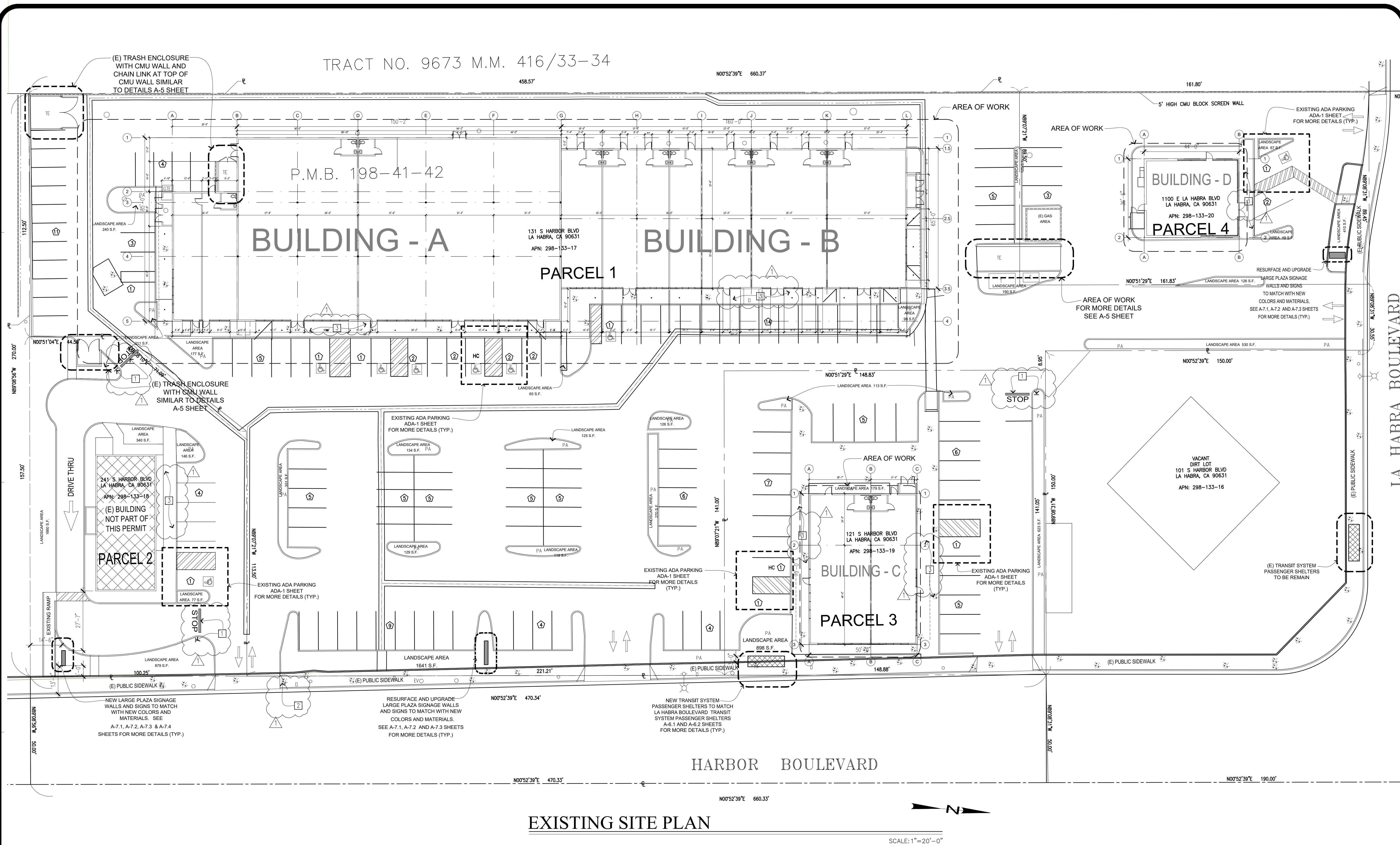
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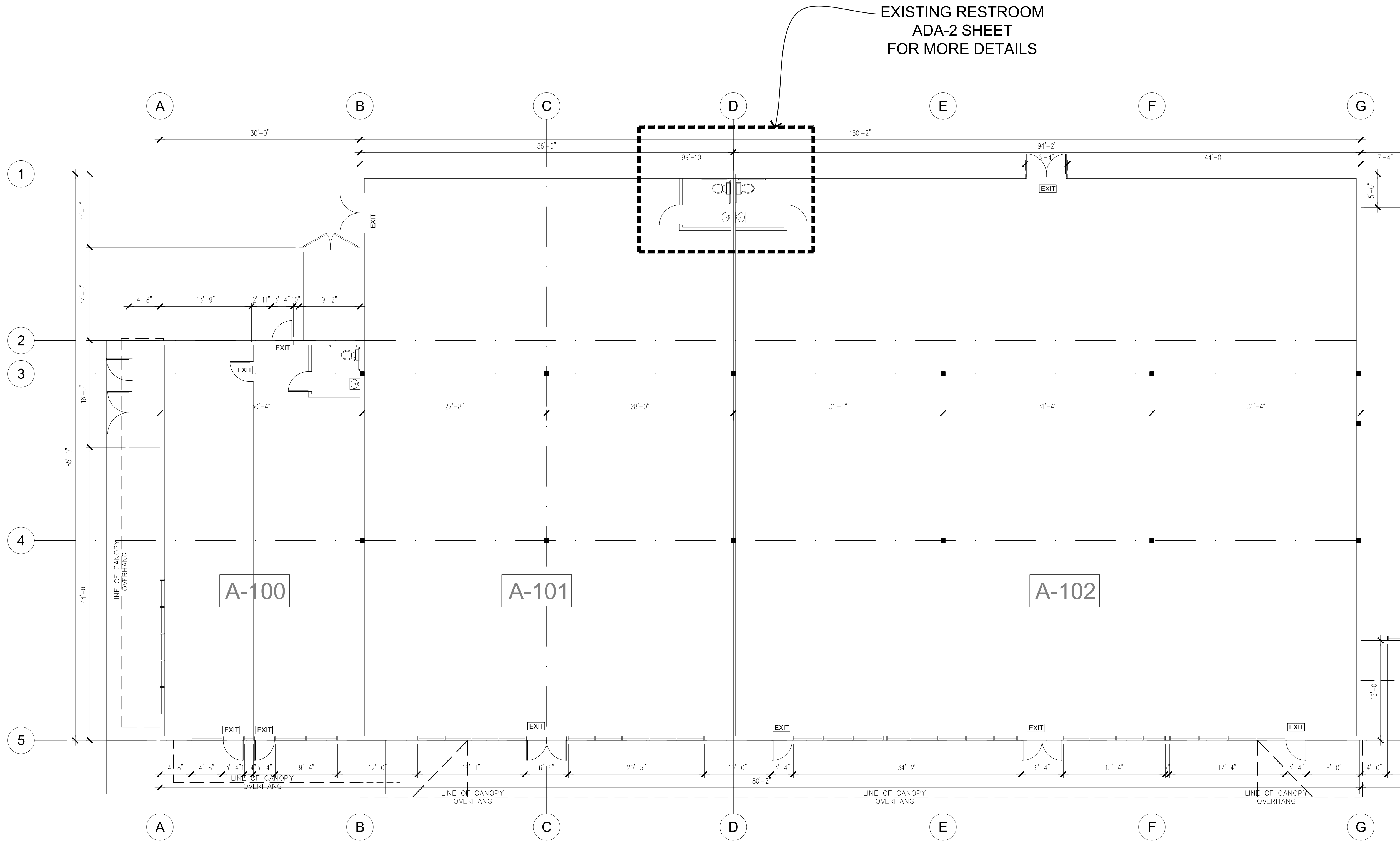
EXISTING SITE PLAN

SCALE: 1" = 20'-0"

- SITE KEYNOTES**
- 1- STOP SIGNS AND STOP LEGENDS.
 - 2- REMOVED AND REPLACED LIFTED SIDEWALK AS REQUIRED.
 - 3- DECORATIVE TRASH CONTAINER WILL BE PROVIDED FOR PEDESTRIANS.

- EXISTING LANDSCAPE AREA NOTES**
- 1- TOTAL PROPERTY LANDSCAPE AREA ARE 10,148 S.F.
 - 2- LANDSCAPE TO BE MAINTAINED TO MAINTAIN ADEQUATE SITE DISTANCE.

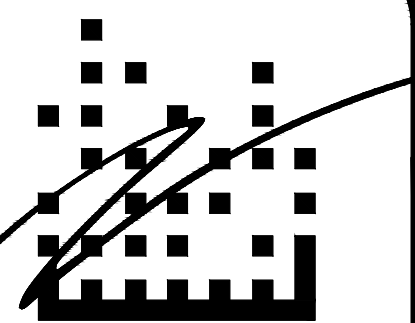
- EXISTING PARKING SPACES NOTES**
- TOTAL PARKING STALLS PROVIDED 137 STALLS
 - 10 ADA PARKING STALL PROVIDED WHICH IS 8 OF THESE ARE ADA VAN ACCESSIBLE STALLS.



EXISTING BUILDING - A FLOOR PLAN

SCALE: 1/8"=1'-0"

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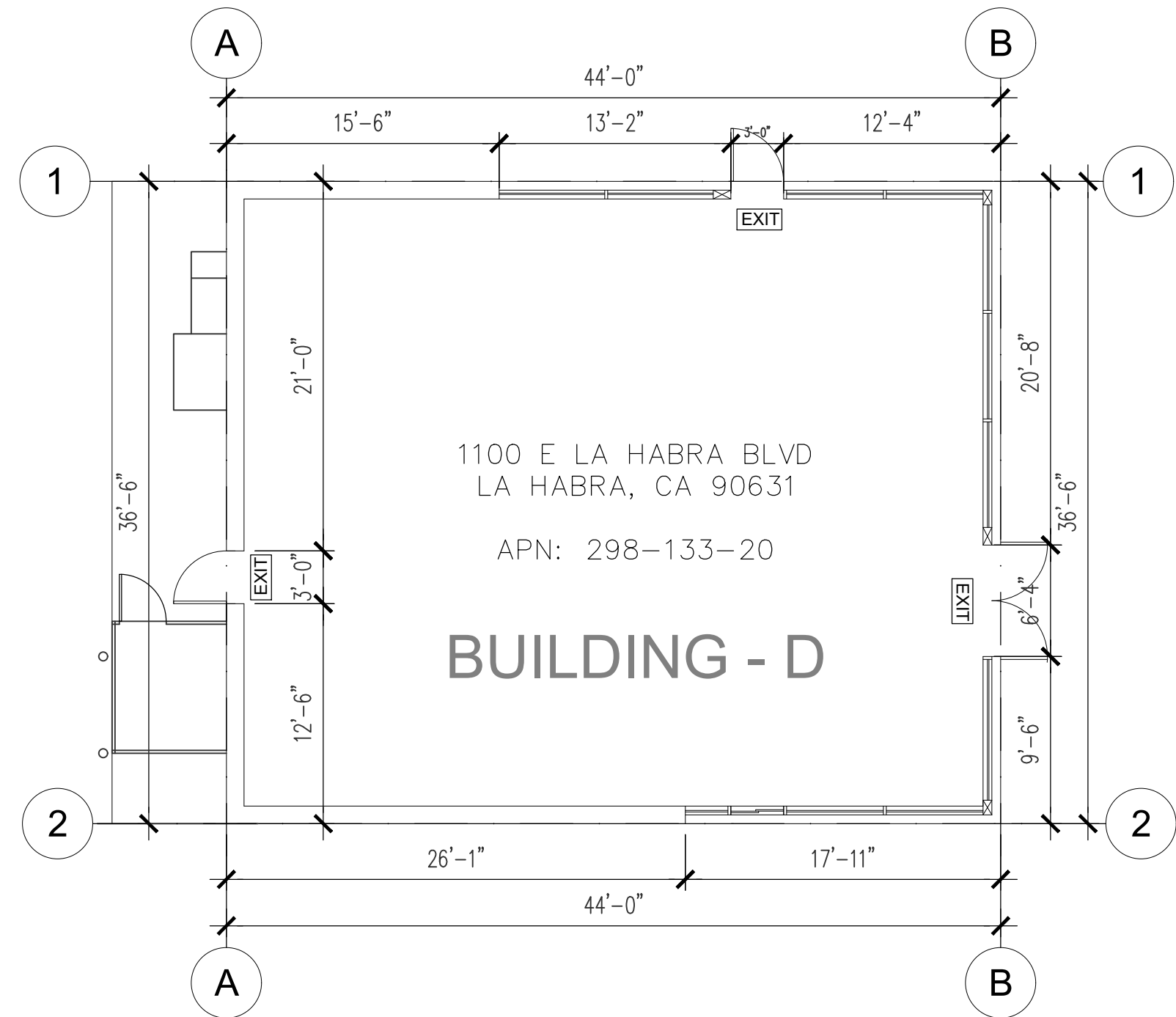
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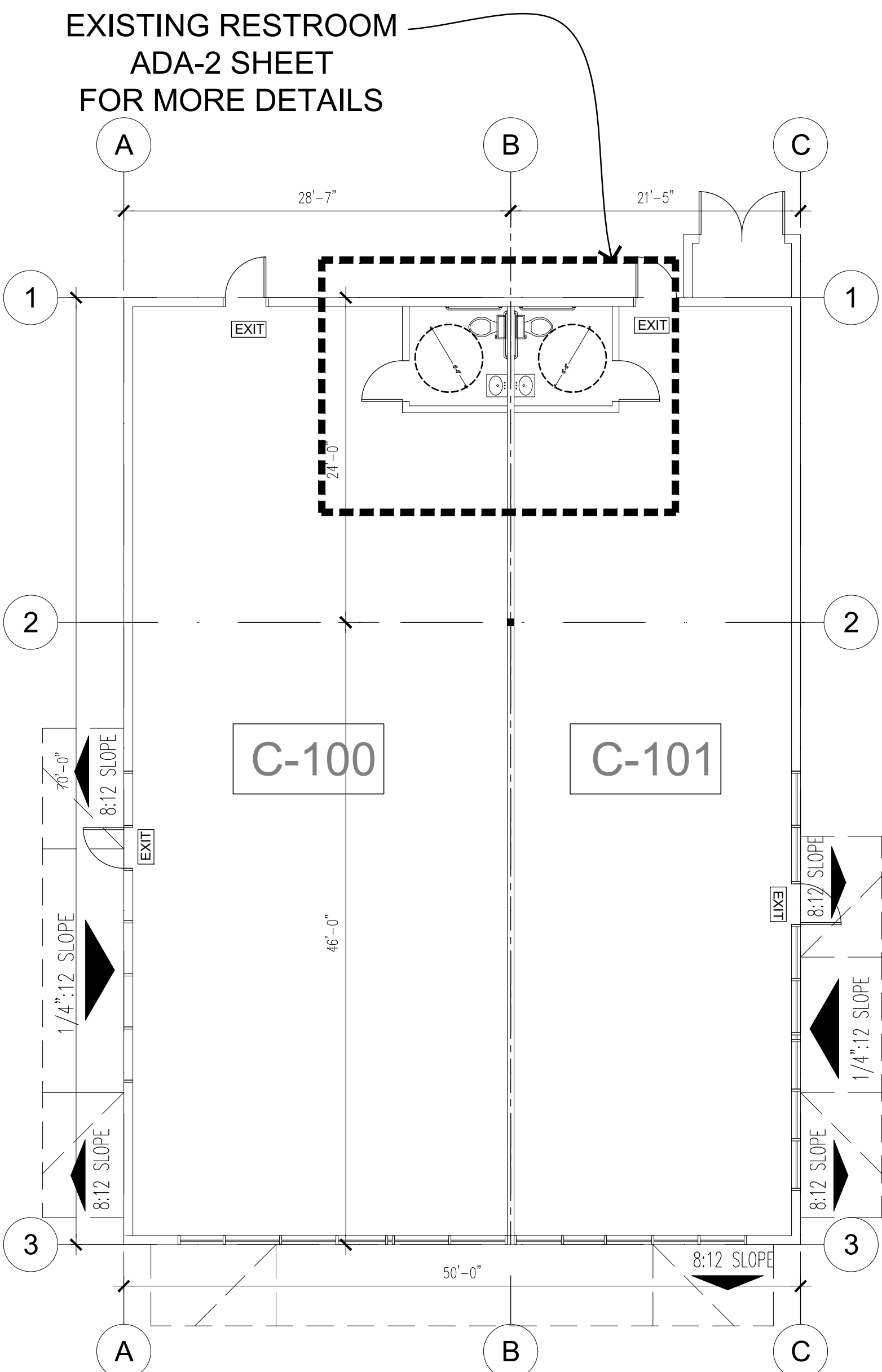
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OF SHEETS



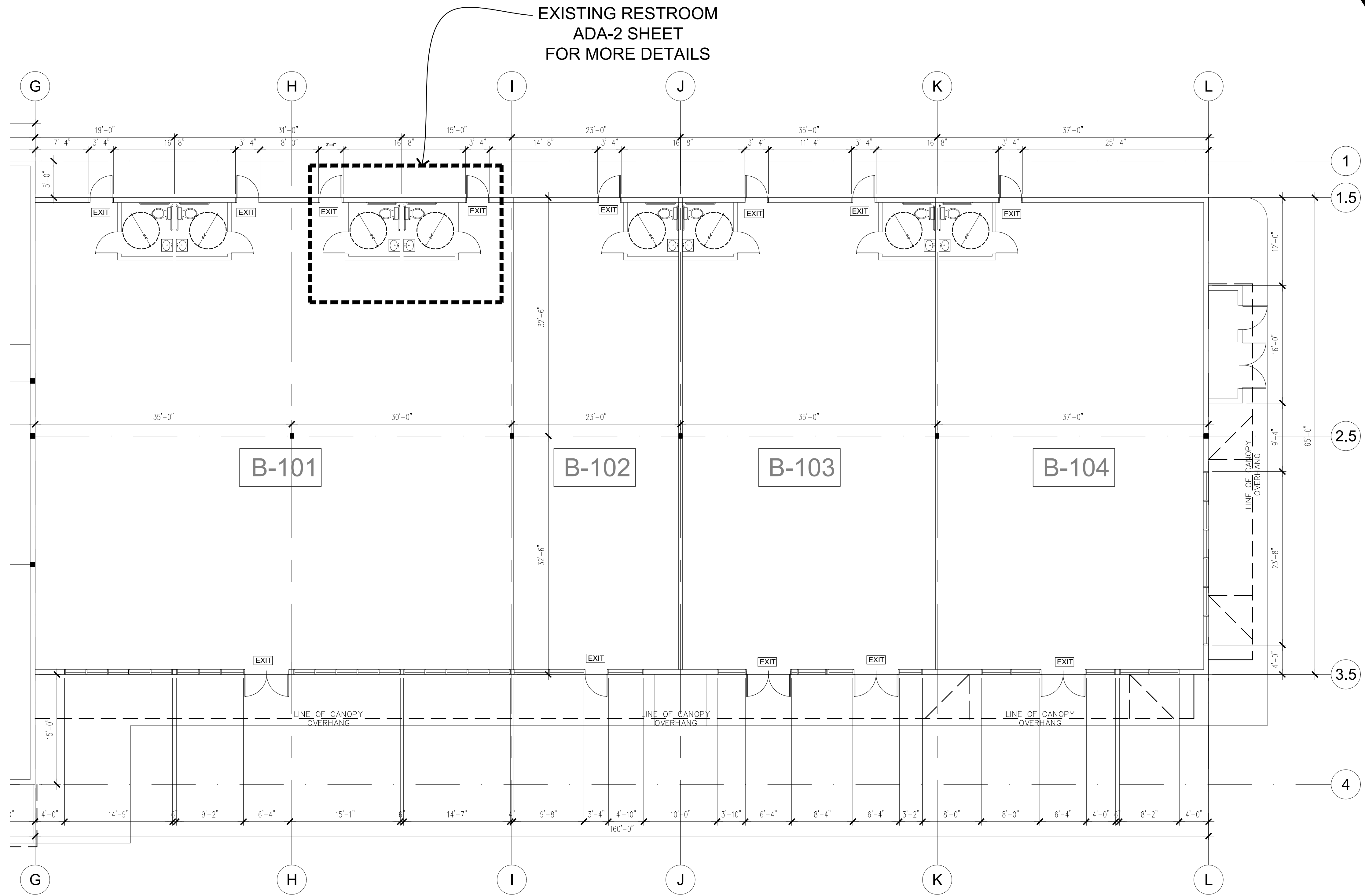
EXISTING BUILDING - D FLOOR PLAN

SCALE: 3/16"=1'-0"



EXISTING BUILDING - C FLOOR PLAN

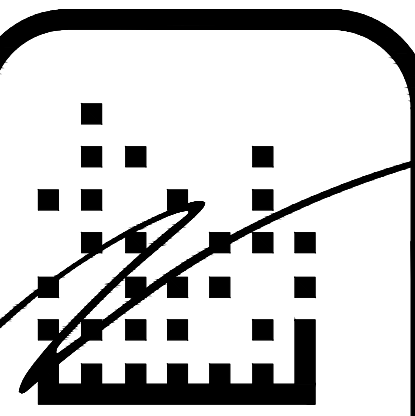
SCALE: 1/8"=1'-0"



EXISTING BUILDING - B FLOOR PLAN

SCALE: 1/8"=1'-0"

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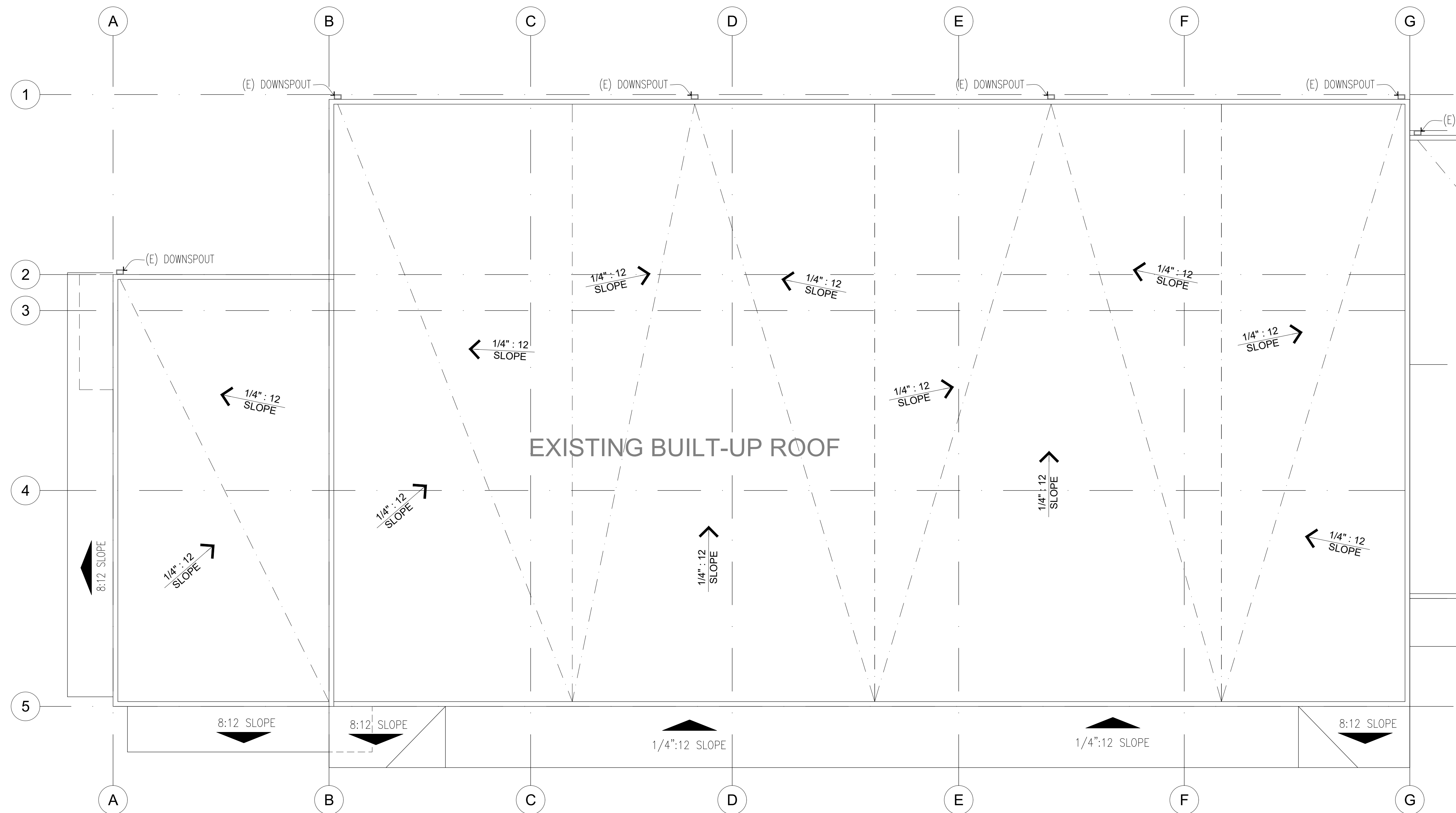
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A-2.2

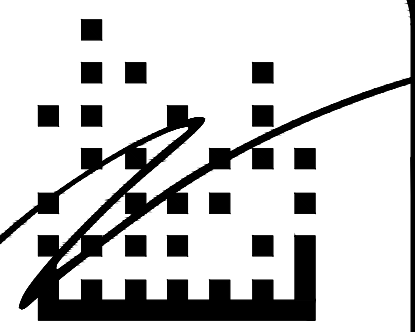
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EXISTING BUILDING - A ROOF PLAN

SCALE: 1/8"=1'-0"

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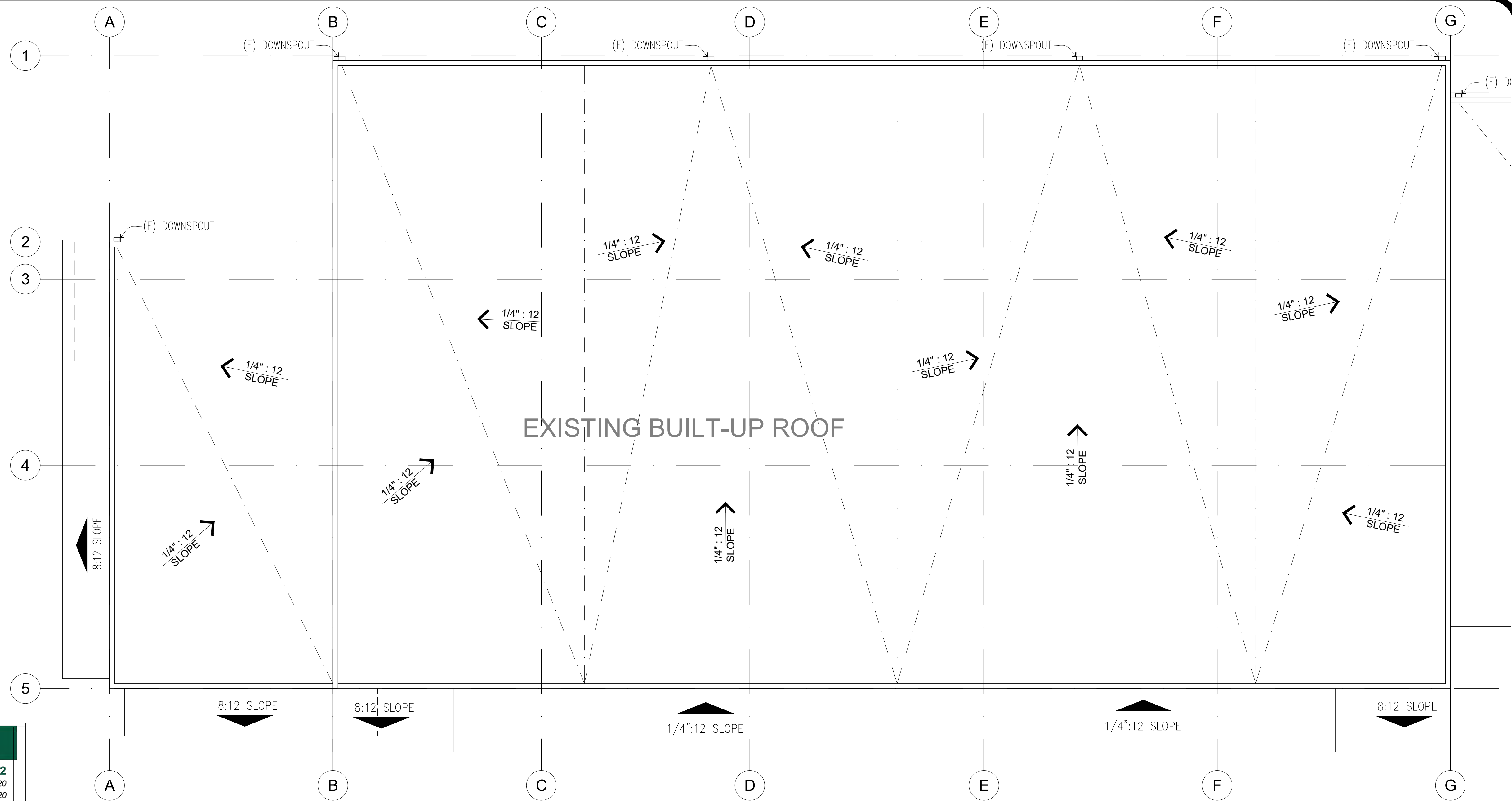
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DATE 08-11-25
SCALE
JOB NO.
SHEET

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OF SHEETS



PROPOSED BUILDING - A ROOF PLAN

SCALE: 1/8"=1'-0"

ESR-1492
 ICC-ES Evaluation Report
 Reissued January 2020
 Revised February 2020
 This report is subject to renewal January 2021.
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DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
Section: 07 30 05—Roofing Felt and Underlayment

REPORT HOLDER:
 CERTAINTEED LLC

EVALUATION SUBJECT:
 CERTAINTEED WINTERGUARD™ SERIES ROOF UNDERLAYMENT: WINTERGUARD™ GRANULAR, WINTERGUARD™ HT, WINTERGUARD™ SAND AND METALAYMENT™

1.0 EVALUATION SCOPE
1.1 Compliance with the following codes:
 ■ 2018, 2015, 2012 and 2009 International Building Code® (IBC)
 ■ 2018, 2015, 2012 and 2009 International Residential Code® (IRC)
 ■ 2013 Abu Dhabi International Building Code (ADIBC)†
 †The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:
 ■ Physical properties
 ■ Ice barrier
 ■ Fire classification

1.2 Evaluation to the following green standards:
 2015, 2012 and 2009 ICC 700 National Green Building Standard™ (ICC 700-2015 and ICC 700-2012 and ICC 700-2008)

Attributes verified:
 See Section 3.1

2.0 USES
 WinterGuard™ Granular, WinterGuard™ HT, WinterGuard™ Sand and Metalayment™ are self-adhering membranes used as alternatives to the ASTM D226, Type I and Type II roofing underlayment specified in Chapter 15 of the IBC and Chapter 9 of the IRC. The underlayment may also be used as an alternative to the ice barrier required by IBC Chapter 15 and IRC Chapter 9. The underlayment may also be used as a component of a classified roofing assembly when installed as described in Section 4.4 of this report.

ESR-1492 | Most Widely Accepted and Trusted Page 2 of 2

3.0 DESCRIPTION
3.1 General:
 The underlayments are self-adhering membranes manufactured on a fiberglass substrate coated with a modified bitumen compound, each having a different top exposed surface. The underside of each membrane is provided with a siliconized release film which is removed prior to application of the membrane to the roof deck.

The attributes of the WinterGuard™ Granular, WinterGuard™ HT, WinterGuard™ Sand and Metalayment™ underlayments have been verified as conforming to the requirements of (i) ICC 700-2015 and ICC 700-2012 Sections 602.1.13, 11.602.1.13 and 12.5.602.1.14; and (ii) ICC 700-2009 Section 602.10 for ice barriers. Note that decisions on compliance for those areas rest with the user of this report. The user is advised of the project-specific provisions that may be contingent upon meeting specific conditions, and the verification of those conditions is outside the scope of this report. These codes or standards often provide supplemental information as guidance.

3.2 WinterGuard™ Series:
3.2.1 WinterGuard™ Granular: This underlayment is surfaced with fine black mineral particles and is supplied in rolls 36 inches (914 mm) wide, 65 feet (20 m) long, and nominally 70 mils (1.75 mm) thick.
3.2.2 WinterGuard™ HT: This underlayment is surfaced with a plastic film and is supplied in rolls 36 inches (914 mm) wide, 32.5 feet (10 m) or 65 feet (20 m) long, and nominally 45 mils thick.
3.2.3 WinterGuard™ Sand: This underlayment is surfaced with sand and is supplied in rolls 36 inches (914 mm) wide, either 32.5 feet (10 m) or 65 feet (20 m) long, and nominally 60 mils thick.
3.3 Metalayment™:
 This underlayment is surfaced with a textured plastic film, and is supplied in rolls 39 1/2 inches (1000 mm) wide, 61 feet (18.6 m) long, and nominally 60 mils thick.

4.0 INSTALLATION
4.1 General:
 Installation of the underlayments must comply with the applicable code, this report, and the manufacturer's published installation instructions. The installation instructions must be available at the jobsite at all times during installation. The instructions within this report govern if there are any conflicts between the manufacturer's instructions and this report.

4.2 Application:
 Roof decks must be dry, and free of dust, dirt, loose nails, or other protrusions to assure a clean surface for good adhesion. Installation of the WinterGuard™ Series membranes is limited to solid sheathed decks of plywood or oriented strand board (OSB) substrates. Installation of the Metalayment™ is limited to solid sheathed decks of plywood. Use of a primer is not required. The membrane is applied by peeling back the siliconized backer 1 to 2 feet (300 to 600 mm) to align the membrane on the lower edge of the roof, and then applying the remainder of the membrane directly to the roof deck by removing the backer and pressing the membrane into place. The WinterGuard™ Granular and HT membranes, and the Metalayment™ must be lapped a minimum of 4 inches (100 mm) on sides and 8 inches (150 mm) on ends. The WinterGuard™ Sand membranes must be lapped a minimum of 6 inches (150 mm) on both sides and ends. If the membrane becomes misaligned, the roll must be cut and restarted, overlapping the ends a minimum of 6 inches (150 mm). Installation of the roof covering can proceed immediately following application of the membrane. The membrane must be covered by an approved roof covering as soon as possible. For reroofing application, the same procedures apply after removal of the existing roof covering and roofing felts to expose the roof deck.

4.3 Ice Barrier:
 In areas of the roof required to have an ice barrier under IBC Chapter 15 or IRC Chapter 9, a single layer of WinterGuard™ Granular, WinterGuard™ HT, WinterGuard™ Sand or Metalayment™ must be installed in sufficient courses so that the underlayment extends from the eave's edge up the roof for a minimum distance of 24 inches (610 mm) inside the exterior wall line of the building. The roof underlayment, in the field of the roof, must overlap the ice barrier.

4.4 Classified Roofs:
 The roofing underlayments may be used as a component of a classified roof assembly consisting of Class A or Class C glass fiber mat shingles or Class C asphalt organic shingles complying with the applicable code, when installed in accordance with this report over a minimum 1/2-inch-thick (11.9 mm) plywood deck.

Under the IBC, the underlayments may be used in Class A roof assemblies that include the roof coverings specified in the exceptions to IBC Section 1505.2.
 Under the IRC, the underlayments may be used in Class A roof assemblies that include the roof coverings specified in the exceptions to Section R902.1.

5.0 CONDITIONS OF USE
 The CertainTeed underlayments described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

5.1 Installation must comply with this report, the applicable code and the manufacturer's published installation instructions. In the event of conflict between the published installation instructions and this report, this report governs.
5.2 WinterGuard™ Series underlayments must be limited to use as underlayments or ice barriers for mechanically fastened roof coverings on solid sheathed plywood or OSB roof decks.
5.3 Metalayment™ must be limited to use as underlayment or ice barrier for mechanically fastened roof coverings on solid sheathed plywood roof decks.
5.4 Installation must be limited to roofs with a slope of 2:12 (16.67%) or greater or to the minimum slope required for the roof covering in accordance with the applicable code, whichever is greater.
5.5 Installation must be limited to use with roof coverings that do not involve hot asphalt or coal-tar-pitch.
5.6 Installation must be limited to roofs with ventilated attic spaces.
5.7 The membranes must be installed only when the ambient air and substrate temperatures at the time of installation are above 40°F (4.4°C).
5.8 The products are manufactured at the CertainTeed LLC's facilities in Little Rock, Arkansas and Shakopee, Minnesota, under a quality control program with inspections by ICC-ES.

6.0 EVIDENCE SUBMITTED
6.1 Data in accordance with the ICC-ES Acceptance Criteria for Roof Underlayments (AC188), dated February 2012 (editorially revised May 2018).
6.2 Data in accordance with ICC-ES Acceptance Criteria for Roof Underlayment for Use as Ice Barriers (AC48), dated February 2012 (editorially revised May 2018).
6.3 Test reports in accordance with UL 790 (ASTM E108) for fire classification.
6.4 Test report for Metalayment™ in accordance with ASTM D1970.
7.0 IDENTIFICATION
7.1 Each carton of CertainTeed WinterGuard™ Series (WinterGuard™ Granular, WinterGuard™ HT and WinterGuard™ Sand) and Metalayment™ roof underlayment must be identified with the product trade name, the CertainTeed LLC name and address, and the roof assemblies that include the roof coverings specified in the exceptions to Section R902.1.
7.2 The report holder's contact information is the following:
 CERTAINTEED LLC
 20 MOORES ROAD
 MALVERN, PENNSYLVANIA 19355
 (610) 893-6000
 www.certainteed.com

ROOF UNDERLAYMENT ICC REPORT

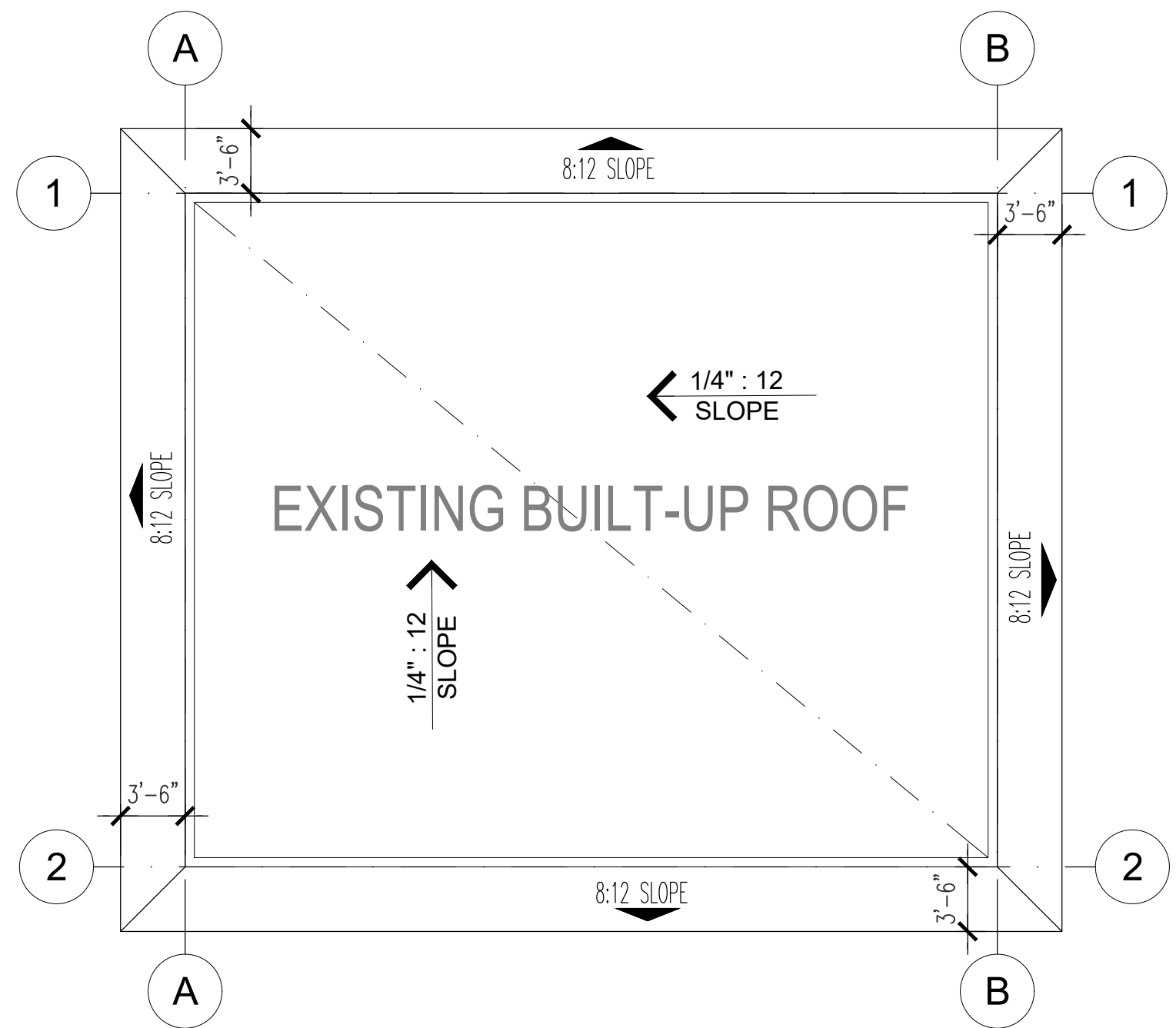
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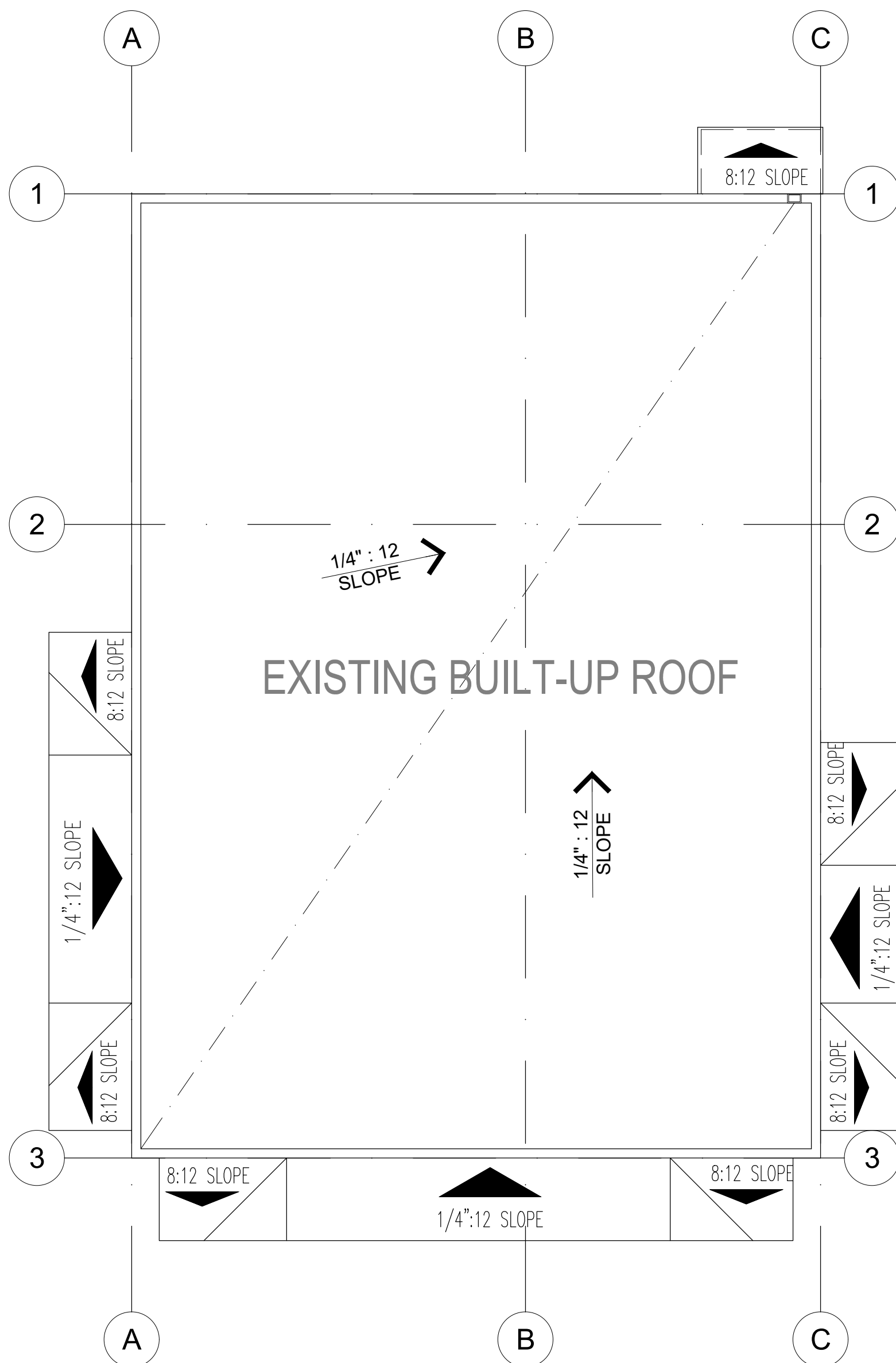
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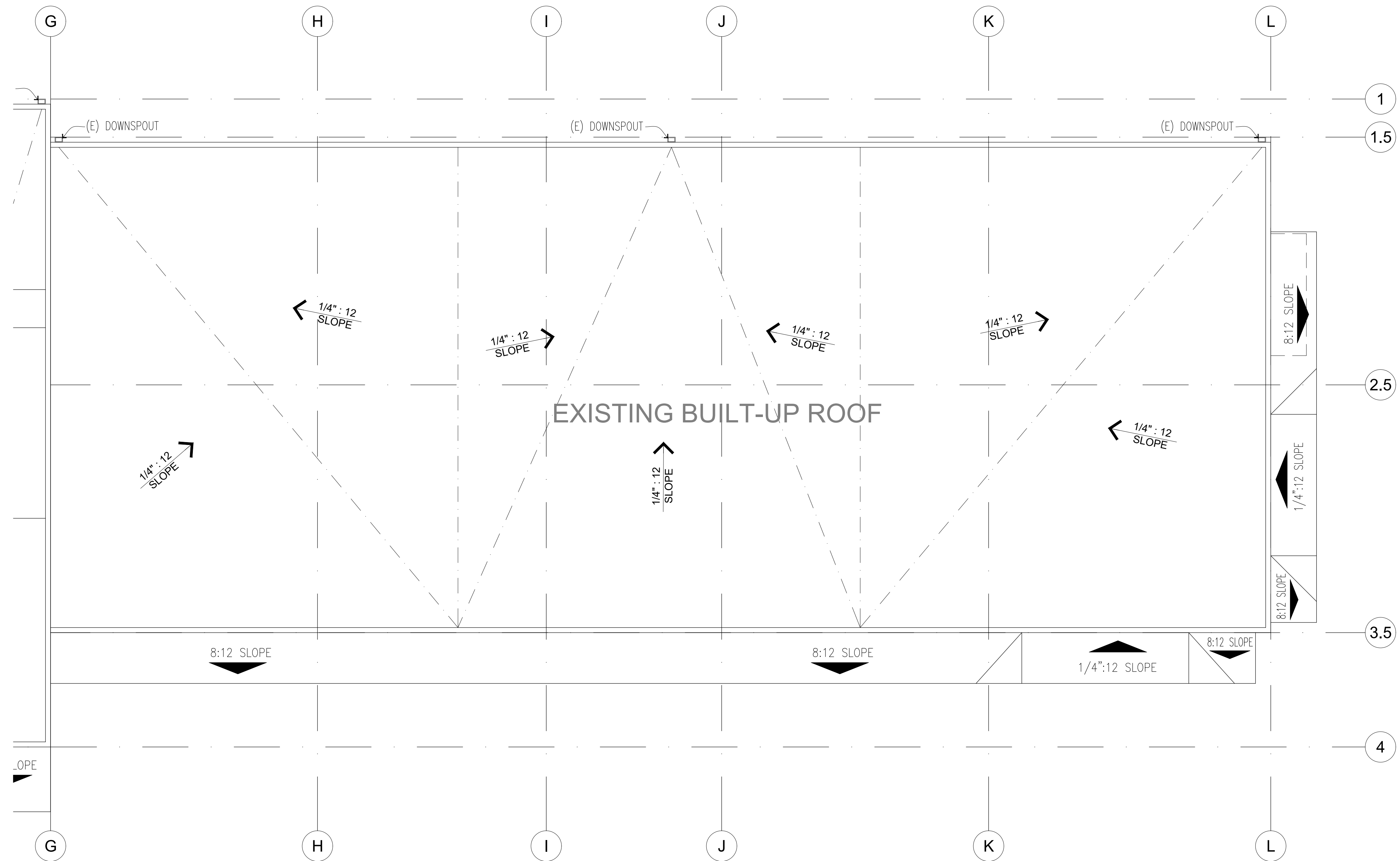
EXISTING BUILDING - D ROOF PLAN

SCALE: 1/8"=1'-0"



EXISTING BUILDING - C ROOF PLAN

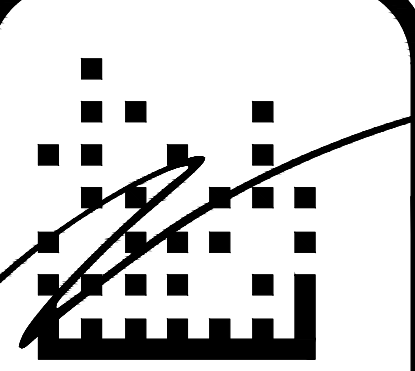
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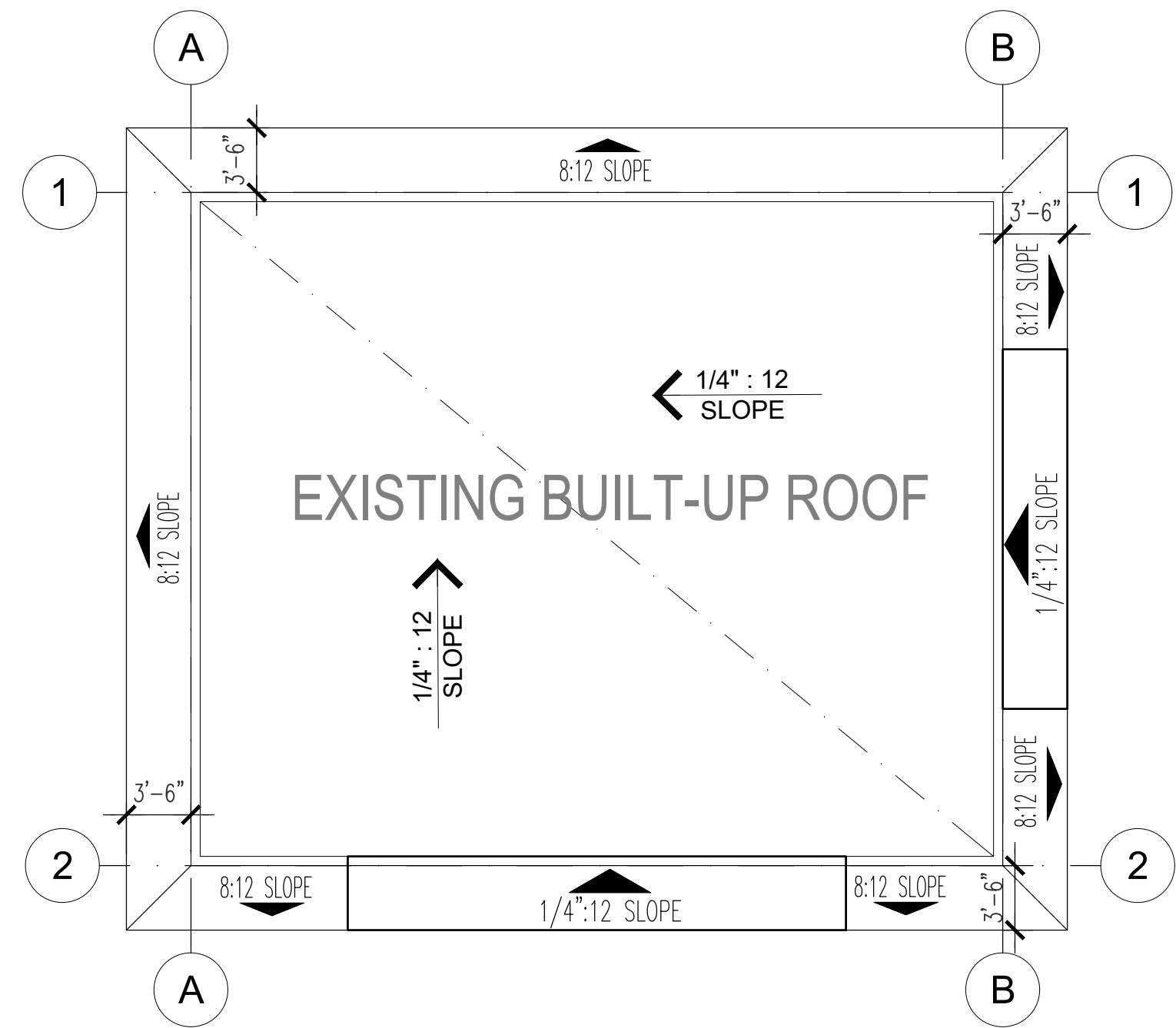
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LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET

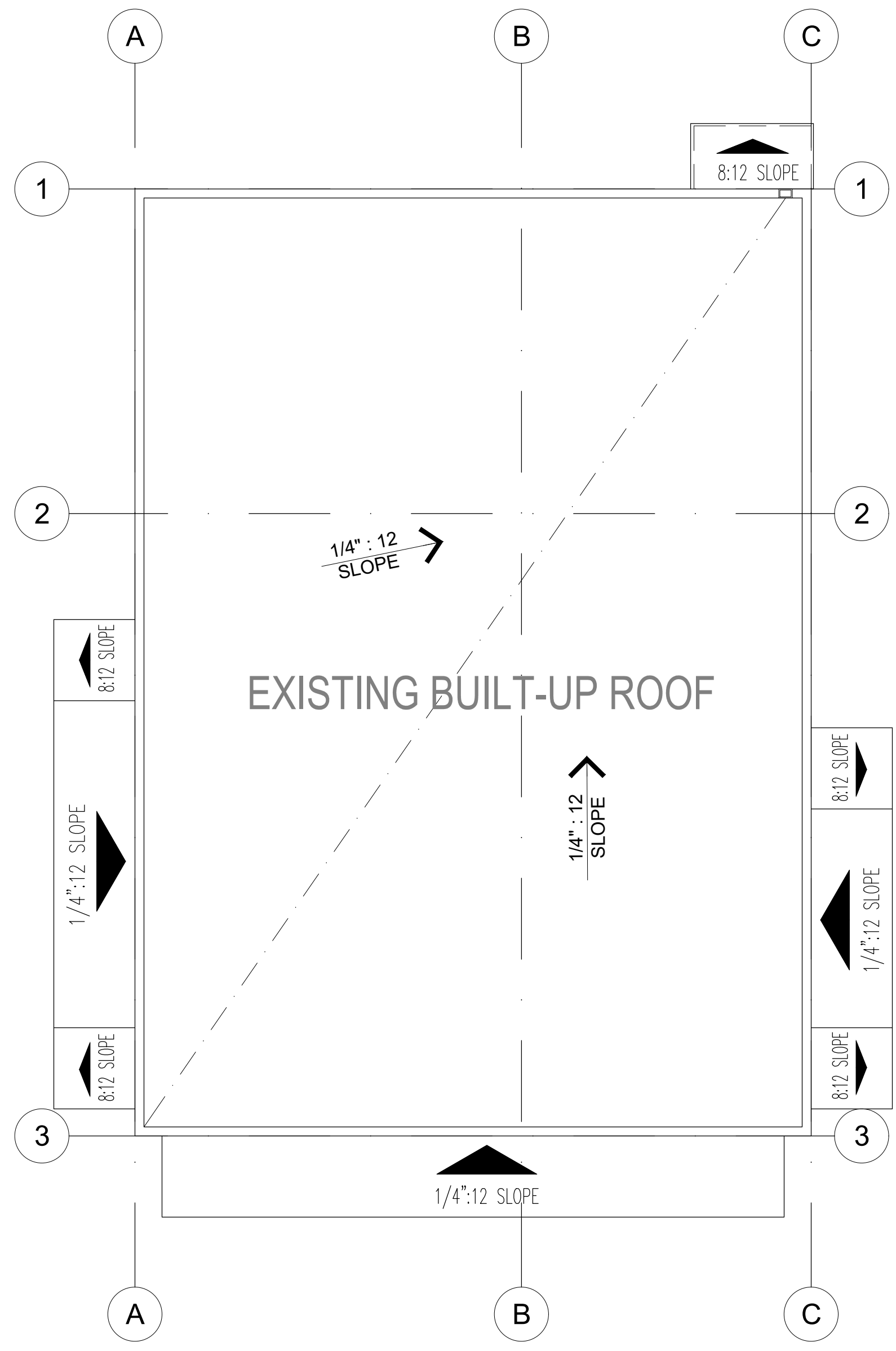
A3.3

OF SHEETS



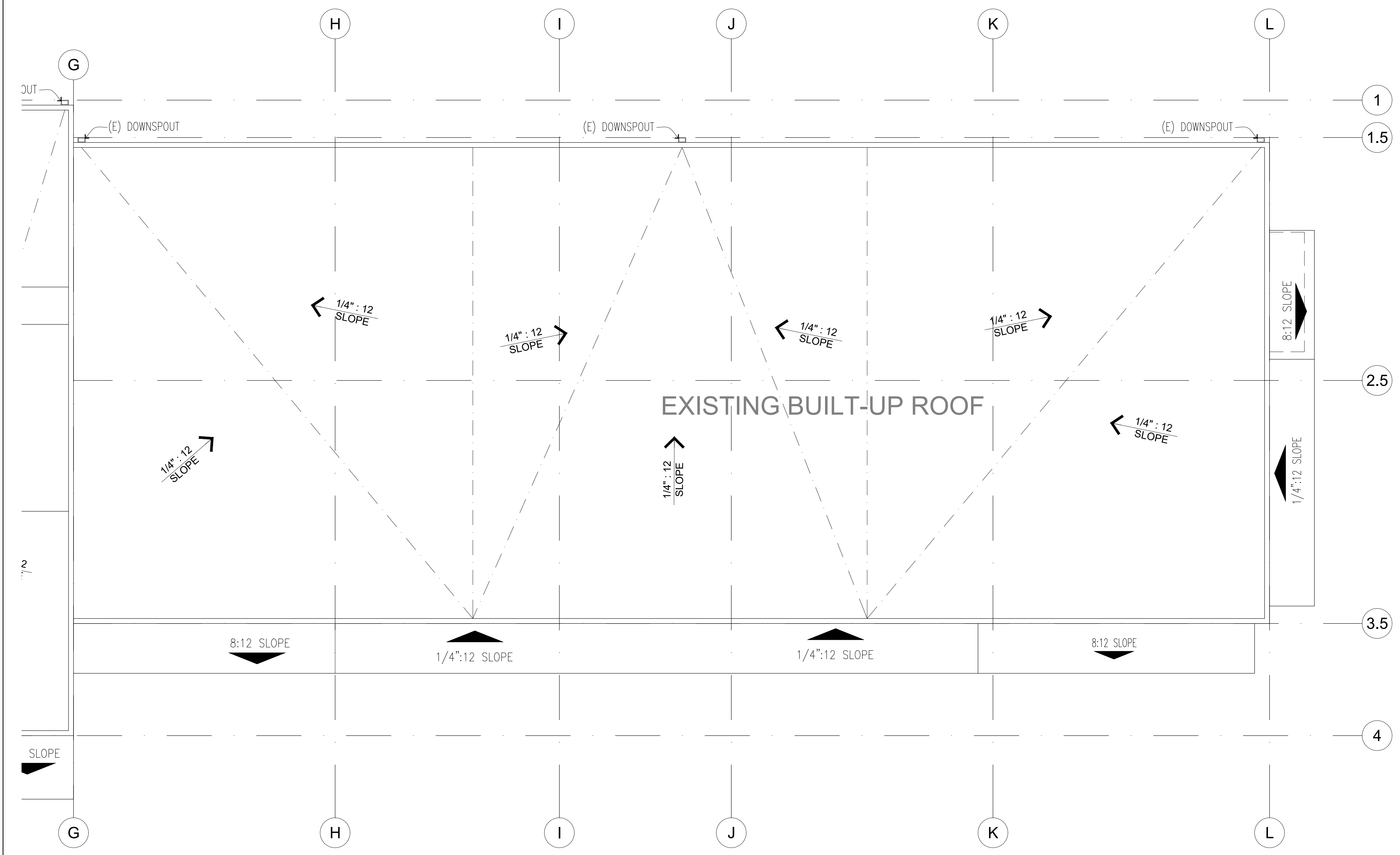
PROPOSED BUILDING - D ROOF PLAN

SCALE: 1/8" = 1'-0"



PROPOSED BUILDING - C ROOF PLAN

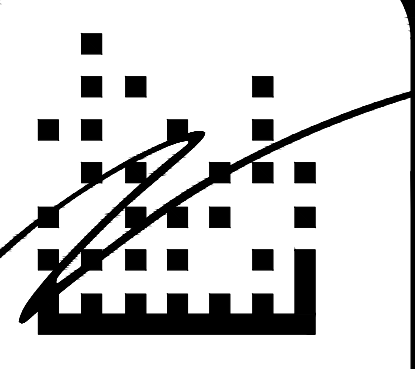
SCALE: 1/8" = 1'-0"



PROPOSED BUILDING - B ROOF PLAN

SCALE: 1/8" = 1'-0"

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THE CITY COMMENTS 08/11/2025	▲



MANZER + ASSOCIATES
24275 PONCHARTRAIN LANE
LAKE FOREST, CA 92630
949-768-6546
FAX:
949-855-4387

[Signature]
08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

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A-3.4
OF SHEETS

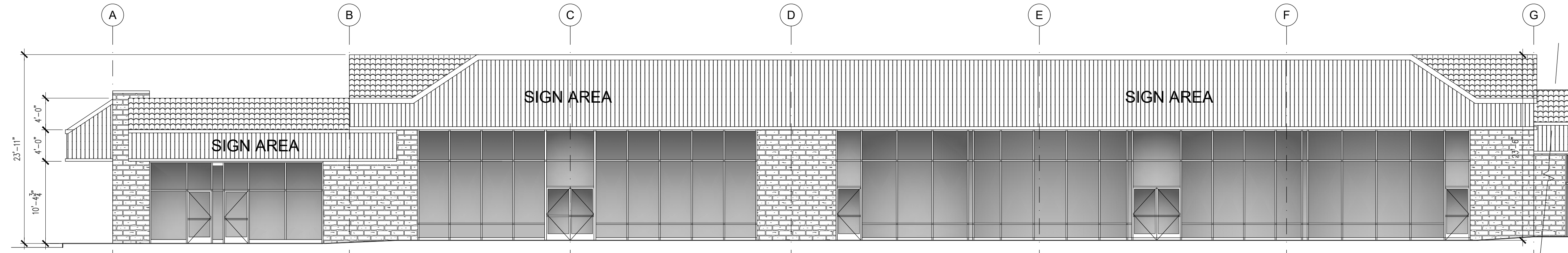
ELEVATIONS KEY NOTES:

- 1 NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD CHAPARRAL (DEC 745)
- 2 NEW 48" HIGH STONE.
ELDORADO STONE MOUNTAIN LEDGE SIERRA
- 3 REMOVED EXISTING SIDING, REPLACED WITH NEW STUCCO OVER FOAM BOARD OVER (E) PLYWOOD.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- 4 NEW FOAM CORNICE CAP. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
- 5 REPLACED EXISTING FACIA AT EDGE OF ROOF.
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- 6 NEW EDGE TRIM AT EDGE OF CANOPY.
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
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- 9 REMOVED EXISTING TILE ROOF AND REPLACED WITH NEW ROOF TILE TO MATCH WITH EXISTING MATERIAL AND COLOR. (SEE ROOF PLAN FOR EXISTING, REPLACE AND NEW ROOF AREA AND A-3.2 FOR UNDERLAYMENT ROOF SPECIFICATION.)
- 10 REPLACED EXISTING SIGNS WITH NEW SIGNS FOR MORE INFORMATION SEE A-7.1 AND A-7.2 SHEETS AND ELEVATION SIGN NOTE.
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- 13 NEW DECORATIVE WALL MOUNTED LIGHT FIXTURES.
- 14 NEW BUILT-UP PLASTER ELEMENT.
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THE SECURITY LIGHTS SHALL BE INSTALLED IN A MANNER THAT INCLUDES SHIELDS TO CONTAIN THE LIGHT ONSITE AND NOT OVERSPILL ONTO ADJACENT PROPERTIES.

SIGNS NOTE:
THE SP-1 ZONE PERMIT WALL SIGNS WITH A MAXIMUM AREA NOT TO EXCEED 2 SQUARE FEET PER LINEAL FOOT OR STORE FRONTAGE. (SEE SHEETS A-7.1 TO A-7.4)

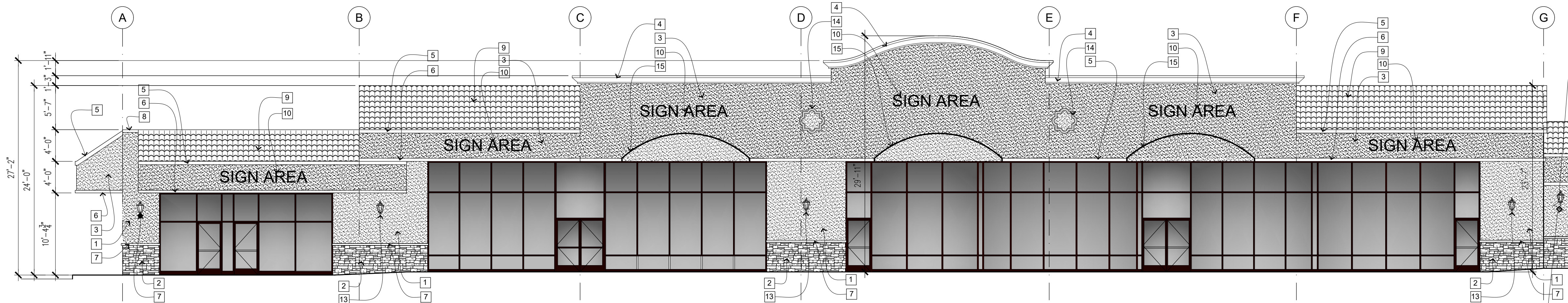
COLOR AND MATERIAL NOTE:
FOR COLORS, MATERIAL AND SIZES SEE A-10 SHEET.

