

Notice Regarding Public Participation and Planning & Zoning Commission/Town Staff Attendance

Due to the COVID-19 (coronavirus) public health emergency, and in an effort to reduce in-person meetings that assemble large groups of people, Governor Greg Abbott has granted a temporary suspension of certain rules to allow for (1) Planning & Zoning Commission members and town employees to participate in a Planning & Zoning meeting via videoconference call or other remote electronic means without a physical quorum of Commission members being present at the site of the meeting; and (2) the use of videoconferencing and other remote means to allow the public to observe the meeting and, when required, to participate in the public meeting.

In an effort to reduce the spread of the virus, for the June 3, 2021, Planning and Zoning Commission meeting, individuals will be able to address the Commission on any topic through submission of the web form below. Forms received will be recorded into the record and be given to the Commission

To access the videoconference online, follow these instructions:

- To join the Zoom meeting, click: <https://zoom.us/j/96319008640>

- To view the live stream meeting, click <https://www.littleelm.org/1258/Agendas-Minutes-Videos>

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission by submitting the online form at the following link:

<https://www.littleelm.org/FormCenter/Development-Services-9/LE-Planning-Zoning-Commission-Speaker-Re-88>

Individuals who wish to speak to the Commission directly must register prior to the meeting. Please include in the comment box that you will be logging onto the meeting through the Zoom link above to speak to the Planning & Zoning Commission. If you have any questions, please email stittle@littleelm.org.

Note: A physical quorum of the P&Z Commission may not be present during the meeting as some Commissioners may choose to participate in the meeting remotely as permitted by Governor Abbott's suspension of various statutes that may be interpreted to require face-to-face interaction between members of the public and public officials.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

June 3, 2021

Persons may address the Planning and Zoning Commission on any issue. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. Each member of the public who desires to address the P&Z Commission regarding an item on an agenda for an open meeting of the P&Z Commission shall have the right to address the Commission on the item before the Commission's consideration of the item. All speakers not requiring a translator are given 3 minutes to speak and may address the Commission only once on each agenda item. Non-English Speakers who require a translator are given 6 minutes to speak and may address the Commission only once on each agenda item. In accordance with the State of Texas Open Meeting Act, the board may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. To address the Commission for any public hearing item please sign a speaker's sheet located on the tables by the front entry and submit to a Staff member.

1. **6:30 PM Work Session**
2. **7:00 PM Regular Meeting**
3. **Roll Call**

4. Adoption of the May 20, 2021 regular Planning & Zoning Commission Meeting Minutes.
5. Consider and make a decision on a request for approval of a Final Plat for Valencia on the Lake Phase 2B-2 on approximately 31.837 acres of land in the Santiago Guarrara Survey, Abstract No. 456, generally located at the northwest corner of Rockhill Parkway and Salem Drive, within Little Elm's town limits.
6. Conduct a public hearing to consider and make a recommendation on a request to amend Planned Development Ordinance No. 1233 on approximately 447.942 acres of land, generally located on the west side of FM 423, along Doe Creek Road, between Doe Branch and Panther Creek Waterways, within Little Elm's town limits.
7. Consider and make a recommendation on a request for a Specific Use Permit (SUP) to allow for the use of a Child Care Facility, generally located on the south side of Eldorado Parkway, approximately 589 feet west of Hart Road, within Little Elm's town limits.
8. Conduct a public hearing to consider and make a recommendation on a request or a Specific Use Permit (SUP) to allow for a liquor store, on property addressed as 1020 West Eldorado Parkway, Suite 101, generally located at the southeast corner of Eldorado Parkway and Lewis Drive, within Little Elm's town limits.
9. Conduct a public hearing to consider and make a recommendation on a Town-initiated request to rezone approximately 5.3 acres of land from Lakefront (LF) to Planned Development-Lakefront (PD-LF) to allow for the use of a religious facility and future residential with modified development standards.
10. **Discussion of future agenda items, update on Council action, and requests for new business considerations**
 - a. Discuss whether the Planning and Zoning Commission prefers to continue holding meetings virtually or return to in person meetings moving forward.
11. **Adjourn**

Certificate

I certify that the above notice of the Planning & Zoning Commission meeting was posted on the bulletin board of the Town of Little Elm, Texas on May 28th, 2021, prior to 5:00 p.m. The Little Elm Town Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made 48 hours prior to this meeting. Please contact the Town Secretary's office at 214-975-0404 or 972-377-5540 (fax) for arrangements.

Salena Tittle - Planner



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/03/2021

OVERVIEW

Project	Adoption of the May 20, 2021 regular Planning & Zoning Commission Meeting Minutes
P&Z Hearing	06/03/2021
Council Hearing	N/A
Request	N/A
Size	N/A
Current Zoning	N/A
Proposed Use	N/A
Existing Use	N/A
Future Land Use Plan Designation	N/A
Applicant	N/A
Owner	N/A
Strategic Goal	

Location

N/A

Planning Analysis

N/A

Recommended Action

N/A

Attachments

May 20, 2021 Meeting Minutes

DRAFT



Minutes

Town of Little Elm
PLANNING & ZONING COMMISSION
Regular Meeting
Thursday, MAY 20, 2021 - 7:00 pm

Present: Stephen Horn; Michael Bell, Chairman; Ron Trees, Vice Chairman; Robert Martin; Brent Thibeaux; Tom Ocelli

Absent: Brent Hagenbuch; Brian Rawlins; Danny Weakley

Staff Present: Fred Gibbs, Director of Development Services
Hayden Brodowsky, Development Services Manager
Olga Chernomorets, Planning Manager

1. **6:30 PM Work Session**

2. 7:00 PM Regular Meeting

Chairman Bell opened the Planning & Zoning Commission meeting at 7:01pm.

3. Roll Call

a. Adoption of the May 6, 2021 regular Planning & Zoning Meeting Minutes.

Motion by Vice Chairman Ron Trees, seconded by Tom Ocelli

AYE: Stephen Horn, Chairman Michael Bell, Vice Chairman Ron Trees, Robert Martin,
Brent Thibeaux, Tom Ocelli

6 - 0 Passed - Unanimously

b. Consider and make a decision on a request for approval of a Final Plat for Frisco Hills, Lots 1X, 2X, & 3X, Block 1 on approximately 50.07 acres of land in the S. Hawkins Survey, Abstract No. 580, the Taylor Hicks Survey, No. 590, and in the Santiago Diaz Y Guarrara Survey, No. 496, generally located on the south side of Frisco Hills Boulevard, approximately 382 feet west of Glory Lily Drive, within Little Elm's Extraterritorial Jurisdiction (ETJ).

Motion by Vice Chairman Ron Trees, seconded by Robert Martin The Final Plat was approved. Staff provided the case as presented in the staff report and staff was available for questions from the Commission. The applicant was not present or available for questioning.

AYE: Stephen Horn, Chairman Michael Bell, Vice Chairman Ron Trees, Robert Martin,
Brent Thibeaux, Tom Ocelli

6 - 0 Passed - Unanimously

- c. Consider and make a decision on a request for approval of a Final Plat for Union Park Phase 6A on approximately 36.185 acres of land in the William Lumpkin Survey, Abstract No. 730, generally located on the north side of Union Park Boulevard, approximately 336 feet east of Glen Meadow Drive, within Little Elm's town limits.

Motion by Robert Martin, seconded by Tom Ocelli The Final Plat was approved. Staff provided the case as presented in the staff report and staff was available for questions from the Commission. The applicant was present and available for questioning.

AYE: Stephen Horn, Chairman Michael Bell, Vice Chairman Ron Trees, Robert Martin,
Brent Thibeaux, Tom Ocelli

6 - 0 Passed - Unanimously

4. **Discussion of future agenda items, update on Council action, and requests for new business considerations**

Staff provided the Commission with an update.

5. **Adjourn**

Chairman Bell adjourned the meeting at 7:09pm.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/03/2021

OVERVIEW

Project	Valencia on the Lake Phase 2B-2 (FP-21-01138)
P&Z Hearing	06/03/2021
Council Hearing	N/A
Request	Final Plat
Size	Approximately 31.837 acres
Current Zoning	Planned Development-Single Family 4 (PD-SF4)
Proposed Use	Low Density Residential
Existing Use	Undeveloped Property
Future Land Use Plan Designation	Low Density Residential
Applicant	Jack Dawson - Valencia on the Lake, LP / MM Valencia 2BFC, LLC
Owner	Mehrdad Moayedi - Valencia on the Lake, LP / MM Valencia 2BFC, LLC
Strategic Goal	Promote and expand Little Elm's identity

Location

The subject property is generally located at the northwest corner of Rockhill Parkway and Salem Drive, within Little Elm's town limits.

Planning Analysis

The purpose of a Final Plat is to create lots of record and dedicate easements and rights-of-way necessary for development. The plat document identifies six blocks, 90 residential lots, and four common area lots on 29.019 acres, with an additional 2.818 acres dedicated toward Town Right-of-Way.

Recommended Action

Staff recommends approval of the Final Plat

Attachments

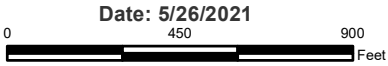
Valencia on the Lake Ph. 2B-2 Location Map

Valencia on the Lake Ph. 2B-2 Final Plat



LITTLE ELM
Town of Little Elm
Denton County, Tx

Valencia on the Lake
Phase 2-B2
90 Residential Lots/4 Common Area Lots
For: Final Plat - 004-02B2_FP



Date: 5/26/2021



Legend

- Subject Property
- Parcels
- Town Limits

Location Map



This map is the property of the Town of Little Elm, and is not to be reproduced by any means, mechanical or digital, without written consent of the Town.

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

OWNERS CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS MM Valencia 2BFC, LLC is the owner of that certain tract of land situated in the Santiago Guarrara Survey, Abstract No. 456, according to Special Warranty Deed with Vendors Lien recorded in Instrument No. 2020-97027, of the Real Property Records of Denton County, Texas (RPRDCT), and being part of those certain tracts of land described in deeds to Valencia on the Lake, L.P. recorded in Instrument No. 2007-8103, RPRDCT, and Document No. 2007-41359, RPRDCT, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "BCG 10194538" found on the northerly line of that certain tract of land described in deed to the Town of Little Elm (Rockhill Parkway - called 90 foot right-of-way) recorded in Document No. 2014-31379, RPRDCT, and being the beginning of a tangent curve to the right;

THENCE with said northerly line of Rockhill Parkway, the following courses to 5/8-inch iron rods with cap stamped "BCG 10194538" found for corner:

Southwesterly, with said curve, and with said which has a central angle of 15°31'47", a radius of 2445.00 feet, a chord which bears South 48°50'51" West, a distance of 660.67 feet, and an arc length of 662.70 feet to the end of said curve;

North 33°30'17" West, a distance of 50.00 feet;

South 57°12'14" West, a distance of 50.00 feet;

South 33°30'17" East, a distance of 20.00 feet, said iron rod being the beginning of a non-tangent curve to the right;

Southwesterly, with said curve which has a central angle of 09°37'40", a radius of 2445.00 feet, a chord which bears South 62°35'53" West, a distance of 410.37 feet, and an arc length of 410.85 feet to the end of said curve;

South 67°24'44" West, a distance of 231.77 feet;

North 22°35'16" West, a distance of 20.00 feet;

South 67°24'44" West, a distance of 50.00 feet;

South 22°35'16" East, a distance of 20.00 feet;

North 22°35'16" West, a distance of 20.00 feet;

South 67°24'44" West, a distance of 714.21 feet;

South 22°35'16" East, a distance of 20.00 feet;

South 67°24'44" West, a distance of 50.00 feet;

South 22°35'16" East, a distance of 20.00 feet;

And Southwesterly, with said curve which has a central angle of 07°02'16", a radius of 1445.00 feet, a chord which bears South 63°53'53" West, a distance of 177.38 feet, and an arc length of 177.49 feet to the end of said curve;

THENCE North 29°37'33" West, leaving said northerly line of Rockhill Parkway, and over and across said Valencia on the Lake tracts, a distance of 259.80 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner on the "Take Line" of Lake Lewisville, from which a U.S.A.C.O.E. monument marked J-809-1/3 found bears South 31°22'51" West, a distance of 313.07 feet;

