

DREAMLAND BOBA SHOP

1281 E LA HABRA BLVD, UNIT 6, LA HABRA 90631

GENERAL NOTE

1. ALL WORK SHALL CONFORM TO THE BUILDING CODES LISTED IN THESE DOCUMENTS AND ALL CURRENT REVISIONS AND REGULATIONS AS INSTITUTED BY THE LOCAL BUILDING AUTHORITY.
2. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF OR HERSELF WITH THE EXISTING CONDITIONS OF THE PROJECT SITE AND ADJACENCIES. ALL DISCREPANCIES OR CONFLICTS WITHIN THE DOCUMENTS AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION. FAILURE TO INFORM THE ARCHITECT PRIOR TO BEGINNING OF THE WORK SHALL CONSTITUTE ACCEPTANCE OF THE DOCUMENTS AND CONDITIONS BY THE CONTRACTOR AND THE WORK SHALL BE COMPLETED AS DEFINED IN THE DOCUMENTS WITHOUT ADDITIONAL COST OR TIME DUE TO THE DISCREPANCIES, CONFLICTS OR OMISSIONS.
3. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT AND HIS CONSULTANTS SHALL NOT INCLUDE, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE FIELD MEASUREMENTS NECESSARY FOR THIS WORK, AND BE RESPONSIBILITY FOR THEIR ACCURACY. VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS OF THE WORK BEFORE AND DURING CONSTRUCTION.
5. REFERENCE TO ANY PARTICULAR DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING. NOTES AND DETAILS SHALL APPLY TO ALL NOTE UNLESS NOTED OTHERWISE.
6. DAMAGE TO EXISTING CONSTRUCTION DAMAGED DURING THE PERFORMANCE OF THIS WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL MAINTAIN THE SITE, BUILDINGS AND ADJACENT STREETS CLEAN AND FREE OF ACCUMULATION OF CONSTRUCTION DEBRIS.

DEFERRED SUBMITTALS

1. SIGNAGE UNDER DIFFER SUBMITTAL

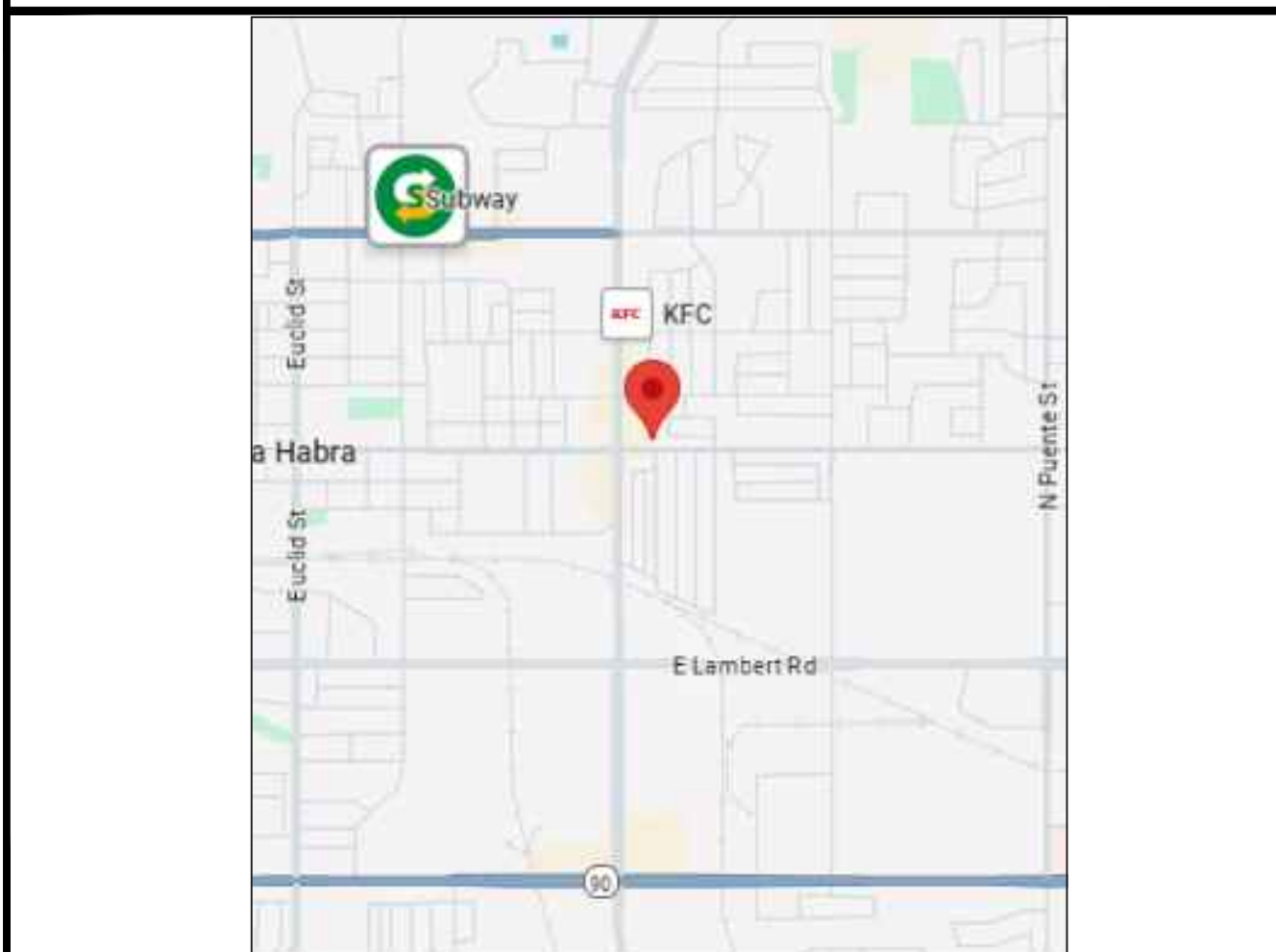
SCOPE OF WORK

1. CHANGE OF USE FROM RETAIL TO RESTAURANT
2. NEW TEA SHOP WITH KITCHEN, SERVICE AREA, AND DINING
3. AND ITS NON-BEARING WALL, ELECTRICAL, AND PLUMBING WORKS

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VICINITY MAP



CODES OF DESIGN

- 1-2022 CALIFORNIA BUILDING CODE-TITLE 24, PART 2
- 2-2022 CALIFORNIA ELECTRICAL CODE-TITLE 24, PART 3
- 3-2022 CALIFORNIA MECHANICAL CODE-TITLE 24, PART 4
- 4-2022 CALIFORNIA PLUMBING CODE-TITLE 24, PART 5
- 5-2022 CALIFORNIA ENERGY CODE-TITLE 24, PART 6
- 6-2022 CALIFORNIA GREEN BUILDING STANDARDS CODE-TITLE 24, PART 11
- 7-2022 CALIFORNIA FIRE CODE-TITLE 24, PART 9
- 8-LA HABRA CITY MUNICIPAL CODE

DRAWING ABBRIMATIONS

#	POUND OR NUMBER	FO	FACE OF
&	AND		
@	AT	GA	GAUGE
ACT	ACOUSTIC CEILING TILE	GALV	GALVANIZED
AFF	ABOVE FINISHED FLOOR	GFA	GROSS FLOOR AREA
ALUM	ALUMINUM	HR	HOUR
BOT	BOTTOM	INSUL	INSULATED OR INSULATION
CJ	CONTROL JOINT	MAX	MAXIMUM
CLG	CEILING	MIN	MINIMUM
CLR	CLEAR	(N)	NEW
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OZ	OUNCE
CONT	CONTINUOUS	REQD	REQUIRED
DBL	DOUBLE	RM	ROOM
DEM	DEMOLISH OR DEMOLITION		
DIA	DIAMETER		
DIM	DIMENSION		
DN	DOWN	SIM	SIMILAR
DR	DOOR	SPEC	SPECIFIED OR SPECIFICATION
DWG	DRAWING	STL	STEEL
EA	EACH	TO	TOP OF
EL	ELEVATION	TYP	TYPICAL
ELEC	ELECTRICAL		
ELEV	ELEVATOR OR ELEVATION	UNO	UNLESS NOTED OTHERWISE
(E)	EXISTING	VIF	VERIFY IN FIELD
EX	EXISTING	VP	VISION PANEL
FD	FLOOR DRAIN OR FIRE DEPARTMENT	W/	WITH
FLR	FLOOR	WD	WOOD

PROJECT DIRECTORY

OWNER
 NAME: WARREN LIN
 PHONE: 714-253-2514

ARCHITECTURAL DESIGN
 TOP-ARC GROUP
 CONTACT: STEVEN CHEN
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 ADDRESS: 1140 CENTRE DR, STE E, WALNUT, CA 91789

PROJECT DATA

LOT INFORMATION	
ADDRESS	1281 E LA HABRA BLVD, UNIT 6, LA HABRA, CA 90631
APN	303-011-04
LOT SIZE	30,482 SQFT
ZONING	C1

LEGAL DESCRIPTION:

COMMERCIAL			
	EXISTING	PROPOSED	NOTES
USE	RETAIL	RESTAURANT	
OCCUPANCY	B	B	
CONSTRUCTION	V-B	V-B	
SPRINKLER	NON-SPRINKLER	NON-SPRINKLER	
FLOOR AREA	900	900	
NO. OF STORY	1	1	

OCCUPANCY LOAD CALCULATION

SECTION	AREA	OCCUPANCY LOAD	PLUMBING OL
KITCHEN	108 SQFT	O.L= 108/200=1	O.L= 108/200=1
DINING AREA	278 SQFT	O.L= 278/15=19	O.L= 278/30=10
SERVICE AREA	146 SQFT	O.L= 146/200=1	O.L= 146/200=1
RESTROOM	58 SQFT		
STORAGE	56 SQFT	O.L= 56/200=1	O.L= 56/200=1
HALLWAY	254 SQFT		
TOTAL AREA	900 SQFT	TOTAL O.L=22	TOTAL O.L=12



TOP-ARC GROUP
 ARCHITECTURAL DESIGN FIRM
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PROJECT TITLE / ADDRESS
DREAMLAND BOBA SHOP
 1281 E LA HABRA BLVD, UNIT 6,
 LA HABRA, CA 90631

DRAWING TITLE

COVER SHEET

REVISIONS	
DATE	NO.
	△

DATE:

DRAWN BY:

SCALE: AS NOTED

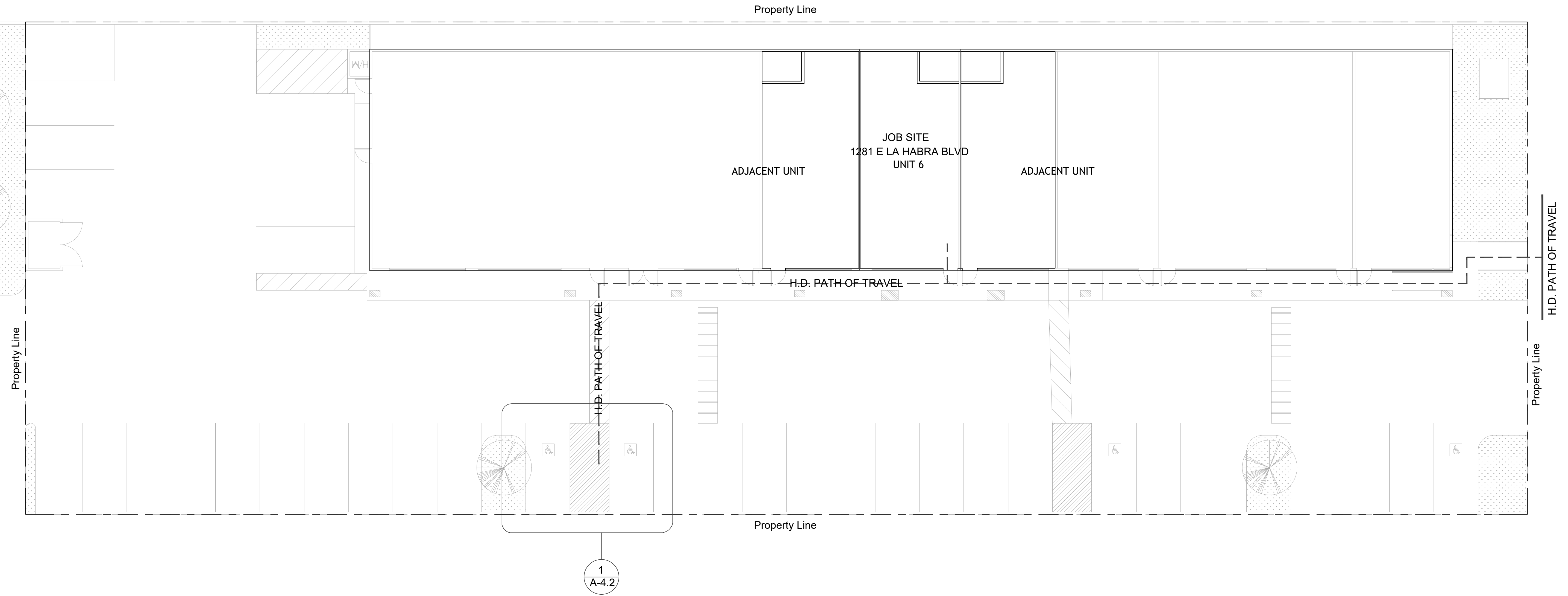
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T-0

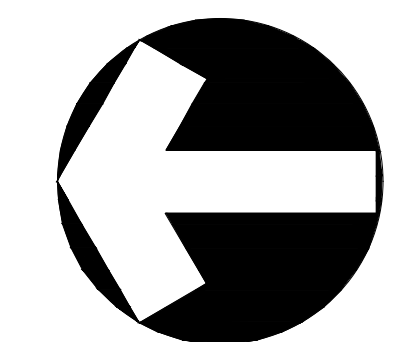
FIRE DEPARTMENT COMMENTS

THE LAND DEVELOPMENT UNIT HAS CLEARED THE SUBMITTED CUP AND HAS NO REQUIREMENTS FOR THE PROPOSED NEW CONCEPT CAFE.
Additional Fire Department Requires:

Review and approval by the County of Los Angeles Fire Department, Fire Prevention Engineering Section Building Plan Check Unit may be required for this project prior to building permit issuance. Please contact the Fire Prevention Engineering Section at 323 890-4125 for additional information and EPICLA submittals.



EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"



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LA HABRA, CA 90631

DRAWING TITLE

EXISTING SITE PLAN

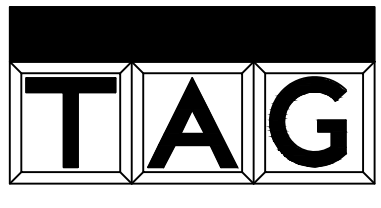
REVISIONS	NO.

DATE:

DRAWN BY:

SCALE: AS NOTED

SHEET NO.



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PROJECT TITLE / ADDRESS
 DREAMLAND BOBA SHOP
 1281 E LA HABRA BLVD, UNIT 6,
 LA HABRA, CA 90831

DRAWING TITLE

GREEN CODE

REVISIONS	NO.
DATE	NO.
	△

DATE:
 DRAWN BY:

SCALE: AS NOTED

SHEET NO.

N-1

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2024 Supplement)

Y	N/A	RESPON. PARTY	SECTION	Y	N/A	RESPON. PARTY
			CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL			
			301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.			
			301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work. A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used. 301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only: Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance. 301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work. 301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC)			
			SECTION 302 MIXED OCCUPANCY BUILDINGS			
			302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.			
			SECTION 303 PHASED PROJECTS			
			303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply. 303.1.1 Initial Tenant Improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.			
			ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New			
			CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES			
			DIVISION 5.1 PLANNING AND DESIGN			
			SECTION 5.101 GENERAL			
			5.101.1 SCOPE. The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.			
			SECTION 5.102 DEFINITIONS			
			5.102.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference) CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire. ELECTRIC VEHICLE (EV) [BSC-CG, HCD] An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats and the like, are not included. ELECTRIC VEHICLE (EV) CAPABLE SPACE [BSC-CG, DSA-SS and HCD] A vehicle space with electrical panel space and load capacity to support a branch circuit and necessary raceways, both underground and/or surface mounted, to support EV charging. ELECTRIC VEHICLE (EV) CHARGER [BSC-CG, HCD] Off-board charging equipment used to charge an electric vehicle. ELECTRIC VEHICLE CHARGING SPACE (EV SPACE) [HCD] A space intended for future installation of EV charging equipment and charging of electric vehicles. ELECTRIC VEHICLE CHARGING STATION (EVCS) [BSC-CG, DSA-SS, HCD] One or more electric vehicle charging spaces served by EVSE or receptacles. ELECTRIC VEHICLE (EV) READY SPACE [HCD] A vehicle space which is provided with a branch circuit; any necessary raceways, both underground and/or surface mounted; to accommodate EV charging, terminating in a receptacle or a charger. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) [BSC-CG, DSA-SS and HCD] The conductors, including the ungrounded, grounded and equipment grounding conductors and the electric vehicle connectors, attachment plugs, personnel protection system, and all other fittings, devices, power outlets or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.			
			SECTION 5.105 DECONSTRUCTION AND REUSE OF EXISTING STRUCTURES			
			5.105.1 Scope. [BSC-CG] Effective July 1, 2024, alteration(s) to existing building(s) where the combined altered floor area is 100,000 square feet or greater shall comply with either Section 5.105.2, 5.409.2, or 5.409.3. Addition(s) to existing building(s) where the total floor area combined with the existing building(s) is 100,000 square feet or greater shall comply with either Section 5.105.2, Section 5.409.2, or Section 5.409.3. Effective January 1, 2026, the combined floor area shall be 50,000 square feet or greater. [DSA-SS] Alteration(s) to existing building(s) where the combined altered floor area is 50,000 square feet or greater shall comply with either Section 5.105.2, 5.409.2, or 5.409.3. Addition(s) to existing building(s) where the total floor area combined with the existing building(s) is 50,000 square feet or greater shall comply with either Section 5.105.2, Section 5.409.2, or Section 5.409.3. Exception [BSC-CG, DSA-SS]: Combined addition(s) to existing building(s) of two times the area or more of the existing building(s) is not eligible to meet compliance with Section 5.105.2.			
			5.105.2 Reuse of existing building. An alteration or addition to an existing building shall maintain at a minimum 45 percent combined of the existing building's primary structural elements (foundations; columns, beams, walls, and floors; and lateral elements) and existing building enclosure (roof framing, wall framing and exterior finishes). Window assemblies, insulation, portions of buildings deemed structurally unsound or hazardous, and hazardous materials that are remediated as part of the project shall not be included in the calculation. 5.105.2.1 Verification of compliance. Documentation shall be provided in the construction documents to demonstrate compliance with Section 5.105.2. Note: Sample Worksheet WS-3 in Chapter 8 may be used to assist in documenting compliance with this section. 5.105.3 Deconstruction (Reserved).			

Y	N/A	RESPON. PARTY	SECTION	Y	N/A	RESPON. PARTY
			SECTION 5.106 SITE DEVELOPMENT			
			5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures: 5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance. 5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs. 1. Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Scheduling construction activity during dry weather, when possible. b. Preservation of natural features, vegetation, soil, and buffers around surface waters. c. Drainage swales or lined ditches to control stormwater flow. d. Mulching or hydroseeding to stabilize disturbed soils. e. Erosion control to protect slopes. f. Protection of storm drain inlets (gravel bags or catch basin inserts). g. Perimeter sediment control (perimeter silt fence, fiber rolls). h. Sediment trap or sediment basin to retain sediment on site. i. Stabilized construction exits. j. Wind erosion control. k. Other soil loss BMPs acceptable to the enforcing agency. 2. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. De-watering activities. b. Material handling and waste management. c. Building materials stockpile management. d. Management of washout areas (concrete, paints, stucco, etc.). e. Control of vehicle/equipment fueling to contractor's staging area. f. Vehicle and equipment cleaning performed off site. g. Spill prevention and control. h. Other housekeeping BMPs acceptable to the enforcing agency.			
			5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development or sale. Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit). The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversion design measures. Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural practices and be approved by the enforcing agency. Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/construction/stormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development. 5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2. 5.106.4.1 Bicycle parking [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter. 5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor vehicular parking spaces. 5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility. 5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility. 5.106.4.1.4 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility. 5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers. Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates. 5.106.4.2 Bicycle parking [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2. 5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building. 5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers. 5.106.5.3 Electric vehicle (EV) charging. [N] [BSC-CG] Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.3.1 EV capable spaces, Section 5.106.5.3.2 Electric vehicle charging stations and associated Table 5.106.5.3.1, or Section 5.106.5.3.6 Electric vehicle charging stations (EVCS)—Power allocation method and associated Table 5.106.5.3.6 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code. Exceptions: 1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions: a. Where there is no local utility power supply. b. Where the local utility is unable to supply adequate power. c. Where there is evidence suitable to the local enforcement agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project. 2. Parking spaces accessible only by automated mechanical car parking systems are not required to comply with this code section. 5.106.5.3.1 EV capable spaces. [N] EV capable spaces shall be provided in accordance with Table 5.106.5.3.1 and the following requirements: 1. Raceways complying with the California Electrical Code and no less than 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the EV capable space and into a suitable listed cabinet, box, enclosure or equivalent. A common raceway may be used to serve multiple EV charging spaces. 2. A service panel or subpanel (s) shall be provided with panel space and electrical load capacity for a dedicated 208/240 volt, 40-ampere minimum branch circuit for each EV capable space, with delivery of 30-ampere minimum to an installed EVSE at each EVCS. 3. The electrical system and any on-site distribution transformers shall have sufficient capacity to supply full rated amperage at each EV capable space. 4. The service panel or subpanel circuit directory shall identify the reserved overcurrent protective device space(s) as "EV CAPABLE." The raceway termination location shall be permanently and visibly marked as "EV CAPABLE." Note: A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. See vehicle Code Section 22511.2 for further details.			

TABLE 5.106.5.3.1		
TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE)*2
0-9	0	0
10-25	2	0
26-50	8	2
51-75	13	3
76-100	17	4
101-150	25	6
151-200	35	9
201 AND OVER	20 percent of actual parking spaces ¹	25 percent of EV capable spaces ¹

1. Calculation for spaces shall be rounded up to the nearest whole number.
 2. The number of required EVCS (EV capable spaces provided with EVSE) in column 3 count toward the total number of required EV capable spaces shown in column 2.
 3. At least one Level 2 EVSE shall be provided.
 5.106.5.3.2 Electric vehicle charging stations (EVCS) EV capable spaces shall be provided with electric vehicle supply equipment (EVSE) to create EVCS in the number indicated in Table 5.106.5.3.1. The EVCS required by Table 5.106.5.3.1 shall be provided with Level 2 EVSE or DCFC as permitted in Section 5.106.5.3.2.1. At least one Level 2 EVSE shall be provided.
 One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accumulatively supplied to the EV charger.
 The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.

5.106.5.3.2.1 The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE or EVCS with Level 2 EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.

5.106.5.3.2.2 The installation of two low power Level 2 EV charging receptacles shall be permitted to reduce the minimum number of required EV capable spaces without EVSE in Table 5.106.5.3.1 by one.

5.106.5.3.3 Use of automatic load management systems (ALMS). ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity specified in Section 5.106.5.3.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.

5.106.5.3.4 Accessible EVCS. When EVSE is installed, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3.

Note: For EVCS signs, refer to Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

5.106.5.3.4 Accessible electric vehicle charging station (EVCS). When EVSE is installed, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3.