ROOF TOP EQUIPMENT NOTE:
ALL ROOF MOUNTED EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW



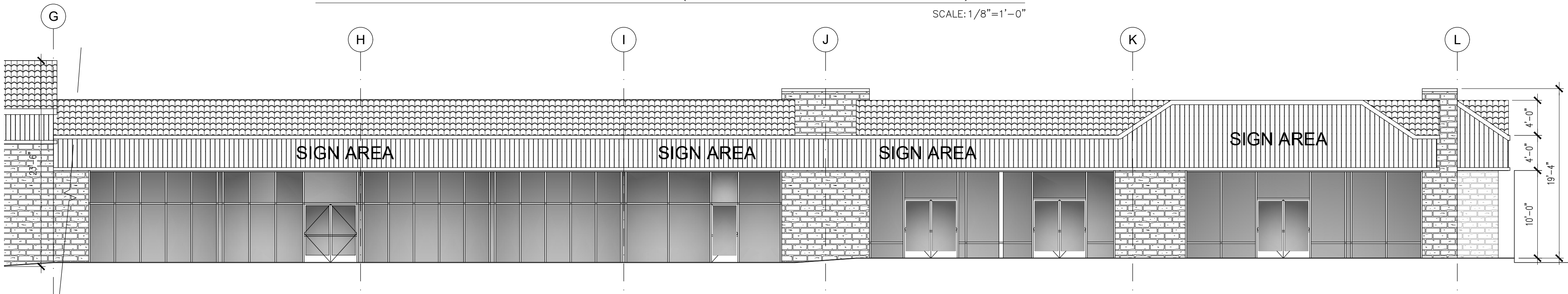
EXISTING BUILDING - A (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



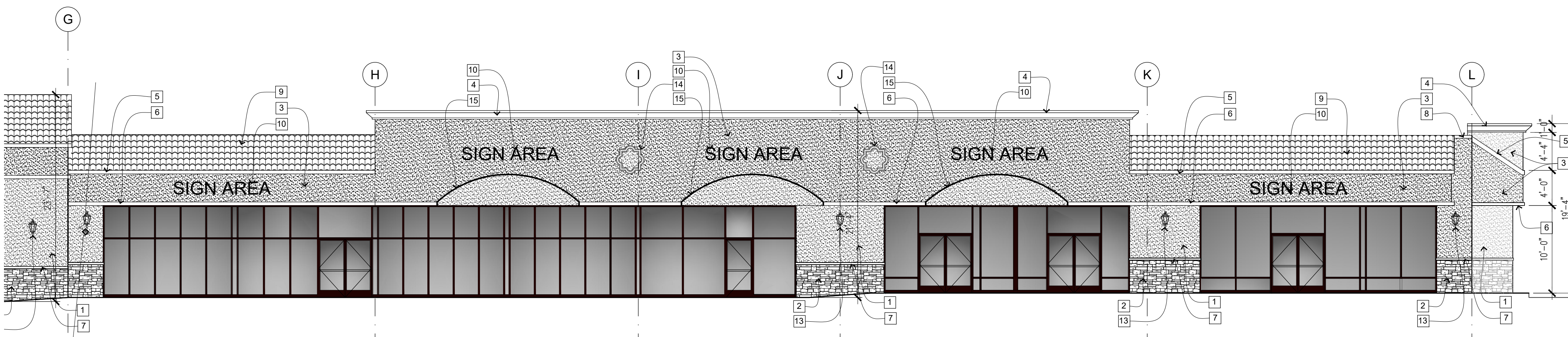
PROPOSED BUILDING - A (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - B (FRONT ELEVATION)

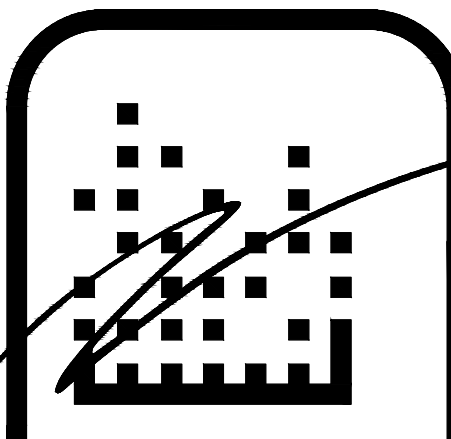
SCALE: 1/8"=1'-0"



PROPOSED BUILDING - B (FRONT ELEVATION)

SCALE: 1/8"=1'-0"

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LA HABRA, CALIFORNIA 90631

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OF SHEETS

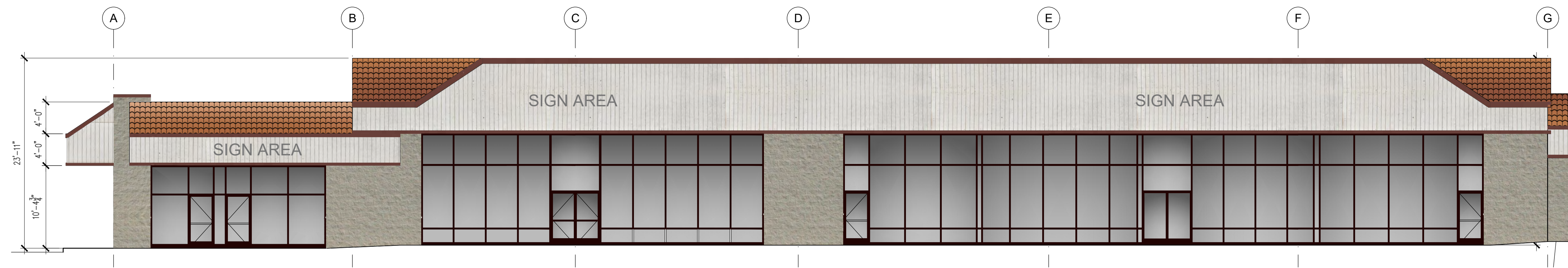
ELEVATIONS KEY NOTES:

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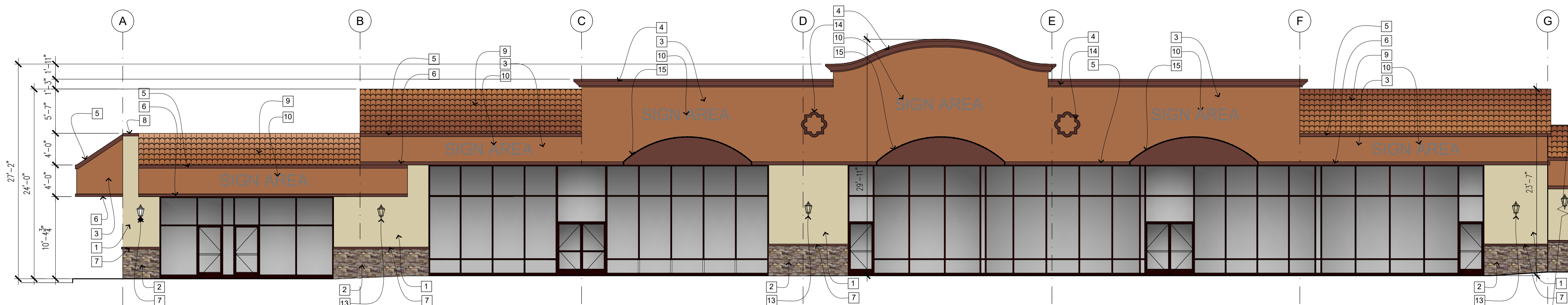
SIGNS NOTE:
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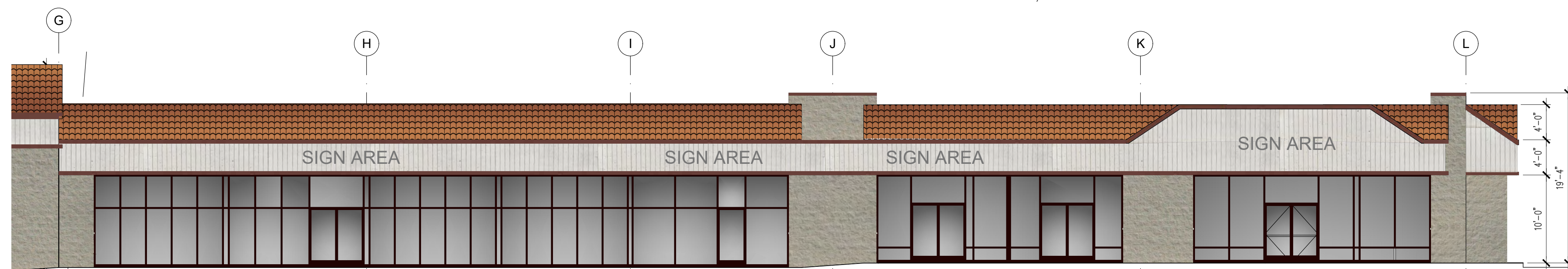
EXISTING BUILDING - A (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



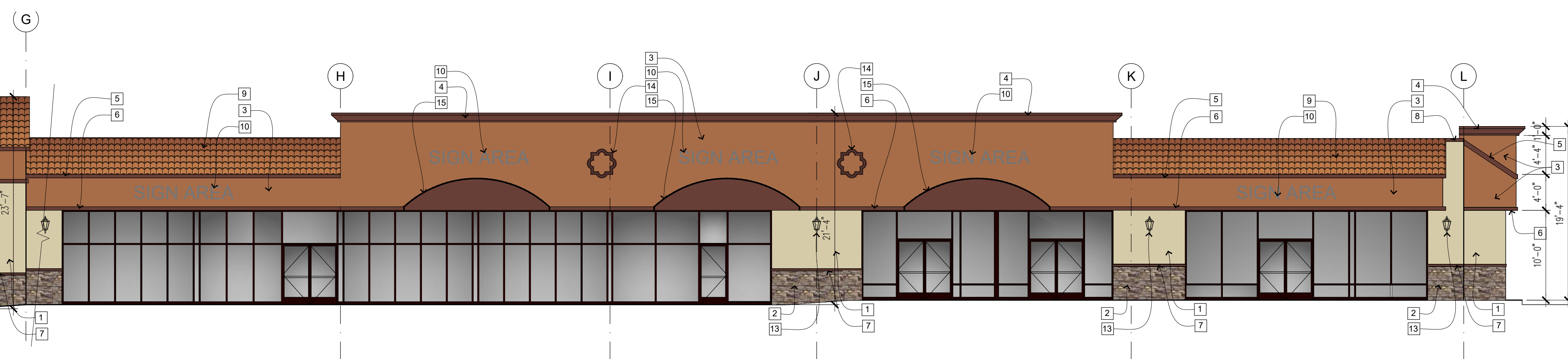
PROPOSED BUILDING - A (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - B (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



PROPOSED BUILDING - B (FRONT ELEVATION)

SCALE: 1/8"=1'-0"

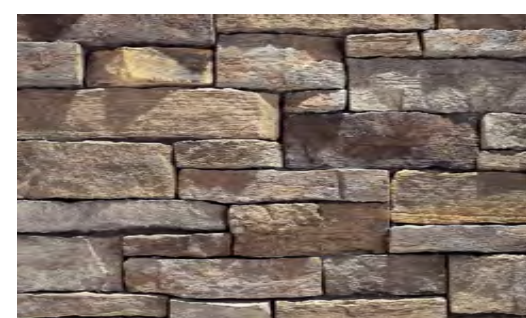
La Habra Center

Color board

Cornice Trim

Facia - Storefront overhang

New plaster - CMU



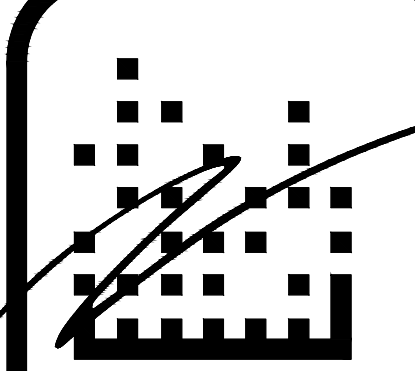
ELDORADO STONE MOUNTAIN LEDGE SIERRA



NEW ROOF TILE TO MATCH EXISTING MATERIAL AND COLOR

COLOR AND MATERIAL NOTE:
FOR COLORS, MATERIAL AND SIZES SEE A-10 SHEET.

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LA HABRA, CALIFORNIA 90631

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A-4.1A

ELEVATIONS KEY NOTES:

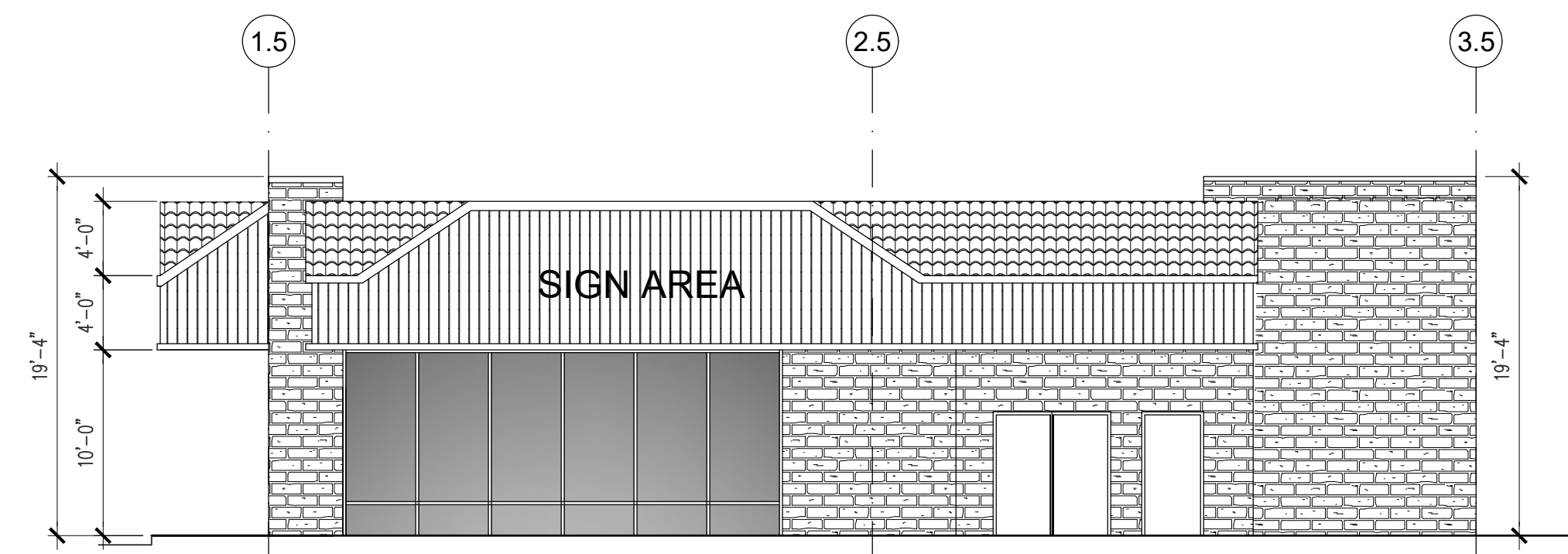
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SIGNS NOTE:

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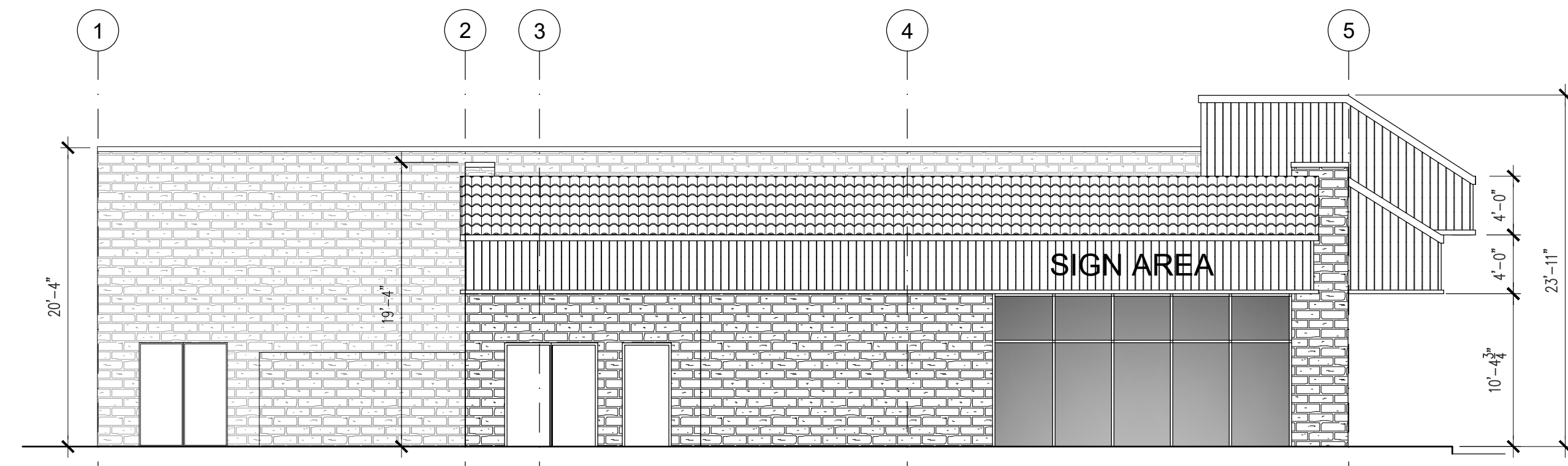
COLOR AND MATERIAL NOTE:

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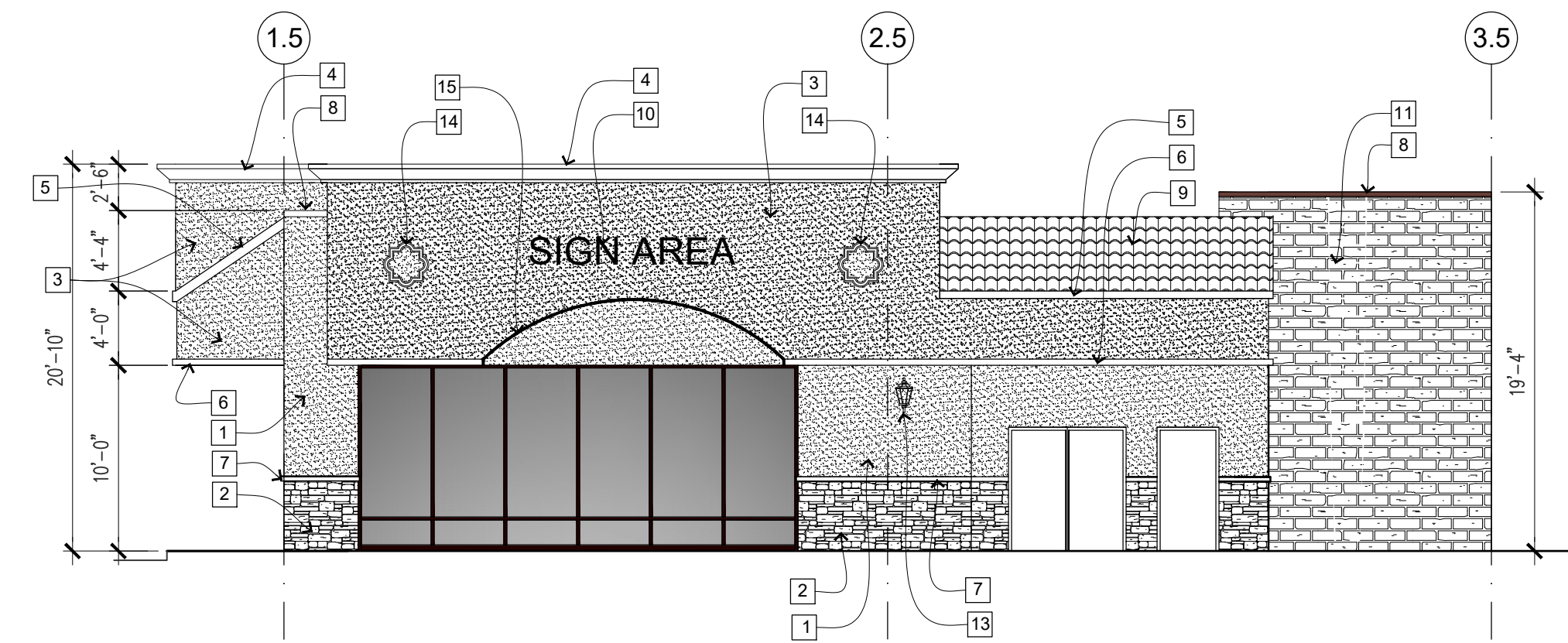
EXISTING BUILDING - B (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



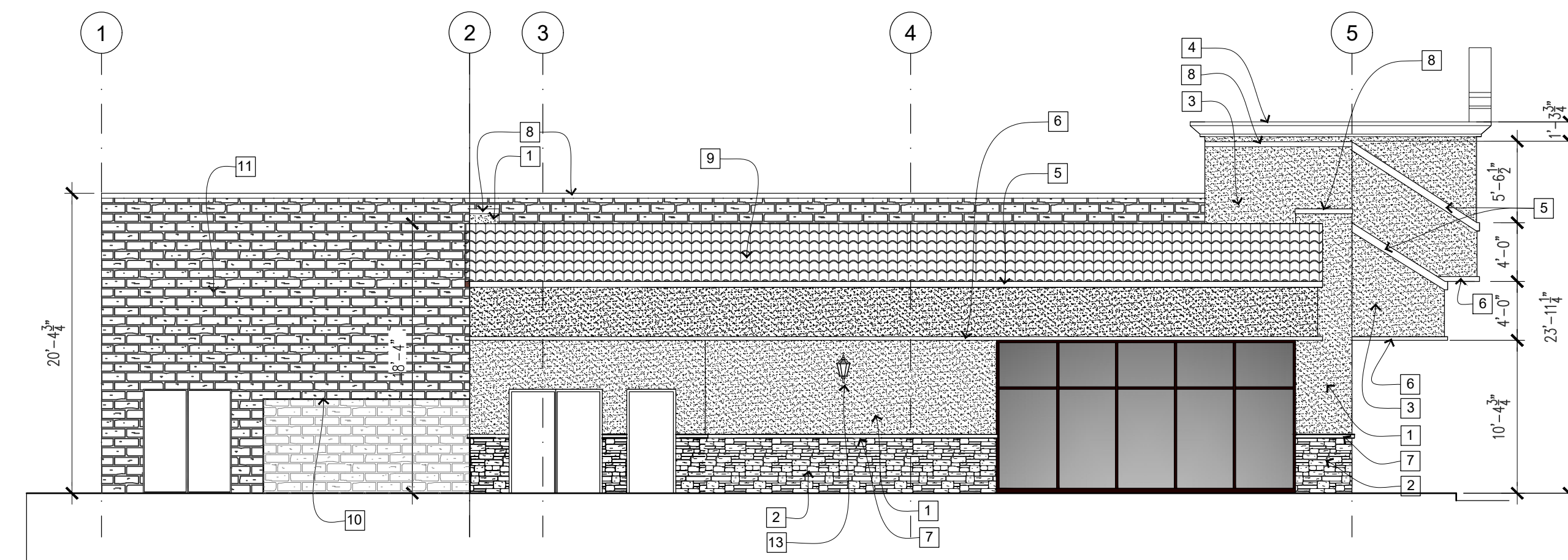
EXISTING BUILDING - A (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



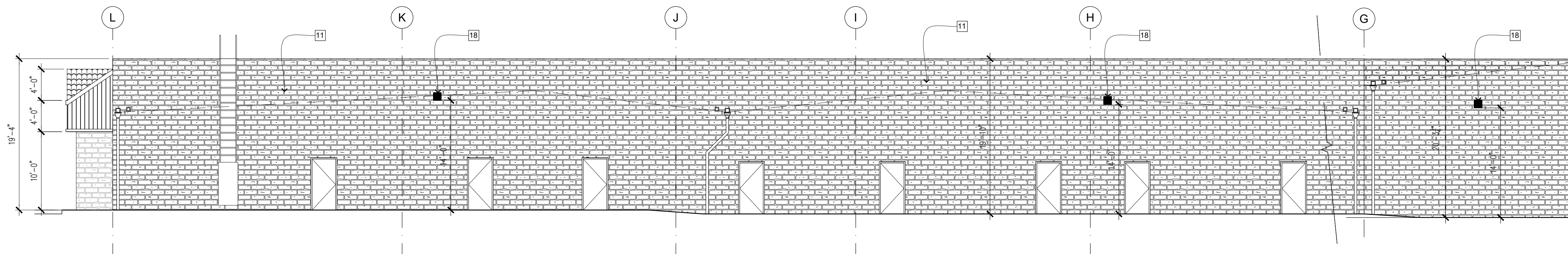
PROPOSED BUILDING - B (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



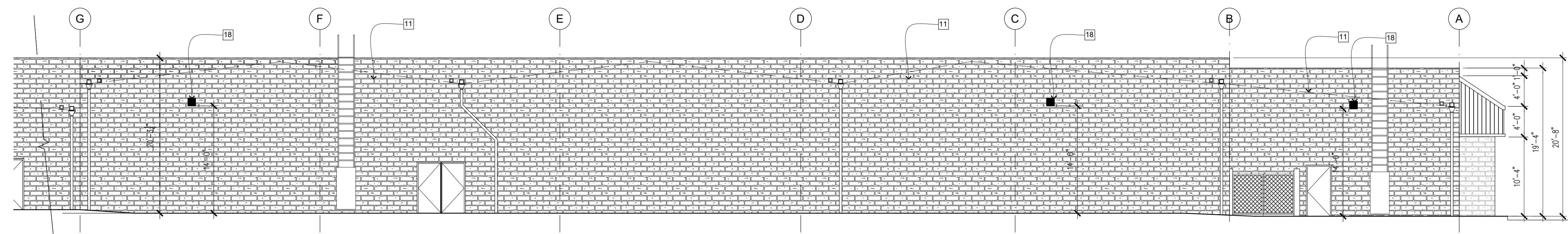
PROPOSED BUILDING - A (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - A REAR ELEVATION

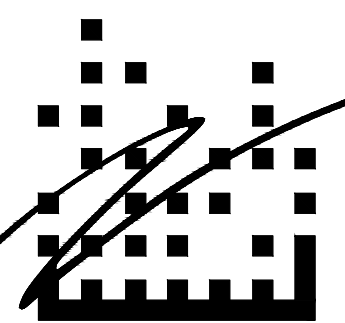
SCALE: 1/8"=1'-0"



EXISTING BUILDING - B REAR ELEVATION

SCALE: 1/8"=1'-0"

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PROPOSED TENANT IMPROVEMENT FOR:
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LA HABRA, CALIFORNIA 90631

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A-4.2
OF SHEETS

ELEVATIONS KEY NOTES:

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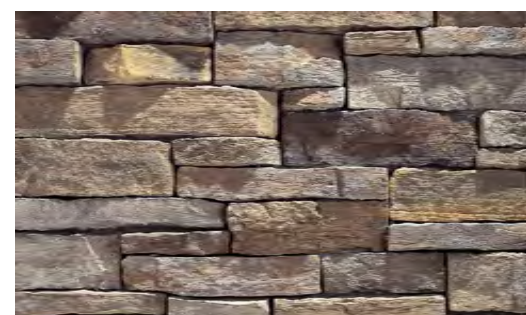
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La Habra Center
Color board

Cornice Trim

Facia - Storefront overhang

New plaster - CMU

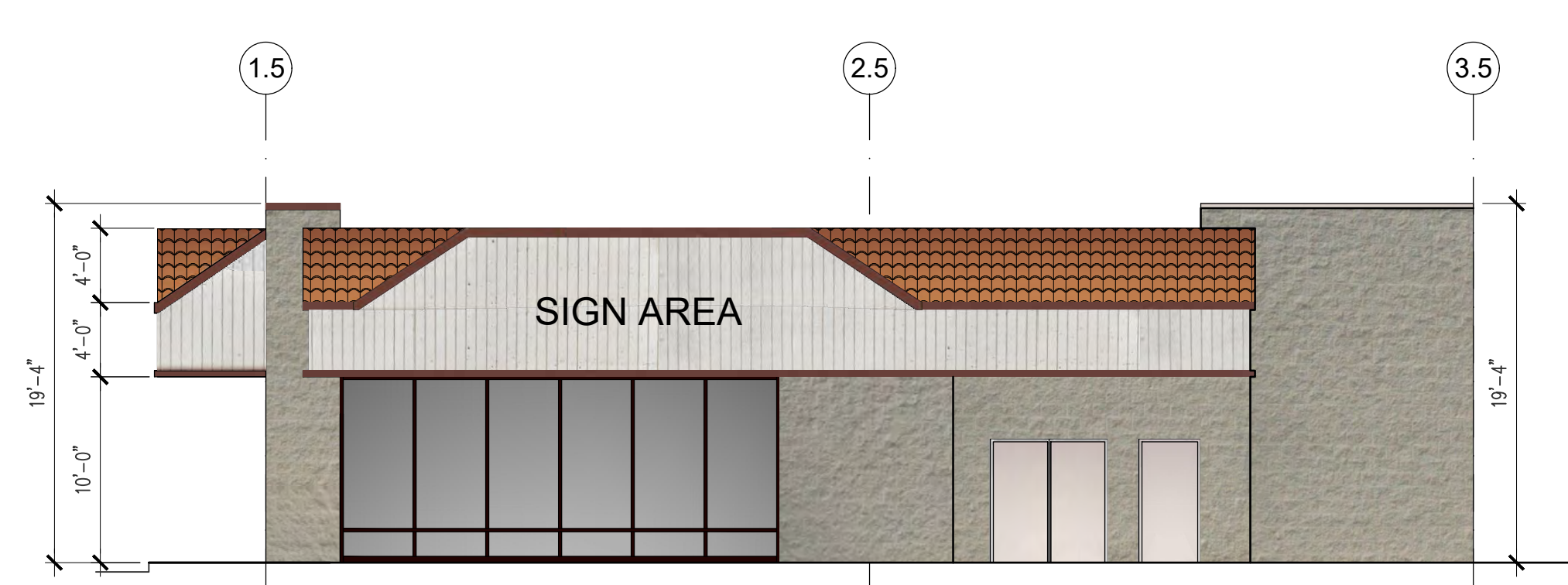


ELDORADO STONE MOUNTAIN LEDGE SIERRA



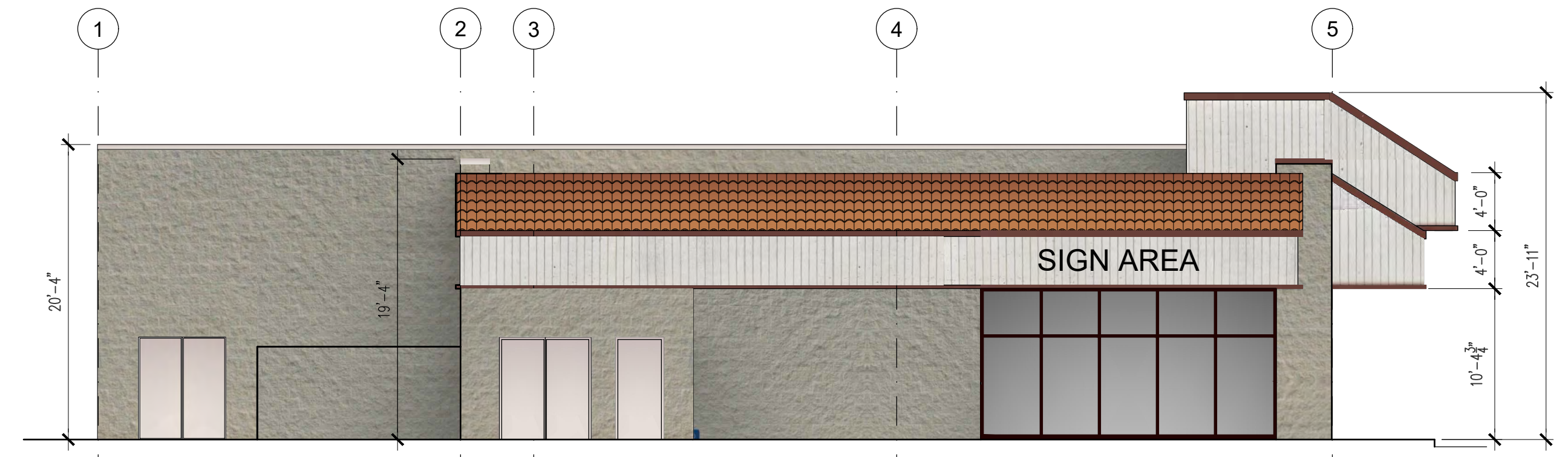
NEW ROOF TILE TO MATCH EXISTING MATERIAL AND COLOR

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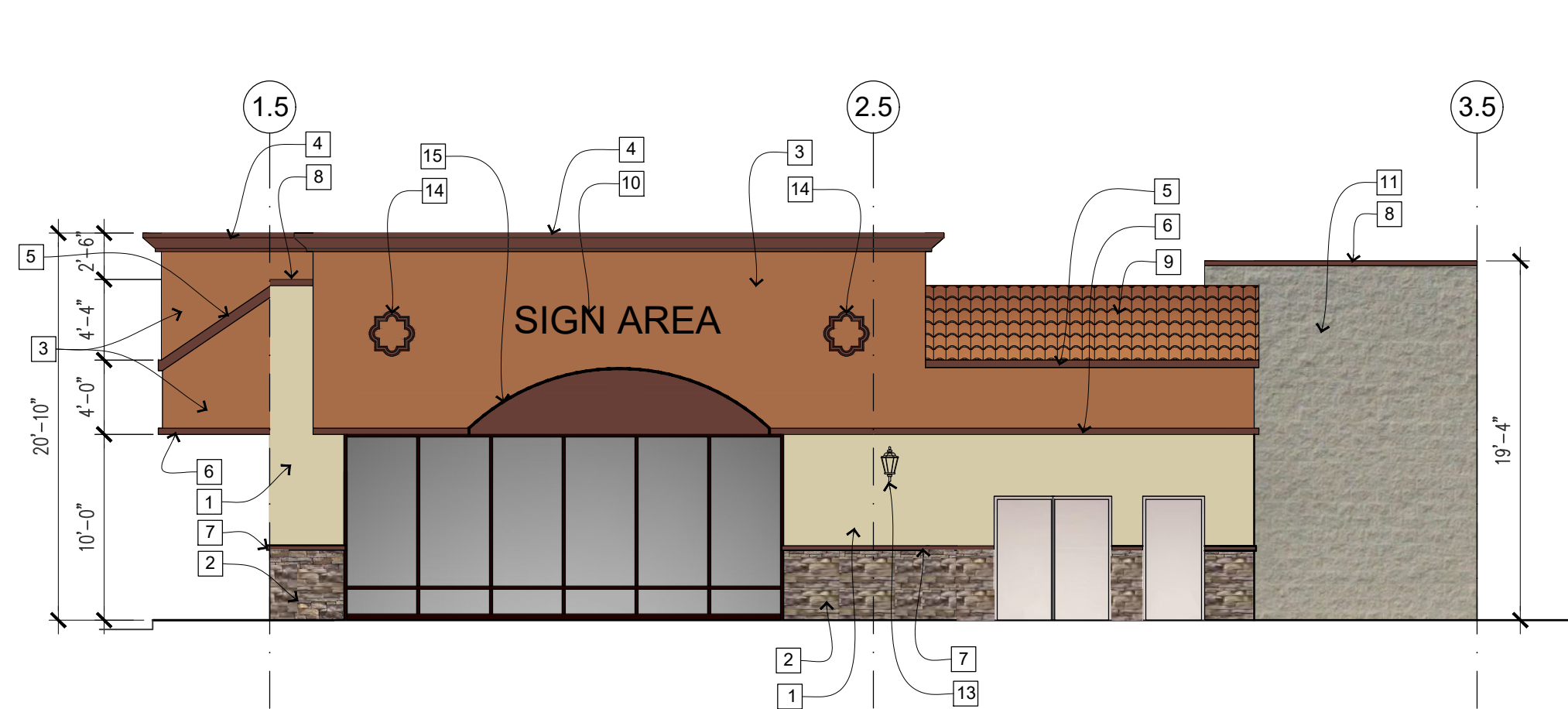
EXISTING BUILDING - B (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



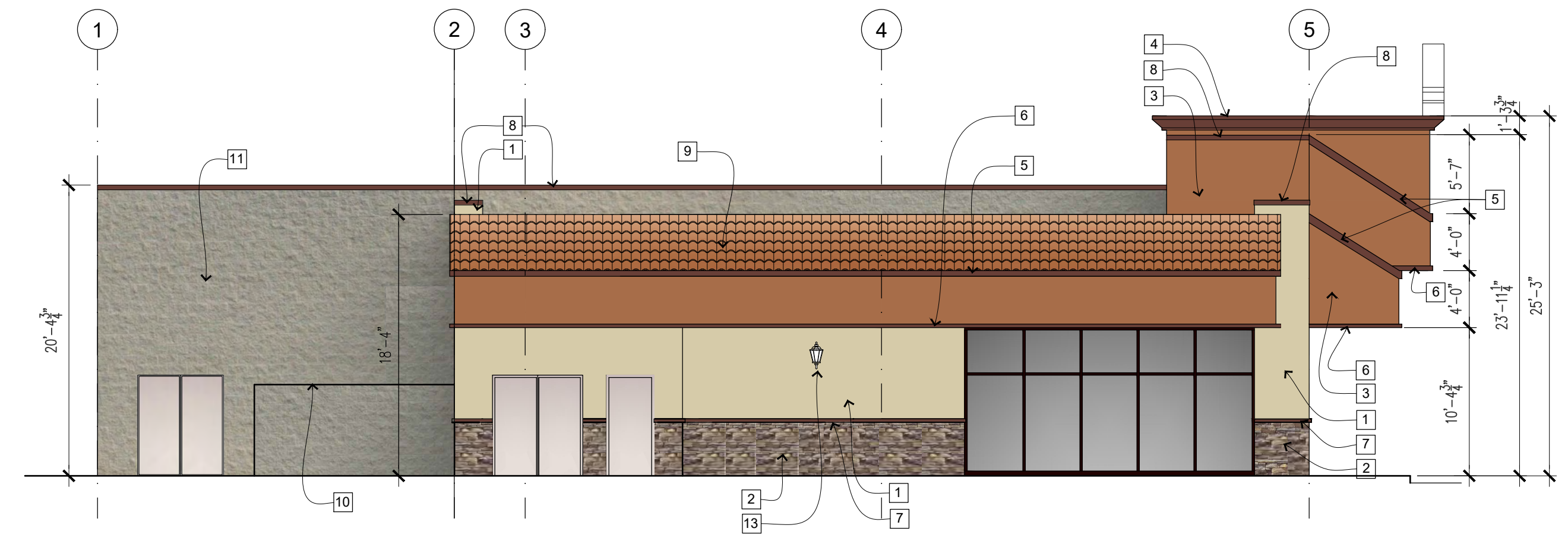
EXISTING BUILDING - A (LEFT SIDE ELEVATION)

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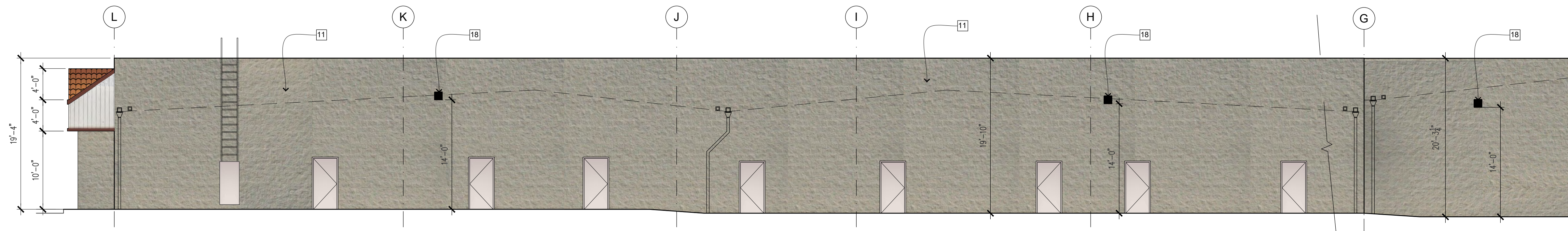
PROPOSED BUILDING - B (RIGHT SIDE ELEVATION)

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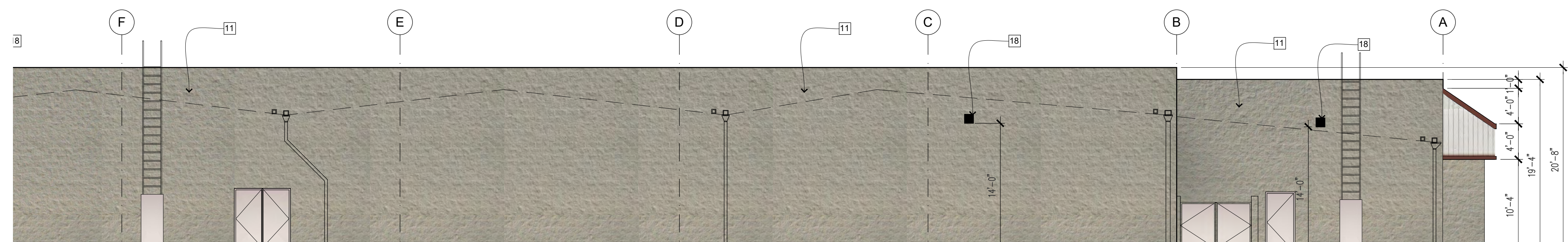
PROPOSED BUILDING - A (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - A REAR ELEVATION

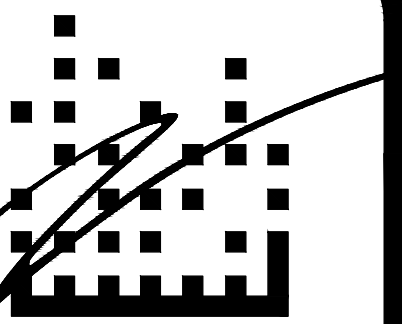
SCALE: 1/8"=1'-0"



EXISTING BUILDING - B REAR ELEVATION

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A-4.2A

OF SHEETS

ELEVATIONS KEY NOTES:

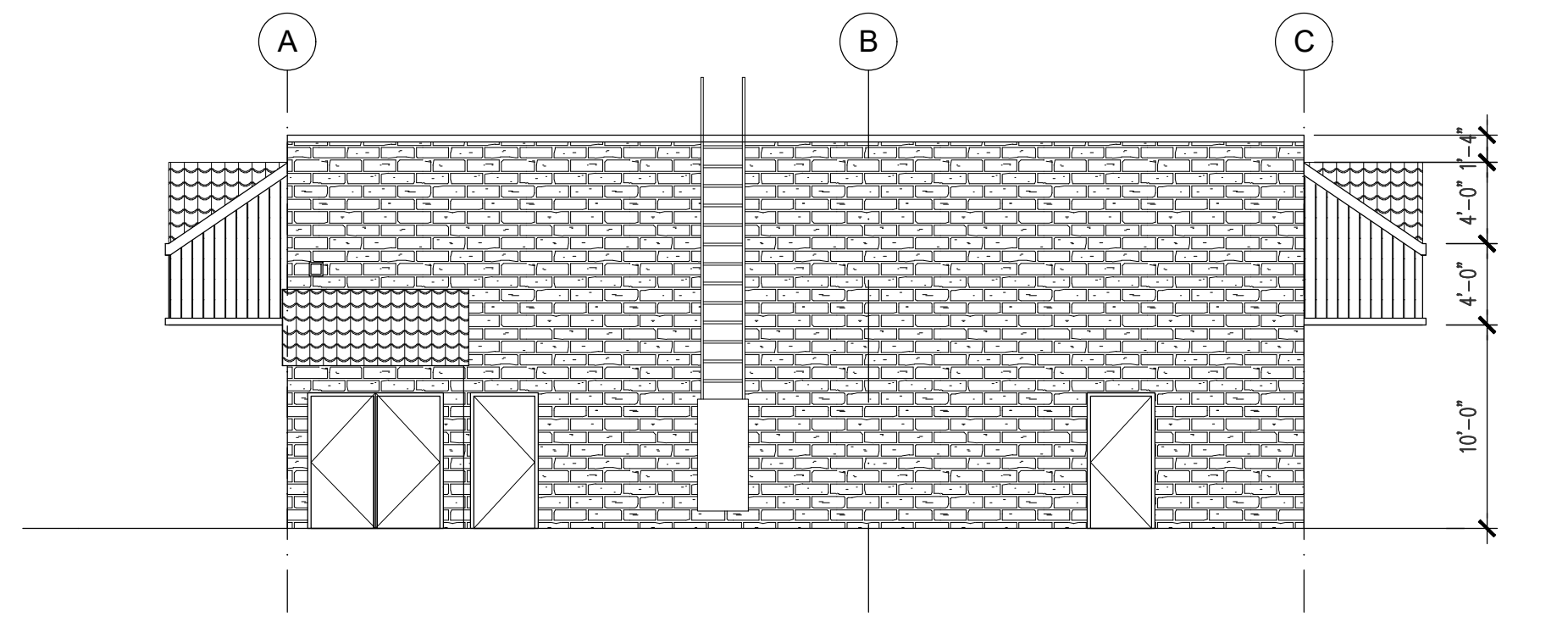
- 1 NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD CHAPARRAL (DEC 745)
- 2 NEW 48" HIGH STONE.
ELDORADO STONE MOUNTAIN LEDGE SIERRA
- 3 REMOVED EXISTING SIDING, REPLACED WITH NEW STUCCO OVER FOAM BOARD OVER (E) PLYWOOD.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465)
(SEE COLOR BOARD)
- 4 NEW FOAM CORNICE CAP. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
- 5 REPLACED EXISTING FACIA AT EDGE OF ROOF.
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
(SEE COLOR BOARD)
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COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
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- 7 NEW 6"x6" ACCENT TILE W/ 3" PLASTER BANDING, RAISED 1" FROM SURROUNDING SURFACE. COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442). (SEE COLOR BOARD)
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(SEE ROOF PLAN FOR EXISTING, REPLACE AND NEW ROOF AREA AND A-3.2 FOR UNDERLAYMENT ROOF SPECIFICATION.)
- 10 REPLACED EXISTING SIGNS WITH NEW SIGNS FOR MORE INFORMATION SEE A-7.1 AND A-7.2 SHEETS AND ELEVATION SIGN NOTE.
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COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
(SEE COLOR BOARD)
- 18 (E) WALL MOUNTED SECURITY LIGHT.
THE SECURITY LIGHTS SHALL BE INSTALLED IN A MANNER THAT INCLUDES SHIELDS TO CONTAIN THE LIGHT ONSITE AND NOT OVERSPILL ONTO ADJACENT PROPERTIES.

SIGNS NOTE:

THE SP-1 ZONE PERMIT WALL SIGNS WITH A MAXIMUM AREA NOT TO EXCEED 2 SQUARE FEET PER LINEAL FOOT OR STORE FRONTAGE. (SEE SHEETS A-7.1 TO A-7.4)

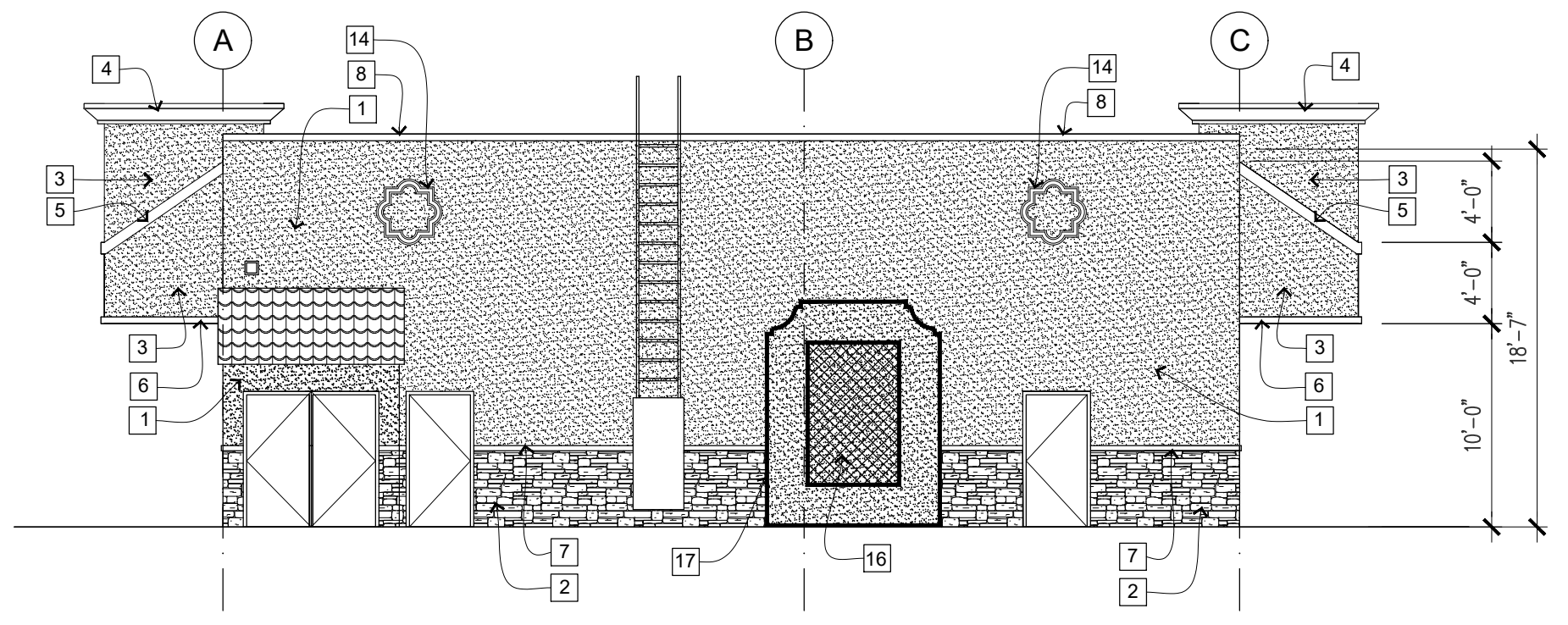
COLOR AND MATERIAL NOTE:

FOR COLORS, MATERIAL AND SIZES SEE A-10 SHEET.



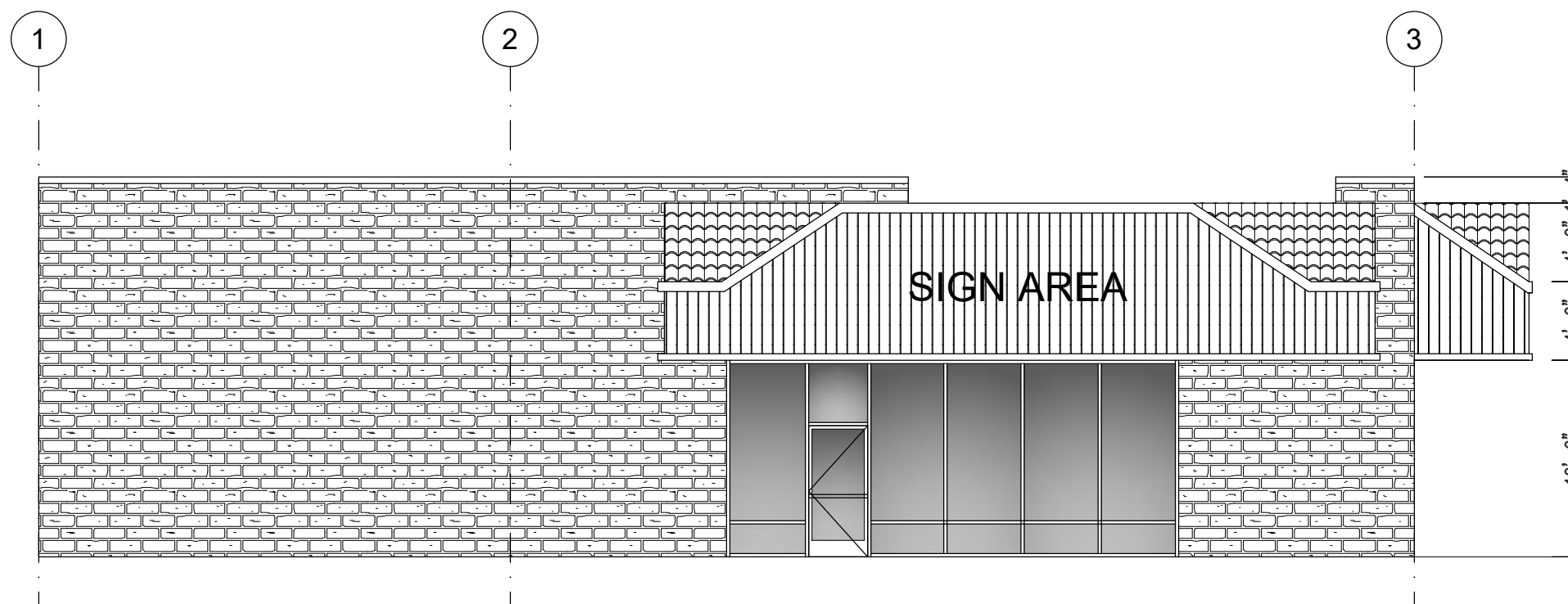
EXISTING BUILDING - C (REAR ELEVATION)

SCALE: 1/8"=1'-0"



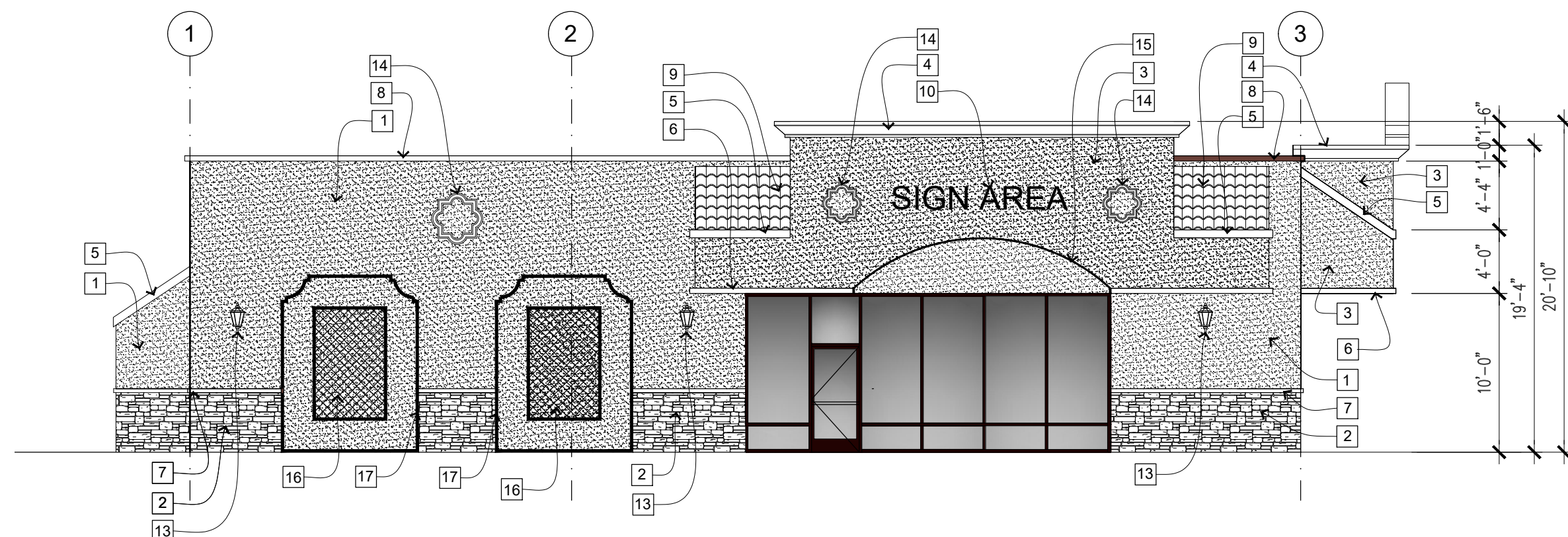
PROPOSED BUILDING - C (REAR ELEVATION)

SCALE: 1/8"=1'-0"



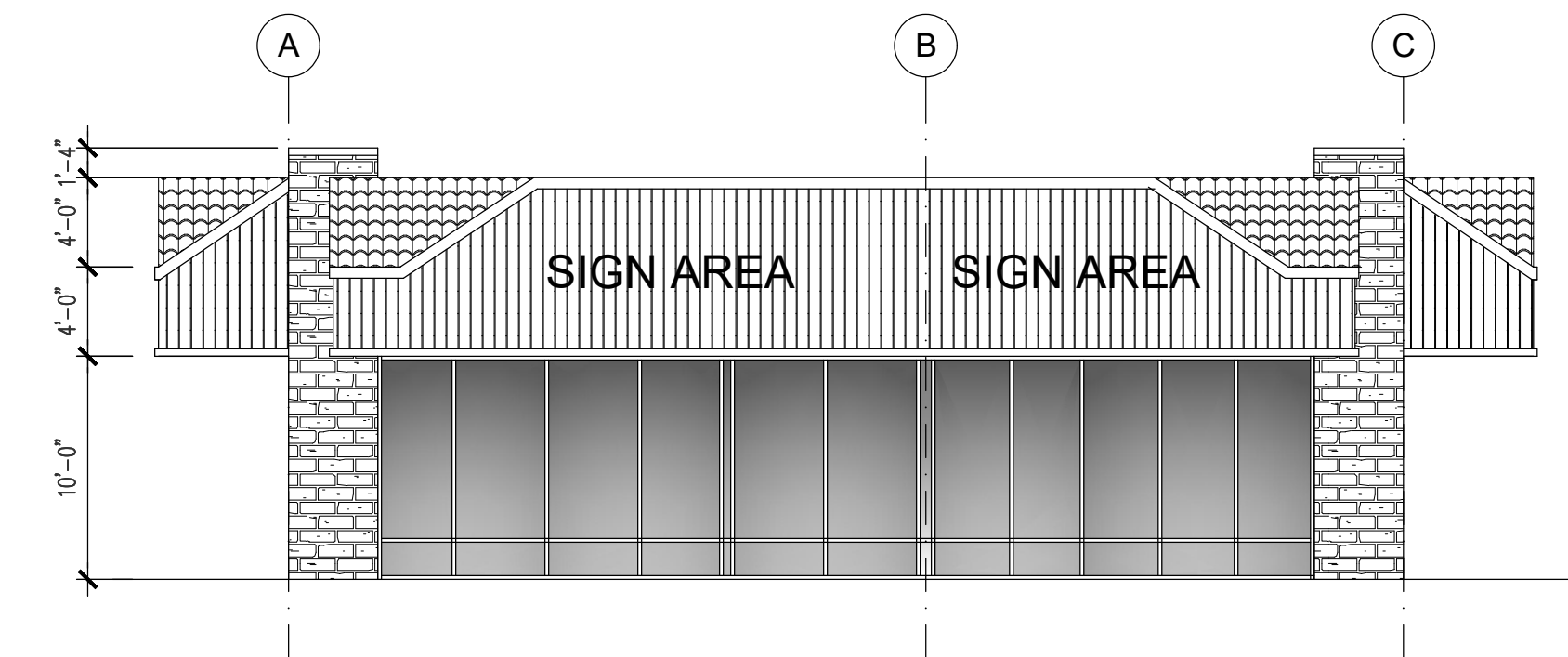
EXISTING BUILDING - C (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



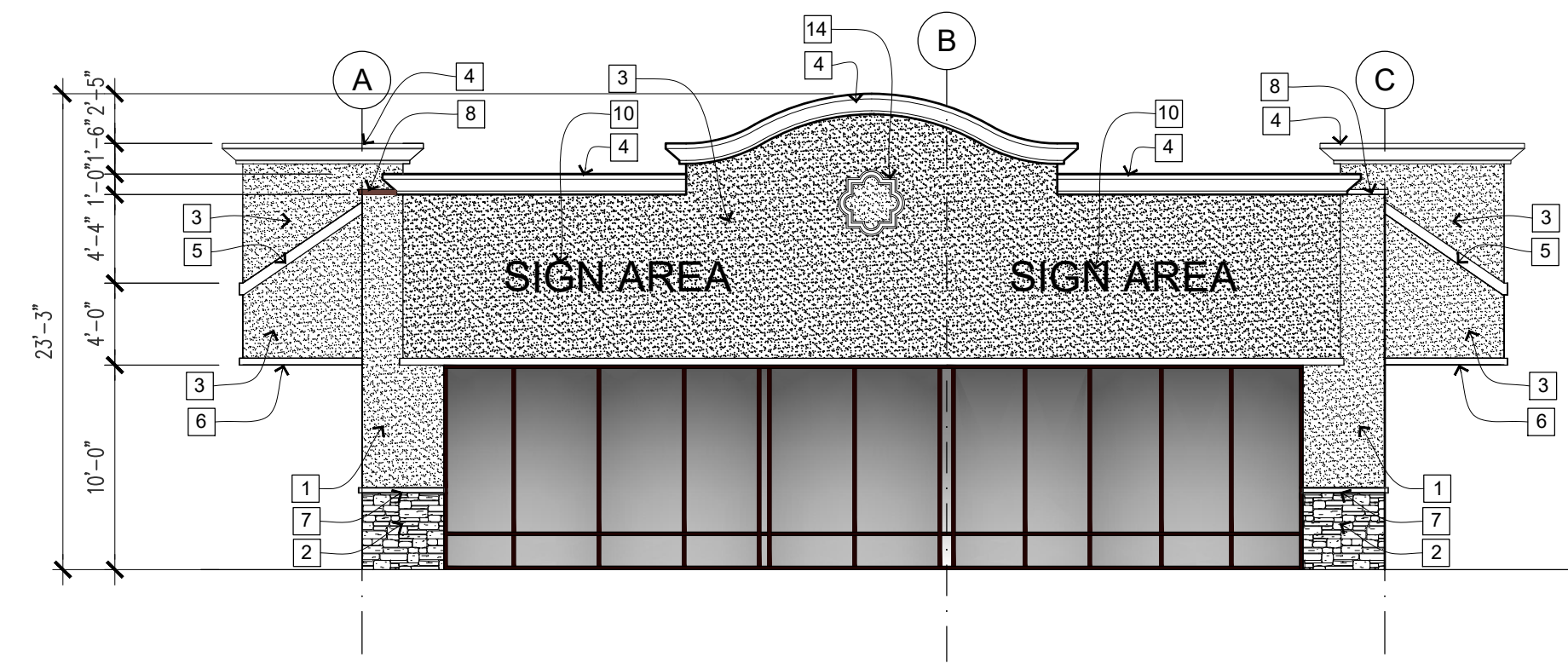
PROPOSED BUILDING - C (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



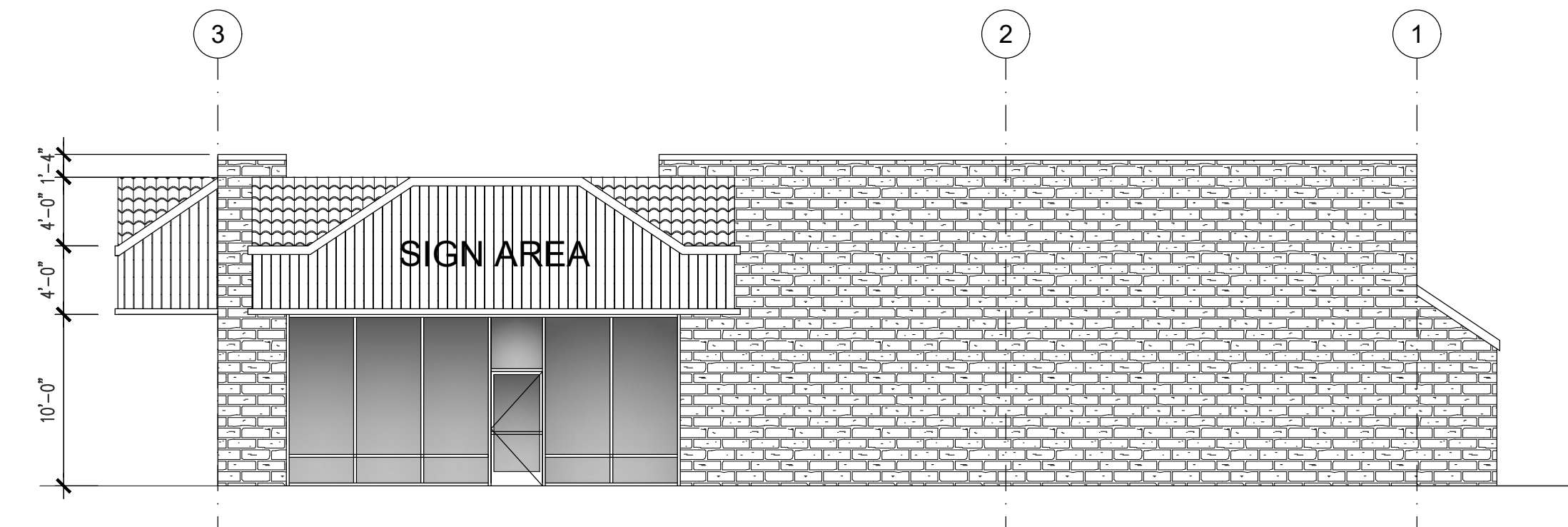
EXISTING BUILDING - C (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



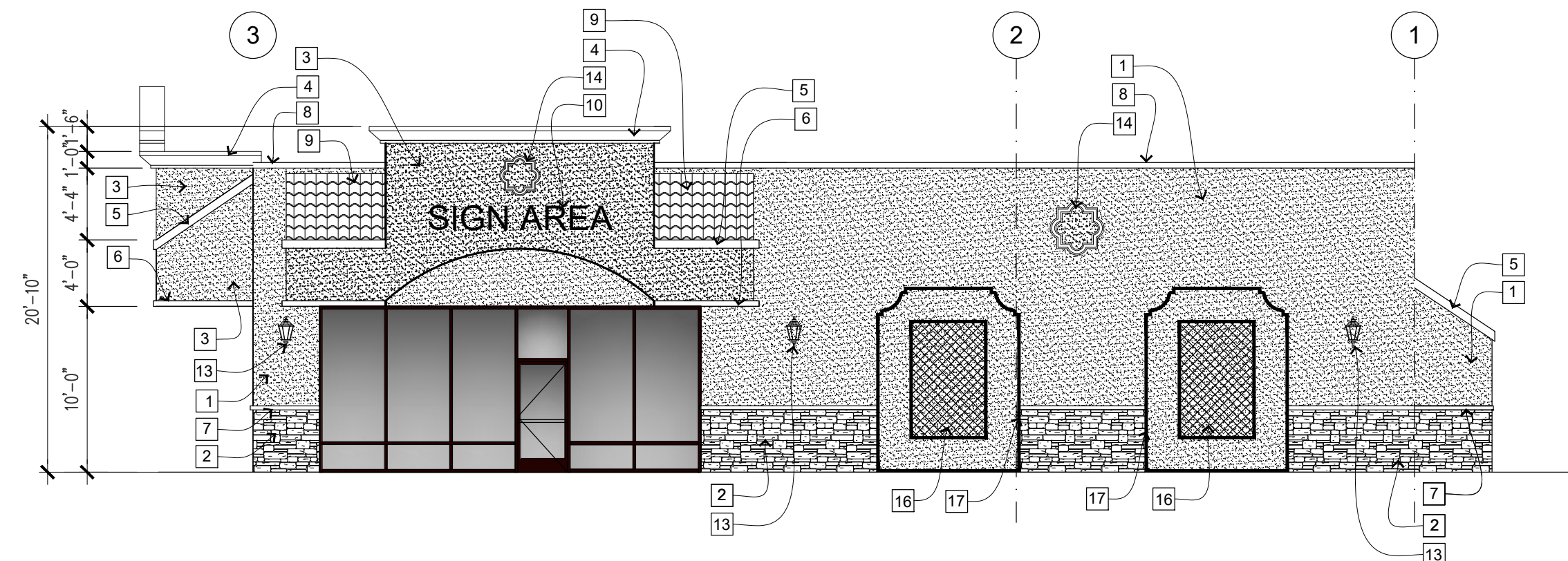
PROPOSED BUILDING - C (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - C (RIGHT SIDE ELEVATION)

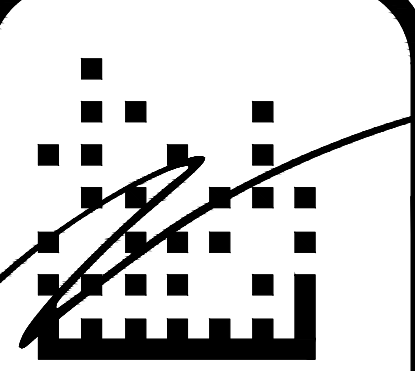
SCALE: 1/8"=1'-0"



PROPOSED BUILDING - C (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"

REVISIONS	BY
THE CITY COMMENTS 08/11/2025	▲



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LAKE FOREST, CA 92630
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FAX:
949-855-4387

08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
A-4.3
OF SHEETS

ELEVATIONS KEY NOTES:

- 1 NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD CHAPARRAL (DEC 745)
- 2 NEW 48" HIGH STONE.
ELDORADO STONE MOUNTAIN LEDGE SIERRA
- 3 REMOVED EXISTING SIDING, REPLACED WITH NEW STUCCO OVER FOAM BOARD OVER (E) PLYWOOD.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
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COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
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SIGNS NOTE:

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La Habra Center
Color board

Cornice Trim

Facia - Storefront overhang

New plaster - CMU



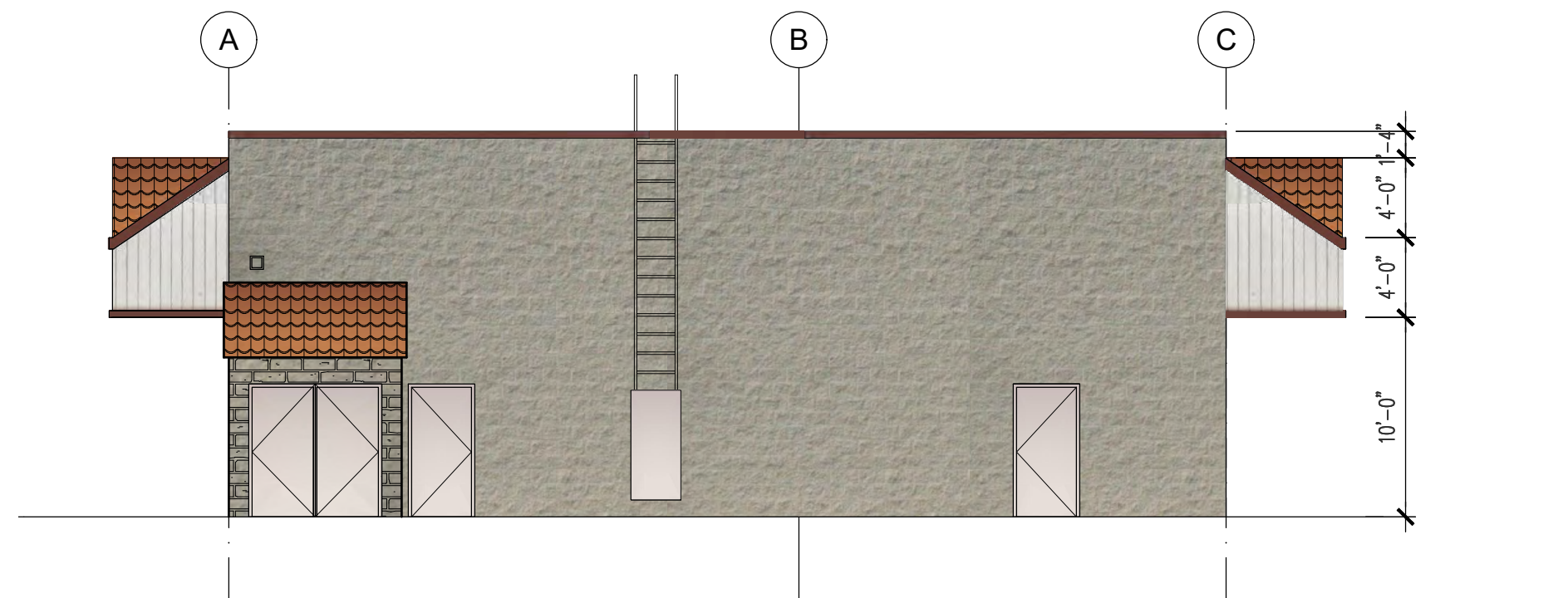
ELDORADO STONE MOUNTAIN LEDGE SIERRA



NEW ROOF TILE TO MATCH EXISTING MATERIAL AND COLOR

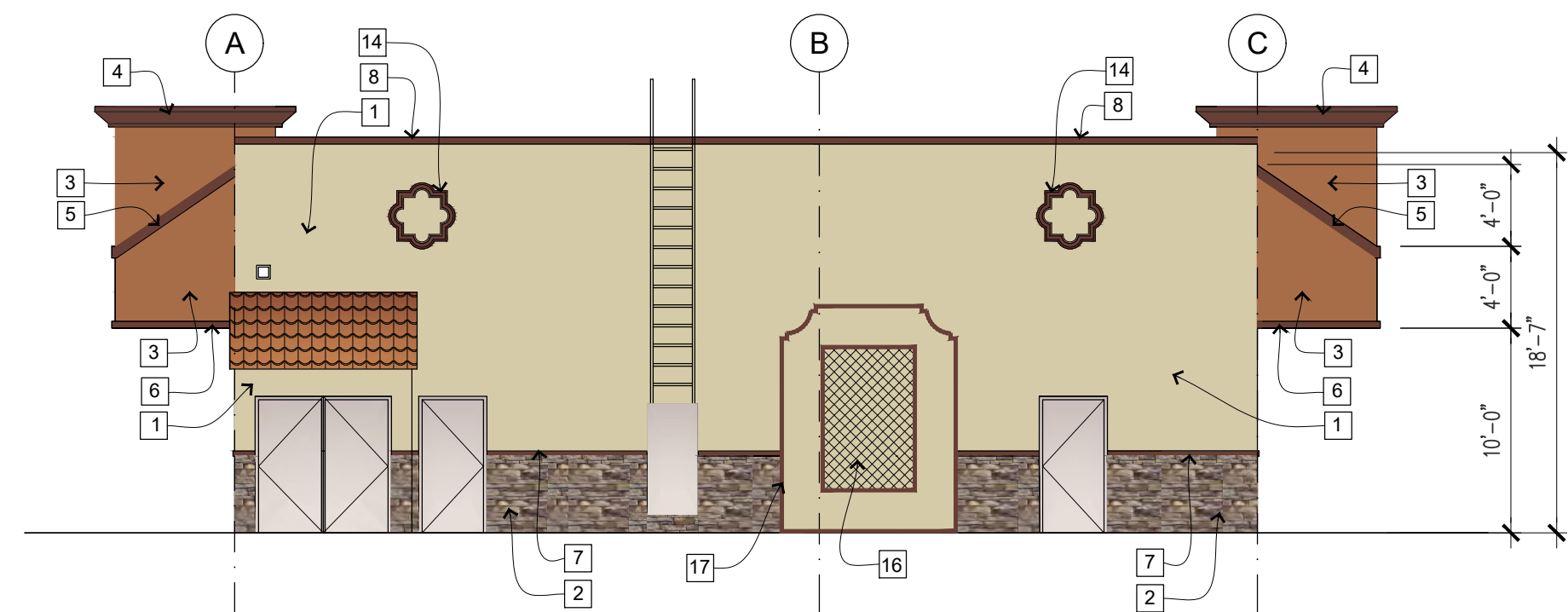
COLOR AND MATERIAL NOTE:

FOR COLORS, MATERIAL AND SIZES SEE A-10 SHEET.