THENCE North 31°22'51" East, with said "Take Line", a distance of 387.22 feet to a U.S.A.C.O.E. monument marked J-809-2 found for corner;

THENCE North 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

THENCE South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

THENCE North 38°33'33" East, continuing with said "Take Line", a distance of 642.80 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" set for corner, from which a U.S.A.C.O.E. monument marked J-812-1 found bears North 38°33'33" East, a distance of 717.31 feet;

THENCE leaving said "Take Line", and over and across said Valencia on the Lake tracts, the following courses to 5/8-inch iron rods with cap stamped "BCG 10194538" set for corner:

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

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South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 89°29'32" East, continuing with said "Take Line", a distance of 273.15 feet to a U.S.A.C.O.E. monument marked J-840-1 found for corner;

South 89°29'32" East, with said "Take Line", a distance of 230.56 feet to a 5/8-inch iron rod with cap stamped "BCG 10194538" found for corner;

South 51°26'27" East, a distance of 257.14 feet, said iron rod being the beginning of a non-tangent curve to the right;

Northeasterly, with said curve which has a central angle of 43°47'33", a radius of 60.00 feet, a chord which bears North 55°24'53" East, a distance of 44.75 feet, and an arc length of 45.86 feet to the end of said curve;

North 43°45'14" East, a distance of 7.48 feet;

North 43°45'14" East, a distance of 600.00 feet;

South 46°14'46" East, a distance of 120.00 feet;

South 43°45'14" West, a distance of 30.00 feet;

South 46°14'46" East, a distance of 50.00 feet;

North 43°45'14" East, a distance of 74.94 feet;

South 45°03'06" East, a distance of 390.52 feet, said iron rod being the beginning of a non-tangent curve to the right;

Southwesterly, with said curve which has a central angle of 00°45'53", a radius of 2264.00 feet, a chord which bears South 45°19'41" West, a distance of 30.00 feet, and an arc length of 30.00 feet to the end of said curve;

South 44°17'32" East, a distance of 50.00 feet, said iron rod being the beginning of a non-tangent curve to the left;

Northeasterly, with said curve which has a central angle of 04°35'30", a radius of 2314.00 feet, a chord which bears North 43°24'43" East, a distance of 185.39 feet, and an arc length of 185.44 feet to the end of said curve;

And South 49°30'11" East, a distance of 131.01 feet to the POINT OF BEGINNING and containing an area of 29.019 acres of land.

DEDICATION STATEMENT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, MM VALENCIA 2BFC, LLC, a Texas Limited Liability Company Partnership, acting herein by and through its duly authorized officer, does hereby adopt this plat designating the herein above described property as Valencia on the Lake Phase 2B-2, an Addition to the Town of Little Elm, Texas, and does hereby dedicate to the public use forever by free simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, and trails, and to the public use forever easements for sidewalks, storm drain facilities, floodways, water mains, wastewater mains and other utilities, and any other property necessary to serve the plat and to implement the requirements of the platting ordinances, rules, and regulations thereon shown for the purpose and consideration therein expressed.

Witness my hand this ____ day of _____, 2021.

MM Valencia 2BFC, LLC
A Texas Limited Liability Company

BY: MM Valencia 2BFC, LLC
A Texas Limited Liability Company,
Its General Partner

BY: Mehرداد Moayedī
Manager

UNITED STATES OF AMERICA
LAKE LEWISVILLE

OPEN SPACE & DRAINAGE EASEMENT
305,677 SF

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(SEE NOTE #11)

ZONE X
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STATE OF TEXAS §
COUNTY OF DALLAS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Mehرداد Moayedī, Manager of MM Valencia 2BFC, LLC, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my Hand and Seal of Office, this ____ day of _____, 2021.

Notary Public in and for the State of Texas

My Commission Expires: _____

Notary Public in and for the State of Texas

My Commission Expires: _____

Notary Public in and for the State of Texas

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Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Jimmie D. Nichols, a Registered Professional Land Surveyor, hereby certify that this plat was prepared from an actual survey made on the ground of the land described herein, and that the corner monuments shown hereon were properly found or placed under my personal supervision in accordance with the Town of Little Elm and Denton County Subdivision Rules and Regulations.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Jimmie D. Nichols
Registered Professional Land Surveyor No. 5184

STATE OF TEXAS §

COUNTY OF DALLAS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Jimmie D. Nichols, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my Hand and Seal of Office, this ____ day of _____, 2021.

Notary Public in and for the State of Texas

My Commission Expires: _____

CERTIFICATE OF FINAL PLAT APPROVAL
(FOR FINAL PLATS WITH REQUIRED PUBLIC IMPROVEMENTS INSTALLED BEFORE APPROVAL)

Approved _____ Date _____

Town Official _____
Town of Little Elm, Texas

The undersigned, the Town Secretary of the Town of Little Elm, Texas, hereby certifies that the foregoing Final Plat of Valencia on the Lake Phase 2B-2 Addition to the Town of Little Elm was submitted to the Planning and Zoning Commission on the ____ day of _____, and the Commission, by formal action, then and there accepted the Final Plat and public works improvements and infrastructure, and said commission further authorizes the Chairman of the Planning and Zoning Commission to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness by hand this ____ day of _____

Town Secretary _____
Town of Little Elm, Texas

Town Secretary _____
Town of Little Elm, Texas

Town Secretary _____
Town of Little Elm, Texas

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Town Secretary _____
Town of Little Elm, Texas

Town



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/03/2021

OVERVIEW

Project	Valencia on the Lake Planned Development Amendment (21-PD-006)
P&Z Hearing	06/03/2021
Council Hearing	07/06/2021
Request	Amend the Valencia on the Lake Planned Development (Planned Development Ordinance No. 1233)
Size	Approximately 447.942 acres
Current Zoning	Planned Development-Single Family 4 (PD-SF4)
Proposed Use	Low Density Residential
Existing Use	Partially Developed
Future Land Use Plan Designation	Low Density Residential
Applicant	Alan Adkins - Scarborough Lane Development, LLC
Owner	MM Valencia 2BFC, LLC
Strategic Goal	Promote and expand Little Elm's identity

Location

Generally located on the west side of FM 423, along Doe Creek Road, between Doe Branch and Panther Creek Waterways, within Little Elm's town limits.

Planning Analysis

The Valencia Subdivision was approved back in 2014, which included a Developer's Agreement and Planned Development (PD) that covered development standards and other elements related to Valencia. Since then, there have been six amendments to the Developer's Agreement, which have not been reflected within the PD language. At this time, the applicant is requesting to amend the existing PD in order to capture the agreed upon standards, per the already approved Developer's Agreement amendments, as outlined below.

Timeline of Amendments:

September 16, 2014 (First Amendment):

Revised the Type 4 (40's) lots.

- 20' minimum front yards were reduced to 10' minimum.
- 20' minimum rear yards were reduced to 10' minimum.
 - These front and rear yard reductions allowed for a 30' x 75' building pad.

June 2, 2015 (Second Amendment):

Revised the Type 2 (80's) and Type 3 (60's) lots.

- 20' minimum rear yards were reduced to 15' minimum.

Added "Gifts to the Street". Please see the list below of the Gifts to the Street:

- Architectural garage doors.
- Architectural pillars and posts.
- Bay windows.
- Brick chimney on exterior wall (front of house).
- Cast stone accents.
- Covered front porches.
- Cupolas or turrets.
- Dormers.
- Gables.
- Garage door not facing streets.
- Roof accent upgrades (i.e. metal, tile, slate, etc.).
- Recessed entries, a minimum of three (3) feet deep.
- Greater than an 8:12 primary roof pitch.
- Separate transom windows.
- Variable roof pitch.
- Shutters.
 - Type 1,2,3, and 5 lots shall have at least four of the listed Gifts to the Street.
 - Type 4 lots shall have at least five (5) of the listed Gifts to the Street.
- Remove the tile/masonry roof requirement from Type 4 (40's) lots.
- Increased the trail width from eight feet (8') to ten feet (10').
- Increased the trail concrete thickness from four inches (4") to six inches (6").
- Increased the trail subgrade from two inches (2") of bedding sand to six inches (6") of compacted subgrade.
- Added terms and conditions under which the developer would be able to utilize/contribute proceeds from a proposed TXDOT trial grant.
- Nine (9) parking locations identified for potential parking area. Developer is required to construct a minimum of three (3) parking areas with a minimum of three (3) parking stalls at each parking area.

February 16, 2016 (Third Amendment):

Reduced garage requirements of Type 2 (80's) lots.

- Prior to the revision, garages on 80' lots could not face the street unless they were set back 30' from front of the home. The revision makes the garage requirements on the 80's mirror that of the 60' lots.

August 2, 2016 (Fourth Amendment):

Significant revisions were made to the lot types via Concept Plan.

- Added the construction of the Amenity Center.
- Revised several development standards that included:
 - Increased lot coverage for the 40's from 55% to 57%.
 - Added 50' lots for Patio Homes.
 - Added 70's to the plan with a minimum of 154.
 - Added the requirement to plant at least one (1) ornamental tree per lot.
 - Added the new lots to provide Gifts to the Street.

- Added that all garage doors and front doors in Phase 2, 3, 4, and 5 (excluding Type 4 and Type 5 lots) must consist of , or have the appearance of stained wood.
- Added that all front yards shall be irrigated with an automated system.
- Revised the trail path exhibit to provide the new alignment.

August 15, 2017 (Fifth Amendment):

- Amended the whereas clause that dealt with the PID issue and TIRZ language.
- Added the section pertaining the amenity center by providing deadlines and penalties for the construction.

February 2, 2021 (Sixth Amendment):

Revisions made by the revised, approved, and executed Developer's Agreement. The Developer conducted a meeting with the HOA on January 21, 2021 and received favorable feedback with the items that were being requested at that time.

The changes made in the Developer's Agreement and are being proposed in the Planned Development Amendment include the following:

• Rockhill Parkway and 8' sidewalk completion: (See Exhibit J and E-2)

- As a condition of the Town's acceptance of the next phase of development (Phase 2B-2 - 4), the Developer is required to construct the remaining portion of Rockhill Parkway, in it's entirety.
- Final two lanes of Rockhill Parkway will be completed which will include streetlights and median landscaping.
- Eight-foot (8') sidewalk along the entire length of Rockhill Parkway, from Riola Drive to Casinos Drive will be constructed.
- The temporary trail there today will remain until the sidewalk is completed.
- A \$500 per day penalty clause is within the agreement.

• Parks and Open Space: (See Exhibit E, E-2, I, and K)

- Currently, the Developer is only required to dedicate two (2) park sites (5 acre minimum for each site) to the Town and the Town is obligated to construct and maintain the parks. The new amendment proposes the developer construct two (2) new parks, each with open play areas, play structures, dog park, and other features. The new parks will be owned by the (due to PID funding regulations) but maintained by the HOA.
 - **Park A:** Located strategically located in the "middle" of Valencia, adjacent to the school property, and when construction of the school and school's recreation facilities are complete, would serve as a large open space with playground and recreational facilities for all ages. The construction of this park is directly tied to the construction of the next phase (Phase 2B-2 - 4A) and acceptance of the Phase.
 - There is a \$500 per day penalty clause in the agreement.
 - **Park B:** Located adjacent to the existing Amenity Center and sport courts. This park is near the point of the peninsula and boast incredible views of the lake and has a great connection to untouched nature of the Corp. property. The park will also consist of a traditional playground structure as well as wellness/exercise equipment and large open play fields. The construction of Park B is directly tied to the construction and acceptance of Phase 4B/4C.
 - The penalty that was accessed as part of the amenity center construction delay, the \$62,000 outstanding balance will be applied to Park Enhancements in Park B.
 - There is a \$500 per day penalty clause in the agreement.

Period of Agreement:

- The term of the agreement is for 15 years with automatic extensions for fifteen (15) years during the

period which PID bonds remain outstanding.

Revisions to Development Standards and CC&R's:

- Revised development standards include the changes to the lots, elimination of the Townhome lots and some masonry cleanup from the original Planned Development.

Lot Mix and Concept Plan Modifications: (See Exhibit D and Lot Mix Chart)

- The Concept Plan for the project have been modified as shown below:
 - Phase 2B will add four (4) additional 60' lots.
 - Phase 4 will be modified to eliminate the Developer's ability to develop any future 40' or any future Townhome lots.
 - Phase 4 will consist solely of 50' and 60' lots.
 - The overall Phase 4 lot count will increase from 341 lots to 444 lots, a 103-lot increase.