5.106.5.3.5 Electric vehicle charging station signage. Electric vehicle charging stations shall be identified by signage or pavement markings in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

Power allocation method shall include the following:
 1. Use any kVA combination of EV capable spaces, low power Level 2, Level 2 or DCFC EVSEs.
 2. At least one Level 2 EVSE shall be provided.

5.106.5.3.6 Electric vehicle charging stations (EVCS)—power allocation method. The power allocation method may be used as an alternative to the requirements in Section 5.106.5.3.1, Section 5.106.5.3.2 and associated Table 5.106.5.3.1. Use Table 5.106.5.3.6 to determine the total power in kVA required based on the total number of actual parking spaces.

TABLE 5.106.5.3.6		
TOTAL NUMBER OF ACTUAL PARKING SPACES	MINIMUM TOTAL KVA @ 6.6 kVA	TOTAL KVA REQUIRED IN ANY COMBINATION OF EV CAPABLE, 3.4 LOW POWER LEVEL 2, LEVEL 2, 1, 2 OR DCFC
0-9	0	0
10-25	26.4	26.4
26-50	52.8	52.8
51-75	85.8	85.8
76-100	112.2	112.2
101-150	165	165
151-200	231	231
201 AND OVER	20 percent of actual parking spaces x 6.6	Total required kVA = P x 20 x 6.6 Where P = Parking spaces in facility

1. Level 2 EVSE @ 6.6 kVA minimum.
 2. At least one Level 2 EVSE shall be provided.
 3. Maximum allowed kVA to be utilized for EV capable spaces is 75 percent.
 4. If EV capable spaces are utilized, they shall meet the requirements of Section 5.106.5.3.1 EV capable spaces.

5.106.5.4 Additions or alterations to existing buildings or parking facilities [A] [BSC-CG] Existing buildings or parking facilities being modified by one of the following shall comply with Section 5.106.5.4.1, or 5.106.5.4.2. When EVSE is installed, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3.

1. When the scope of construction work includes an increase in power supply to an electric service panel as part of a parking facility addition or alteration.
 2. When a new photovoltaic system is installed covering existing parking spaces.
 3. When additions or alterations to existing buildings are triggered pursuant to code Section 301.3 and the scope of work includes an increase in power supply to an electric service panel.

Exceptions:
 1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:
 a. Where there is no local utility power supply.
 b. Where the local utility is unable to supply adequate power.
 c. Where there is evidence suitable to the local enforcement agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.
 2. Remodel parking facilities that do not have access to the existing electric service panel.
 3. Parking area lighting upgrades where no trenching is part of the scope of work.
 4. Emergency repairs, including but not limited to water line break in parking facilities, natural disaster repairs, etc.

5.106.5.4.1 Existing buildings or parking areas without previously installed EV capable infrastructure [A]. When EV capable infrastructure is available at an existing parking facility or building, and the parking facility or building is undergoing an addition or alteration listed in Section 5.106.5.4, construction shall include electric vehicle charging in compliance with either Section 5.106.5.3 and associated Table 5.106.5.3.1, or Section 5.106.5.3.6 and associated Table 5.106.5.3.6 utilizing the existing EV capable allocated power and infrastructure for the total number of actual parking spaces being added or altered. If the area being added or altered exceeds the existing EV capable capacity, allocated power and infrastructure, provide additional EV charging as needed to comply with this section.

5.106.5.4.2 Existing buildings or parking areas with previously installed EV capable infrastructure [A]. When EV capable infrastructure is available at an existing parking facility or building, and the parking facility or building is undergoing an addition or alteration listed in Section 5.106.5.4, construction shall include electric vehicle charging in compliance with either Section 5.106.5.3 and associated Table 5.106.5.3.1, or Section 5.106.5.3.6 and associated Table 5.106.5.3.6 utilizing the existing EV capable allocated power and infrastructure for the total number of actual parking spaces being added or altered. If the area being added or altered exceeds the existing EV capable capacity, allocated power and infrastructure, provide additional EV charging as needed to comply with this section.

TABLE 5.106.5.5.1		
TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF REQUIRED EVCS2
0-9	0	0
10-25	4	1
26-50	8	2
51-75	13	3
76-100	17	4
101-150	25	6
151-200	35	9
201 AND OVER	20 percent of total spaces ¹	25 percent of EV capable spaces ¹

1. Calculation for spaces shall be rounded up to the nearest whole number.
 2. Each EVCS shall reduce the number of required EV capable spaces by the same number.

5.106.5.6.2 Electric vehicle charging stations (EVCS). EV capable spaces shall be provided with EVSE to create EVCS in the number indicated in Table 5.106.5.6.1 and shall comply with Section 5.106.5.6.2. EVCS shall be serviced by Level 2 or Direct Current Fast Charging (DCFC) EVSE, or with EVSE in any combination of Level 2 and DCFC. Accessible EVCS shall be provided in accordance with California Building Code Chapter 11B.

5.106.5.5 Electric vehicle (EV) charging, medium-duty and heavy-duty, [N] [BSC-CG] Construction shall comply with Section 5.106.5.5.1 to facilitate future installation of electric vehicle supply equipment (EVSE). Construction for warehouses, grocery stores and retail stores, office buildings, and manufacturing facilities with planned off-street loading spaces shall also comply with Section 5.106.5.5.1 for future installation of medium- and heavy-duty EVSE.

Exceptions:
 1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:
 a. Where there is no local utility power supply.
 b. Where the local utility is unable to supply adequate power.
 c. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.5.3, may adversely impact the construction cost of the project.

When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

5.106.5.5.1 Electric vehicle charging readiness requirements for warehouses, grocery stores, office buildings, and manufacturing facilities and retail stores with planned off-street loading spaces. [N]

In order to avoid future demolition when adding EV supply and distribution equipment, spare raceway(s) or busway(s) and adequate capacity for transformer(s), service panel(s) or subpanel(s) shall be installed at the time of construction in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

1. The transformer, main service equipment and subpanels shall meet the minimum power requirement in Table 5.106.5.5.1 to accommodate the dedicated branch circuits for the future installation of EVSE.

2. The construction documents shall indicate one or more location(s) convenient to the planned off-street loading space(s) reserved for medium- and heavy-duty ZEV charging cabinets and charging dispensers, and a pathway reserved for routing of conduit from the termination of the raceway(s) or busway(s) to the charging cabinet(s) and dispenser(s), as shown in Table 5.106.5.5.1.

3. Raceway(s) or busway(s) originating at a main service panel or a subpanel(s) serving the area where potential future medium- and heavy-duty EVSE will be located and shall terminate in close proximity to the potential future location of the charging equipment for medium- and heavy-duty vehicles.

4. The raceway(s) or busway(s) shall be of sufficient size to carry the minimum additional system load to the future location of the charging for medium- and heavy-duty ZEVs as shown in Table 5.106.5.5.1.

TABLE 5.106.5.5.1 RACEWAY CONDUIT AND PANEL POWER REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE [N]			
BUILDING TYPE	BUILDING SIZE (SQ. FT.)	NUMBER OF OFF-STREET LOADING SPACES	ADDITIONAL CAPACITY REQUIRED (KVA) FOR RACEWAY & BUSWAY AND TRANSFORMER & PANEL
Grocery	10,000 to 90,000	1 or 2	200
	Greater than 90,000	3 or Greater	400
Manufacturing Facilities	10,000 to 50,000	1 or 2	200
	Greater than 50,000	3 or Greater	400
Office Buildings	10,000 to 135,000	1 or 2	200
	Greater than 135,000	3 or Greater	400
Retail	10,000 to 135,000	1 or 2	200
	Greater than 135,000	3 or Greater	400
Warehouse	20,000 to 256,000	1 or 2	200
	Greater than 256,000	3 or Greater	400

5.106.5.6 Electric vehicle (EV) charging at public schools and community colleges. [DSA-SS] Electric vehicle infrastructure and electric vehicle charging stations shall comply with Section 5.106.5.6 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code.

Exceptions:
 1. On a case-by-case basis where compliance with this section has been demonstrated to be not feasible based upon one of the following conditions and with concurrence by the Division of the State Architect (DSA), compliance with Section 5.106.5.6 shall not be required.
 a. Where there is no local utility power supply.
 b. Where the local utility is unable to supply adequate power.
 c. The installation of EVCS is impracticable.
 2. Parking spaces accessible only by automated mechanical car parking systems are not required to comply with Section 5.106.5.6.

5.106.5.6.1 EV capable spaces. EV capable spaces shall be provided in accordance with Table 5.106.5.6.1 and the following requirements:

1. Raceways complying with the California Electrical Code and no less than 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area and shall terminate in close proximity to the proposed location of the EV capable space and into a suitable listed cabinet, box, enclosure or equivalent. A common raceway may be used to serve multiple EV capable spaces.

2. A service panel or subpanel(s) shall be provided with panel space and electrical load capacity for a dedicated 208/240 volt, 40-ampere minimum branch circuit for each EV capable space, with delivery of 30-ampere minimum to an installed EVSE at each EVCS.

3. The electrical system and any on-site distribution transformers shall have sufficient capacity to supply full rated amperage at each EV capable space.

4. The service panel or subpanel circuit directory shall identify the reserved overcurrent protective device space(s) as "EV CAPABLE." The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)

Main table containing building code sections 5.106.5.6.2.1 through 5.409.3, including tables for parking power requirements, energy efficiency, water conservation, and material conservation.

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (July 2024 Supplement)

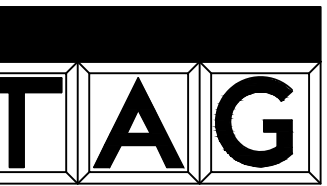
Y/N/A	RESPON. PARTY	5.409.2 Whole building life cycle assessment. Projects shall conduct a cradle-to-grave whole building life cycle assessment performed in accordance with ISO 14040 and ISO 14044, excluding operating energy, and demonstrating a minimum 10-percent reduction in global warming potential (GWP) as compared to a reference baseline building of similar size, function, complexity, type of construction, material specification, and location that meets the requirements of the California Energy Code currently in effect. Software used to conduct the whole building life cycle assessment, including reference baseline building, shall have a data set compliant with ISO 14044, and ISO 21530 or EN 15804, and the software shall conform to ISO 21531 and/or EN 15978. The software tools and data sets shall be the same for evaluation of both the baseline building and the proposed building.																																																																		
		Notes: 1. Software for calculating whole building life cycle assessment is available for free at Athena Sustainable Materials Institute (https://calculatela.com/software/impact-estimator/) and OneClick LCA-Planetary (www.oneclicklca.com/planetary). Paid versions include, but are not limited to, Sphera GaBi Solutions (gabi.sphera.com), SimaPro (simapro.com), One-Click LCA (www.oneclicklca.com) and Tally for Revit (apps.autodesk.com). 2. ASTM E2921-22 "Standard Practice for Minimum Criteria for Comparing Whole Building Life Cycle Assessments for Use with Building Codes, Standards, and Rating Systems" may be consulted for the assessment. 3. In addition to the required documentation specified in Section 5.409.2.3, Worksheet WS-9 may be required by the enforcing entity to demonstrate compliance with the requirements. 5.409.2.1 Building components. Building enclosure components included in the assessment shall be limited to glazing assemblies, insulation, and exterior finishes. Primary and secondary structural members included in the assessment shall be limited to footings and foundations, and structural columns, beams, walls, roofs, and floors. 5.409.2.2 Reference study period. The reference study period of the proposed building shall be equal to the reference baseline building and shall be 60 years. 5.409.2.3 Verification of compliance. A summary of the GWP analysis produced by the software and Worksheet WS-4 signed by the design professional of record shall be provided in the construction documents as documentation of compliance. A copy of the whole building life cycle assessment which includes the GWP analysis produced by the software, in addition to maintenance and training information, shall be included in the operation and maintenance manual and shall be provided to the owner at the close of construction. The enforcing agency may require inspection and inspection reports in accordance with Sections 702.2 and 703.1 during and at completion of construction to demonstrate substantial conformance. Inspection shall be performed by the design professional of record or third party acceptable to the enforcing agency. 5.409.3 Product GWP compliance—prescriptive path. Each product that is permanently installed and listed in Table 5.409.3 shall have a Type III environmental product declaration (EPD), either product-specific or factory-specific.																																																																		
		<table border="1"> <thead> <tr> <th colspan="3">TABLE 5.409.3 PRODUCT GWP LIMITS</th> </tr> <tr> <th>BUY CLEAN CALIFORNIA MATERIALS PRODUCT CATEGORY¹</th> <th>MAXIMUM ACCEPTABLE GWP VALUE (unfabricated) (GWP_{Allowed})</th> <th>UNIT OF MEASUREMENT</th> </tr> </thead> <tbody> <tr> <td>Hot-rolled structural steel sections</td> <td>1.77</td> <td>MT CO₂e/MT</td> </tr> <tr> <td>Hollow structural sections</td> <td>3.00</td> <td>MT CO₂e/MT</td> </tr> <tr> <td>Steel plate</td> <td>2.61</td> <td>MT CO₂e/MT</td> </tr> <tr> <td>Concrete reinforcing steel</td> <td>1.56</td> <td>MT CO₂e/MT</td> </tr> <tr> <td>Flat glass</td> <td>2.50</td> <td>kg CO₂e/MT</td> </tr> <tr> <td>Light-density mineral wool board insulation</td> <td>5.83</td> <td>kg CO₂e/MT</td> </tr> <tr> <td>Heavy-density mineral wool board insulation</td> <td>14.28</td> <td>kg CO₂e/MT</td> </tr> <tr> <td colspan="3" style="text-align:center">Concrete, Ready-Mixed^{2, 3}</td> </tr> <tr> <th>CONCRETE PRODUCT CATEGORY</th> <th>MAXIMUM GWP ALLOWED VALUE (GWP_{Allowed})</th> <th>UNIT OF MEASUREMENT</th> </tr> <tr> <td>up to 2499 psi</td> <td>450</td> <td>kg CO₂e/m³</td> </tr> <tr> <td>2500–3499 psi</td> <td>489</td> <td>kg CO₂e/m³</td> </tr> <tr> <td>3500–4499 psi</td> <td>566</td> <td>kg CO₂e/m³</td> </tr> <tr> <td>4500–5499 psi</td> <td>661</td> <td>kg CO₂e/m³</td> </tr> <tr> <td>5500–6499 psi</td> <td>701</td> <td>kg CO₂e/m³</td> </tr> <tr> <td>6500 psi and greater</td> <td>799</td> <td>kg CO₂e/m³</td> </tr> <tr> <td colspan="3" style="text-align:center">Concrete, Lightweight Ready-Mixed²</td> </tr> <tr> <th>CONCRETE PRODUCT CATEGORY</th> <th>MAXIMUM GWP ALLOWED VALUE (GWP_{Allowed})</th> <th>UNIT OF MEASUREMENT</th> </tr> <tr> <td>up to 2499 psi</td> <td>875</td> <td>kg CO₂e/m³</td> </tr> <tr> <td>2500–3499 psi</td> <td>956</td> <td>kg CO₂e/m³</td> </tr> <tr> <td>3500–4499 psi</td> <td>1039</td> <td>kg CO₂e/m³</td> </tr> </tbody> </table> <p>1. The GWP values of the products listed in Table 5.409.3 are based on 175 percent of Buy Clean California Act (BCCA) GWP values, except for concrete products which are not included in the BCCA. 2. For concrete, 175 percent of the National Ready Mixed Concrete Association (NRMCA) 2022 version 3 Pacific Southwest regional benchmark values are used for the GWP allowed, except for High Early Strength. 3. Concrete High Early Strength ready-mixed shall be calculated at 130 percent of the ready-mixed concrete GWP allowed values for each product category.</p> <p>5.409.3.1 Products shall not exceed the maximum GWP value specified in Table 5.409.3. Exception: Concrete may be considered one product category to meet compliance with this section. A weighted average of the maximum GWP for all concrete mixes installed in the project shall be less than the weighted average maximum GWP allowed per Table 5.409.3 using Exception Equation 5.409.3.1. Calculations shall be performed with consistent units of measurement for the material quantity and the GWP value. For the purposes of this exception, industry-wide EPDs are acceptable. Exception EQUATION 5.409.3.1 $GWP_n < GWP_{Allowed}$ where $GWP_n = \sum (GWP_n)(v_n)$ and $GWP_{Allowed} = \sum (GWP_{Allowed})(v_n)$ and n = each concrete mix installed in the project GWP_n = the GWP for concrete mix n per concrete mix EPD, in kg CO₂e/m³ GWP_{Allowed} = the GWP potential allowed for concrete mix n per Table 5.409.3 v_n = the volume of concrete mix installed in the project, in m³</p>	TABLE 5.409.3 PRODUCT GWP LIMITS			BUY CLEAN CALIFORNIA MATERIALS PRODUCT CATEGORY ¹	MAXIMUM ACCEPTABLE GWP VALUE (unfabricated) (GWP _{Allowed})	UNIT OF MEASUREMENT	Hot-rolled structural steel sections	1.77	MT CO ₂ e/MT	Hollow structural sections	3.00	MT CO ₂ e/MT	Steel plate	2.61	MT CO ₂ e/MT	Concrete reinforcing steel	1.56	MT CO ₂ e/MT	Flat glass	2.50	kg CO ₂ e/MT	Light-density mineral wool board insulation	5.83	kg CO ₂ e/MT	Heavy-density mineral wool board insulation	14.28	kg CO ₂ e/MT	Concrete, Ready-Mixed ^{2, 3}			CONCRETE PRODUCT CATEGORY	MAXIMUM GWP ALLOWED VALUE (GWP _{Allowed})	UNIT OF MEASUREMENT	up to 2499 psi	450	kg CO ₂ e/m ³	2500–3499 psi	489	kg CO ₂ e/m ³	3500–4499 psi	566	kg CO ₂ e/m ³	4500–5499 psi	661	kg CO ₂ e/m ³	5500–6499 psi	701	kg CO ₂ e/m ³	6500 psi and greater	799	kg CO ₂ e/m ³	Concrete, Lightweight Ready-Mixed ²			CONCRETE PRODUCT CATEGORY	MAXIMUM GWP ALLOWED VALUE (GWP _{Allowed})	UNIT OF MEASUREMENT	up to 2499 psi	875	kg CO ₂ e/m ³	2500–3499 psi	956	kg CO ₂ e/m ³	3500–4499 psi	1039	kg CO ₂ e/m ³
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Y/N/A	RESPON. PARTY	5.409.3.2 Verification of compliance. Calculations to demonstrate compliance. Type III EPDs for products required to comply, if included in the project, and Worksheet WS-5 signed by the design professional of record shall be provided on the construction documents. Updated EPDs for products used in construction shall be provided to the owner at the close of construction and to the enforcement entity upon request. The enforcing agency may require inspection and inspection reports in accordance with Sections 702.2 and 703.1 during and at completion of construction to demonstrate substantial conformance. Inspection shall be performed by the design professional of record or third party acceptable to the enforcing agency.
		SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS 5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.62 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section. 5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site. Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area. 5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code. Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act). Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site. 5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply. Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements. Commissioning requirements shall include: <ol style="list-style-type: none"> Owner's or Owner representative's project requirements. Basis of design. Commissioning measures shown in the construction documents. Commissioning plan. Functional performance testing. Documentation and training. Commissioning report. Exceptions: <ol style="list-style-type: none"> Unconditioned warehouses of any size. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. Open parking garages of any size, or open parking garage areas, of any size, within a structure. Note: For the purposes of this section, unconditioned shall mean a building, area or room which does not provide heating and/or air conditioning. Informational Notes: <ol style="list-style-type: none"> Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code. 5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following: <ol style="list-style-type: none"> Environmental and sustainability goals. Building sustainable goals. Indoor environmental quality requirements. Project program, including facility functions and hours of operation, and need for after hours operation. Equipment and systems expectations. Building occupant and operation and maintenance (O&M) personnel expectations. 5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems: <ol style="list-style-type: none"> Renewable energy systems. Landscape irrigation systems. Water reuse system. 5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to document how the project will be commissioned. The commissioning plan shall include the following: <ol style="list-style-type: none"> General project information. Commissioning goals. Systems to be commissioned. Plans to test systems and components shall include: <ol style="list-style-type: none"> An explanation of the original design intent. Equipment and systems to be tested, including the extent of tests. Functions to be tested. Conditions under which the test shall be performed. Measurable criteria for acceptable performance. Commissioning team information. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included. 5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments made. 5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), Title 8, Section 5142, and other related regulations. 5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following: <ol style="list-style-type: none"> Site information, including facility description, history and current requirements. Site contact information. Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log. Major systems. Site equipment inventory and maintenance notes. A copy of verifications required by the enforcing agency or this code. Other resources and documentation, if applicable. 5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following: <ol style="list-style-type: none"> System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces). Review and demonstration of servicing/preventive maintenance. Review of the information in the Systems Manual. Review of the record drawings on the system/equipment. 5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative. 5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

Y/N/A	RESPON. PARTY	5.410.4.2 (Reserved)
		Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)(3) for additional testing requirements of specific systems. 5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project: <ol style="list-style-type: none"> Renewable energy systems. Landscape irrigation systems. Water reuse systems. 5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system. 5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards, the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency. 5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. 5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of attached warranties for each system. O & M manuals shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations. 5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.
		DIVISION 5.5 ENVIRONMENTAL QUALITY SECTION 5.501 GENERAL 5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors. SECTION 5.502 DEFINITIONS 5.502.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference) ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route. A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made. 1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32° Fahrenheit. COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a). Note: See CCR, Title 17, Section 93120.1. DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.). DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity. ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats, and the like, are not included. ELECTRIC VEHICLE CHARGING STATION(S) (EVCS). One or more spaces intended for charging electric vehicles. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle. ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest. EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections. FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections. GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one. GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995), or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-y)" of Table 2.14.; the AR4 GWP values are found in column "100 y" of Table 2.14. HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a hydrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (b) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.5 times the pipe diameter. LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2–1999. MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O ₃ /g ROG). PRODUCT-WEIGHTED MIR (PW-MIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PW-MIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). PSIG. Pounds per square inch, gauge. REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. SCHRAEDER ACCESS VALVES. Access fittings with a valve core installed. SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter. SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.

Y/N/A	RESPON. PARTY	SECTION 5.503 FIREPLACES																																																														
		5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances. 5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. SECTION 5.504 POLLUTANT CONTROL 5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction. 5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system. 5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6. 5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards: <ol style="list-style-type: none"> Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507. 																																																														
		TABLE 5.504.4.1 - ADHESIVE VOC LIMIT 1,2 Less Water and Less Exempt Compounds in Grams per Liter																																																														
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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.



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ARCHITECTURAL DESIGN FIRM
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EMAIL: YAOLON@TOPARC.COM

PROJECT TITLE / ADDRESS
DREAMLAND BOBA SHOP
1281 E LA HABRA BLVD, UNIT 6,
LA HABRA, CA 90631

DRAWING TITLE

GREEN CODE

REVISIONS

DATE NO.
△

DATE:

DRAWN BY:

SCALE: AS NOTED

SHEET NO.