EXISTING BUILDING - C (REAR ELEVATION)

SCALE: 1/8"=1'-0"



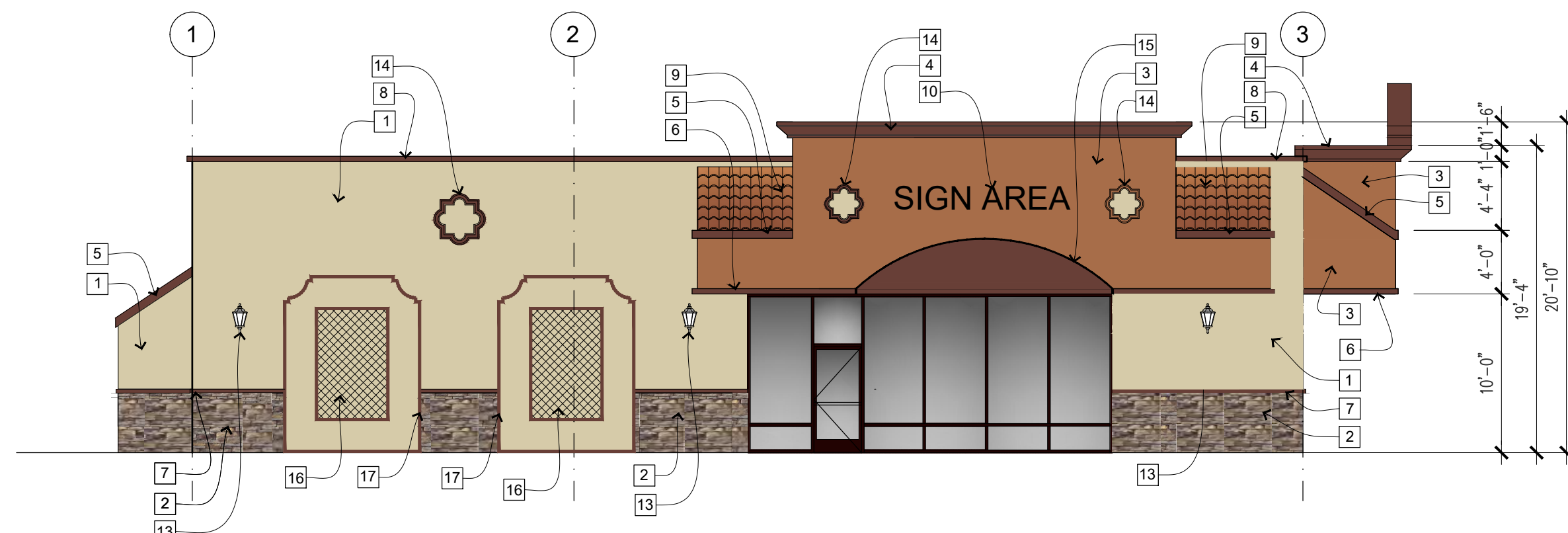
PROPOSED BUILDING - C (REAR ELEVATION)

SCALE: 1/8"=1'-0"



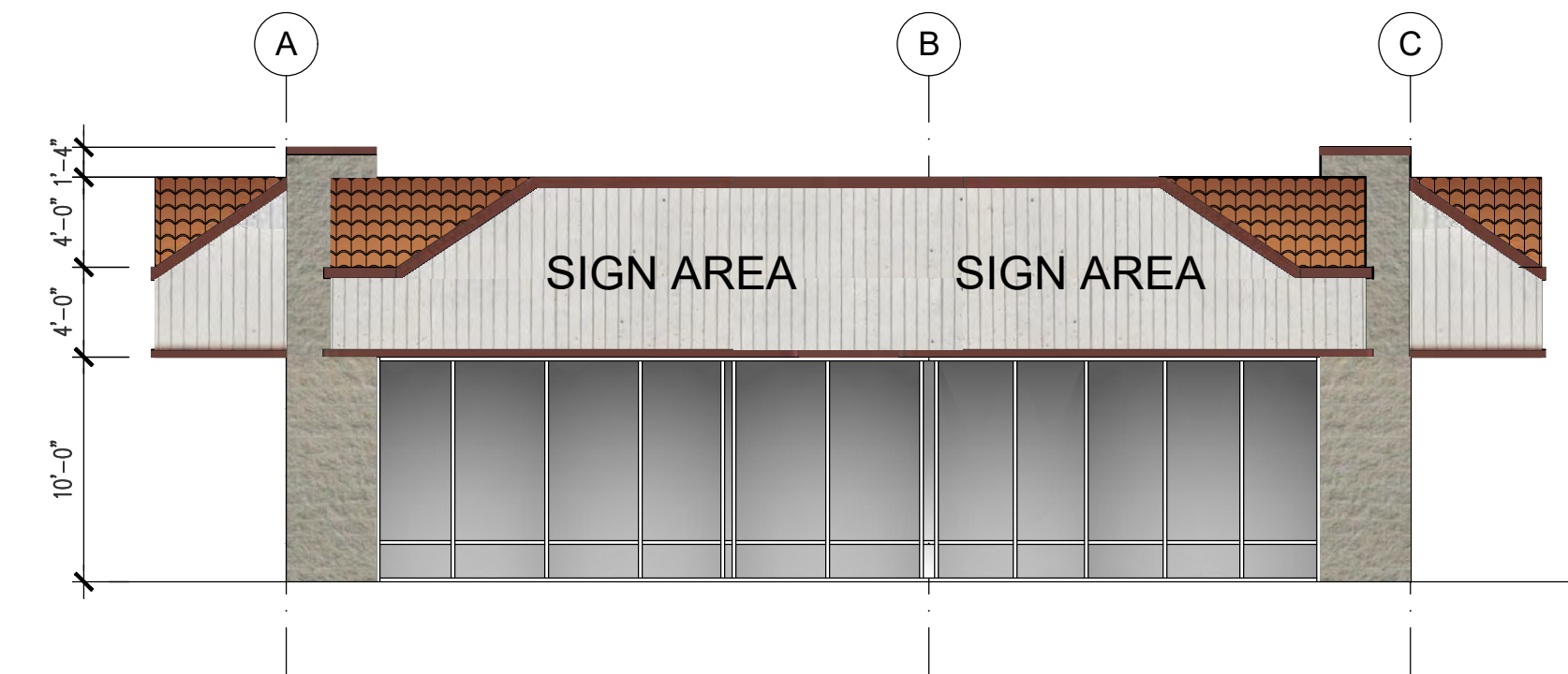
EXISTING BUILDING - C (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



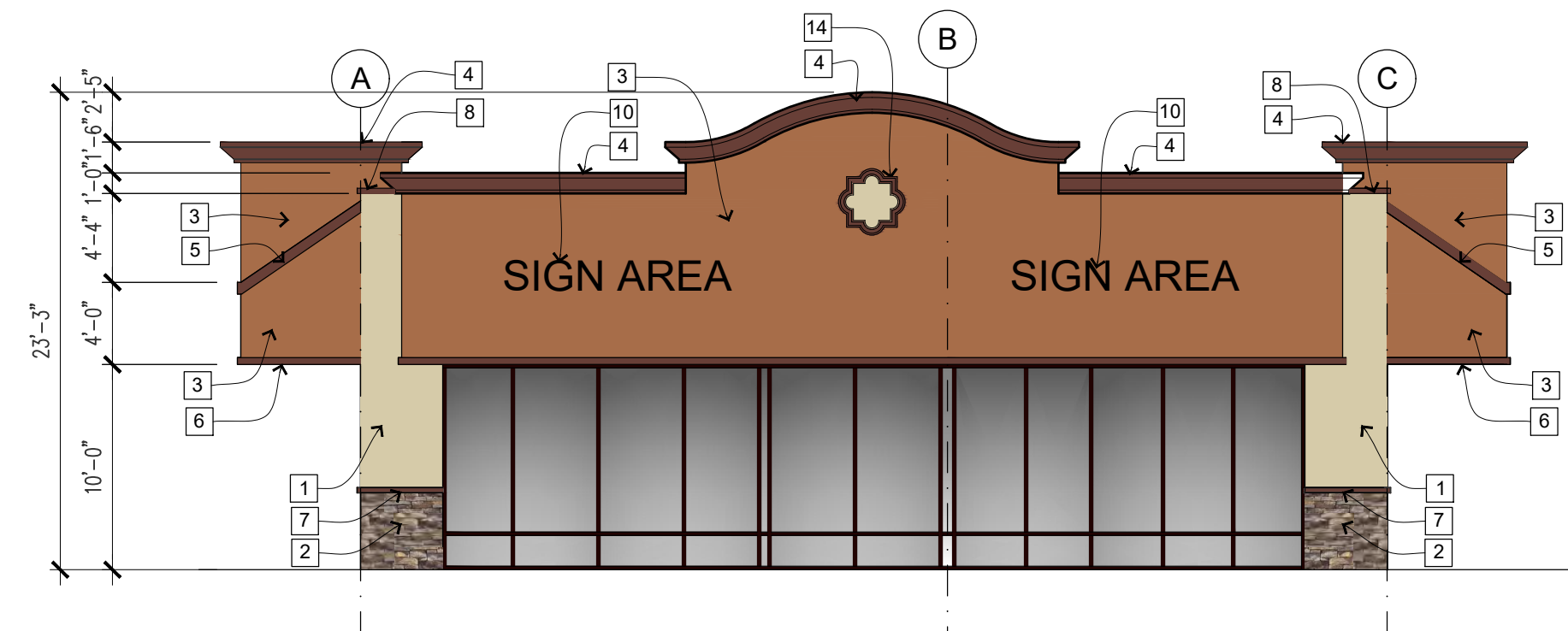
PROPOSED BUILDING - C (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



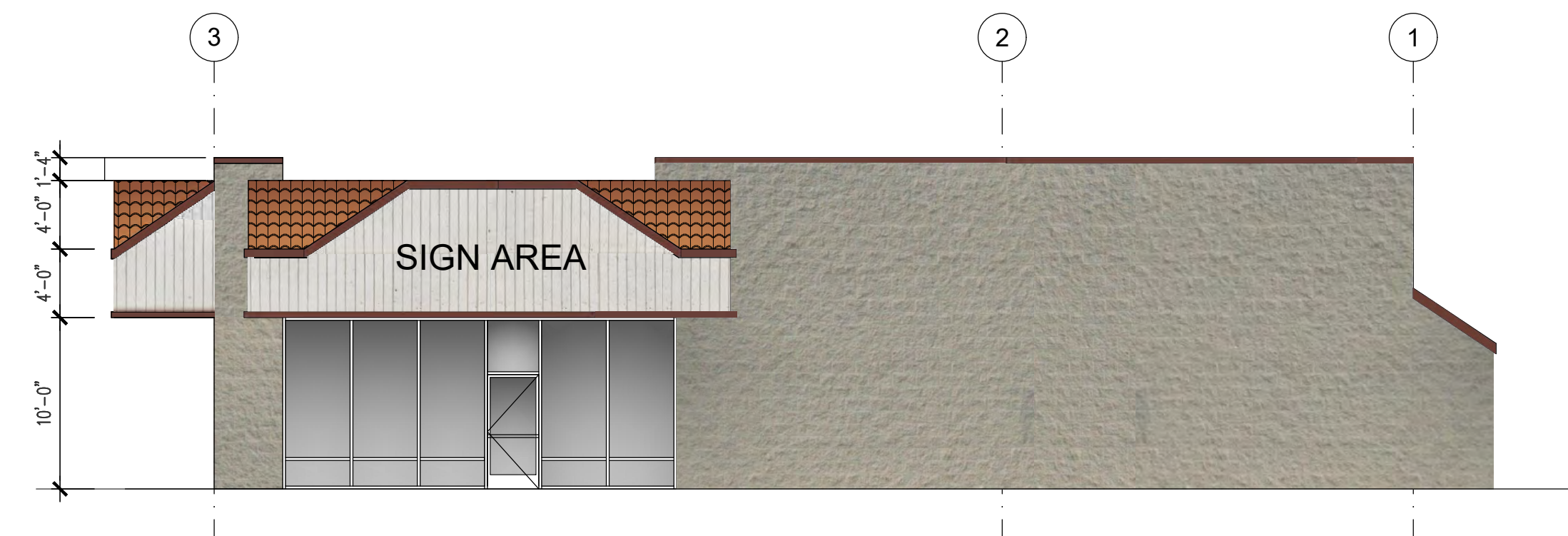
EXISTING BUILDING - C (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



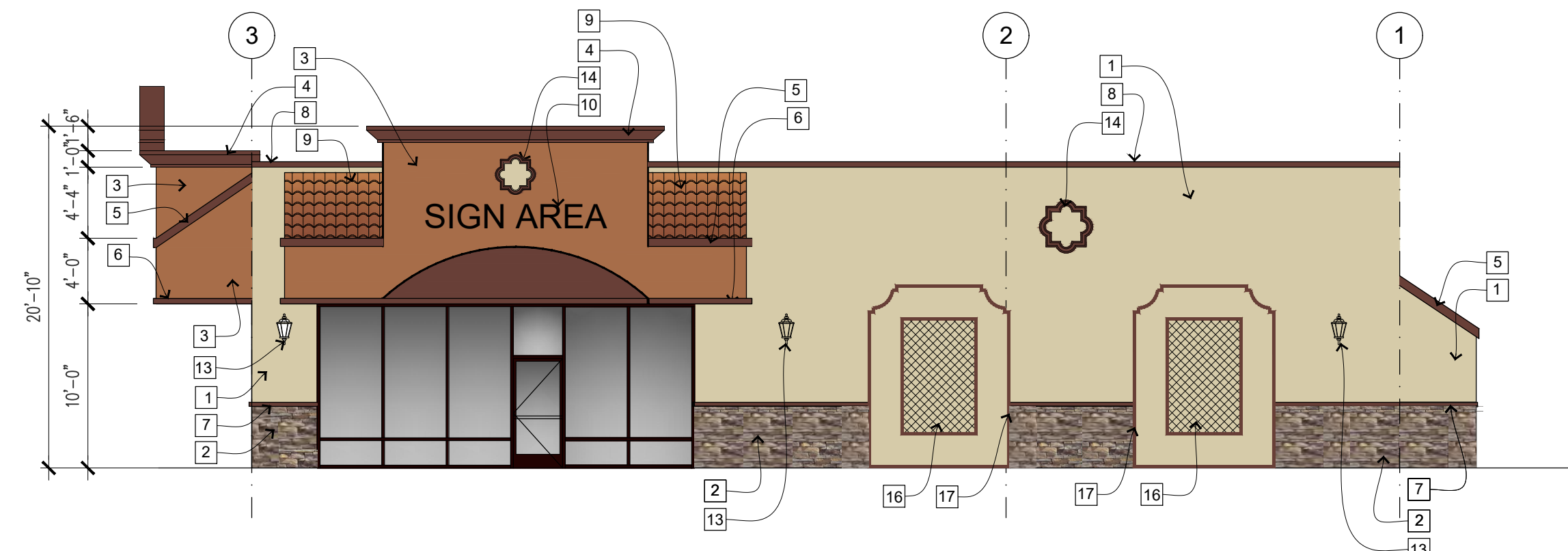
PROPOSED BUILDING - C (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - C (RIGHT SIDE ELEVATION)

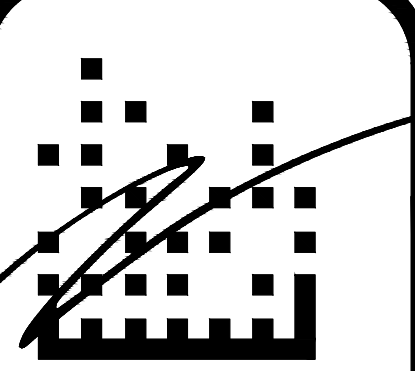
SCALE: 1/8"=1'-0"



PROPOSED BUILDING - C (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"

REVISIONS	BY
THE CITY COMMENTS 08/11/2025	



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08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
A-4.3A
OF SHEETS

ELEVATIONS KEY NOTES:

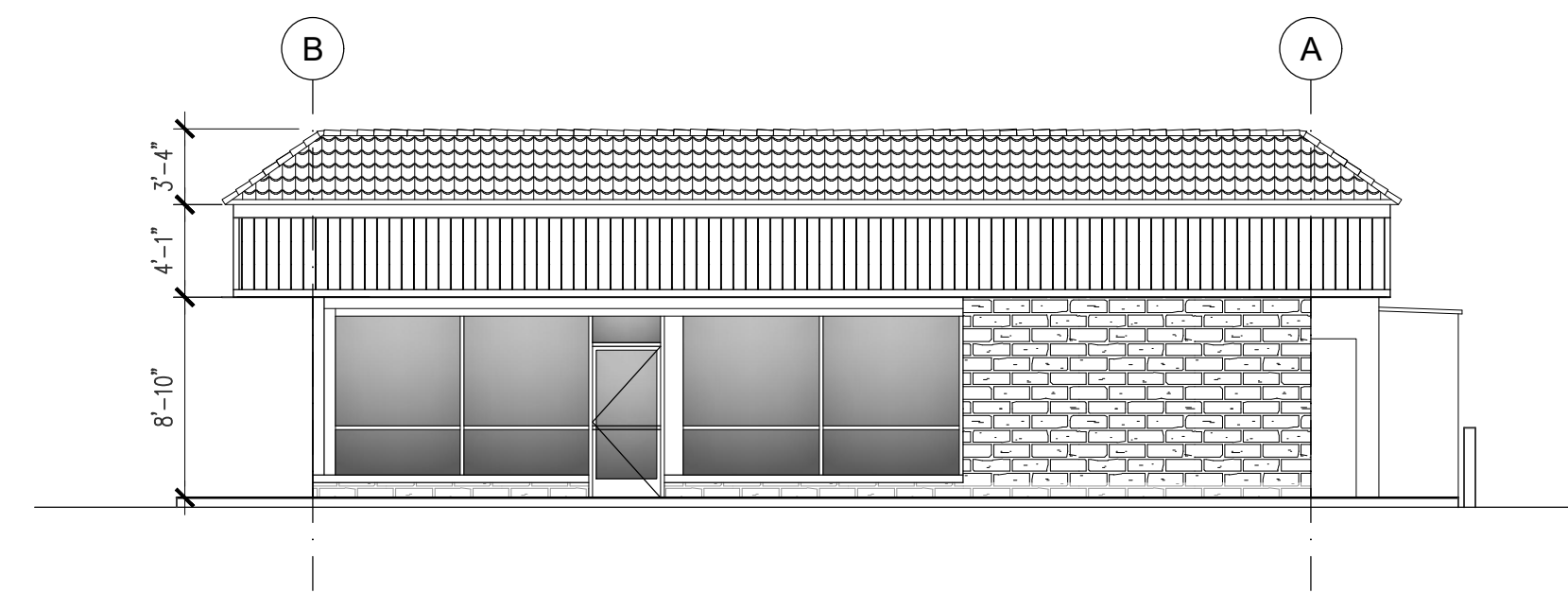
- 1 NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD CHAPARRAL (DEC 745)
- 2 NEW 48" HIGH STONE
ELDERADO STONE MOUNTAIN LEDGE SIERRA
- 3 REMOVED EXISTING SIDING. REPLACED WITH NEW
STUCCO OVER FOAM BOARD OVER (E) PLYWOOD
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465)
(SEE COLOR BOARD)
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COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
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NEW ROOF TILE TO MATCH WITH EXISTING MATERIAL AND COLOR.
(SEE ROOF PLAN FOR EXISTING, REPLACE AND NEW ROOF AREA
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SIGNS NOTE:

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NOT TO EXCEED 2 SQUARE FEET PER LINEAL FOOT OR
STORE FRONTAGE. (SEE SHEETS A-7.1 TO A-7.4)

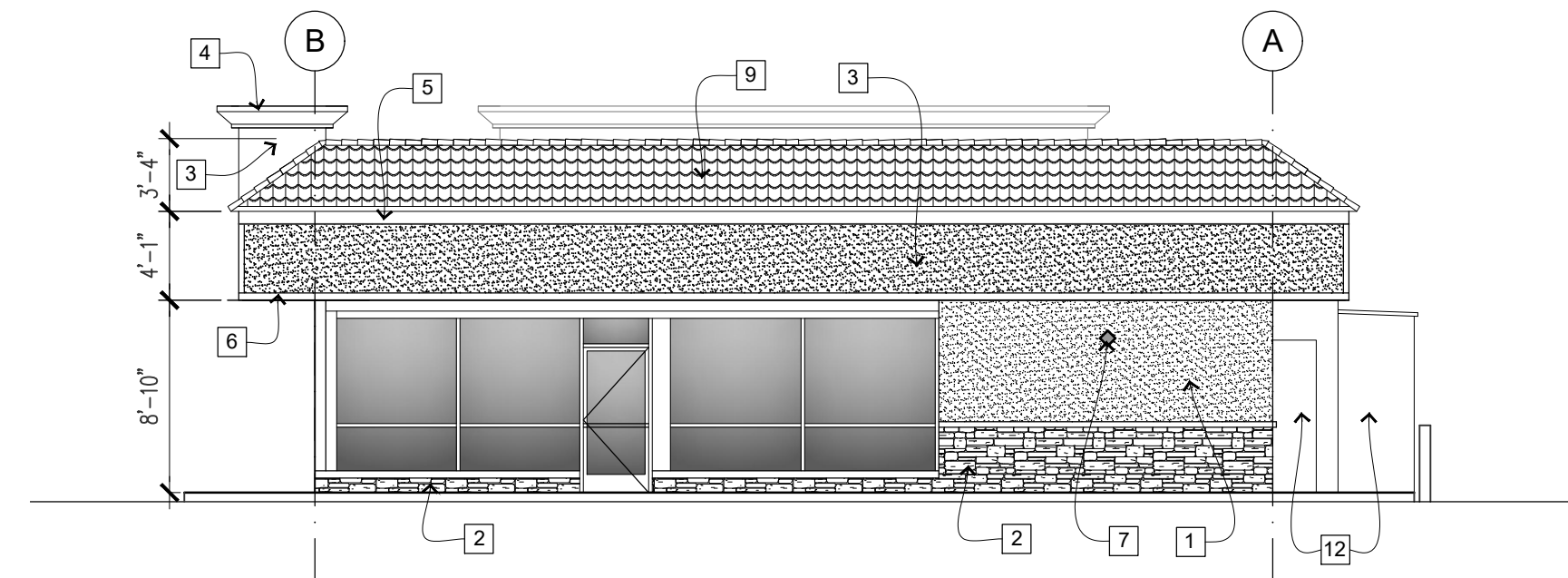
COLOR AND MATERIAL NOTE:

FOR COLORS, MATERIAL AND SIZES SEE A-10 SHEET.



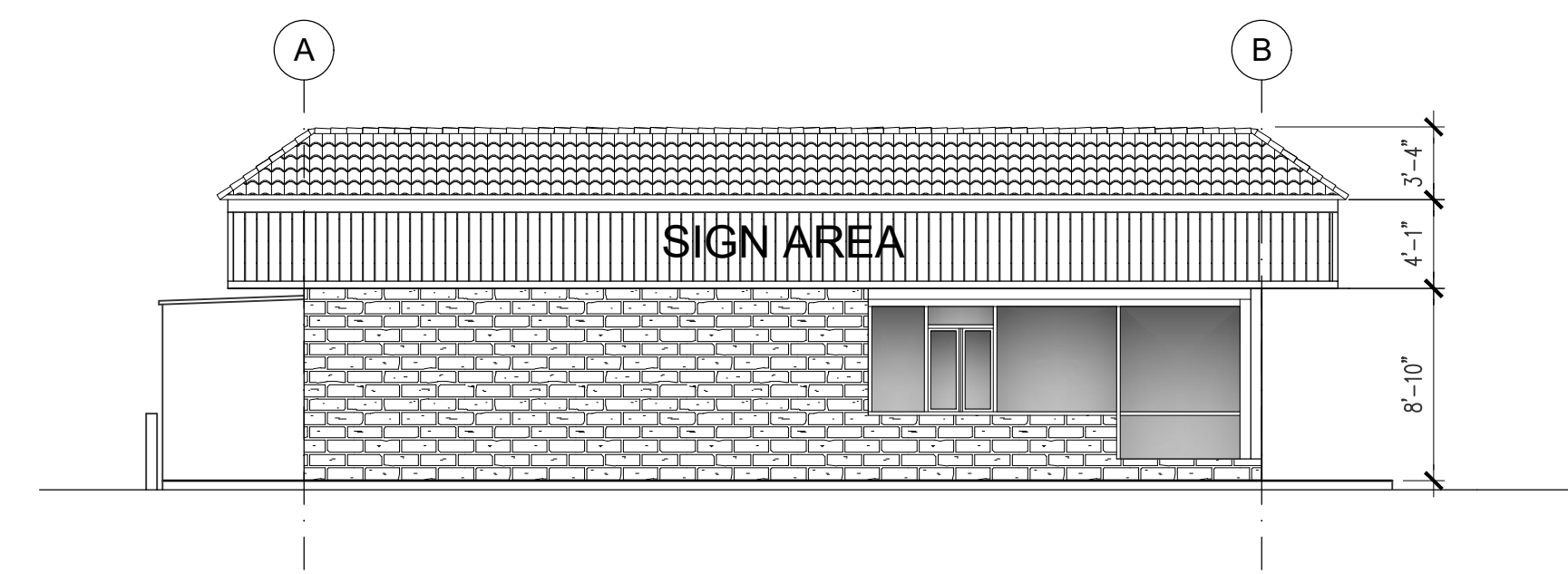
EXISTING BUILDING - D (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



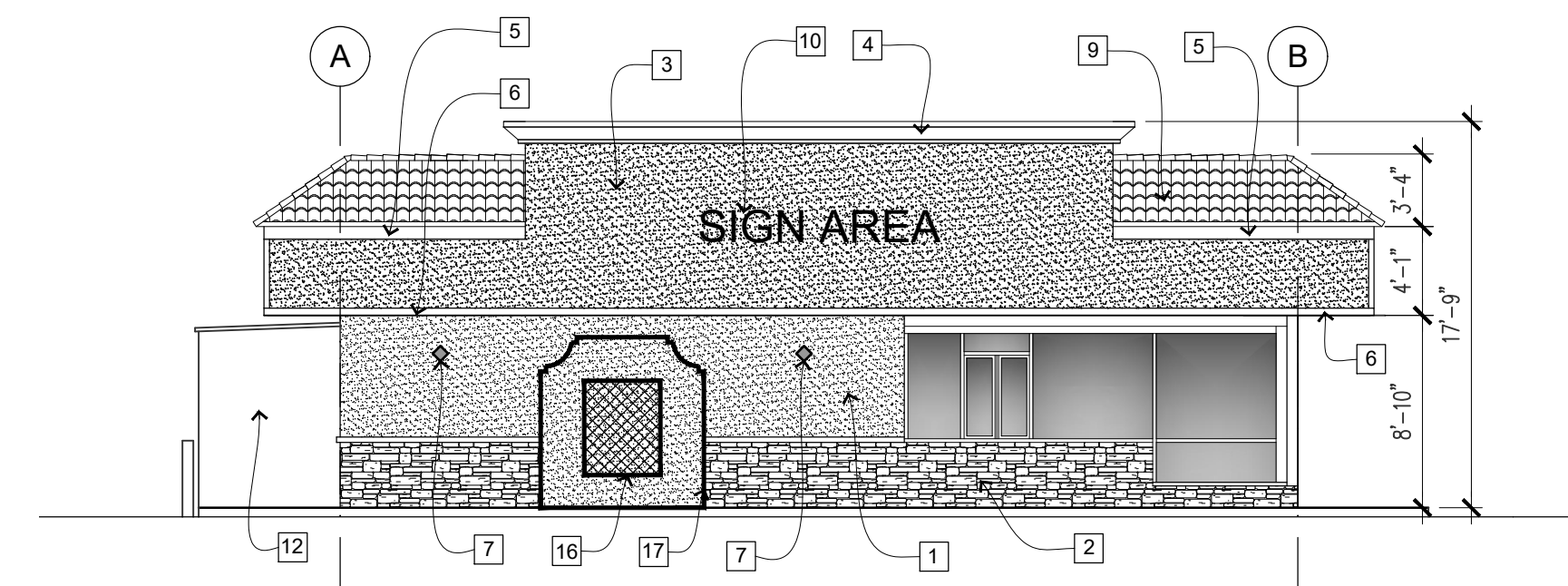
EXISTING/ PROPOSED BUILDING - D (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



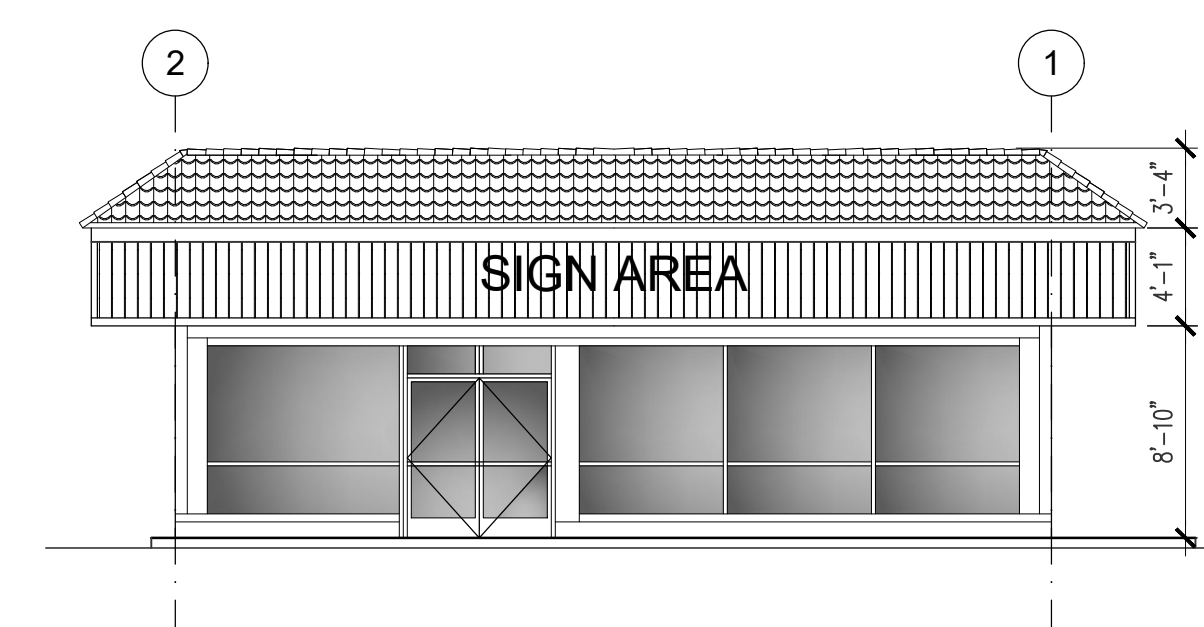
EXISTING BUILDING - D (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



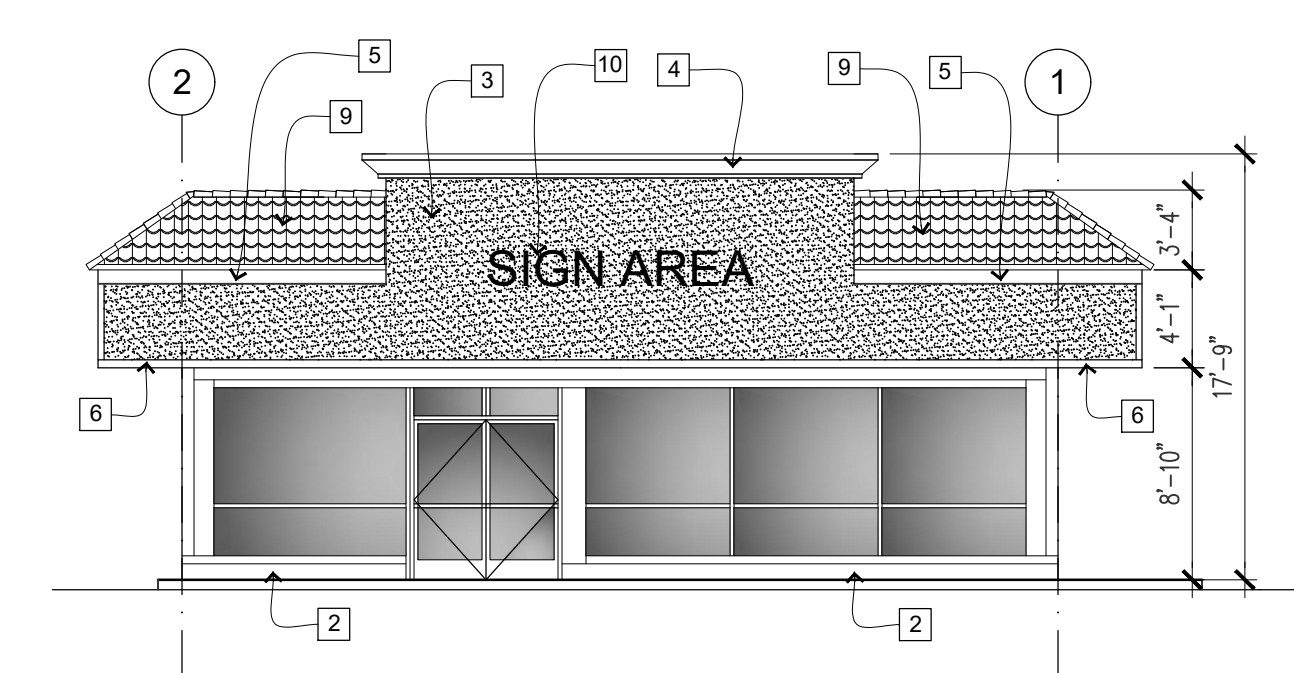
EXISTING/ PROPOSED BUILDING - D (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



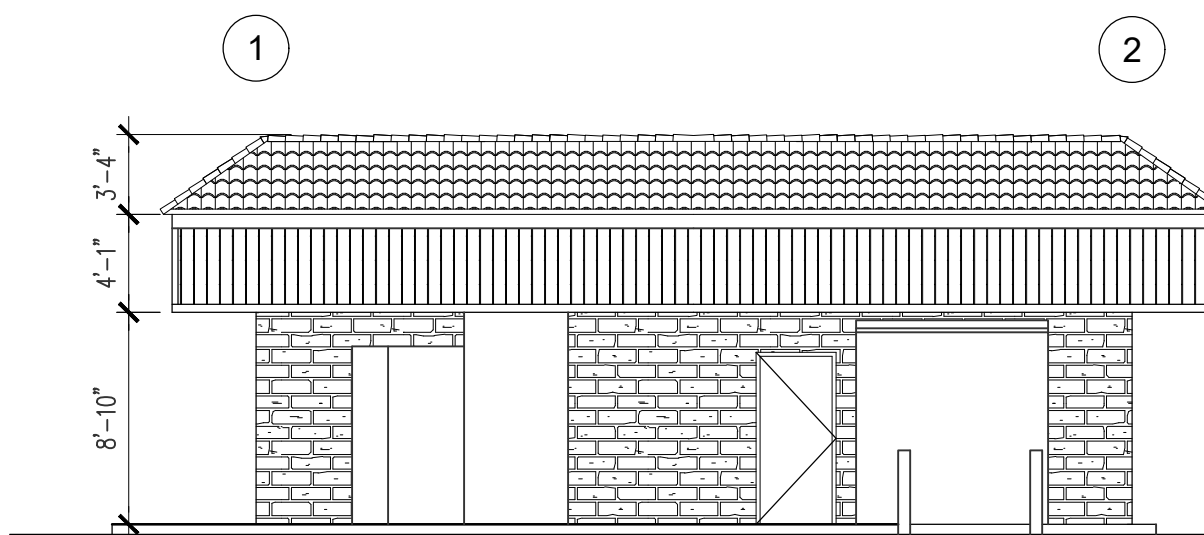
EXISTING BUILDING - D (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



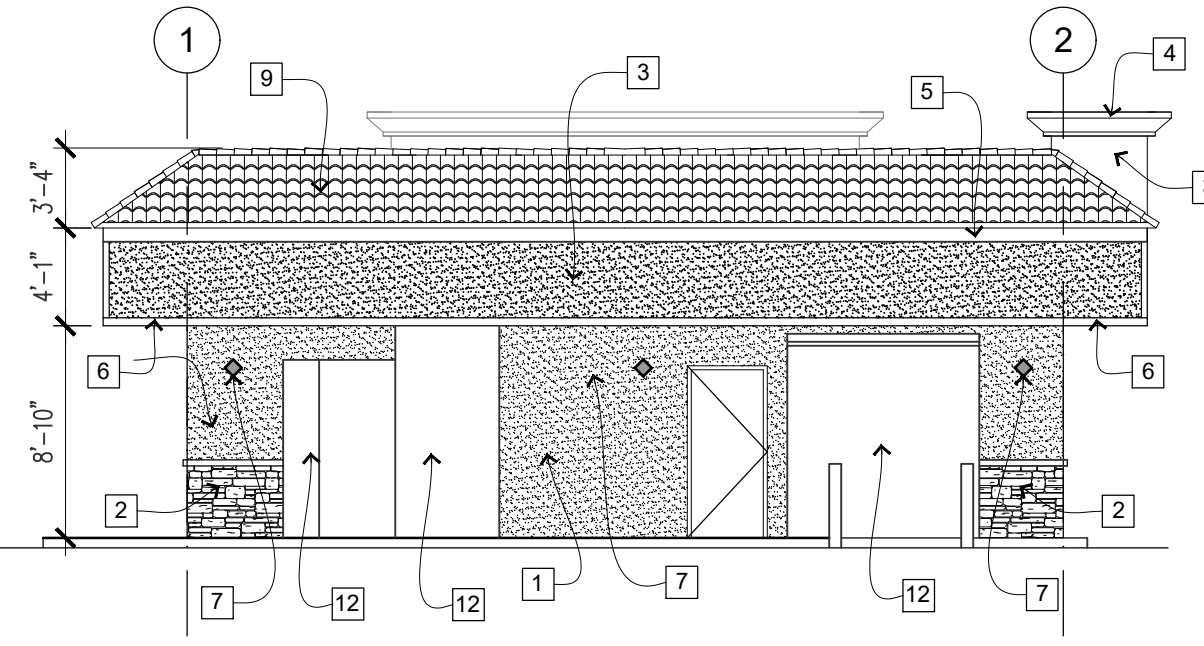
EXISTING/ PROPOSED BUILDING D (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - D (REAR ELEVATION)

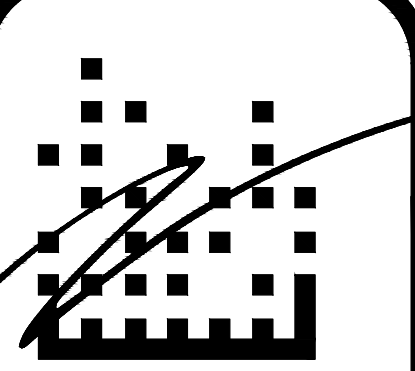
SCALE: 1/8"=1'-0"



EXISTING/ PROPOSED BUILDING - D (REAR ELEVATION)

SCALE: 1/8"=1'-0"

REVISIONS	BY
THE CITY COMMENTS 08/11/2025	▲



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LAKE FOREST, CA 92630
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08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
A-4.4
OF SHEETS

ELEVATIONS KEY NOTES:

- 1 NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD CHAPARRAL (DET 745)
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ELDORADO STONE MOUNTAIN LEDGE SIERRA
- 3 REMOVED EXISTING SIDING, REPLACED WITH NEW STUCCO OVER FOAM BOARD OVER (E) PLYWOOD.
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La Habra Center
Color board

Cornice Trim



Facia - Storefront overhang



New plaster - CMU



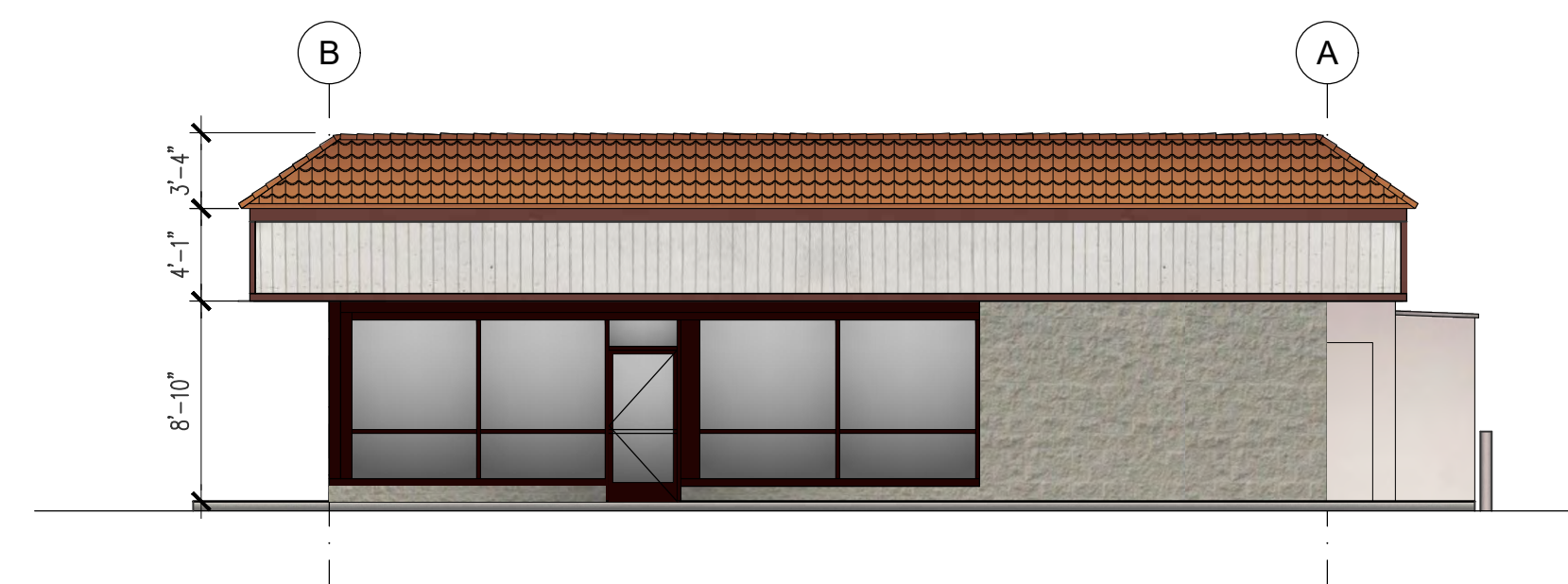
ELDORADO STONE MOUNTAIN LEDGE SIERRA



NEW ROOF TILE TO MATCH EXISTING MATERIAL AND COLOR

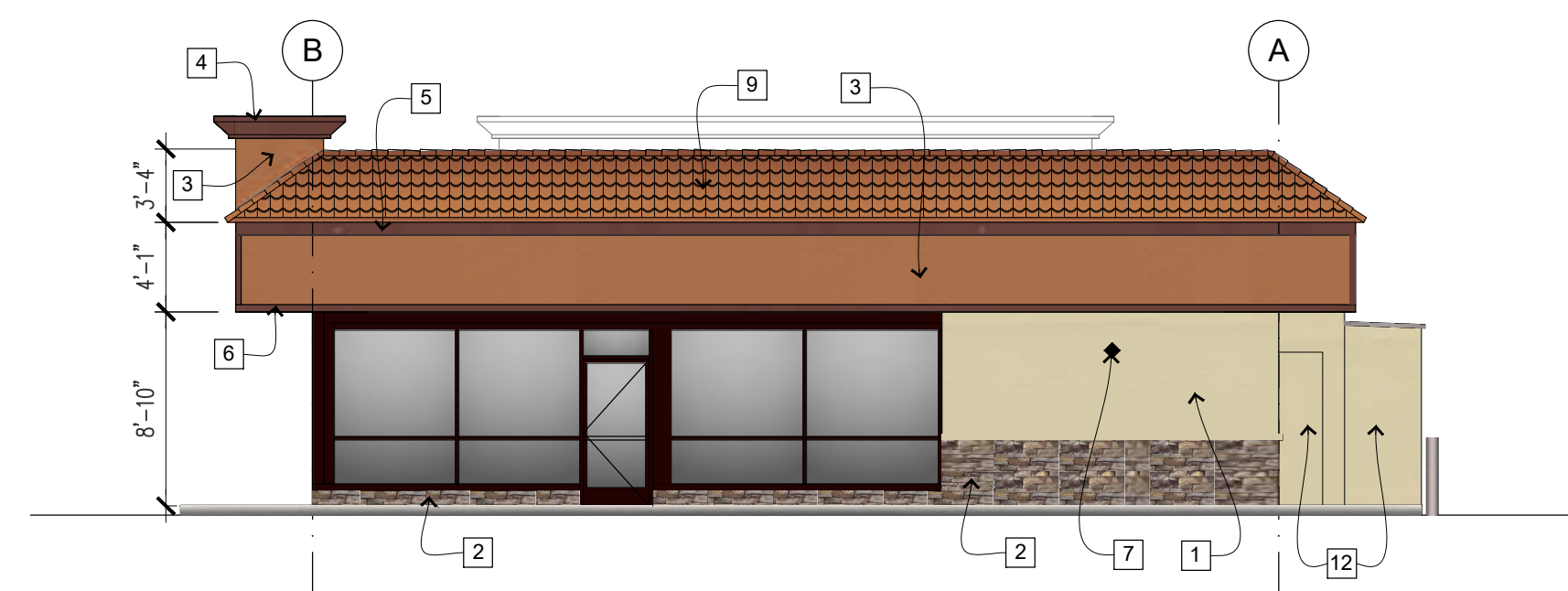
COLOR AND MATERIAL NOTE:

FOR COLORS, MATERIAL AND SIZES SEE A-10 SHEET.



EXISTING BUILDING - D (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



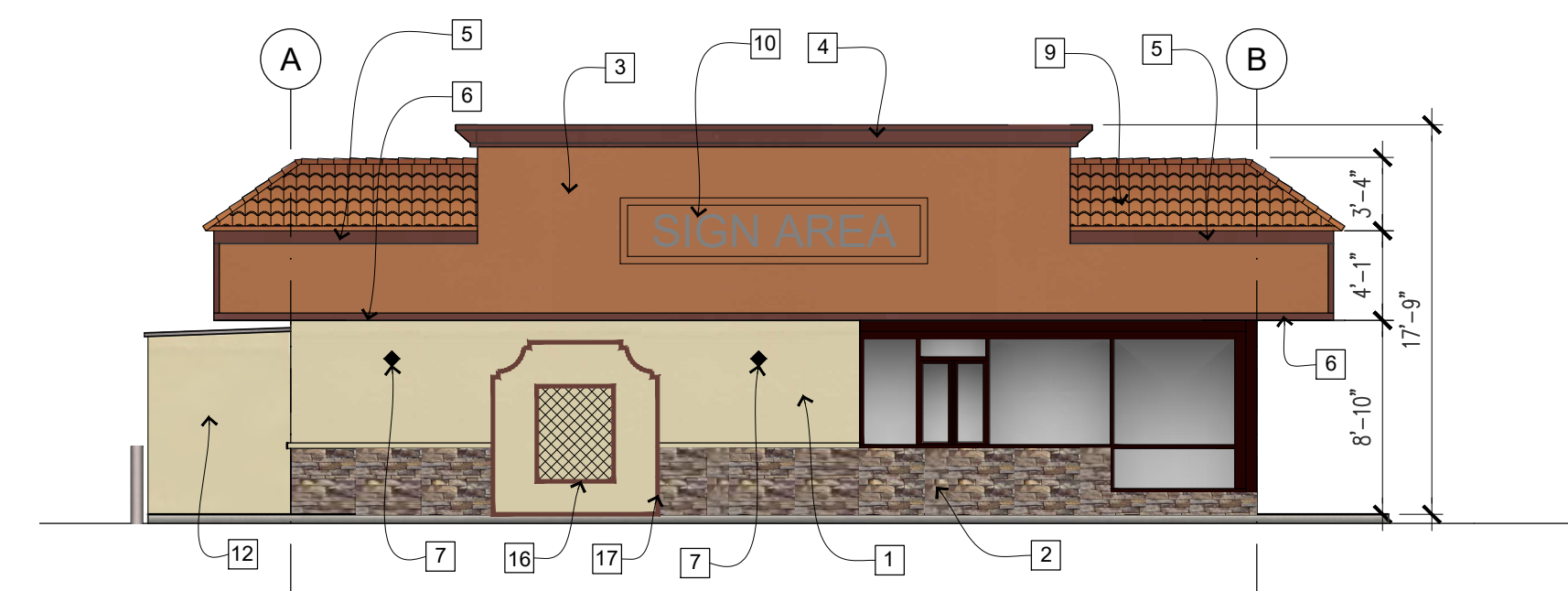
EXISTING/ PROPOSED BUILDING - D (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - D (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



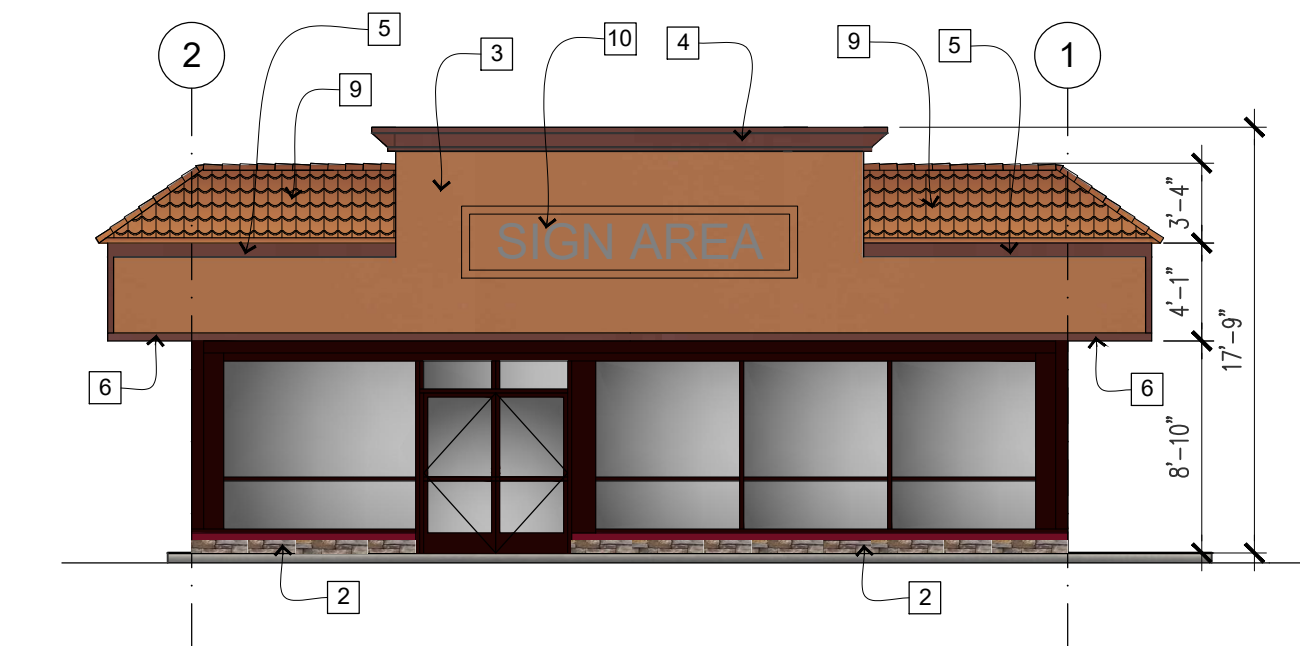
EXISTING/ PROPOSED BUILDING - D (LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



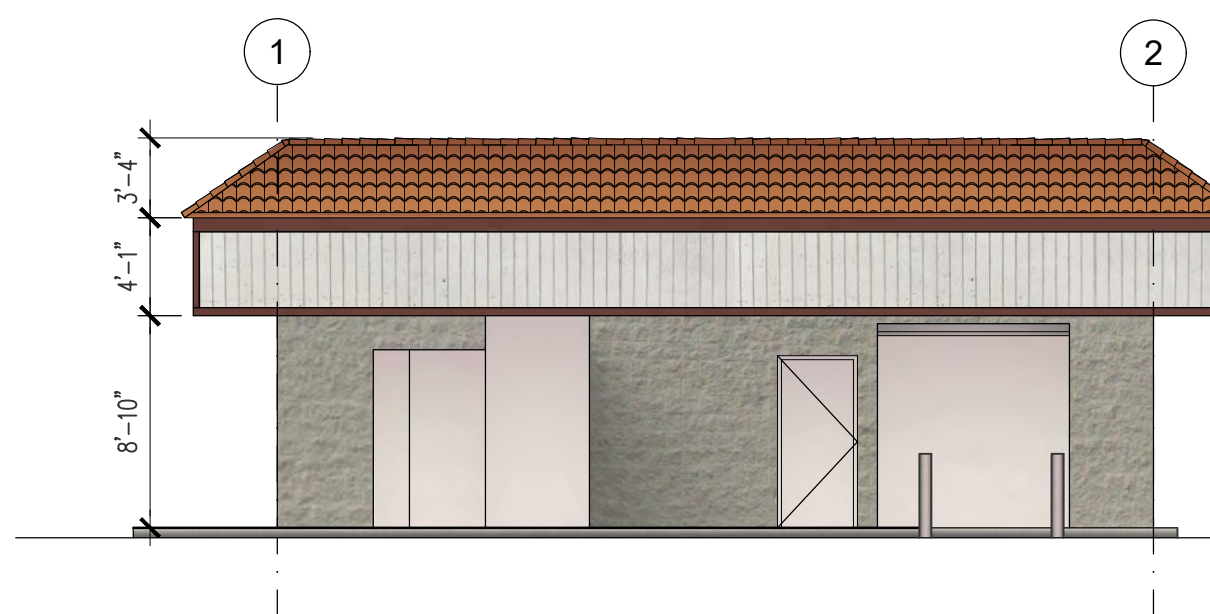
EXISTING BUILDING - D (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



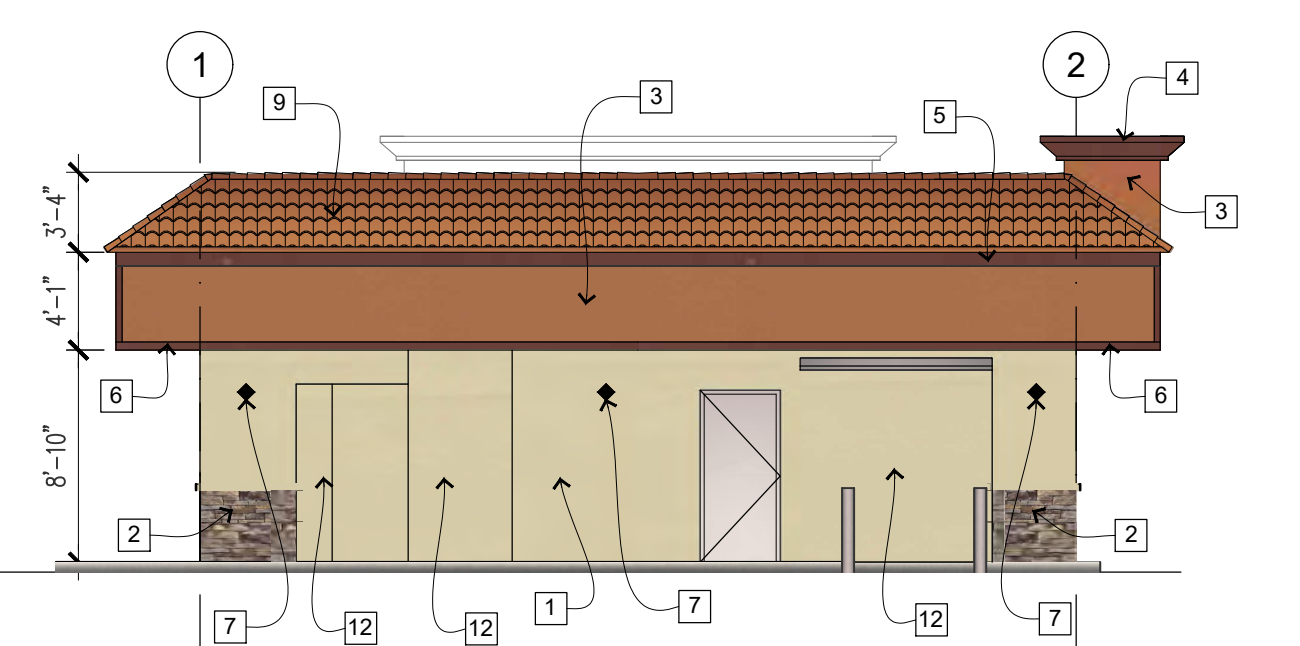
EXISTING/ PROPOSED BUILDING D (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



EXISTING BUILDING - D (REAR ELEVATION)

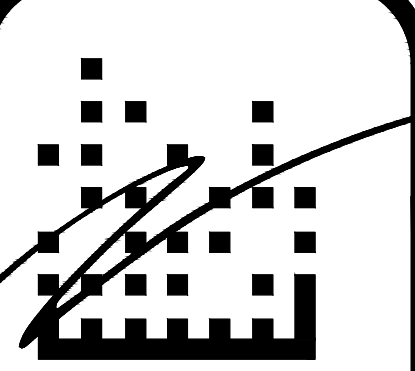
SCALE: 1/8"=1'-0"



EXISTING/ PROPOSED BUILDING - D (REAR ELEVATION)

SCALE: 1/8"=1'-0"

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24275 PONCHARTRAIN LANE
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949-855-4387



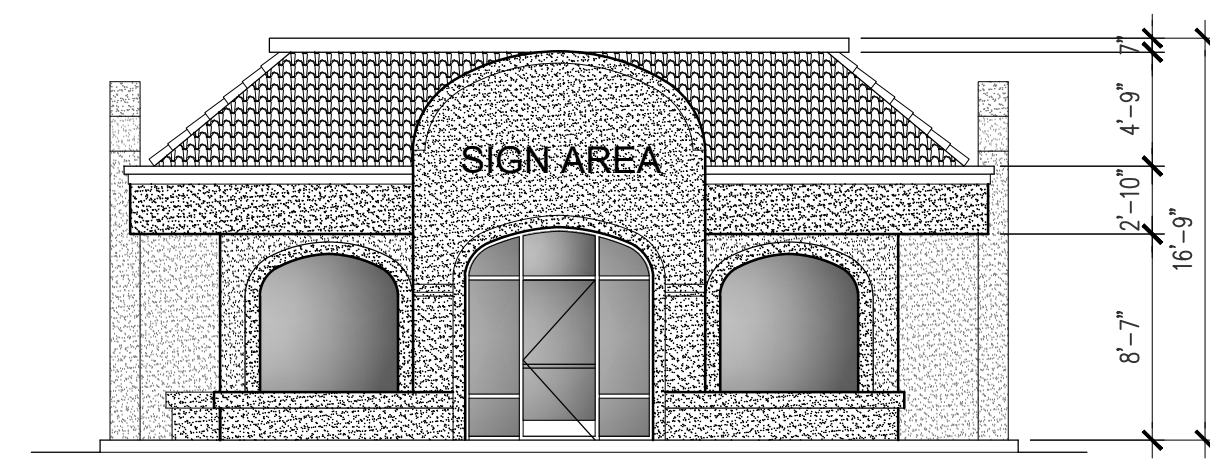
08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET

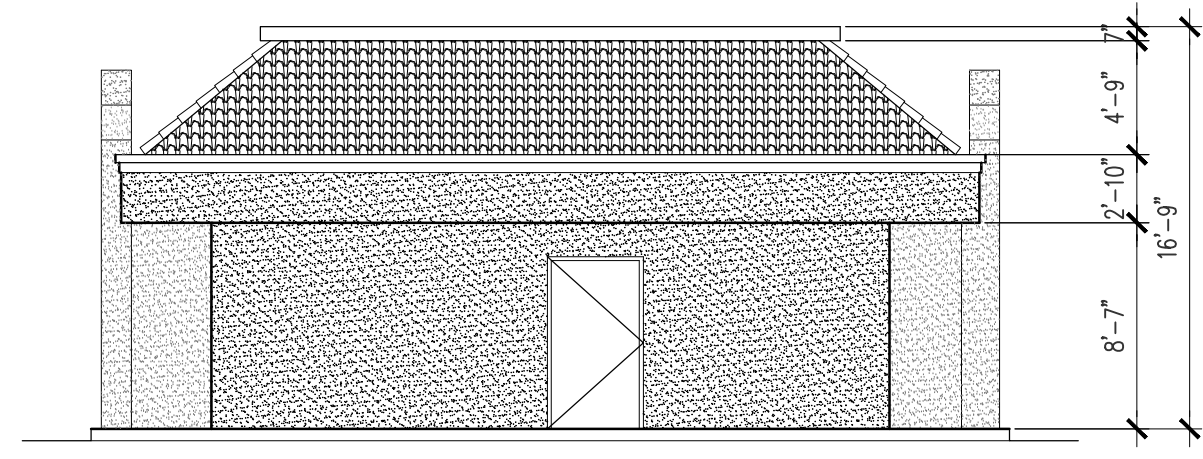
A-4.4A

OF SHEETS



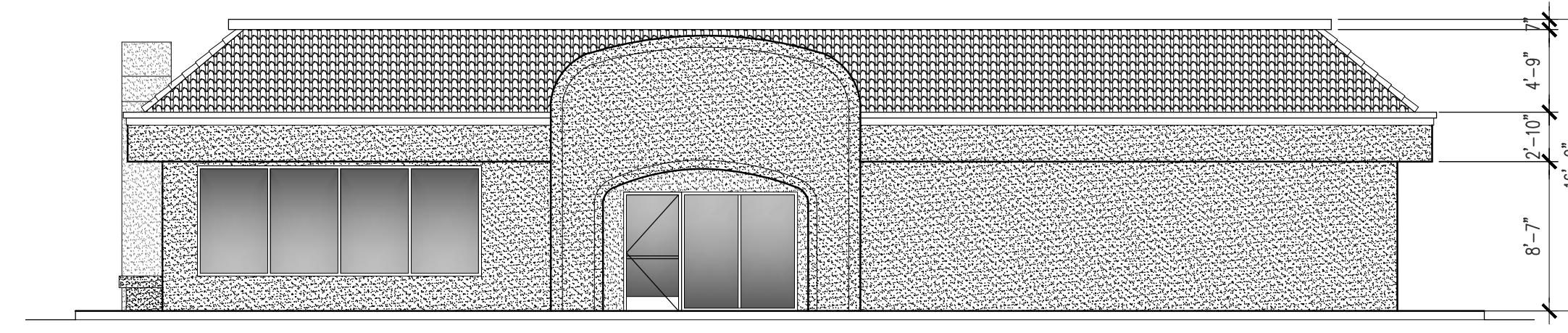
EXISTING BUILDING - E (LEFT SIDE ELEVATION)

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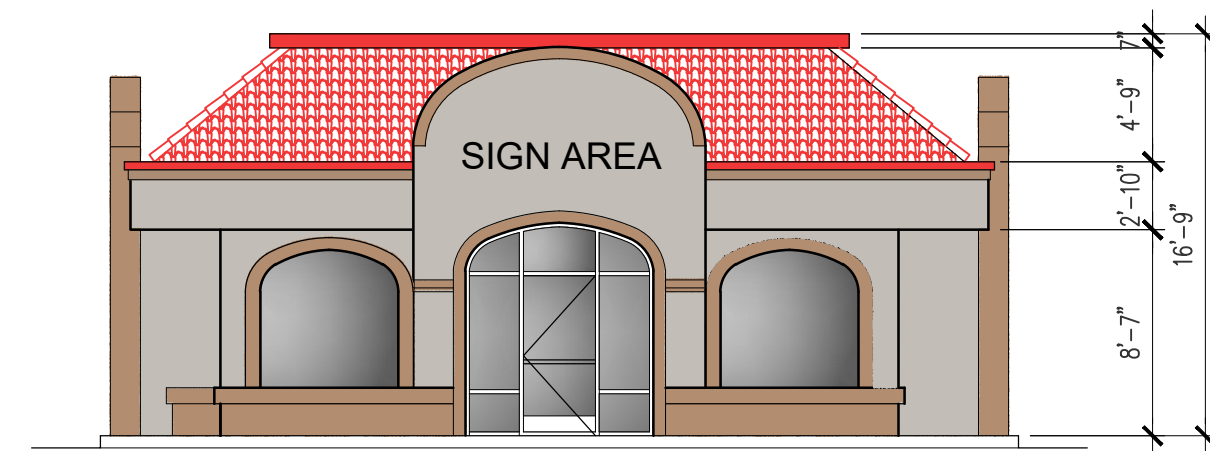
EXISTING BUILDING - E (RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



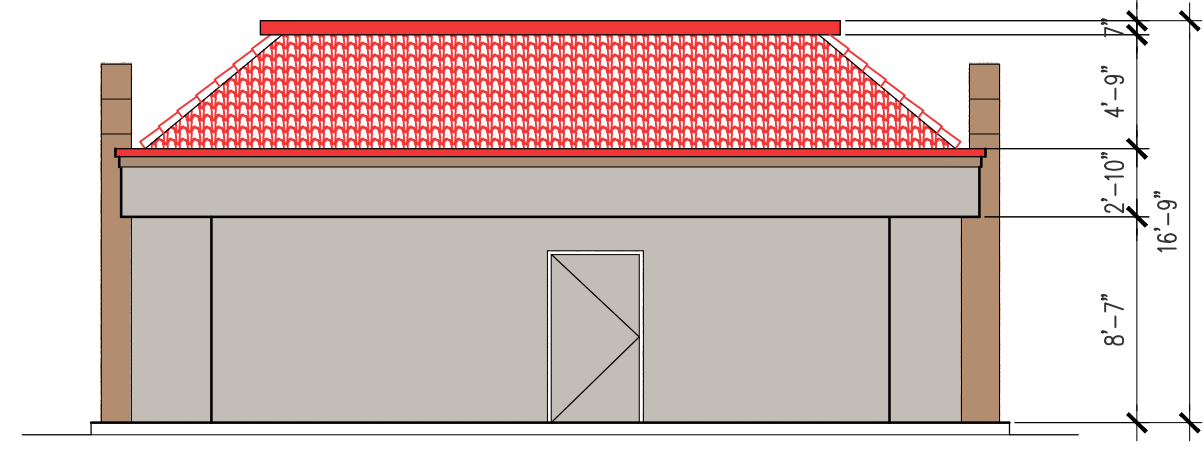
EXISTING BUILDING - E (FRONT ELEVATION)

SCALE: 1/8"=1'-0"



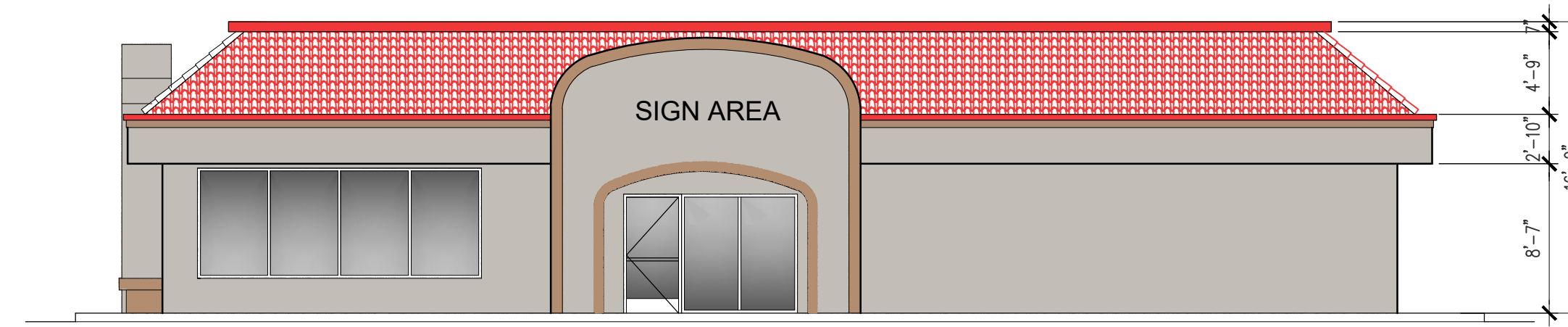
EXISTING BUILDING - E (COLORED LEFT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