Recommended Action

Staff recommends approval of the Planned Development Amendment.

Attachments

Valencia on the Lake PD Location Map

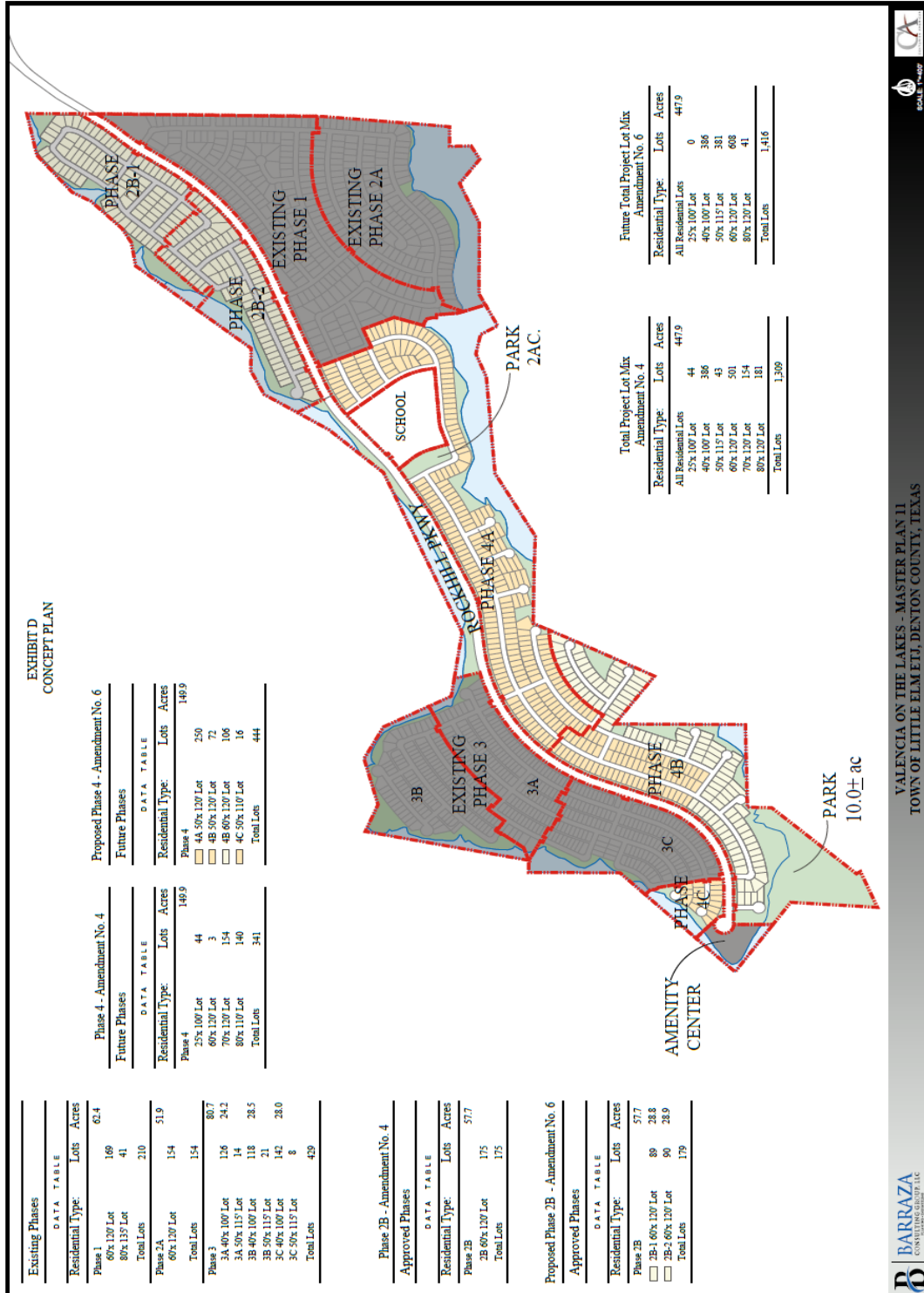
Valencia PD Amendment Exhibits

Valencia 6th Amendment Signed Executed Developer's Agreement

EXHIBIT "D"

CONCEPT/PHASING PLAN

447.9 Acre Concept/Phasing Plan



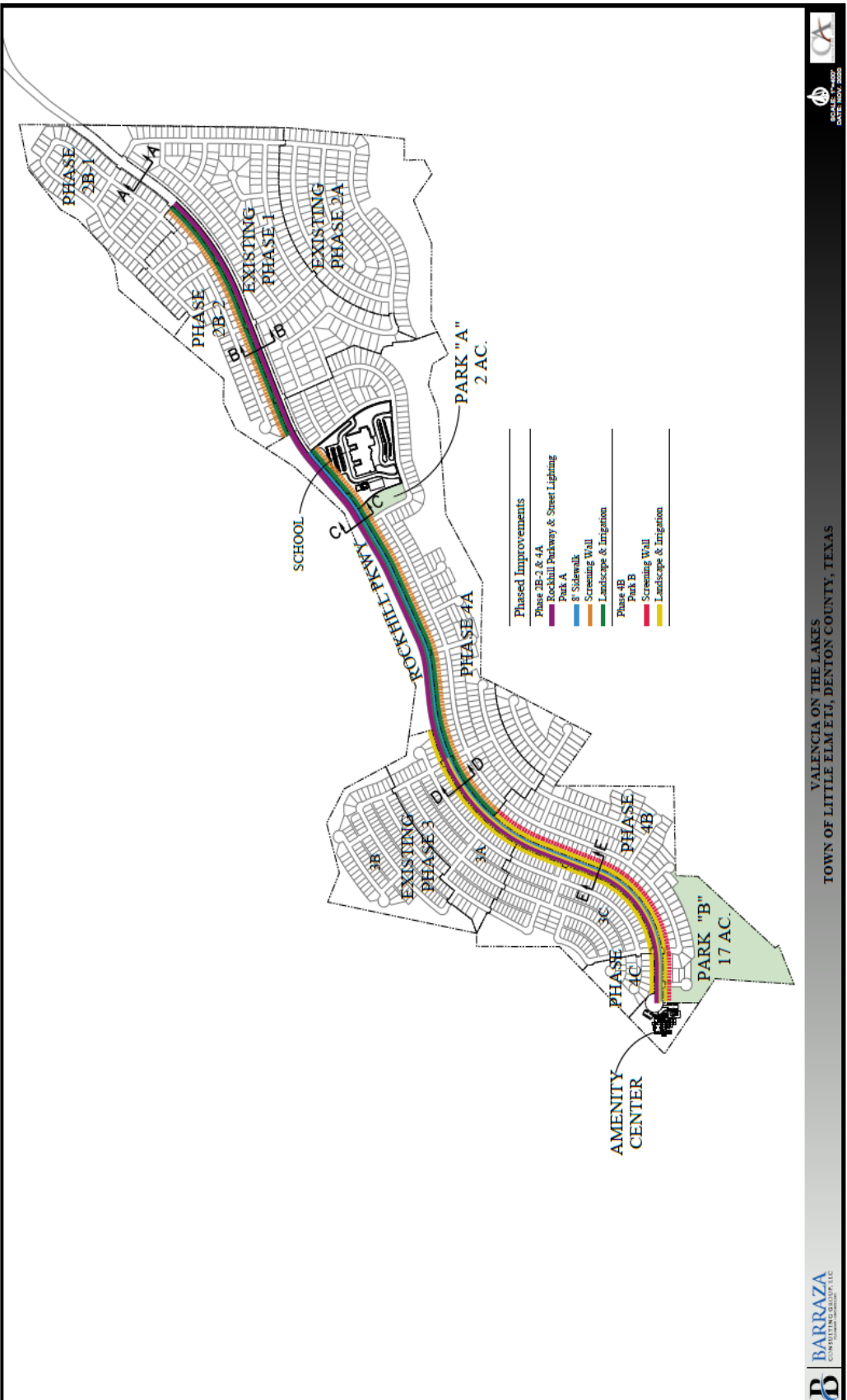
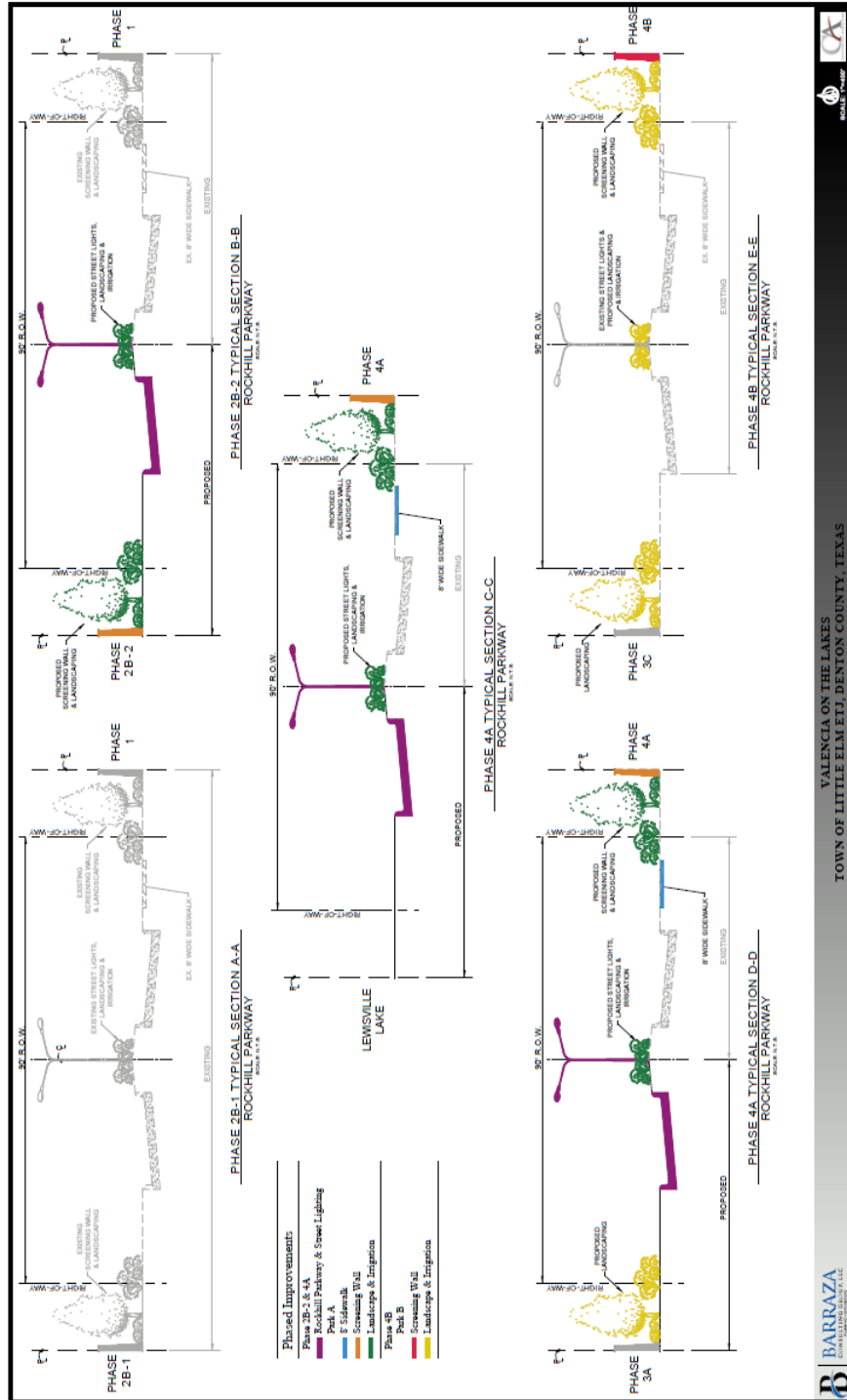


EXHIBIT "J"

STREET TYPE EXHIBITS

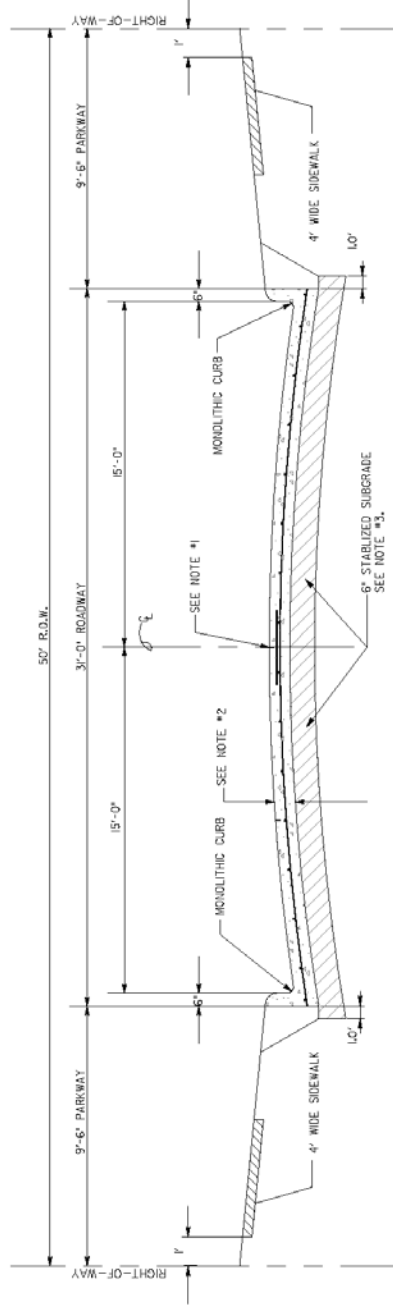




1. 8" REINFORCED CONCRETE PAVEMENT THICKNESS (3500 PSI), REINFORCED WITH #3 BARS AT 24" O.C.E.W.
2. RATE OF LIME APPLICATION TO BE DETERMINED BY LIME SERIES TEST PER GEOTECH RECOMMENDATION.