LEGEND:

— EXISTING WALL

— DEMOLITION WALL

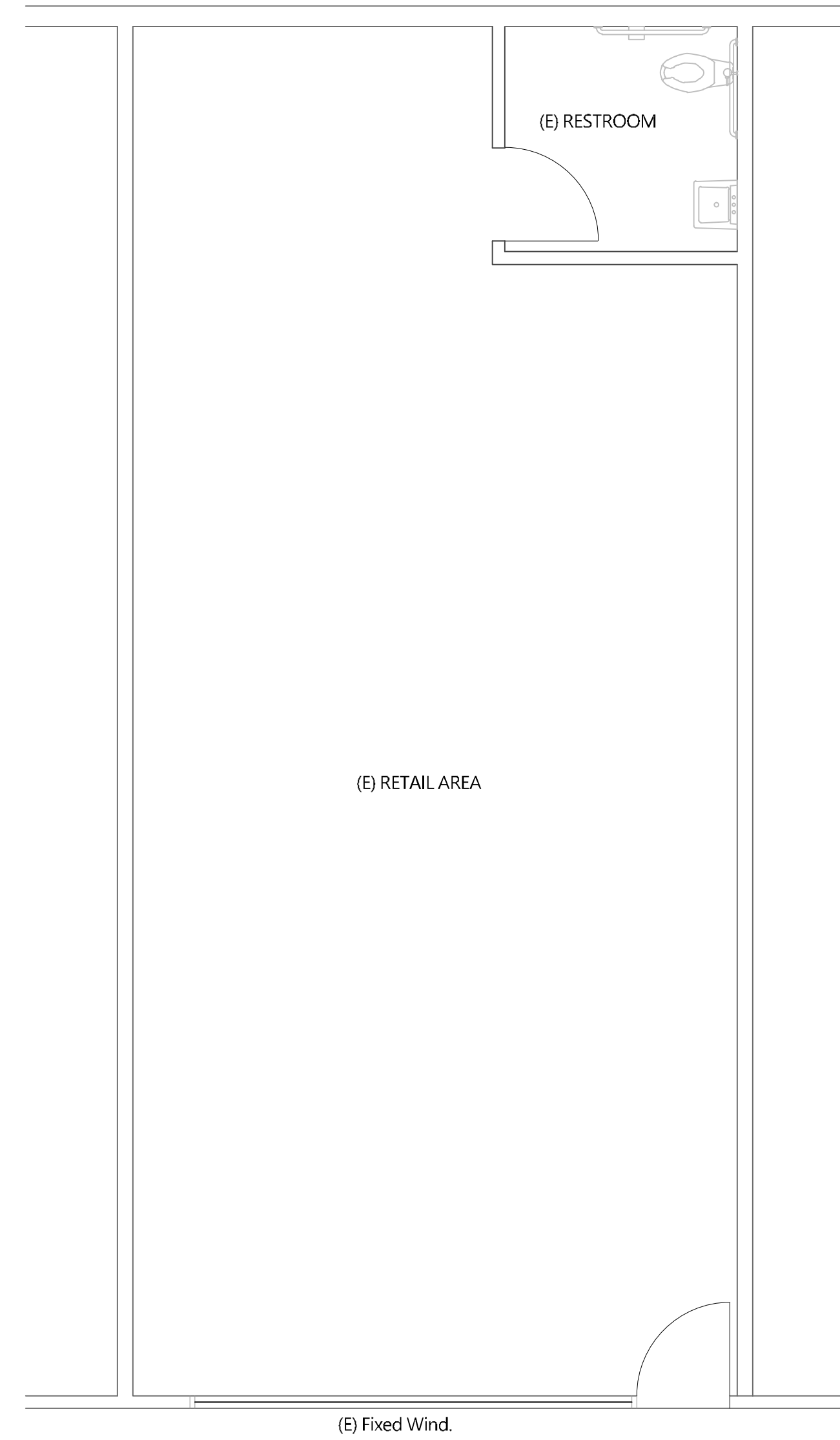
DEMOLITION NOTES:

NOTES:

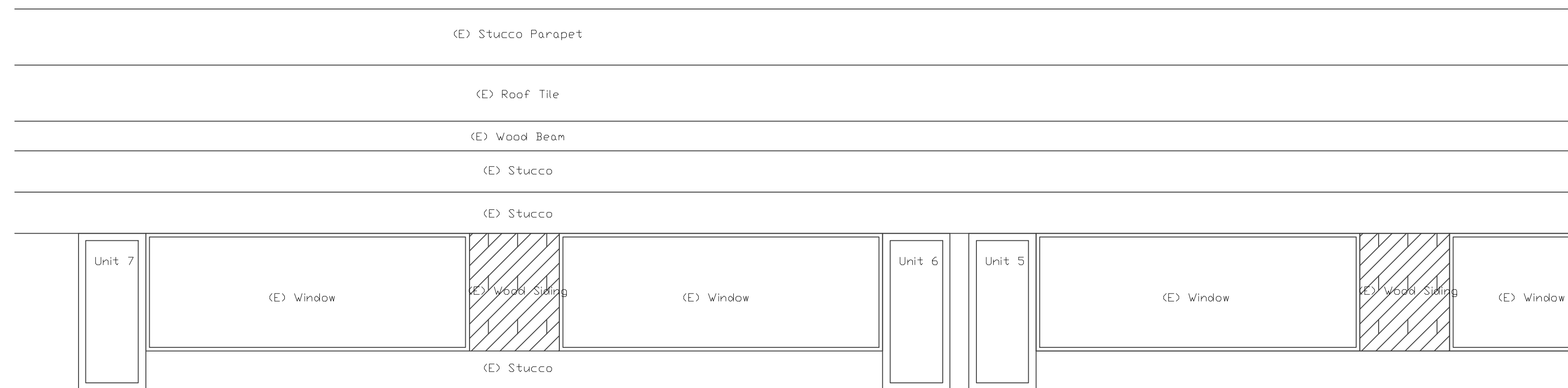
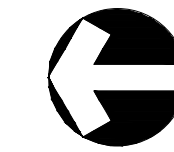
1. ALL STRUCTURAL ELEMENTS SUCH AS, BUT NOT LIMIT TO, COLUMNS, SHEAR WALLS, BEARING WALLS, BEAMS, ETC. TO REMAIN. IF ENCOUNTER STRUCTURAL ELEMENTS DURING DEMOLITION, CONTACT ARCHITECT OF RECORD OR ENGINEER OF RECORD IMMEDIATELY BEFORE DEMOLITION.

2. DEMO WALLS AND DOORS ARE NOT LABELED WITH FIRE RATING STATUS. CONTRACTOR SHALL FIELD VERIFY IF ANY ASSEMBLIES ARE FIRE-RATED PRIOR TO DEMOLITION.

3. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS NOT SHOWN. ANY UNDOCUMENTED CONDITIONS DISCOVERED DURING DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, AOR AND AHJ PRIOR TO PROCEEDING.



EXISTING FLOOR PLAN
SCALE: 1/4" = 1' - 0"



NOTE: NO CHANGE ON EXISTING ELEVATION

EXISTING ELEVATION PLAN
SCALE: 1/4" = 1' - 0"



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1281 E LA HABRA BLVD, UNIT 6,
LA HABRA, CA 90631

DRAWING TITLE

EXISTING FLOOR PLAN

REVISIONS	
DATE	NO.
	△

DATE:

DRAWN BY:

SCALE: AS NOTED

SHEET NO.

A-1.1

LEGEND: SCALE 1
N.T.S.

	ALL EXISTING WALL, NO CHANGE.		NEW WALL
	EXIT SIGN PROVIDE ILLUMINATED		TACTILE EXIT SIGN
	EXIT SIGN BACK-UP POWER 90 MIN.		TACTILE EXIT SIGN

OCCUPANCY LOAD CALCULATION : SCALE 2
N.T.S.

SECTION	AREA	OCCUPANCY LOAD	PLUMBING OL
KITCHEN	108 SQFT	O.L= 108/200=1	O.L= 108/200=1
DINING AREA	278 SQFT	O.L= 278/15=19	O.L= 278/30=10
SERVICE AREA	146 SQFT	O.L= 146/200=1	O.L= 146/200=1
RESTROOM	58 SQFT		
STORAGE	56 SQFT	O.L= 56/200=1	O.L= 56/200=1
HALLWAY	254 SQFT		
TOTAL AREA	900 SQFT	TOTAL O.L=22	TOTAL O.L=12

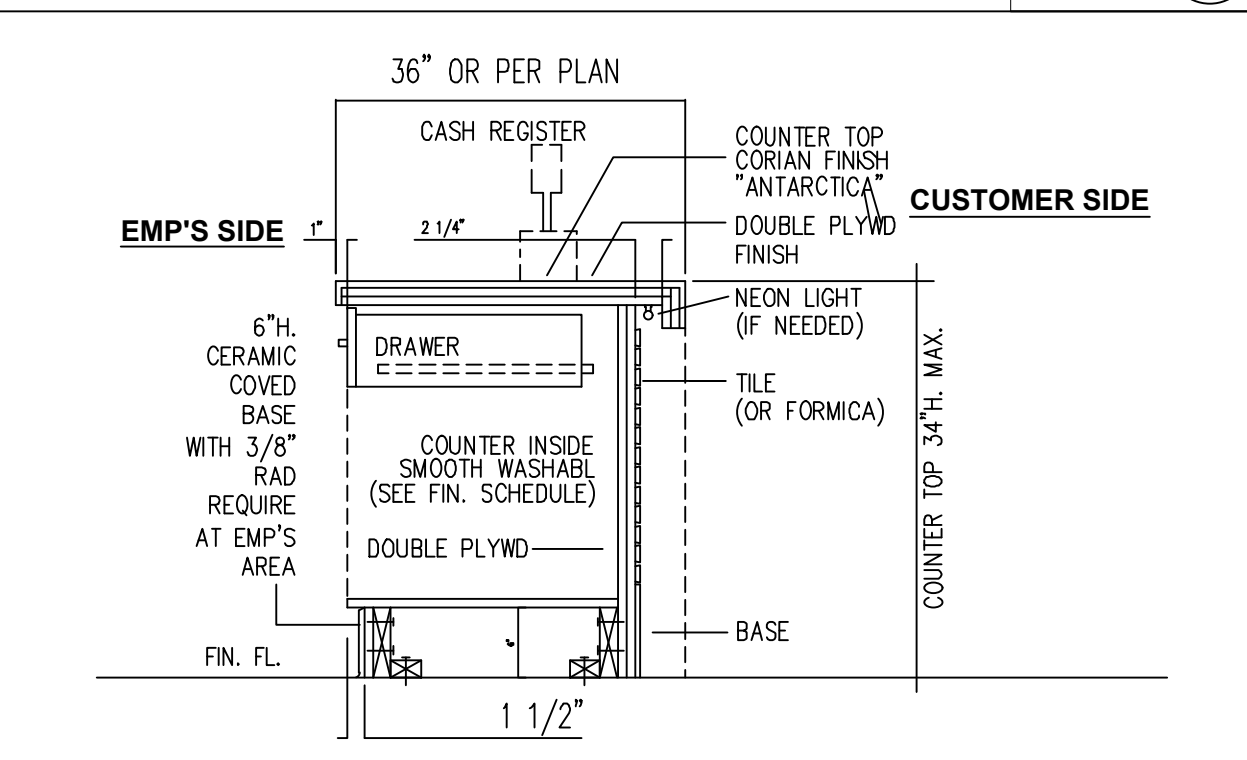
PLUMBING FACILITIES PER TABLE 422.1 SCALE 3
N.T.S.

The total occupant load shall be determined by minimum exiting requirements. The minimum number of fixtures shall be calculated at fifty (50) percent male and fifty (50) percent female based on the total occupant load.

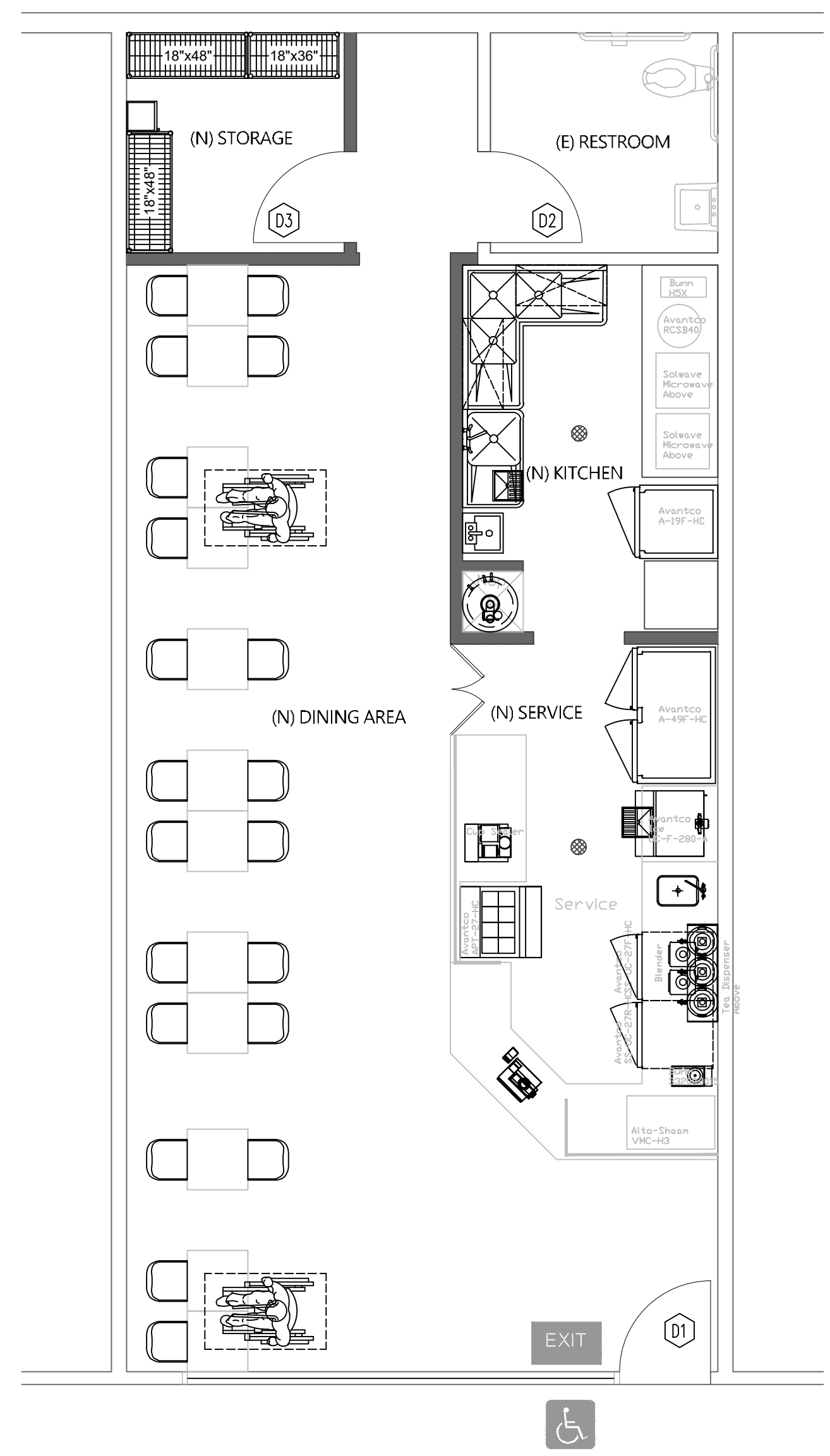
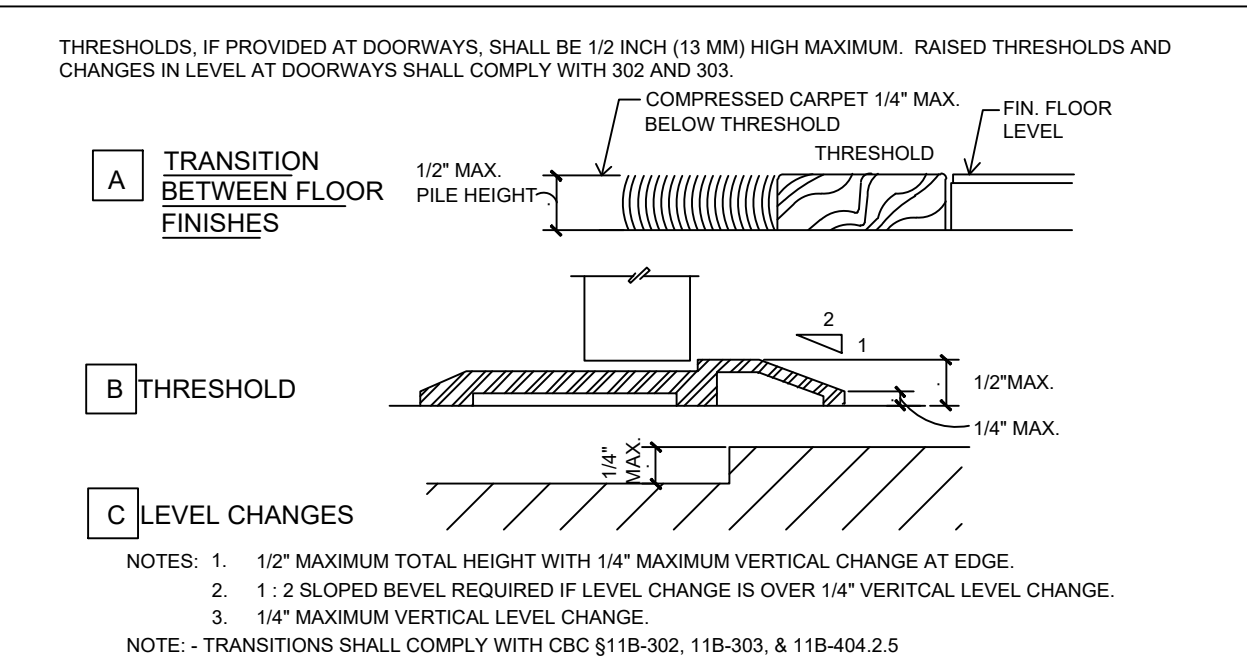
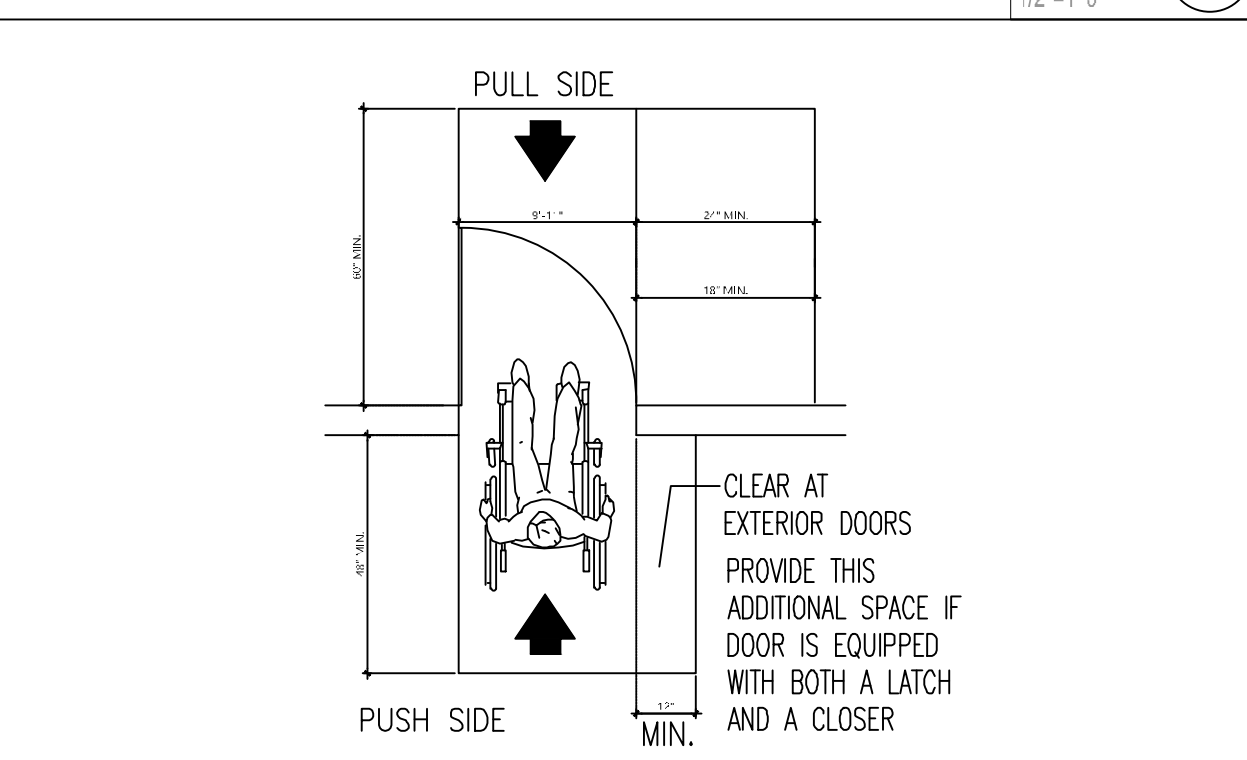
MALE: 357/2=179
FEMALE: 357/2=179

TYPE OF BUILDING OR OCCUPANCY	WATER CLOSETS (FIXTURES PER PERSON)	URINAL (FIXTURES PER PERSON)	LAVATORIES (FIXTURES PER PERSON)
MERCHANTILE OCCUPANCY	MALE FEMALE	MALE FEMALE	MALE FEMALE
A-2	2:101-200 2:101-200	0:1-200 0:1-200	1:1-200 1:1-200

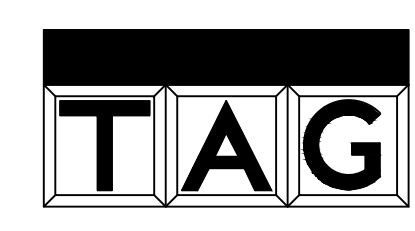
COUNTER DETAIL SCALE 4
1/2"=1'-0"



FRONT APPROACH SCALE 5
1/2"=1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



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1281 E LA HABRA BLVD, UNIT 6,
LA HABRA, CA 90631

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PROPOSED FLOOR PLAN

REVISIONS	DATE	NO.

DATE: _____
DRAWN BY: _____
SCALE: AS NOTED
SHEET NO.