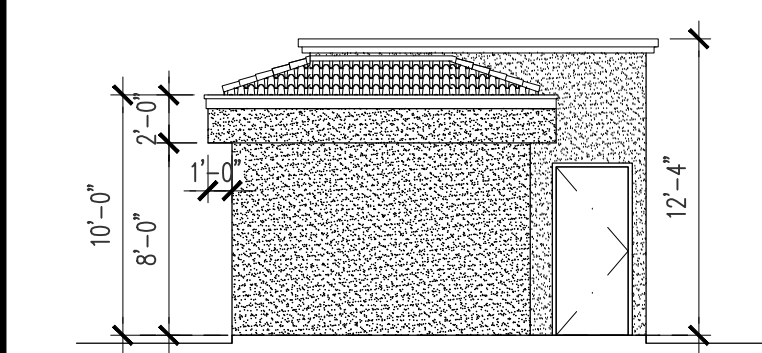
EXISTING BUILDING - E (COLORED RIGHT SIDE ELEVATION)

SCALE: 1/8"=1'-0"



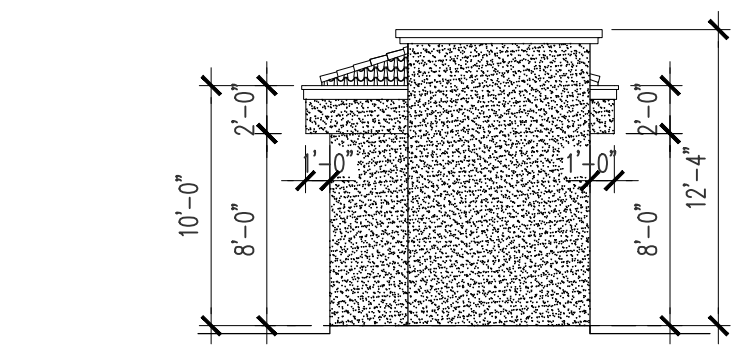
EXISTING BUILDING - E (COLORED FRONT ELEVATION)

SCALE: 1/8"=1'-0"



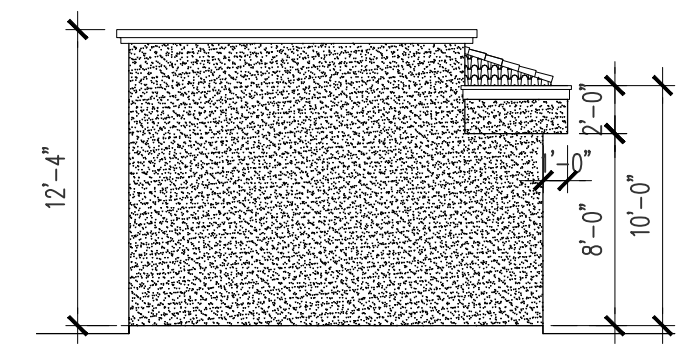
BUILDING - E FREEZER/ COOLER ("A" - FRONT ELEVATION)

SCALE: 1/8"=1'-0"



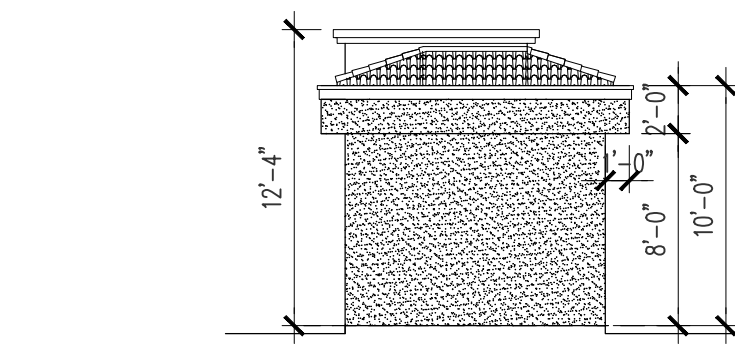
BUILDING - E FREEZER/ COOLER ("B" - RIGHT ELEVATION)

SCALE: 1/8"=1'-0"



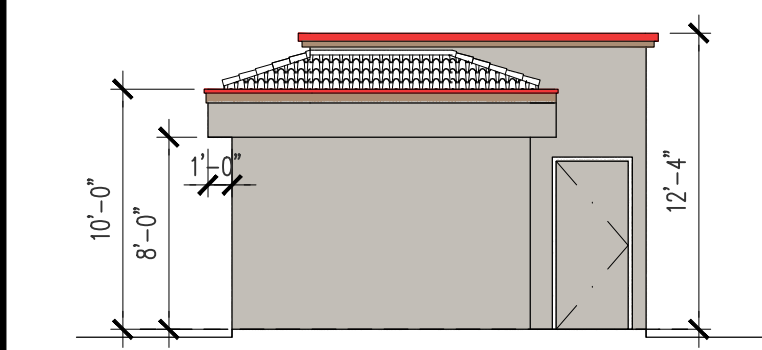
BUILDING - E FREEZER/ COOLER ("C" - REAR ELEVATION)

SCALE: 1/8"=1'-0"



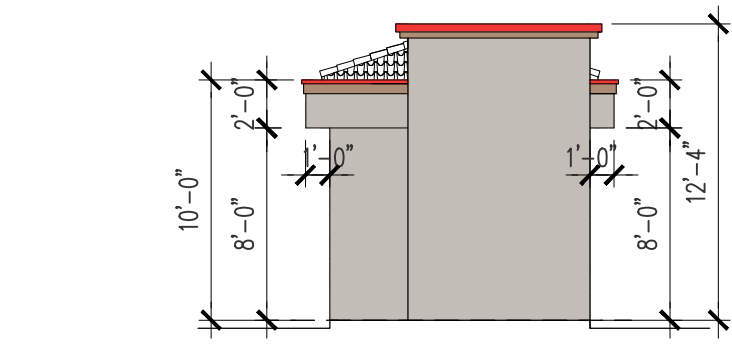
BUILDING - E FREEZER/ COOLER ("D" - LEFT ELEVATION)

SCALE: 1/8"=1'-0"



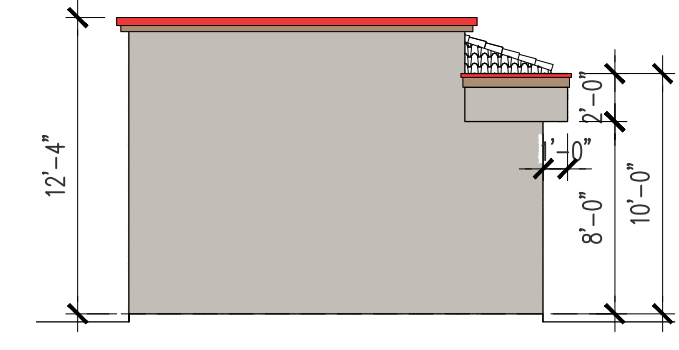
BUILDING - E FREEZER/ COOLER (COLORED FRONT ELEVATION)

SCALE: 1/8"=1'-0"



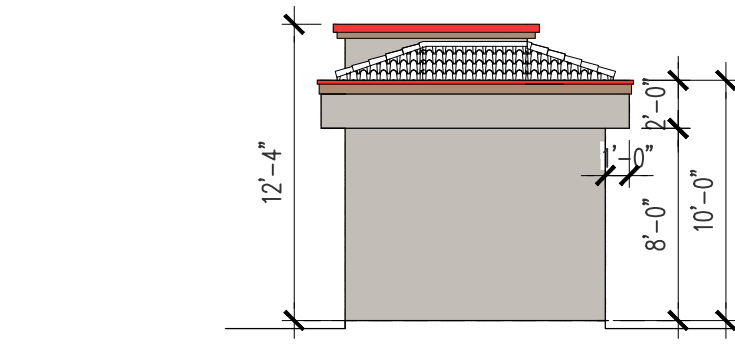
BUILDING - E FREEZER/ COOLER (COLORED RIGHT ELEVATION)

SCALE: 1/8"=1'-0"



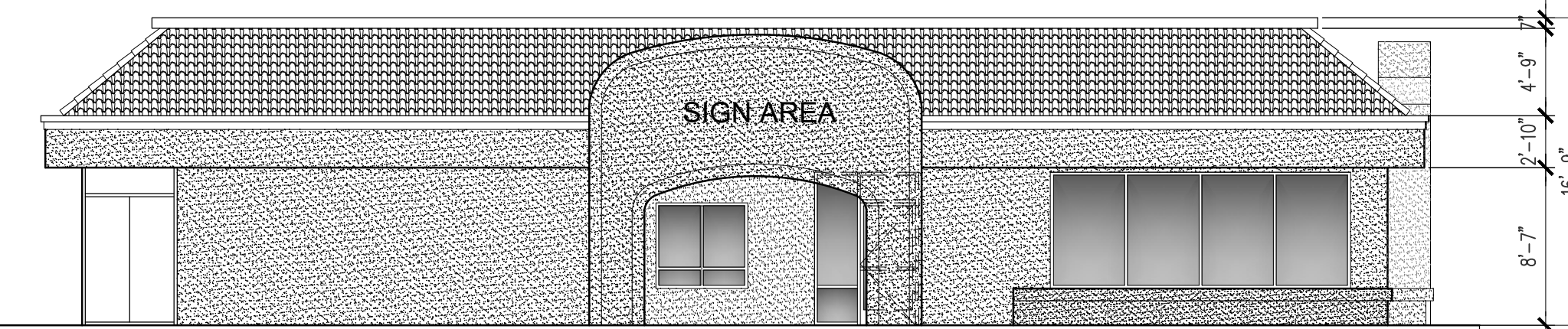
BUILDING - E FREEZER/ COOLER (COLORED REAR ELEVATION)

SCALE: 1/8"=1'-0"



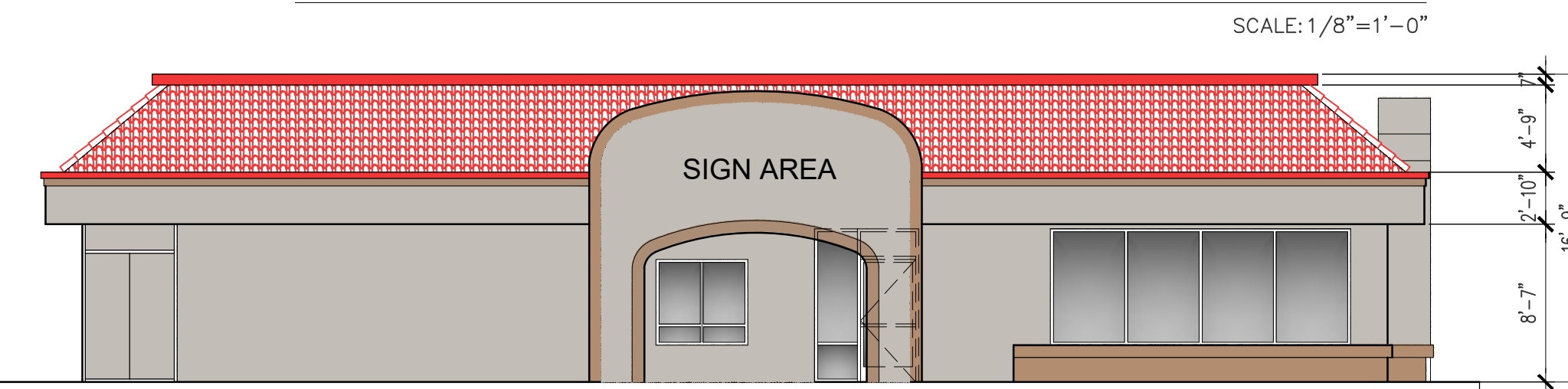
BUILDING - E FREEZER/ COOLER (COLORED LEFT ELEVATION)

SCALE: 1/8"=1'-0"



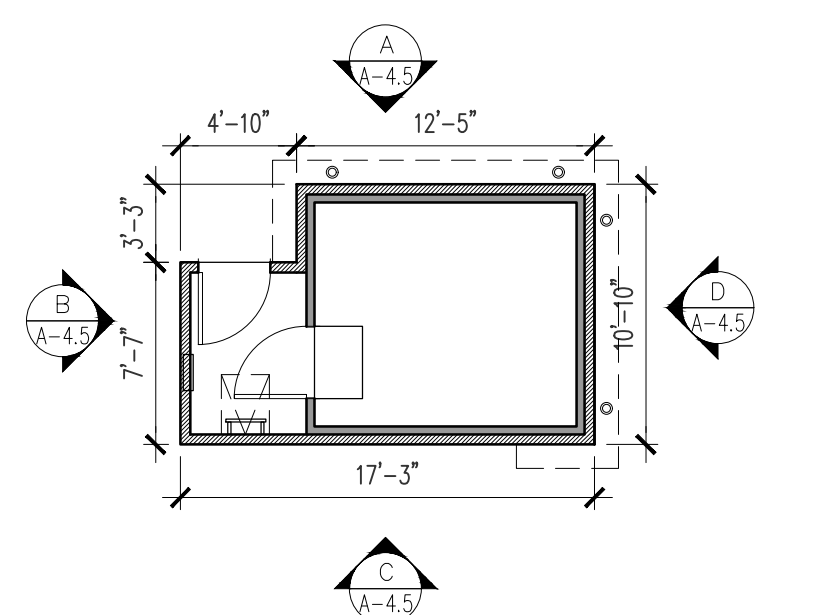
EXISTING BUILDING - E (REAR ELEVATION)

SCALE: 1/8"=1'-0"



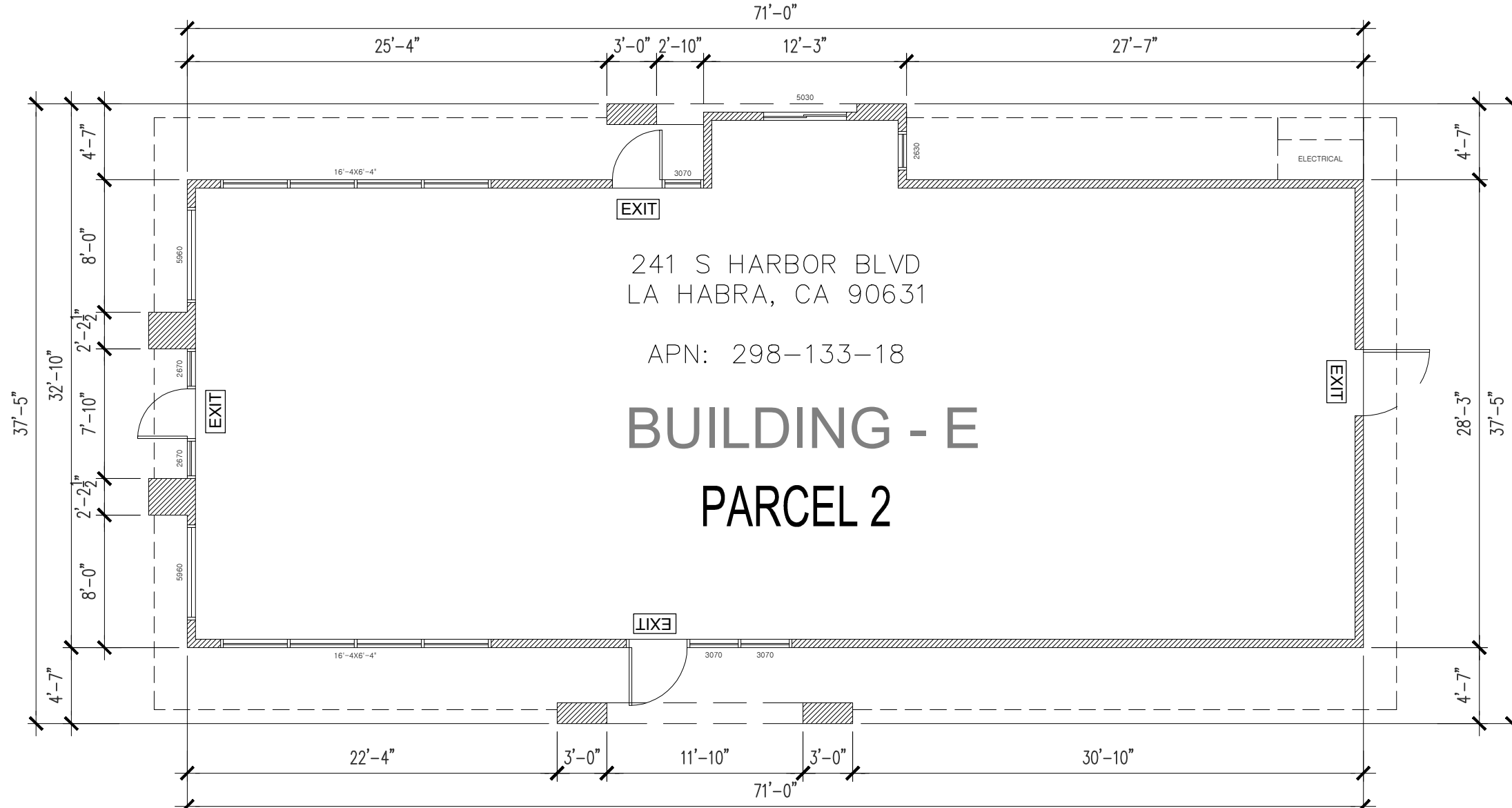
EXISTING BUILDING - E (COLORED REAR ELEVATION)

SCALE: 1/8"=1'-0"



BUILDING - E FREEZER/ COOLER (FLOOR PLAN)

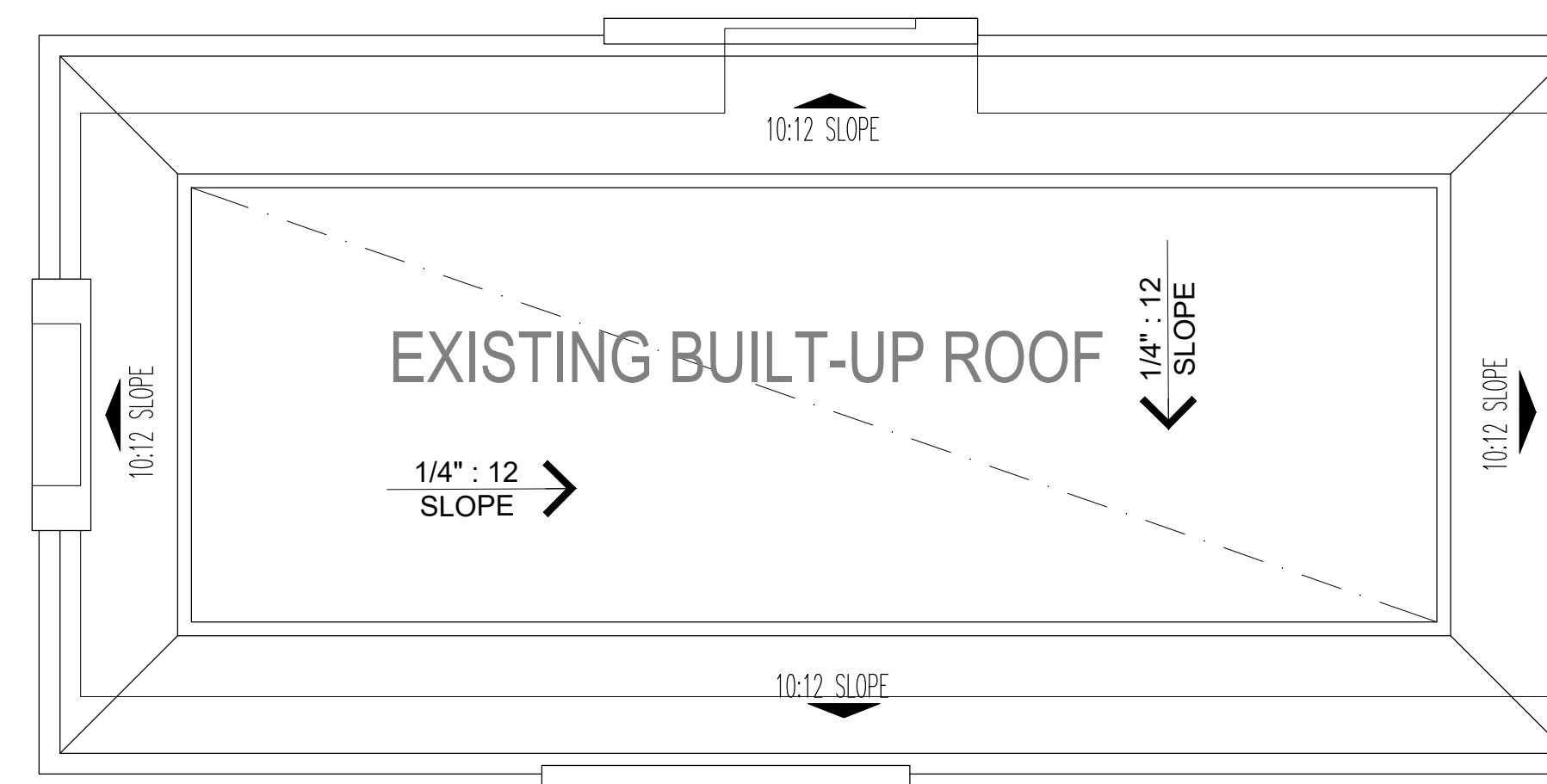
SCALE: 1/8"=1'-0"



FLOOR PLAN (EXISTING BUILDING - E)

SCALE: 1/8"=1'-0"

FLOOR PLAN SCALE: 1/4" = 1'

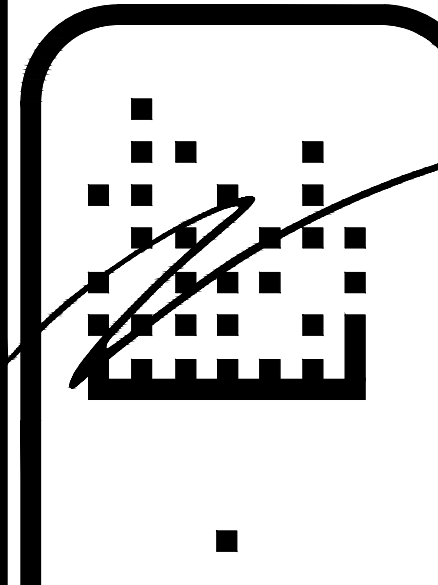


ROOF PLAN (EXISTING BUILDING - E)

SCALE: 1/8"=1'-0"

TROY'S BURGER FLOOR, ROOF PLANS AND ELEVATIONS FOR REFERENCE ONLY

REVISIONS	BY
THE CITY COMMENTS 08/11/2025	



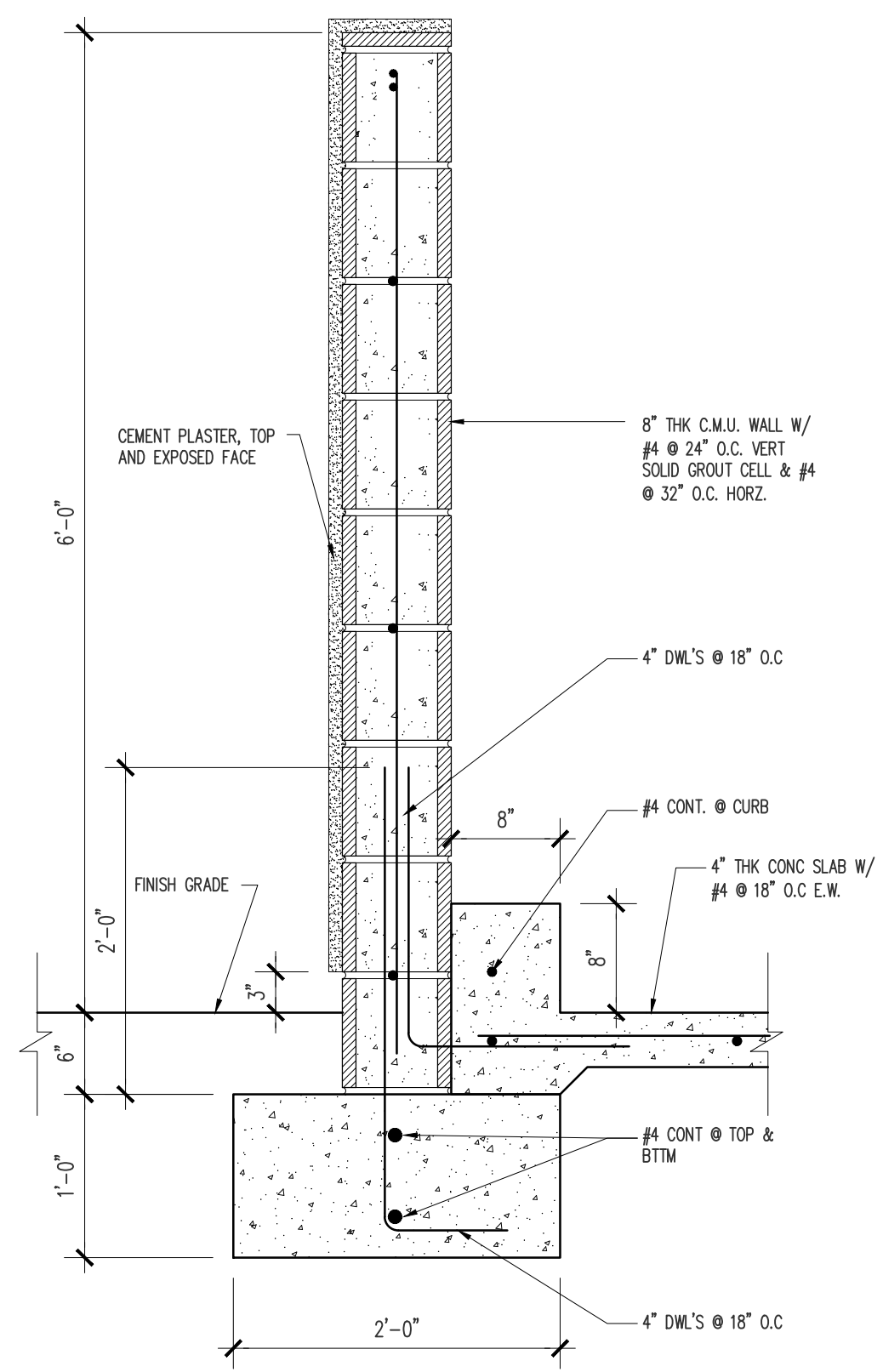
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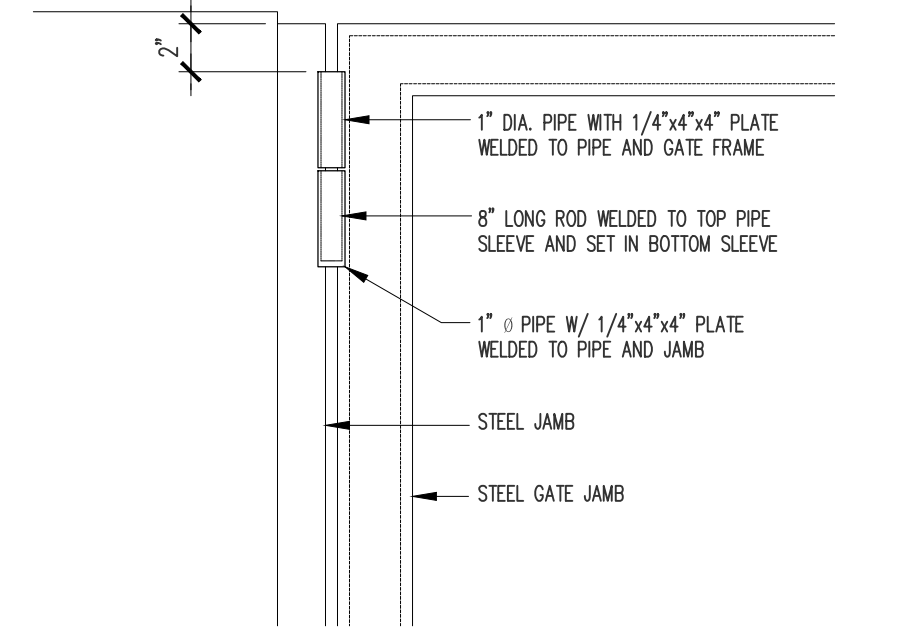
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LA HABRA, CALIFORNIA 90631

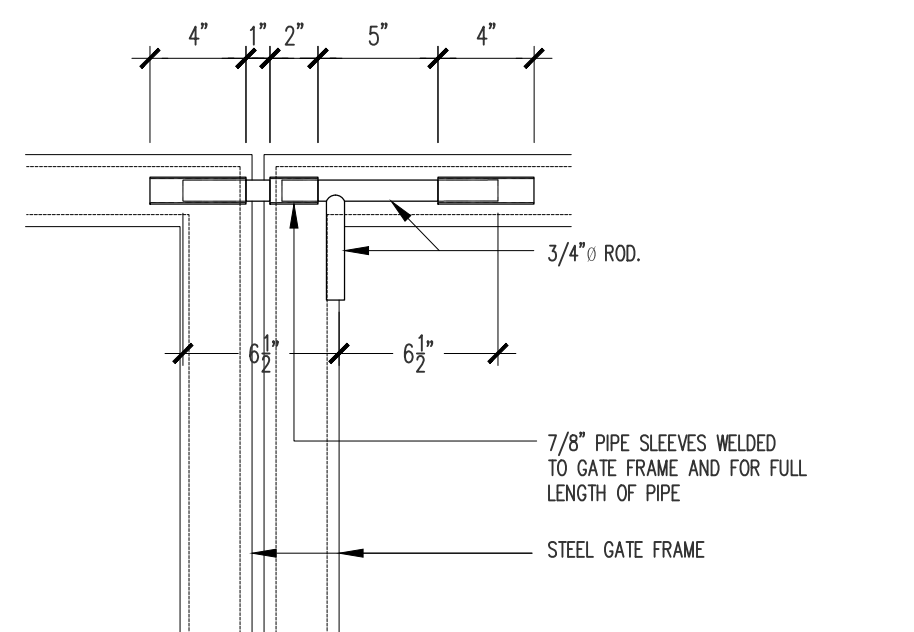
DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
A-4.5
OF SHEETS



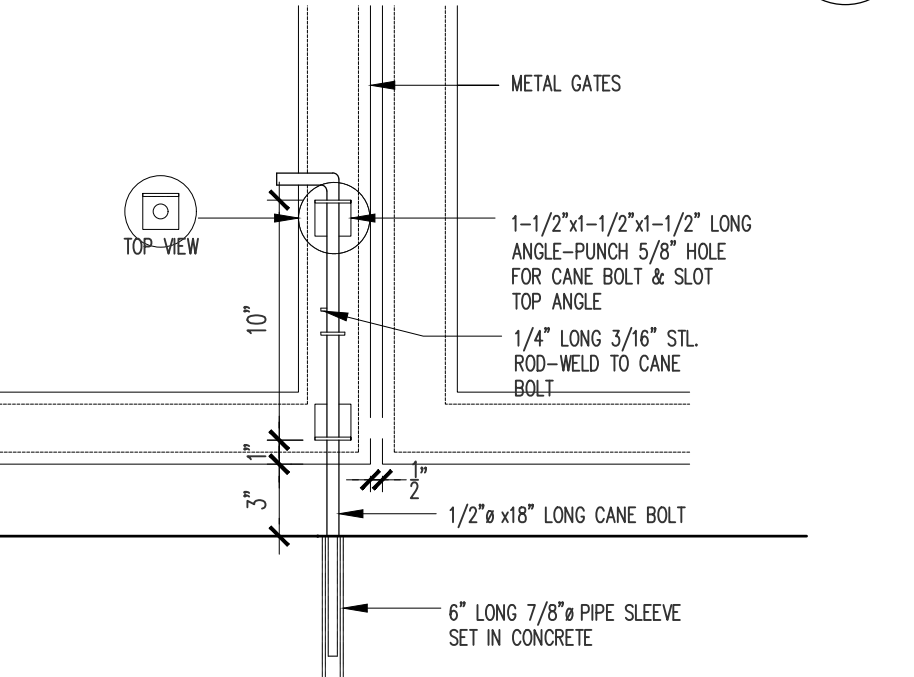
WALL SECTION
SCALE: 1 1/2"=1'-0"



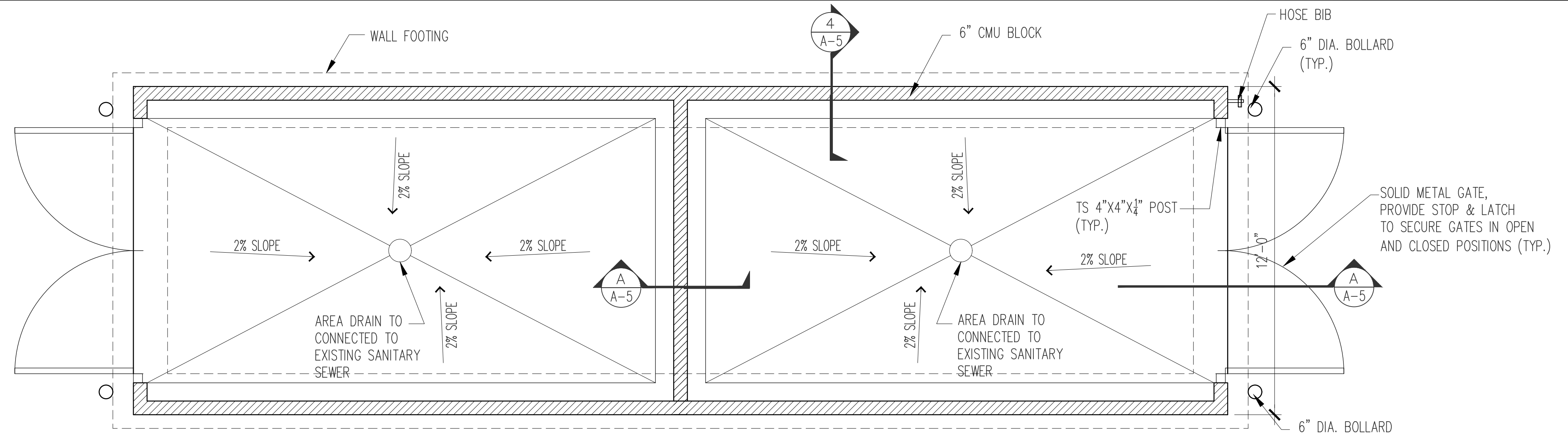
HINGE AT SIDE OF GATE
SCALE: 1 1/2"=1'-0"



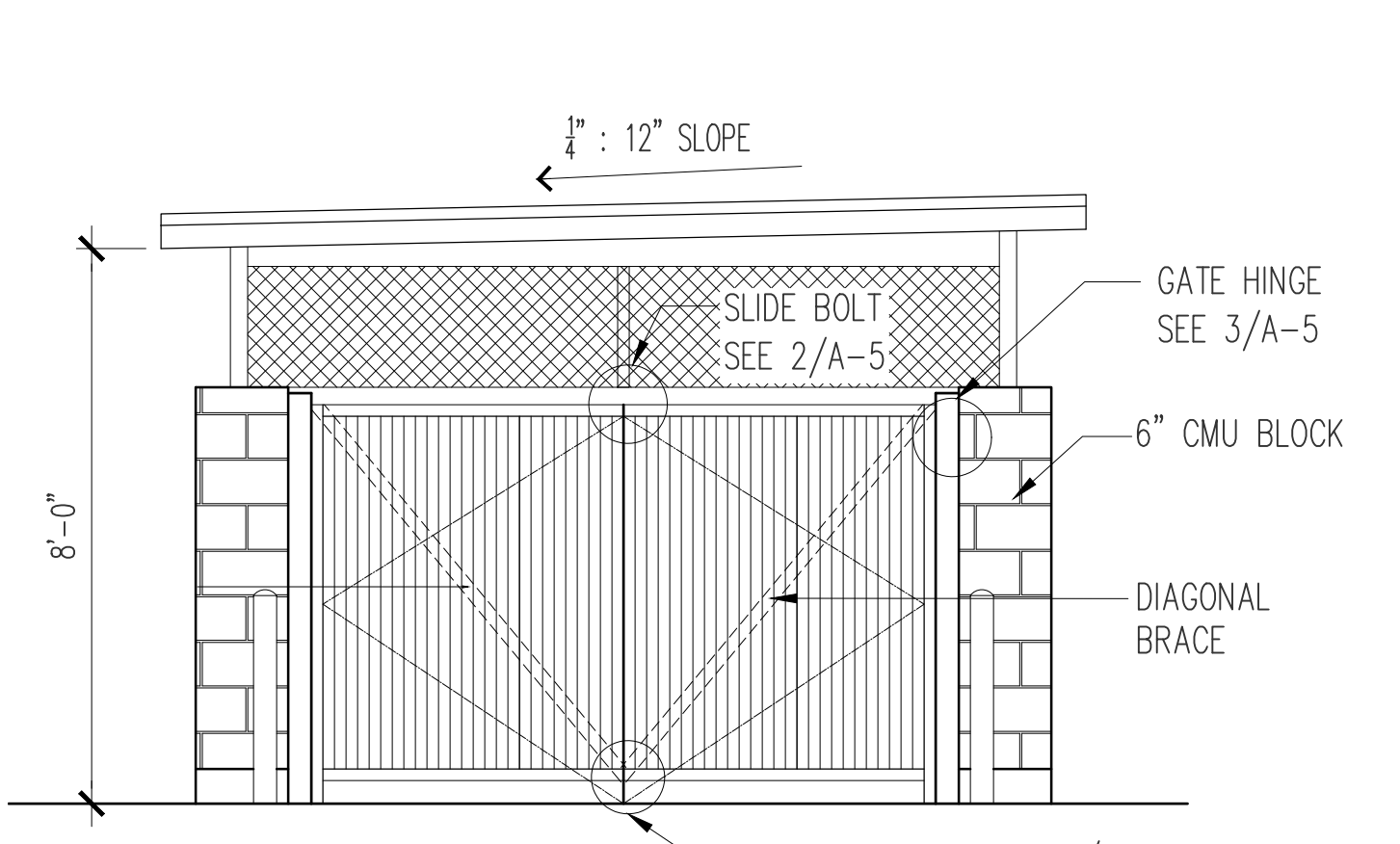
SOLID BOLT AT TOP OF GATE
SCALE: 1 1/2"=1'-0"



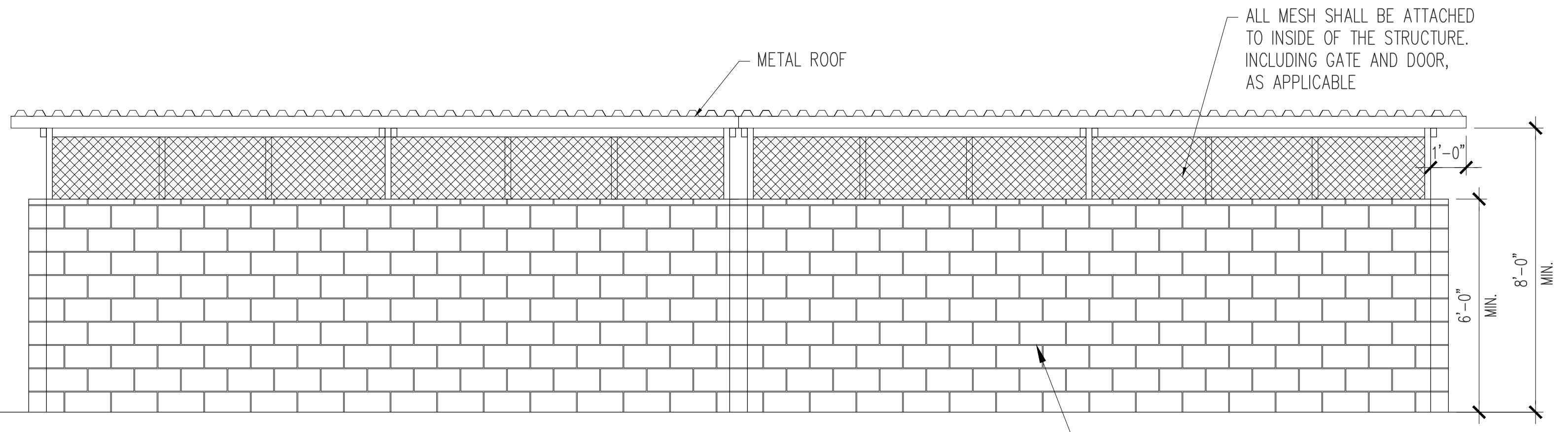
CANE BOLT AT BOTTOM OF GATE
SCALE: 1 1/2"=1'-0"



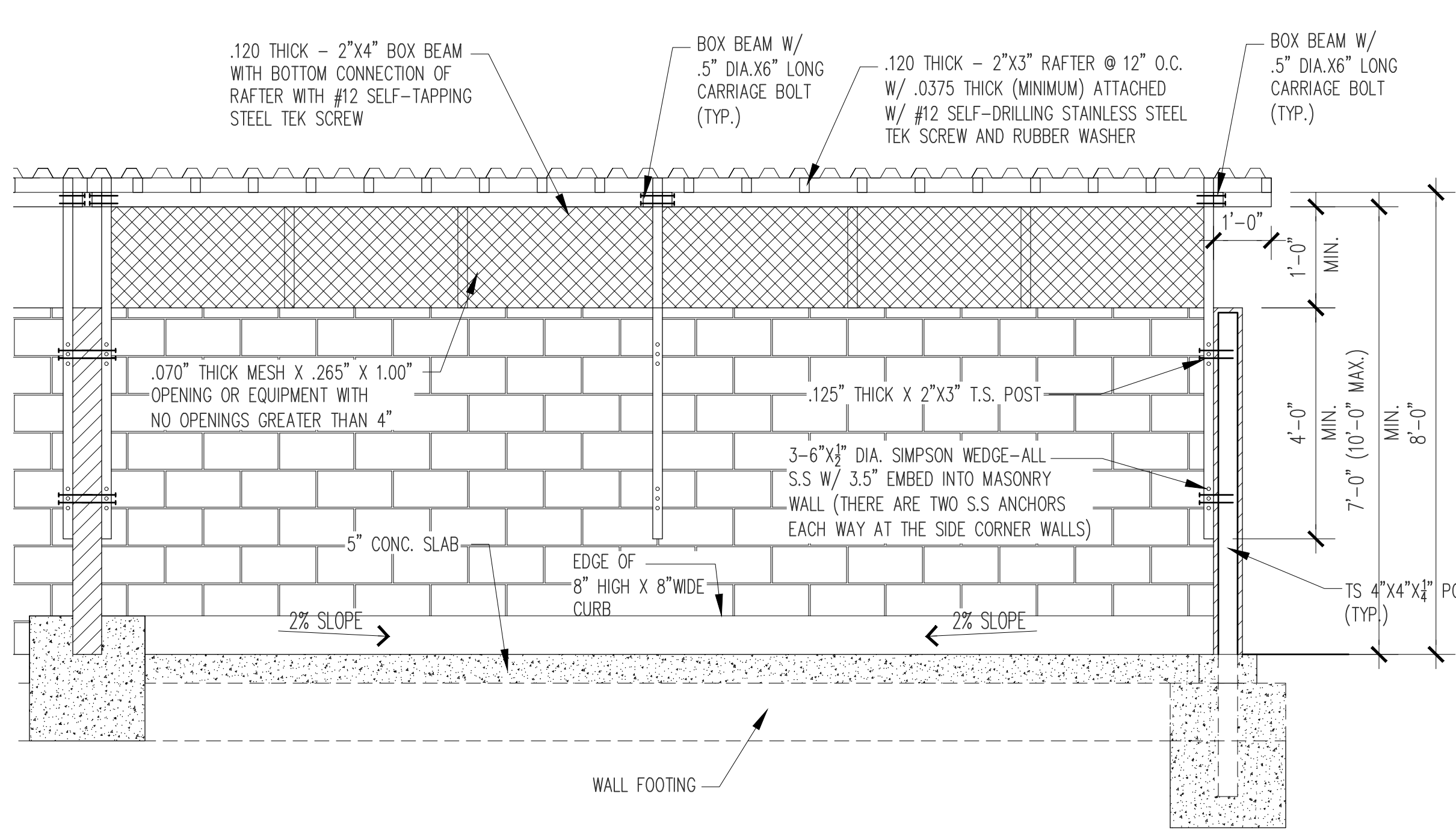
TRASH ENCLOSURE PLAN VIEW
SCALE: 3/8"=1'-0"



TRASH ENCLOSURE FRONT ELEVATION
SCALE: 3/8"=1'-0"



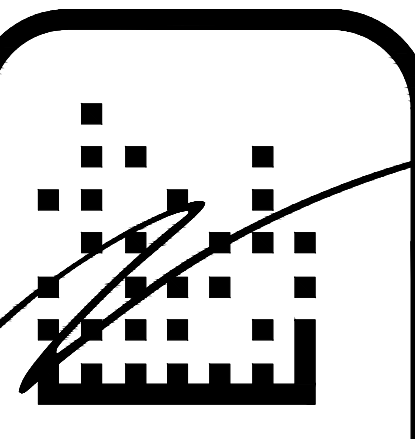
TRASH ENCLOSURE SIDE ELEVATION
SCALE: 3/8"=1'-0"



TRASH ENCLOSURE SECTION - A
SCALE: 1/2"=1'-0"

- TRASH ENCLOSURE NOTES:**
- LOCATION:** SITE PLANS FOR ENCLOSURES SHOULD CONSIDER VEHICULAR AND PEDESTRIAN TRAFFIC PATTERNS. KEEP THE PATH BETWEEN THE ENCLOSURE DOORS AND WHERE THE TRUCK WOULD STOP FREE OF PARKED CARS, DELIVERY VEHICLES, OR ANYTHING ELSE. THE LOCATION OF THE PROPOSED ENCLOSURE WILL BE ASSESSED AS PART OF THE DESIGN REVIEW PROCESS THROUGH THE PLANNING DIVISION. DUMPSTER ENCLOSURES SHOULD BE LOCATED TO ENSURE: EXTERNAL WASTE STORAGE AREAS SHALL NOT BE LOCATED IN ANY REQUIRED PARKING, LANDSCAPED, OR OPEN SPACE, OR ANY AREAS REQUIRED BY THE CITY TO BE MAINTAINED UNOCCUPIED. DUMPSTER ARE READILY ACCESSIBLE TO BUILDING OCCUPANTS, FACILITY MAINTENANCE PERSONNEL, AND TO EDI. THIS TYPICALLY IS A MAXIMUM DISTANCE OF 250 FEET FROM THE APPROPRIATE DOORWAY OF EACH BUSINESS OR MULTI-FAMILY DWELLING UNIT. ENCLOSURES PROVIDE ADEQUATE ACCESS SO AS TO MINIMIZE EFFORT IN THE COLLECTION AND REMOVAL OF CONTAINER CONTENTS FROM THE ENCLOSURES. INCREASED COLLECTION REQUIREMENTS. EIGHTEEN (18) FEET IS REQUIRED WHEN A TRUCK HAS TO BACK OUT; ADDITIONAL WIDTH MAY BE REQUIRED BASED ON SITE CONDITIONS. ADEQUATE TURN-AROUND AND TURNING RADII; IT IS DIFFICULT FOR A COLLECTION TRUCK TO BACK UP. PROVIDING A TURN-AROUND OR SEPARATE EXIT THAT ALLOWS THE TRUCK TO MOVE FORWARD RATHER THAN BACKWARDS IS RECOMMENDED. THE MAXIMUM BACKUP DISTANCE IS 50 FEET FOR ANY MANUEVER (UNLESS APPROVED BY EDI) AND MUST BE IN A STRAIGHT LINE. OVERHEAD OBSTRUCTIONS DO NOT IMPEDE THE WASTE HAULER FROM GAINING ACCESS TO THE SITE. THE MINIMUM OVERHEAD CLEARANCE FROM ROOFS, UTILITY LINES, TREES, ETC. IS 16 FEET ON THE DRIVE APPROACH, AND 22 FEET AT THE SERVICE POINT. MINIMUM DRIVEWAY WIDTH FOR STRAIGHT THROUGH DRIVE AND PICK-UP IS 14 FEET; ADDITIONAL WIDTH MAY BE NECESSARY PER FIRE AND ENGINEERING DEPARTMENT REQUIREMENTS. EIGHTEEN (18) FEET IS REQUIRED WHEN A TRUCK HAS TO BACK OUT; ADDITIONAL WIDTH MAY BE REQUIRED BASED ON SITE CONDITIONS.
 - SLAB, CONCRETE, DRAINAGE, AND CURBS:** CONCRETE SLAB CONSTRUCTION SPECIFICATIONS WILL VARY ACCORDING TO METHODS OF CONSTRUCTION, BUT SHOULD BE AT LEAST FOUR (4) INCHES OF REINFORCED CONCRETE. PLEASE PROVIDE THIS INFORMATION TO YOUR CONTRACTOR TO ENSURE ADEQUATE SLAB STRENGTH. SLOPE: THE SLAB SHALL BE NEAR OR AT THE SAME LEVEL OR GRADE AS THE STREET OR PARKING AREA TO FACILITATE THE ROLLING OF BINS FOR LOADING AND UNLOADING. THE SLAB SHALL ALSO BE DESIGNED/SLOPED TO KEEP STORM WATER DRAINAGE OUT OF THE ENCLOSURE AREA (TYPICALLY 0.5% SLOPE BUT NO MORE THAN 2%). WHEELED BINS CAN BE MOVED BY JARRING OR PUSHING, AND A SLOPED SLAB CAN CAUSE THEM TO ROLL, RESULTING IN POSSIBLE DAMAGE TO ENCLOSURE WALLS, DOORS, VEHICLES, OR INJURY TO PEOPLE. THEREFORE, THE SLAB SHOULD NOT BE DESIGNED WITH EXCESSIVELY STEEP SLOPES AND THE BINS SHOULD BE APPROPRIATELY SECURED WITHIN THE ENCLOSURE, AS MAY BE NECESSARY. IF THE FLOOR IS ABOVE GROUND LEVEL, AN APPROACH RAMP SHALL BE PROVIDED AND SHALL NOT EXCEED A MAXIMUM SLOPE OF 5%. WHERE A RAMP LEADS TO AN ENCLOSURE, AVOID PLACING A LIP AT THE ENTRANCE THAT MIGHT IMPEDE CONTAINER PLACEMENT AND REMOVAL. THE EXTRA WEIGHT OF THE BIN ON THE FRONT OF THE TRUCK WHEN THE BIN IS PICKED UP CAN DAMAGE PAVEMENT IN FRONT OF THE ENCLOSURE. THE BEST PROTECTION IS A MINIMUM 10 FEET WIDE X 10 FEET LONG REINFORCED CONCRETE APRON ABLE TO ACCOMMODATE A 20-TON STATIONARY LOAD.
 - CONCRETE OR ASPHALT DRIVES SHOULD BE OF SUFFICIENT STRENGTH TO ACCOMMODATE 54,000 LBS. DISTRIBUTED ON 10 WHEELS. INTERIOR CONCRETE CURBS (MIN. 6 IN. WIDTH X 6 IN. HEIGHT) OR, LESS PREFERABLY, METAL BUMPERS SHALL BE PROVIDED TO PROTECT THE INSIDE OF THE ENCLOSURE AND TO EXTEND ENCLOSURE LIFE. WIDER CURBS OR INTERNAL PEDESTRIAN WALKWAYS MAY BE NECESSARY BASED ON ENCLOSURE DESIGN. BOLTS OR SCREWS SHALL BE INSET ON BUMPERS TO AVOID INJURY TO COLLECTOR OR USER. ENCLOSURE DRAINS, IF NECESSARY, SHALL NOT BE CONNECTED TO THE STORM DRAIN. DRAINS CAPTURING ENCLOSURE WASH WATER, TYPICALLY A REQUIREMENT FOR FOOD SERVICE ESTABLISHMENTS, SHALL BE CONNECTED TO THE BUSINESS GREASE INTERCEPTOR PRIOR TO DISCHARGE TO SEWER. ANY INTERNAL PLUMBING FIXTURES WITHIN THE ENCLOSURE SHALL BE PROTECTED BY DURABLE SHIELDING OR CURBING TO PREVENT DAMAGE BY WASTE CONTAINERS.**
 - WALLS:** WALLS ARE TO BE DECORATIVE 6" MINIMUM CMU BLOCK, MASONRY OR SIMILAR MATERIALS CONSISTENT WITH THE ARCHITECTURE. COLOR AND ACCENT MATERIALS OF PRIMARY BUILDING. ALL REBAR TO BE #4 MINIMUM AND LAP ALL REBAR TO BE 20" MINIMUM. MINIMUM 3" FROM REBAR TO EARTH AND 3" COVER OF EARTH FROM TOP OF FOOTING. GROUT ALL CELLS CONTAINING REBAR AND ANCHORS.
 - SCREENING:** EACH ENCLOSURE SHALL HAVE FOUR SIDES, ONE OF WHICH SHALL INCLUDE A SERVICE DOOR. THE ENCLOSURE WALLS AND DOORS SHALL BE A MINIMUM OF 6 FEET HIGH AND FULLY SCREEN ALL MATERIALS AND CONTAINERS FROM PUBLIC VIEW. SCREENING OVER THE TOP OF ENCLOSURE IS RECOMMENDED WHERE INTERIOR WILL BE VISIBLE FROM UPPER FLOORS.
 - ENCLOSURE DOORS/ GATES:**
 - SERVICE DOORS SHALL BE OF SOLID, UN-PERFORATED METAL CONSTRUCTION.
 - EACH DOOR SHALL SWING OPEN AT LEAST 150° FROM CLOSED POSITION. GENERALLY A 8 FT WIDE CLEARANCE (HINGE TO HINGE) IS REQUIRED TO ENABLE COLLECTION VEHICLE EQUIPMENT TO REACH CONTAINERS INSIDE THE ENCLOSURE AND LIFT EACH WITH HYDRAULIC FORKS.
 - CANE BOLTS SHOULD BE INSTALLED ON SERVICE DOORS WITH SLEEVED HOLES IN THE CONCRETE TO HOLD DOORS IN BOTH THE OPEN AND CLOSED POSITION.
 - WHEEL STOPS:** WHEEL STOPS SHALL BE INSTALLED 1 FOOT FROM INTERIOR WALLS OF STORAGE AREA TO PREVENT DAMAGE TO WALLS. WHEEL STOPS MAY BE CONCRETE CURBS, METAL STOPS, OR RECYCLED-CONTENT PLASTIC CURBS, WITH A HEIGHT OF NO MORE THAN 5 INCHES. BOLLARDS ARE NOT ACCEPTABLE. THIS REQUIREMENT APPLIES TO ALL INTERIOR WALLS EXCEPT AT DOORS.
 - ROOFS:** TO PREVENT TRASH ENCLOSURES FROM CONTRIBUTING TO STORM WATER RUNOFF POLLUTION, ALL ENCLOSURES MUST BE FITTED WITH A SOLID ROOF AND SLAB, AND DESIGNED TO DRAIN INTO ON-SITE LANDSCAPE AREAS (WHERE POSSIBLE). THE ROOF SHOULD EXTEND SUFFICIENTLY OUTWARD IN ALL DIRECTIONS SO THAT WIND-BLOWN RAIN WILL NOT ENTER THE INTERIOR OF THE STORAGE AREA. THE ROOF MUST PROVIDE SUFFICIENT CLEARANCE TO ALLOW THE DUMPSTER LID TO OPEN TO THE 90-DEGREE POSITION, TYPICALLY ALLOWING AT LEAST EIGHT (8) FEET VERTICAL CLEARANCE. THIS VERTICAL CLEARANCE SHOULD BE APPLIED TO THE LOWEST POINT OF ANY FIXTURES, INCLUDING SPRINKLER HEADS OR LIGHTING.
 - ENCLOSURE TO BE ADA ACCESSIBLE.**

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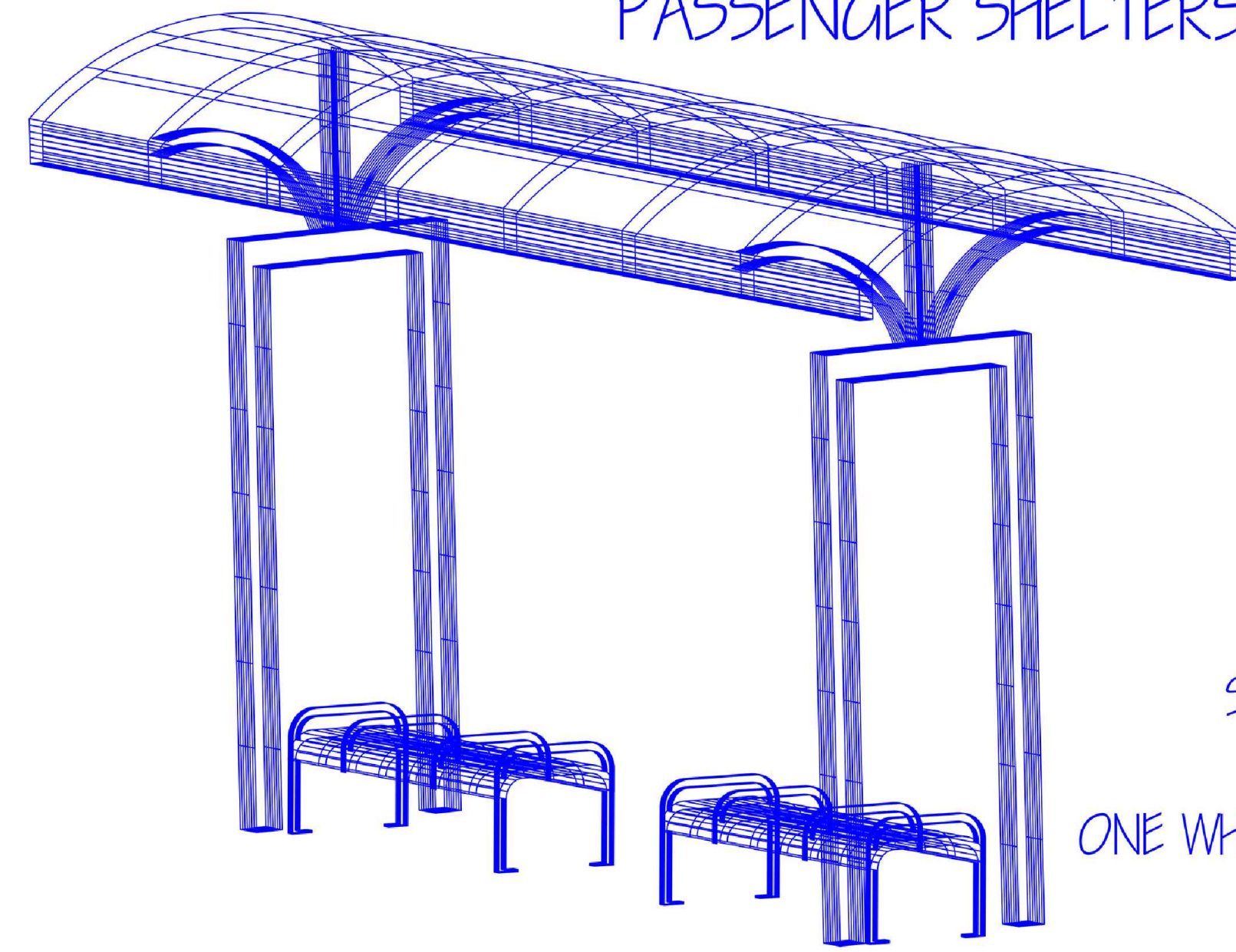
MANZER + ASSOCIATES
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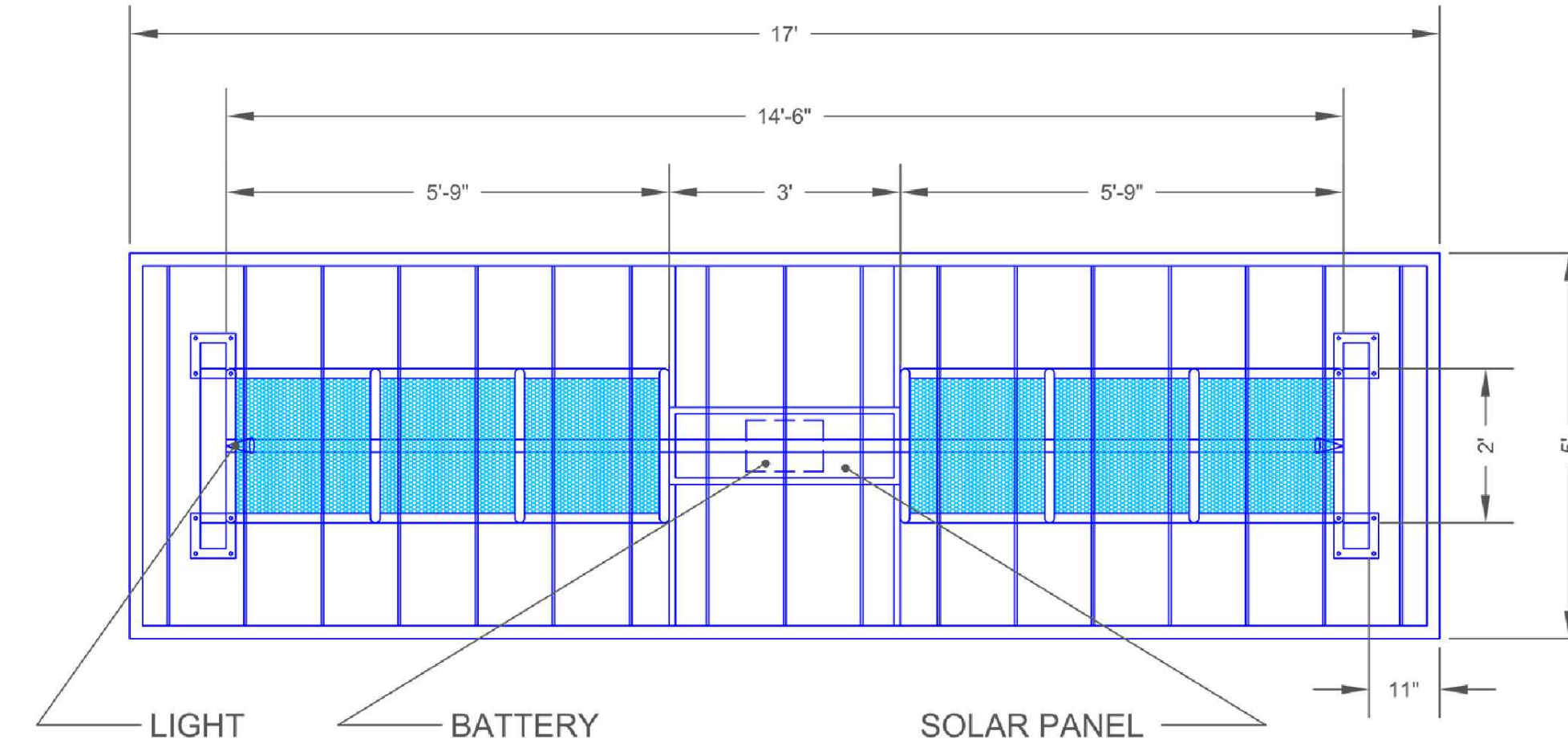
PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
A-5
OF SHEETS

TRANSIT SYSTEM
PASSENGER SHELTERS - 17'



SIX SEATS
AND
ONE WHEELCHAIR SPACE



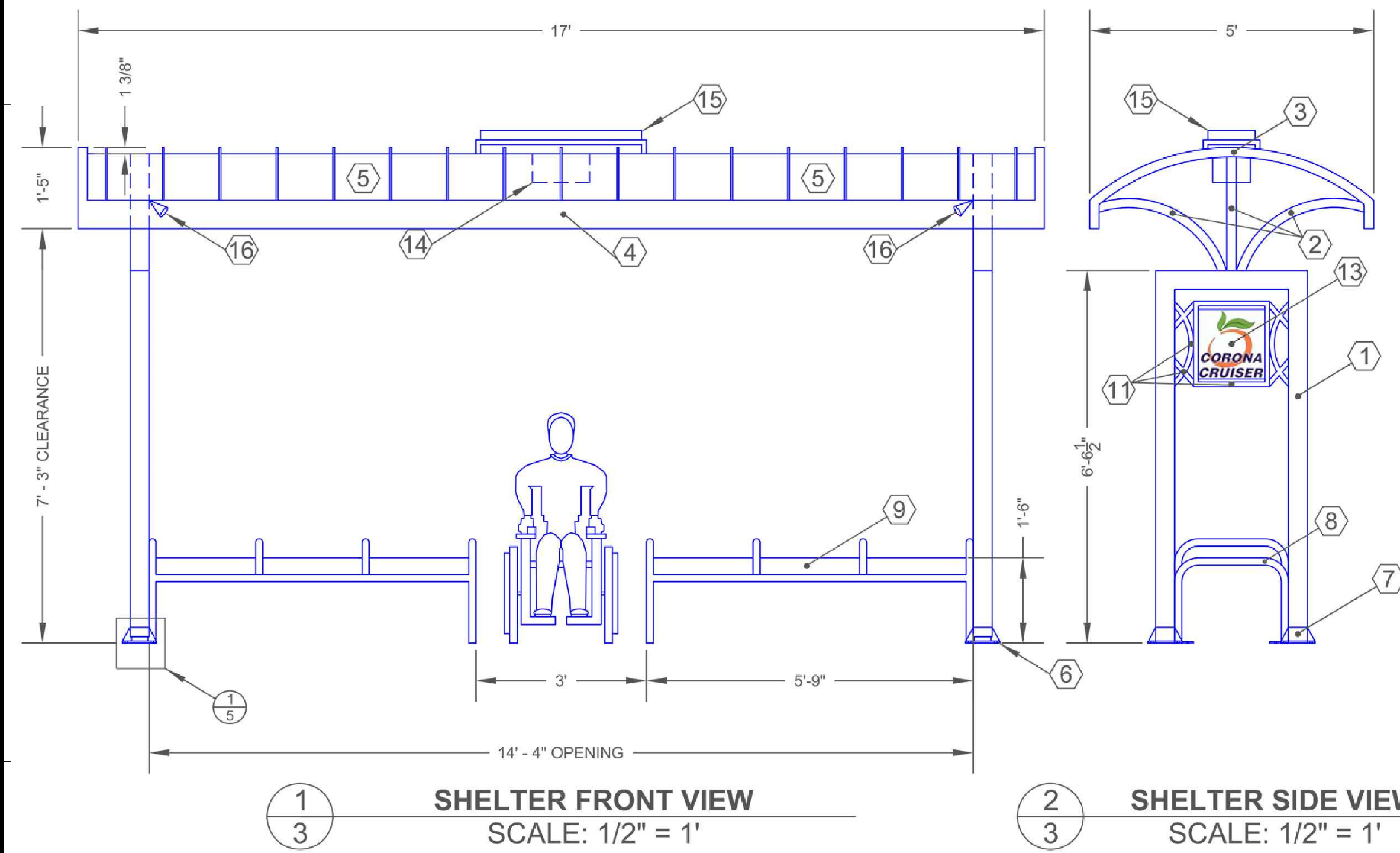
1 SHELTER LAYOUT PLAN
2 SCALE 1/2" = 1'

MATERIALS / SUBSTRATE	
1	4" SQUARE A500 GRADE B STRUCTURAL STEEL
2	4" x 2" SQUARE A500 GRADE B STRUCTURAL STEEL
3	2" x 2" SQUARE 1/8" THICK STRUCTURAL ALUMINUM
4	6" x 2" 1/4" THICK ALUMINUM EXTRUSION
5	.063 ALUMINUM STANDING-SEAM PANELS
6	7" x 7" STEEL BASE PLATE X 1/2" THICK
7	FOOTING COVER 1/8" SHEET STEEL
8	1 1/2" STEEL ROUND TUBING
9	PERFORATED STEEL
10	4" x 1 1/2" STEEL ANCHOR PLATES 3/8" THICK
11	1" x 1" SQUARE A500 GRADE B STRUCTURAL STEEL
13	DISPLAY KIOSK WITH POLYCARBONATE WINDOW
14	BATTERY
15	SOLAR PANEL
16	LED LIGHTS WITH PHOTOVOLTAIC CONTROL
17	1/2" TAMPER PROOF STAINLESS STEEL BOLTS
18	ALL FASTENERS SHALL BE STAINLESS STEEL
19	ALL PARTS SHALL BE OVEN BAKED POWDER COATED

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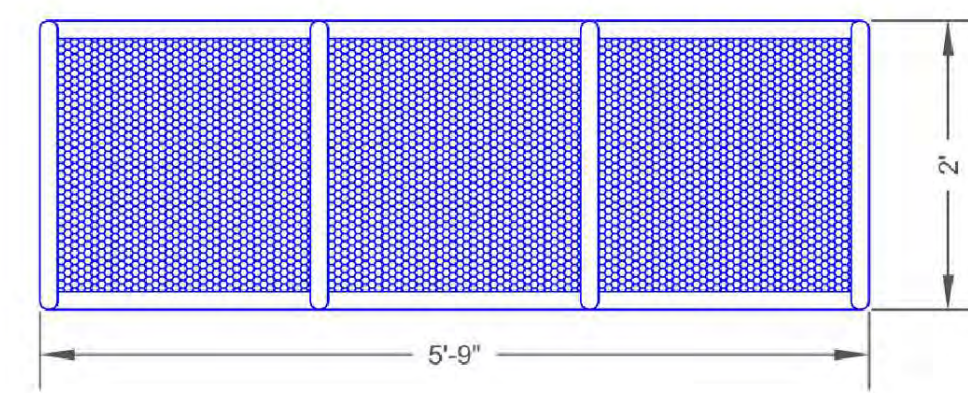
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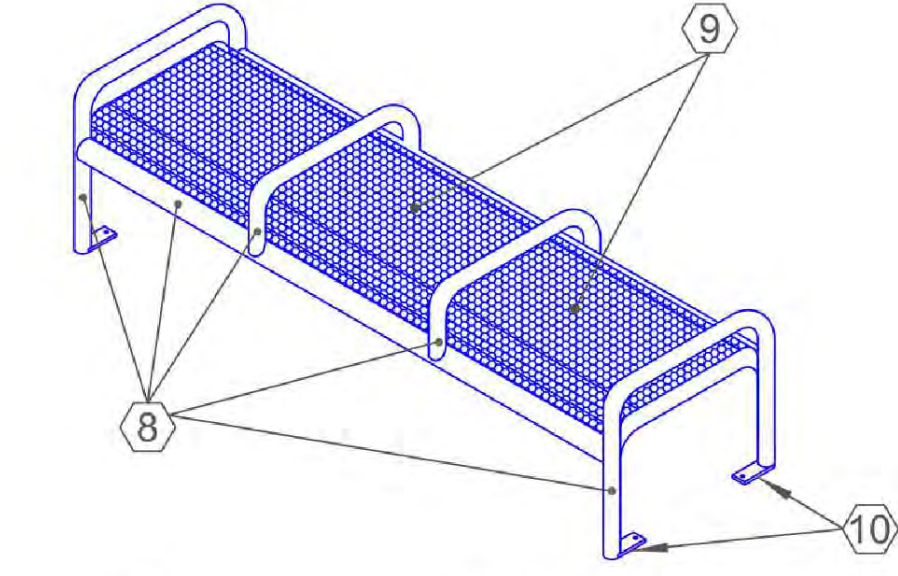