Tel. No. (214) 221-9955
Fax No. (214) 340-3550

JOB NO: 06017-00
SCALE: N.T.S.
DATE: AUGUST, 2008



LOCAL STREET
(L2U - Local Street)
SCALE: N.T.S.

NOTE:

1. 5" CROWN FOR 31' B-B STREET, SAWED LONGITUDINAL DUMMY JOINT.
2. 6" REINFORCED CONCRETE PAVEMENT THICKNESS (3,500 PSI), REINFORCED WITH #3 BARS @ 24" O.C.E.W.
3. RATE OF LIME APPLICATION TO BE DETERMINED BY LIME SERIES TEST PER GEOTECH RECOMMENDATION.

**PETITT BARRAZA**
ENGINEERING PLANNING SURVEYING

300 Municipal Drive
Richardson, Texas 75080

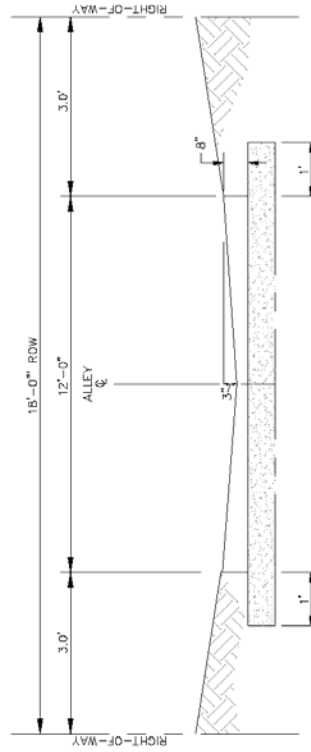
Tel. No. (214) 221-9955
Fax No. (214) 340-3550

EXHIBIT - LOCAL STREET

JOB NO: 06017-00

SCALE: N.T.S.

DATE: AUGUST, 2008



ALLEY SECTION

SCALE: N.T.S.

NOTE:

1. 3000 PSI REINFORCED CONCRETE PAVEMENT (VARIABLE THICKNESS AS SHOWN), REINFORCED WITH #3 BARS @ 24" O.C.E.W.
2. RATE OF LIME APPLICATION TO BE DETERMINED BY LIME SERIES TEST PER GEOTECH RECOMMENDATION.



300 Municipal Drive
Richardson, Texas 75080

Tel. No. (214) 221-9955
Fax No. (214) 340-3550

EXHIBIT – ALLEY SECTION

JOB NO: 06017-00

SCALE: N.T.S.

DATE: AUGUST, 2008

EXHIBIT "E"

PARK EXHIBITS

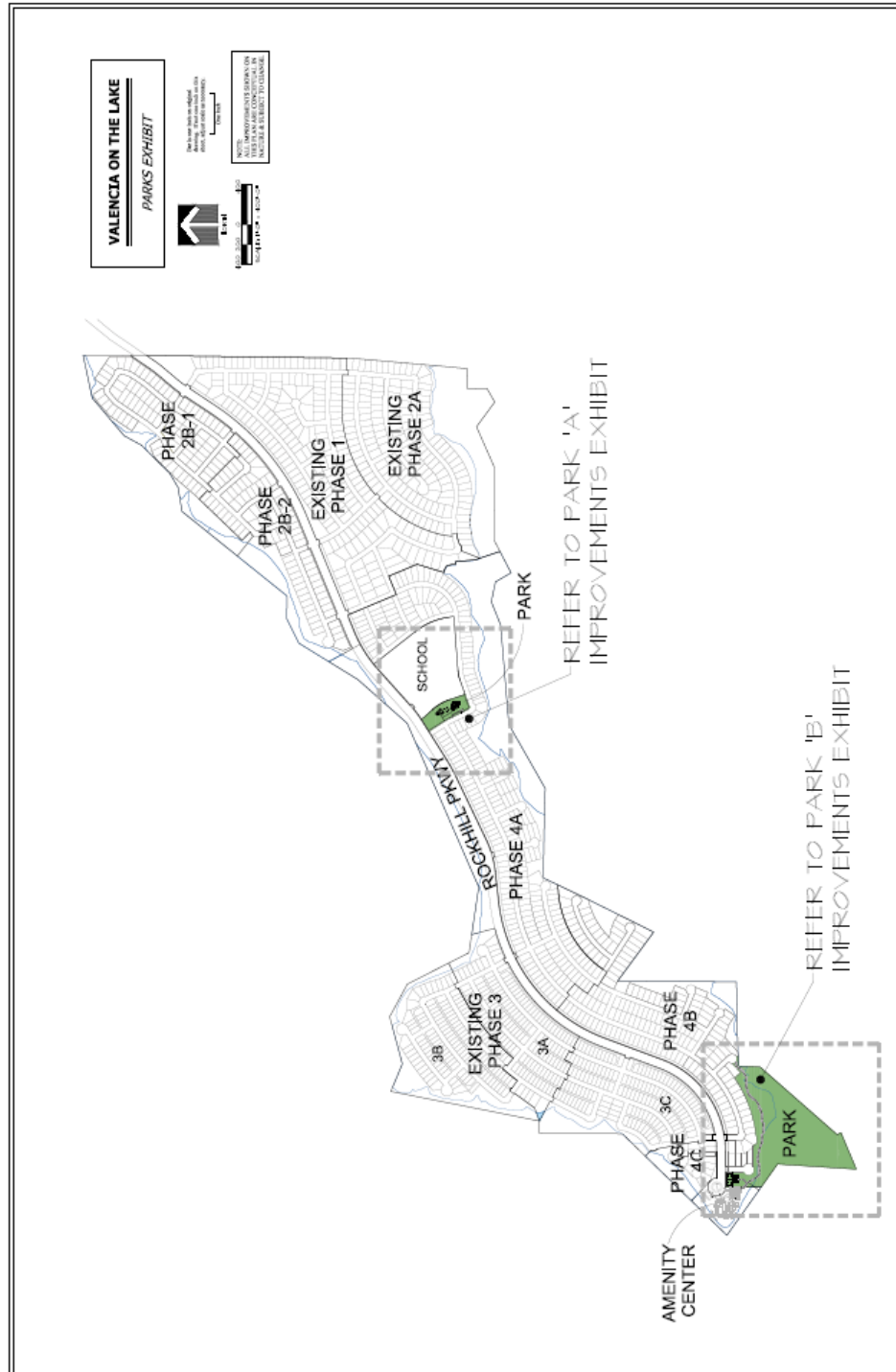


EXHIBIT "E-2"