A-1.2

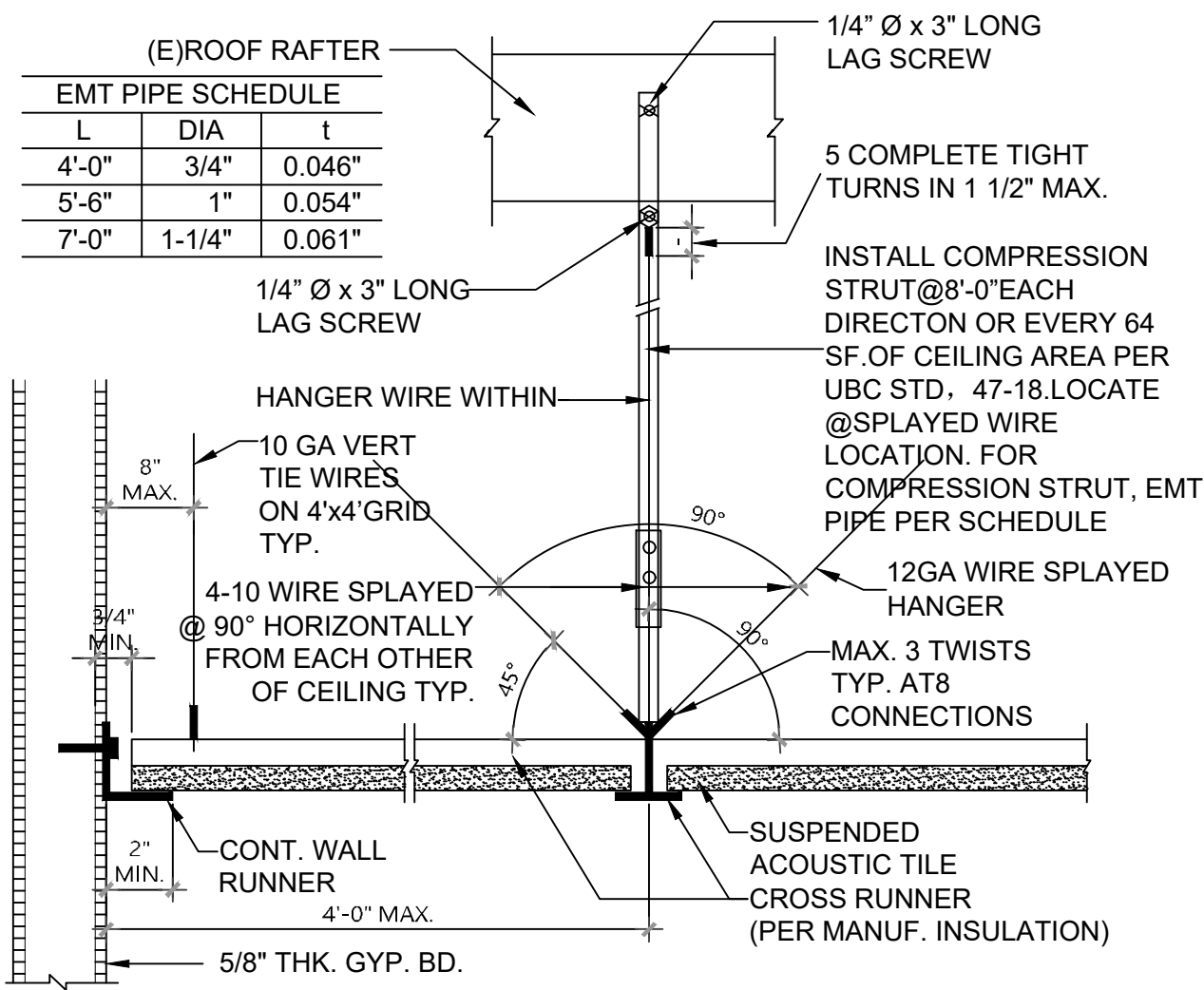
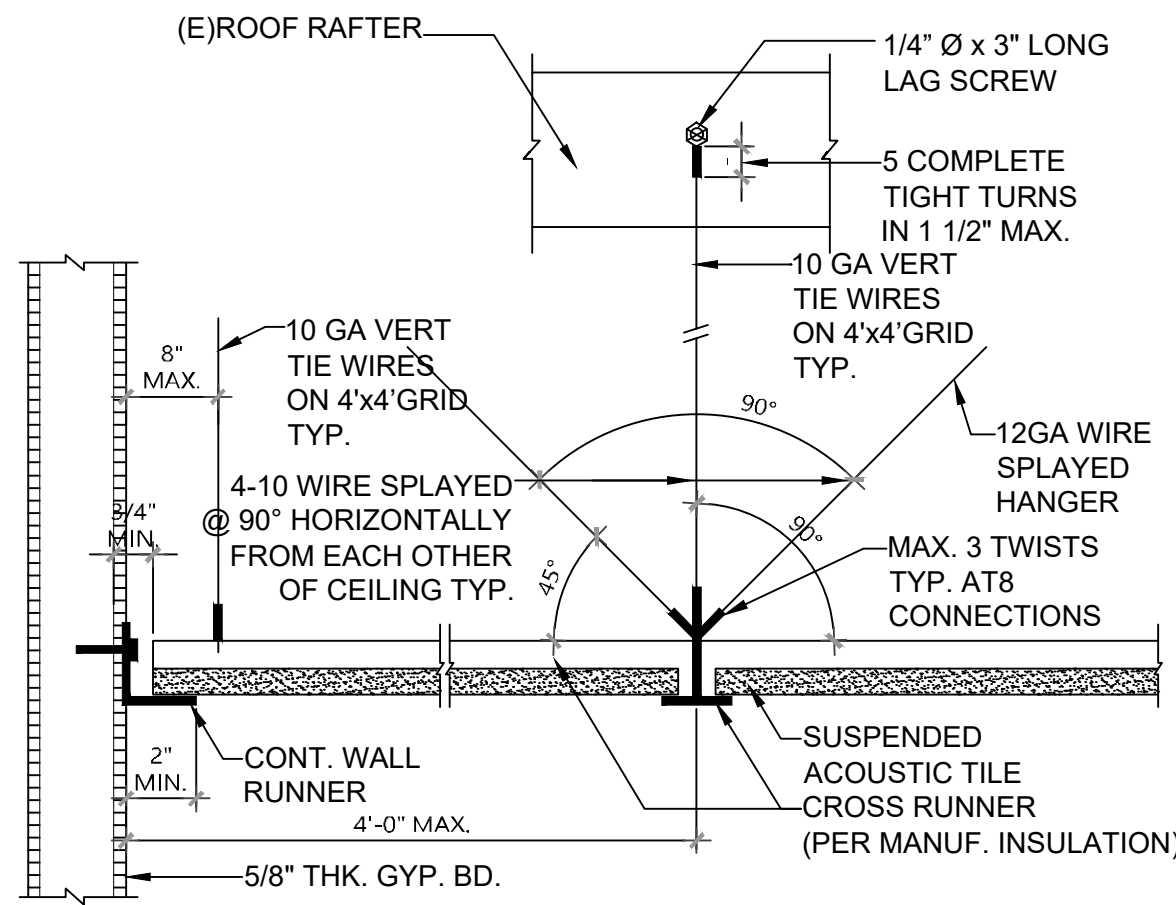
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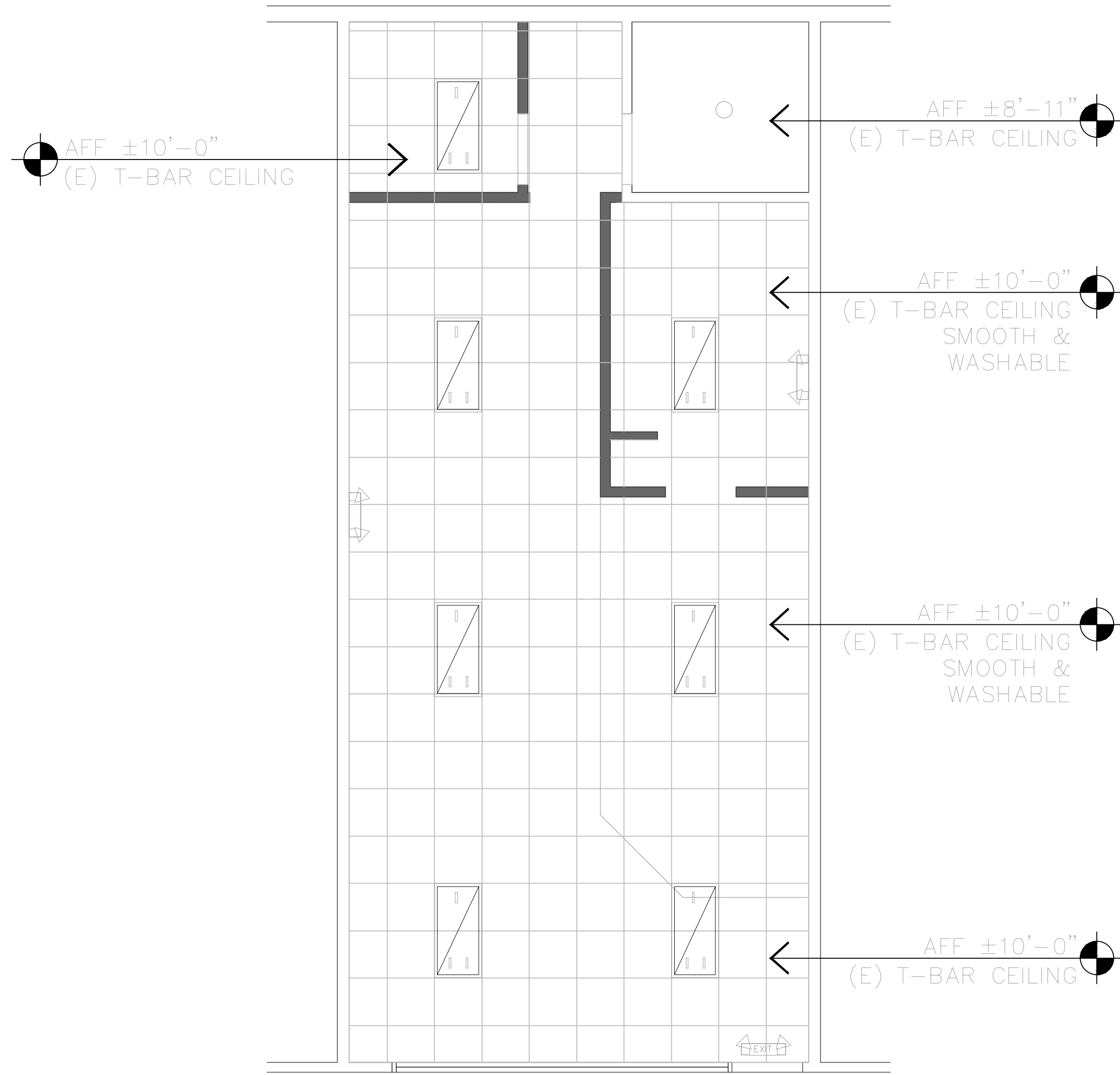
SHEET NO.



T-BAR CEILING DETAIL

GENERAL NOTE:

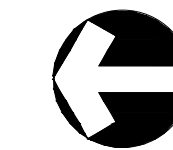
1. OPEN KITCHEN COMPLIES WITH CBC 104.11 EQUIVALENCY METHOD VIA UL 710TYPE I HOOD/ANSUL R-102 SYSTEM PER NFPA 96. KITCHEN EQUIPMENT LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO COORDINATION WITH OWNER-SUPPLIED VENDOR AND MECHANICAL/FIRE SUPPRESSION CONSULTANTS. ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR FINAL EQUIPMENT SELECTION, EXHAUST ROUTING, OR CODE COMPLIANCE OF PROPRIETARY APPLIANCES.
2. FOR MECHANICAL, REFER TO MEP DRAWINGS FOR DESIGN AND INSTALLATION INFORMATION.
3. FIRE SUPPRESSION DESIGN AND DRAWINGS TO BE PROVIDED BY GENERAL CONTRACTOR.
4. CEILING SUSPENSION SYSTEM SHOWN IS DIAGRAMMATIC ONLY. FINAL STRUCTURAL SUPPORT AND SEISMIC DESIGN TO BE REVIEWED AND APPROVED BY LICENSED STRUCTURAL ENGINEER. ARCHITECT OF RECORD ASSUMES NO RESPONSIBILITY FOR STRUCTURAL CALCULATIONS OR CONNECTION DESIGN.



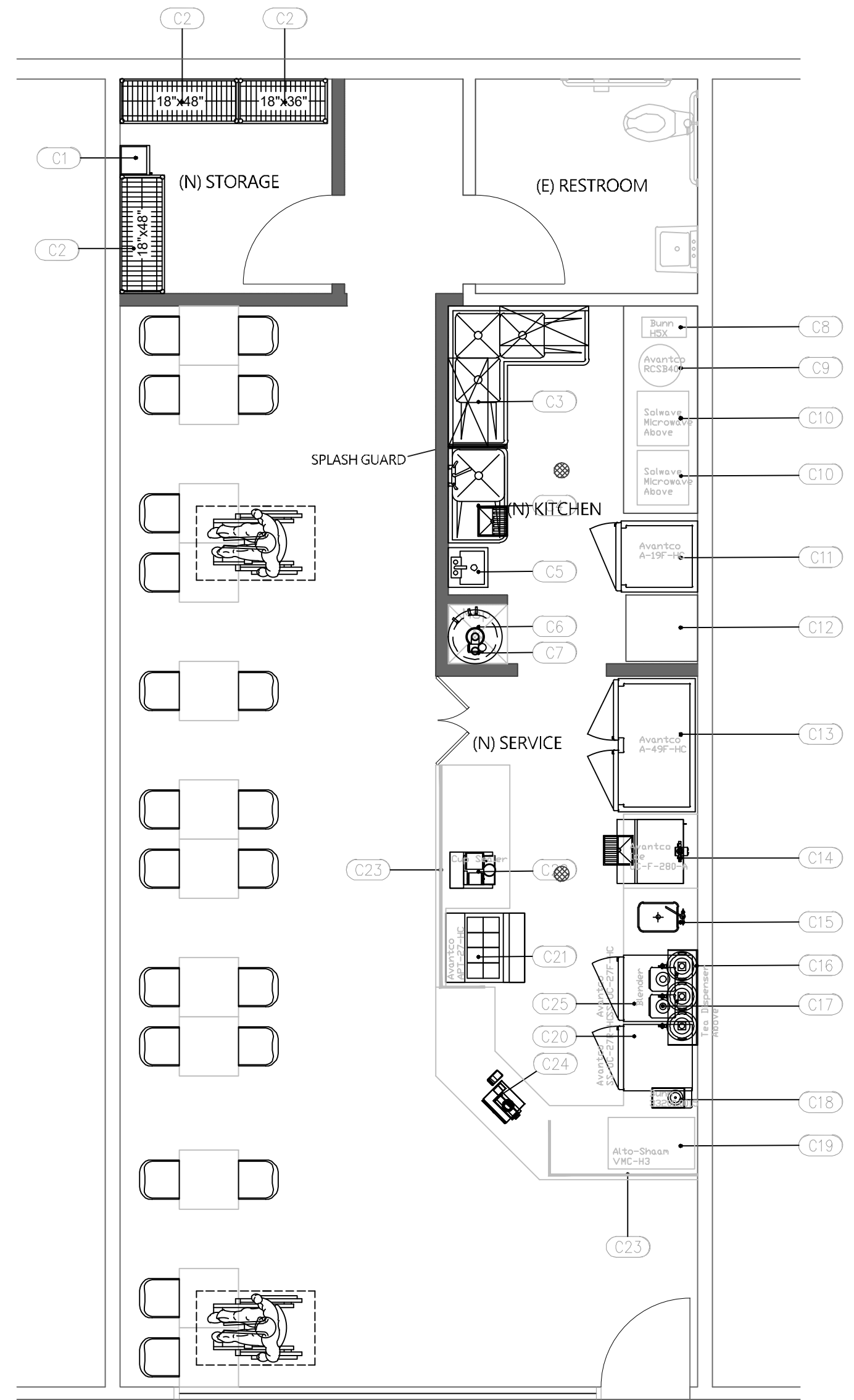
NOTE: NO CHANGE ON EXISTING CEILING AND LIGHTING

REFLECTED CEILING PLAN

SCALE: 1/4" = 1' - 0"



LIGHT FIXTURE SCHEDULE								
ITEM NO.	HOUSING/ FIXTURE MODEL NO.	SYMBOL	QTS	LIGHT BULB/ TYPE MODEL NO.	WATT/ FIXTURE	REMARKS	SUPPLIED BY	INSTALLED BY
A	PROGRESS LIGHTING P8080-28-30K	⊕	1	BRAND: PROGRESS LIGHTING ONE LIGHT LED RECESS	9 W	4" LED RECESS DOWN LIGHT (WITH SHATTERPROOF LENSE COVER OVER FOOD PREP AREA) (G.C. TO PROVIDE DIMMER)	G.C.	ELECTRICAL CONTRACTOR
B	LED FLAT PANEL EDGE LIT MLFP SERIES G2	⊞	7	MLFP SERIES G2 2X4	40 W	2' X 4' RECESS MOUNTED LED LIGHT FIXTURE W/SHATTERPROOF LENSE COVER	G.C.	ELECTRICAL CONTRACTOR
D	NORA LIGHTING NEX-709-LED (GREEN)	⬆️	1	(2) 5W, MR16	10 W	UNIVERSAL MT. EXIT SIGN W/ EMERGENCY ADJ. BEVELED DUAL ROUND HEAD (ARROW INDICATES DIRECTION OF EXIT). (BATTERY OPERATION DURING THE POWER LOSS W/90 MIN. BATTERY BACK-UP)	G.C.	ELECTRICAL CONTRACTOR
E	NORA LIGHTING NE-805	⬆️	2	(2) 5W, MR16	10 W	BEVELED DUAL ROUND HEAD EMERGENCY LIGHT (BATTERY OPERATION DURING THE POWER LOSS W/90 MIN. BATTERY BACK-UP)	G.C.	ELECTRICAL CONTRACTOR



EQUIPMENT FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

EQUIPMENT SCHEDULE

NO.	QTY.	EQUIPMENT DESCRIPTION	EX	NEW	MANUFACTURER	MODEL NO.	ELECTRICAL					PLUMBING			REMARKS
							VOLT	AMP	HP	PH	HZ	COLD	HOT	WASTE	
C01	1	EMPLOYEE LOCKER 6 TIER WITH 6" METAL LEG		●	GSW	EL-6DR									
C02	3	S.S. DRY STORAGE SHELVING 96 LIN FT MIN. MIN 5 TIERS WITH 6" METAL LEG		●	ULINE	H-4260									
C03	1	CONNER 3-COMP SINK WITH BOTH SIDE 18" DRAIN BOARD (DRAIN TO F.S.)		●	REGENCY	1848C					1/2"	1/2"			
C04	1	PREP SINK WITH LEFT SIDE 18" DRAIN BOARD (DRAIN TO F.S.)		●	ULINE	H-9652R					1/2"	1/2"			
C05	1	HAND SINK WITH SOAP & PAPER DISPENSER & SIDE SPLASH GUARD		●	REGENCY	600HS17SPDST					1/2"	1/2"			
C06	1	GAS WATER HEATER (BTU)(DRAIN TO M.S.)		●	AMERICAN STANDARD	D-76-76 AS					1/2"	1/2"	M.S.	76,000BTU	
C07	1	MOP SINK WITH CHEMICAL SHELF & EQUIPMENTS RACK		●	ADVANCE TABCO	9-OP-24					1/2"	1/2"	2"	W BACKFLOW PROVEN DEVICE	
C08	1	WATER BROILER		●	BUNN	H5X	208	19.5A			1/2"				
C09	1	ELECTRIC RICE COOLER/WARMER		●	AVANTCO	RCSB40	120								
C10	1	MICROWAVE		●	SOLWAVE	180MW1000SS	120	8.3A		1	60				
C11	1	SOLID DOOR REACH-IN FREEZER (SELF CONTAINED)		●	AVANTCO	A-19F-HC	115	3.8A	3/5	1	60				
C12	1	STAINLESS STEEL WORK TABLE		●	EAGLE	CUSTOM									
C13	1	SOLID DOOR REACH-IN FREEZER (SELF CONTAINED)		●	AVANTCO	A-49F-HC	115	8.5A	12/7	1	60				
C14	1	UNDERCOURTER FULL CUBE ICE MACHINE (DRAIN TO F.S.)		●	AVANTCO	UC-F-280-A	115	8.6A		1	60	1/2"			
C15	1	PREP SINK (DRAIN TO F.S.)		●	KRAUS	KHS230-32					1/2"	1/2"			
C16	1	TEA DISPENSER		●	BUNN	TDS-3.5									
C17	1	BLENDER		●	VITAMIX	062828	120	11.5A			60				
C18	1	BUNN 33200.0015 COFFEE BREWER		●	BUNN	VPR-VPS	120	13.1A		1	60				

EQUIPMENT SCHEDULE

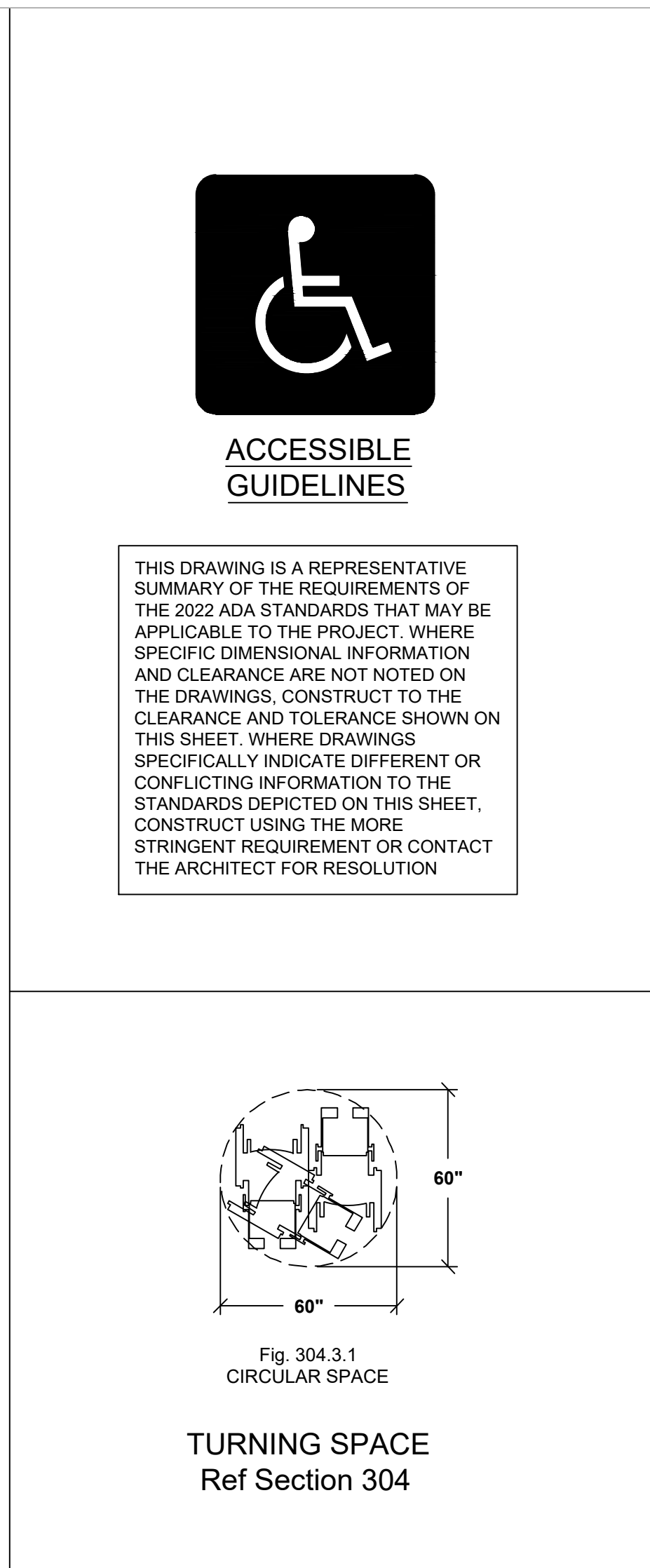
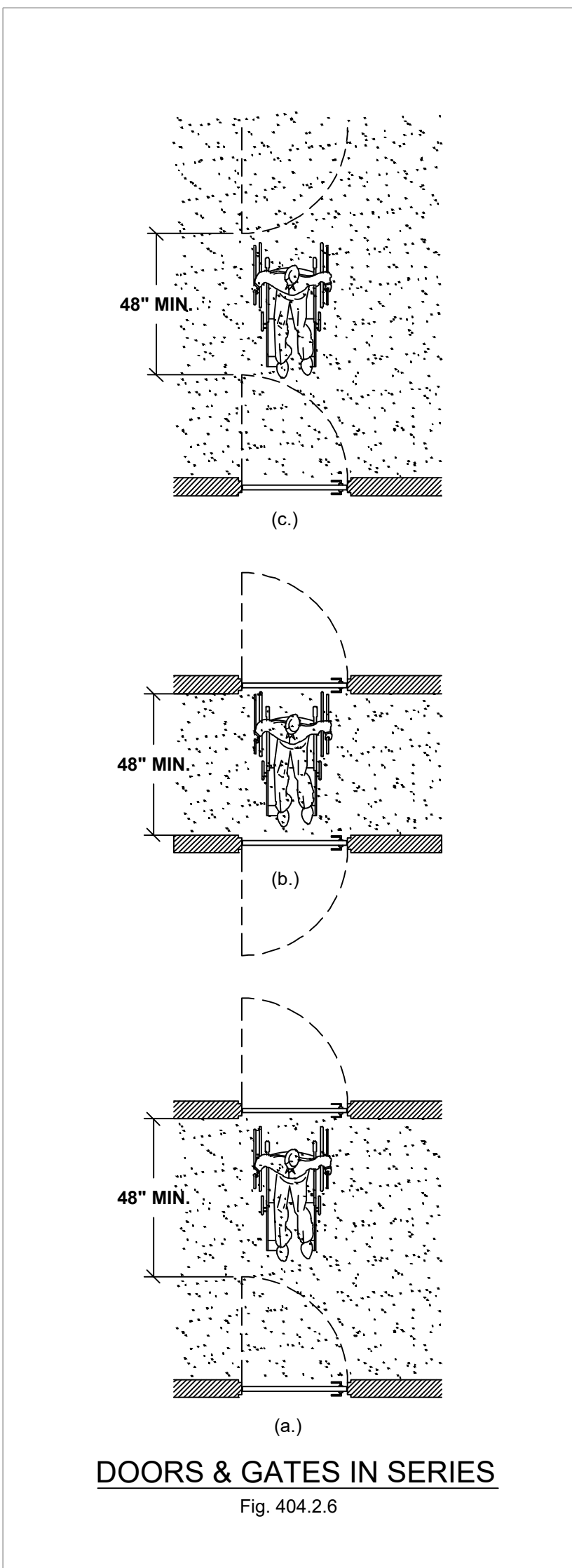
NO.	QTY.	EQUIPMENT DESCRIPTION	EX	NEW	MANUFACTURER	MODEL NO.	ELECTRICAL					PLUMBING			REMARKS
							VOLT	AMP	BREACK.	PH	HZ	COLD	HOT	WASTE	
C19	1	ELECTRICAL OVEN		●	ALTO-SHAAM	VMC-H3	208	38A	50	1	60				
C20	1	UNDERCOUNTER REFRIGERATOR (SELF CONTAINED)		●	AVANTCO	SS-UC-27R-HC	115	2.2A		1	60				
C21	1	REFRIGERATED SANDWICH PREP TABLE (SELF CONTAINED)		●	AVANTCO	APT-27-HC	115	3.6A		1	60				
C22	1	CUP SEALING MACHINE		●	VEVOR	90/95mm PE/PP/PET	220				50				
C23	1	SNEEZE GUARD GLASS		●	ADM	WY-680									
C24	1	CASHIER		●											
C25	1	UNDERCOUNTER FREEZER (SELF CONTAINED)		●	AVANTCO	SS-UC-27F-HC	115	3.6A		1	60				