1 SHELTER FRONT VIEW SCALE: 1/2" = 1'
2 SHELTER SIDE VIEW SCALE: 1/2" = 1'

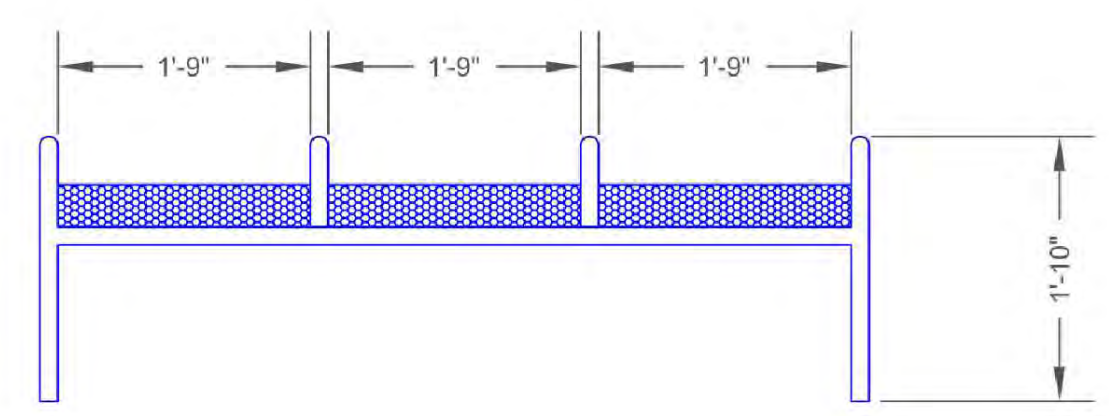
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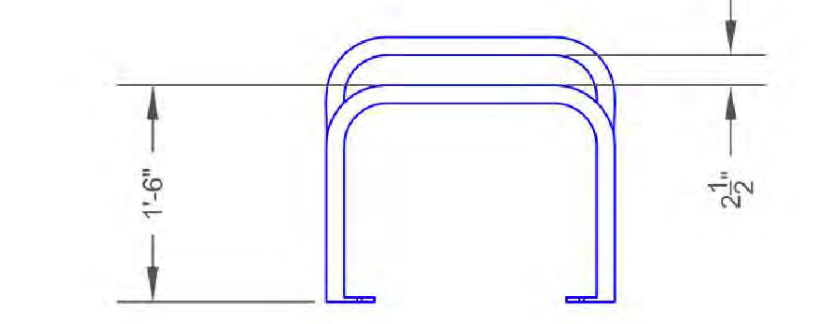
1 BENCH TOP VIEW SCALE: 3/4" = 1'



4 BENCH NO SCALE



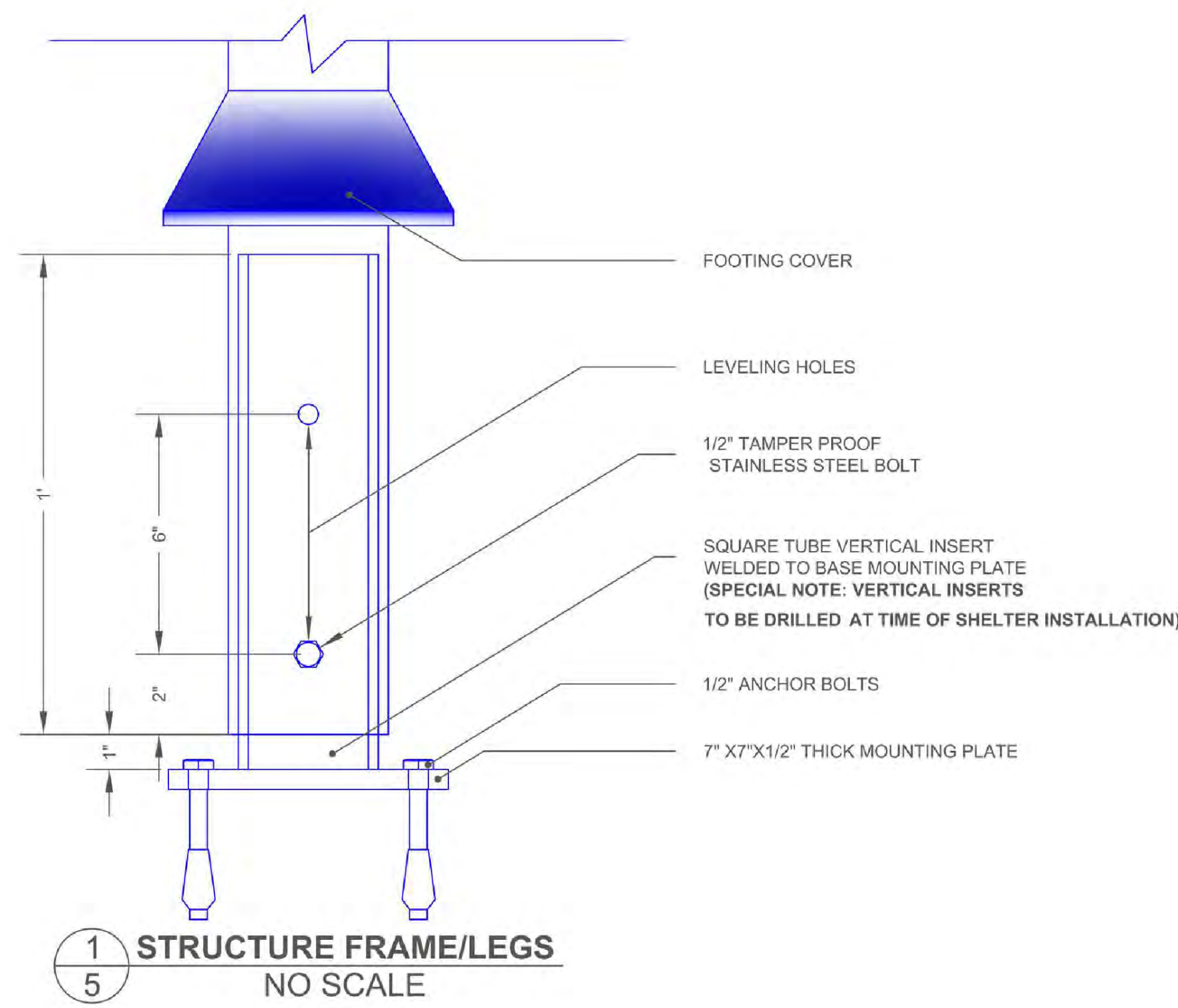
2 BENCH FRONT VIEW SCALE: 3/4" = 1'



3 BENCH SIDE VIEW SCALE: 3/4" = 1'

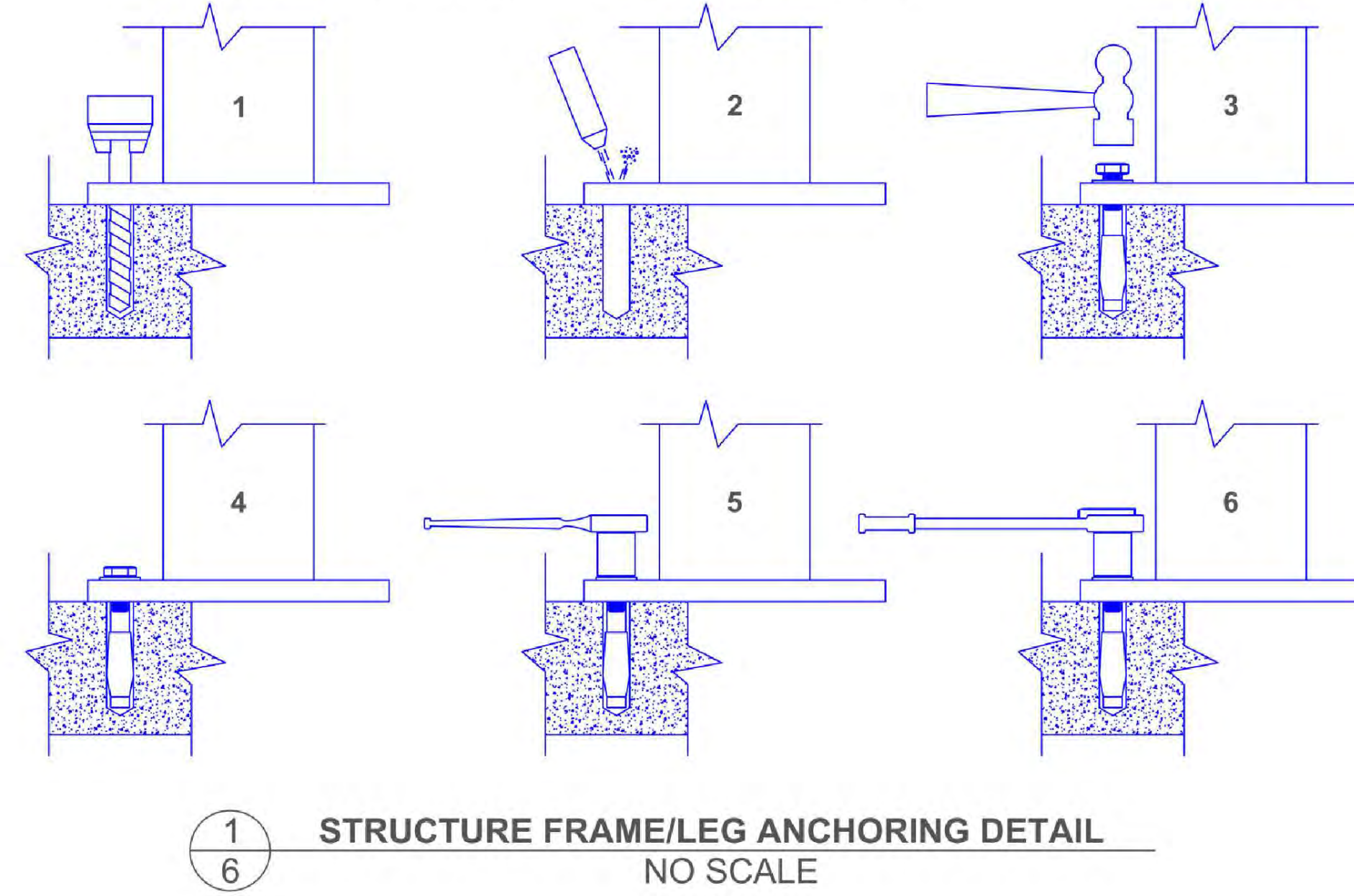
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7	FOOTING COVER 1/8" SHEET STEEL
8	1 1/2" STEEL ROUND TUBING
9	PERFORATED STEEL
10	4" x 1 1/2" STEEL ANCHOR PLATES 3/8" THICK
11	1" x 1" SQUARE A500 GRADE B STRUCTURAL STEEL
13	DISPLAY KIOSK WITH POLYCARBONATE WINDOW
14	BATTERY
15	SOLAR PANEL
16	LED LIGHTS WITH PHOTOVOLTAIC CONTROL
17	1/2" TAMPER PROOF STAINLESS STEEL BOLTS
18	ALL FASTENERS SHALL BE STAINLESS STEEL
19	ALL PARTS SHALL BE OVEN BAKED POWDER COATED

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631



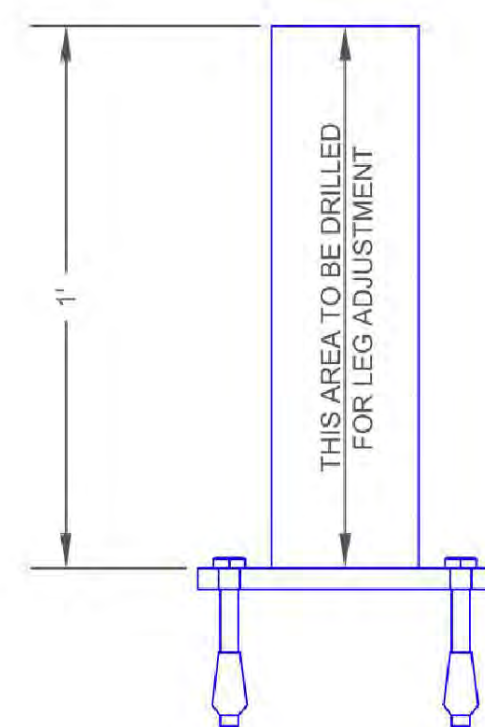
MATERIALS / SUBSTRATE	
①	4" SQUARE A500 GRADE B STRUCTURAL STEEL
②	4" x 2" SQUARE A500 GRADE B STRUCTURAL STEEL
③	2" x 2" SQUARE 1/8" THICK STRUCTURAL ALUMINUM
④	6" x 2" 1/4" THICK ALUMINUM EXTRUSION
⑤	.063 ALUMINUM STANDING-SEAM PANELS
⑥	7" X 7" STEEL BASE PLATE X 1/2" THICK
⑦	FOOTING COVER 1/8" SHEET STEEL
⑧	1 1/2" STEEL ROUND TUBING
⑨	PERFORATED STEEL
⑩	4" X 1 1/2" STEEL ANCHOR PLATES 3/8" THICK
⑪	1" x 1" SQUARE A500 GRADE B STRUCTURAL STEEL
⑬	DISPLAY KIOSK WITH POLYCARBONATE WINDOW
⑭	BATTERY
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⑯	LED LIGHTS WITH PHOTOVOLTAIC CONTROL
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⑲	ALL PARTS SHALL BE OVEN BAKED POWDER COATED

1. DRILL HOLE 1/2" DEEPER THAN MINIMUM ANCHOR EMBEDMENT BY USING A CARBIDE TIPPED DRILL BIT. (MINIMUM EMBEDMENT SHALL BE 2-1/2" AND NO DEEPER THAN 3")
2. CLEAN OUT HOLE WITH COMPRESSED AIR (WEAR SAFETY GOGGLES AND RESPIRATORY PROTECTION).
3. PLACE NUT ON THREADED END OF ANCHOR TO PROTECT THE THREADS DURING INSTALLATION.
4. TAP THE ANCHOR INTO ITS HOLE UNTIL THE BOTTOM OF THE NUT BECOMES FLUSH WITH THE LEG'S FLANGE.
5. HAND TIGHTEN THE NUT WITH APPROPRIATE HAND TOOL APPROXIMATELY THREE TO FOUR TURNS.
6. TORQUE NUT TO SPECIFIED MANUFACTURER'S TORQUE SPECIFICATION.



MATERIALS / SUBSTRATE	
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②	4" x 2" SQUARE A500 GRADE B STRUCTURAL STEEL
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1. BEGIN THE INSTALLATION OF THE SHELTER WITH THE LEG LOCATED AT THE HIGHEST ELEVATION (USE THIS LEG AS YOUR FIRST POINT OF REFERENCE)
2. MOVE TO THE NEXT LEG UTILIZING A C-CLAMP OR SIMILAR TOOL TO PREVENT THE SHELTER LEG FROM SLIDING ALL THE WAY OVER THE LEG INSERT. ADJUST THE HEIGHT OF ALL REMAINING LEGS IN A SIMILAR MANNER UNTIL SHELTER IS LEVEL AND PLUMB.
3. WITH THE SHELTER LEVELED AND PLUMB MARK THE LOCATIONS ON EACH LEG INSERT TO BE DRILLED FOR LEG BOLTS.
5. REMOVE LEG INSERTS AND DRILL EACH INSERT NOTING ITS RESPECTIVE LOCATION.
6. REINSTALL EACH INSERT INTO THE SHELTER LEG AND SNUG SECURING LEG BOLTS.
7. RECHECK LEVEL AND PLUMB OF THE SHELTER AND FINALIZE THE INSTALLATION BY APPLYING THE FINAL TORQUE TO BOLTS AS SPECIFIED BY THE BOLTS' MANUFACTURER



MATERIALS / SUBSTRATE	
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MANZER + ASSOCIATES
24275 PONCHARTRAIN LANE
LAKE FOREST, CA 92630
949-768-6546
FAX:
949-855-4387

[Signature]
08/11/2025

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and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

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DATE
08-11-25
SCALE
JOB NO.
SHEET
A-6.2
OF SHEETS

Master Sign Program

165 S HABRA BLVD.,
LA HABRA, CA 90631
R08 SP 2020 10 22

PROJECT DIRECTORY

OWNER
La Habra Parco LLC
1032 North Glen Canyon Way
Brea, CA 92821
Attn: Hargovind Patel
Tel: 714-872-0580

ARCHITECT
Manzer and Associates
Bruce C. Manzer
Office: 949-768-6546
Cell: 714-720-4394

CITY PLANNING

City of La Habra
Community Development Department
201 East La Habra Blvd
La Habra, CA 90633-0785
562-383-4100
Contact: David Lopez
Email: DLopez@LaHabracA.com

SIGN CONSULTANT CONTACT

Bill Henigsman
Office: 562-595-7725
Cell: 562-755-7553
BillH@tntelectric.com
tntelectric.com

Connie O'Conner
Sign Advantage, Inc.
Consultant
2062 Business Center Dr. Suite 130
Irvine, CA 92612
Tel: 714-612-0581

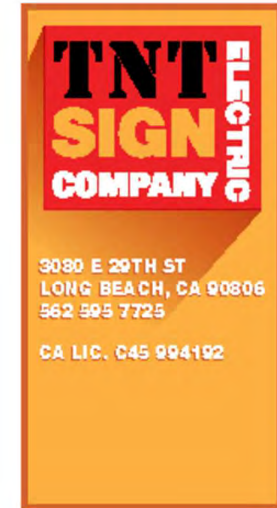


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LA HABRA CENTER - CURRENT SIGNAGE CHART				
Bldg	Current Tenant	Frontage	75% Frontage	
A	A - La Habra Nails	30'-0"	22.50'	
A	B - Raffa's	56'-0"	42.00'	
A	C - VCC The Gary Center	94'-2"	70.50'	
B	E - Garden's Bar & Grill	65'-0"	48.75'	
B	F - Charming & Divine	23'-0"	17.25'	
B	G - Mommy's	35'-0"	26.25'	
B	H1A - California WIC	37'-0"	27.75'	
B	H1B - Boost Mobile	65'-0"	48.75'	
B	H2 - Boost Mobile	65'-0"	48.75'	
C	I1 - Dentist	28'-7"	21.5"	
C	I2 - Dentist	21'-5"	16.0"	
C	I3 - Dentist	46'-0"	34.50'	
C	J1 - La Michoacana	21'-5"	16.0"	
C	J2 - La Michoacana	46'-0"	34.50'	
C	J3 - La Michoacana	28'-7"	21.5"	
D	K1 - Birrieria Guadalupe	44'-6"	33.37'	
D	K2 - Birrieria Guadalupe	52'-0"	39.0"	
E	L1 - Troys Burgers	74'-9"	52.06'	
E	L2 - Troys Burgers	36'-0"	27.0"	

TENANT ALLOWABLE SIGNAGE CHART			
Building Tenant	2 for 1 Per Each Lineal Store Frontage	Allowable Sign Area	
BUILDING "A"			
A	13'-9" x 2	27.50	
B	16'-3" x 2	32.50	
C	56'-0" x 2	112.00	
D	94'-2" x 2	188.33	
BUILDING "B"			
E	65'-0" x 2	130.00	
F	23'-0" x 2	46.00	
G	35'-0" x 2	70.00	
H1A	37'-0" x 2	74.00	
H1B	65'-0" x 2	130.00	
H2	65'-0" x 2	130.00	
BUILDING "C"			
I1	28'-7" x 2	57.16	
I2	46'-0" x 2	92.00	
I3	21'-5" x 2	42.83	
J1	21'-5" x 2	42.83	
J2	46'-0" x 2	92.00	
J3	28'-7" x 2	57.16	
BUILDING "D"			
K1	44'-6" x 2	89.00	
K2	52'-0" x 2	104.00	
BUILDING "E"			
North Elevation	74'-9" x 2	149.50	
East Elevation	36'-0" x 2	72.00	

MASTER SIGN PROGRAM: Tenant Sign Criteria, Submittals & Approvals, A. Submittal To Owner, B. General Specifications & C. Construction Requirements

TENANT SIGN CRITERIA

These sign criteria have been established for the purpose of assuring a first-class retail center for the mutual benefit of all Tenants. Conformance will be strictly enforced. Any installation of non-conforming or unapproved signs shall be brought into conformance at the expense of the non-conforming Tenant. There will be a formal approval process for the creation, review, and approval of all Tenant signs at Palm Court. All Tenant signage is subject to advance written approval by the Landlord/Owner or Landlord/Owner Representative, La Habra Parco Lic.

SUBMITTALS & APPROVALS

- Design, fabrication, and method of installation of all signs shall conform to this sign program.
- Proposed signage is in harmony with adjacent signage conditions and conforms within the design standards.
- The Master Sign Program will comply with minimum sign standards found in the City of La Habra municipal code.

A. SUBMITTAL TO OWNER:

- Each Tenant shall submit to the Owner drawings to be reviewed for conformance with this sign program and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of the Landlord/Owner.
- Each Tenant shall submit for approval in the Landlord's/Owner's sole and absolute discretion, before fabrication, at least three (3) copies of detailed drawings (on 11" x 17" sheets) indicating the location, size, layout design, and color of the proposed signs, including all lettering and/or graphics, prior to submitting to the City of La Habra for review and approval. Sign drawings are to be prepared by a California licensed sign contractor. All signs must conform to the city requirements of the City of La Habra Planning and Building Department. Prior to hard copies of sign drawings being provided, please email a copy to owners representative Hargovind Patel.

B. GENERAL SPECIFICATIONS:

- All permits for signs and their installation shall be obtained and must comply with local planning, building, and electrical codes. These permits shall be obtained by Tenant or Tenant's representative prior to installation. A full set of plans must be approved and stamped by the Landlord/Owner prior to permit application.
- Tenant's sign contractor must submit to the City of La Habra and will be responsible for all applicable applications required for city approvals and permit fees for the Planning and Building departments.
- No exposed lamps, raceways, crossovers, conduits, conductors, transformers, or similar devices shall be permitted.
- All Tenants must have installed approved signs before opening to business.
- Any damage to the building fascia or sign area resulting from the installation or removal of any sign by Tenant which is not professionally repaired by Tenant in a quality fashion, including matching painted fascia where sign was removed, will be repaired by the Landlord/Owner at the Tenant's expense.
- All signs shall meet U.L. specifications.
- Tenants shall be responsible for the fulfillment of all the requirements and specifications set forth in these sign criteria.
- There shall be no signs facing the service areas on the south elevation of shopping center.

C. CONSTRUCTION REQUIREMENTS:

- Tenant's sign contractor shall have a C-45 license and be insured by an admitted carrier for the total aggregate of One Million Dollars (\$1,000,000.00), and provide proof of such acceptable to the Landlord/Owner and on which the Landlord/Owner is named as an additionally insured.

- Tenant shall be responsible for the installation and maintenance of their sign.
- Tenant shall be fully responsible for the installation and maintenance of their sign.
- Tenant's sign contractor shall repair under Landlord's/Owner's supervision any damage caused by installation.
- For all in line shop space tenants, the electrical service for all tenant signs shall be connected to the electrical wiring behind the tenants sign fascia area, which connect the tenant sign(s) to a central time clock provided by the landlord / owner. There are no individual shop space sign clocks to be located inside any in line shop spaces. Pad buildings and Anchor Tenant signs shall be connected into each individual tenants time clock by tenant within the tenants premises.
- No labels will be permitted on the exposed surface of signs, except those required by local ordinance which shall be placed in an inconspicuous location. If permitted by code, only one on one letter labels will be seen from the ground when looking up, all others labels on the other letters to be located on top of the letter.
- Design, layout, and materials for Tenants' signs shall conform in all respects with the sign design drawings included with this sign criteria.
- All penetrations of building structure required for sign installation shall be sealed in a watertight condition and shall be patched to match adjacent building finish.
- Letter sides to be finished in automotive enamel finish over primer undercoat.
- Interior of channel letters to be painted a reflective white for even lighting.
- Letters to be mounted on exterior side of wall. Electrical system to be contained in transformer box with flex crossovers on interior wall.

MASTER SIGN PROGRAM: D. Design Guidelines, Tenants Wall Signs, E. Pylon / Monument Signs, F. Miscellaneous Requirements, & G. Exceptions

D. DESIGN GUIDELINES (See Exhibit 1):

- Tenants may be allowed to fabricated channel letters, reverse channel letters or dual lit channel letters. Illumination shall be white LED lighting system with a brightness standard of not less than 6,500k.
- Approved signs to be fabricated from .063 or greater aluminum pan channel construction.
- No neon illumination or letters will be allowed.
- Color and letter styles subject to Landlord/Owner approval. Landlord/Owner, at their sole discretion, will review signs with the intention of varying the sign on a case by case basis.
- Logo cans shall be permitted only at the discretion of the Landlord/Owner and not to exceed twenty-five (25) percent of the sign area.
- Acrylic plastic face with 3/4" high trim cap edge.
- Dual-Lite channel letters shall be pinned no less than 1" or more than 2" off the face of the wall.
- Dual-Lite channel letters are not to be less than 3 1/2" deep and no more than 5" deep.
- No sign shall project more than 7" from wall.

* TENANTS WALL SIGN

- Sign height may not exceed 75% of the total height of the facade.
- Tenants wall sign may not exceed 75% of total lease space.
- Two (2) lines of copy may be allowed with a minimum 6" between lines.
- The total allowable advertising area for each business. Sign shall not exceed thirty (30) percent of the area of the business face (business face is defined as the width of the industrial premise times the height of premise measured from the base of the sidewalk to the top of the storefront sign band excluding any roof line above same).

E. PYLON / MONUMENT SIGNS:

Center will have 1 pylon sign located on Harbor Blvd. and one monument sign located on La Habra Blvd.

1) PYLON SIGN

- Existing sign to be removed and new sign to be fabricated in general area of existing sign.
- Sign to be 20' overall high.
- Individual tenant cabinet and faces for each tenant.
- Signs are fabricated from 3/16" acrylic plastic.
- Tenant copy to be vinyl overlay.
- Center identification to be routed out aluminum with 1/2" thick acrylic plastic pushed through with first surface vinyl overlay.
- Structure is fabricated from aluminum and painted with automotive enamel finish.
- Internal illumination to be white LED Lighting System.

2) MONUMENT SIGN

- Existing cabinet to be removed and discarded.
- Base to remain and to be painted to match building color.
- New cabinet and cornice to be fabricated from aluminum and painted with automotive enamel paint.
- Tenant panels to be fabricated from 3/16" thick white acrylic plastic.
- Tenant copy to be vinyl overlay.
- Internal illumination to be white LED Lighting System.

F. MISCELLANEOUS REQUIREMENTS:

- Each Tenant shall be permitted to place upon each entrance of its premises not more than one hundred forty-four (144) square inches of white vinyl overlay lettering not to exceed two (2) inches in height, indicating hours of business, emergency telephone numbers, and other similar identification. Approved font style in Humnst 777 BT.

- Twelve (12) inch high white vinyl suite numbers will be allowed per each Tenant.

- Except as provided herein, no advertising placards, banners, pennants, names, insignia trademarks, or other descriptive signs of materials shall be affixed or maintained upon the glass pane supports of the exterior walls of the building without the prior written approval of the Landlord/Owner and the City of La Habra.

- No animated, flashing, or audible signs will be permitted.

5. Immoral or Unlawful Advertising:

Tenant shall not exhibit, post, or display upon any sign anything of an obscene, indecent, or immoral nature or that which portrays unlawful activity.

6. Vehicle Sign:

Signs on or affixed to trucks, truck beds, automobiles, trailers, or any other vehicles which advertise, identify, or provide direction to use or activity not related to its lawful making of deliveries of sales or merchandise or rendering services from such vehicles is prohibited.

- The entire display shall be guaranteed for one (1) year against defects in materials and workmanship. Defective parts shall be replaced without charge.

- Any signs not in conformance with these rules and all governmental regulations will be rejected and removed at the Tenant's expense.

- Tenant signs installed without approval from the Landlord/Owner, the City of La Habra, and/or the insurance of building permits may be subject to citation by code enforcement.

G. EXCEPTIONS:

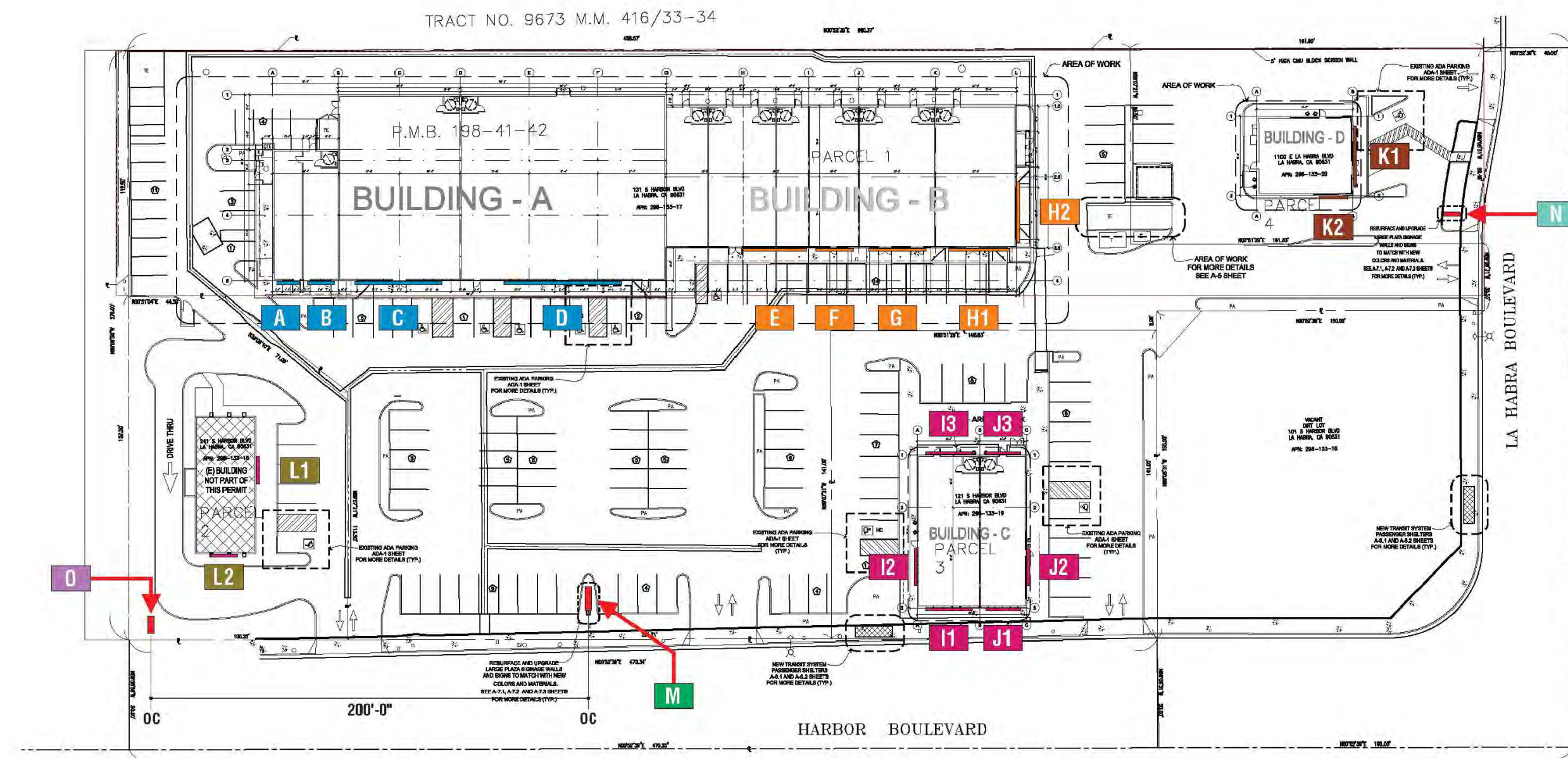
- Exceptions to the aforementioned may be submitted for review to the City of La Habra. Before any such submittal, all changes must be approved by the Landlord/Owner.
- All existing wall signs will be grandfathered in any new Tenants will need to adhere to the new sign criteria.

SIGN CRITERIA PREPARED BY:

TNT Electric Signs, Co
3080 East 29th Street
Long Beach, CA 90806
Office: (562) 595-7725
Contact: Bill Henigsman
Email: BillH@tntelectric.com
Website: tntelectric.com



MASTER SIGN PROGRAM: Plot Plan



- Building "A"
- Building "B"
- Building "C"
- Building "D" (Juan Pollo)
- Building "E" (TROY'S BURGERS)
- Existing Pylon Sign
- Existing Monument Sign
- New Monument Sign (TROY'S BURGERS) ONLY

LA HABRA CENTER | LA HABRA, CALIFORNIA

4

LA HABRA CENTER | LA HABRA, CALIFORNIA

5



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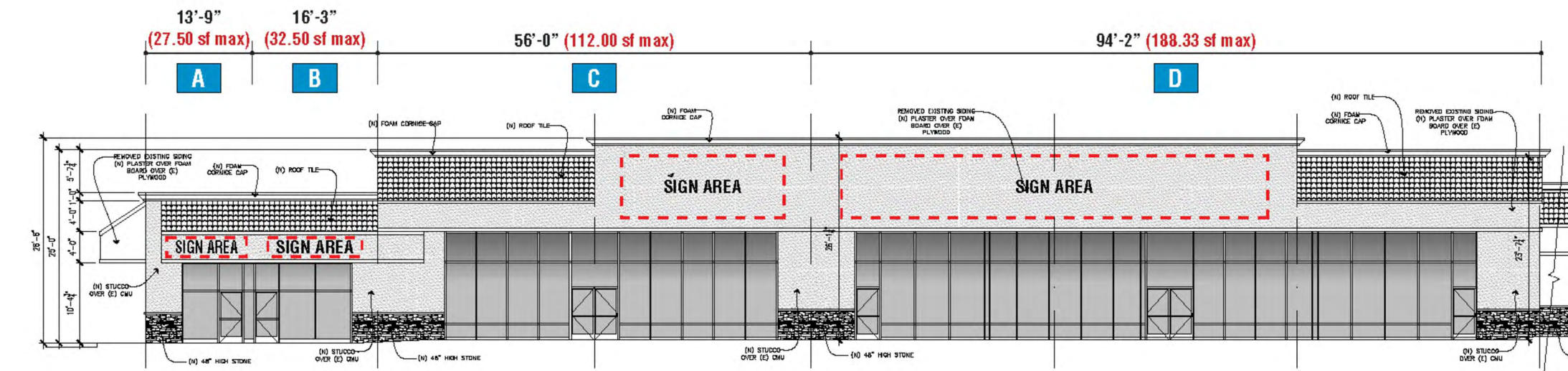
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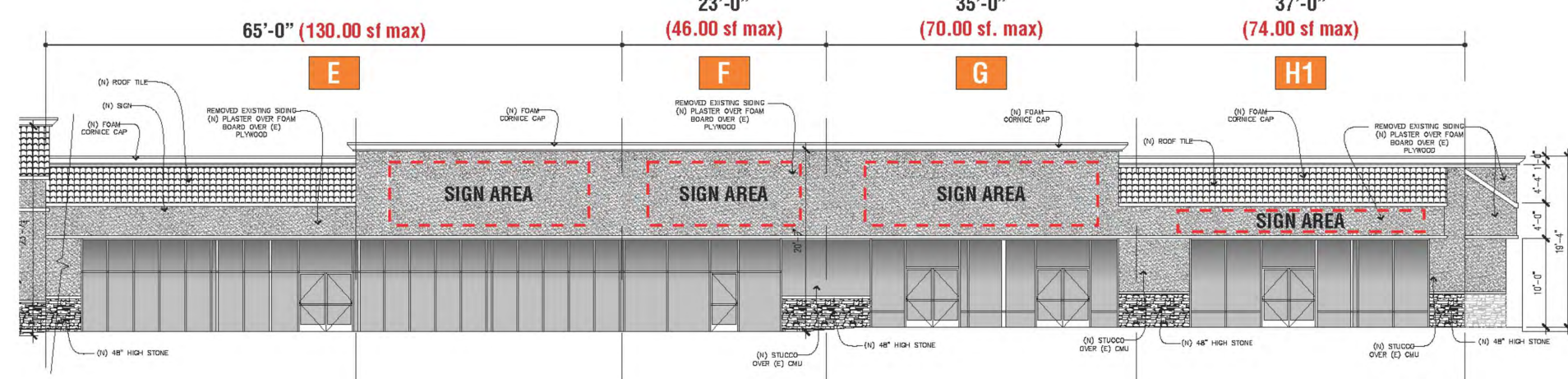
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OF SHEETS

MASTER SIGN PROGRAM: Building "A" Elevation

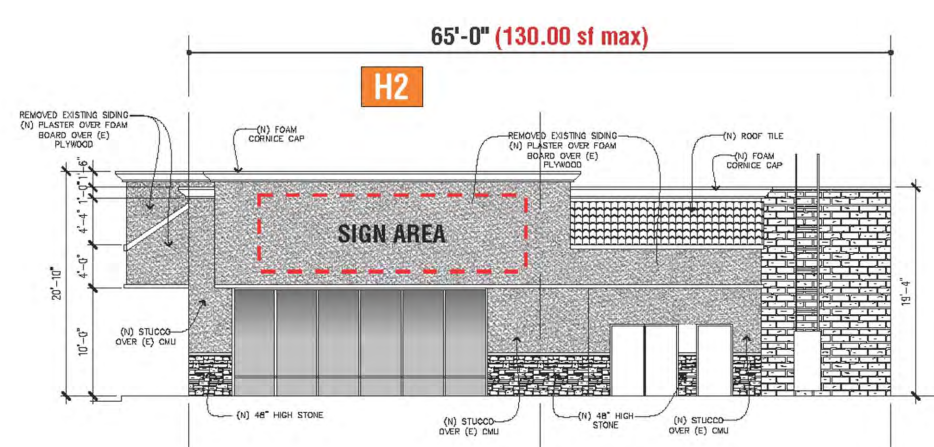


1 Building "A" (Front Elevation) - Proposed
Scale: 1/16" = 1'-0"

MASTER SIGN PROGRAM: Building "B" Elevations

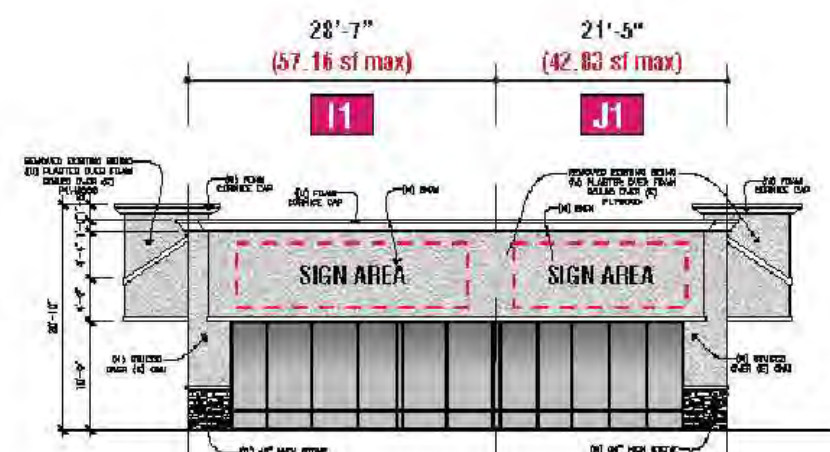


1 Building "B" (Front Elevation) - Proposed
Scale: 1/16" = 1'-0"

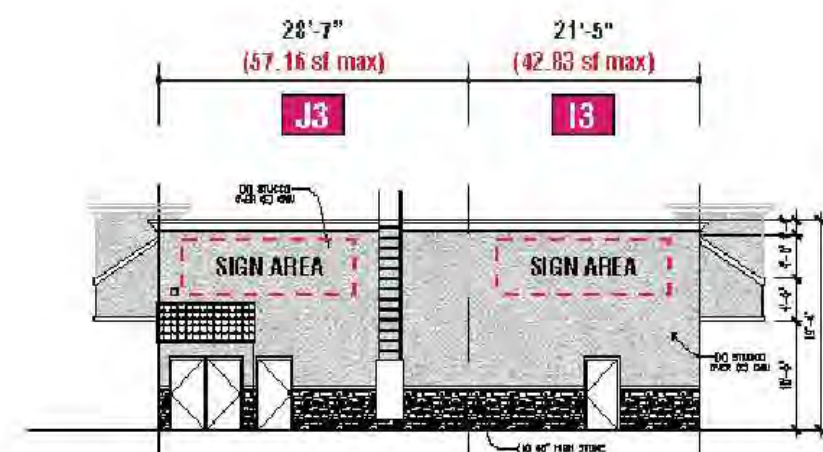


2 Building "B" (Right Side Elevation) - Proposed
Scale: 1/16" = 1'-0"

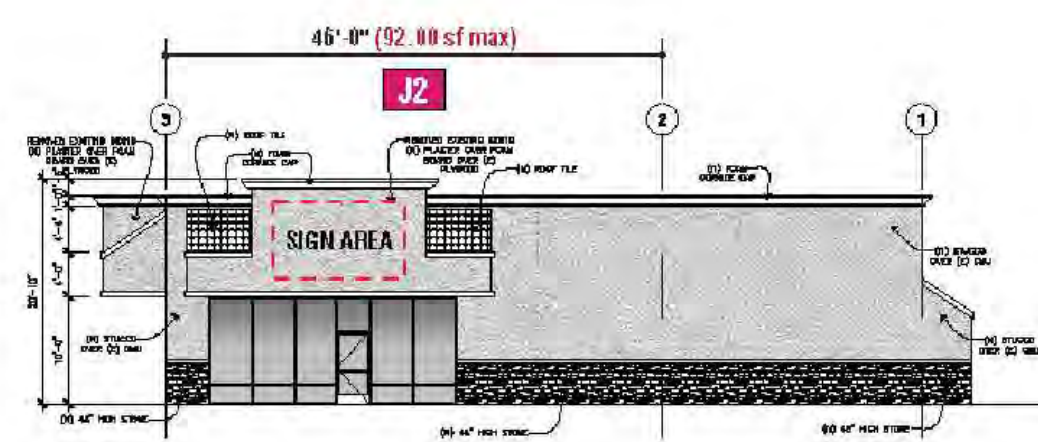
MASTER SIGN PROGRAM: Building "C" Elevations



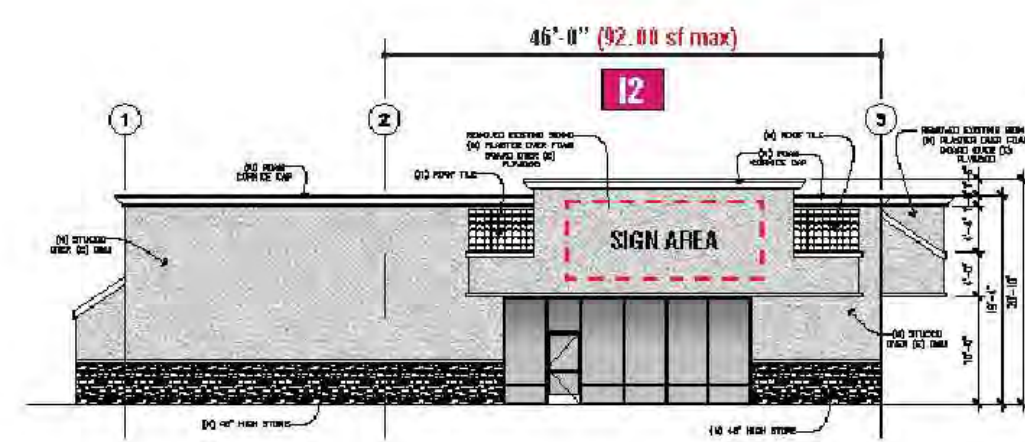
1 Building "C" (Front Elevation) - Proposed
Scale: 1/16" = 1'-0"



3 Building "C" (Rear Elevation) - Proposed
Scale: 1/16" = 1'-0"

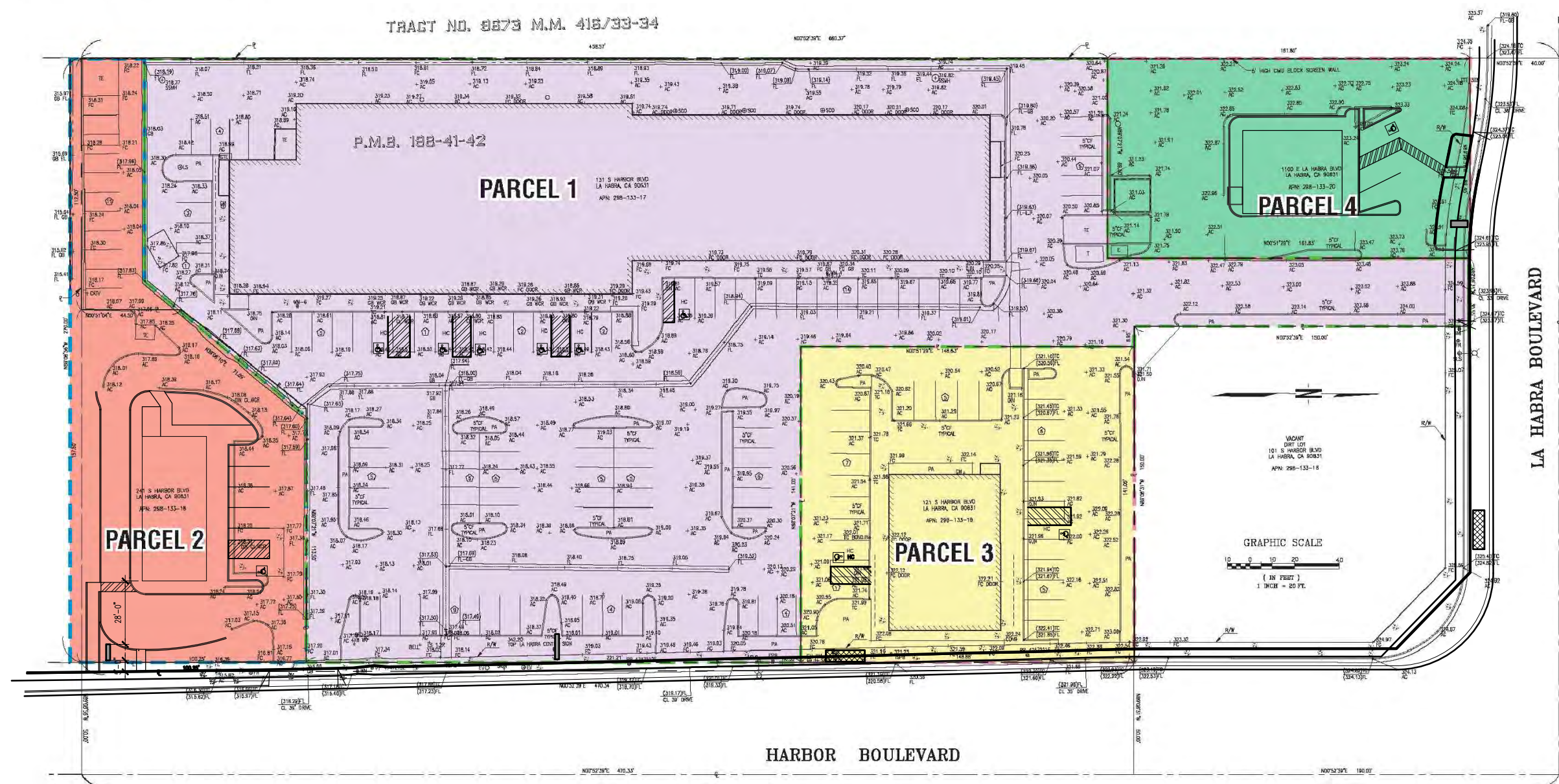


2 Building "C" (Right Side Elevation) - Proposed
Scale: 1/16" = 1'-0"



4 Building "C" (Left Side Elevation) - Proposed
Scale: 1/16" = 1'-0"

MASTER SIGN PROGRAM: Parcel Map



1 Plot Plan
Scale: 1" = 50'-0"

LA HABRA CENTER | LA HABRA, CALIFORNIA

6

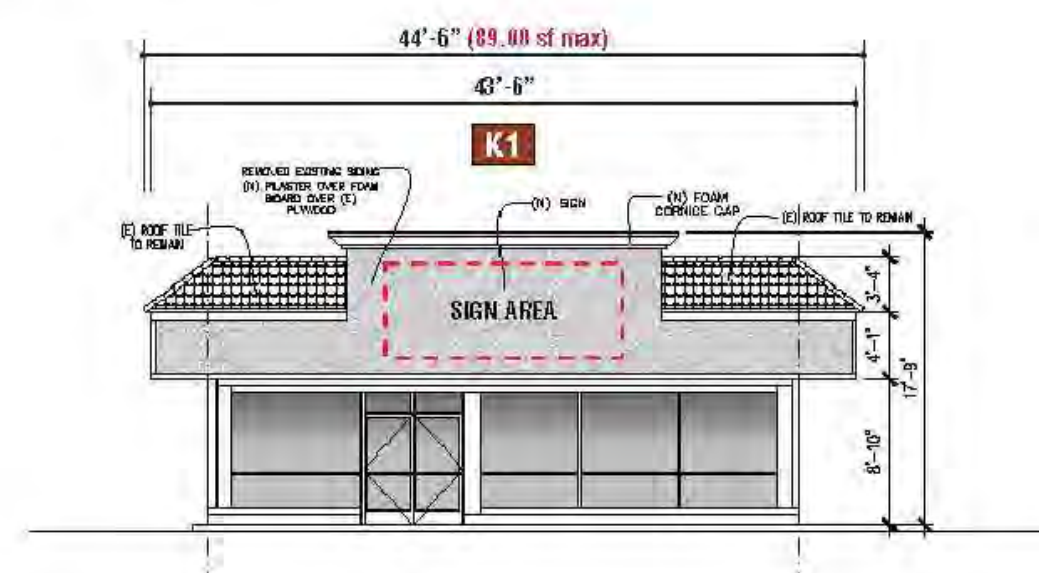


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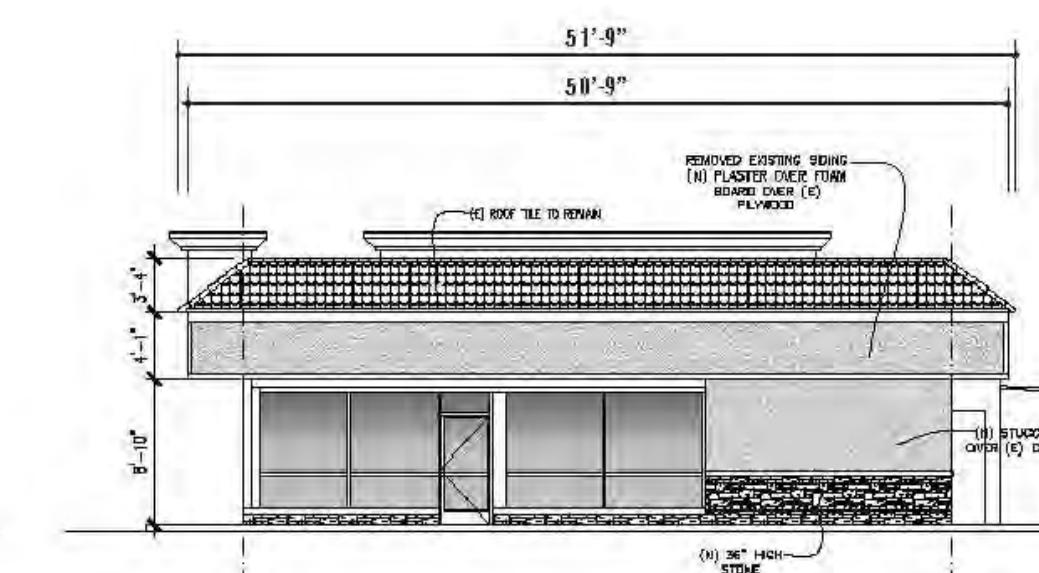
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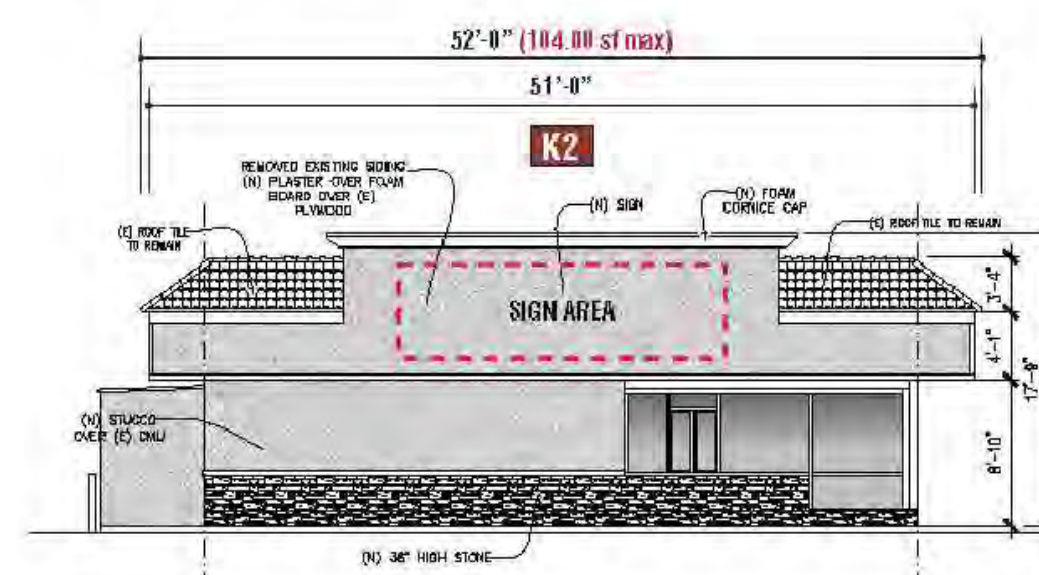
MASTER SIGN PROGRAM: Building "D" (Juan Pollo) Elevations



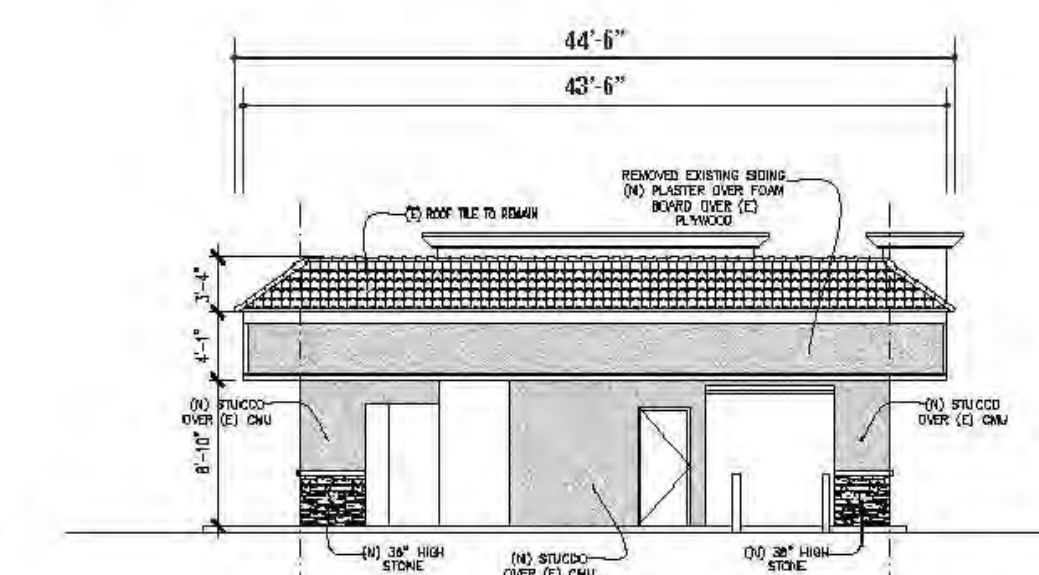
1 Building "D" (North Front Elevation) - Proposed
Scale: 3/32" = 1'-0"



3 Building "D" (West Right Side Elevation) - Proposed
Scale: 3/32" = 1'-0"



2 Building "D" (East Left Side Elevation) - Proposed
Scale: 3/32" = 1'-0"



4 Building "D" (South Rear Elevation) - Proposed
Scale: 3/32" = 1'-0"

LA HABRA CENTER | LA HABRA, CALIFORNIA

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PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
A-7.2

MASTER SIGN PROGRAM: Building "E" (TROY'S BURGERS) Elevations



1 "TROY'S BURGERS" (North Elevation) - Existing
Scale: 3/32" = 1'-0"



3 "TROY'S BURGERS" (East Elevation) - Existing
Scale: 3/32" = 1'-0"



2 "TROY'S BURGERS" (South Elevation) - Existing
Scale: nts

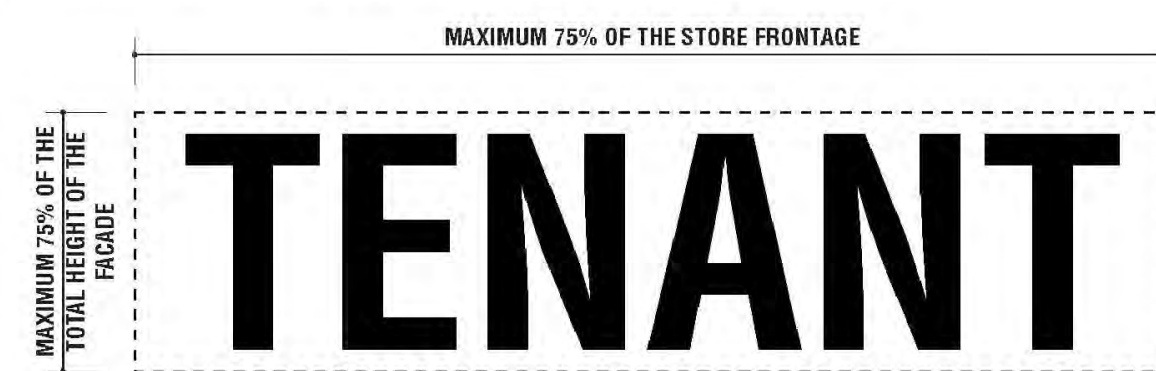


4 "TROY'S BURGERS" (West Elevation) - Existing
Scale: 3/32" = 1'-0"

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11

MASTER SIGN PROGRAM: LED Face Lit Channel Letters Design Specifications



1 LED FACE LIT CHANNEL LETTERS DESIGN SPECIFICATIONS

Scale: nts

- Letters: .063 or greater aluminum construction
 Faces: 3/16" thick white acrylic with optional vinyl overlay
 Color: To be tenants choice with approval of landlord
 3M vinyl applied translucent graphics only
 Trimecaps: 1/2" thick (color to be tenants choice with approval of landlord)
 Returns: 5" deep aluminum
 Illumination: Finished in automotive enamel finish over primer undercoat, or pre-coat aluminum LED lighting source / Remote power supplies

- Note:
- Sign height may not exceed 75% of the total height of the facade
 - Tenants wall sign may not exceed 75% of total lease space
 - Two (2) lines of copy may be allowed with at a minimum 6" between lines



2 OPTIONAL: TWO (2) LINES OF COPY

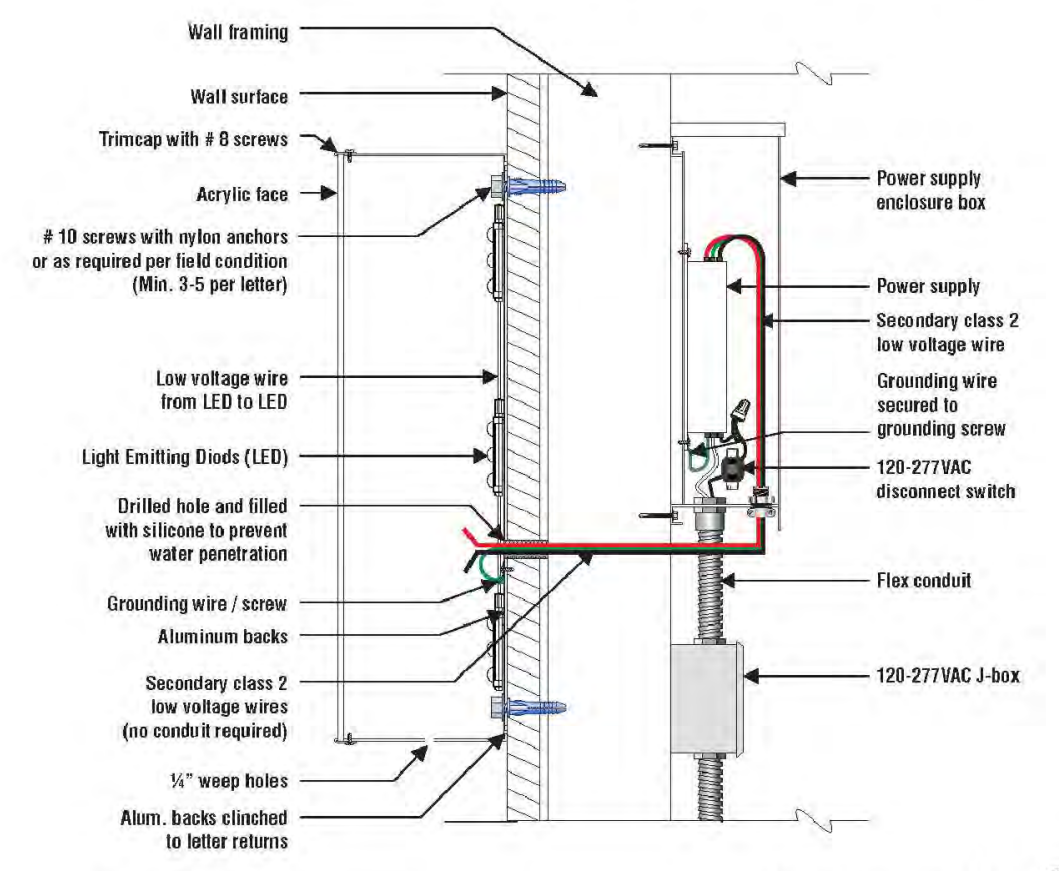
Scale: nts

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12

ALTERNATE ATTACHMENT METHODS

HARDWARE	BUILDING CONSTRUCTION			
	MASONRY	WOOD	METAL / ACM	PLYWOOD / FRG
1/4" MIN. BOLTS THRU WALL	X	X	X	REQUIRES BLOCKING BY BRACKET
1/2" MIN. LAG BOLTS W/SHIELD	X	---	---	REQUIRES BLOCKING BY BRACKET
1/2" MIN. LAG BOLTS	---	X	---	REQUIRES BLOCKING BY BRACKET THEY MUST BE W/WOOD AND FRG MATERIAL
1/2" MIN. TOGGLE BOLTS	---	---	X	---



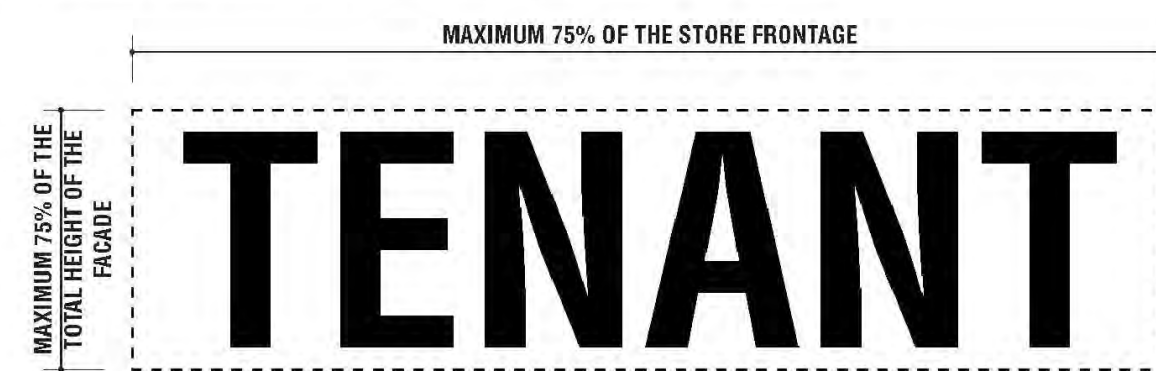
3 Typical Section detail

Scale: nts

ALL ELECTRICAL COMPONENTS LISTED



MASTER SIGN PROGRAM: Dual Lit Channel Letters Design Specifications



1 DUAL LIT CHANNEL LETTERS DESIGN SPECIFICATIONS

Scale: nts

- Letters: .063 or greater aluminum construction
 Faces: 3/16" thick white acrylic with optional vinyl overlay
 Color: To be tenants choice with approval of landlord
 3M vinyl applied translucent graphics only
 Backs: Clear lexan for halo effect
 Spacers: 1" mill finish silver or to match building surface
 Trimecaps: 1/2" thick (color to be tenants choice with approval of landlord)
 Returns: 5" deep aluminum
 Illumination: Finished in automotive enamel finish over primer undercoat, or pre-coat aluminum LED lighting source / Remote power supplies

- Note:
- Sign height may not exceed 75% of the total height of the facade
 - Tenants wall sign may not exceed 75% of total lease space
 - Two (2) lines of copy may be allowed with at a minimum 6" between lines



2 OPTIONAL: TWO (2) LINES OF COPY

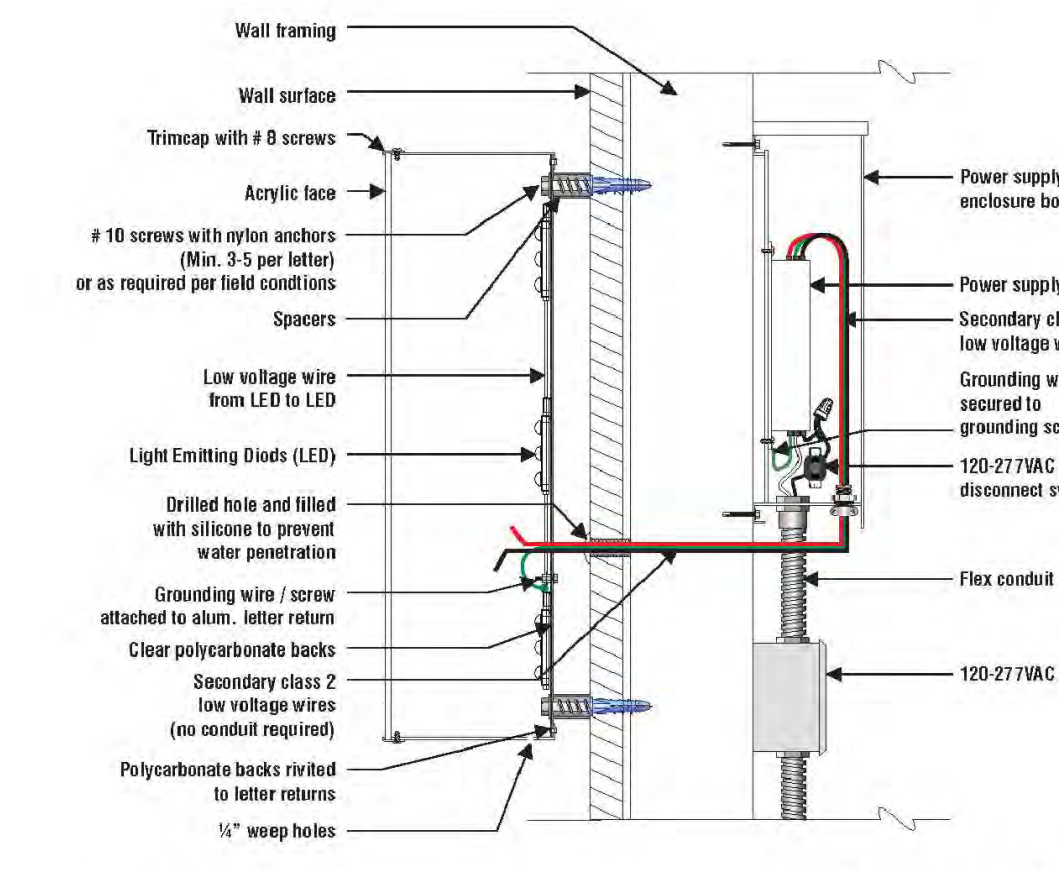
Scale: nts

LA HABRA CENTER | LA HABRA, CALIFORNIA

13

ALTERNATE ATTACHMENT METHODS

HARDWARE	BUILDING CONSTRUCTION			
	MASONRY	WOOD	METAL / ACM	PLYWOOD / FRG
1/4" MIN. BOLTS THRU WALL	X	X	X	REQUIRES BLOCKING BY BRACKET
1/2" MIN. LAG BOLTS W/SHIELD	X	---	---	REQUIRES BLOCKING BY BRACKET
1/2" MIN. LAG BOLTS	---	X	---	REQUIRES BLOCKING BY BRACKET THEY MUST BE W/WOOD AND FRG MATERIAL
1/2" MIN. TOGGLE BOLTS	---	---	X	---