CONCRETE TRAIL & SIDEWALK EXHIBITS

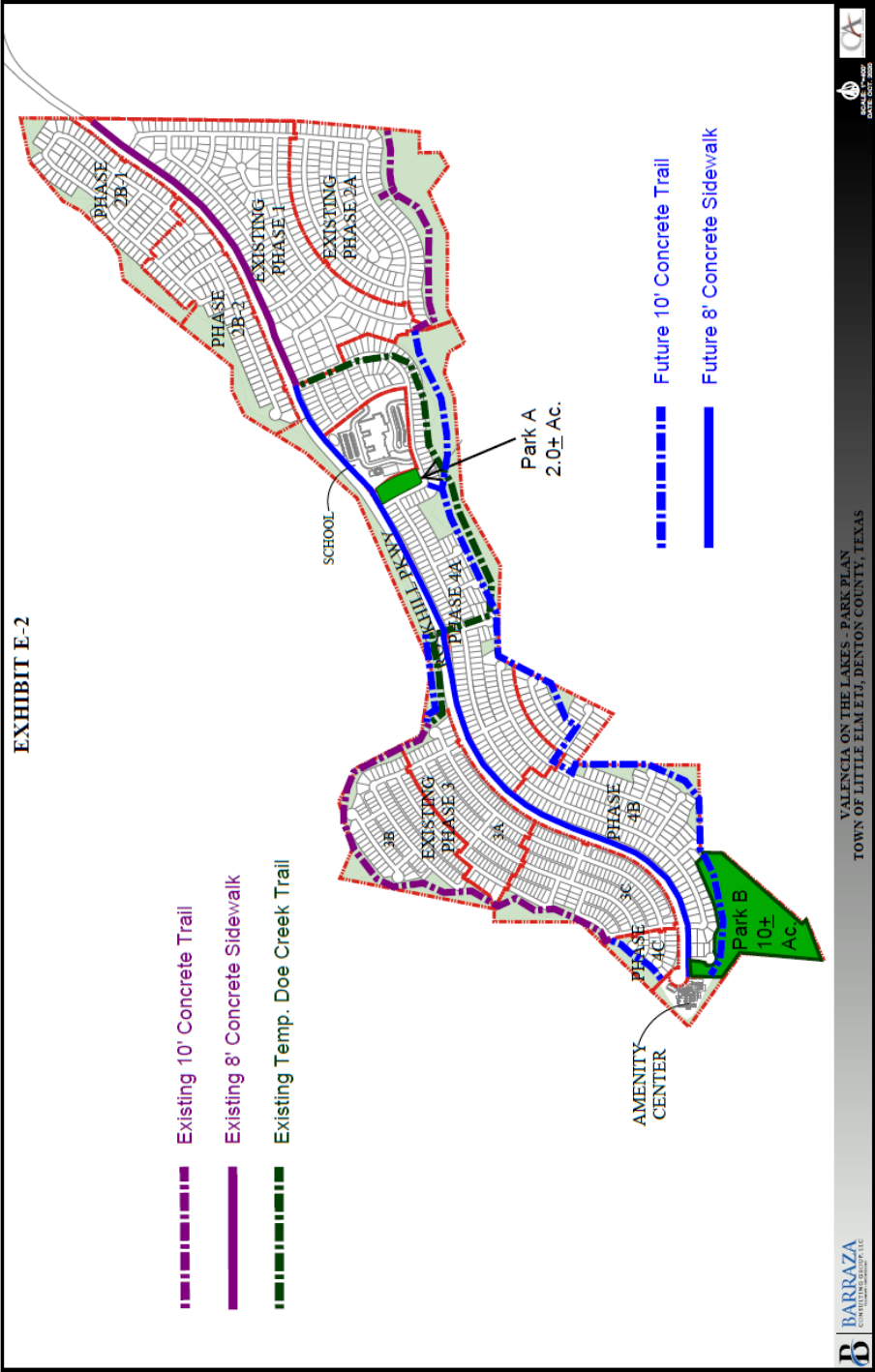
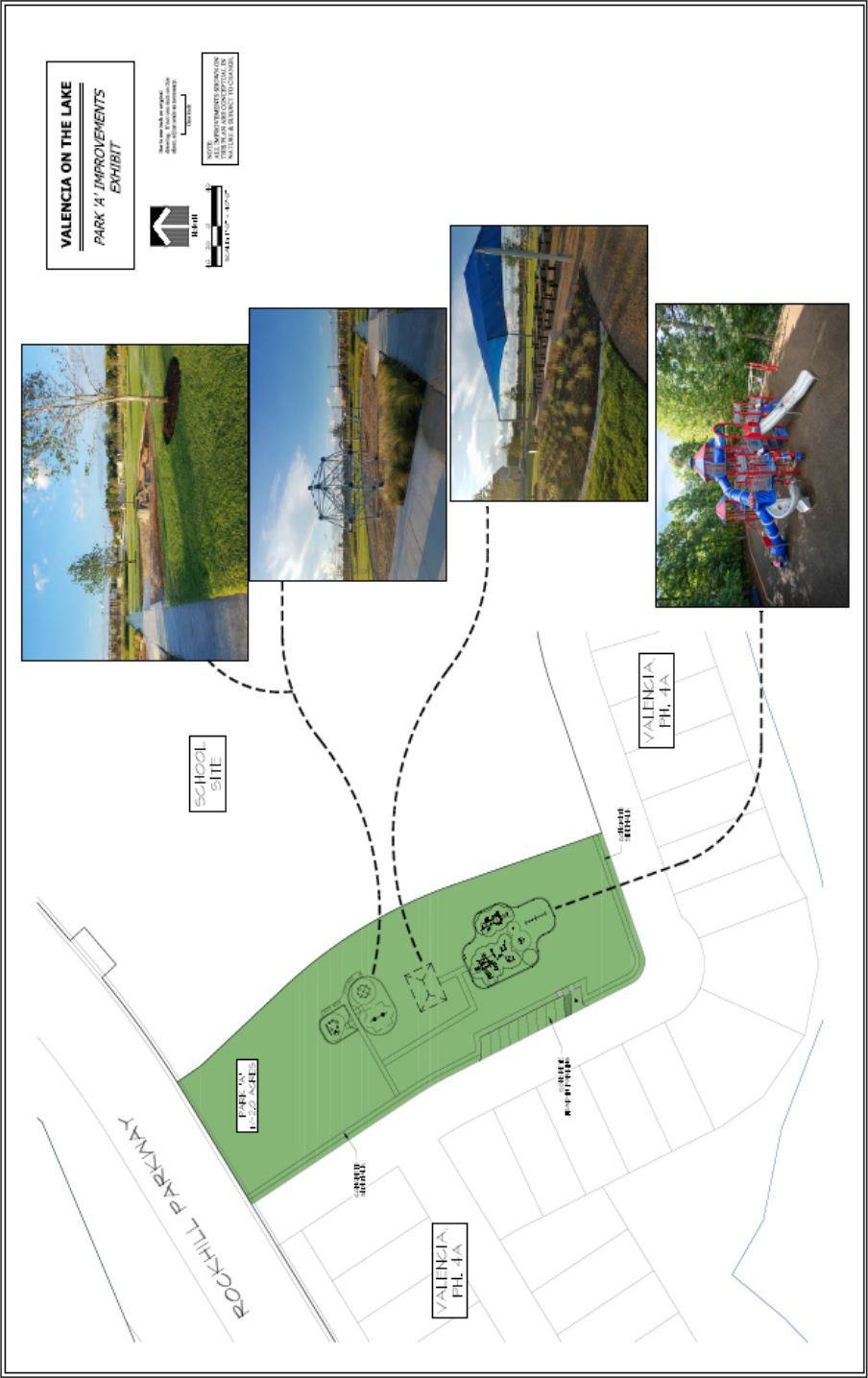
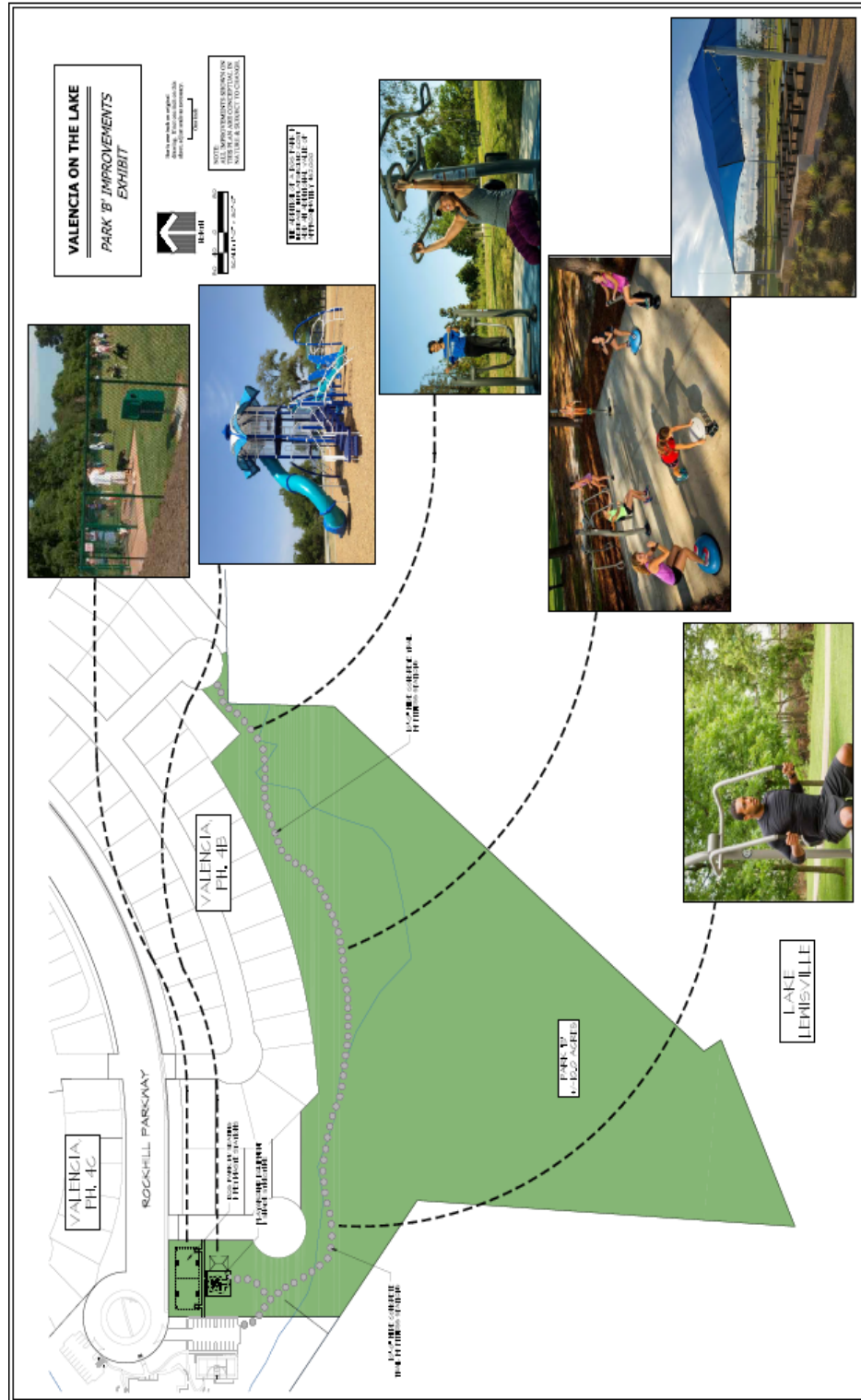


EXHIBIT "I"

PARK "A" IMPROVEMENTS



PARK "B" IMPROVEMENTS



PENALTY ENHANCEMENTS



**Denton County
Juli Luke
County Clerk**

Instrument Number: 30024

ERecordings-RP

AGREEMENT

Recorded On: February 22, 2021 04:19 PM

Number of Pages: 20

" Examined and Charged as Follows: "

Total Recording: \$102.00

******* THIS PAGE IS PART OF THE INSTRUMENT *******

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY
because of color or race is invalid and unenforceable under federal law.

File Information:

Document Number: 30024
Receipt Number: 20210222000959
Recorded Date/Time: February 22, 2021 04:19 PM
User: Amanda B
Station: Station 26

Record and Return To:

Simplifile



STATE OF TEXAS
COUNTY OF DENTON

I hereby certify that this Instrument was FILED In the File Number sequence on the date/time
printed hereon, and was duly RECORDED in the Official Records of Denton County, Texas.

Juli Luke
County Clerk
Denton County, TX

**SIXTH AMENDMENT TO THE VALENCIA ON THE LAKE PRE-ANNEXATION
AGREEMENT, DEVELOPMENT AGREEMENT, PUBLIC IMPROVEMENT
DISTRICT AGREEMENT AND TAX INCREMENT REINVESTMENT ZONE
AGREEMENT**

This Sixth Amendment (this "Sixth Amendment") to the **Valencia on the Lake Pre-Annexation Agreement, Development Agreement, Public Improvement District Agreement and Tax Increment Reinvestment Zone Agreement** is made by and between Valencia on the Lake, L.P. ("Owner") and the Town of Little Elm, Texas (the "Town"), to be effective February 2, 2021. The Town and Owner may be together referred to herein as the "Parties." Capitalized terms not defined herein shall have the respective meanings given to them in the Agreement.

RECITALS

WHEREAS, on November 5, 2013, the governing body (the "Town Council") of the Town adopted and approved the Valencia on the Lake Pre-Annexation Agreement, Development Agreement, Public Improvement District Agreement and Tax Increment Reinvestment Zone Agreement (the "Agreement"); and

WHEREAS, on September 16, 2014, the Town and Owner amended the Agreement by executing the First Amendment to the Agreement ("First Amendment"), which revised certain setback regulations contained in the PD Standards relating to Lots with a minimum width of forty feet (40'); and

WHEREAS, on June 2, 2015, the Town and Owner amended the Agreement by executing the Second Amendment to the Agreement ("Second Amendment"), which revised and supplemented certain trail construction obligations and revised certain development standards contained in the Agreement, as amended by the First Amendment; and

WHEREAS, on February 16, 2016, the Town and Owner amended the Agreement by executing the Third Amendment to the Agreement ("Third Amendment"), which revised the garage standards in the PD standards relating to Lots with a minimum width of eighty feet (80') to make such standards identical to those relating to Lots with a minimum width of sixty feet (60'), as such development standards were contained in the Agreement, as amended by the First Amendment and the Second Amendment; and

WHEREAS, on August 2, 2016, the Town and Owner amended the Agreement by executing the Fourth Amendment to the Agreement ("Fourth Amendment"), which (1) revised the PD standards relating to certain Lots by revising certain Lot sizes and Lot

counts, (2) updated the Trail Exhibit and revised the trail obligations, (3) required the construction of an amenity center pursuant to certain articulated standards, (4) required certain additional development standards related to trees, irrigation systems, and garage door and front door construction materials, as amended by the First Amendment, the Second Amendment, and the Third Amendment; and

WHEREAS, on September 5, 2017, the Town and Owner amended the Agreement by executing the Fifth Amendment to the Agreement ("Fifth Amendment"), which (1) revised the payment requirements due to the Town in relation to the construction of the Amenity Center, and (2) addressed the timing of the construction and completion of the Amenity Center.

WHEREAS, the Parties now wish to enter into this Sixth Amendment to amend the Agreement to reflect the new Phase 4 Lot mix and anticipated amendment to the development standards; anticipated revision of the covenants, conditions, and restrictions; the construction Rockhill Parkway, including the 8' sidewalk along Rockhill Parkway; the location of certain parks; the term of the Agreement; the timing of the second water line; and adding a phasing exhibit for infrastructure.

WHEREAS, the Parties agree that the standard review period ("Standard Review Period") for inspections shall be two (2) business days and the Standard Review Period for plan review shall be ten (10) days.

NOW, THEREFORE, for and in consideration of the mutual covenants of the Parties set forth in this Sixth Amendment, and for good and valuable consideration the receipt and adequacy of which are acknowledged and agreed.