REVISIONS	
DATE	NO.
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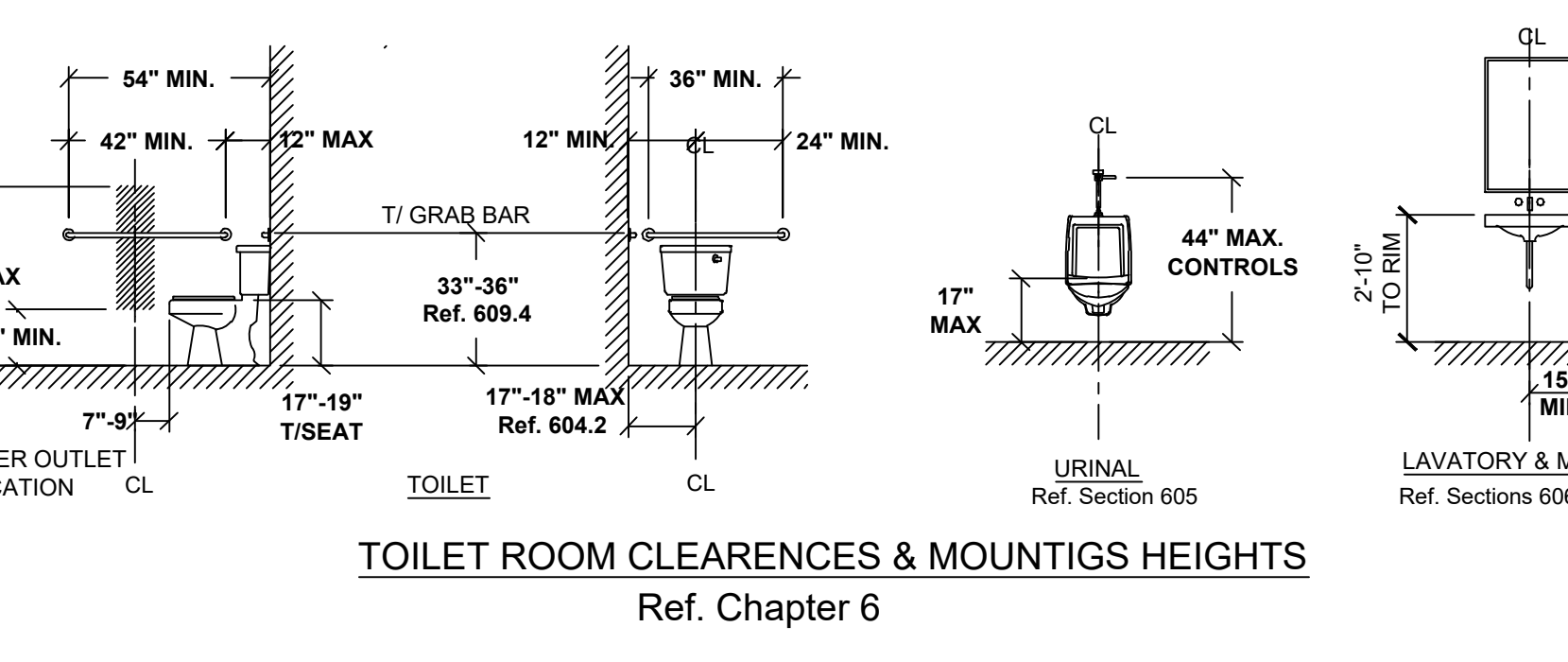
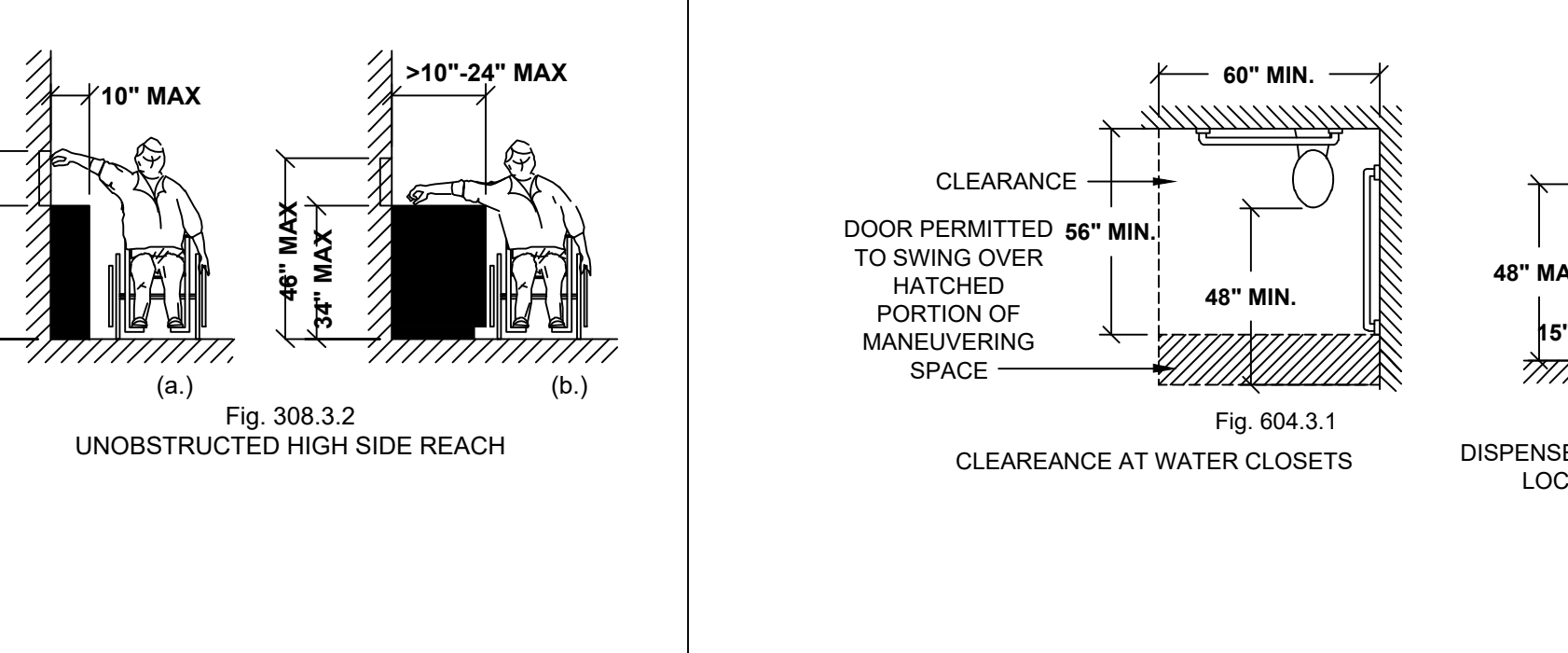
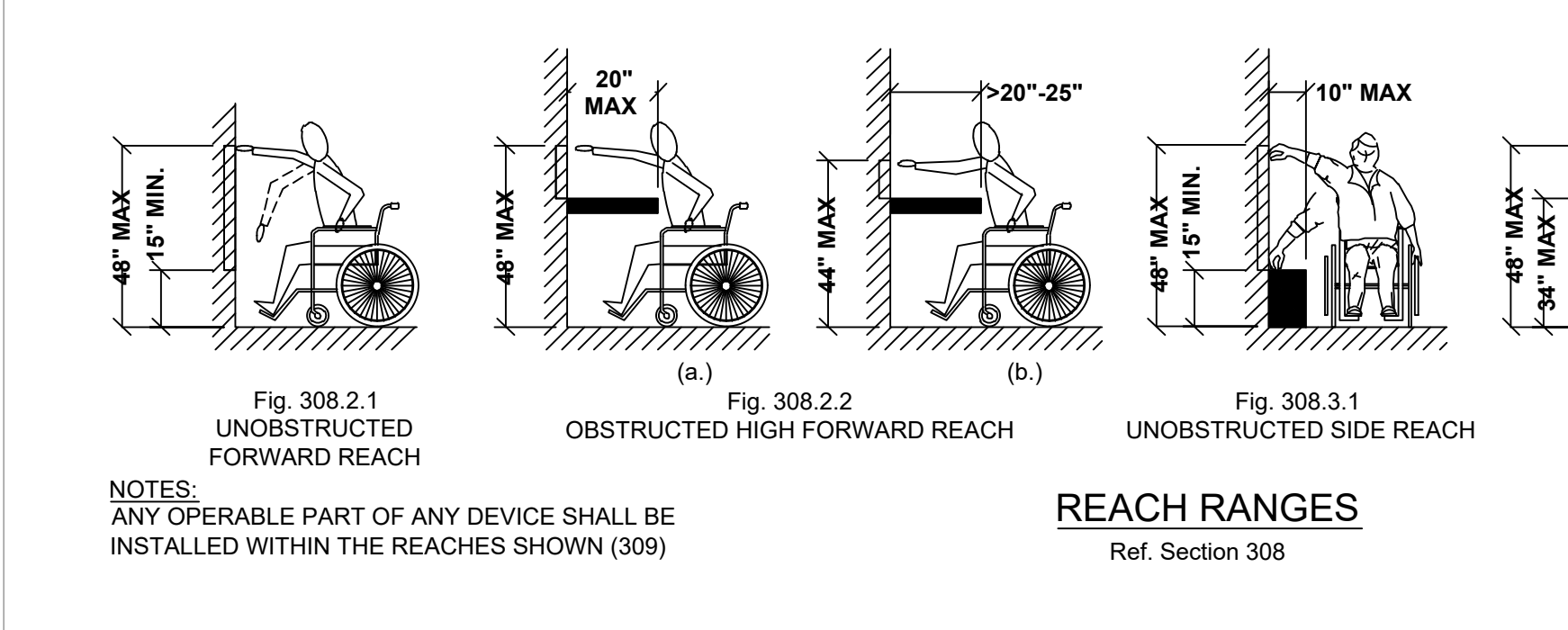
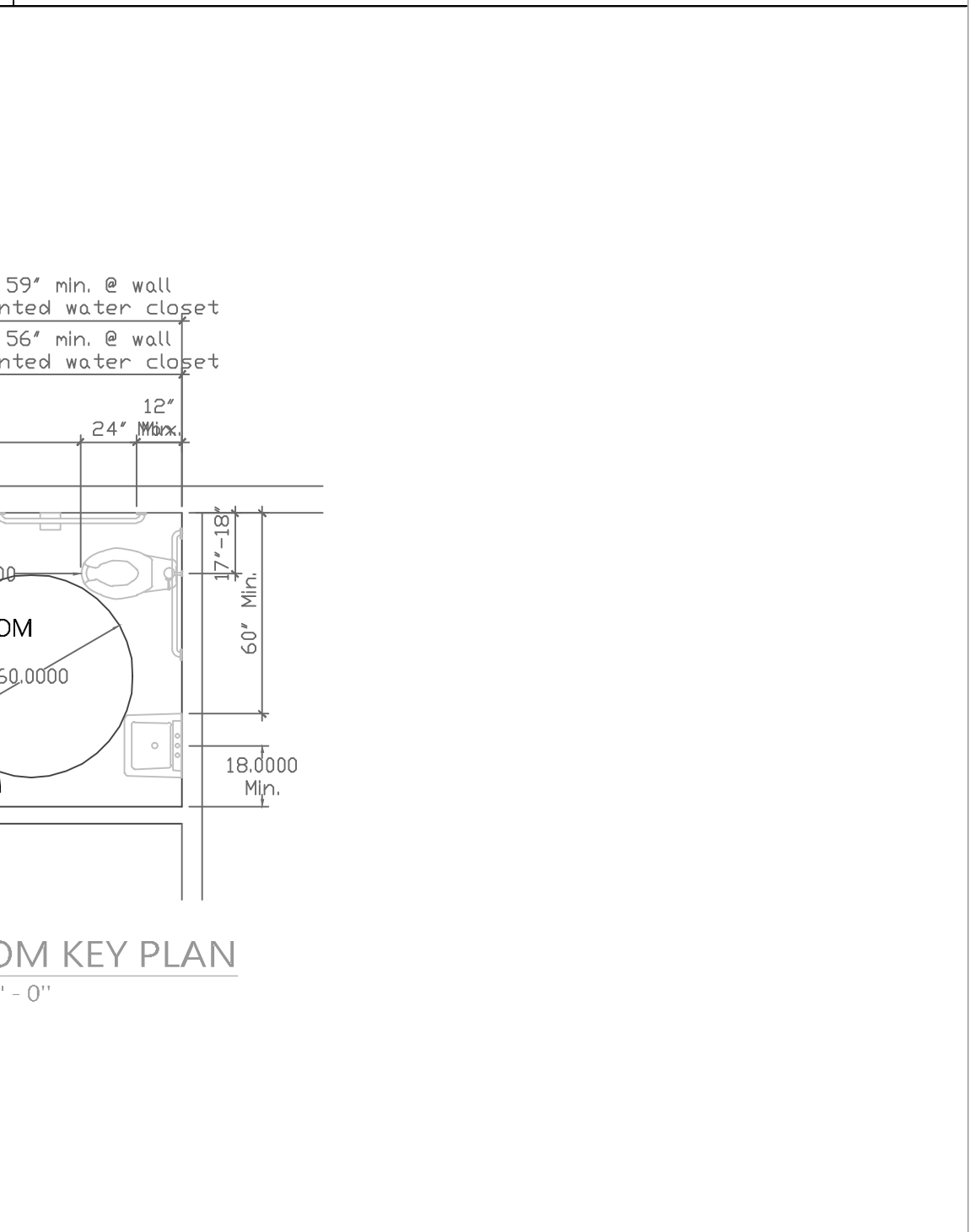
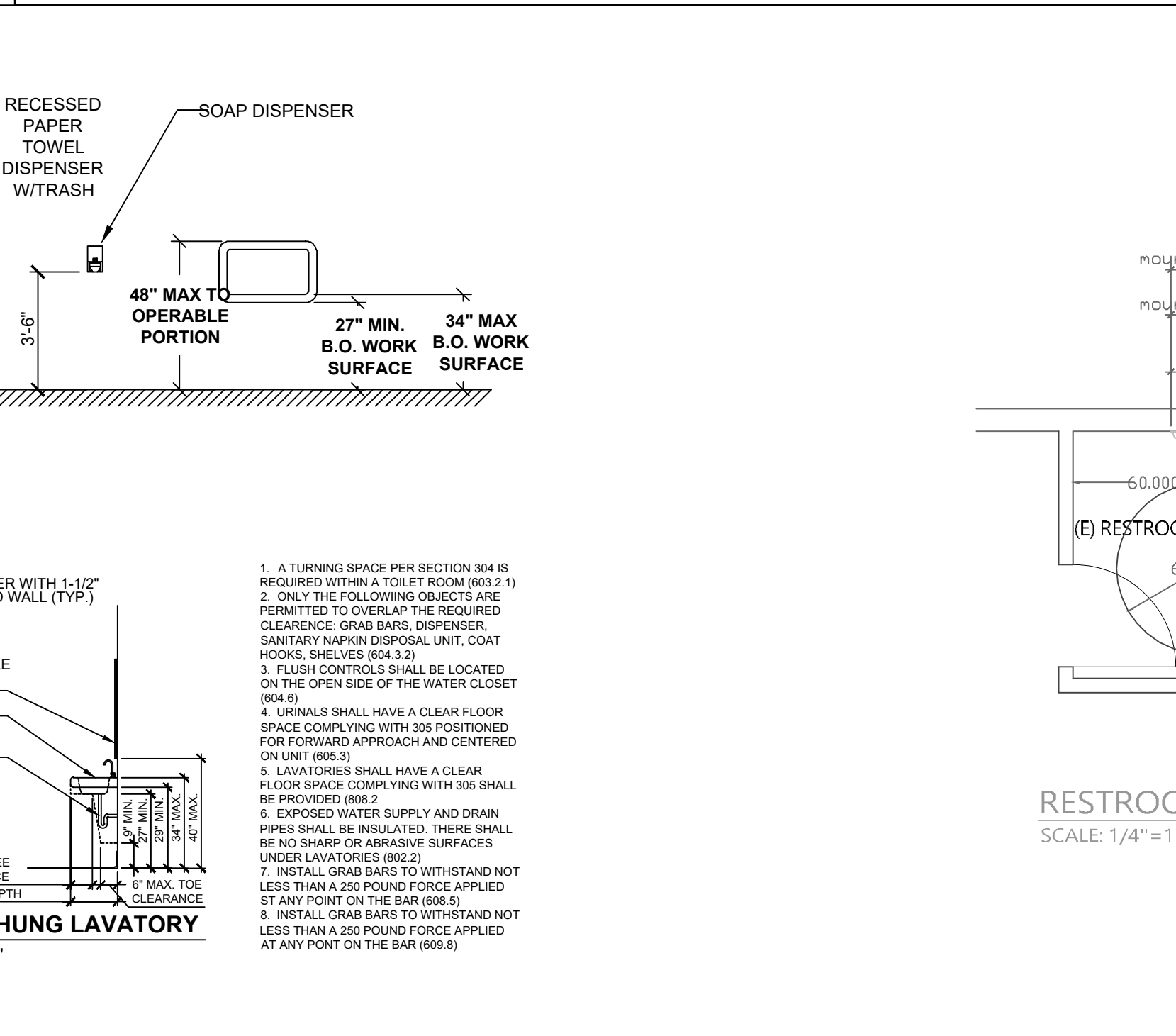
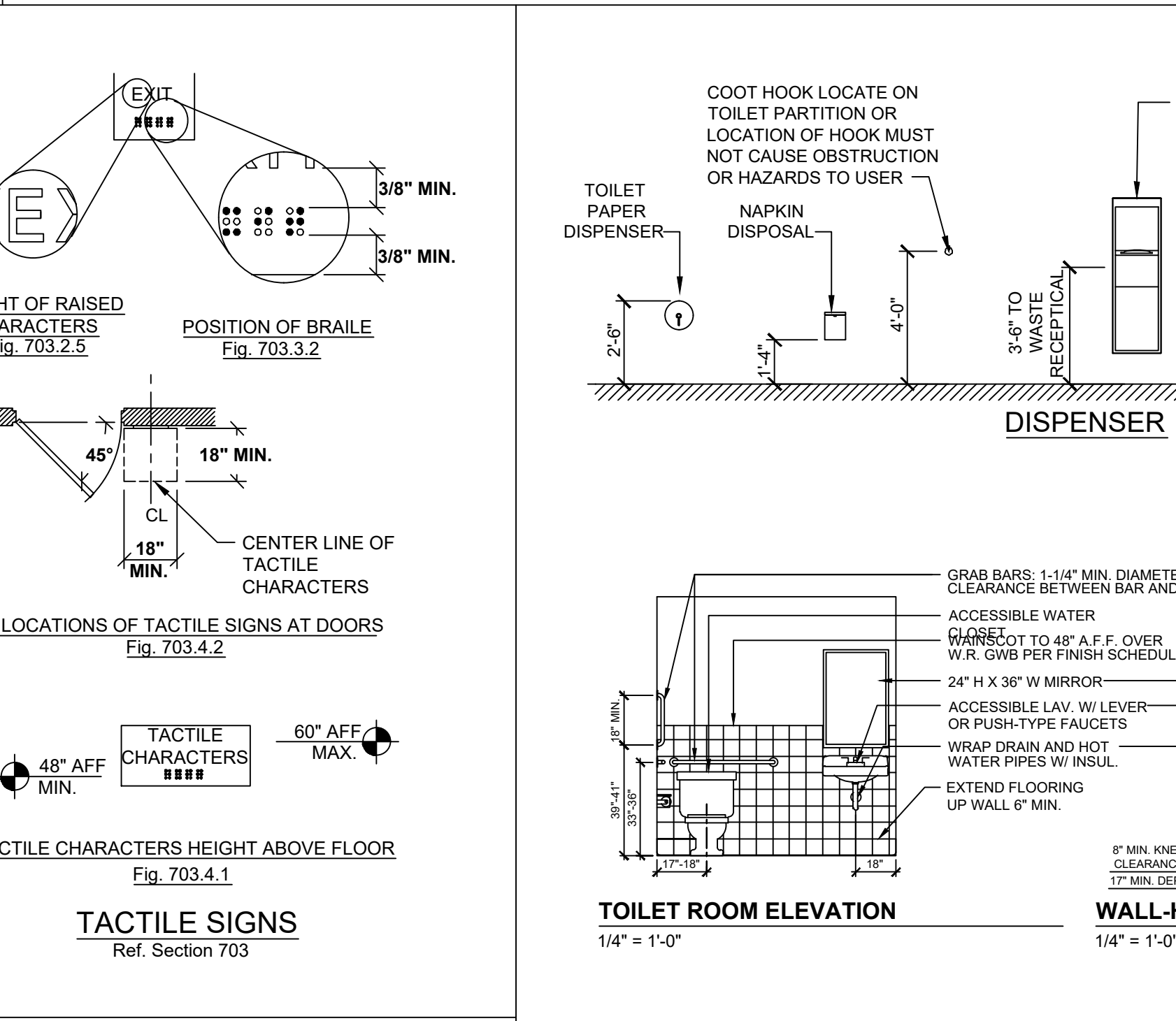
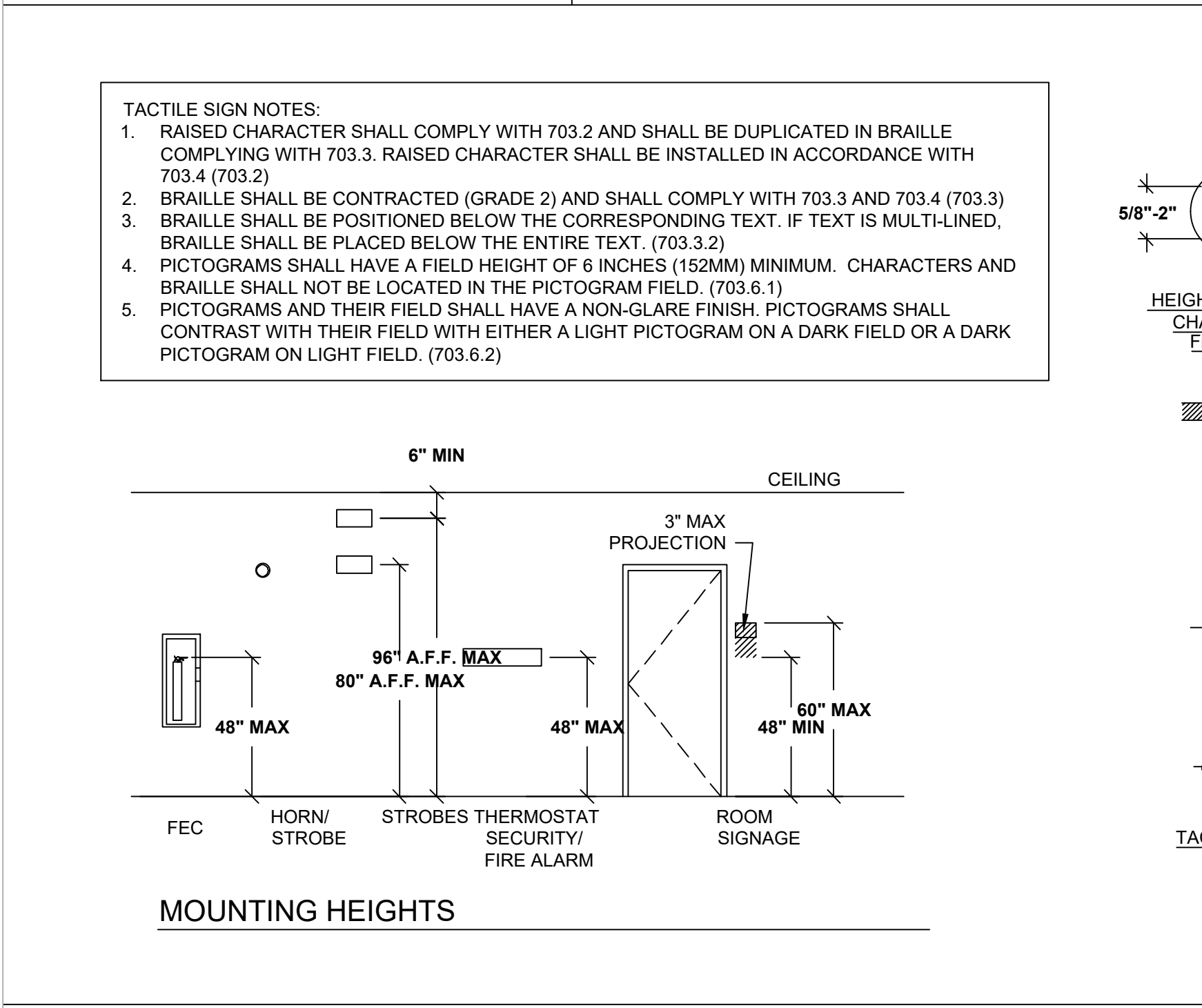
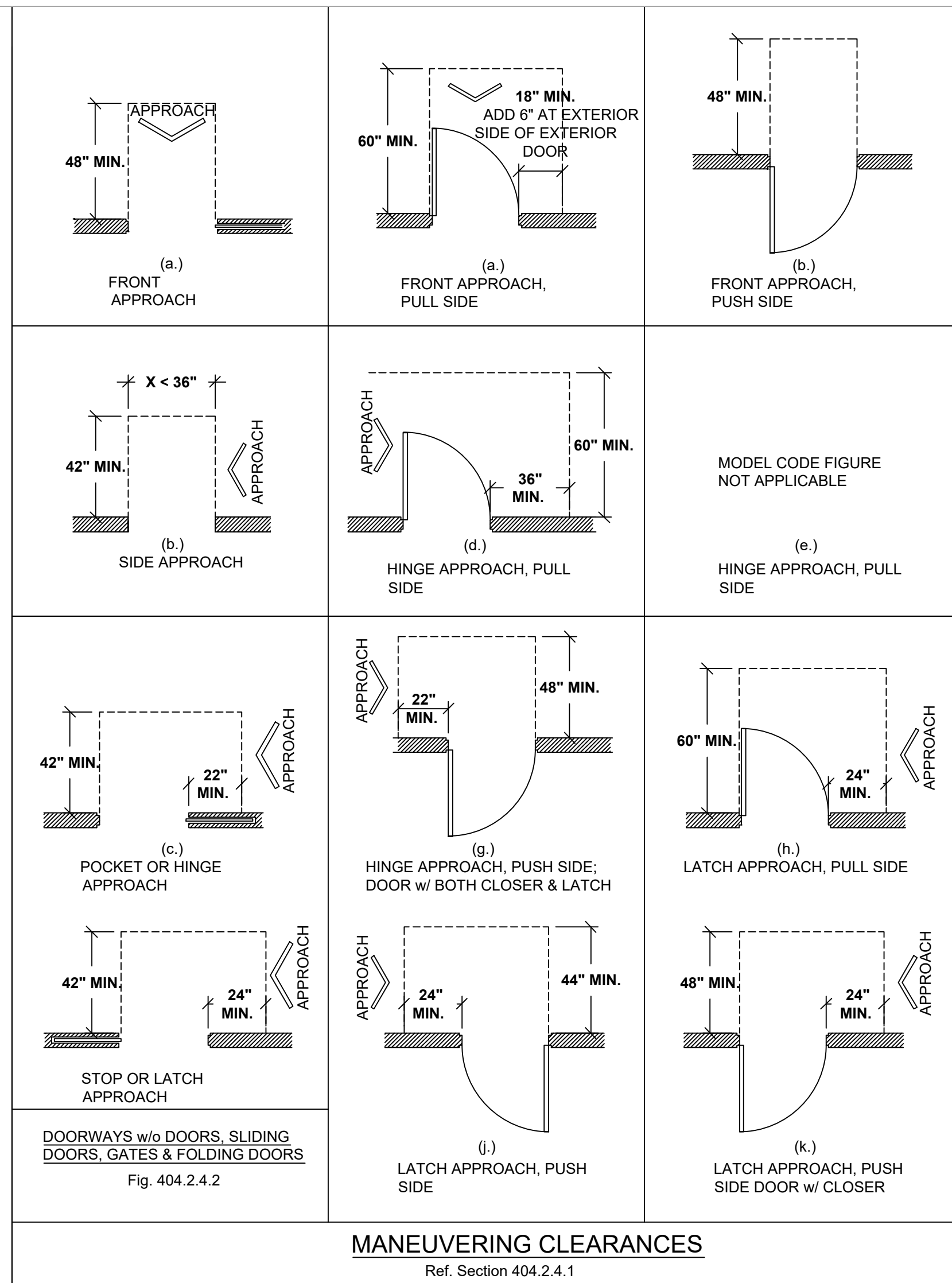
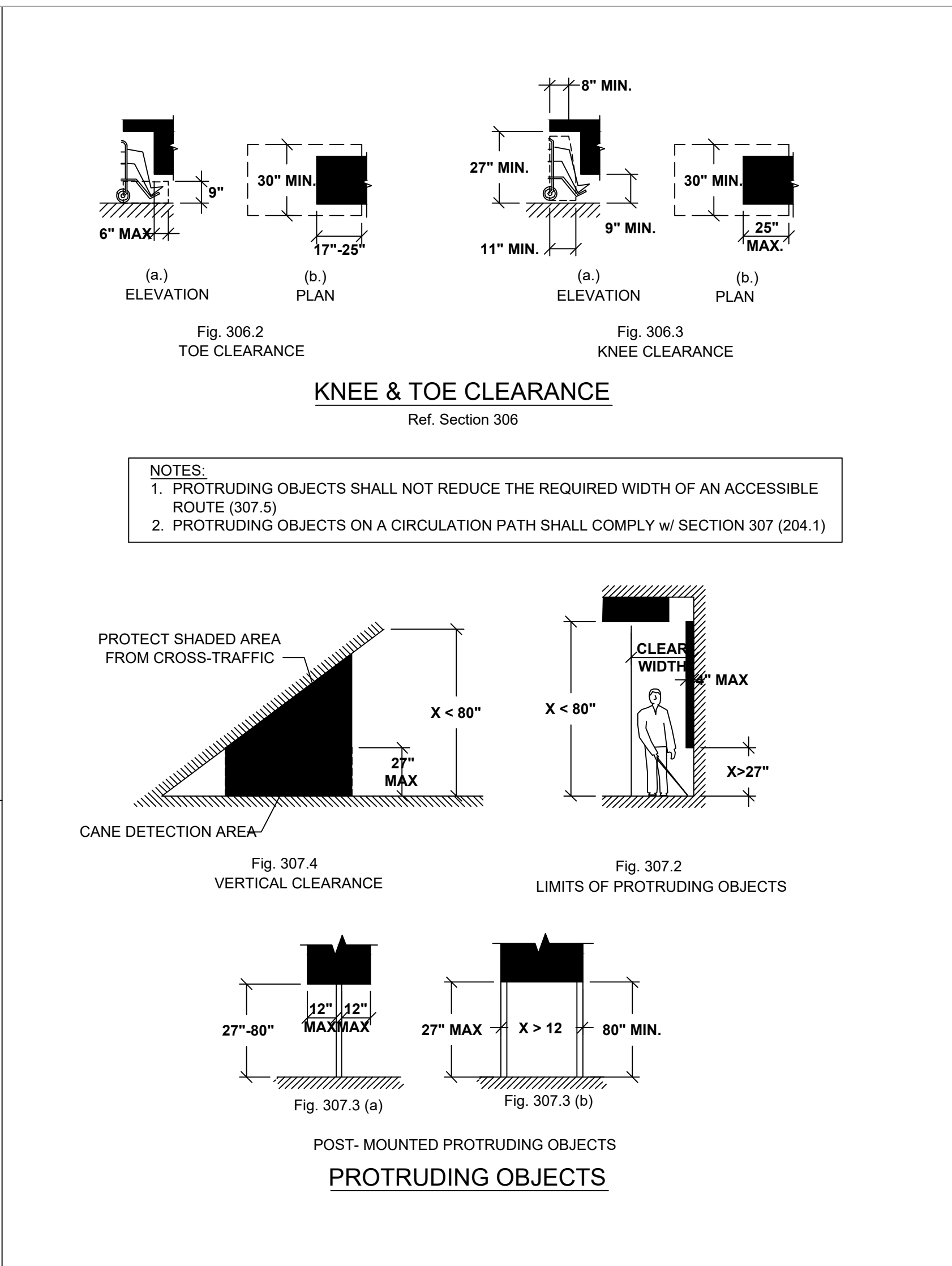
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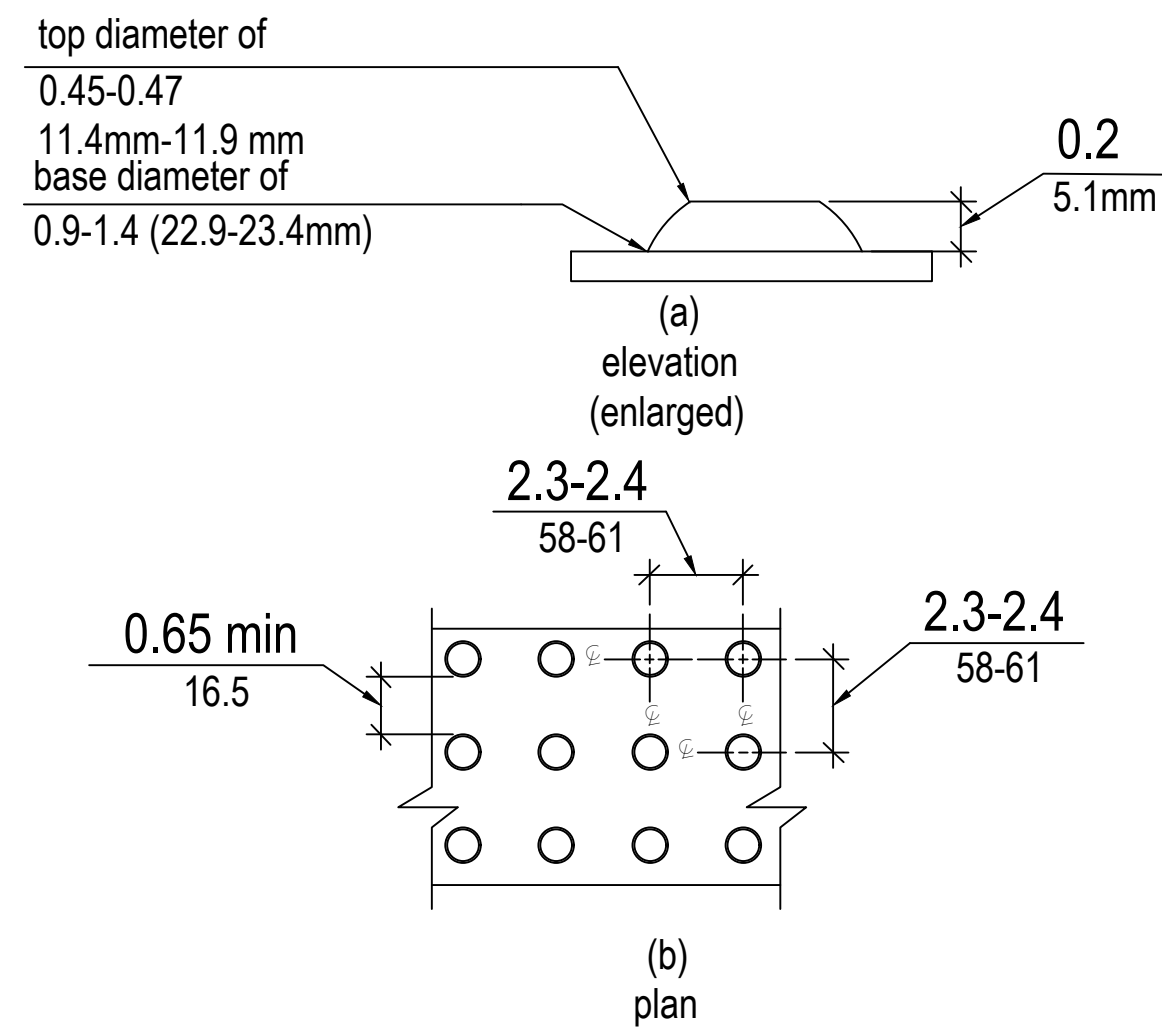
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DATE: _____