3 Typical Section detail

Scale: nts

ALL ELECTRICAL COMPONENTS LISTED



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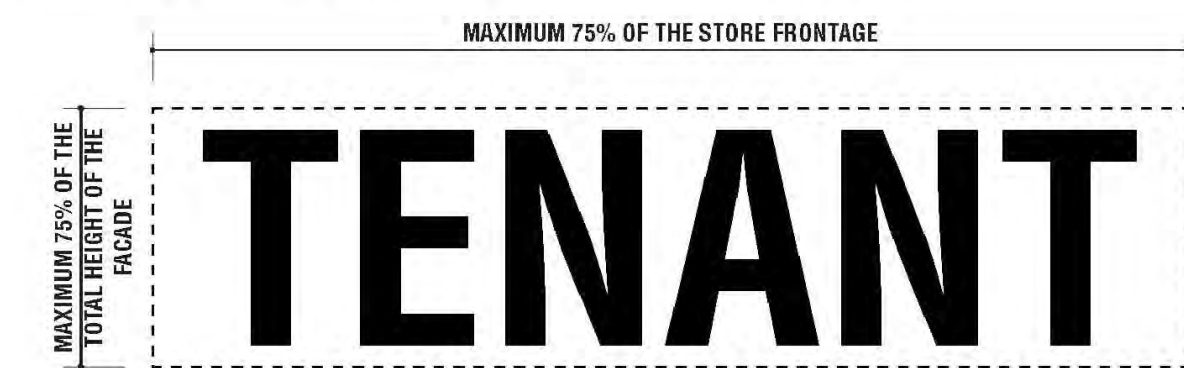
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 949-768-6546
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 949-855-4387

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 LA HABRA, CALIFORNIA 90631

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SHEET
A-7.3
OF SHEETS

MASTER SIGN PROGRAM: LED Reverse Halo Lit Channel Letters Design Specifications



1 LED REVERSE HALO LIT CHANNEL LETTERS DESIGN SPECIFICATIONS
Scale: nts

- Letters: .063 or greater aluminum construction
- Faces: Aluminum painted
- Color: To be tenants choice with approval of landlord
- Backs: Clear lexan for halo effect
- Spacers: 1" mill finish silver or to match building surface
- Returns: 3" deep aluminum
- Illumination: LED lighting source / Remote power supplies

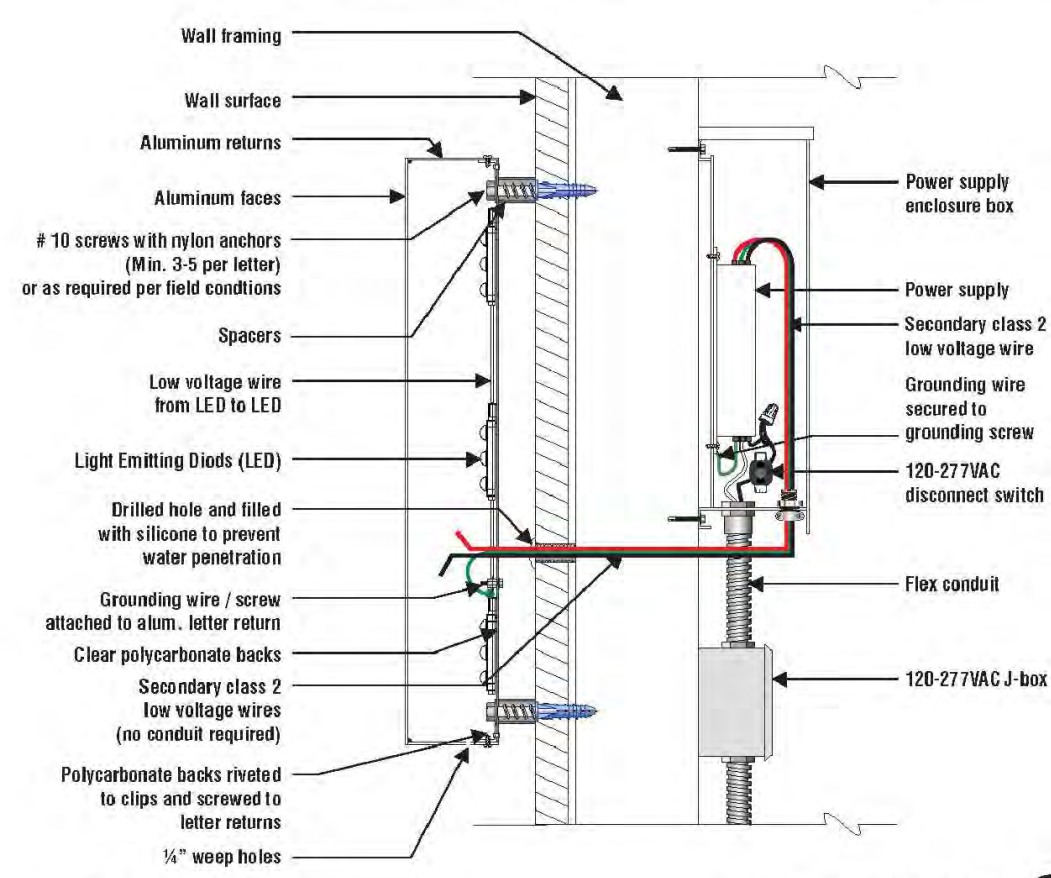
- Note:
- Sign height may not exceed 75% of the total height of the facade
 - Tenants wall sign may not exceed 75% of total lease space
 - Two (2) lines of copy may be allowed with a minimum 6" between lines



2 OPTIONAL: TWO (2) LINES OF COPY
Scale: nts



ALTERNATE ATTACHMENT METHODS		BUILDING CONSTRUCTION			
HARDWARE		MASONRY	WOOD	METAL / ACM	POWDER / FRG
1/4" MIN. BOLTS THRU WALL	X	X	X	X	REQUIRE SCHEDULE 40 BRACKET
1/4" MIN. LAG BOLTS W/SHIELD	X	---	---	---	---
1/2" MIN. LAG BOLTS	---	X	---	---	REQUIRE SCHEDULE 40 BRACKET
1/4" MIN. FODDLE BOLTS	---	---	---	X	THRU WALL POWDER AND FRG MATERIAL



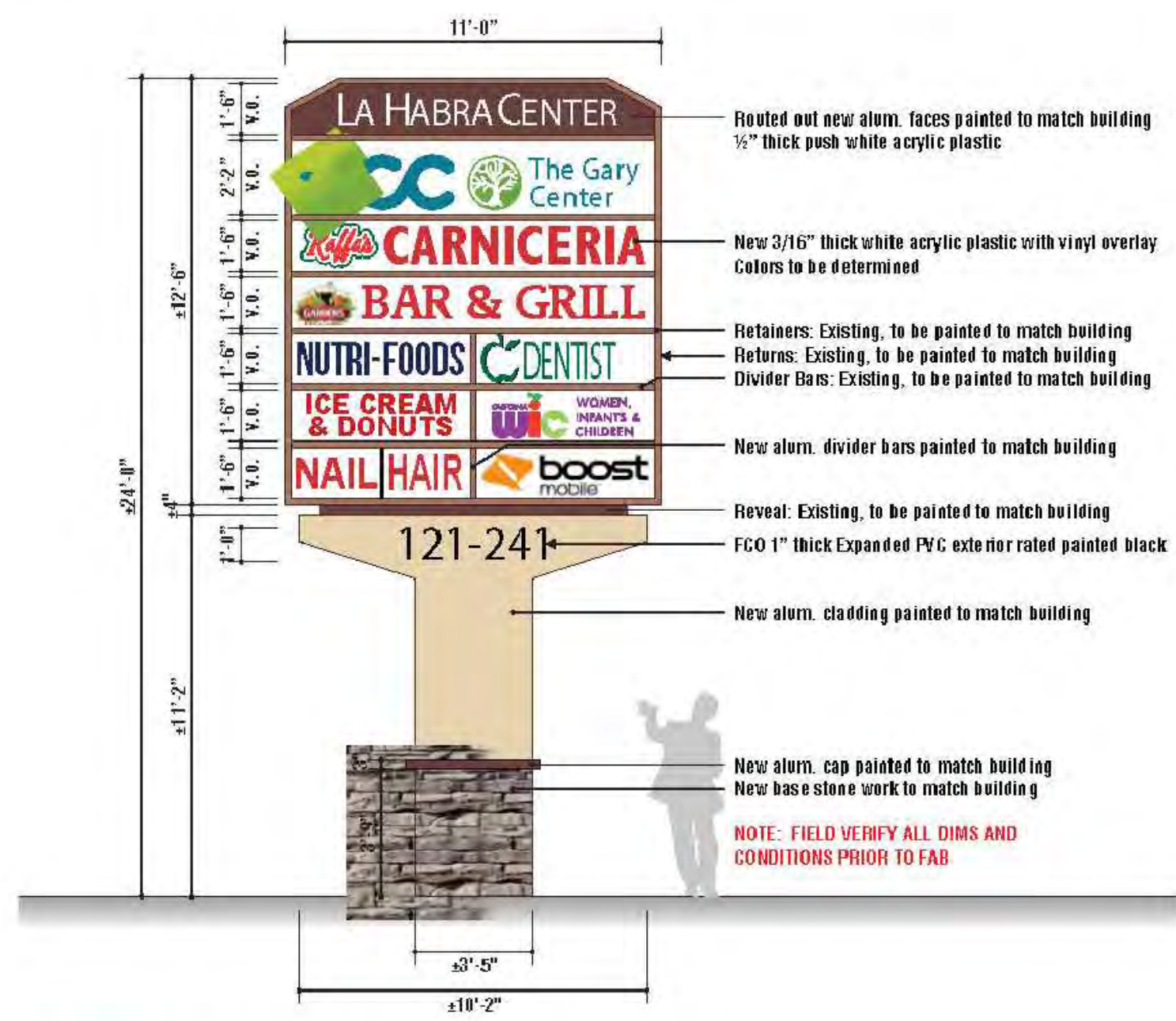
ALL ELECTRICAL COMPONENTS UL LISTED



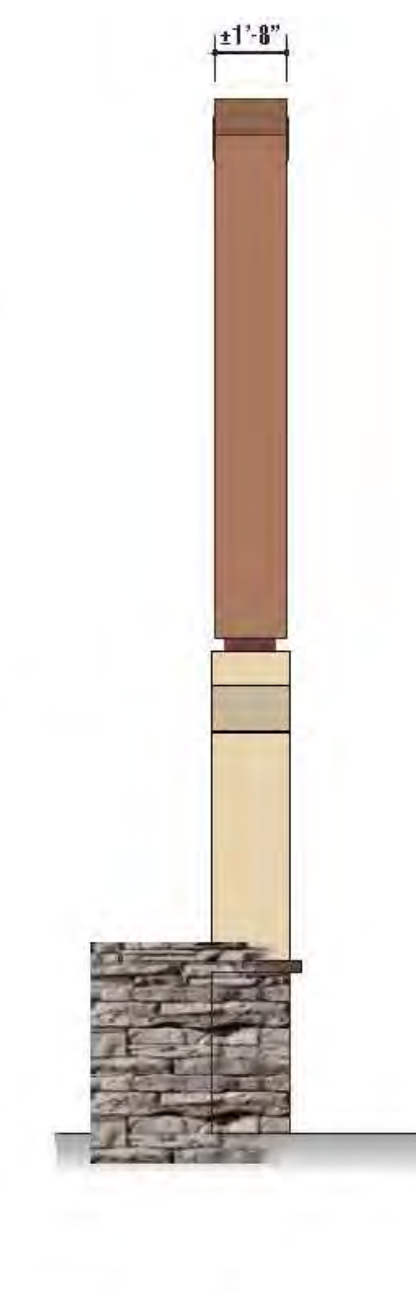
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14

MASTER SIGN PROGRAM: Refurbishing Existing Double Face Illuminated Pylon Sign



M Front View - Harbor Blvd
City: One (1)
Scale: 1/4" = 1'-0"
Refurbish existing double face illuminated pylon sign



1 Side View
Scale: 1/4" = 1'-0"



2 Sign Elevation - Existing Side 1
Scale: nts



3 Sign Elevation - Existing Side 2
Scale: nts



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15

MASTER SIGN PROGRAM: Refurbishing Existing Double Face Illuminated Monument Sign

Note: Existing monument sign cabinet and base to remain, sign contractor to only replace tenant inserts, paint cabinet and base. Add architectural cornice to top of cabinet for decoration.



N Front View - La Habra Blvd
City: One (1)
Square Footage: 30
Scale: 1/2" = 1'-0"
Refurbish existing double face illuminated monument sign
Manufacture and install new double face illuminated cabinet



1 Side View
Scale: 1/2" = 1'-0"



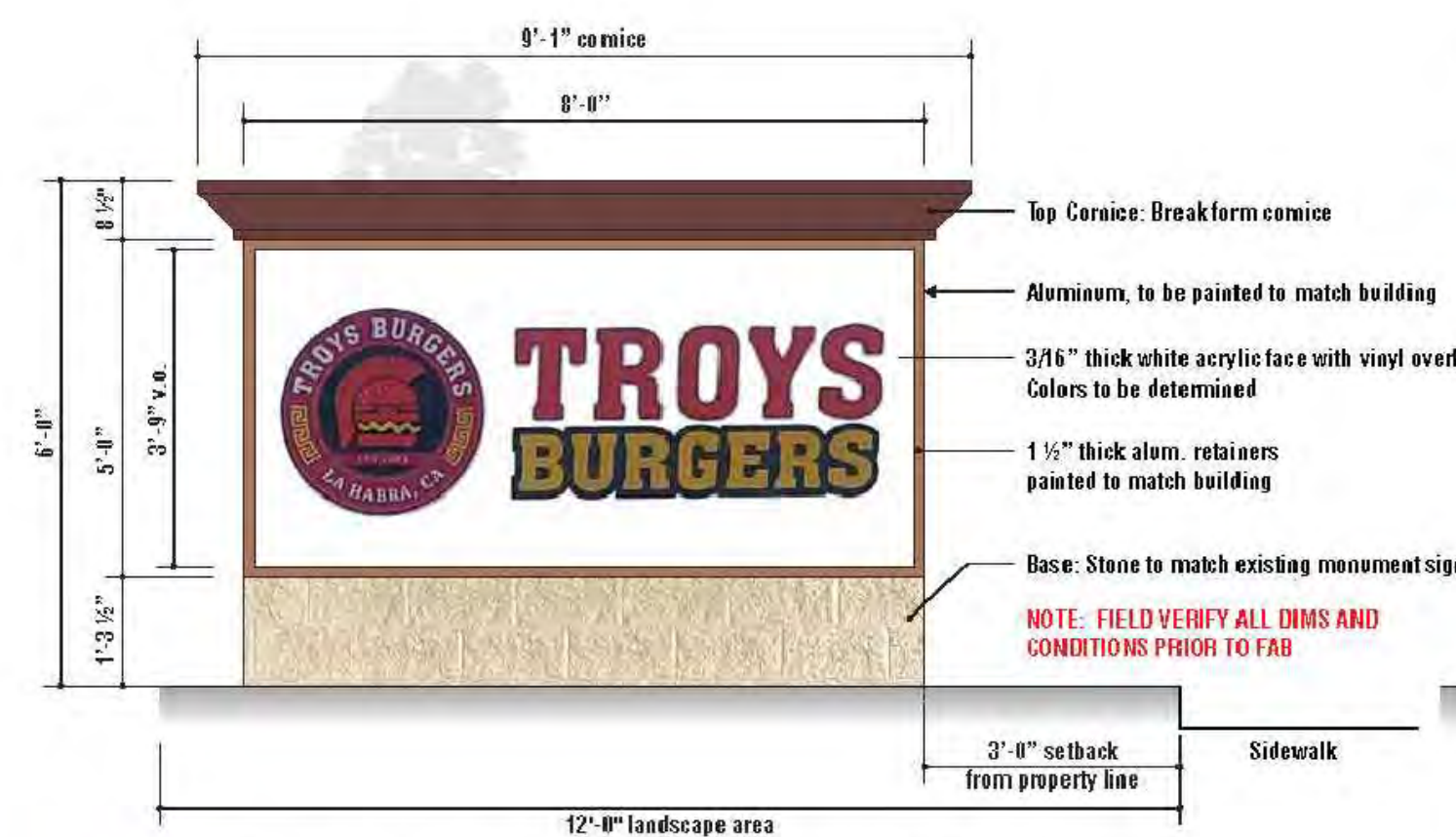
2 Sign Elevation - Existing
Scale: nts



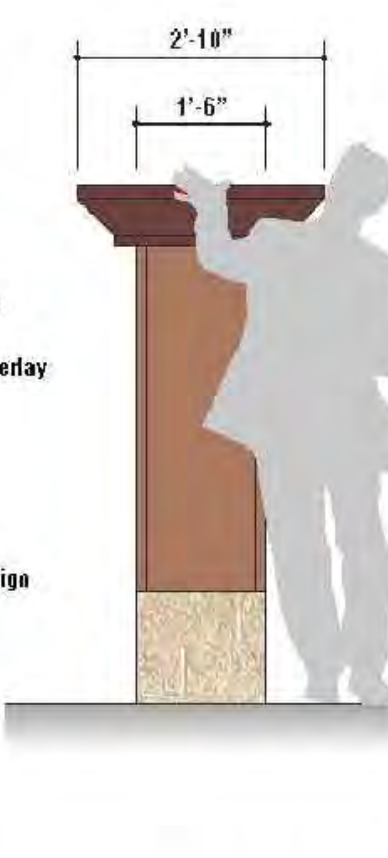
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16

MASTER SIGN PROGRAM: New (TROYS BURGERS) Double Face Illuminated Monument Sign



O Front View - La Habra Blvd
City: One (1)
Square Footage: 32
Scale: 1/2" = 1'-0"
Refurbish existing double face illuminated monument sign
Manufacture and install new double face illuminated cabinet
Illumination: White LEDs / Self contained power supplies



1 Side View
Scale: 1/2" = 1'-0"



2 Sign Elevation - Existing
Scale: nts



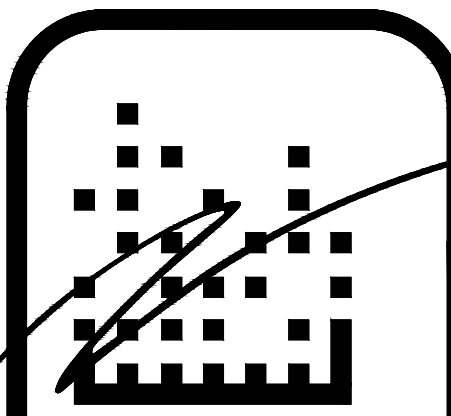
3 Sign Elevation - Existing
Scale: nts



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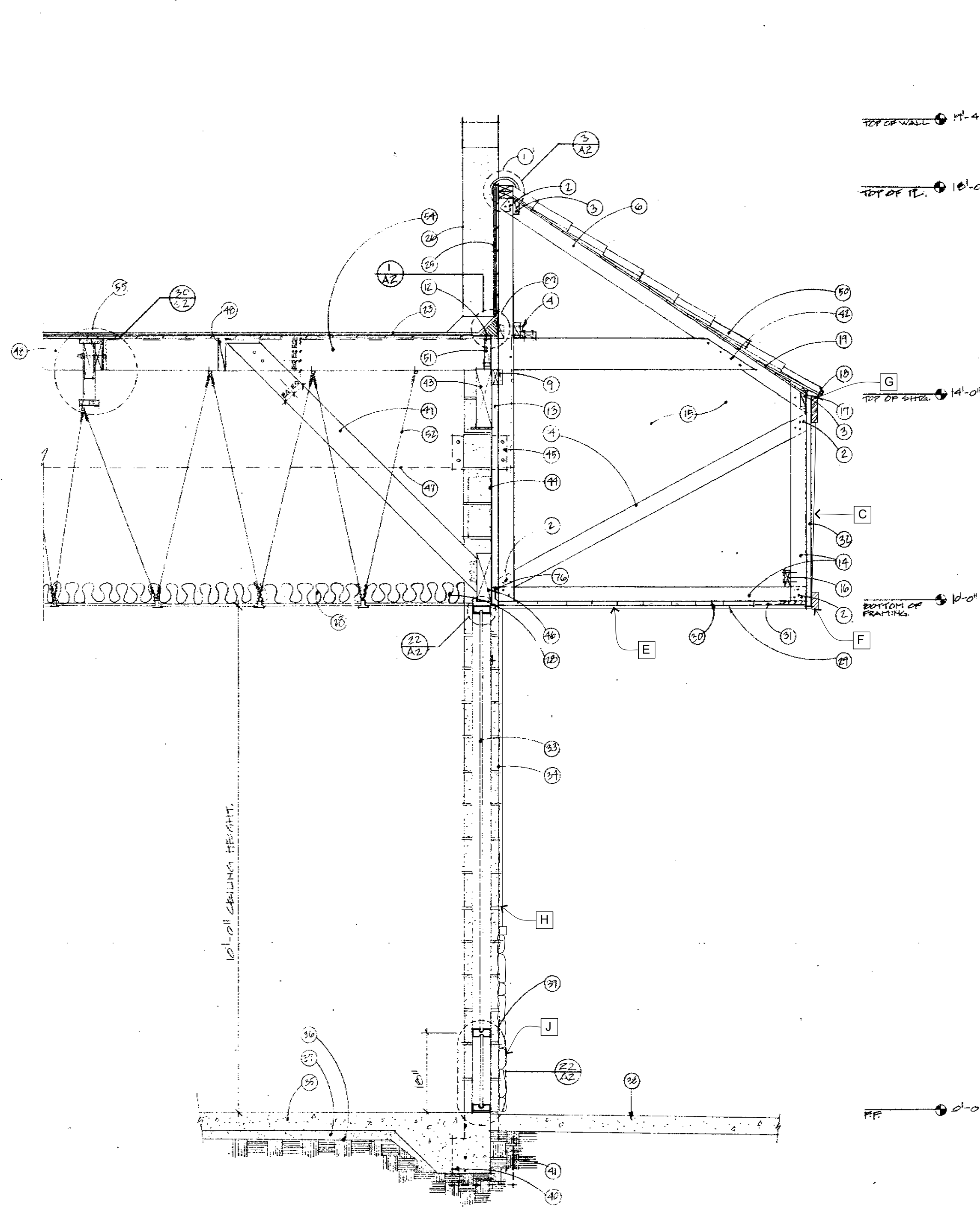
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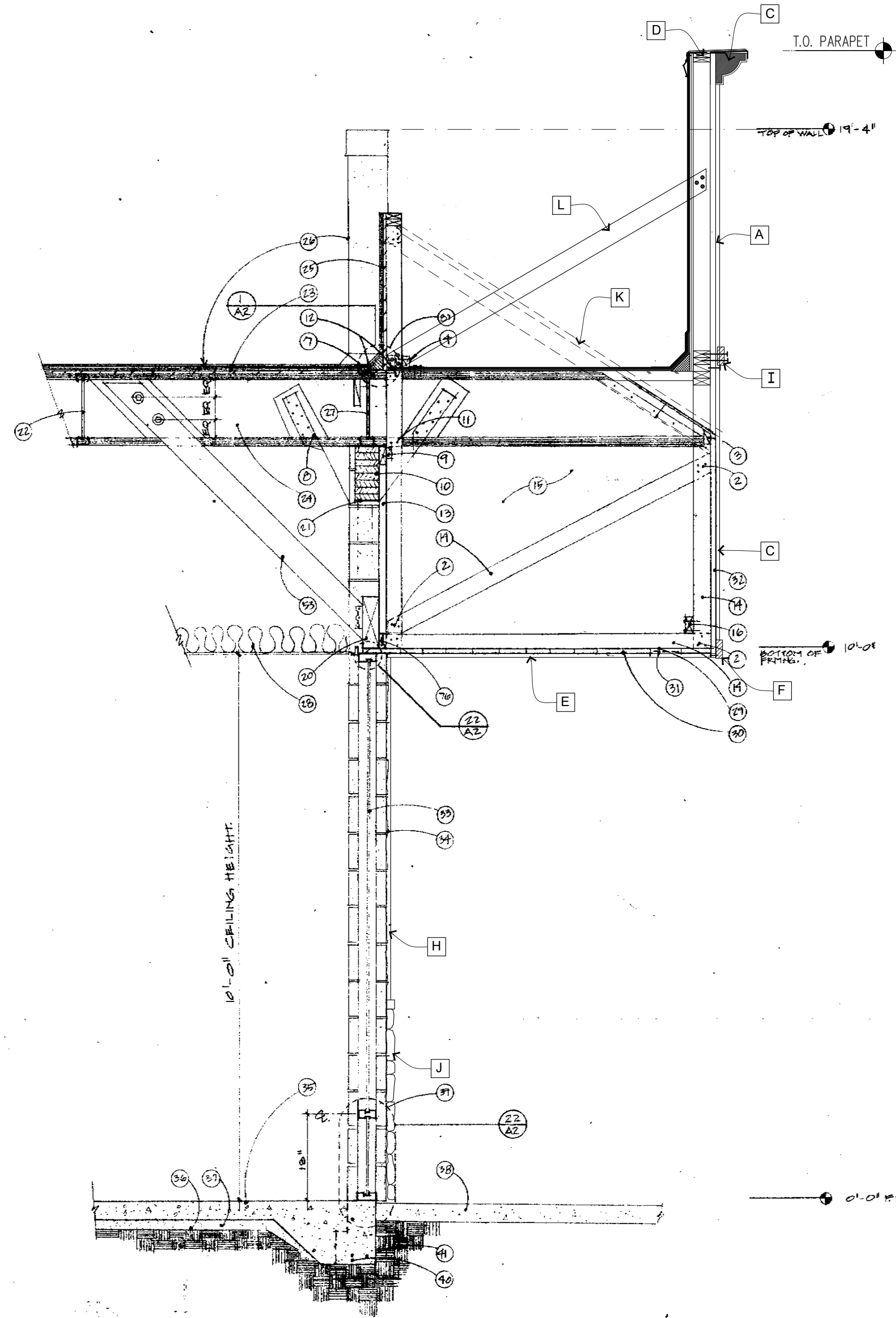
A-7.4



PROPOSED SECTIONS KEY NOTES:

- A** NEW STUCCO OVER NEW PLYWOOD. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- B** NEW FOAM CORNICE CAP. (SEE COLOR BOARD) COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
- C** REMOVED EXISTING SIDING, REPLACED WITH NEW STUCCO OVER FOAM BOARD OVER (E) PLYWOOD. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- D** NEW WALL AND PARAPET TO CONNECT WITH EXISTING WALL. SEE STRUCTURAL DETAILS FOR MORE DETAILS. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- E** NEW STUCCO OVER EXISTING SIDING AND PLYWOOD AT EXISTING SOFFIT. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- F** NEW EDGE TRIM AT EDGE OF CANOPY. COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- G** REPLACED EXISTING FACIA AT EDGE OF ROOF. COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- H** NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD) COLOR IS DUNE-EDWARD CHAPARRAL (DEC 745)
- I** NEW 2X4 EDGE TRIM BOX SURROUNDING NEW SIGNAGE. SEE SIGNAGE MASTER PLAN FOR MORE DETAILS. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- J** NEW 48" HIGH STONE. ELDORADO STONE MOUNTAIN LEDGE SIERRA
- K** EXISTING ROOF TO BE REMOVED.
- L** NEW 2X BRACING BEHIND NEW WALL.

A EXISTING/ PROPOSED SECTION - A N.T.S.

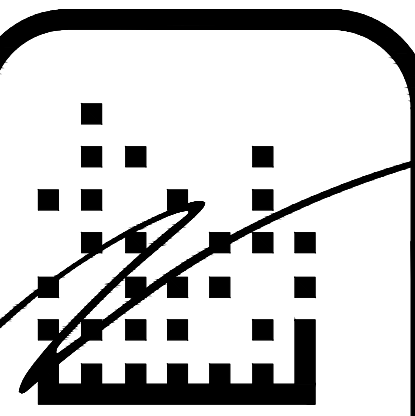


B EXISTING/ PROPOSED SECTION - B N.T.S.

NOTES

- 1 SEE (3/23)
- 2 3/16" NAILS PER LAP JOINT TYP
- 3 2X4 SHAPED BLOCKING.
- 4 2X4 DF #2 CONT W/ 2'-10" @ EACH JOINT OR VERTICAL 2X.
- 5 FILLER BLOCKING W/ 4-10" FROM 2X4 RAFTER.
- 6 2X4 DF #2 RAFTER FRMA @ 24" O.C. (TYP)
- 7 10" @ 6' O.C. EACH SIDE STAGGER.
- 8 SIMPSON V8 BEAC @ 48" O.C. TYP BLKG. AT TJI.
- 9 2X4 CONT W/ 2'-10" @ 24" O.C. SIMPSON A-35 CLIP EA SIDE 2X4
- 10 GLB (SEE FRAMING PLAN)
- 11 2-10" @ TOP AND BOTTOM FLANGE OF TJI
- 12 BOUNDARY WALLING.
- 13 2X4 DF #1 @ 48" O.C. W/ 3-10" @ EACH SIDE.
- 14 2X4 DF #2 W/ 16" AS SHOWN 3 MIN PER LAP 24" O.C.
- 15 PROVIDE 1/2" GYP BR DRAFT STOP @ CANOPY & EA SHED WALL
- 16 2X4 DF #2 CONT W/ 2'-10" @ EACH JOINT
- 17 1X6 REBORN CEDAR TRIM NAIL W/ GALV. FINISH NAILS
- 18 PROVIDE BRIDSTOPS
- 19 1/2" PLYWOOD SHEET (SEE PLAN FOR HAILING) BLK. ALL EDGES.
- 20 4X12 HEADER BM DF #1 SEE NOTE (21) PAGE 10
- 21 BEAM SEAT AT END SEE (22)
- 22 BLOCKING.
- 23 1/2" PLY SHEET (SEE ROOF FRAMING PLAN)
- 24 TJI 35 @ 24" O.C. TYP CANTI.
- 25 BUILT UP ROOFING. RUN UP 1/2" PLY SHEET.
- 26 WALL BEYOND
- 27 CONT SHEAR BLK TRUSS.
- 28 R-19 INSULATION OVER T-BAR SUSPENDED CLG.
- 29 6" O.C. CANOPY (SEE PLAN)
- 30 1X6 T&G CEDAR - STAIN W/ 2 COATS OLYMPIC® TON/WALNUT FINISH
- 31 6" WIDE CONT. SCREED.
- 32 T-111 WOOD SIDING OVER #15 BLDG PAPER
- 33 ALUM. STAKEFRONT SYSTEM W/ 1/4" CLR GLASS (SEE FINISH SHT)
- 34 BLOCK WALL (1)
- 35 6" MIL VIBRQUEB.
- 36 4" SAND LAYER.
- 37 4" THK. WALKWAY SLOPE 1/8" / FT AWAY FROM BLDG. TYP ROCK PATN.
- 38 SEE (23)
- 39 12" V2 THICKENED EDGE W/ 1/4" TOP & BOTTOM (SEE (23))
- 40 CONT. PFR AT WALL BEYOND
- 41 4-10" NAILS.
- 42 6X12 BM. IN HUB @ HANGER. SEE (15) @ ENDS
- 43 TUBE COL @ GLE.
- 44 SEE (21) COL CAP BEYOND
- 45 SEE DTLS (22) (23) 4X12 HBR TO BLK WALL @ TUBE COL
- 46 GLE. BEYOND
- 47 END BLOCKING.
- 48 2X10 DIAG BRACING W/ 1/2" HD @ 48" O.C. 2X8 JOIST. 2X4 BRACE @ 48" HANGER.
- 49 MONDAY ROOF TILE #305 MISSION TERRA COTTA OVER 2 1/2" BELTS.
- 50 2X6 SHEDR BLKG W/ BRIDGE HAILING SIMPSON A-35 CLIP EA BRIDGE
- 51 2X6 SHEDR TIES PER UBC STEDS. THROUGHOUT TYP.
- 52 2X6 DIAG BRACING @ 48" O.C. W/ SIMPSON A-35 & HEADER BOTH SIDES @ 48" HD TJI W/ BLKG ON BOTH SIDES
- 53 2X6 DF #2 @ 24" O.C. CANTI.
- 54 PDL TJI W/ BLKG. SEE (22)
- 55 SEE (1)
- 56 SEE (1)
- 57 SEE DTLS (23)
- 58 2X6 CHORD BARS
- 59 2X4 T&G CEDAR TRIM (H/ASSEMBLY) W/ 6" COVER NAILS @ 24" O.C.
- 60 2X4 CUT TO 3" HAULER W/ 1/2" @ 10" AB (3 REQ'D)
- 61 SIMPSON U 24"
- 62 2X4 BLOCKING.
- 63 4X12 @ 24" CANTI. MAX. 2'-0" A-35 CLIP TO 2X4 FRAME
- 64 2X4 @ 10" O.C. (CRIPPLE WALL)
- 65 BEAM (SEE ROOF FRAMING PLAN)
- 66 2X4 @ 16" O.C. W/ A-35 CLIPS
- 67 4X12 HALL AND WEB STIFFENERS.
- 68 2X SOLID BLOCKING
- 69 2X10 RAFTERS @ 16" O.C. SLOPED @ 1/4" PER FOOT
- 70 U 210 JOINT HANGERS
- 71 22 GA. CH. COPING
- 72 SEE (1)
- 73 SEE (1)
- 74 SEE (1)
- 75 SEE (1)
- 76 PLAT BLKG ALL BEHIND PER ROOF FRAM. PLAN
- 77 4X12 @ 16" LONG @ 4'-0" O.C. IN SLAB
- 78 2X4 @ 24" O.C. W/ A-35
- 79 2X NAUER W/ 2 VATORA TJI
- 80 2X4 DF #1 @ 24" O.C.
- 81 4X6 DF #1 HEADER W/ 4 AB @ 24" O.C. (SECTION H) USE 8" AB @ 24" O.C.
- 82 4X6 DF #1 HEADER W/ 4 AB @ 48" O.C.
- 83 2X4 BLKG W/ A-35 @ 24" O.C.
- 84 WALL CHOR PAT 10 @ 48" O.C.

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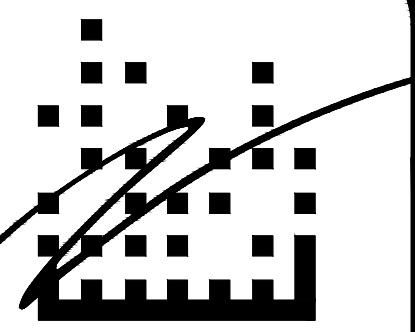
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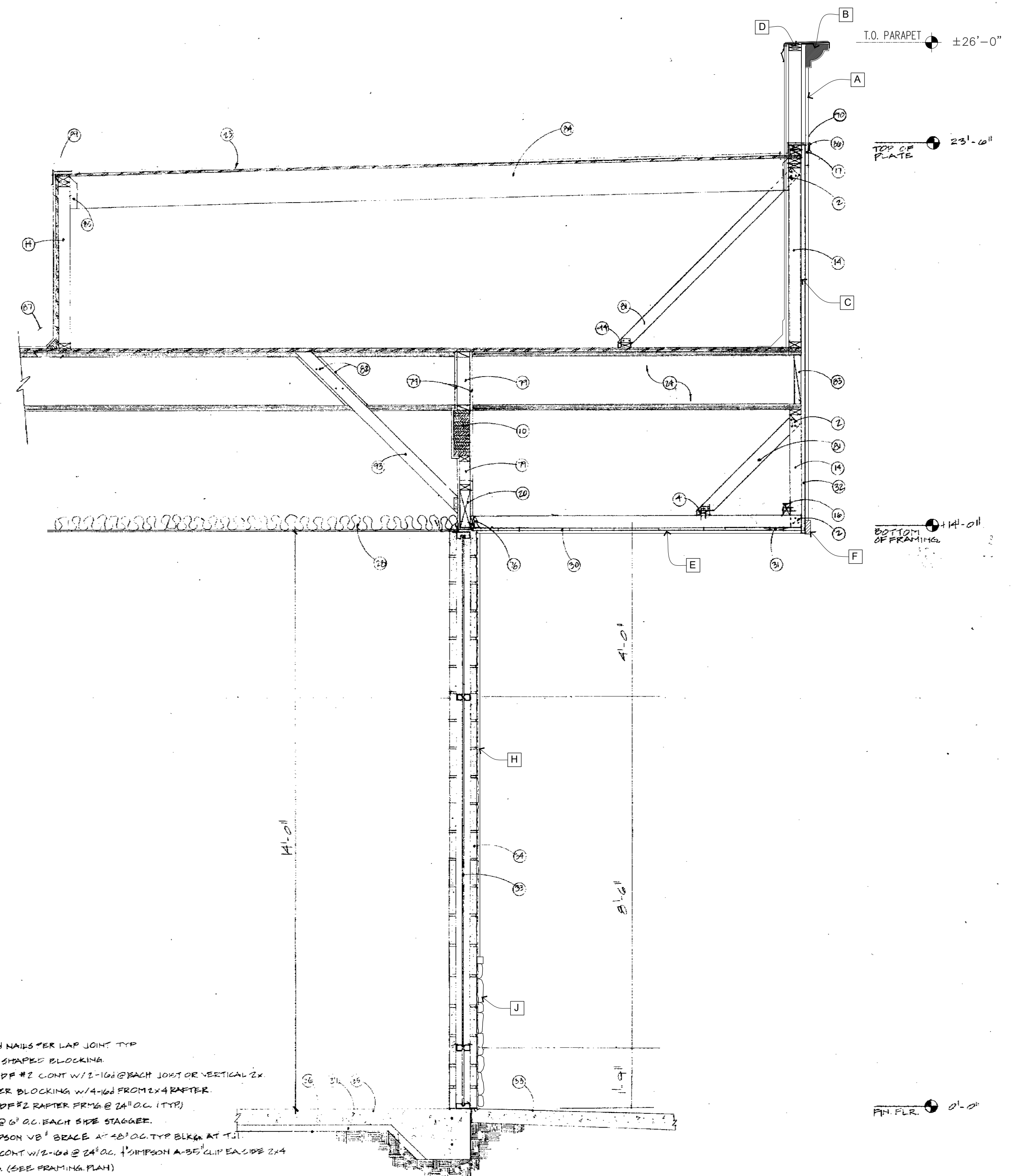
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PROPOSED SECTIONS KEY NOTES:

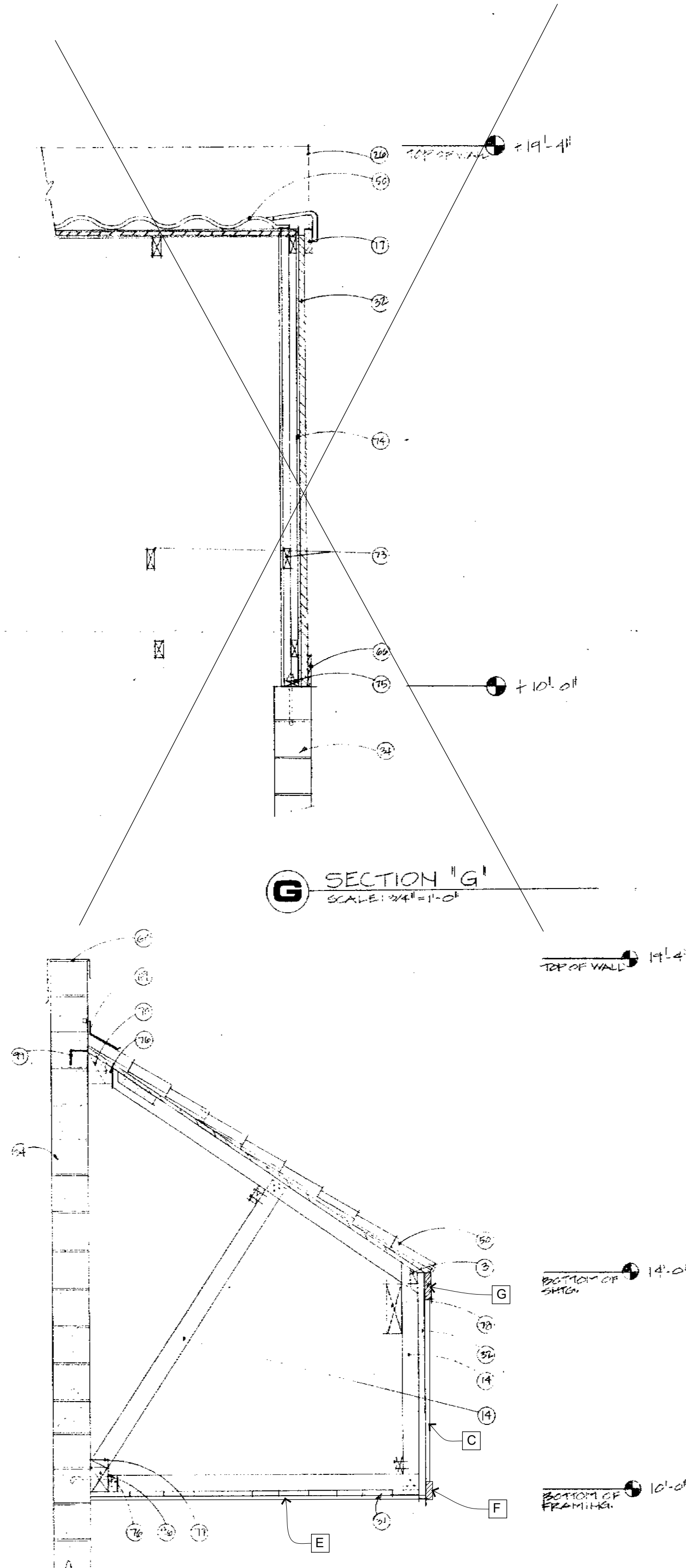
- A NEW STUCCO OVER NEW PLYWOOD. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- B NEW FOAM CORNICE CAP. (SEE COLOR BOARD) COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- C REMOVED EXISTING SIDING, REPLACED WITH NEW STUCCO OVER FOAM BOARD OVER (E) PLYWOOD. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
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- F NEW EDGE TRIM AT EDGE OF CANOPY. COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- G REPLACED EXISTING FACIA AT EDGE OF ROOF. COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- H NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD) COLOR IS DUNE-EDWARD CHAPARRAL (DET 745)
- I NEW 2X4 EDGE TRIM BOX SURROUNDING NEW SIGNAGE. SEE SIGNAGE MASTER PLAN FOR MORE DETAILS. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- J NEW 48" HIGH STONE. ELDERADO STONE MOUNTAIN LEDGE SIERRA



- 1 3/16" NAILS PER LAP JOINT TYP
- 2 2X4 SHAPED BLOCKING
- 3 2X4 DF #2 CONT W/2-16" @ EACH JOINT OR VERTICAL 2X
- 4 FILLER BLOCKING W/4-16" FROM EX PARAPET
- 5 2X4 DF #2 RAFTER FR #2 @ 24" O.C. (TYP)
- 6 1/2" @ 6" O.C. EACH SIDE STAGGER
- 7 SIMPSON V81 BRACE AT 48" O.C. TYP BLKS AT TJ
- 8 2X4 CONT W/2-16" @ 24" O.C. SIMPSON A-35 CLIP EACH SIDE 2X4
- 9 G.I.B. (SEE FRAMING PLAN)
- 10 2-16" @ TOP AND BOTTOM FLANGE OF TJI
- 11 BOUNDARY WALLING
- 12 2X4 DF #1 @ 48" O.C. W/2-16" @ EACH SIDE
- 13 2X4 DF #2 AS SHOWN 8 MIN PER LAP 24" O.C.
- 14 PROVIDE 1/2" SIP BR DRAFT STOP @ CANOPY & EX CHOP WALL
- 15 2X4 DF #2 CONT 1/2" @ 24" @ EACH VERT
- 16 2X4 RESAWN CEDAR TRIM WALL W/GRAN FINISH WALLS
- 17 PROVIDE DRESS TOPS
- 18 1/2" PLYNG SH #3 (SEE PLAN FOR NAILING) BLK ALL EDGES
- 19 4X12 HEADER BM DF #1
- 20 BEAM SEAT AT END
- 21 BLOCKING
- 22 1/2" PLY SHG
- 23 TJI 95 @ 24" O.C. TYP CANTI
- 24 BUILT UP ROOFING RUN UP 1/2" PLY SHG
- 25 WALL BEYOND
- 26 CONT SHEAR BLK TRUSS
- 27 EXT INSULATION OVER T-BAR SUSPENDED CLG
- 28 6" CANOPY
- 29 1X6 T&G CEDAR - STAIN W/2 COATS OLYMPIC TOWN W/GRAN FINISH
- 30 6" WIDE CONT SCREEN
- 31 TJI WOOD SIDING OVER #15 BLDG PAPER
- 32 ALLUM. VAPOR BARRIER SYSTEM W/1/4" CAR GIBS
- 33 BLOCK WALL
- 34 FULL THICK 5" SLAB
- 35 6" MIL VISQUEESH
- 36 4" SAND LAYER
- 37 4" THK. WALKWAY SLOPE 1/8" PER FT AWAY FROM BLDG. MIN ROCK MATN
- 38 2X8 STRAKE BLK W/ ECKE NAILING SIMPSON A-35 ONE EACH SIDE
- 39 2X8 STRAKE TIES PER UBC 1909.7 THROUGHOUT (TYP)
- 40 2X8 STRAKE BEARING @ 48" O.C. W/ SIMPSON A-35 & HEADER BOTH SIDES 2X8 STRAKE TIES W/ BKG ON BOTH SIDES
- 41 3X6 DF #2 @ 24" O.C. CANTI
- 42 100L TJI W/ BLK
- 43 2X8 CHORD BARS
- 44 G.I.B. DRYWIT
- 45 2X8 BLOCKING
- 46 2X8 FULL THICK 5" SLAB
- 47 6" MIL VISQUEESH
- 48 4" SAND LAYER
- 49 4" THK. WALKWAY SLOPE 1/8" PER FT AWAY FROM BLDG. MIN ROCK MATN
- 50 2X8 STRAKE BLK W/ ECKE NAILING SIMPSON A-35 ONE EACH SIDE
- 51 2X8 STRAKE TIES PER UBC 1909.7 THROUGHOUT (TYP)
- 52 2X8 STRAKE BEARING @ 48" O.C. W/ SIMPSON A-35 & HEADER BOTH SIDES 2X8 STRAKE TIES W/ BKG ON BOTH SIDES
- 53 3X6 DF #2 @ 24" O.C. CANTI
- 54 100L TJI W/ BLK
- 55 2X8 CHORD BARS
- 56 1/2" PLYNG SH #3 (SEE PLAN FOR NAILING) BLK ALL EDGES
- 57 4X12 HEADER BM DF #1
- 58 BEAM SEAT AT END
- 59 BLOCKING
- 60 1/2" PLY SHG
- 61 TJI 95 @ 24" O.C. TYP CANTI
- 62 BUILT UP ROOFING RUN UP 1/2" PLY SHG
- 63 WALL BEYOND
- 64 CONT SHEAR BLK TRUSS
- 65 EXT INSULATION OVER T-BAR SUSPENDED CLG
- 66 6" CANOPY
- 67 1X6 T&G CEDAR - STAIN W/2 COATS OLYMPIC TOWN W/GRAN FINISH
- 68 6" WIDE CONT SCREEN
- 69 TJI WOOD SIDING OVER #15 BLDG PAPER
- 70 ALLUM. VAPOR BARRIER SYSTEM W/1/4" CAR GIBS
- 71 BLOCK WALL
- 72 FULL THICK 5" SLAB
- 73 6" MIL VISQUEESH
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- 75 4" THK. WALKWAY SLOPE 1/8" PER FT AWAY FROM BLDG. MIN ROCK MATN
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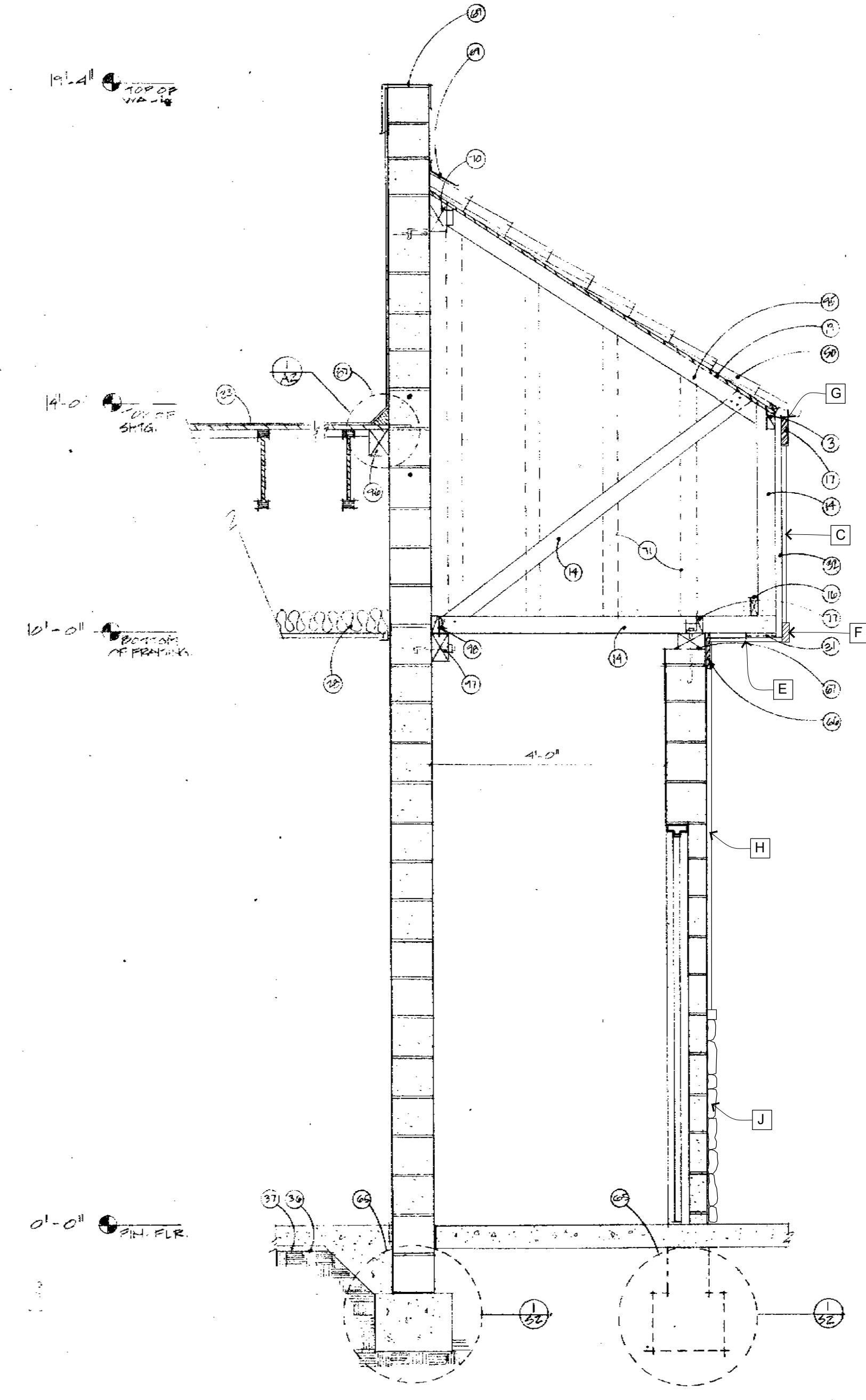
PROPOSED SECTIONS KEY NOTES:

- A) NEW STUCCO OVER NEW PLYWOOD. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- B) NEW FOAM CORNICE CAP. (SEE COLOR BOARD) COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
- C) REMOVED EXISTING SIDING, REPLACED WITH NEW STUCCO OVER FOAM BOARD OVER (E) PLYWOOD. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- D) NEW WALL AND PARAPET TO CONNECT WITH EXISTING WALL. SEE STRUCTURAL DETAILS FOR MORE DETAILS. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- E) NEW STUCCO OVER EXISTING SIDING AND PLYWOOD AT EXISTING SOFFIT. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- F) NEW EDGE TRIM AT EDGE OF CANOPY. COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- G) REPLACED EXISTING FACIA AT EDGE OF ROOF. COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442) (SEE COLOR BOARD)
- H) NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD) COLOR IS DUNE-EDWARD CHAPARRAL (DET 745)
- I) NEW 2X4 EDGE TRIM BOX SURROUNDING NEW SIGNAGE. SEE SIGNAGE MASTER PLAN FOR MORE DETAILS. COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465) (SEE COLOR BOARD)
- J) NEW 48" HIGH STONE. ELDORADO STONE MOUNTAIN LEDGE SIERRA



G SECTION 'G'
SCALE 1/4"=1'-0"

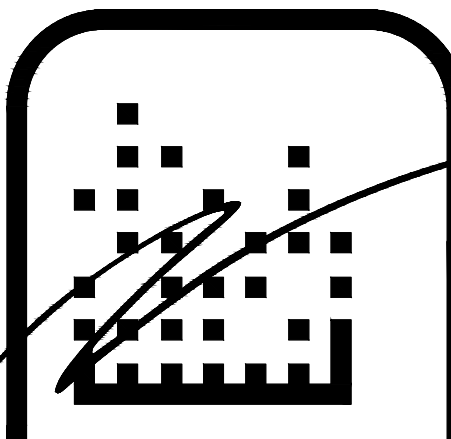
H EXISTING/PROPOSED SECTION - H
N.T.S.



F EXISTING/PROPOSED SECTION - F
N.T.S.

- 1) SEE (A)
- 2) 2x4 SHAPED BLOCKING
- 3) 2x4 SHAPED BLOCKING
- 4) 2x4 DF #2 CONT W/ 2-10 @ EACH JOINT OR VERTICAL 2x
- 5) FILLER BLOCKING W/ 1-10 FROM EXISTING
- 6) 2x4 DF #2 RAFTER FRMG @ 24" O.C. (TYP)
- 7) 1x4 @ 2' O.C. EACH SIDE STAGGER
- 8) SIMPSON V8 BEACE AT 10' O.C. TYP BLK. AT TJ
- 9) 2x4 CONT W/ 2-10 @ 24" O.C. SIMPSON A-35 CLIP EACH SIDE 2x
- 10) GLB. (SEE FRAMING PLAN)
- 11) 2-10 @ TOP AND BOTTOM FLANGE OF TJ
- 12) BOUNDARY NAILING
- 13) 2x4 DF #1 @ 48" O.C. W/ 3-10 @ EACH SIDE
- 14) 2x4 DF #2 W/ 10' AS SHOWN 3" MIN PER LAP 24" O.C.
- 15) PROVIDE 1/2" W/ 2-10 @ EACH JOINT @ CANOPY & RA SHIP WALL
- 16) 2x4 DF #2 CONT W/ 2-10 @ EACH JOINT
- 17) 2x4 RE-SAWN CEDAR TRIM NAIL W/ GALV FINISH NAILS
- 18) PROVIDE BRDSTOPS
- 19) 1/2" PLYWG SHIT (SEE PLAN FOR NAILING) BLK. ALL EDGES
- 20) 4x12 HEADER BTH DF #1 SEE NOTE (A) PAGE 15
- 21) BEAM SEAT AT END SEE (B)
- 22) BLOCKING
- 23) 1/2" PLY SHIT (SEE ROOF FRAMING PLAN)
- 24) TJ 35 @ 24" O.C. TYP CANTI.
- 25) BUILT UP ROOFING R/1/4" PLY SHIT
- 26) WALL BEYOND
- 27) CONT SHEAR BLK. TUBS
- 28) R/1/4" INSULATION OVER T-BAR SUSPENDED CIG
- 29) 2" O.P. CANOPY (SEE PLAN)
- 30) 1x10 T&G CEILING STAIN W/ 3 COATS OLYMPIC TOON/GALV FINISH
- 31) 1/4" WIDE CONT. SCREWS
- 32) 1x11 WOOD SIDING OVER #15 BLDG PAPER
- 33) ALUM. SIDING FRONT SYSTEM W/ 1/4" CLR. GUM/USE FINISH SHIT
- 34) BLOCKWALL (B)
- 35) FULL THICK 5" SLAB
- 36) 6 MIL VIBRUMESH
- 37) 4" SAND LAYER
- 38) 4" THK. WALKWAY SLOPE 1/8" FT. AWAY FROM BLDG. TYP ROCK CASTER
- 39) SEE (A)
- 40) 12" 2" THICKENED EDGE W/ 1-14 TOP & BOTTOM SEE (B)
- 41) CONT. FRG. AT WALL BEYOND
- 42) 4-10 @ NAILS
- 43) 6x12 BR. H/110 USE 1" HANGER SEE (B) @ ENDS
- 44) TUBE COL @ GLB.
- 45) SEE (A) COL CAP BEYOND
- 46) SEE (A) 4x12 H/110 TO BLKWALL + TUBE COL
- 47) GLB. BEYOND
- 48) 2x4 BLOCKING
- 49) 2x4 FRG. BRACING W/ 2x10 @ 48" O.C. @ 2x4 JOINTS 2x4 SIDE
- 50) HORIZONTAL ROOF TIE 2x10 @ 24" O.C. OVER 2
- 51) 2x4 SHEAR BLK. W/ WEBE NAILING SIMPSON A-35 CLIP EACH
- 52) 2x4 TIES PER USC STPS. THROUGHOUT
- 53) 2x4 FRG. BRACING @ 48" O.C. W/ SIMPSON A-35 & HEADER BOTH
- 54) 2x4 DF #2 @ 24" O.C. CANTI.
- 55) PDL - 1" W/ BLK. SEE (B)
- 56) SEE (A)
- 57) SEE (A)
- 58) 2" O.C. CHORD BARS
- 59) 2x4 FRG. BRACING @ 48" O.C. @ 2x4 JOINTS 2x4 SIDE
- 60) 2x4 FRG. BRACING @ 48" O.C. @ 2x4 JOINTS 2x4 SIDE
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- 99) 2x4 FRG. BRACING @ 48" O.C. @ 2x4 JOINTS 2x4 SIDE
- 100) 2x4 FRG. BRACING @ 48" O.C. @ 2x4 JOINTS 2x4 SIDE

REVISIONS	BY
THE CITY COMMENTS 08/11/2025	



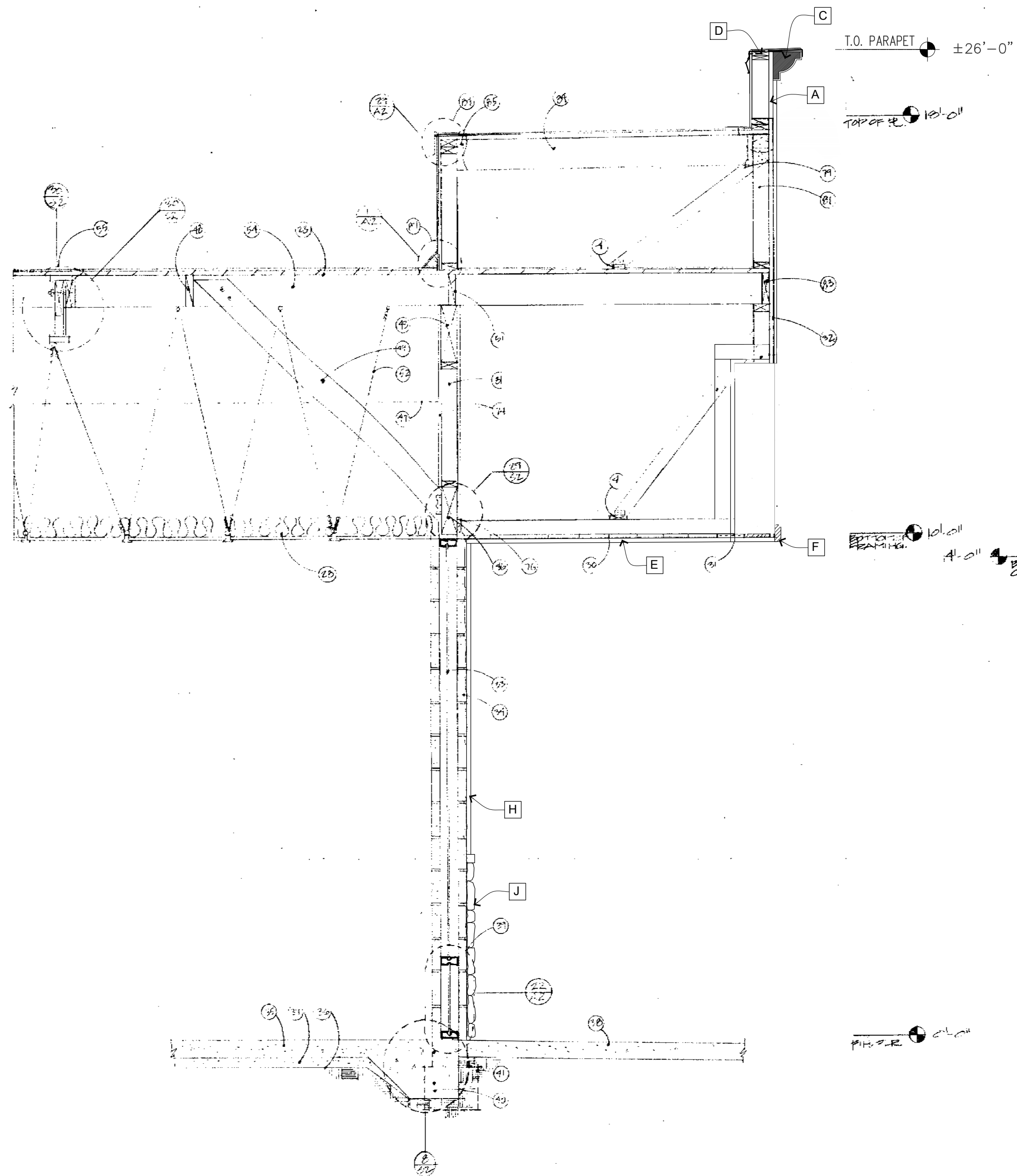
MANZER + ASSOCIATES
24275 PONCHARTRAIN LANE
LAKE FOREST, CA 92630
949-768-6546
FAX:
949-855-4387

08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET

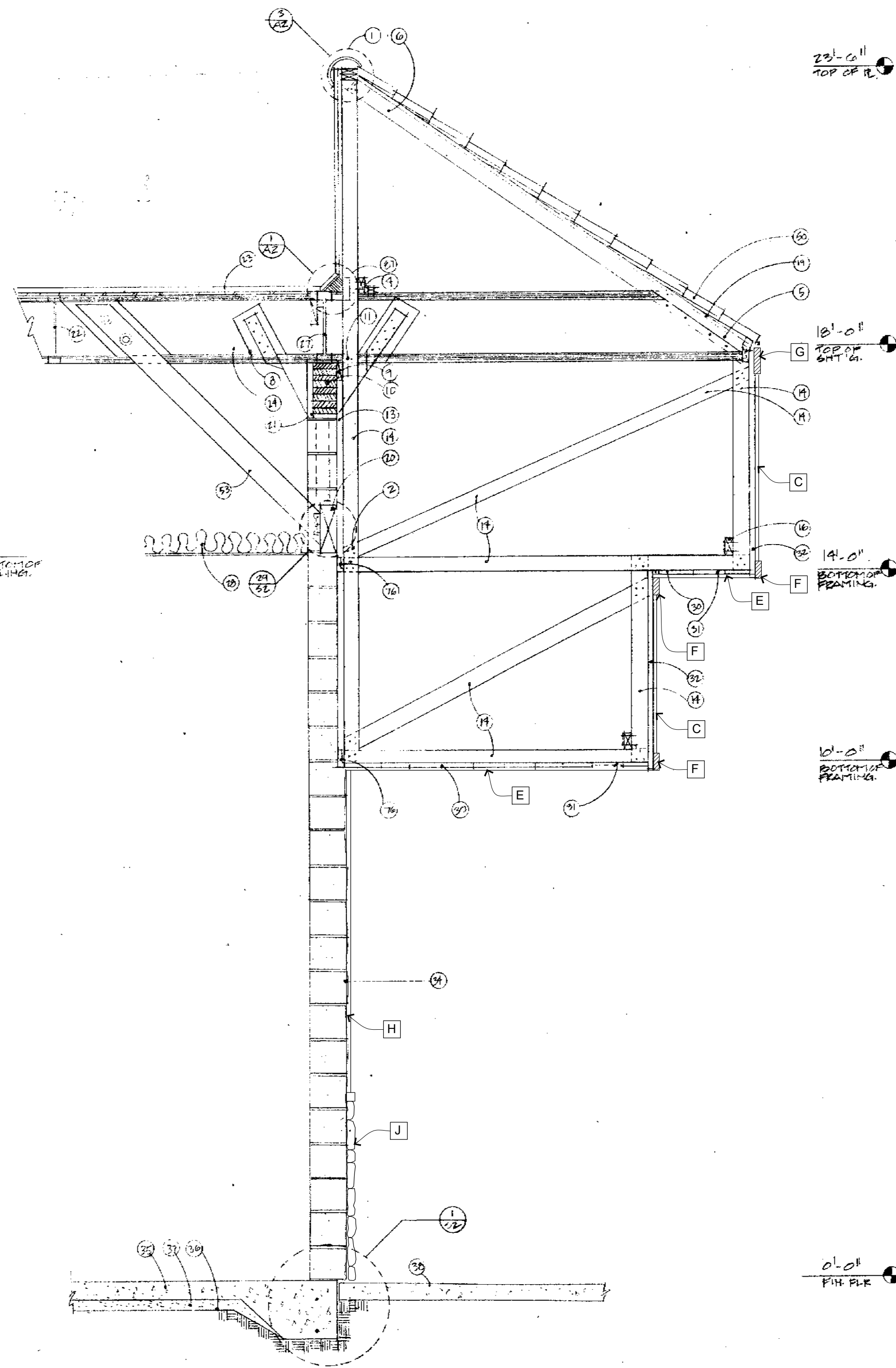
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J EXISTING/ PROPOSED SECTION - J
N.T.S.

PROPOSED SECTIONS KEY NOTES:

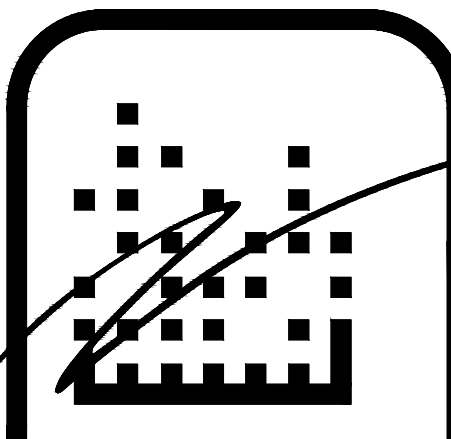
- A** NEW STUCCO OVER NEW PLYWOOD.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465)
(SEE COLOR BOARD)
- B** NEW FOAM CORNICE CAP. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
- C** REMOVED EXISTING SIDING, REPLACED WITH NEW
STUCCO OVER FOAM BOARD OVER (E) PLYWOOD.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465)
(SEE COLOR BOARD)
- D** NEW WALL AND PARAPET TO CONNECT WITH EXISTING WALL.
SEE STRUCTURAL DETAILS FOR MORE DETAILS.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465)
(SEE COLOR BOARD)
- E** NEW STUCCO OVER EXISTING SIDING AND PLYWOOD AT EXISTING SOFFIT.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465)
(SEE COLOR BOARD)
- F** NEW EDGE TRIM AT EDGE OF CANOPY.
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
(SEE COLOR BOARD)
- G** REPLACED EXISTING FACIA AT EDGE OF ROOF.
COLOR IS DUNE-EDWARD ROCKY MOUNTAIN RED (DET 442)
(SEE COLOR BOARD)
- H** NEW STUCCO OVER EXISTING CMU WALL. (SEE COLOR BOARD)
COLOR IS DUNE-EDWARD CHAPARRAL (DEC 745)
- I** NEW 2x4 EDGE TRIM BOX SURROUNDING NEW SIGNAGE.
SEE SIGNAGE MASTER PLAN FOR MORE DETAILS.
COLOR IS DUNE-EDWARD OUTLAWED ORANGE (DET 465)
(SEE COLOR BOARD)
- J** NEW 48" HIGH STONE.
ELDORADO STONE MOUNTAIN LEDGE SIERRA



K EXISTING/ PROPOSED SECTION - K
N.T.S.