Through this Sixth Amendment, section VI of the Agreement is replaced in its entirety; Article VII and Section 6.3 are amended; Exhibits D and E are replaced with updated exhibits; Exhibit E-1 is removed; Exhibit E-2 is added; Exhibit I (Parks A and B) is added; Exhibit J (Infrastructure Phasing) is added; Exhibit K (Penalty Enhancements); and Exhibit L (Acknowledgement of Resolution of Penalty) is added. Furthermore, the Parties agree as follows:

1. Lot Mix.

Exhibit D to the Agreement, "Concept Plan," is hereby amended and replaced with the "Concept Plan," attached hereto, and shall become the new Exhibit D to the Agreement. The Parties further agree that the Lot counts shown in the Concept Plan (Exhibit D) may be adjusted higher by up to five (5) lots, or lower as needed, in order to account for future engineering requirements.

2. Rockhill Parkway and 8' Sidewalk.

As a component of the next phase of development, consisting of approximately ninety (90) sixty-foot (60') Lots and two hundred and fifty (250) fifty-foot (50') Lots, Owner agrees to construct, or cause to be constructed, the remaining two (2) lanes of Rockhill Parkway and the 8' sidewalk, identified in the Concept Plan, as follows:

Phases 2B-2/4A will proceed together as one phase. Within 120 days of the Pre-Construction Meeting for the development of Phase 2B-2/4A, between the Town and the Owner, or Owner's representatives, Owner agrees to construct and complete, or cause to be constructed and completed, the 8' concrete sidewalk along Rockhill Parkway from Riola Drive to the Valencia on the Lake Amenity Center, as identified in the attached Exhibit E-2. The completion date shall be extended by one business day for each business day the Town delays any necessary approvals beyond the applicable Standard Review Period. Furthermore, Owner agrees not to remove the temporary Doe Creek Trail link, as shown on the attached Exhibit E-2, until after the 8' sidewalk has been fully constructed. The HOA will maintain the temporary Doe Creek Trail link until the 8' sidewalk has been fully constructed. If the 8' concrete sidewalk is not completed by its completion date, which may be extended as provided above, Owner shall pay a penalty of five-hundred dollars (\$500.00) for each day beyond the completion date that the sidewalk not completed, until the 8' sidewalk is completed.

Additionally, as component of the development of Phase 2B-2/4A, Owner agrees to construct the remaining two (2) lanes of Rockhill Parkway from Phase 2B-1 (just west of Salem Drive) to the Valencia on the Lake Amenity Center, as shown on the Exhibit E-2. Owner will submit plans for Phase 2B-2/4A within nine (9) months of the effective date of this Sixth Amendment. Rockhill Parkway will be completed as a condition prior to acceptance of Phase 2B-2/4A by the Town.

3. Parks.

Section VI of the Agreement is replaced in its entirety with the revised Section VI below. Exhibits E and E-1 are replaced with the revised Exhibit E, attached.

"VI. PARK AND OPEN SPACE REQUIREMENTS

"The Valencia on the Lake Planned Development District shall provide a minimum of 65 acres to be used as Public Open Space, which may include, but is not limited to, passive uses including a trail system with park benches. Public

Open Space shall be maintained by the HOA. A public improvement district may fund the costs of maintenance of Public Open Space.

In addition, a minimum of two (2) public park sites shall be dedicated to the Town. Combined, the park sites within Valencia on the Lake shall be a minimum of ten acres, with each park being a minimum of two (2) acres each. The completed parks will be dedicated to the Town and maintained by the HOA.

"The locations of the parks are shown on a revised Exhibit E, which is attached to this Sixth Amendment, and which replaces both the former Exhibit E and Exhibit E-1. Owner will design the parks to be interactive, including at a minimum; benches, play structures, and shade structures. The parks will further be designed to incorporate natural elements of the adjacent property.

"Park A, with the specific improvements as shown on the attached Exhibit I, will be approximately two (2) acres, and will be constructed simultaneously with the development of Phase 2B-2/4A. Owner will cause Park A to be completed and accepted by the Town within sixty (60) days of the Town's acceptance of Phase 2B-2/4A, provided that the Town timely provides the necessary approvals for the Park A Landscaping/Hardscaping Plan. The Park A completion date shall be extended by one business day for each business day the Town delays approval of the Park A Landscaping/Hardscaping Plan beyond the applicable Standard Review Period. If Park A is not completed by its completion date, which may be extended as provided above, Owner shall pay a penalty of five-hundred dollars (\$500.00) for each day beyond the completion date that Park A is not completed.

"Park B, with the specific improvements as shown on the attached Exhibit I, will be approximately ten (10) acres, and will be constructed simultaneously with the development of Phase 4B. Owner will cause Park B to be completed and accepted by the Town within sixty (60) days of the Town's acceptance of Phase 4B, provided that the Town timely provides the necessary approvals for the Park B Landscaping/Hardscaping Plan. The Park B completion date shall be extended by one business day for each business day the Town delays approval of the Park B Landscaping/Hardscaping Plan beyond the applicable Standard Review Period. If Park B is not completed by its completion date, which may be extended as provided above, Owner shall pay a penalty of five-hundred dollars (\$500.00) for each day beyond the completion date that Park B is not completed.

"The Owner shall in good faith effort seek approval from the U.S. Army Corps of Engineers (USACE) to construct, or cause to be constructed, a trail system consisting of a trail pathway through the flowage easement and Corps fee title

property to connect the proposed park sites. Notwithstanding the foregoing, the Owner's right to develop any portion of the Property shall be unaffected by obtaining approval from the USACE to construct, or cause to be constructed, this trail system.

"The minimum design standards for the trails shall include the following: Trails shall be a minimum of ten feet (10') in width and six inches (6") in depth and be constructed out of 3500 psi concrete with #3 steel rebar at eighteen inches (18") on center each way (O.C.E.W.). Trail subgrade shall consist of six inches (6") of 95% compacted soil subgrade. On average and subject to USACE approval, each trail system should have an average of one bench and one trash receptacle per 1,000 linear feet of trail. Sidewalks internal to the development will be used to connect the neighborhoods to the trail system. A trail pathway plan is included in Exhibit E.

~~"Owner shall not be required, however, to build the trail section shown in yellow in Exhibit E. E 1, "Future Trail Exhibit." Owner acknowledges (subject to the trail grant contingency discussed below) its obligation to build the remaining trail segments shown in red in Exhibit E. E 1, "Future Trail Exhibit." Owner further acknowledges that the Town has submitted a grant request ("Grant Request") in the amount of \$1,249,527 to the Texas Department of Transportation through TxDOT's 2015 Transportation Alternatives Program for 80% of the anticipated funds required to construct certain sections of the Doe Creek Trail along the Doe Creek Peninsula, which trail sections are shown in yellow in Exhibit E and labeled as Section "A" and Section "B" (hereinafter collectively referred to as the "Grant Trail Sections"). The Grant Request does not cover the anticipated costs of the design of the Grant Trail Sections and other anticipated non-construction related costs to accomplish the Grant Trail Sections (hereinafter referred hereto collectively as the "Additional Trail Costs"). If the Grant Request is granted, the Town will become obligated to build the Grant Trail Sections that Owner would otherwise be required to build under the Agreement.~~

~~"Accordingly, Owner agrees that if the Grant Request is granted and the requested funds are provided to the Town for the construction of the Grant Trail Sections, Owner will, within ninety (90) days of the Town's receipt of the Grant Request funds, pay to the Town \$312,382 towards the construction of the Grant Trail Sections (which amount is the remaining 20% of the anticipated funds required to construct the Grant Trail Sections and has been designated as the local match in the Grant Request) and pay to the Town the Additional Trail Costs. Additionally, if the Grant Request is granted and the requested funds are provided to the Town~~

~~for the construction of the Grant Trail Sections, Owner agrees to pay to the Town an additional \$900,000 once the Grant Trail Sections are constructed and accepted by the Town. Such additional funds shall be used by the Town for additional trail construction and related amenities for the Town's regional trail network. In the event that the Grant Request is not granted, Owner shall remain obligated to construct the trails shown in Exhibit E and Exhibit E 1, and as required by the Agreement and all amendments to the Agreement.~~

"Recreational parking shall be provided as shown on Exhibit E. A minimum of three (3) parking spaces shall be provided at each location shown on Exhibit E. Direct access from the public street shall be permitted for the parking areas (i.e. head-in parking). The parking spaces shall be a minimum of nine (9) feet wide and twenty (20) feet long.

4. Application of Amenity Center Penalties to Park Enhancements.

The Parties recognize that the Owner has previously incurred a penalty totaling sixty-two thousand dollars (\$62,000.00) (the "Amenity Center Penalty") due to the delayed completion of the Phase II Amenity Center. The Parties agree that the full amount of these penalties shall be applied to the enhancements (the "Penalty Enhancements") that Owner is making to the Parks under this Sixth Amendment. The Penalty Enhancements, which include a dog park and playground enhancements, are shown on the attached Exhibit K. Construction of the Penalty Enhancements shall constitute full consideration for the Amenity Center Penalty. Upon completion of the Penalty Enhancements, the Town will execute Exhibit L.

5. Period of Agreement.

Article XII of the Agreement is amended as follows:

The term of this Agreement shall be for a period of fifteen (15) years, with automatic extensions of fifteen (15) years during the period which PID bonds remain outstanding.

6. Second Water Line.

Section 6.3 of the Agreement is amended as follows:

"6.3 Second Water Line Timing. The Public Infrastructure, which includes the Facilities, may be constructed in phases. A second 12-inch water line connection to the Town's infrastructure shall be constructed, or caused to be constructed, by the Owner ~~prior to the issuance of the 601st building permit for a structure within~~

the Property, upon approval of necessary permit (the "Water Line Permit") by Army Corps of Engineers and acceptance by the Town in the form of a notice to proceed. Construction of the water line will be completed within one-hundred eighty (180) days of the Town's delivery of the notice to proceed to Owner.

If the second water line is not completed by its completion date, which may be extended as provided above, Owner shall pay a penalty of five-hundred dollars (\$500.00) for each day beyond the completion date that the second water line is not completed, until the second water line is completed, and no more building permits shall be issued by the Town, past Phase 2-B-1, until the water line is completed.

7. Revisions to Development Standards and CC&Rs

Within sixty (60) days of the Town's execution of this Sixth Amendment, Owner will submit to the Town revised development standards that eliminate any additional or future 40' Lots and Townhome Lots from the development, address masonry requirements, and incorporate the First through Fifth Amendments to the Agreement, which are referenced in the recitals above. Conditions, covenants, and restrictions for the development will be accordingly revised to reflect these changes. [[EDITS TO THIS SECTION ARE PENDING]]

8. Phasing of Infrastructure

Future infrastructure will be constructed in accordance with the attached Exhibit J, "Infrastructure Phasing."

9. Except as modified by this Sixth Amendment, the terms and conditions of the Agreement shall remain in force and effect.

10. The Town represents and warrants that this Sixth Amendment has been duly adopted by official action of the Town council in accordance with all applicable public notice requirements (including, but not limited to, notices required by the Texas Open Meetings Act), and that the individual executing this Sixth Amendment on behalf of the Town has been duly authorized to do so. The Owner represents and warrants that this Sixth Amendment has been approved by the appropriate action of the Owner, and that the individual executing this Sixth Amendment on behalf of the owner has been duly authorized to do so.

11. This Sixth Amendment may be executed in any number of counterparts, each of which shall be deemed an original and constitute one and the same instrument.

12. Owner will submit a zoning application for the Property within sixty (60) days of execution of this Sixth Amendment. Nothing in this Sixth Amendment is intended to constitute a delegation or contracting away of the governmental authority of the Town to zone, or to determine appropriate zoning, and the Town reserves the right, at all times, to control the zoning process for all property that is impacted by this Sixth Amendment.

Executed by Owner and Town to be effective on February 2, 2021

ATTEST:

DocuSigned by:
Caitlan Biggs
Name: Caitlan Biggs
Title: Town Secretary

TOWN OF LITTLE ELM

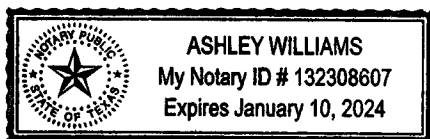
DocuSigned by:
By: David Hillock
Name: David Hillock
Title: Mayor
Date: 2/16/2021

APPROVED AS TO FORM

DocuSigned by:
Robert F. Brown
Name: Robert F. Brown
Title: Town Attorney

STATE OF TEXAS §
 §
COUNTY OF DENTON §

This instrument was acknowledged before me on the 12 day of February 2021 by David Hillock, mayor of the Town of Little Elm, Texas on behalf of the Town.