 DRAWN BY: _____
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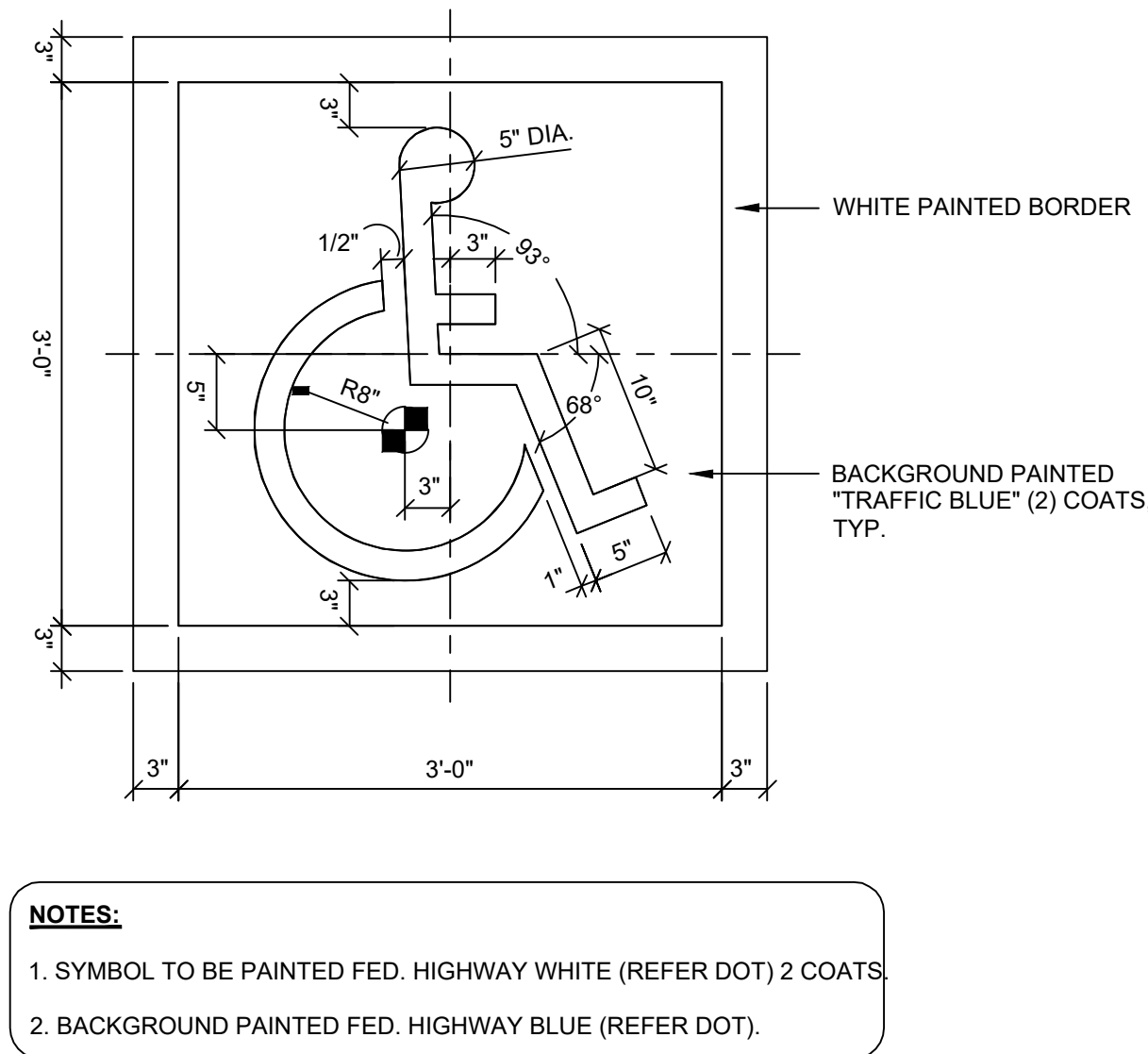
THIS DRAWING IS A REPRESENTATIVE SUMMARY OF THE REQUIREMENTS OF THE 2022 ADA STANDARDS THAT MAY BE APPLICABLE TO THE PROJECT. WHERE SPECIFIC DIMENSIONAL INFORMATION AND CLEARANCE ARE NOT NOTED ON THE DRAWINGS, CONSTRUCT TO THE CLEARANCE AND TOLERANCES SHOWN ON THIS SHEET. WHERE DRAWINGS SPECIFICALLY INDICATE DIFFERENT OR CONFLICTING INFORMATION TO THE STANDARDS DEPICTED ON THIS SHEET, CONSTRUCT USING THE MORE STRINGENT REQUIREMENT OR CONTACT THE ARCHITECT FOR RESOLUTION