- 1 SEE (2/22)
- 2 2x4 NAILS PER LAP JOINT TYP
- 3 2x4 SHAPED BLOCKING
- 4 2x4 DP #2 CONT W/ 2'-10" @ EACH JOINT OR VERTICAL 2x.
- 5 FILLER BLOCKING W/ 4'-10" FROM 2x4 RAFTER.
- 6 2x4 DP #2 RAFTER FRM @ 24" O.C. (TYP)
- 7 1x6 @ 2' O.C. EACH SIDE STAGGER
- 8 SIMPSON V8 BEAGS AT 48" O.C. TYP BLK @ TJI.
- 9 2x4 CONT W/ 2'-10" @ 24" O.C. SIMPSON A-35 CLIP ENDS 2x4
- 10 GLB (SEE FRAMING PLAN)
- 11 2'-10" @ TOP AND BOTTOM FLANGE OF TJI
- 12 BOUNDARY HANGING
- 13 2x4 DP #1 @ 48" O.C. W/ 3'-10" @ EACH SIDE.
- 14 2x4 DP #2 W/ 16" AS SHOWN 3" MIN PER LAP 24" O.C.
- 15 PROVIDE V8 GTP BO DRAPT STOP & CANNOT @ RA STOP WALL
- 16 2x4 DP #2 CONT W/ 2'-10" @ EACH SIDE
- 17 2x6 RE-SAWN CEDAR TRIM NAIL W/ GALV FINISH NAILS
- 18 PROVIDE BIRDSTOPS
- 19 1/2" PLYWOOD SHTG (SEE PLAN FOR HAILING) BLK ALL EDGES.
- 20 4x12 HEADER BM OF #1 SEE NOTE (20) PAR. 15
- 21 BEAM SEAT AT END SEE (21)
- 22 BLOCKING
- 23 1/2" PLY SHTG (SEE ROOF FRAMING PLAN)
- 24 2x4 @ 24" O.C. TYP CANTI.
- 25 BUILT UP ROOFING RUN UP 1/2" PLY SHTG.
- 26 WALL BEYOND
- 27 CONT SHEAR BLKG TRUSS.
- 28 INSULATION OVER T-BAR SUSPENDED CLG.
- 29 2" OF CANTY (SEE PLAN)
- 30 1x6 T&G OSB OR STAIN W/ 2 COATS OLYMPIC 7000/GALV FINISH
- 31 1/4" WIDE CONT. SCREWS
- 32 1x11 WOOD SHINGLES OVER 1/2" BLDG PAPER
- 33 ALL IN STIFF FRONT SYSTEM WITH 1/4" CLR GLB (SEE FINISH SHEET)
- 34 BLOCK WALL
- 35 FULL THICK 5" SLAB
- 36 6" THICK VISQUESH.
- 37 2" SAND LAYER.
- 38 4" TH. WALKWAY SLOPE 1/8" FT AWAY FROM BLDG TO DRAINAGE
- 39 SEE (22)
- 40 12" x 2" THICKENED HERE W/ 1-BA TOP BOTTOMS SEE (23)
- 41 CONT FIB AT WALL BEYOND
- 42 4'-10" NAILS
- 43 6x12 BM IN HINGED HANGER. SEE (16) @ ENDS
- 44 TUBE @ 2' @ G.L.D.
- 45 SEE (24) COL. CAP BEYOND
- 46 SEE DET (25) 4x12 HBR TO BLK WALL + TUBE COL
- 47 G.L.D. BEYOND
- 48 EXD BLOCKING
- 49 2x6 PLG BEACHING W/ 1/2" @ 48" O.C. @ 2x6 JOIST HUBS & 2x4 JOIST HUBS
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REVISIONS	BY
THE CITY COMMENTS 08/11/2025	▲



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LAKE FOREST, CA 92630
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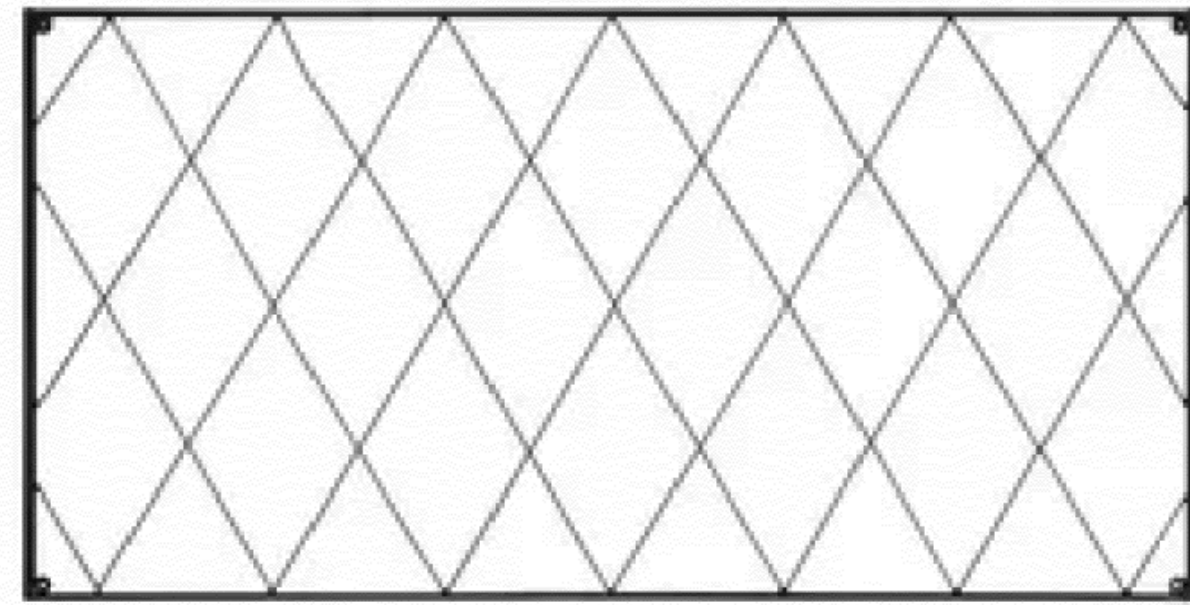
08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET

A-8.4

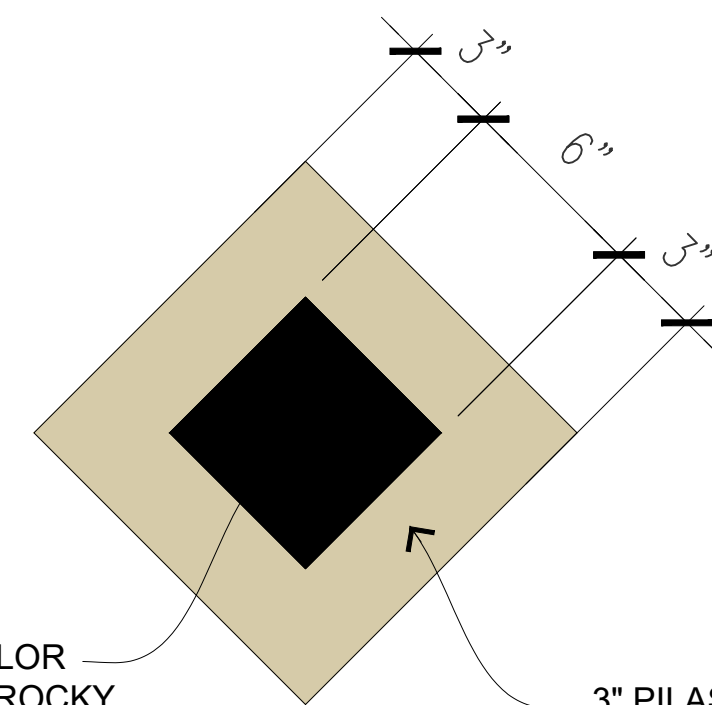
IRON LATTICE PANEL TRELLIS



Danielson 23" H x
46" W Iron Lattice
Panel Trellis
Extender

Features

Color	Black
Powder Coated Finish	Yes
Material	Iron
Product Design	Lattice Panel
Installation	Wall-mounted
Country of Origin	India
Material Details	Wrought iron



6"x6" ACCENT TILE WITH COLOR
SIMILAR TO DUNE-EDWARD ROCKY
MOUNTAIN RED (DET 442)

3" PILASTER BAND,
RAISED 1" FROM
SURROUNDING SURFACE

ACCENT TILE

Casa Marseille™ 21 1/2" High Bronze Outdoor Wall
Light



Product Details

Inspired by the romantic Mediterranean, this traditional outdoor wall light will add curb appeal to a porch, patio, or entryway area.

Additional Info:

The allure and romance of the south of France beckons with this handsome outdoor wall light. From the Casa Marseille collection by John Timberland, this three-light fixture comes in a handsome veranda bronze finish, and features lavish scroll arms and acanthus leaf detailing. Champagne hammered glass panels add a vintage, antique look. A wonderful design for entry spaces, garage areas, and more.



[Shop all John Timberland](#)

Check size & position before you buy! [Printable Life-Size Image](#)
Light fixtures are commercial grade.

- 21 1/2" high x 9" wide. Extends 10 1/2" from the wall. Weighs 6.6 lbs.
- Backplate is 16" high x 5 1/2" wide. Distance from mounting point to the top of fixture is 10 1/2".
- Uses three maximum 40 candelabra base bulbs (incandescent, LED, or CFL). Bulbs not included.
- Traditional outdoor wall light from the Casa Marseille™ collection by John Timberland. Wet location outdoor rated.
- Veranda bronze finish. Metal construction. Champagne hammered glass. Double scroll arms and acanthus leaf accents.

La Habra Center
Color board

Cornice Trim



Facia – Storefront overhang



New plaster – CMU

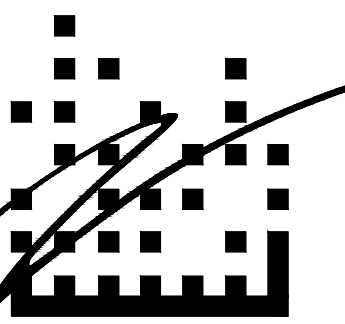


ELDORADO STONE MOUNTAIN LEDGE SIERRA



NEW ROOF TILE TO MATCH EXISTING MATERIAL AND COLOR

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THE CITY COMMENTS 08/11/2025	



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[Signature]

08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:

121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

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SHEET

A-10

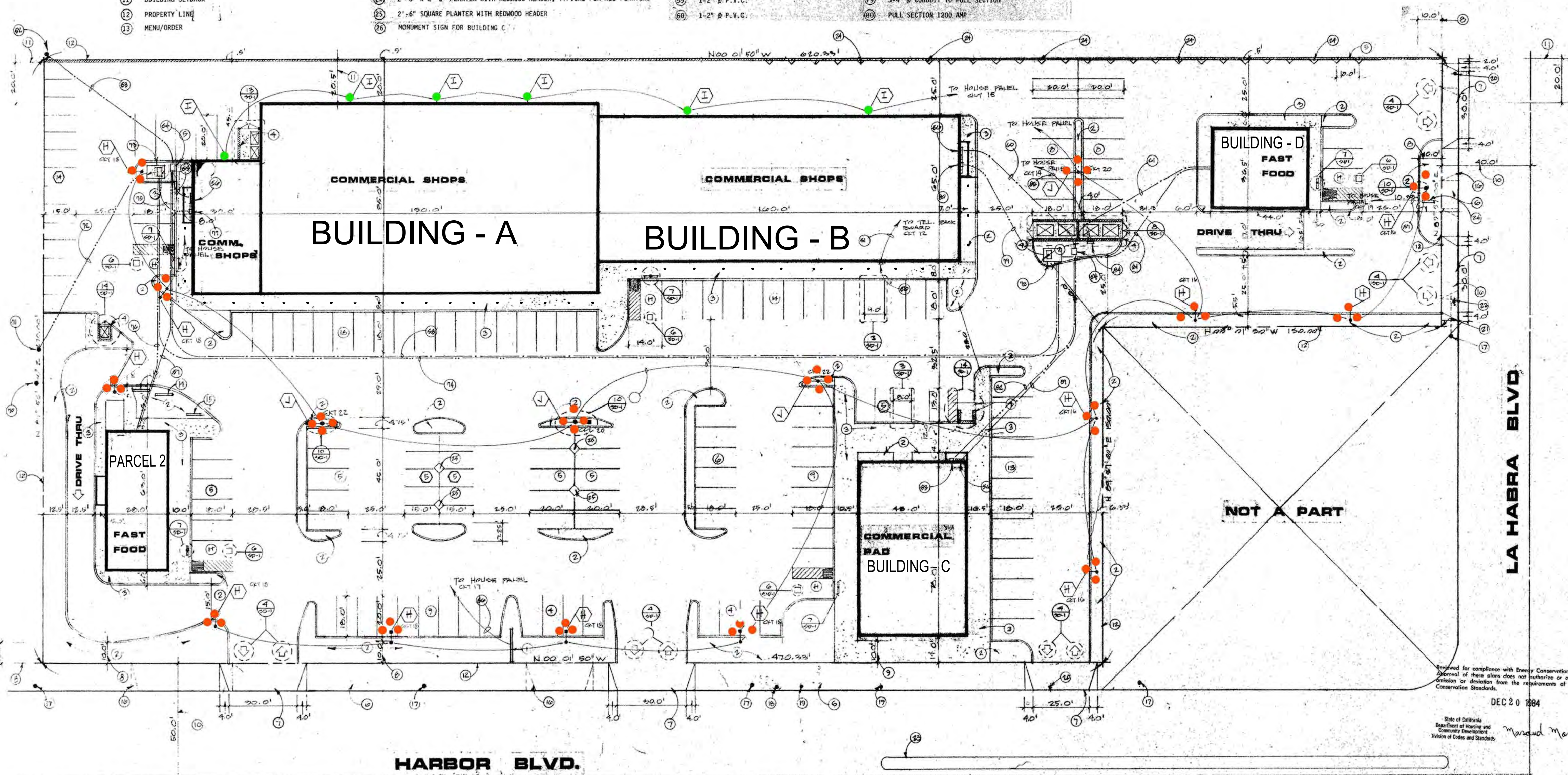
OF SHEETS

NOTES

- 1 SHOPPING CENTER IDENTIFICATION AND DIRECTORY SIGN
- 2 LANDSCAPE AREA
- 3 CONCRETE WALK
- 4 TRASH ENCLOSURE
- 5 6' HIGH CONCRETE BLOCK WALL
- 6 SIDEWALK
- 7 DRIVEWAY PER CITY STANDARDS
- 8 10' LANDSCAPE SETBACK
- 9 10' BUILDING SETBACK
- 10 STREET RIGHT OF WAY
- 11 BUILDING SETBACK
- 12 PROPERTY LINE
- 13 MENU/ORDER
- 14 PRE-ORDER
- 15 DRIVE-THRU, DOUBLE SIDED
- 16 EXISTING DRIVEWAY - TO BE REMOVED
- 17 EXISTING POWER POLE
- 18 EXISTING FIRE HYDRANT
- 19 EXISTING TRAFFIC SIGNS
- 20 EXISTING SIGN - TO BE RELOCATED
- 21 EXISTING GUIDE WIRE - TO BE RELOCATED
- 22 EXISTING FIRE HYDRANT - TO BE RELOCATED
- 23 EXISTING MEDIAN STRIP
- 24 2'-6" X 2'-6" PLANTER WITH REDWOOD HEADER, TYPICAL FOR ALL PLANTERS
- 25 2'-6" SQUARE PLANTER WITH REDWOOD HEADER
- 26 MONUMENT SIGN FOR BUILDING C

- 50 PUBLIC TELEPHONE
- 51 1" Ø CONDUIT TO MAIN TELEPHONE BACKBOARD
- 52 TELEPHONE P.O.C.
- 53 1-4" Ø P.V.C.
- 54 2'X3' PULL BOX (SEE TELEPHONE COMPANY NOTES)
- 55 1-2" Ø P.V.C.
- 56 4'X8' PLYWOOD BACKBOARD
- 57 1-2" Ø P.V.C.
- 58 1-4" Ø P.V.C.
- 59 1-2" Ø P.V.C.
- 60 1-2" Ø P.V.C.
- 70 P.P. NO. 1077608E, TO BE REMOVED
- 71 P.P. NO. 1077609E, EDISON P.O.C.
- 72 1-4" Ø CONDUIT
- 73 6X8 SLAB BOX WITH EDISON COMPANY PAD MOUNT TRANS.
- 74 1-4" Ø CONDUIT TO TRANSFORMER
- 75 4-4" Ø CONDUIT TO PULL SECTION
- 76 1-4" Ø CONDUIT TO PAD BUILDING A
- 77 PULL SECTION 1600 AMP
- 78 6X8 SLAB BOX WITH EDISON COMPANY PAD MOUNT TRANS.
- 79 3-4" Ø CONDUIT TO PULL SECTION
- 80 PULL SECTION 1200 AMP

- 81 1-4" Ø CONDUIT TO PAD BUILDING C
- 82 1-4" Ø CONDUIT TO PAD BUILDING B
- 83 PULL SECTION 400 AMP
- 84 LANDSCAPE IRRIGATION CONTROLLER
- 85 1" Ø CONDUIT TO HOUSE PANEL
- 86 1" Ø CONDUIT TO HOUSE PANEL FROM MONUMENT SIGN
- 87 1" Ø CONDUIT TO HOUSE PNAEL FROM MONUMENT SIGN



Reviewed for compliance with Energy Conservation Standards.
 Approval of these plans does not authorize or constitute an endorsement or approval of any design, construction, or other work shown on these plans.
 DEC 20 1984
 State of California
 Department of Housing and Community Development
 Division of Codes and Standards
Manuel M...

LIGHTING KEY NOTES

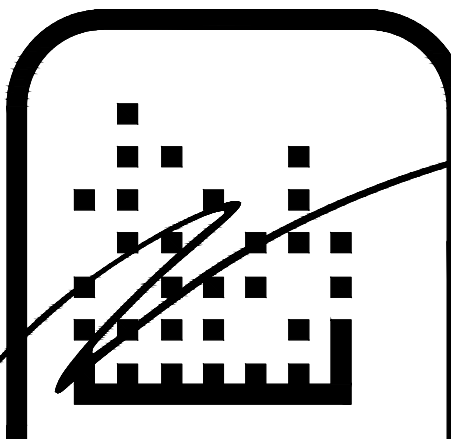
- I EXISTING WALL MOUNTED SECURITY LIGHT. THE SECURITY LIGHTS SHALL BE INSTALLED IN A MANNER THAT INCLUDES SHIELDS TO CONTAIN THE LIGHT ONSITE AND NOT OVERSPILL ONTO ADJACENT PROPERTIES.

EXISTING PARKING LOT LIGHTING PLAN

N.T.S.



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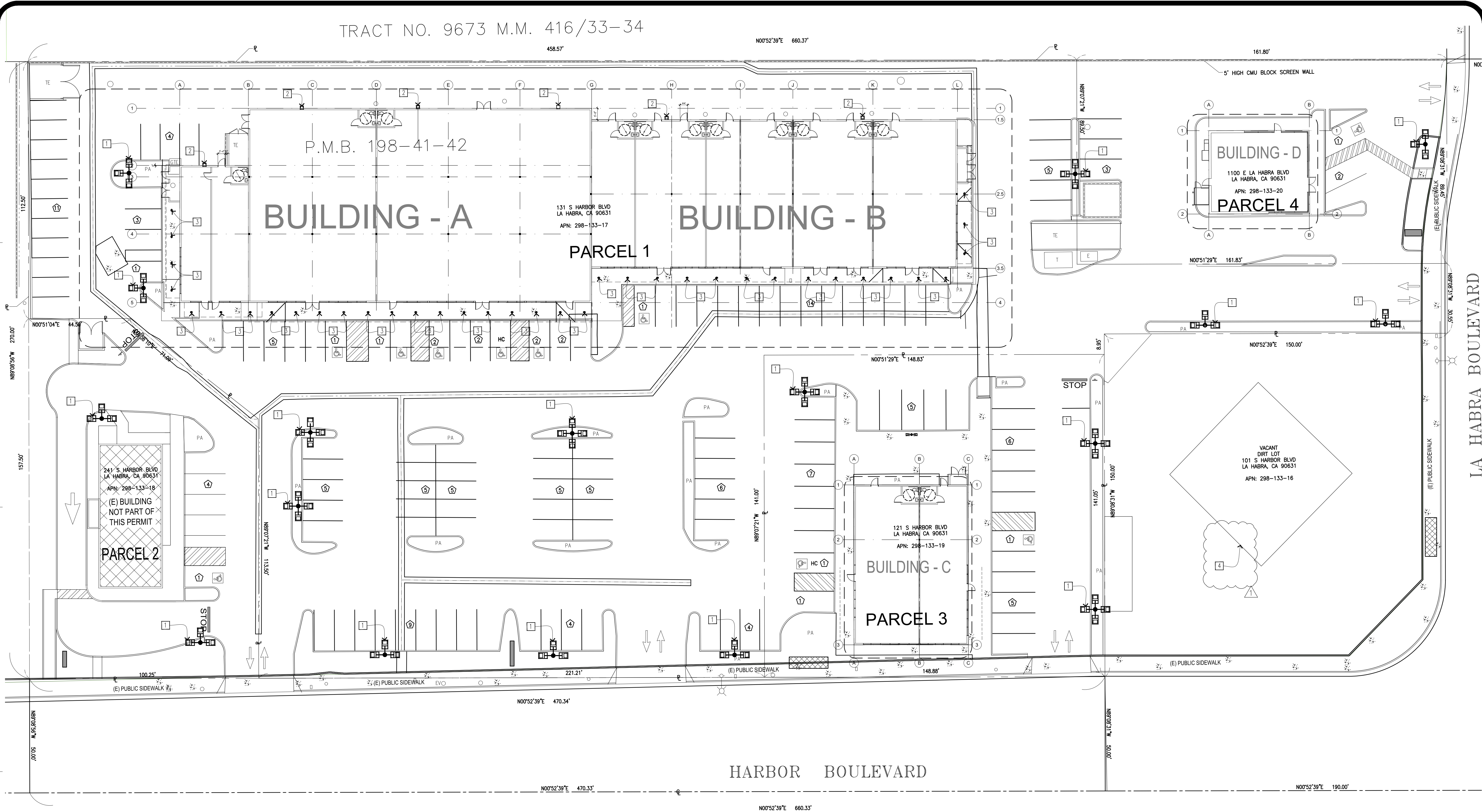
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 LAKE FOREST, CA 92630
 949-768-6546
 FAX:
 949-855-4387

[Signature]
 08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
 121, 131, AND 241 S. HARBOR BLVD.
 and 1100 E. LA HABRA BLVD.
 LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
PL.1
OF SHEETS

TRACT NO. 9673 M.M. 416/33-34



**REPLACED EXISTING PARKING LOT LIGHTING
WITH NEW LED LIGHTING PLAN**

SCALE: 1"=20'-0"

SIGNS NOTE:

THE SP-1 ZONE PERMIT WALL SIGNS WITH A MAXIMUM AREA NOT TO EXCEED 2 SQUARE FEET PER LINEAL FOOT OR STORE FRONTAGE.

LIGHTING KEY NOTES:

- 1 REPLACED EXISTING PARKING LOT POLE LIGHTING FIXTURE WITH NEW LED LIGHTING FIXTURE. (FOR MORE INFORMATION SEE 1/PL.1)
- 2 REPLACED EXISTING OUTSIDE SECURITY LED LIGHTING WALL MOUNTED FIXTURE WITH NEW SECURITY LED LIGHTING FIXTURE. (FOR MORE INFORMATION SEE 2/PL.1). THE SECURITY LIGHTS SHALL BE INSTALLED IN A MANNER THAT INCLUDES SHIELDS TO CONTAIN THE LIGHT ONSITE AND NOT OVERSPILL ONTO ADJACENT PROPERTIES.
- 3 REPLACED EXISTING OUTSIDE RECESSED LIGHTING FIXTURE WITH NEW RECESSED LED LIGHTING FIXTURE. (FOR MORE INFORMATION SEE 3/PL.1)
- 4 THIS STRUCTURE IS UNDER SEPARATE PERMIT.

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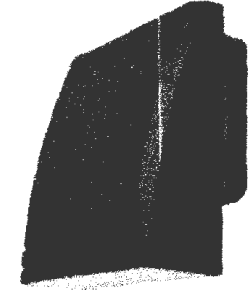
08/11/2025

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JOB NO.
SHEET
PL.1.1
OF SHEETS

led[®]
Product Engineering Spec

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Product Spec			
Category	Wall Pack	PICTURE	
Item Code	7577		
Stock Code	LED-FXSWP50/50K/DB		
Mounting	Wall Mount		
Housing Color	Dark Bronze		

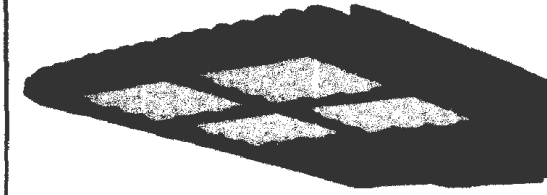
Electric Characteristics		Photometric Characteristics	
Rated Wattage (W)	50	Lumen (lm)	5856
Tested Wattage (W)	50	Efficacy (lm/w)	117
Input Voltage (V)	120-277	CRI	>70
Voltage Frequency (Hz)	50/60	CCT (K)	5000
Input Current (A)	0.53	Beam Angle (°)	B2-U3-G1
Power Factor	>0.95	General Characteristics	
Replacement Wattage (W)	175	Operating Temperature	-22°F~122°F
Surge protect level	-	Storage Temperature	-40°F~185°F
Dimmable	No	IP rating	UL Wet Location
THD	<20%	Rated Life	50000 hrs
		Warranty	5 years

Product Dimensions		Suggested Accessory	
Weight (lbs.)	4.2	Knuckle Mount	
Height (in)	4	Swivel Bracket	
Length (in)	7.87	Slip Fitter	
Width (in)	6.3	Photocell Sensor	
Mounting Height (ft)	3-12		
Cable Length (ft)			

Qualifications			
UL/ETL	✓	LM79	✓
Energy Star		LM80	✓
DLC	V4.3 Standard	IES File	✓
CEC		FDA	
JAB		NEMA	
FCC	✓	Dimmer List	
RoHS	✓		
Comments:			

led[®]
Product Engineering Spec

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Product Spec			
Category	Outdoor Pole/Arm-Mounted Area and Roadway Luminaires	PICTURE	
Order #	7633		
Item #	LED-FXSAL180/50K/DB/3S		
Mounting	SB/SF/EA6/Yoke Mount		
Housing Color	Dark Bronze		

Electric Characteristics		Photometric Characteristics	
Rated Wattage (W)	180	Lumen (lm)	22743
Tested Wattage (W)	182.5	Efficacy (lm/w)	124
Input Voltage (V)	100-277	CRI	>70
Voltage Frequency (Hz)	50/60	CCT (K)	5000
Input Current (A)	1.6	Beam Angle (°)	Type 3/Flood
Power Factor	>0.9	General Characteristics	
Replacement Wattage (W)	-	Operating Temperature	-40°F~140°F
Surge protect level	12KV	Storage Temperature	-40°F~140°F
Dimmable	1-10 V	IP rating	IP 65
THD	<20%	Rated Life	50000 hrs
		Warranty	5 years

Product Dimensions		Suggested Accessory	
Weight (lbs.)	23.6	Photocell	
Height (in)	3	Motion Sensor	
Length (in)	23.2	SB/SF/EA6/Yoke Mount	
Width (in)	15		
Mounting Height (ft)			
Cable Length (ft)	1.97		

Qualifications			
UL/ETL	ETL	LM79	✓
Energy Star		LM80	✓
DLC	V4.3 Premium	IES File	✓
CEC		FDA	
JAB		NEMA	
FCC	✓	Dimmer List	
RoHS	✓		
Comments:			

OUTSIDE LED LIGHTING WALL MOUNTED FIXTURE REPLACEMENT SPEC

SCALE

2

PARKING LOT POLE LED LIGHTING FIXTURE REPLACEMENT SPEC

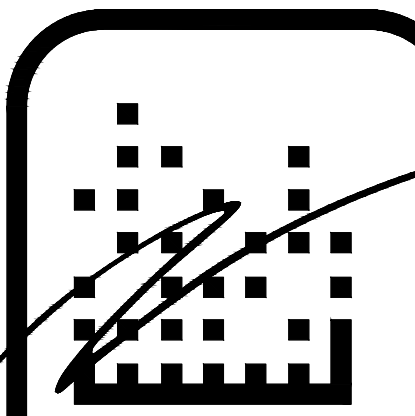
SCALE

1

PROPOSED TENANT IMPROVEMENT FOR:

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LA HABRA, CALIFORNIA 90631

REVISIONS	BY
THE CITY COMMENTS 08/11/2025	▲



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Lighting Level Study For LA Habra Shopping Center(R4)

Scope of Work:
• Replacing the regular light bulbs with LED for the existing 29 parking lot light fixtures.

Project Address:
• La Habra Center (121 S. Harbor Blvd., 1100 E. La Habra Blvd., 131 S. Harbor Blvd., 241 S. Harbor Blvd.)

Sheet index:
• Lighting study and plans P1 to P9
• Energy calculations P10 to P16

Applicable code:
• 2019 California building code
• 2019 California electrical code
• 2019 California mechanical code
• 2019 California plumbing code
• 2019 California green building standard code
• 2019 California residential code
• 2019 California energy code
• 2019 California existing building code

True North Compliance Services, Inc.
PLAN REVIEW APPROVAL
THESE PLANDOCUMENTS HAVE BEEN REVIEWED FOR CONFORMANCE WITH THE APPLICABLE CALIFORNIA STATE AND LOCAL REGULATIONS AND CODES AS ADOPTED BY THE CITY OF LA HABRA. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DOCUMENTS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE REVIEWER'S LIABILITY IS LIMITED TO THE EXTENT OF THE REVIEW AND DOES NOT EXTEND TO ANY OTHER ASPECTS OF THE PROJECT OR TO ANY OTHER REGULATIONS OR CODES THAT MAY APPLY TO THE PROJECT.

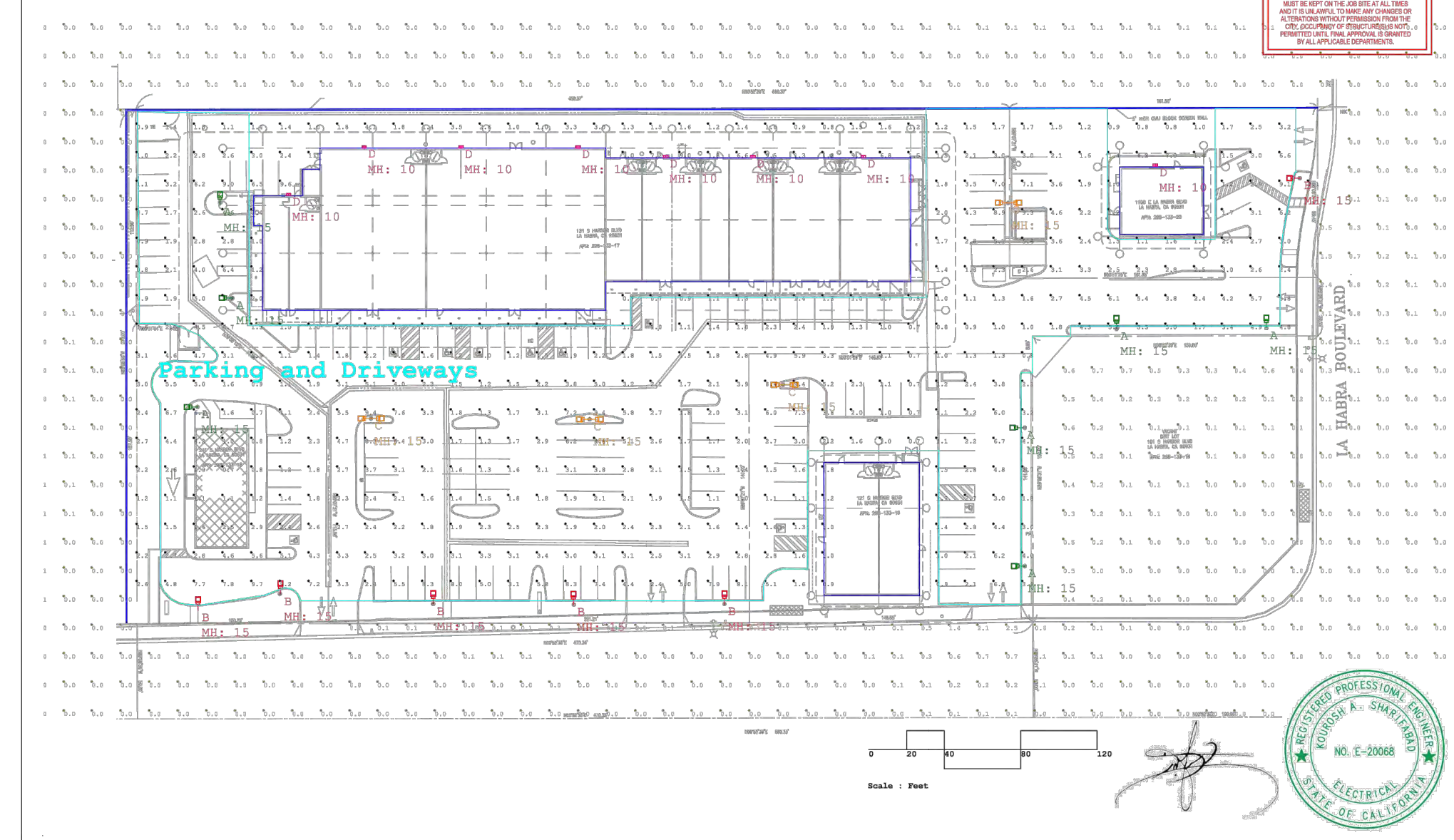


eLuminaire | eLuminaire, LLC | Headquarters : 180 E. Selandia Lane, Carson, CA 90746
T: 1-866-925-1703

Project name : 15 LA Habra Shopping Center
Prepared for: eLuminaire
Filename: 15_LA Habra Shopping Center(R4)-LLF-1.AGI
By: ADH Unit: Feet

Date: 01/05/2022
AG320B Version 20.4.4
Total Time (hrs.): 1.4
Page 1 of 9

Plan View

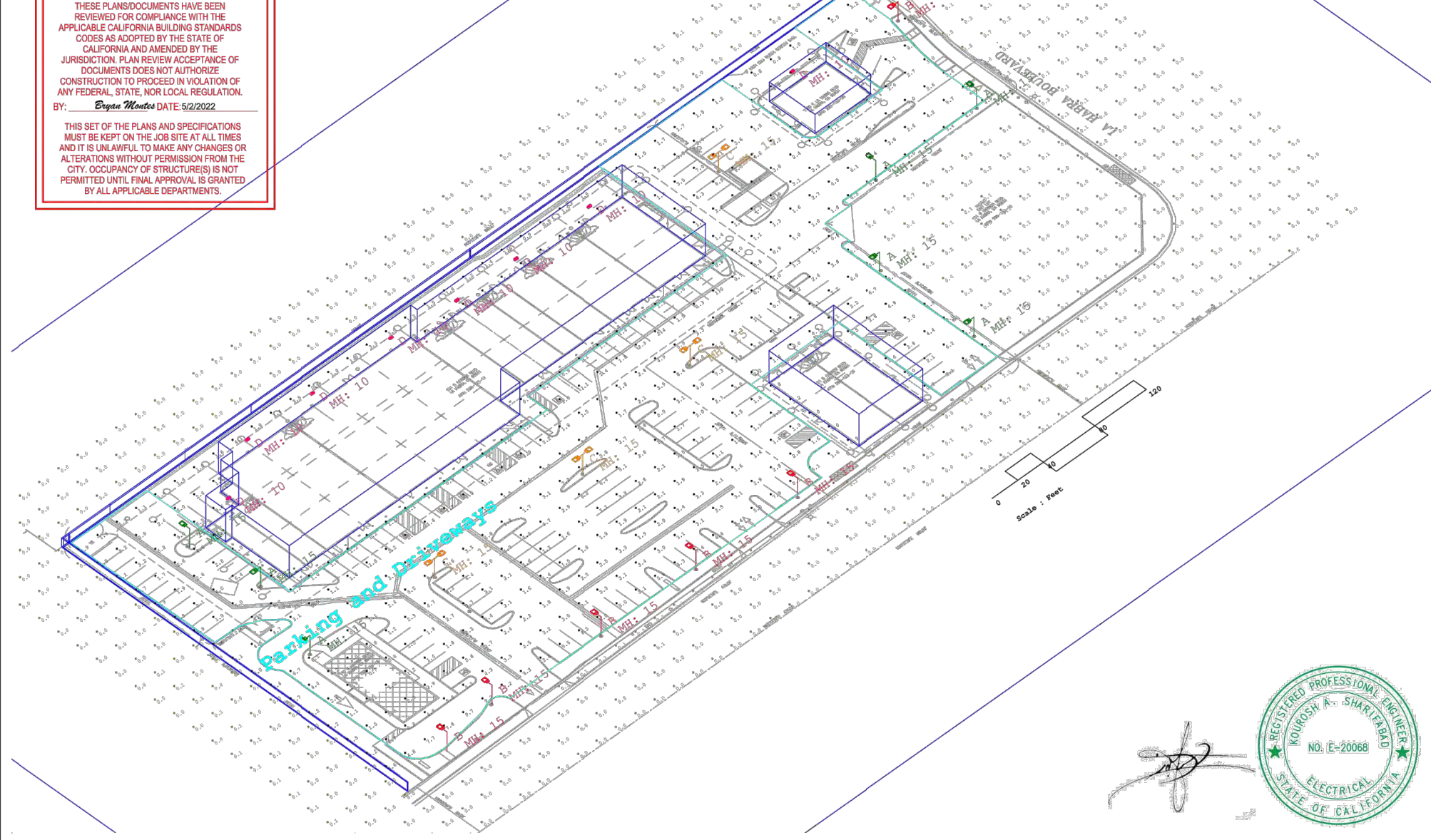


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Page 2 of 9

Isometric View



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Total Time (hrs.): 1.4
Page 3 of 9

Results summary

Tag	Symbol	Qty	Lum. Watts	Lum. Lumens	LLF	Arrangement	Total Watts	Description
A	□	7	110	15374	1.000	Single	770	ALQ-4M-16-110-5K7-MV-BZ
B	□	6	110	13391	1.000	Single	660	ALQ-4M-16-110-5K7-MV-HSS-BZ
C	□	4	110	16219	1.000	Back-Back	880	ALQ-SMQ-16-110-5K7-MV-BZ
D	□	8	40	4865	1.000	Single	320	TWP1-4040K-CT4-120V-BZ

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calculation Points	Illuminance	Fc	2.82	9.7	0.7	4.03	13.86
Outside Perimeter	Illuminance	Fc	0.07	3.1	0.0	N.A.	N.A.
Parking and Driveways	Illuminance	Fc	3.04	9.7	0.7	4.34	13.86

Note:
Calculation Grid @ Ground Level (15' x 15' Grid Spacing)
Mounting Heights:
Mentioned on each luminaire label.
Arm Length - As per the Luminaire Data Sheet.

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AG320B Version 20.4.4
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Page 4 of 9

Rendering Isometric View - 1

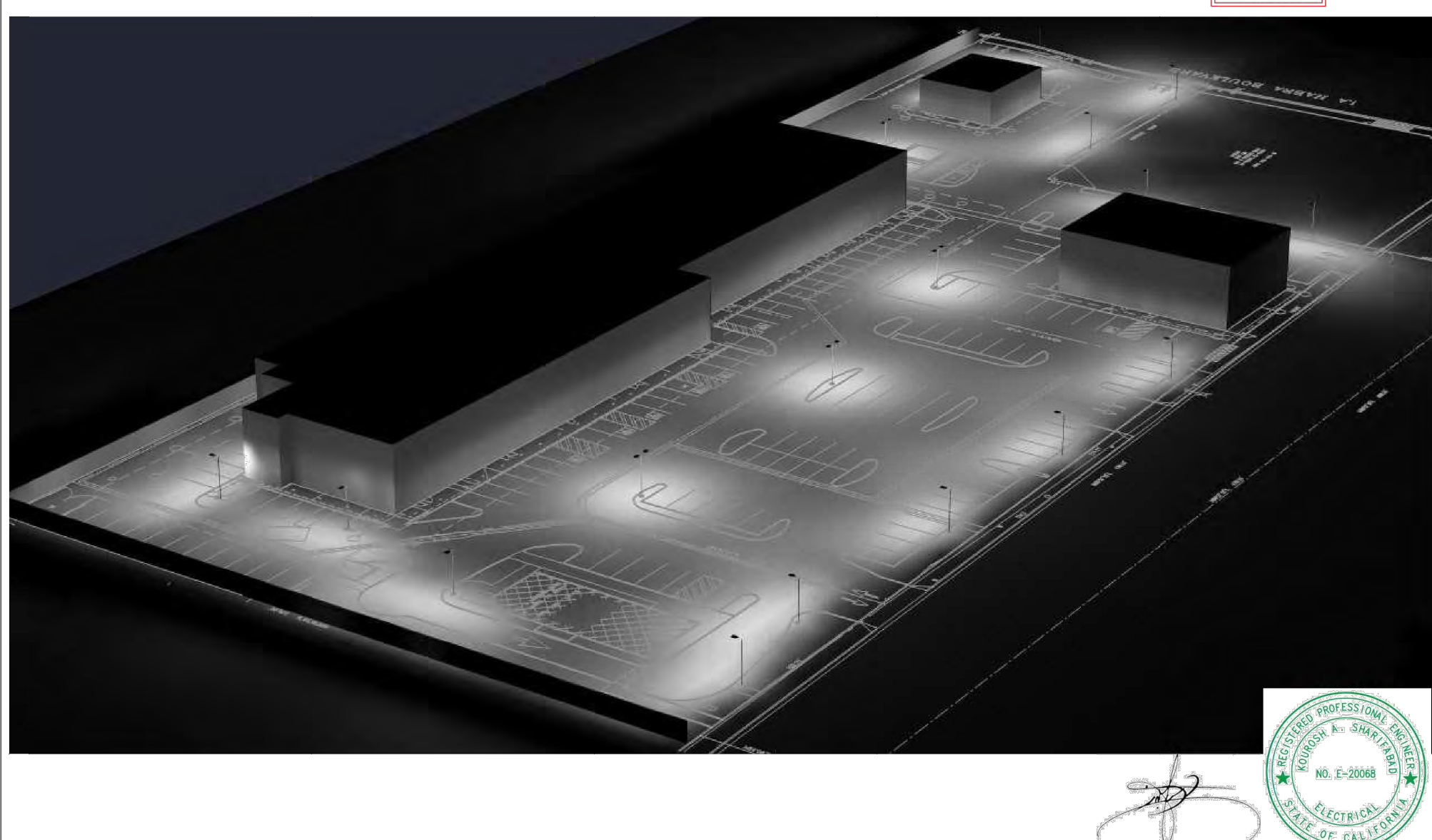


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By: ADH Unit: Feet

Date: 01/05/2022
AG320B Version 20.4.4
Total Time (hrs.): 1.4
Page 5 of 9

Rendering Isometric View - 2

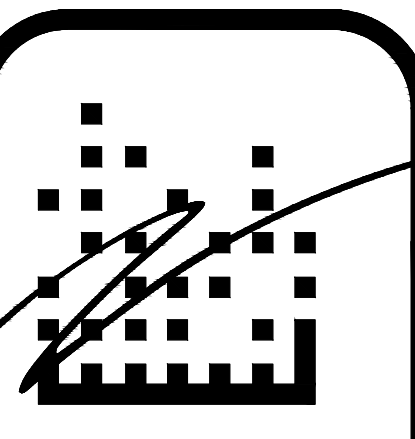


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Date: 01/05/2022
AG320B Version 20.4.4
Total Time (hrs.): 1.4
Page 6 of 9

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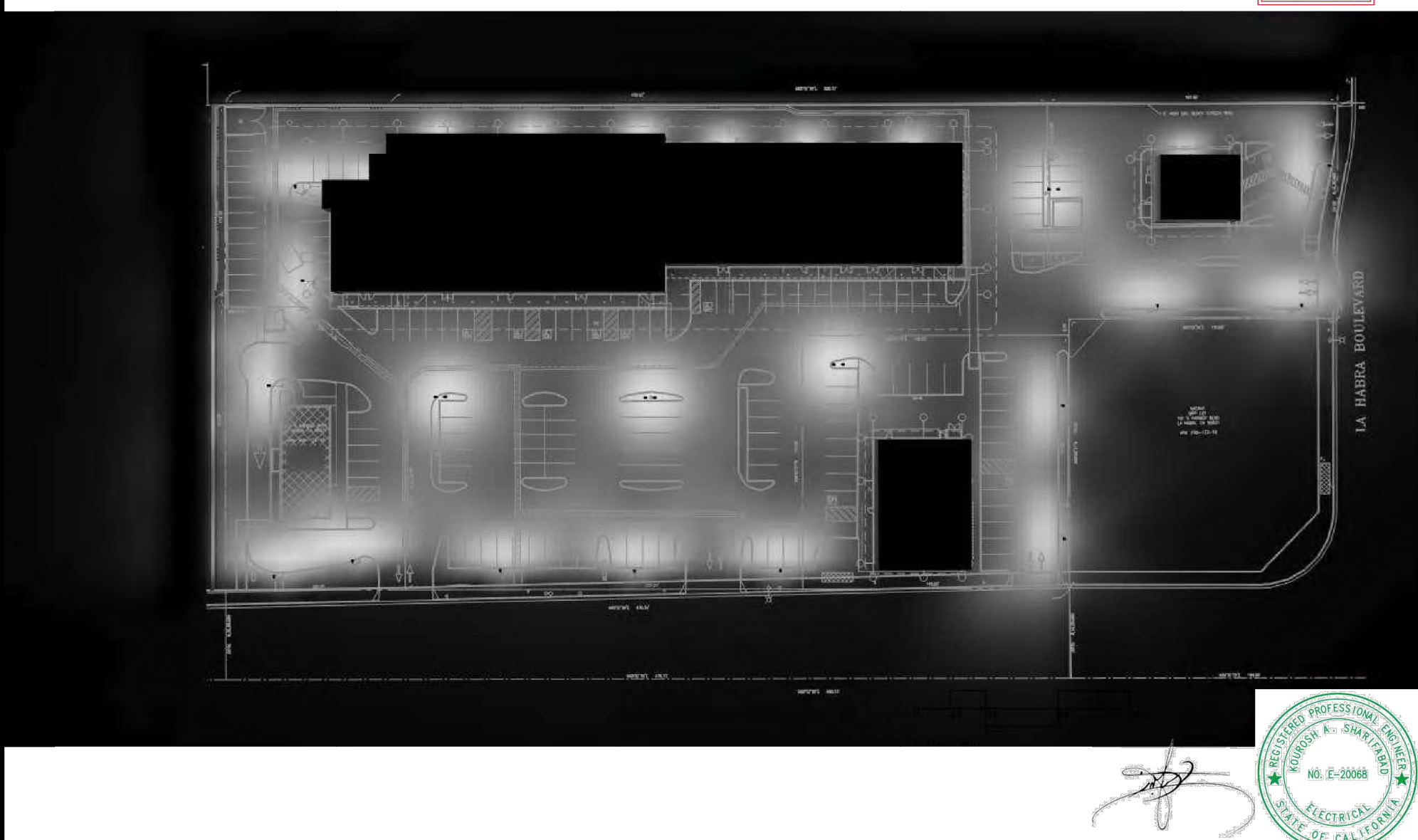
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FAX:
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LA HABRA, CALIFORNIA 90631

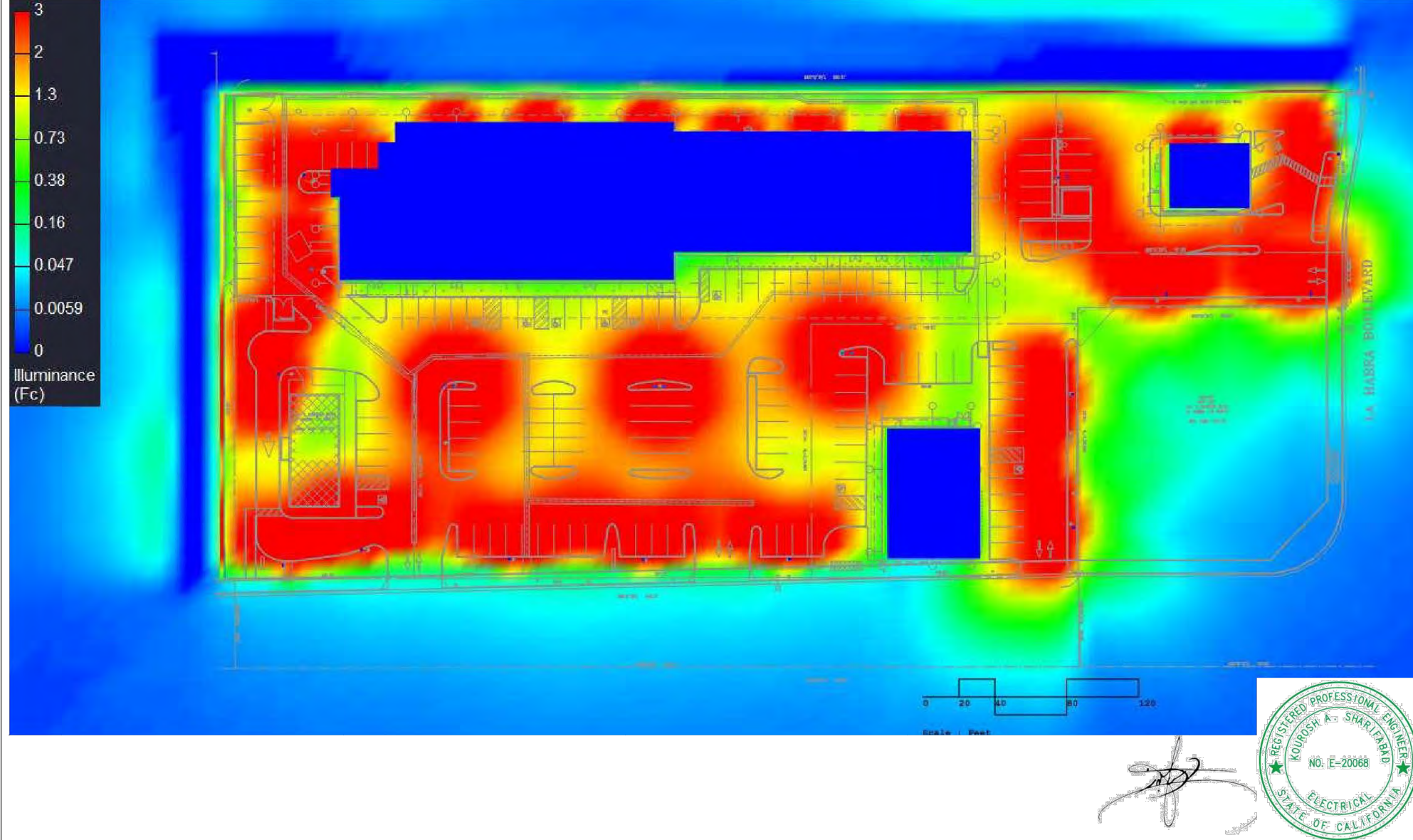
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Rendering Top View



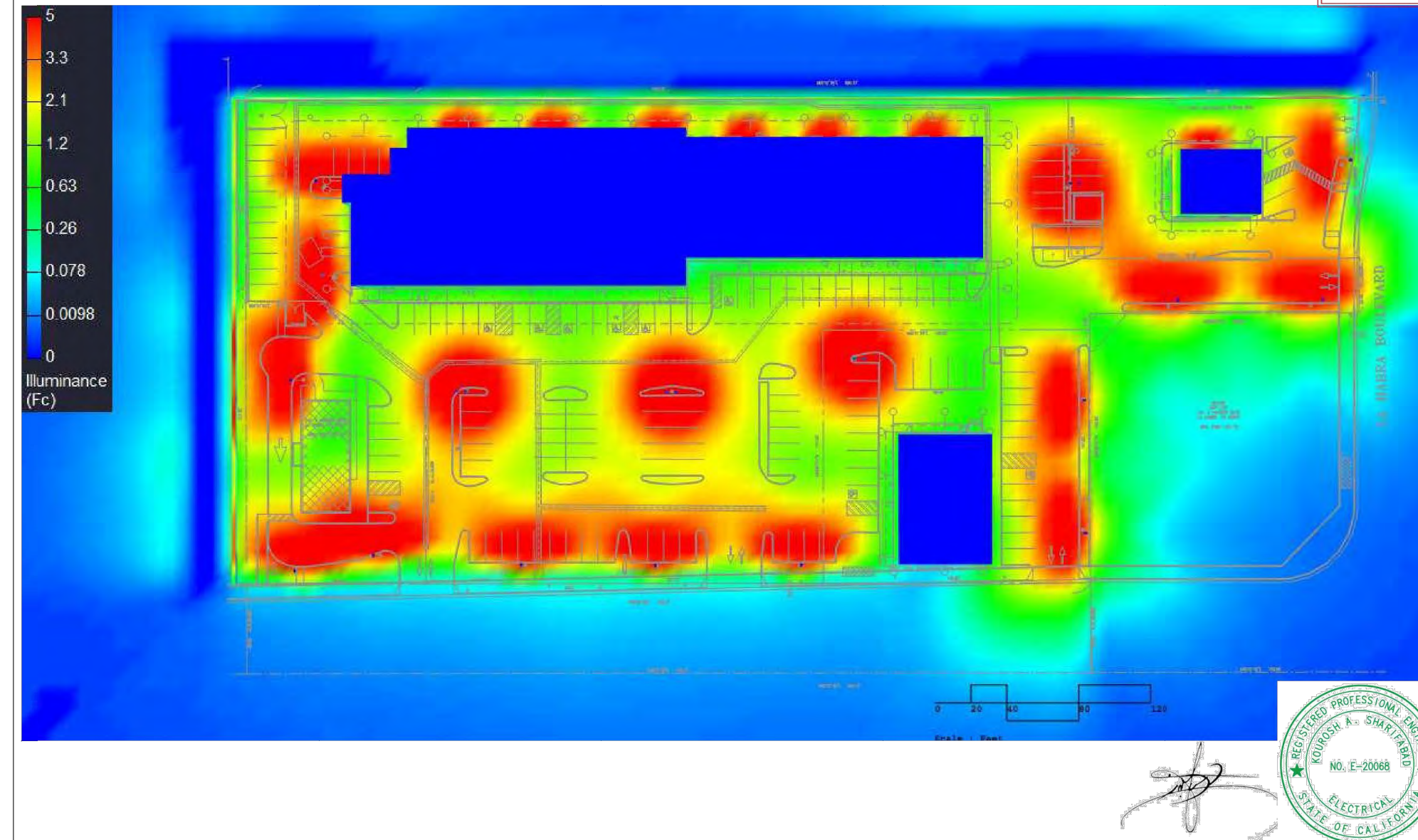
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 T: 1-866-925-1703
 Project Name : 15, LA Habra Shopping Center
 Prepared for: eLuminaire
 Filename: 15_LA Habra Shopping Center(R)-LLF-1.AGI
 By: AHH Unit: Feet
 Date: 01/05/2022
 ACC209 Version: 20.4.4
 Total Time: 09h13.14
 Page 7 of 9

Pseudo Colour - 3Fc Min.



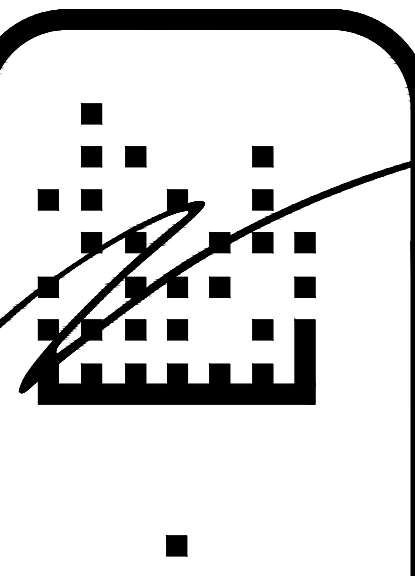
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 Date: 01/05/2022
 ACC209 Version: 20.4.4
 Total Time: 09h13.14
 Page 8 of 9

Pseudo Colour - 5Fc Min.



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 Filename: 15_LA Habra Shopping Center(R)-LLF-1.AGI
 By: AHH Unit: Feet
 Date: 01/05/2022
 ACC209 Version: 20.4.4
 Total Time: 09h13.14
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08/11/2025

STATE OF CALIFORNIA
Outdoor Lighting
 NRCC-LTO-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
 Project Name: La Habra Shopping Center Report Page: (Page 1 of 8)
 Project Address: 121 S Harbor Blvd Date Prepared: 4/5/2022

A. GENERAL INFORMATION

01 Project Location (city)	La Habra	04 Total Illuminated Hardscape Area (ft ²)	113491
02 Climate Zone	8		
03 Outdoor Lighting Zone per Title 24 Part 1 §10.114 or as designated by Authority Having Jurisdiction (AHJ):			
<input type="checkbox"/> LZ-0: Very Low - Undeveloped Parkland	<input type="checkbox"/> LZ-2: Moderate - Rural Areas	<input type="checkbox"/> LZ-4: High - Must be reviewed by CA Energy Commission for Approval	
<input type="checkbox"/> LZ-1: Low - Developed Parkland	<input checked="" type="checkbox"/> LZ-3: Moderately High - Urban Areas		

B. PROJECT SCOPE
 This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §140.7 or §141.0(b)(2), for alterations.

My Project Consists of:

01	02
<input checked="" type="checkbox"/> New Lighting System	Must Comply with Allowances from §140.7
<input type="checkbox"/> Altered Lighting System	Is your alteration increasing the connected lighting load (Watts)? <input type="radio"/> Yes <input checked="" type="radio"/> No
03	04
% of Existing Luminaires Being Altered ¹	Sum Total of Luminaires Being Added or Altered
<input type="checkbox"/> < 10% <input type="checkbox"/> >= 10% and < 50% <input type="checkbox"/> >= 50%	Calculation Method

Please proceed to Table F, Outdoor Lighting Fixture Schedule to define the project's luminaires.
¹ FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100.

True North Compliance Services, Inc.
PLAN REVIEW APPROVAL
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 THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS REQUIRED TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT PERMISSION FROM THE CITY. ANY CHANGES TO THESE PLANS MUST BE SUBMITTED TO THE CITY FOR APPROVAL AND APPROVED BY ALL APPLICABLE DEPARTMENTS.

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
 Registration Date/Time: Report Version: 2019.1.003 Schema Version: rev 20200601
 Registration Provider: Energysoft
 Report Generated: 2022-04-05 13:27:27

STATE OF CALIFORNIA
Outdoor Lighting
 NRCC-LTO-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
 Project Name: La Habra Shopping Center Report Page: (Page 2 of 8)
 Project Address: 121 S Harbor Blvd Date Prepared: 4/5/2022

C. COMPLIANCE RESULTS
 Results in this table are automatically calculated from data input and calculations in Tables F through I. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see applicable Table referenced below.

Calculations of Total Allowed Lighting Power (Watts) §140.7 or §141.0(b)(2)						Compliance Results		
01	02	03	04	05	06	07	08	09
General Hardscape Allowance §140.7(d)1 (See Table I)	Per Application §140.7(d)2 (See Table J)	Sales Frontage §140.7(d)2 (See Table K)	Ornamental §140.7(d)2 (See Table L)	Per Specific Area §140.7(d)2 (See Table M)	OR Existing Power Allowance §141.0(b)2 (See Table N)	Total Allowed (Watts)	Total Actual (Watts)	07 must be >= 08
4,465.53	---	---	---	320	OR ---	4,785.53	≥ 2,630	COMPLIES
Cutoff Compliance (See Table G for Details)						N/A		
Controls Compliance (See Table H for Details)						COMPLIES with Exceptional Conditions		

D. EXCEPTIONAL CONDITIONS
 This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS
 This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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 Registration Date/Time: Report Version: 2019.1.003 Schema Version: rev 20200601
 Registration Provider: Energysoft
 Report Generated: 2022-04-05 13:27:27

STATE OF CALIFORNIA
Outdoor Lighting
 NRCC-LTO-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRCC-LTO-E
 Project Name: La Habra Shopping Center Report Page: (Page 3 of 8)
 Project Address: 121 S Harbor Blvd Date Prepared: 4/5/2022

F. OUTDOOR LIGHTING FIXTURE SCHEDULE
 For new or altered lighting systems demonstrating compliance with §140.7 all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per §141.0(b)(2), only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (ie, existing luminaires remaining or existing luminaires being moved are not included).

Designed Wattage:

01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Watts per luminaire ^{1,2}	How is Wattage determined	Total number Luminaires ³	Luminaire Status ³	Excluded per §140.7(a)	Design Watts	Cutoff Req. > 6,200 Initial lumen output §130.2(b) ⁴	Field Inspector
E-1	110w LED <input type="checkbox"/> Linear	110	Mfr. Spec	21	New <input type="checkbox"/>		2,310	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
E-2	40w LED <input type="checkbox"/> Linear	40	Mfr. Spec	8	New <input type="checkbox"/>		320	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
Total Design Watts:							2630		

*** NOTES:** Selections with a * require a note in the space below explaining how compliance is achieved.
 EX: Luminaire is lighting a statue; EXCEPTION 2 to §130.2(b)
¹ FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per §130.0(c)
² For linear luminaires, wattage should be indicated as W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.
³ Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of the project scope.
⁴ Compliance with mandatory cutoff requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by §130.2(b)

G. CUTOFF REQUIREMENTS (BUG)
 This section does not apply to this project.

True North Compliance Services, Inc.
PLAN REVIEW APPROVAL
 THESE PLANS/DOCUMENTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE CALIFORNIA BUILDING CODES AS ADOPTED BY THE STATE OF CALIFORNIA AND THE CITY OF LA HABRA. THE CITY OF LA HABRA DOES NOT PROVIDE CONSTRUCTION PERMITS IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATION BY: _____ Sign: [Signature] DATE: 02/20/22
 THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS REQUIRED TO MAKE ANY CHANGES OR ALTERATIONS WITHOUT PERMISSION FROM THE CITY. ANY CHANGES TO THESE PLANS MUST BE SUBMITTED TO THE CITY FOR APPROVAL AND APPROVED BY ALL APPLICABLE DEPARTMENTS.

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
 Registration Date/Time: Report Version: 2019.1.003 Schema Version: rev 20200601
 Registration Provider: Energysoft
 Report Generated: 2022-04-05 13:27:27

PROPOSED TENANT IMPROVEMENT FOR:
 121, 131, AND 241 S. HARBOR BLVD.
 and 1100 E. LA HABRA BLVD.
 LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE 08-11-25
SCALE
JOB NO.
SHEET
PL.4
OF SHEETS

H. OUTDOOR LIGHTING CONTROLS
 This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application.
 When an option having a * is selected, the notes section of this table must be completed. The lighting controls section of the Compliance Summary Table on the first page will show "DOES NOT COMPLY" if the notes are left blank.

Mandatory Controls					
01	02	03	04	05	
Area Description	Shut-Off §130.2(c)1	Auto-Schedule §130.2(c)2	Motion Sensor §130.2(c)3	Field Inspector	
				Pass	Fail
Building Facade	Photocontrol	Yes	NA: Facade, etc. >=24 ft	<input type="checkbox"/>	<input type="checkbox"/>
Parking Lot	Photocontrol	Yes	Exempt*	<input type="checkbox"/>	<input type="checkbox"/>

* NOTES: Controls with a * require a note in the space below explaining how compliance is achieved.
 EX: Not permitted by health & safety to be turned off; EXCEPTION 1 to §130.2(c)



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I. LIGHTING POWER ALLOWANCE (per §140.7)
 This table includes areas using allowance calculations per §140.7, General Hardship Allowance is per Table 140.7-A while "Use it or lose it" Allowances are per Table 140.7-B. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance.

01										
Area Description	Surface Type	Area Wattage Allowance (AWA)		Area Wattage Allowance (AWA)			Perimeter Length (lf)	Allowed Density (W/lf)	Linear Allowance (Watts)	Total General AWA + LWA (Watts)
		Illuminated Area (ft²)	Allowed Density (W/ft²)	Area Allowance (Watts)	Perimeter Length (lf)	Allowed Density (W/lf)				
Parking Lot	Concrete	113491	0.03	3404.73	1777	0.4	710.8			4115.53
Initial Wattage Allowance for Entire Site (Watts):										350
Total General Hardship Allowance (Watts):										4465.53



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M. LIGHTING ALLOWANCE: PER SPECIFIC AREA
 This table includes areas using the wattage allowance per specific area from Table 140.7-B. More than one specific area allowance may be taken in a single project, if applicable. However, multiple specific area allowances may not be taken for the exact same area on the site.

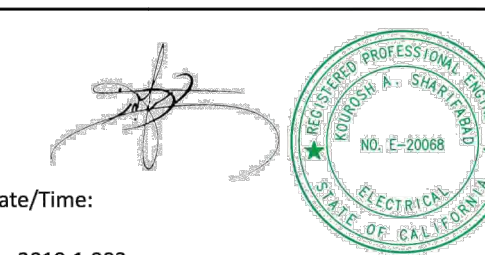
Area Description	Specific Area Type per Table 140.7-B	CALCULATED ALLOWANCE (Watts)			DESIGN WATTS			Additional Allowance (Watts)
		Specific Area (ft²)¹	Allowed Density (W/ft²)	Extra Allowance (Watts)	Luminaire Name or Item Tag	Watts per Luminaire	# of Luminaires	
Building Facade	Building Facade	25280	0.17	4297.6	E-2	40	8	320
Total Design Watts for this Area:							320	
Total Allowance (Watts) All Areas:							320	

¹ FOOTNOTES: See Table 140.7-B for rules for calculating the specific areas (ft²) for these additional lighting allowances.
 ² For luminaires indicated in Table F as linear, wattage in column 07 is W/lf instead of Watts/luminaire. Total linear feet should be indicated in column 08 instead of number of luminaires.

N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)
 This section does not apply to this project.

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
 Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRC/

Yes	No	Form/Title	Field Inspector	
			Pass	Fail
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCI-LTO-01-E - Must be submitted for all buildings	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCI-LTO-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance.	<input type="checkbox"/>	<input type="checkbox"/>

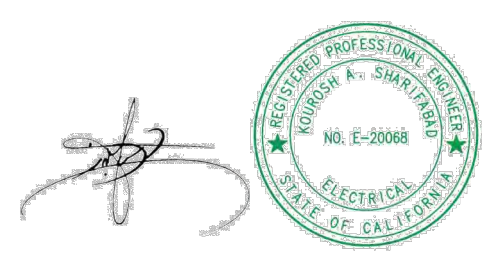


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P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
 Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/attcp/providers.html>

Yes	No	Form/Title	Field Inspector	
			Pass	Fail
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRCA-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires.	<input type="checkbox"/>	<input type="checkbox"/>



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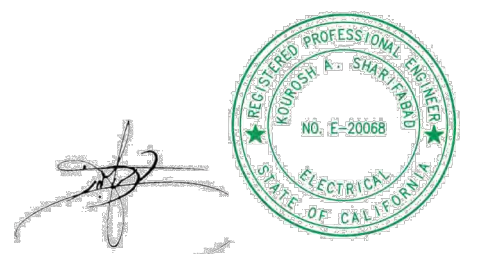
Registration Date/Time: Report Generated: 2022-04-05 13:27:27
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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
 I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Xavier Hernandez
 Signature Date: 04/05/2022
 Company: Xavier Design Group
 Address: 11595 Autumn Sage Ave
 City/State/Zip: Jurupa Valley CA 91752
 Phone: 951-830-2018

RESPONSIBLE PERSON'S DECLARATION STATEMENT
 I certify the following under penalty of perjury, under the laws of the State of California:
 1. The information provided on this Certificate of Compliance is true and correct.
 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)
 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

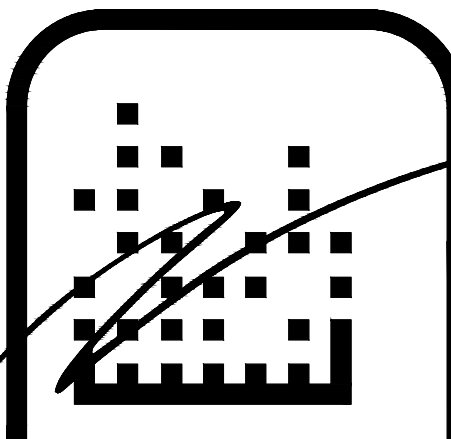
Responsible Designer Name: Kourosh A. Sharifabadi, P.E.
 Signature Date: 04/12/2022
 Company: Blueberry, Inc.
 Address: 25108 Marguerite Pkwy, Suite A123
 City/State/Zip: Mission Viejo, CA 92692
 License: E20068
 Phone: 1-949-945-5036



Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
 Report Version: 2019.1.003
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REVISIONS	BY
THE CITY COMMENTS 08/11/2025	



MANZER + ASSOCIATES
 24275 PONCHARTRAIN LANE
 LAKE FOREST, CA 92630
 949-768-6546
 FAX: 949-855-4387

08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
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 LA HABRA, CALIFORNIA 90631

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ACCESSIBILITY DETAILS FOR PARKING

WHERE ACCESSIBLE PARKING IS REQUIRED

Where parking spaces are provided, parking spaces shall be provided in accordance with Section 11B-208.

Exception: Parking spaces used exclusively for buses, trucks, other delivery vehicles, or vehicle impound shall not be required to comply with Section 11B-208 provided that lots accessed by the public are provided with a passenger loading zone complying with Section 11B-503.

Minimum number. Parking spaces complying with Section 11B-502 shall be provided in accordance with Table 11B-208.2 except as required by Sections 11B-208.2.1, 11B-208.2.2, and 11B-208.2.3. Where more than one parking facility is provided on a site, the number of accessible spaces provided on the site shall be calculated according to the number of spaces required for each parking facility.

Hospital outpatient facilities. Ten percent of patient and visitor parking spaces provided to serve hospital outpatient facilities, and free-standing buildings providing outpatient clinical services of a hospital, shall comply with Section 11B-502.

Rehabilitation facilities and outpatient physical therapy facilities. Twenty percent of patient and visitor parking spaces provided to serve rehabilitation facilities specializing in treating conditions that affect mobility and outpatient physical therapy facilities shall comply with Section 11B-502.

Residential facilities. Parking spaces provided to serve residential facilities shall comply with Section 11B-208.2.3.

Parking for guests, employees, and other non-residents. Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 11B-208.2.

Requests for accessible parking spaces. When assigned parking is provided, designated accessible parking for the adaptable residential dwelling units shall be provided on requests of residents with disabilities on the same terms and with the full range of choices (e.g., off-street parking, carport or garage) that are available to other residents.

Van parking spaces. For every six or fraction of six parking spaces that do not serve a particular building or facility, parking spaces complying with Section 11B-502 shall be provided in accordance with Section 11B-208.3.

General. Parking spaces complying with Section 11B-502 that serve a particular building or facility shall be located on the shortest accessible route from parking to an entrance complying with Section 11B-206.4. Where parking serves more than one accessible entrance, parking spaces complying with Section 11B-502 shall be dispersed and located on the shortest accessible route to the accessible entrances. In parking facilities that do not serve a particular building or facility, parking spaces complying with Section 11B-502 shall be located on the shortest accessible route to an accessible pedestrian entrance of the parking facility.

Exceptions:
1. All van parking spaces shall be permitted to be grouped on one level within a multi-story parking facility.
2. Parking spaces shall be permitted to be located in different parking facilities if substantially equivalent or greater accessibility is provided in terms of distance from an accessible entrance or entrances, parking fee, and user convenience.