Ashley Williams
Notary Public, State of Texas

VALENCIA ON THE LAKE, LP,
a Texas limited partnership

By: Valencia on the Lake G.P., L.L.C.
a Texas limited liability
company

Its: General Partner

By: 

Name: Mehrdad Moayed

Title: Manager

Date: January 26, 2021

THE STATE OF TEXAS

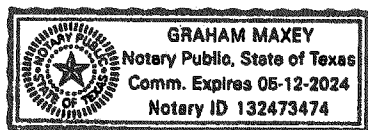
§

§

COUNTY OF Dallas

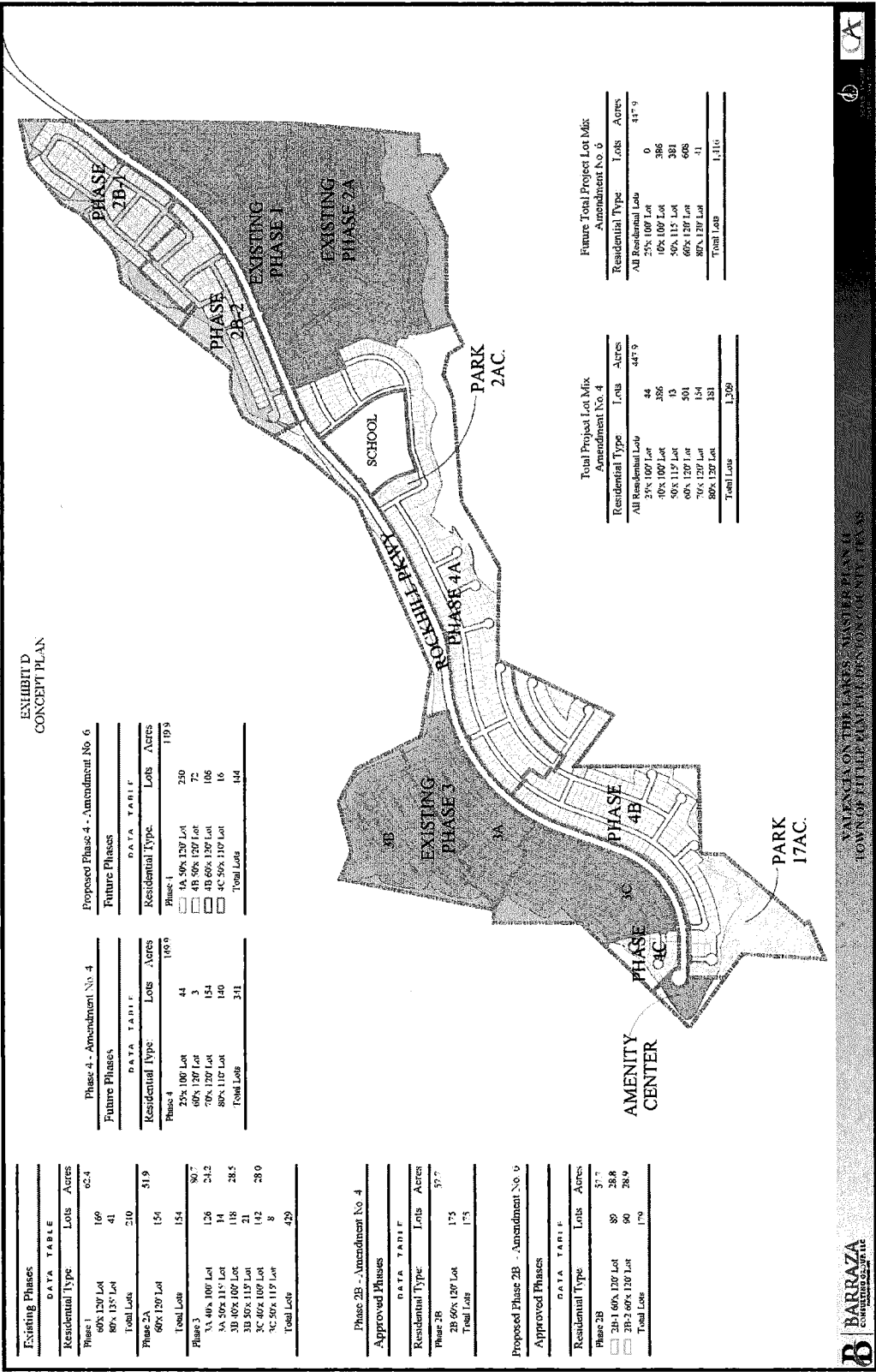
§

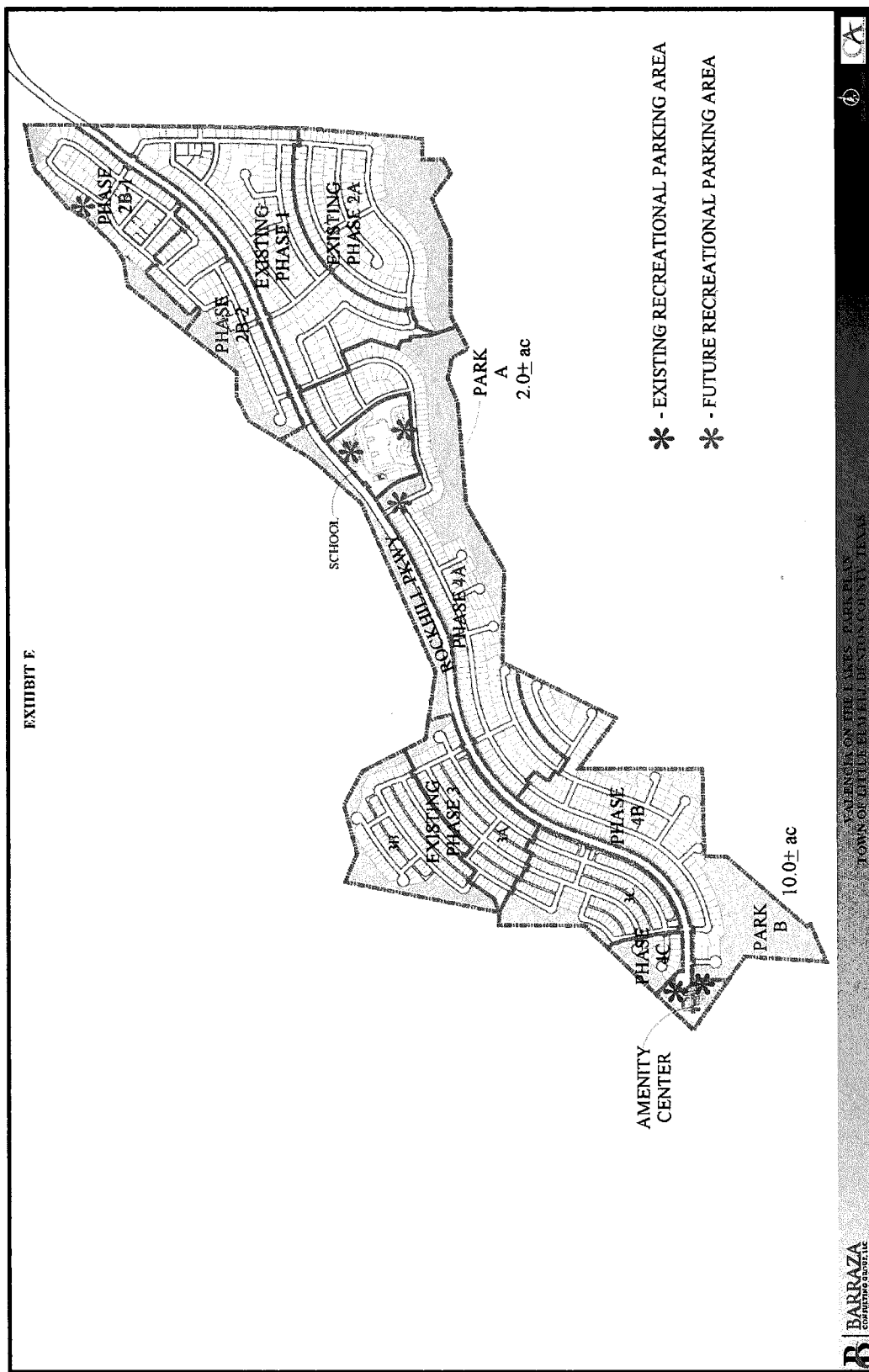
This instrument was acknowledged before me on the 26th day of
January, 2021, by Mehrdad Moayed, the Manager of Valencia on the Lake,
G.P., LLC, a Texas limited liability company, the general partner of Valencia on the
Lake, L.P., a Texas limited partnership, on behalf of such limited partnership.