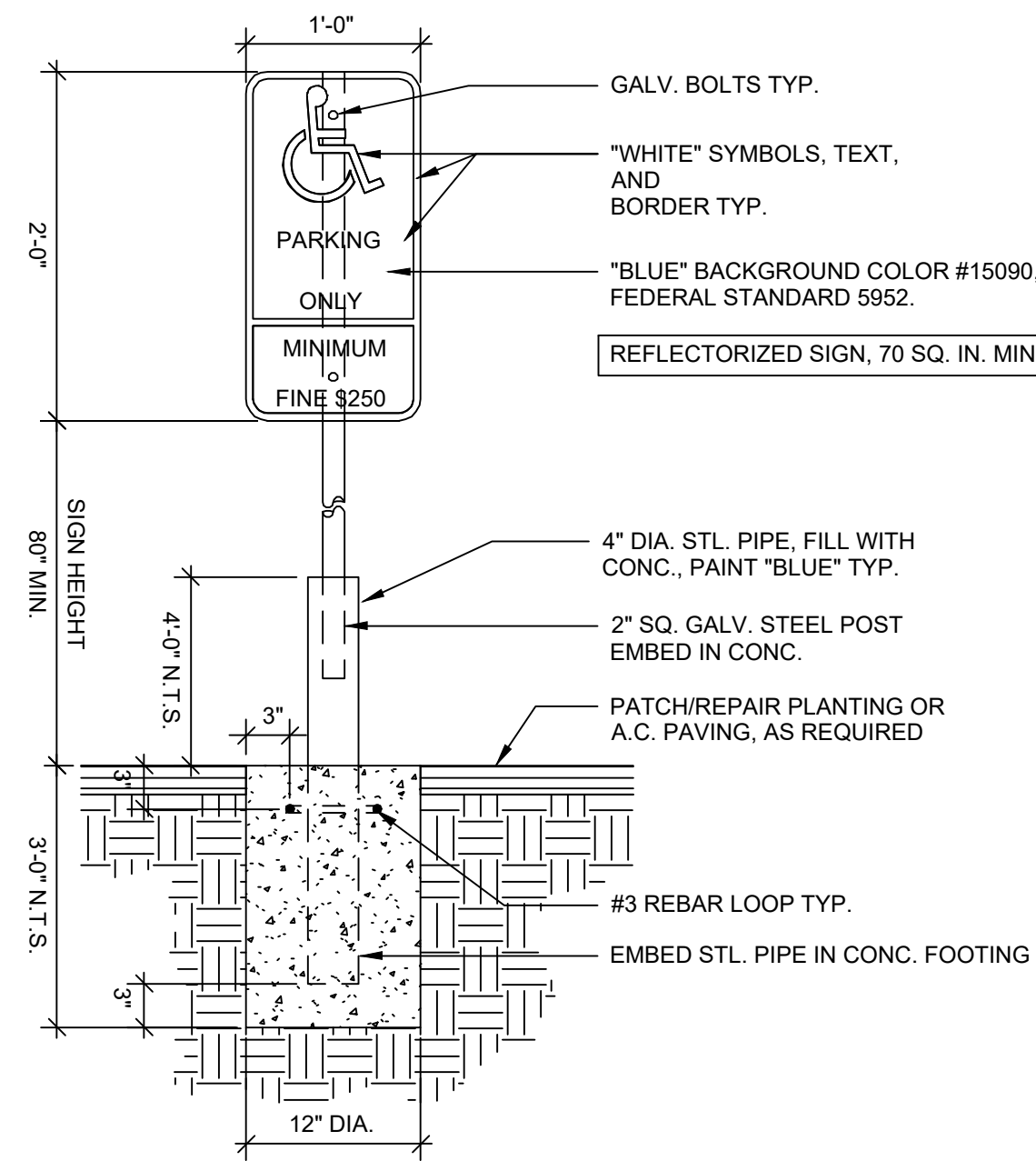
TRUNCATED DOMES

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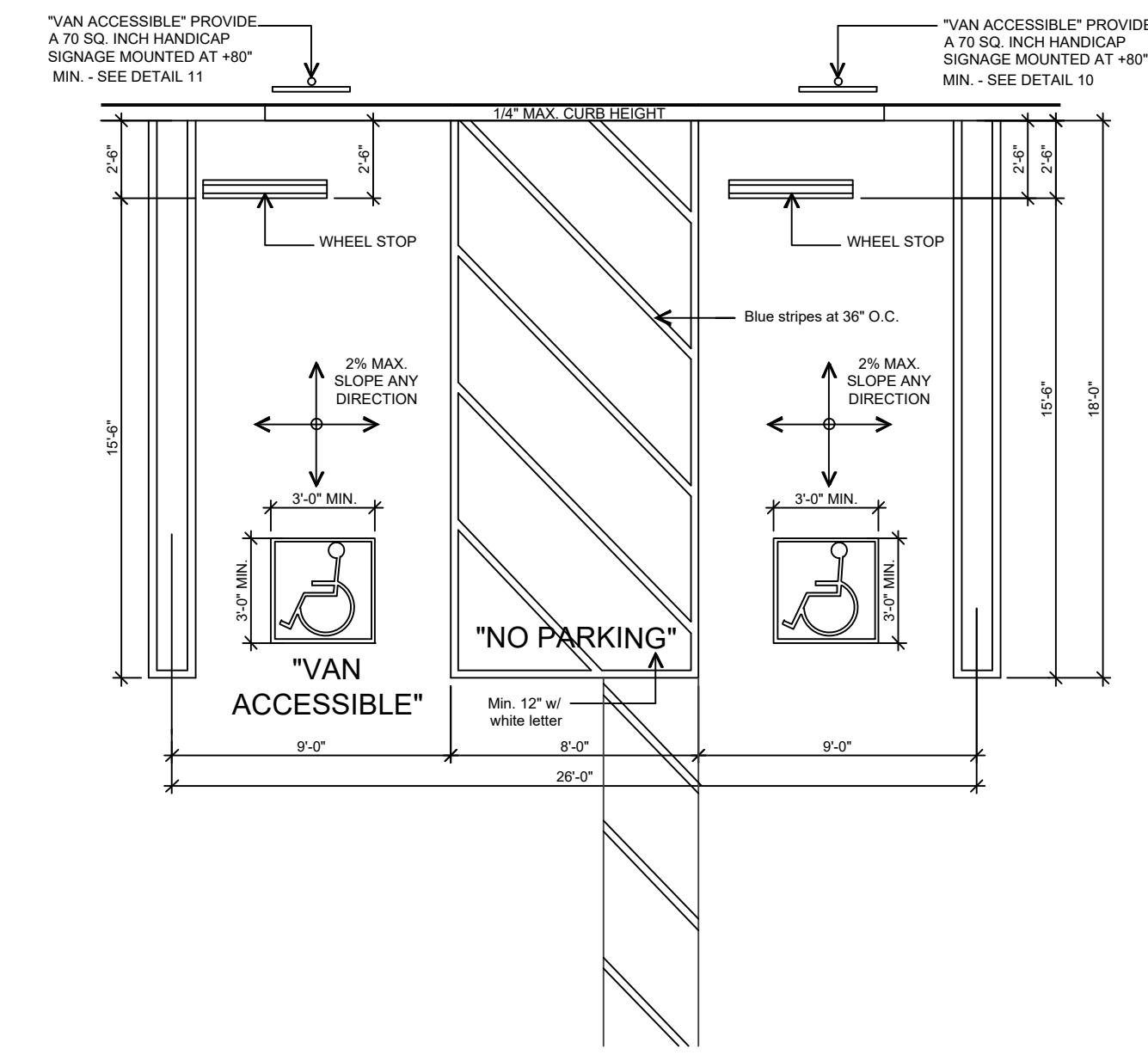
DISABLED SYMBOL

N.T.S.



DISABLED PARKING SIGN

N.T.S.



11B-502.6 IDENTIFICATION. PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 IN WHITE ON A BLUE BACKGROUND. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE 60 INCHES (1524 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. EXCEPTION: SIGNS LOCATED WITHIN A CIRCULATION PATH SHALL BE A MINIMUM OF 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

11B-502.1 GENERAL. CAR AND VAN PARKING SPACES SHALL COMPLY WITH SECTION 11B-502. WHERE PARKING SPACES ARE MARKED WITH LINES, WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE MARKINGS.

11B-502.2 VEHICLE SPACES. CAR AND VAN PARKING SPACES SHALL BE 216 INCHES (5486 MM) LONG MINIMUM. CAR PARKING SPACES SHALL BE 108 INCHES (2743 MM) WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 144 INCHES (3658 MM) WIDE MINIMUM. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS AISLE COMPLYING WITH SECTION 11B-502.3. EXCEPTION: VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (2743 MM) WIDE MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES (2438 MM) WIDE MINIMUM.

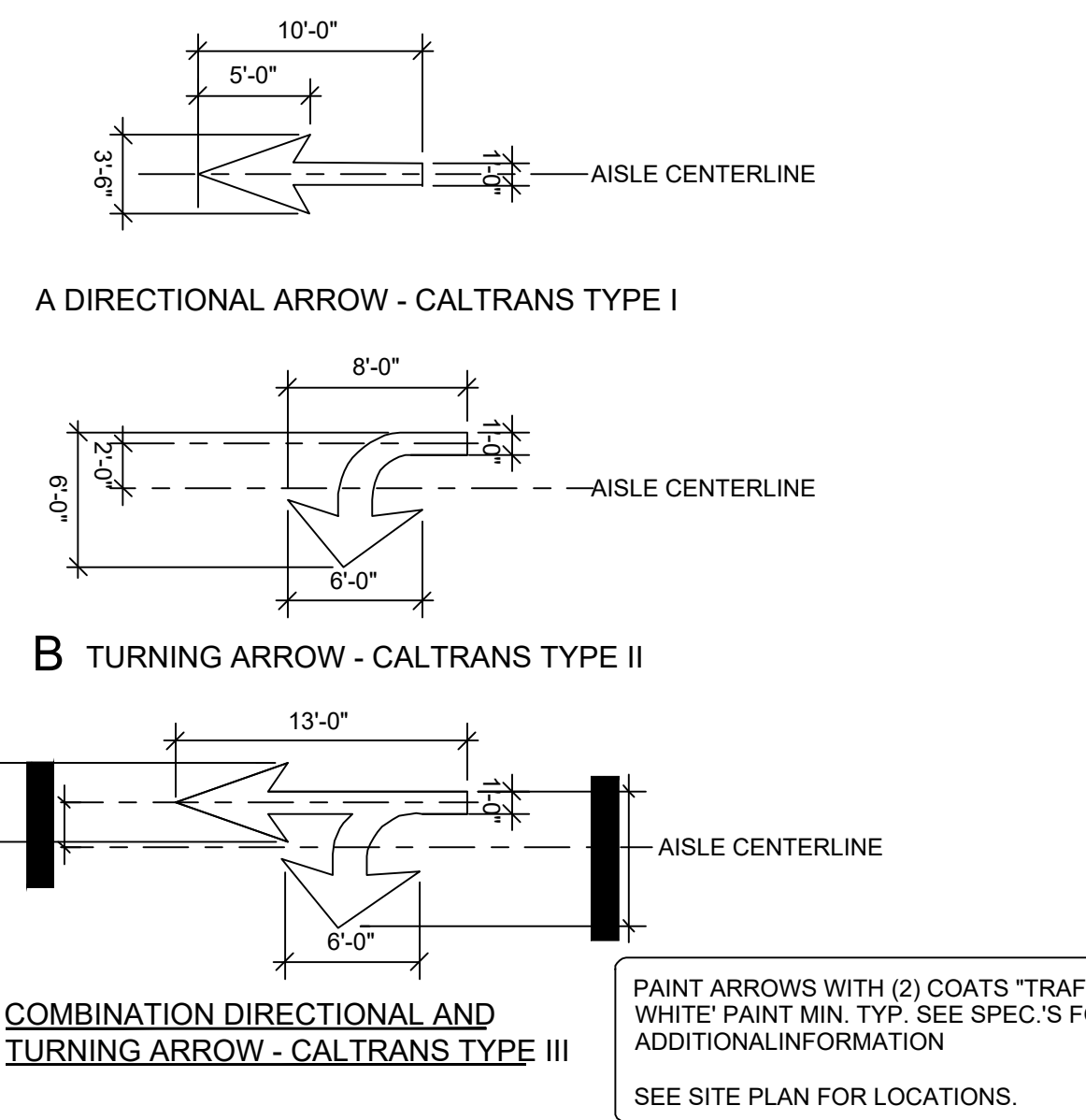
11B-502.3.3 MARKING. ACCESS AISLES SHALL BE MARKED WITH A BLUE-PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES (914 MM) ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES (305 MM) IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH.

11B-502.4 FLOOR OR GROUND SURFACES. PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH SECTION 11B302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED. EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 11B-502.5 VERTICAL CLEARANCE. PARKING SPACES, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 98 INCHES (2489 MM) MINIMUM.

11B-502.8.1 SIZE. THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES (432 MM) WIDE BY 22 INCHES (559 MM) HIGH. 11B-502.8.2 LETTERING. THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1/4 INCH (25 MM) THE FOLLOWING: "UNAUTHORIZED" VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: _____ OR BY TELEPHONING _____ . BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN

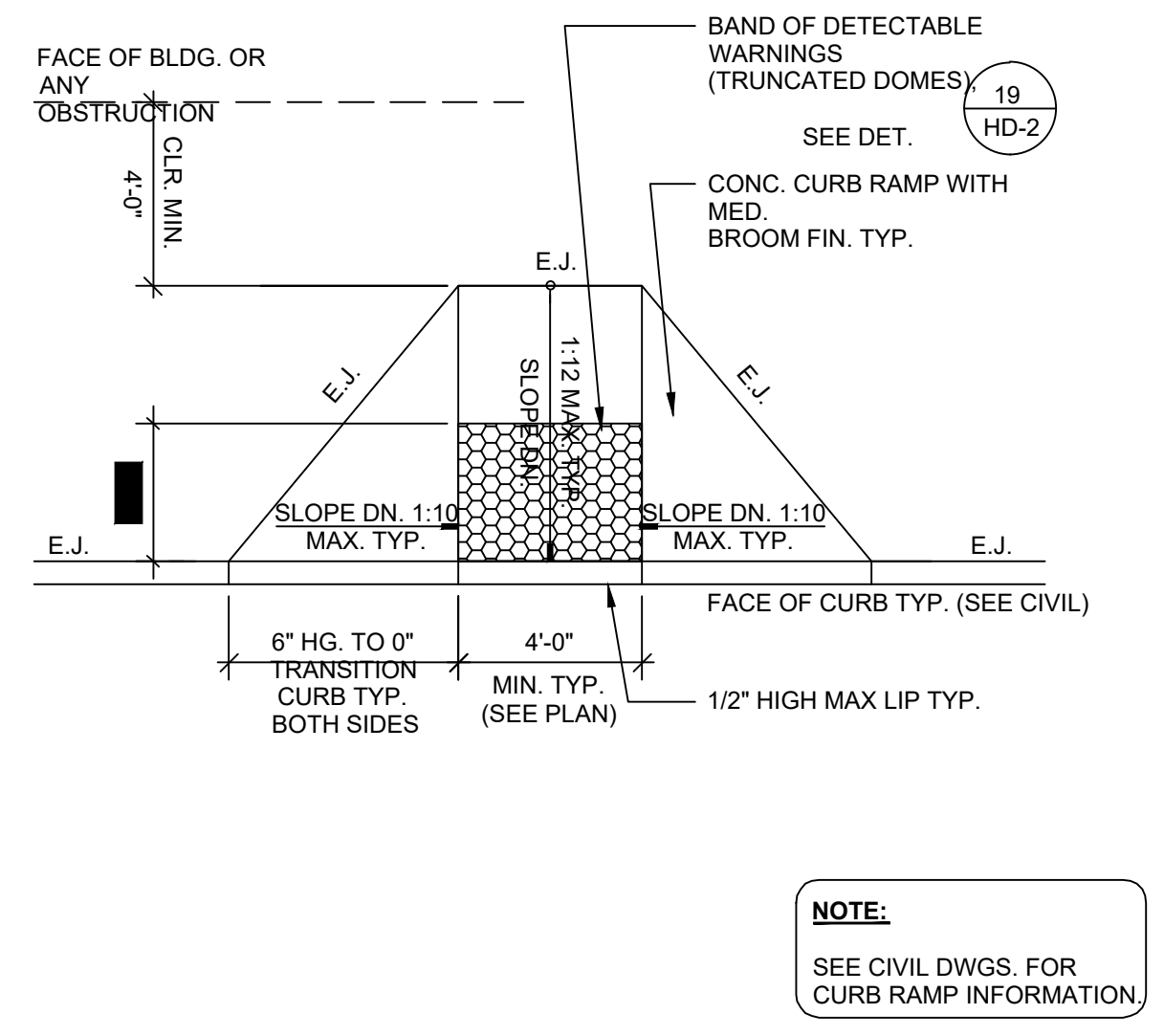
TYP. DIRECTIONAL ARROW

N.T.S.



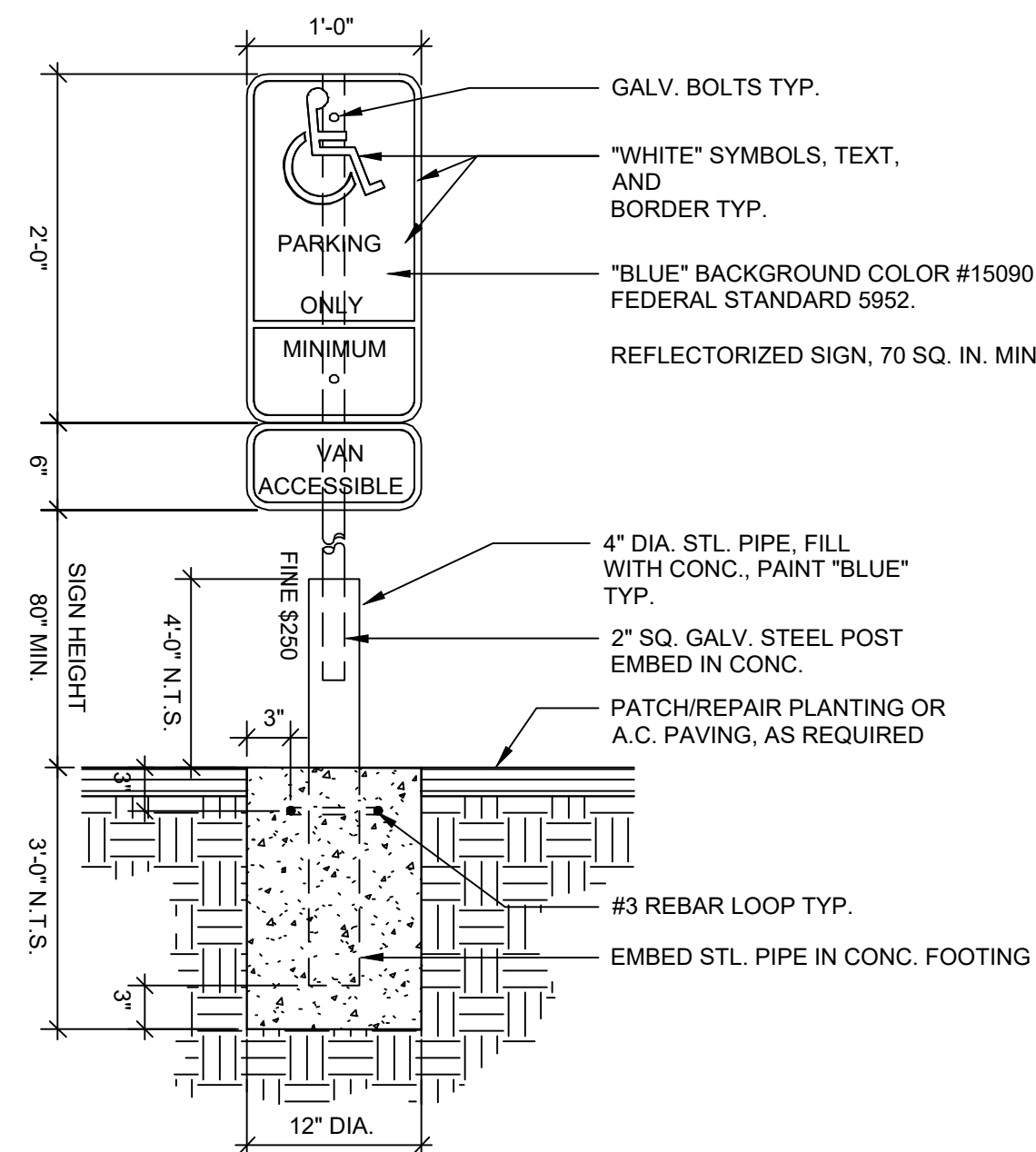
CURB RAMP

N.T.S.



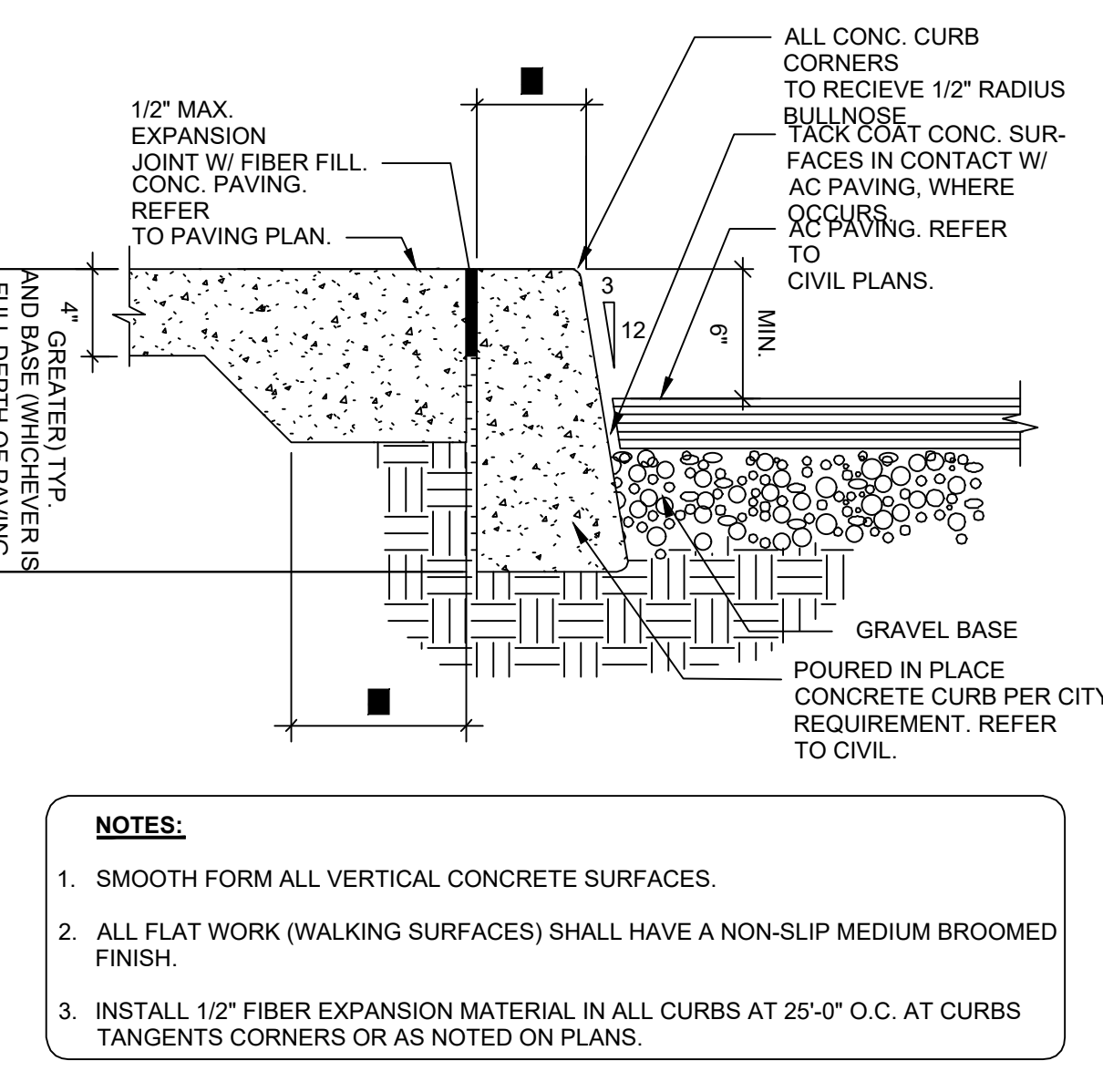
DISABLED VAN PARKING SIGN

N.T.S.



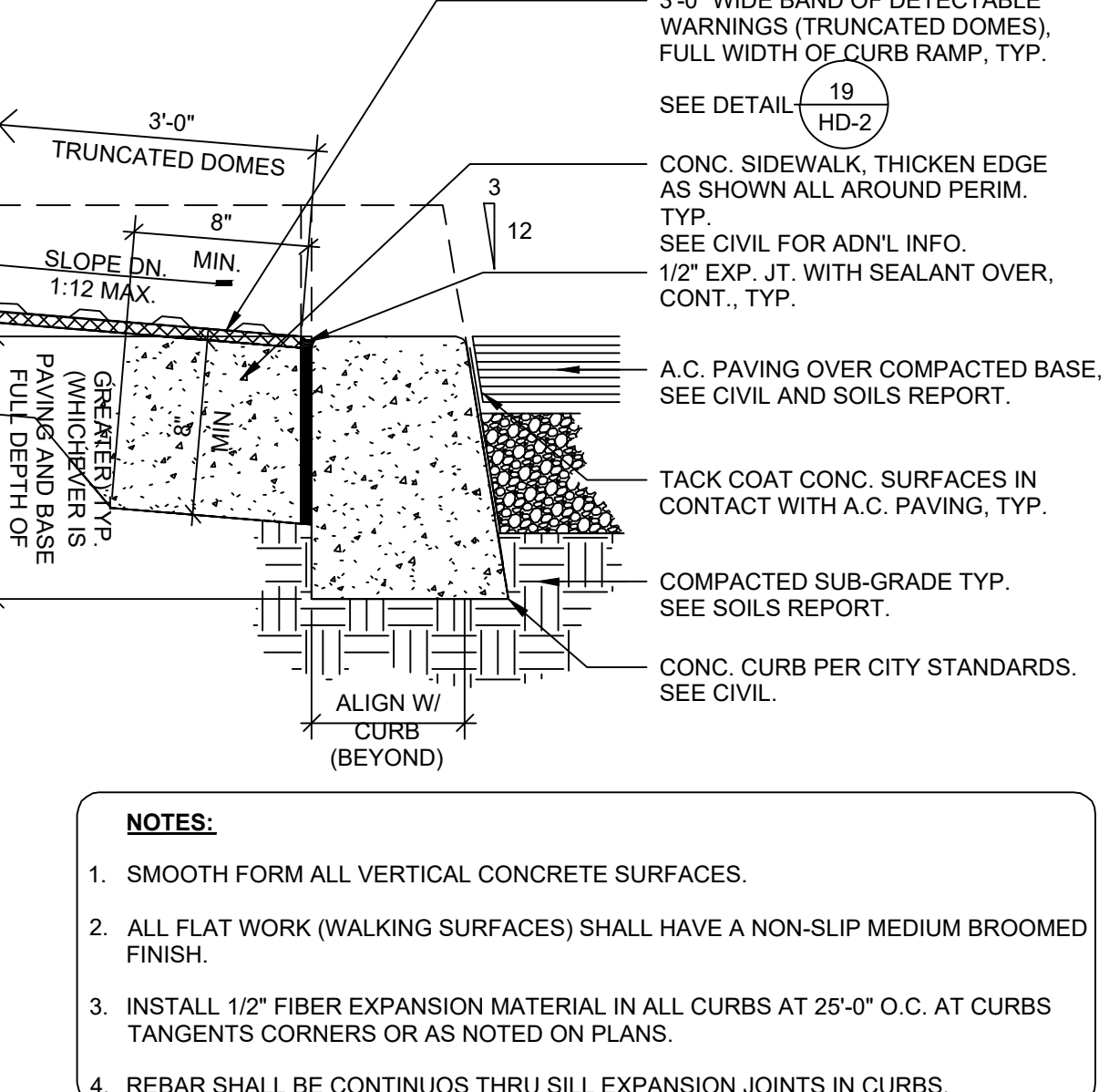
ENLARGED DISABLED PARKING

N.T.S.