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

TABLE 11B-208.2 PARKING SPACES

PASSENGER DROP-OFF AND LOADING ZONES

General. Passenger drop-off and loading zones shall comply with Section 11B-503.

Vehicle pull-up space. Passenger drop-off and loading zones shall provide a vehicular pull-up space 95 inches wide minimum and 20 feet long minimum.

Access aisle. Passenger drop-off and loading zones shall provide access aisles complying with Section 11B-503 adjacent and parallel to the vehicle pull-up space. Access aisles shall adjoin an accessible route and shall not overlap the vehicular way.

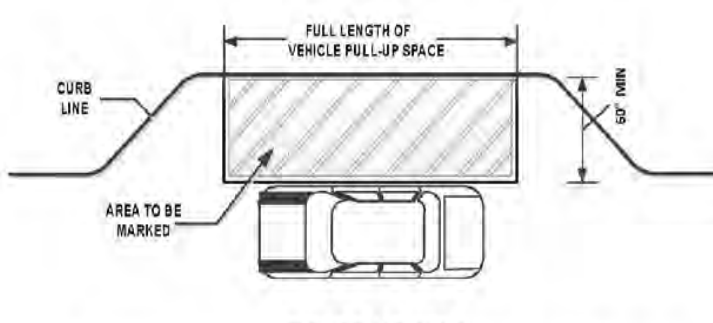


FIGURE 11B-503.3 PASSENGER DROP-OFF AND LOADING ZONE ACCESS AISLE

Width. Access aisles serving vehicle pull-up spaces shall be 60 inches wide minimum.

Length. Access aisles shall extend the full length of the vehicle pull-up space they serve.

Marking. Access aisles shall be marked with a painted borderlines around their perimeter. The area within the borderlines shall be marked with hatched lines a maximum of 36 inches on center in a color contrasting with that of the aisle surface.

Floor and ground surfaces. Vehicle pull-up spaces and access aisles serving them shall comply with Section 11B-302. Access aisles shall be at the same level as the vehicle pull-up space they serve. Changes in level are not permitted. **Exception:** Slopes not steeper than 1:48 shall be permitted.

Vertical clearance. Vehicle pull-up spaces, access aisles serving them, and a vehicular route from an entrance to the passenger loading zone and from the passenger loading zone to a vehicular exit shall provide a vertical clearance of 114 inches minimum.

Identification. Each passenger loading zone designated for persons with disabilities shall be identified with a reflectorized sign complying with Section 11B-703.5. It shall be permanently posted immediately adjacent to and visible from the passenger loading zone stating "Passenger Loading Zone Only" and including the International Symbol of Accessibility complying with Section 11B-703.7.2.1 in white on a dark blue background.

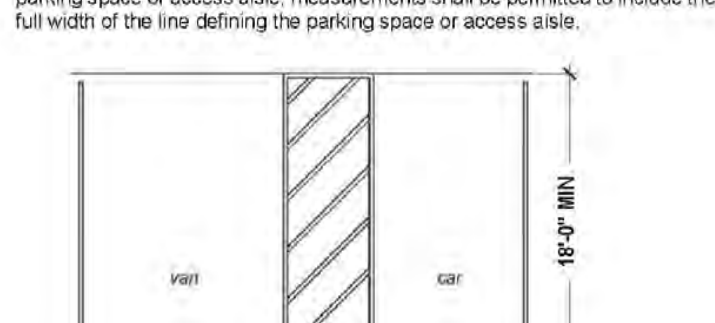
Medical care and long-term care facilities. At least one passenger loading zone shall be provided at medical care and licensed long-term care facilities where the period of stay may exceed twenty-four hours.

Valet parking. Parking facilities that provide valet parking services shall provide at least one passenger loading zone complying with Section 11B-503. The parking requirements of Section 11B-208.1 apply to facilities with valet parking.

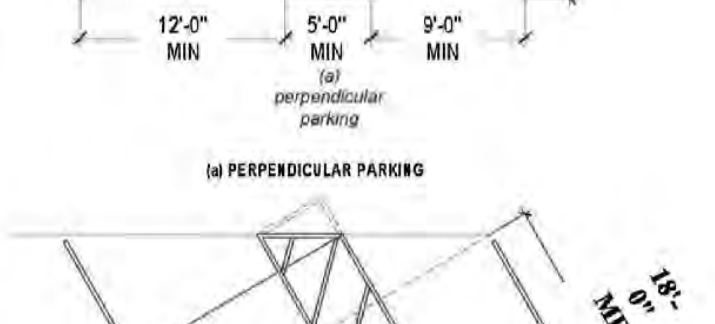
Mechanical access parking garages. Mechanical access parking garages shall provide at least one passenger loading zone complying with Section 11B-503 at vehicle drop-off and vehicle pick-up areas.

PARKING SPACES

General. Car and van parking spaces shall comply with Section 11B-502. Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be made from the centerline of the markings. **Exception:** Where parking spaces or access aisles are not adjacent to another parking space or access aisle, measurements shall be permitted to include the full width of the line defining the parking space or access aisle.



(a) PERPENDICULAR PARKING



(b) ANGLED PARKING

Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for van parking spaces which shall have access aisles located on the passenger side of the parking spaces.

Floor or ground surfaces. Parking spaces and access aisles serving them shall comply with Section 11B-302. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted. **Exception:** Slopes not steeper than 1:48 shall be permitted.

Vertical clearance. Parking spaces, access aisles and vehicular routes serving them shall provide a vertical clearance of 98 inches (2489 mm) minimum.

Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with Section 11B-703.7.2.1. Signs identifying van parking spaces shall contain additional language or an additional sign with the designation "van accessible." Signs shall be 60 inches (1524 mm) minimum above the finish floor or ground surface measured to the bottom of the sign. **Exception:** Signs located within an accessible route shall be a minimum of 80 inches (2032 mm) above the finish floor or ground surface measured to the bottom of the sign.

Finish and size. Parking identification signs shall be reflectorized with a minimum area of 70 square inches.

Minimum line. Additional language or an additional sign below the International Symbol of Accessibility shall state "Minimum Fine \$250."

Vehicle spaces. Car and van parking spaces shall be 216 inches (5491 mm) long minimum. Car parking spaces shall be 108 inches (2743 mm) wide minimum and van parking spaces shall be 144 inches (3658 mm) wide minimum, shall be marked to define the width, and shall have an adjacent access aisle complying with Section 11B-502.3. **Exception:** Van parking spaces shall be permitted to be 108 inches (2743 mm) wide minimum where the access aisle is 96 inches (2438 mm) wide minimum.

Access aisle. Access aisles serving parking spaces shall comply with Section 11B-502.3. Access aisles shall adjoin an accessible route. Two parking spaces shall be permitted to share a common access aisle.

Width. Access aisles serving car and van parking spaces shall be 60 inches (1524 mm) minimum.

Length. Access aisles shall extend the full required length of the parking spaces they serve.

Marking. Access aisles shall be marked with a blue painted borderlines around their perimeter. The area within the blue borderlines shall be marked with hatched lines a maximum of 36 inches (914 mm) on center in a color contrasting with that of the aisle surface, preferably blue or white. The words "NO PARKING" shall be painted on the surface within each access aisle in white letters a minimum of 12 inches (305 mm) in height and located to be visible from the adjacent vehicular way. Access aisle markings may extend beyond the minimum required length.

Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for van parking spaces which shall have access aisles located on the passenger side of the parking spaces.

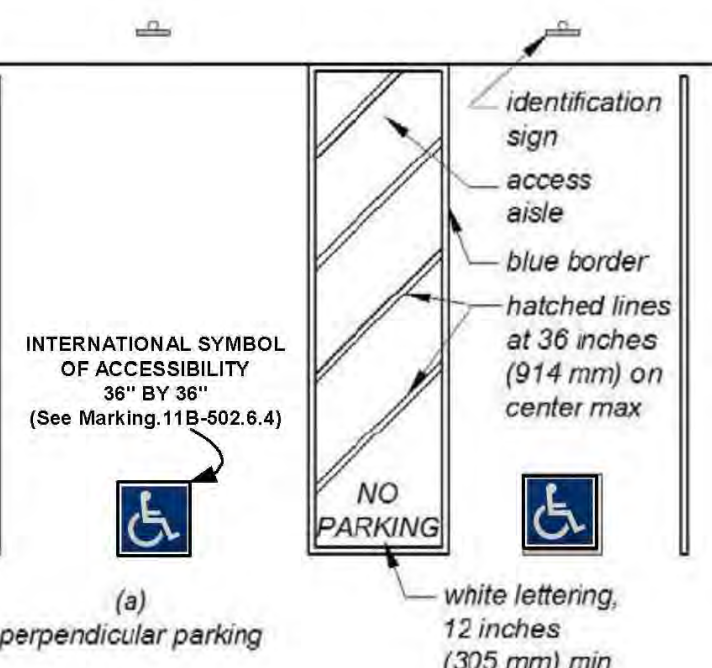
Floor or ground surfaces. Parking spaces and access aisles serving them shall comply with Section 11B-302. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted. **Exception:** Slopes not steeper than 1:48 shall be permitted.

Vertical clearance. Parking spaces, access aisles and vehicular routes serving them shall provide a vertical clearance of 98 inches (2489 mm) minimum.

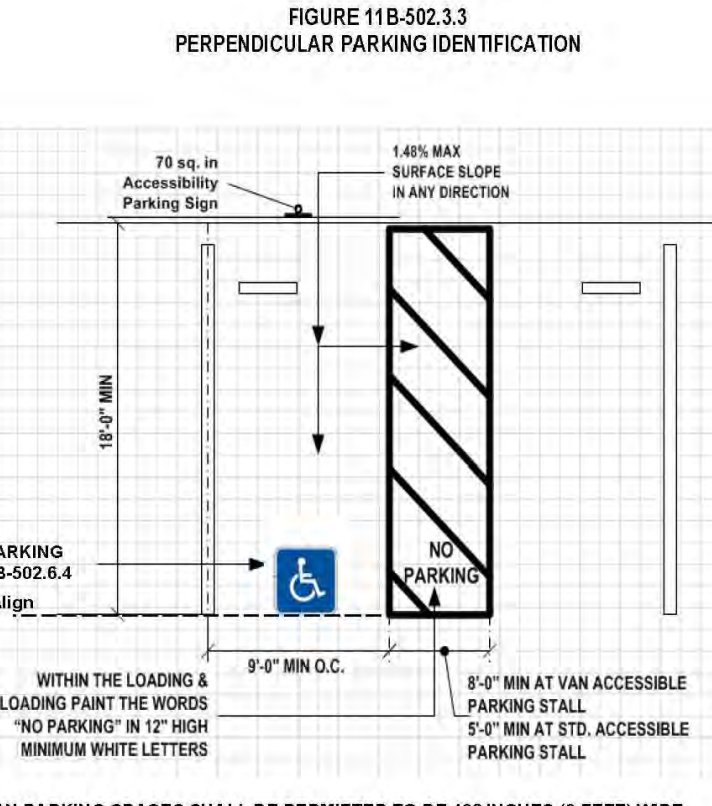
Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with Section 11B-703.7.2.1. Signs identifying van parking spaces shall contain additional language or an additional sign with the designation "van accessible." Signs shall be 60 inches (1524 mm) minimum above the finish floor or ground surface measured to the bottom of the sign. **Exception:** Signs located within an accessible route shall be a minimum of 80 inches (2032 mm) above the finish floor or ground surface measured to the bottom of the sign.

Finish and size. Parking identification signs shall be reflectorized with a minimum area of 70 square inches.

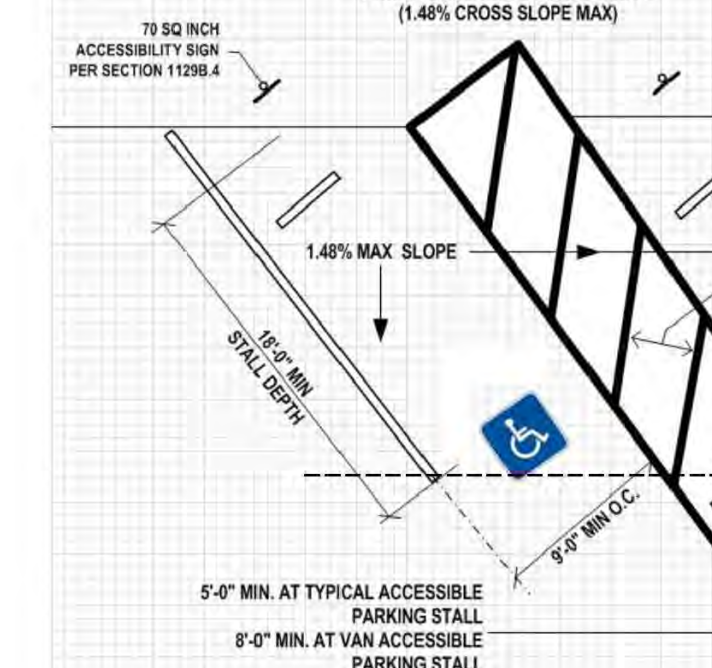
Minimum line. Additional language or an additional sign below the International Symbol of Accessibility shall state "Minimum Fine \$250."



(a) PERPENDICULAR PARKING



(b) ANGLED PARKING



(c) ANGLED PARKING IDENTIFICATION

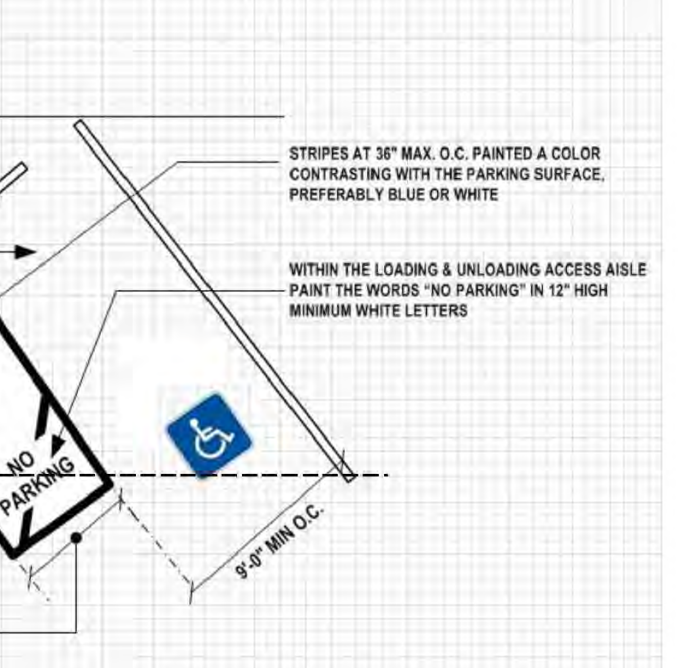
Location. A parking space identification sign shall be visible from each parking space. Signs shall be permanently posted either immediately adjacent to the parking space or within the projected parking space width at the head end of the parking space. Signs may also be permanently posted on a wall at the interior end of the parking space.

Marking. Each accessible car and van space shall have surface identification complying with either Sections 11B-502.6.4.1 or 11B-502.6.4.2.

The parking space shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 in white on a blue background a minimum 36 inches wide by 36 inches high. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at or lower side aligned with, the end of the parking space length.

The parking space shall be outlined or painted blue and shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 a minimum 36 inches wide by 36 inches high in white or a suitable contrasting color. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at or lower side aligned with, the end of the parking space.

Relationship to accessible routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes.



(d) PASSENGER DROP-OFF AND LOADING ZONE ACCESS AISLE

Location. A parking space identification sign shall be visible from each parking space. Signs shall be permanently posted either immediately adjacent to the parking space or within the projected parking space width at the head end of the parking space. Signs may also be permanently posted on a wall at the interior end of the parking space.

Marking. Each accessible car and van space shall have surface identification complying with either Sections 11B-502.6.4.1 or 11B-502.6.4.2.

The parking space shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 in white on a blue background a minimum 36 inches wide by 36 inches high. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at or lower side aligned with, the end of the parking space length.

The parking space shall be outlined or painted blue and shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 a minimum 36 inches wide by 36 inches high in white or a suitable contrasting color. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at or lower side aligned with, the end of the parking space.

Relationship to accessible routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes.

ACCESSIBLE PARKING SIGN INSTALLED AT EACH SPACE



WHERE APPLIES

NOTE: SIGNS LOCATED WITHIN ACCESSIBLE ROUTE SHALL BE 60" MIN. A.F.F. OR ABOVE GROUND SURFACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.

GROUND SURFACE FINISH LINE

36" MIN

18" MIN

18" MIN

36" MIN

18" MIN

18" MIN

36" MIN

18" MIN

18" MIN

36" MIN

18" MIN

18" MIN

ACCESSIBILITY DETAILS FOR CURBS, BLENDED TRANSITIONS, ISLANDS AND DETECTABLE WARNINGS

GENERAL. Curb ramps, blended transitions and islands on accessible routes shall comply with Section 11B-406. Curb ramps may be perpendicular, parallel, or a combination of perpendicular and parallel.

LANDINGS. Landings shall be provided at the tops of curb ramps and blended transitions. The landing clear length shall be 48 inches (1219 mm) minimum. The landing clear width shall be at least as wide as the curb ramp, excluding any flared sides, or the blended transition leading to the landing. The slope of the landing in all directions shall be 1:48 maximum.

Counter slope of adjoining gutters and road surfaces immediately adjacent to and within 24 inches (610 mm) of the curb ramp shall be steeper than 1:20. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level. 11B-406.5.8

Clear space at diagonal curb ramps. The bottom of diagonal curb ramps shall have a clear space 48 inches (1219 mm) minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches (1219 mm) minimum clear space within the markings. 11B-406.5.9

Diagonal curb ramps. Diagonal or corner type curb ramps with returned curbs or other well-defined edges shall have the edges parallel to the direction of pedestrian flow. Diagonal curb ramps with flared sides shall have a segment of curb 24 inches (610 mm) long minimum located on each side of the curb ramp and within the marked crossing. 11B-406.5.10

11B-406.6 Islands. Raised islands in crossings shall be cut through level with the street or have curb ramps at both sides. The clear width of the accessible route at islands shall be 60 inches (1524 mm) wide minimum. Where curb ramps are provided, they shall comply with Section 11B-406. Landings complying with Section 11B-406.5.3 and the accessible route shall be permitted to overlap. Islands shall have detectable warnings complying with Section 11B-705.

TURNING SPACE. A turning space 48 inches (1219 mm) minimum by 48 inches (1219 mm) minimum shall be provided at the bottom of the curb ramp. The slope of the turning space in all directions shall be 1:48 maximum.

LOCATION. Curb ramps and the flared sides of curb ramps shall be located so that they do not project into vehicular traffic lanes, parking spaces, or parking access aisles. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides.

FIGURE 11B-406.2.2 SIDES OF CURB RAMPS

FIGURE 11B-406.5.3 LANDINGS AT THE TOP OF CURB RAMPS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

ADJOINING SURFACE MAXIMUM SLOPE

FIGURE 11B-406.5.8 COUNTER SLOPE OF SURFACES ADJACENT TO CURB RAMPS

FIGURE 11B-406.5.9 CLEAR SPACE AT DIAGONAL CURB RAMPS

FIGURE 11B-406.5.10 DIAGONAL CURB RAMPS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

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FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.5.8 COUNTER SLOPE OF SURFACES ADJACENT TO CURB RAMPS

FIGURE 11B-406.5.9 CLEAR SPACE AT DIAGONAL CURB RAMPS

FIGURE 11B-406.5.10 DIAGONAL CURB RAMPS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

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FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-406.5.8 COUNTER SLOPE OF SURFACES ADJACENT TO CURB RAMPS

FIGURE 11B-406.5.9 CLEAR SPACE AT DIAGONAL CURB RAMPS

FIGURE 11B-406.5.10 DIAGONAL CURB RAMPS

FIGURE 11B-406.6 ISLANDS IN CROSSINGS

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FIGURE 11B-406.6 ISLANDS IN CROSSINGS

FIGURE 11B-705.1 SIZE AND SPACING OF TRUNCATED DOMES

FIGURE 11B-705.2 DETECTABLE DIRECTIONAL TEXTURE

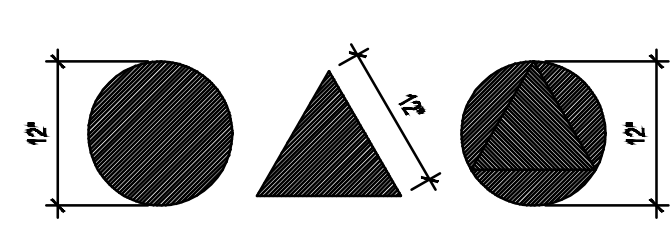
FIGURE 11B-705.2 DETECTABLE DIRECTIONAL TEXTURE

FIGURE 11

Signage Notes

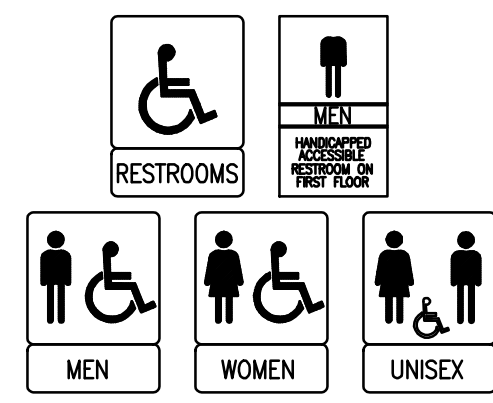
DOOR MOUNTED SIGNAGE

- (MENS) - EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD.
- (WOMENS) - 12" DIAMETER CIRCLE 1/4" THICK.
- (UNISEX) - 12" DIAMETER CIRCLE 1/4" THICK W/ 1/4" THICK TRIANGLE SUPERIMPOSED W/ CIRCLE.
- THE COLOR AND CONTRAST OF THE SIGN DISTINCTLY CONTRASTS W/ THE COLOR AND CONTRAST OF THE DOOR.
- SIGNS ARE CENTERED ON THE DOOR 60" FROM THE DOOR.



NOTE: PICTOGRAMS AND/OR LETTERING ARE NOT REQUIRED ON DOOR-MOUNTED SIGNAGE.

Door Mounted Signage (Typ.)



Wall Signage (Typ.)

WALL MOUNTED SIGNAGE

- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IS INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. THE BORDER DIMENSION OF THIS PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT.
- VERBAL DESCRIPTION AS TO RESTROOM USAGE (i.e. MEN'S RESTROOM, etc.) IS PLACED DIRECTLY BELOW THE SYMBOL OF ACCESSIBILITY.
- THE CHARACTERS AND BACKGROUND OF THE SIGN IS EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH AND THE COLOR AND CONTRAST OF THE SIGN DISTINCTLY CONTRASTS W/ THE COLOR AND CONTRAST OF THE WALL.
- SIGNS ARE CENTERED ON THE WALL 60" FROM THE FLOOR.
- LETTERS AND NUMERALS ARE RAISED 1/32", ARE SANS-SERIF UPPERCASE CHARACTERS AND ARE ACCOMPANIED BY GRADE 2 BRAILLE. CHARACTERS ARE MINIMUM 5/8" HIGH AND A MAXIMUM OF 2" HIGH.
- MOUNTING LOCATION ALLOWS A PERSON TO APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.

NOTE: COORDINATE GRAPHICS DESIGN WITH OWNER GRAPHICS DESIGN

ALL IDENTIFICATION SYMBOLS TO COMPLY WITH CBC 2010 AND EMERGENCY SUPPLIMENT 8/11/12, SECTION 1115B.6

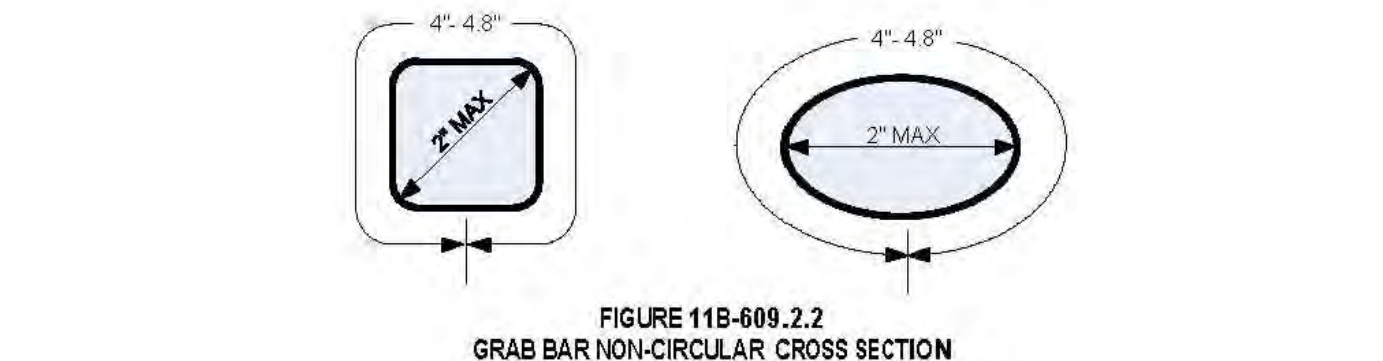
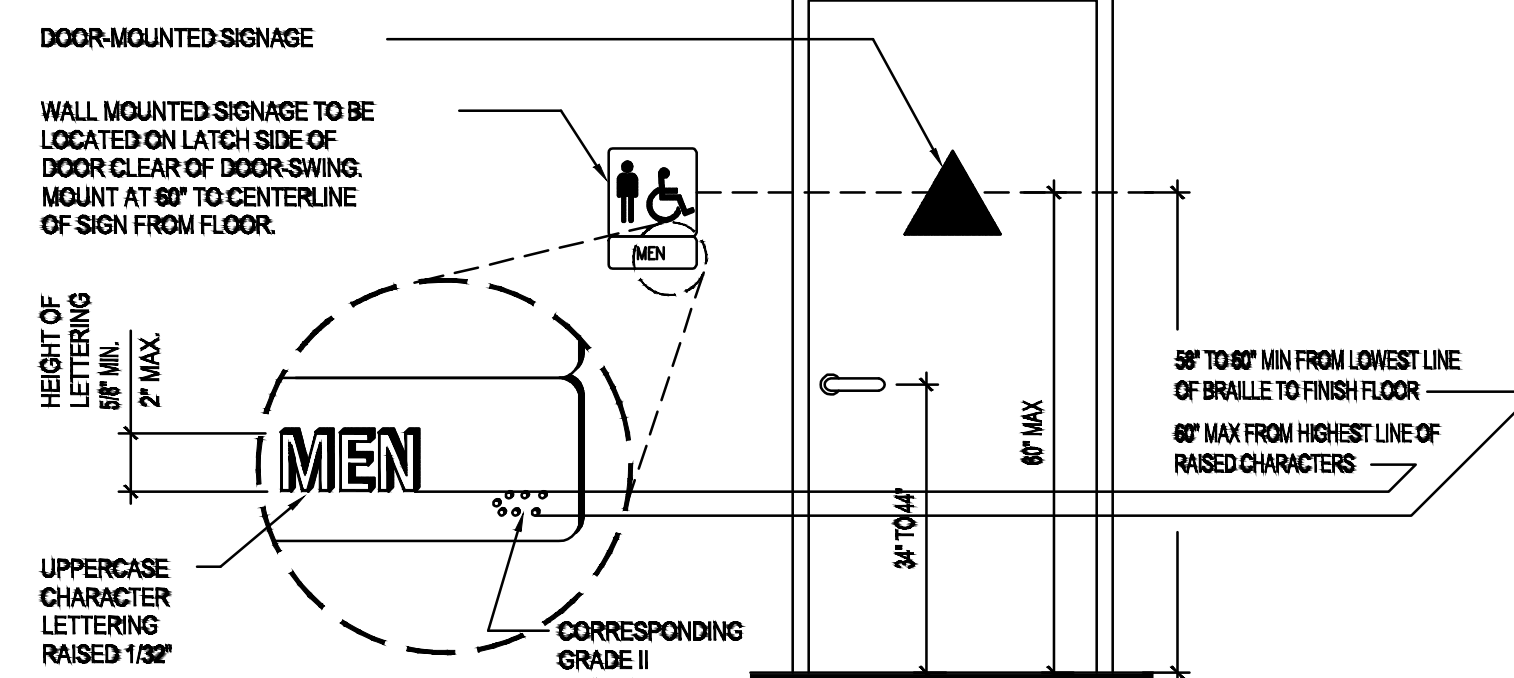


FIGURE 11B-609.2.2 GRAB BAR NON-CIRCULAR CROSS SECTION

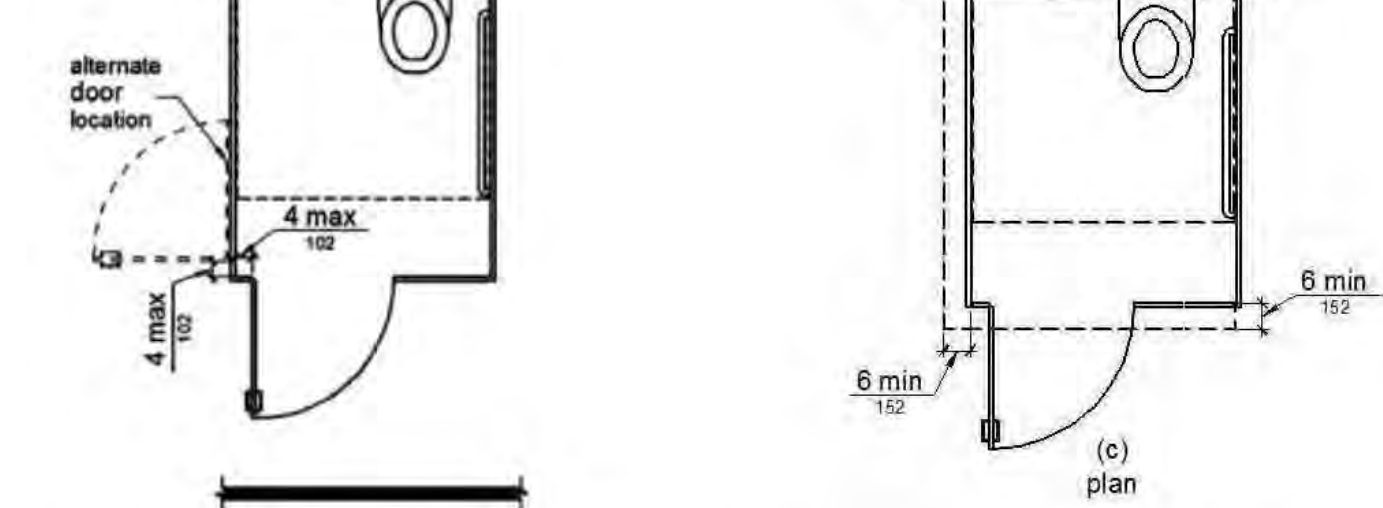


FIGURE 11B-604.8.1.2 ELCHAIR ACCESSIBLE TOILET COMPARTMENT DOORS

FIGURE 11B-604.8.1.4 WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE

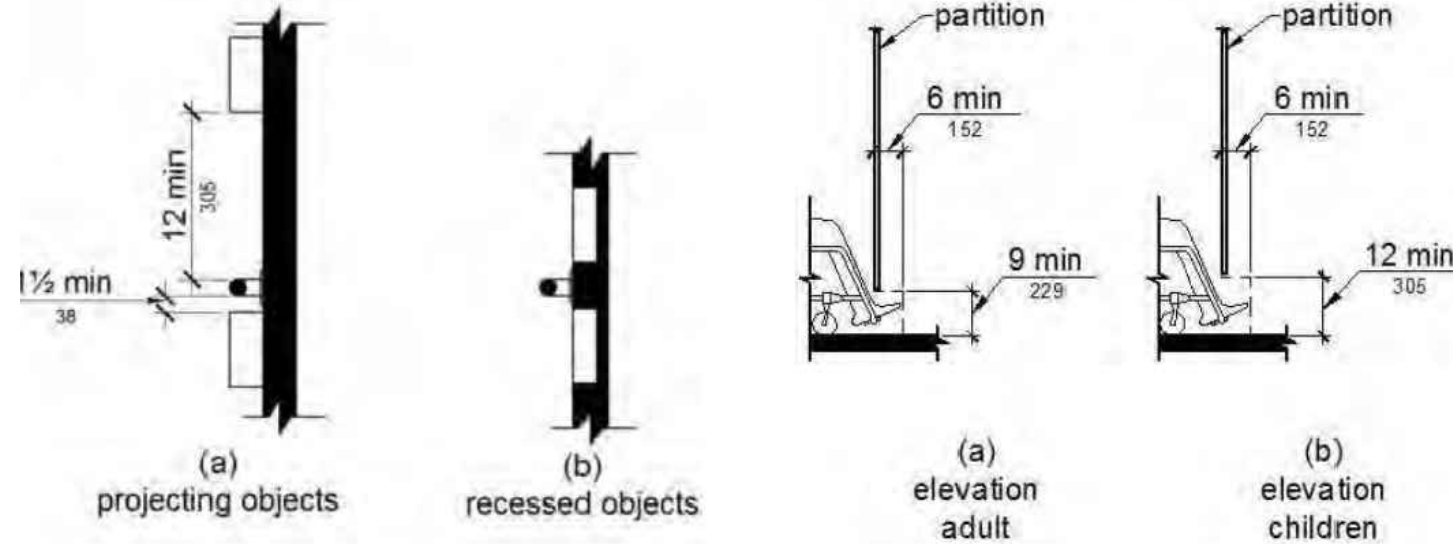


FIGURE 11B-609.3 SPACING OF GRAB BARS

FIGURE 11B-604.8.1.4 WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE

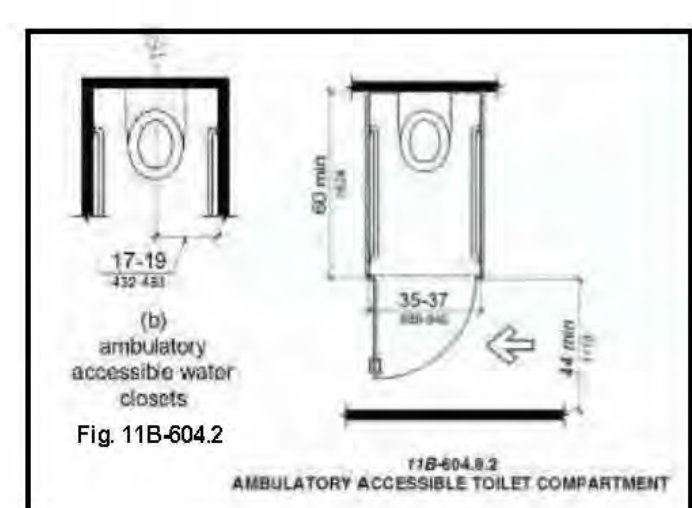


FIGURE 11B-604.8.3 AMBULATORY ACCESSIBLE TOILET COMPARTMENT

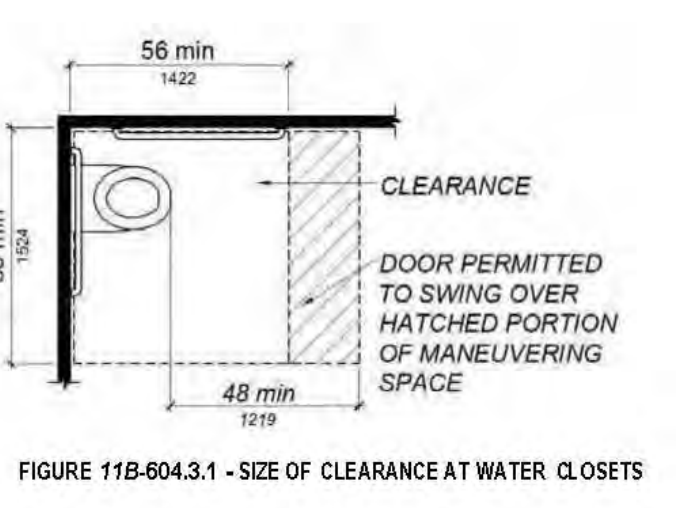
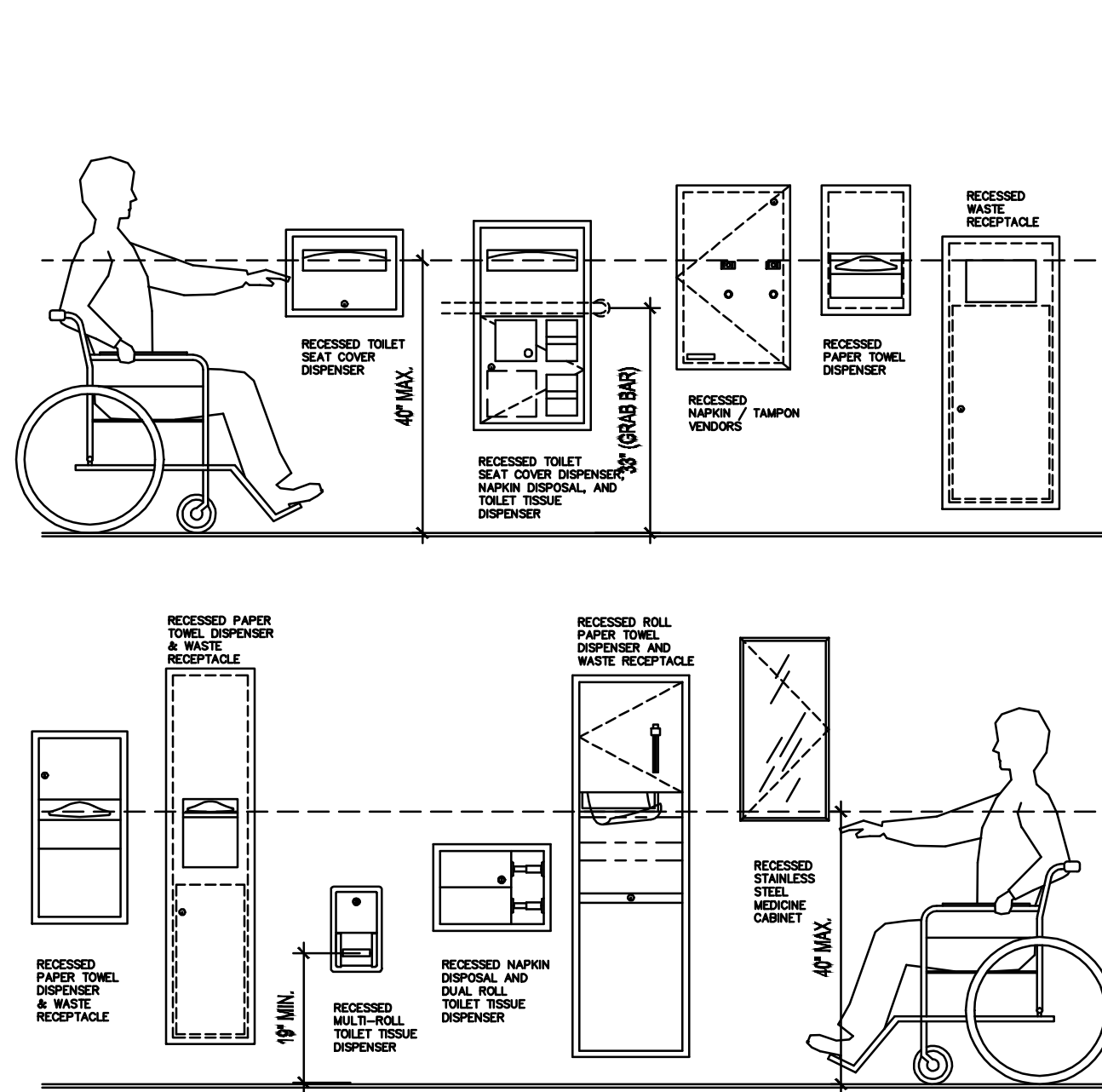


FIGURE 11B-604.3.1 SIZE OF CLEARANCE AT WATER CLOSETS

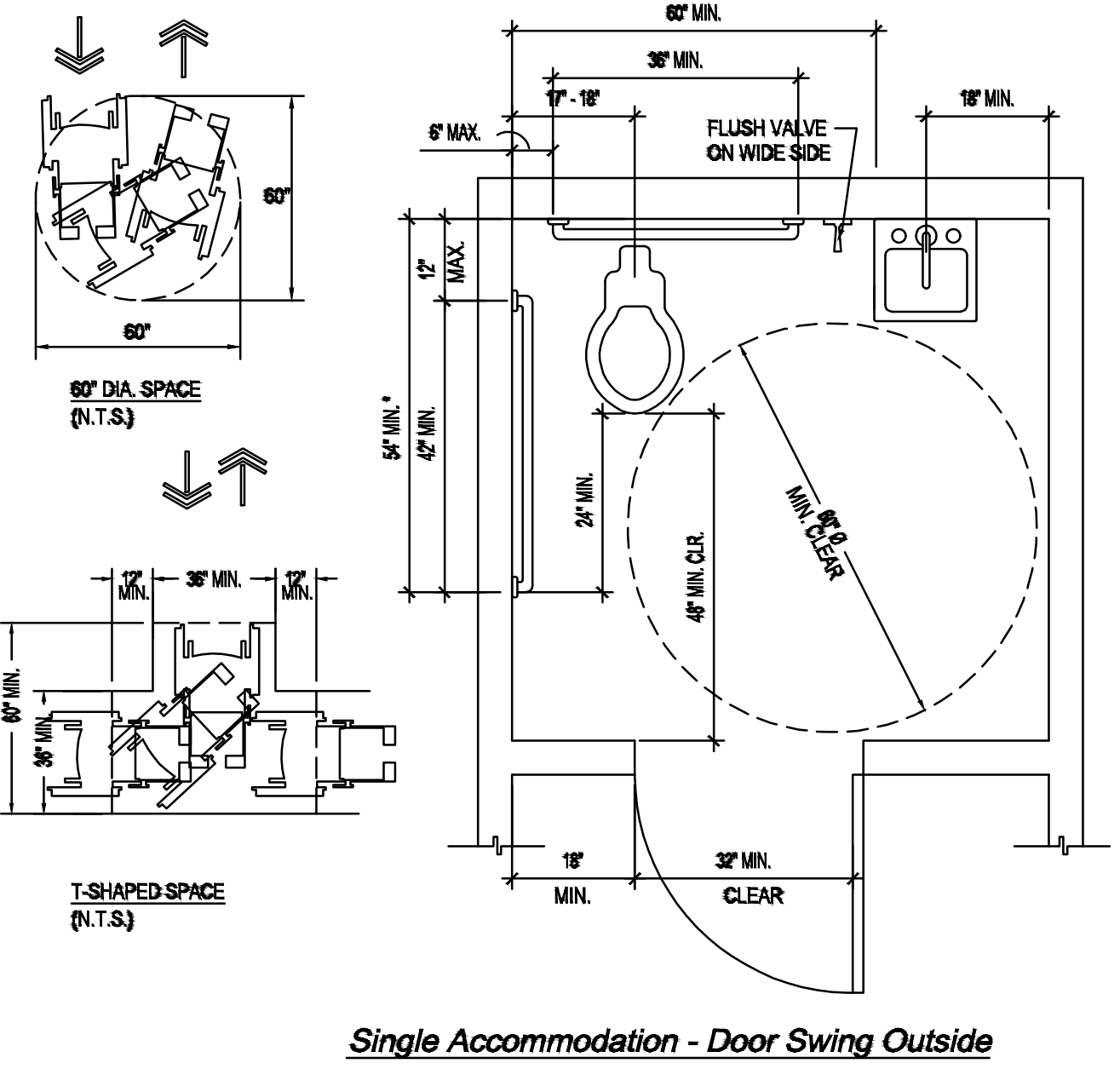
IDENTIFICATION SYMBOLS FOR RESTROOMS

10



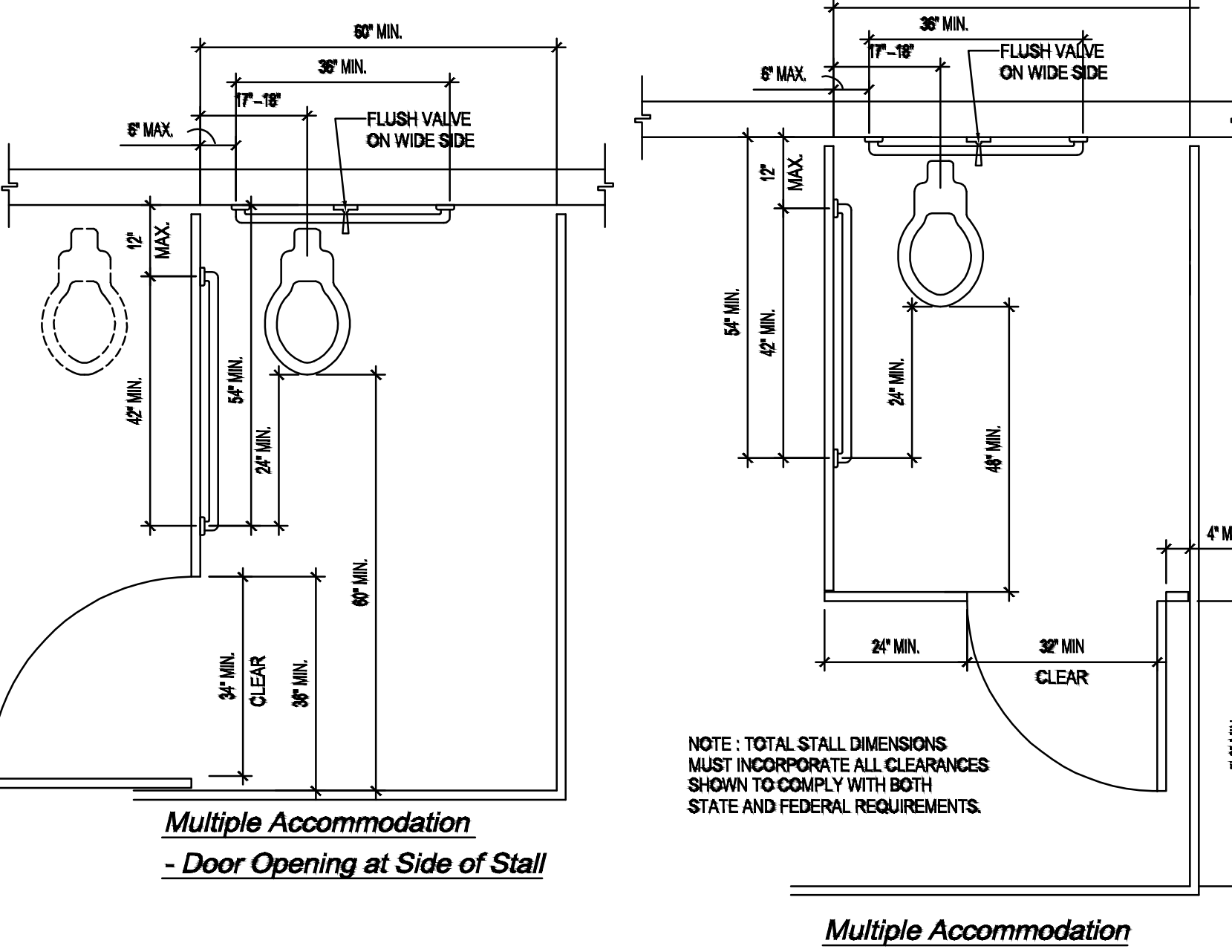
TOILET ACCESSORY ELEVATIONS SCALE: 1/2"=1'-0"

9



STD. ACCESSIBLE TOILET STALL SCALE: 1/2"=1'-0"

10



Multiple Accommodation - Door Opening at Front of Stall

11

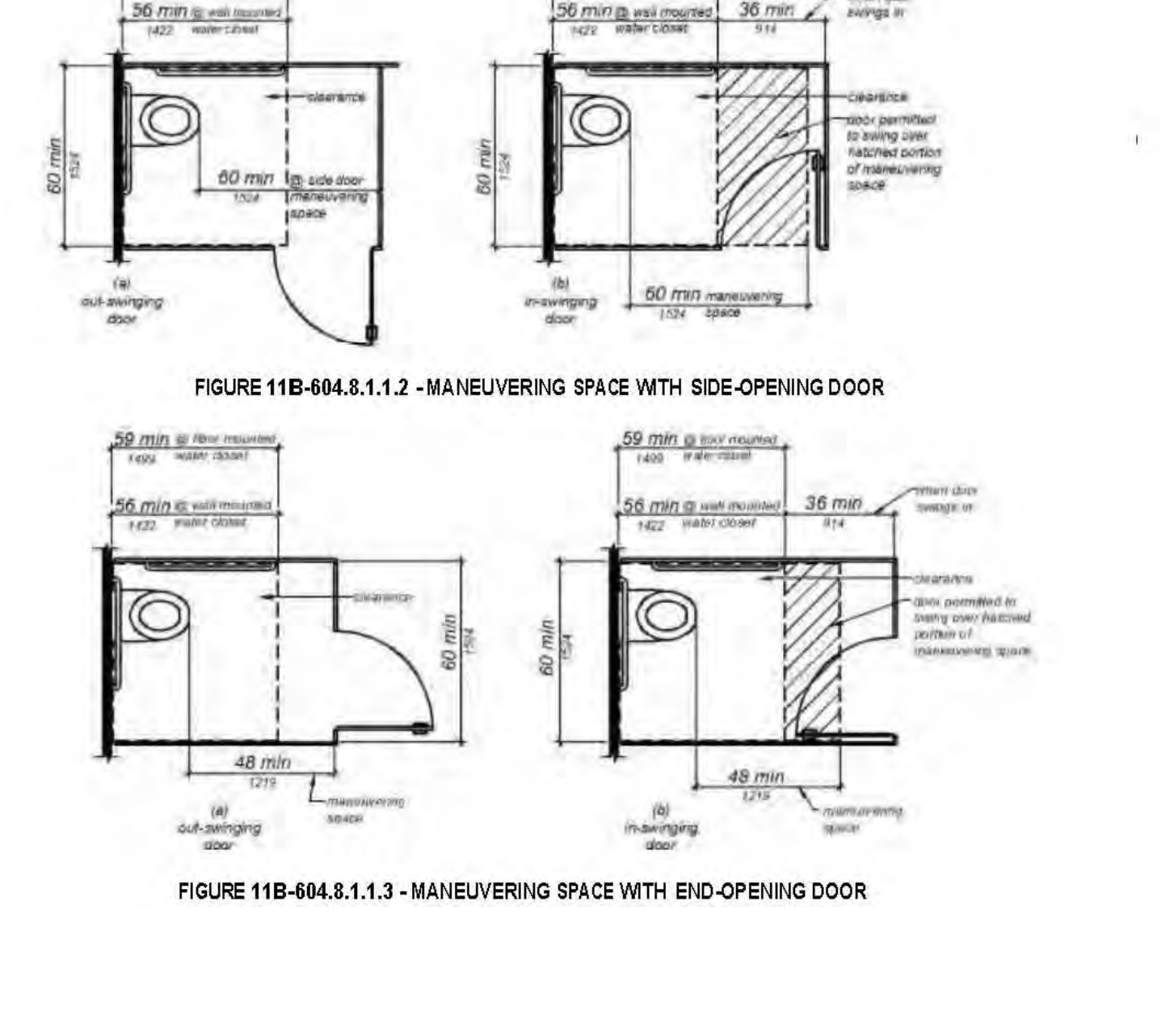
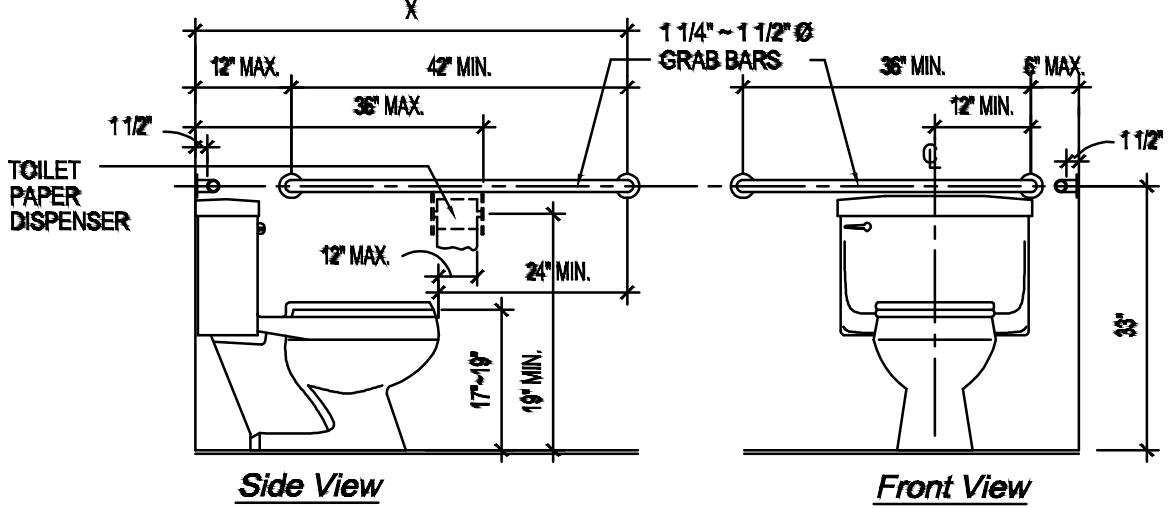


FIGURE 11B-604.8.1.1.2 MANEUVERING SPACE WITH SIDE-OPENING DOOR

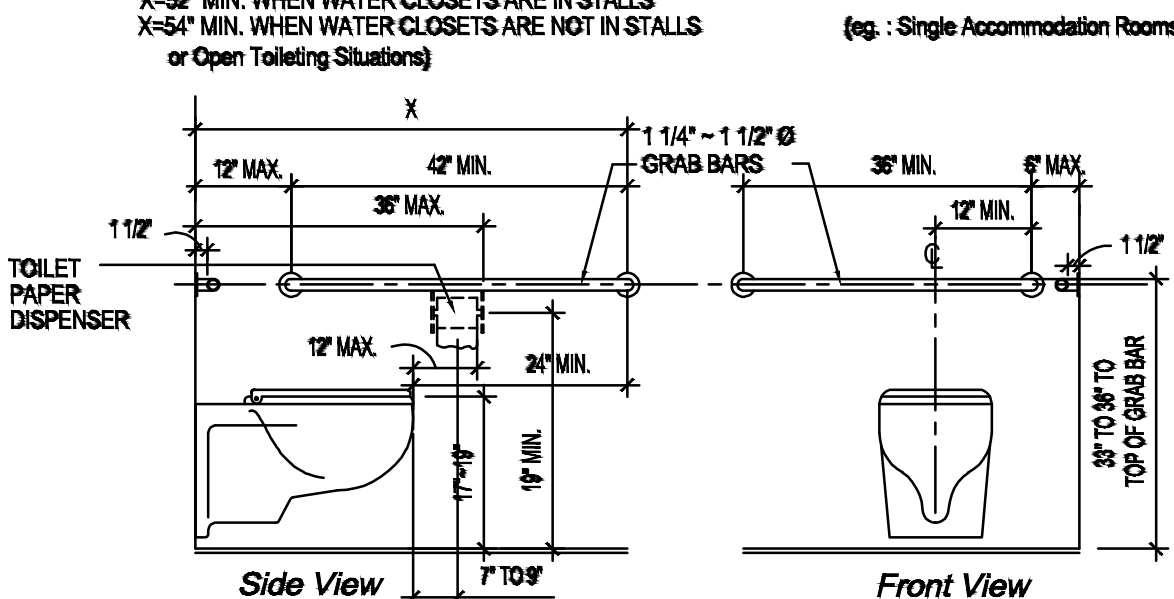
FIGURE 11B-604.8.1.1.3 MANEUVERING SPACE WITH END-OPENING DOOR

SCALE: 1/2"=1'-0"

3



Floor Mounted Toilets

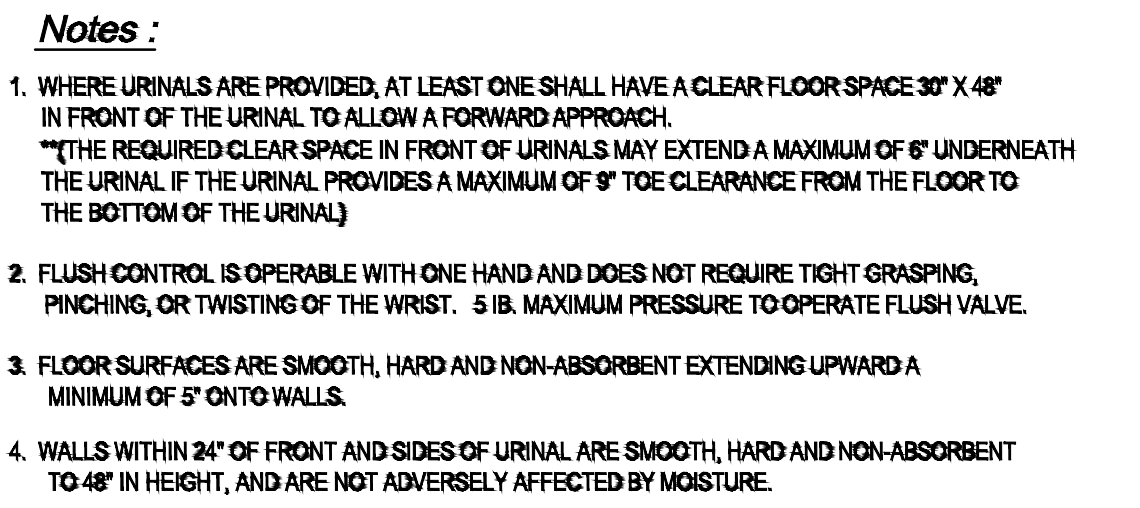


Wall-Mounted Toilets

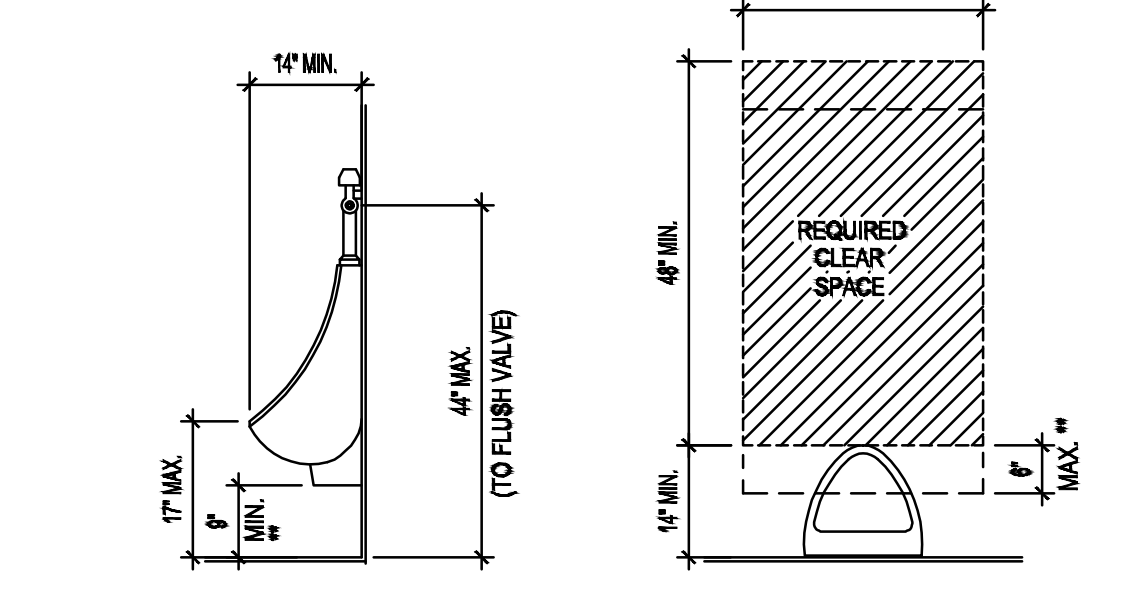
TOILETS

SCALE: 1/2"=1'-0"

8

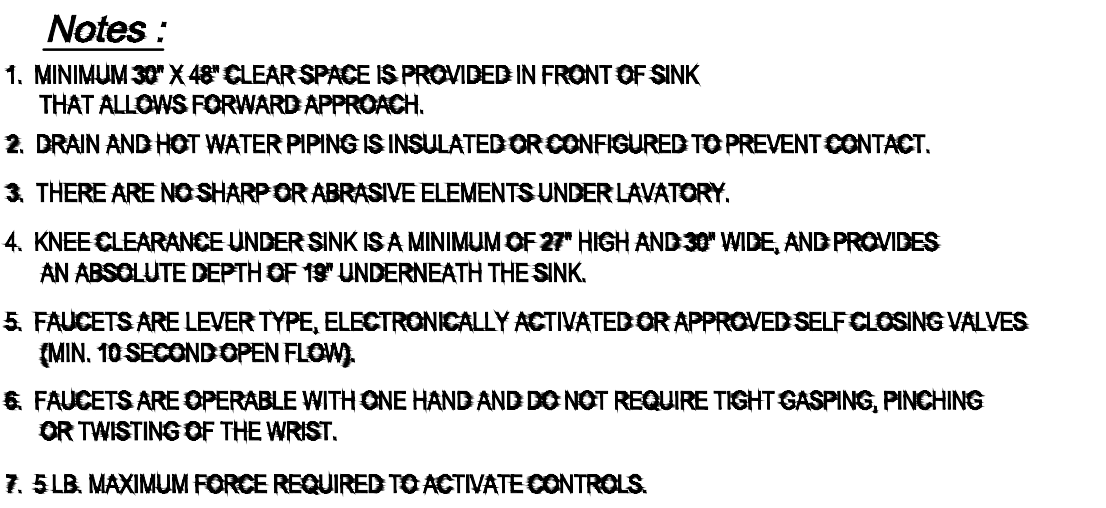


URINAL

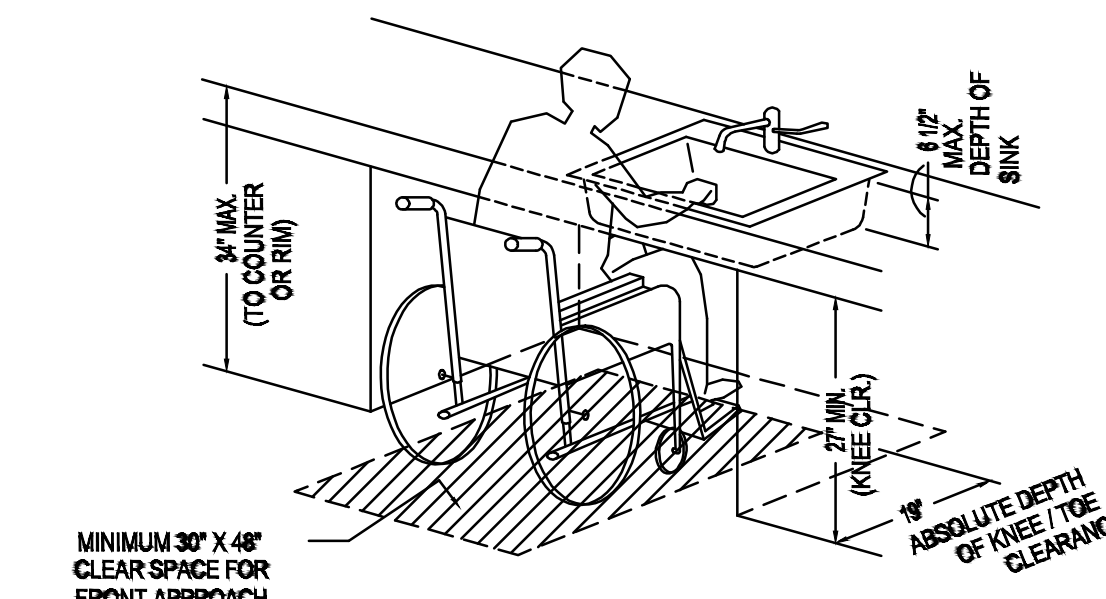


URINAL SCALE: 1/2"=1'-0"

7

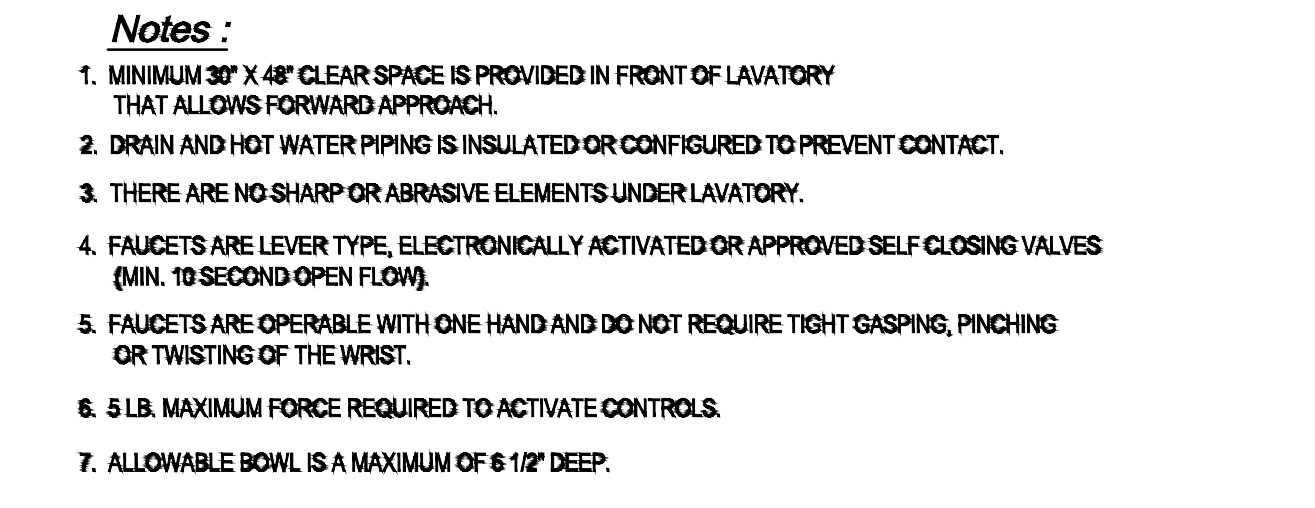


SINKS

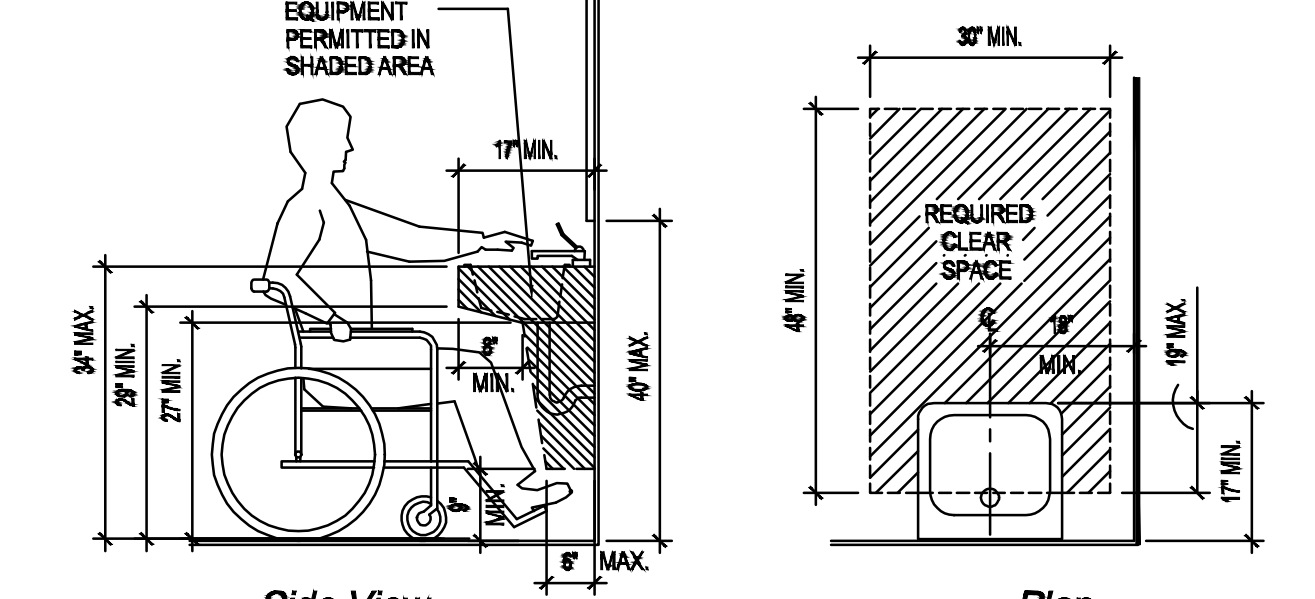


SINKS SCALE: 1/2"=1'-0"

5



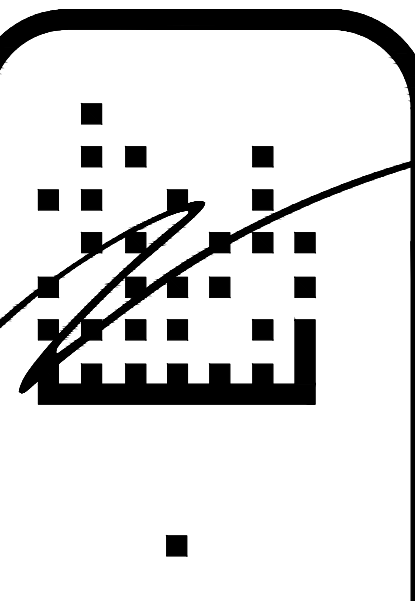
LAVATORIES



LAVATORIES SCALE: 1/2"=1'-0"

1

REVISIONS	BY
THE CITY COMMENTS 08/11/2025	



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LAKE FOREST, CA 92630
949-768-6546
FAX:
949-855-4387

08/11/2025

PROPOSED TENANT IMPROVEMENT FOR:
121, 131, AND 241 S. HARBOR BLVD.
and 1100 E. LA HABRA BLVD.
LA HABRA, CALIFORNIA 90631

DRAWN
CHECKED
DATE
08-11-25
SCALE
JOB NO.
SHEET

ADA-2