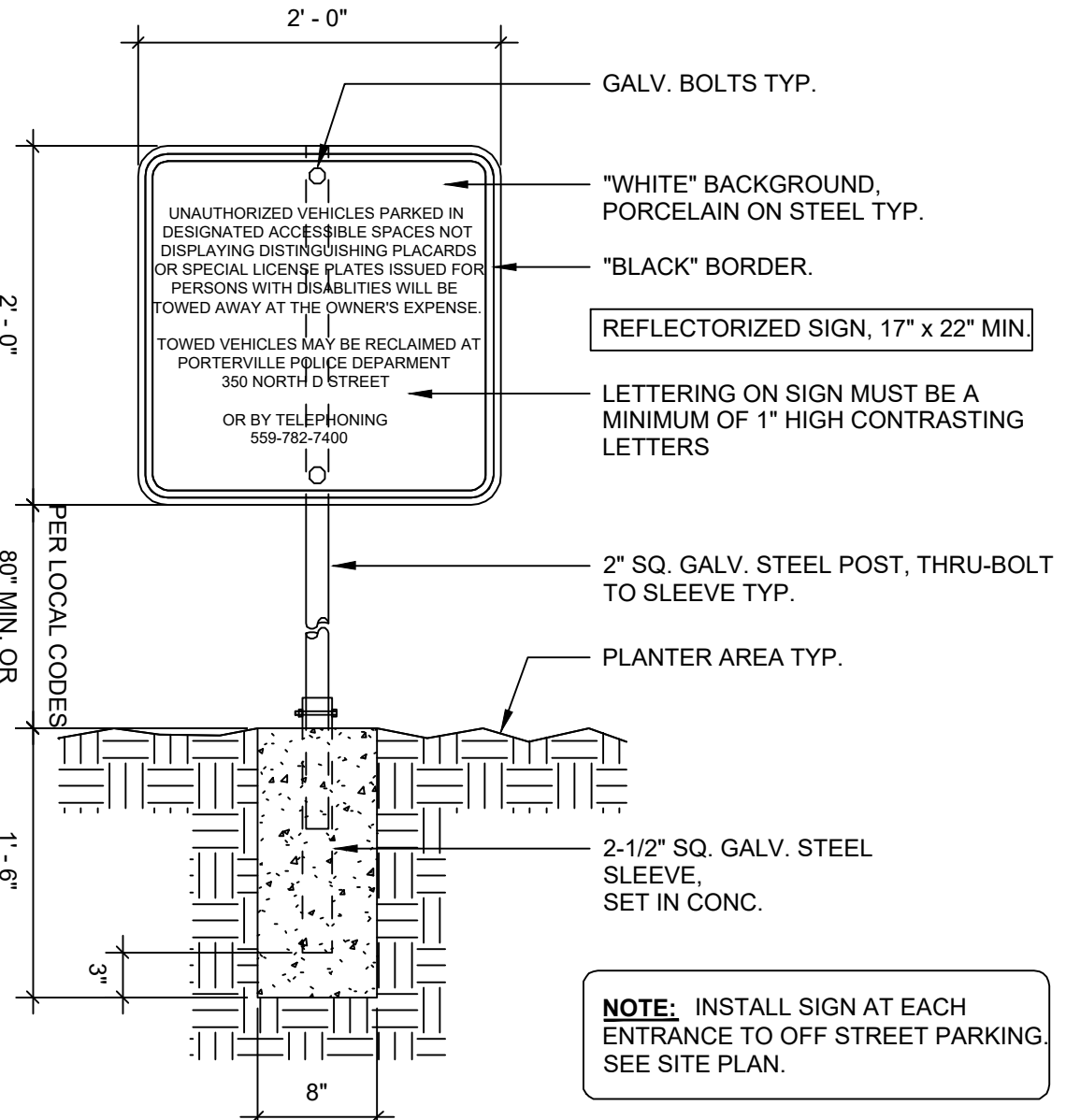
6" WALKWAY CURB

N.T.S.



CURB RAMP LOWER EDGE

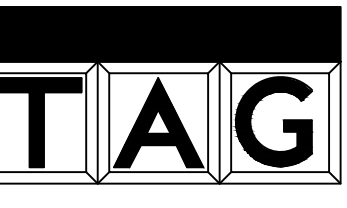
N.T.S.



ACCESS SIGN AT ENTRANCE

N.T.S.

GENERAL NOTE:
1. DETAILS SHOWN ON THIS SHEET ARE TYPICAL AND NOT ALL MAY APPLY TO THIS PROJECT. CONTRACTOR SHALL VERIFY APPLICABILITY AND REFER TO FLOOR PLANS FOR LOCATIONS WHERE SPECIFIC DETAILS ARE REQUIRED.



TOP-ARC GROUP
ARCHITECTURAL DESIGN FIRM
PHONE: (626) 226-3939
EMAIL: YAOLONG0221@YAHOO.COM

PROJECT TITLE / ADDRESS
DREAMLAND BOBA SHOP
1281 E LA HABRA BLVD, UNIT 6,
LA HABRA, CA 90631

DRAWING TITLE

ADA DETAILS

REVISIONS	NO.
DATE	▲

DATE:

DRAWN BY:

SCALE: AS NOTED

SHEET NO.

A-4.2

DOORS SCHEDULE

	W X H	N/EX	DOOR TYPE/MATERIAL/FRAME	FIRE RATED	OPERATION/HARDWARE	NOTES
D1	3'-0"X7'-0"	EX	-SWING&ACCORDION -TEMPERED GLASS -METAL FRAME	GLASS	-PUSH/PULL -SELF-CLOSING -SELF-LATCHING -LOCKSET -PANIC HARDWARE	-RODENT PROOF
D2	36"X6'-8"	EX	WOOD, PAINT	HM/KD	32" CLR. DR -LEVEL HANDLE -SELF-CLOSING -SELF-LATCHING	
D3	36"X6'-8"	NEW	WOOD, PAINT	HM/KD	32" CLR. DR -LEVEL HANDLE -SELF-CLOSING -SELF-LATCHING	

DOOR HARDWARE TYPE

DOOR PANIC HARDWARE NOTE: 2 PIECE VERTICAL RODS RON DUPRIN, JACKSON OR EQUAL, PUSH BAR MUST BE OFFSET FROM DRS EDGE.

EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

DOOR PANIC HARDWARE NOTE: 2 PIECE VERTICAL RODS RON DUPRIN, JACKSON OR EQUAL, PUSH BAR MUST BE OFFSET FROM DRS EDGE.

1010.1.9.1 hardware, door handles, pulls, latches, locks and other operating devices on doors required to be acces-sible by chapter 11a or 11b shall not require tight grasp-ing, tight pinching or twisting of the wrist to operate.

these design requirements for door handles, pulls, latches, locks and other operating devices, intended for use on required means of egress doors in other than group r and m occupancies with an occupant load of 10 or less, shall comply with sfm standard 12-10-2, section 12-10-202 contained in the ccr, title 24, part 12, california referenced standards code.

1010.1.9.2 hardware height, door handles, pulls, latches, locks and other operating devices shall be installed 34 inches (864 mm) minimum and 48 inches (1219 mm) maximum above the finished floor, locks used only for security purposes and not used for normal operation are permitted at any height.

the egress side on or adjacent to the door stating: this door to remain unlocked when this space is occupied, the sign shall be in letters 1 inch (25 mm) high on a contrasting back-ground.

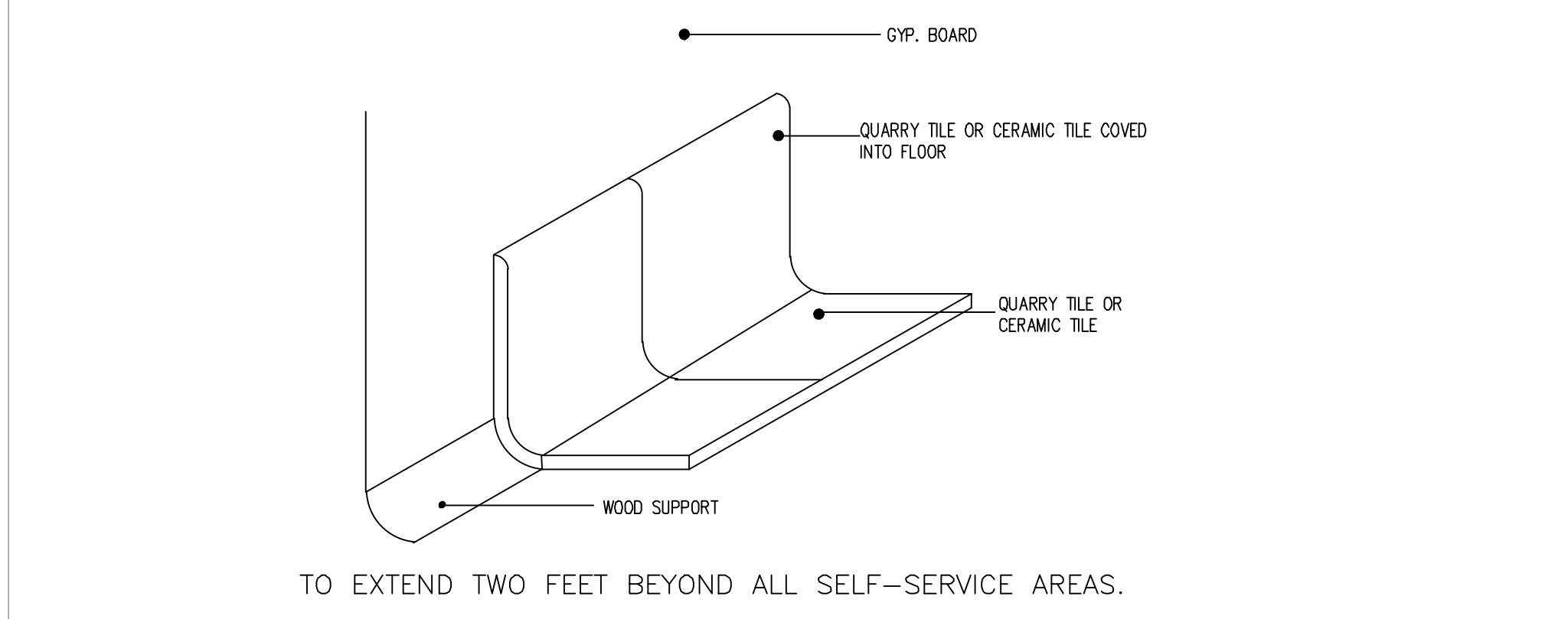
1010.1.9.4 BOLT LOCKS. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED.

a) CBC 11 B-404.2.9: Maximum effort to operate doors, including sliding doors: *Maximum effort to operate doors shall not exceed 5 pounds. When fire doors are required, the maximum effort to operate the door may be increased to the minimum allowable by the appropriate administrative authority, not to exceed 15 pounds. (CBC 11 B-404.2.9)

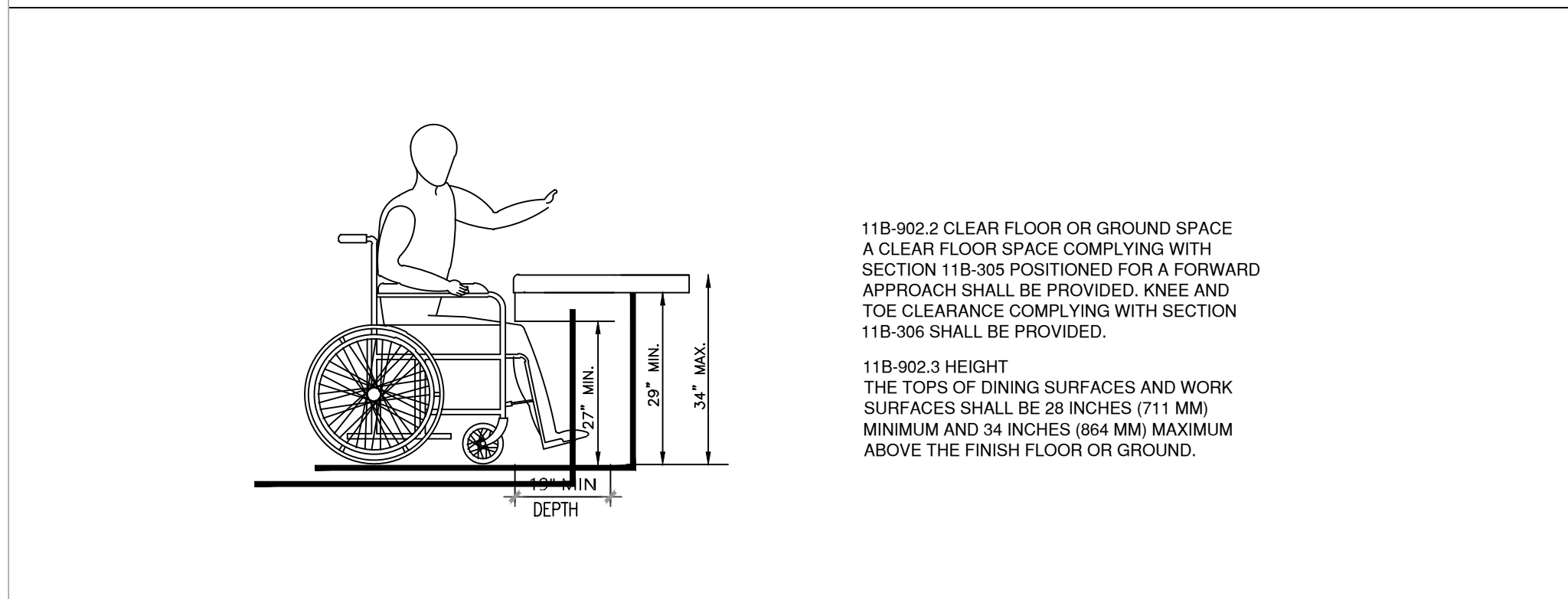
b) CBC 11 B-404.2.5: Thresholds, if provided at doorways, shall be 1/2 inch high maximum. Raised thresholds and changes in level at doorways shall comply with Sections 11 B-302 and 11 B-303.

METAL THRESHOLD

QUARRY TILE DETAIL



COUNTER AND TABLE CLEARANCES



FINISH SCHEDULE

AREA	FLOOR	COVE BASE	WALL	CEILING	REMARK
KITCHEN	QUARRY TILE -SMOOTH, DURABLE, EASY TO CLEAN, NON-ABSORBENT.	QUARRY TILE 6" HEIGHT 3/8" MINIMUM RADIUS COVE BASE	GYPSUM BOARD (DRY WALL) -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE -HIGH-GLOSS ENAMEL PAINT, LIGHT COLOR RESISTANT WALL 8'-0" HIGH, FRP	T-BAR CEILING -USG GYPSUM WHITE VINYL -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE	
RESTROOM	CERAMIC TILE -SMOOTH, DURABLE, EASY TO CLEAN, NON-ABSORBENT.	CERAMIC TILE 6" HEIGHT CONTINUOUS UP TO THE WALLS LEAST 4" FORMING AN INTEGRAL 3/8" MINIMUM RADIUS COVE BASE	GYPSUM BOARD (DRY WALL) -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE -HIGH-GLOSS ENAMEL PAINT, LIGHT COLOR RESISTANT WALL 4'-0" HIGH, FRP	DRY WALL CEILING -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE -HIGH-GLOSS ENAMEL PAINT, LIGHT COLOR	
HALLWAY	CERAMIC TILE -SMOOTH, DURABLE, EASY TO CLEAN, NON-ABSORBENT.	CERAMIC TILE 6" HEIGHT 3/8" MINIMUM RADIUS COVE BASE	GYPSUM BOARD (DRY WALL) -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE -FLAT PAINT	T-BAR CEILING	
DINING AREA	CERAMIC TILE -SMOOTH, DURABLE, EASY TO CLEAN, NON-ABSORBENT.	CERAMIC TILE 6" HEIGHT 3/8" MINIMUM RADIUS COVE BASE	GYPSUM BOARD (DRY WALL) -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE -FLAT PAINT	T-BAR CEILING	
SERVICE AREA	QUARRY TILE -SMOOTH, DURABLE, EASY TO CLEAN, NON-ABSORBENT.	QUARRY TILE 6" HEIGHT 3/8" MINIMUM RADIUS COVE BASE	GYPSUM BOARD (DRY WALL) -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE -HIGH-GLOSS ENAMEL PAINT, LIGHT COLOR RESISTANT WALL 4'-0" HIGH, FRP	T-BAR CEILING -USG GYPSUM WHITE VINYL -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE	
STORAGE	QUARRY TILE -SMOOTH, DURABLE, EASY TO CLEAN, NON-ABSORBENT.	QUARRY TILE 6" HEIGHT 3/8" MINIMUM RADIUS COVE BASE	GYPSUM BOARD (DRY WALL) -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE -HIGH-GLOSS ENAMEL PAINT, LIGHT COLOR RESISTANT WALL 4'-0" HIGH, FRP	T-BAR CEILING -USG GYPSUM WHITE VINYL -SMOOTH, DURABLE, NON-ABSORBENT, EASILY CLEANABLE	

CEILING PANEL --- THE FOLLOWING CEILING PANELS ARE APPROVED.
 U.S. GYPSUM #3270 VINYL ROCK 2x2
 U.S. GYPSUM #56091 ENVIROGARD WITH CLEAN ROOM FACING 2x4

- NOTES**
- WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC T- 803.13".
 - THERE WILL BE NO DIAMOND-PLATE FINISH ON THE INTERIOR AND EXTERIOR WALLS, FLOOR OR COVE BASE OF THE WALK-IN COOLER.
 - THE CONCRETE SEALER IS CLEAR, PENETRATING, RESISTANT TO GREASE, OIL AND ACID.
 - CEILING, FLOOR, COVE BASE FINISHES EXTENDING TWO FEET BEYOND ALL SELF-SERVICE AREAS.
 - Flooring shall be smooth, durable, non-absorbant and easily cleanable. Flooring must be on a smooth base coving and under equipment, shelving, sinks, and counters. The flooring shall be of an approved type that continues up the wall four (4) inches, in a seamless manner, forming a 3/8 inch minimum radius cove as an integral unit. Vinyl/rubber top set cove base and/or the vinyl composition tiles (VCT) are not acceptable. Some slim foot ceramic, quarry and metal top set cove bases are generally acceptable. Submit samples of the proposed flooring and base cove for approval prior to installation. Concrete floors are to be patched so as to remove cracks and divots. If floor sealer is to be used, provide detailed specifications on the proposed floor sealer for evaluation and approval. The sealer must be an approved clear penetrating sealer that is oil, acid, and water resistant; pigmented sealers and epoxy paints are not acceptable. When excessive amounts of slip resistant agents are used, a high pressure cleaning system or equivalent must be provided with drainage to floor drains. (114268, 114269)
 - Approved ceilings are required over all food and utensil handling areas, in restrooms and janitorial areas. Exposed beams must be flush and sealed to the ceiling to prevent any gaps where dust or vermin can accumulate. Hanging beams, pipes, fire sprinkler lines, conduit, décor, or other dust-and-vermin collecting items are not permitted over food and utensil handling areas. (113980, 113984, 114179, 114271)
 - The wall surfaces behind sinks shall be covered with Fiberglass Reinforced Plastic (FRP), stainless steel, or the equivalent. The approved wall cover must extend up the wall at least 6 feet from the back splash and cover the walls behind the sink and accompanying drainboards. The wall surface in the area where the dish machine is installed shall be covered with FRP, stainless steel, or the equivalent. The approved wall cover must extend up the wall at least eight feet from the floor and cover the walls behind the dish machine and accompanying drainboards. If high pressure equipment is used, or the facility is designed for pressurized cleaning to clean nonskid flooring, then wall surfaces in these areas must be covered with an approved water resistant wall covering (i.e., FRP, stainless steel, or the equivalent) to a minimum of four (4) feet above the base cove. Indicate approved wall surfaces if you will be using high pressure spray cleaning equipment. (114268, 114269, 114271)

FLAME SPREAD CLASSIFICATION

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929m2. NP = Not permitted [SFM]

a. Class C interior finish materials shall be permitted for wainscoting or paneling of not more than 1,000 square feet of applied surface area in the grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 803.11.1.

b. In exit enclosures of buildings less than three stories above grade plane of other than Group 1-3, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted.

c. Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the building or structure.

d. Lobby areas in Group A-1, A-2 and A-3 occupancies shall not be less than Class B materials.

e. Class C interior finish materials shall be permitted in places of assembly with an occupant load of 300 persons or less.

f. For places of religious worship, wood used for ornamental purposes, trusses, paneling or chancel furnishing shall be permitted.

g. Class B material is required where the building exceeds two stories.

h. Class C interior finish materials shall be permitted in administrative spaces. i. Class C interior finish materials shall be permitted in rooms with a capacity of four persons or less.

j. Class B materials shall be permitted as wainscoting extending not more than 48 inches above the finished floor in corridors. k. Finish materials as provided for in other sections of this code.

l. Applies when the exit enclosures, exit passageways, corridors or rooms and enclosed spaces are protected by an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2.

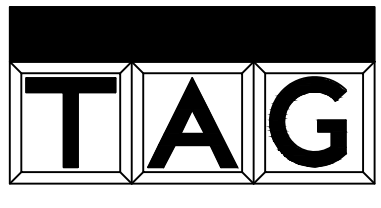
ALL FINISHES SHALL COMPLY WITH TABLE 803.9, CBC.

INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH BUILDING CODE 803 AND TABLE 803.9

CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED INDEX 0-450
 CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED INDEX 0-450
 CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED INDEX 0-450

NOTE:

- Interior finish materials applied to walls and ceilings shall meet the fire performance and smoke development limitations prescribed in CBC Section 803. " (CBC 801.2)
- Interior finish materials applied to floors shall meet the fire performance limitations prescribed in CBC Section 804. " (CBC 801.3)



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DRAWING TITLE

FINISH SCHEDULE

REVISIONS	NO.
DATE	△

DATE:

DRAWN BY:

SCALE: AS NOTED

SHEET NO.

A-5.1