Notary Public, State of Texas





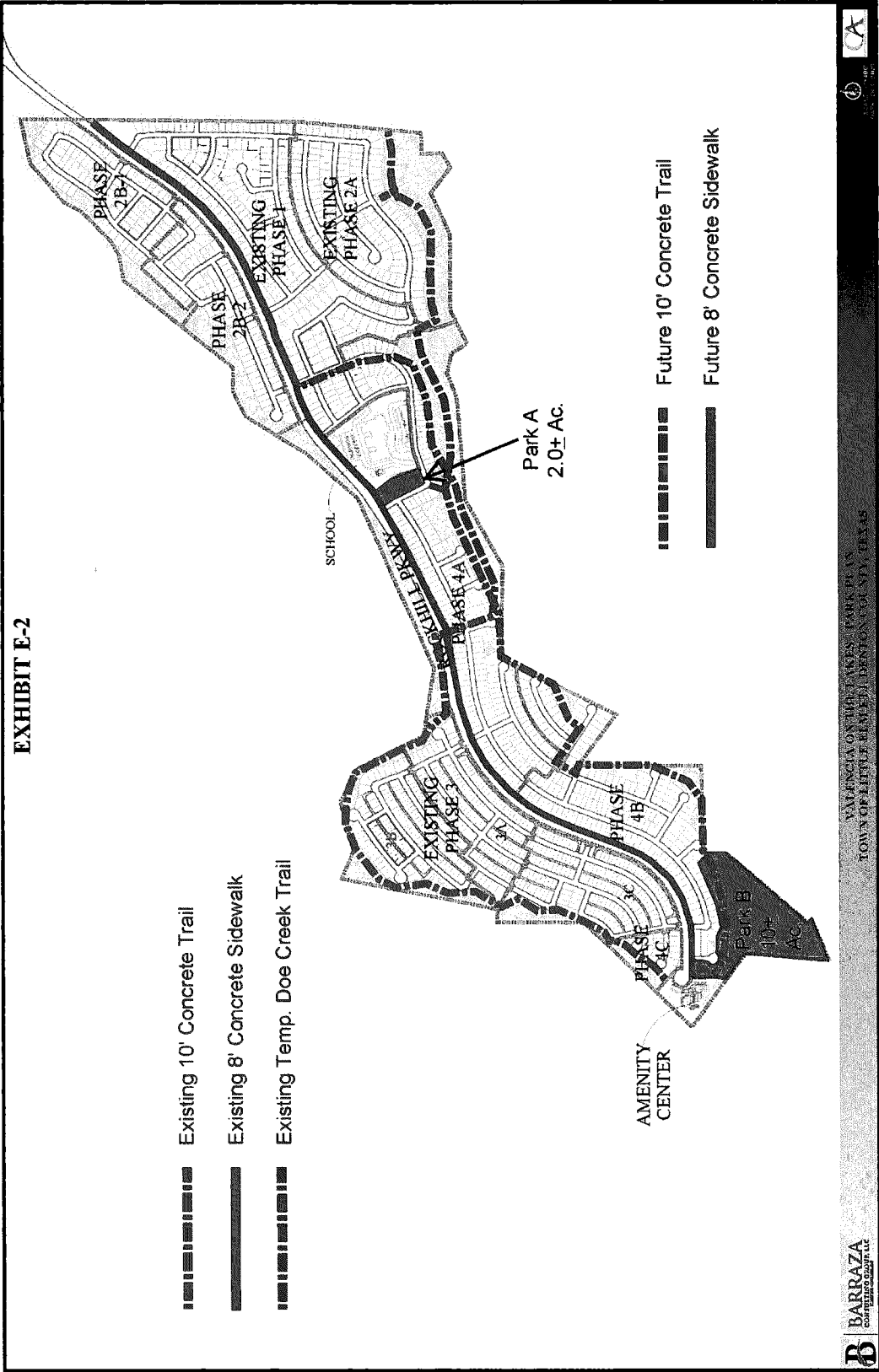


EXHIBIT I – PAGE 1 OF 3

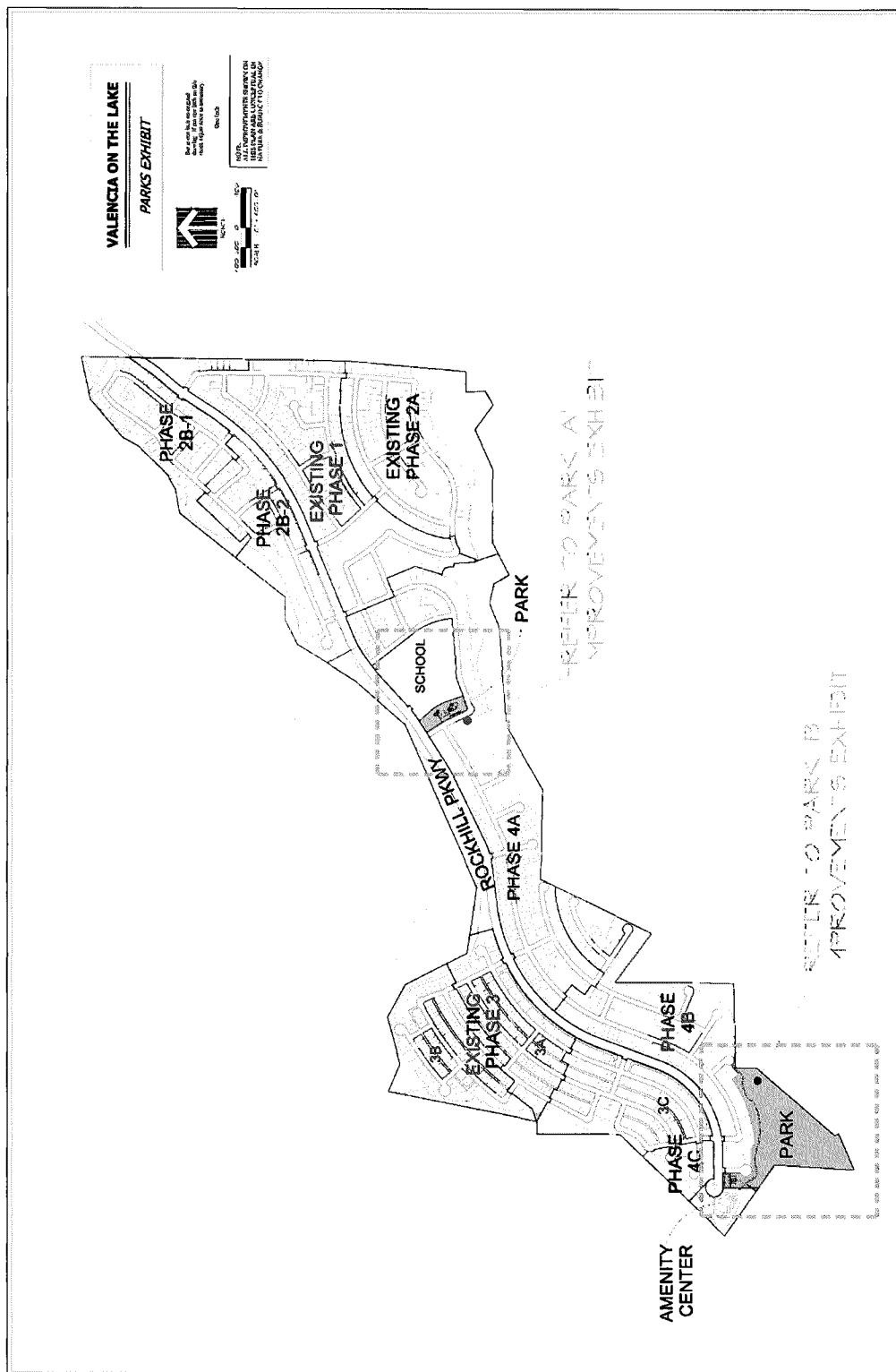


EXHIBIT I – PAGE 2 OF 3

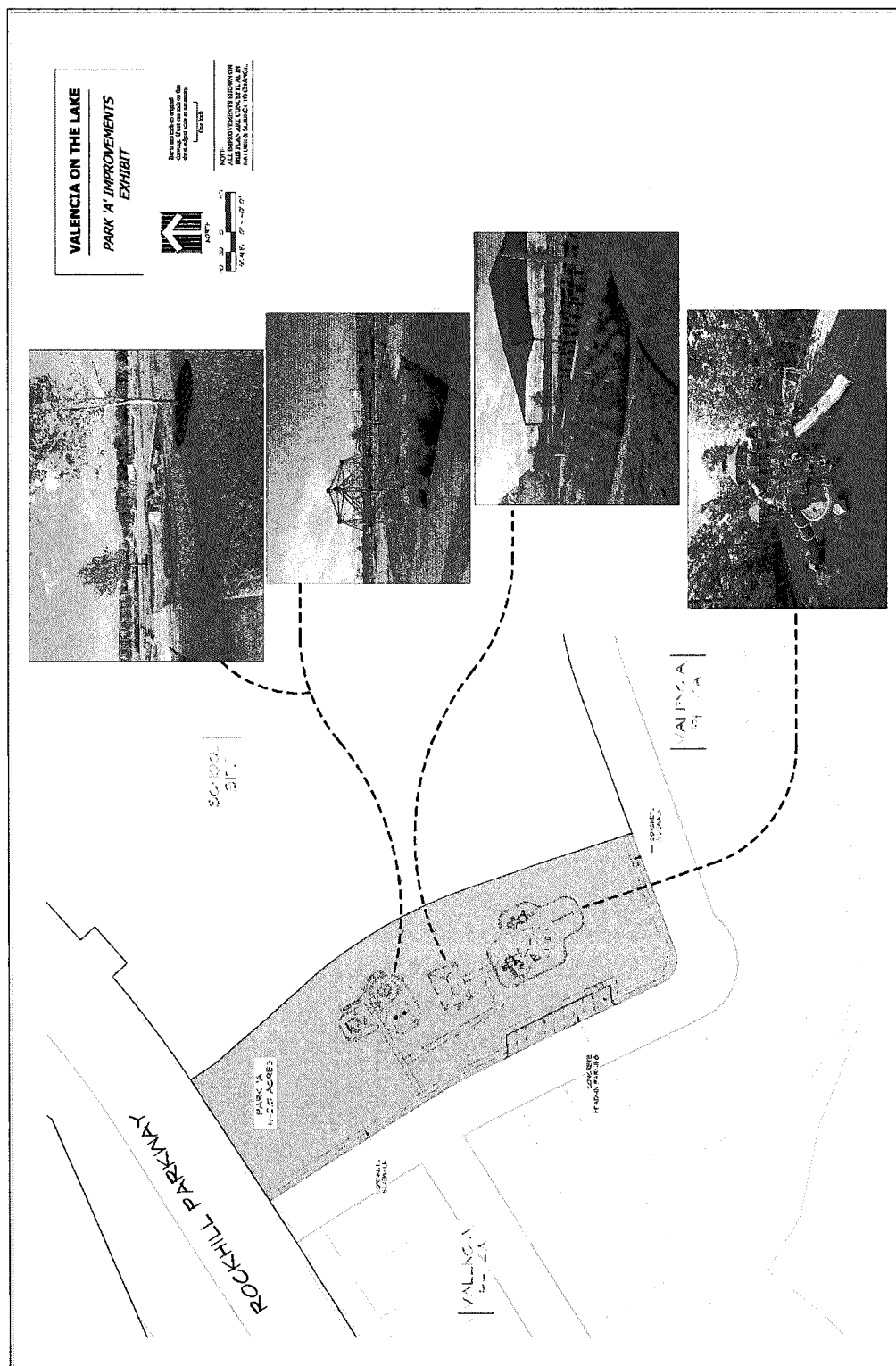


EXHIBIT I – PAGE 3 OF 3

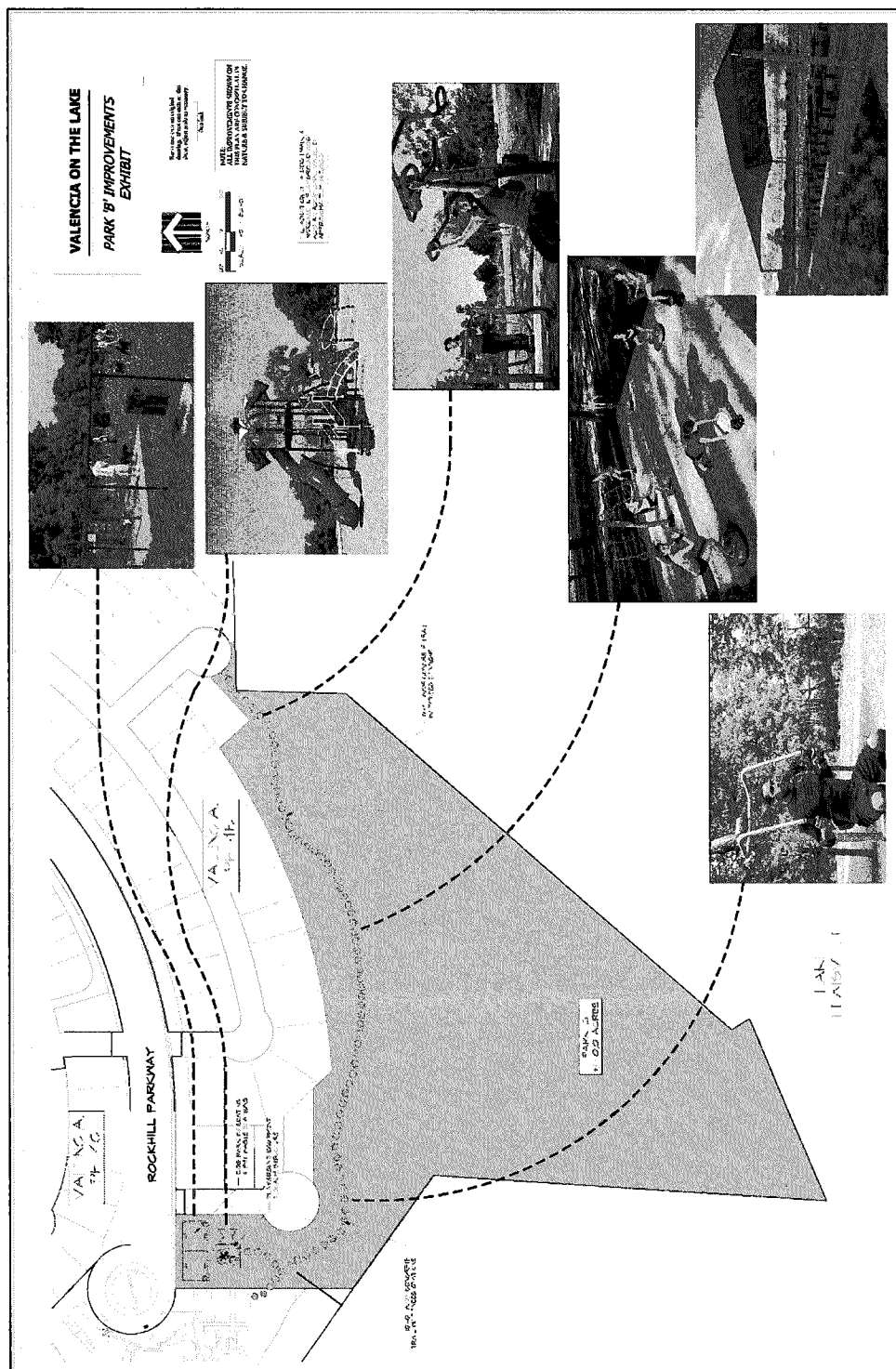
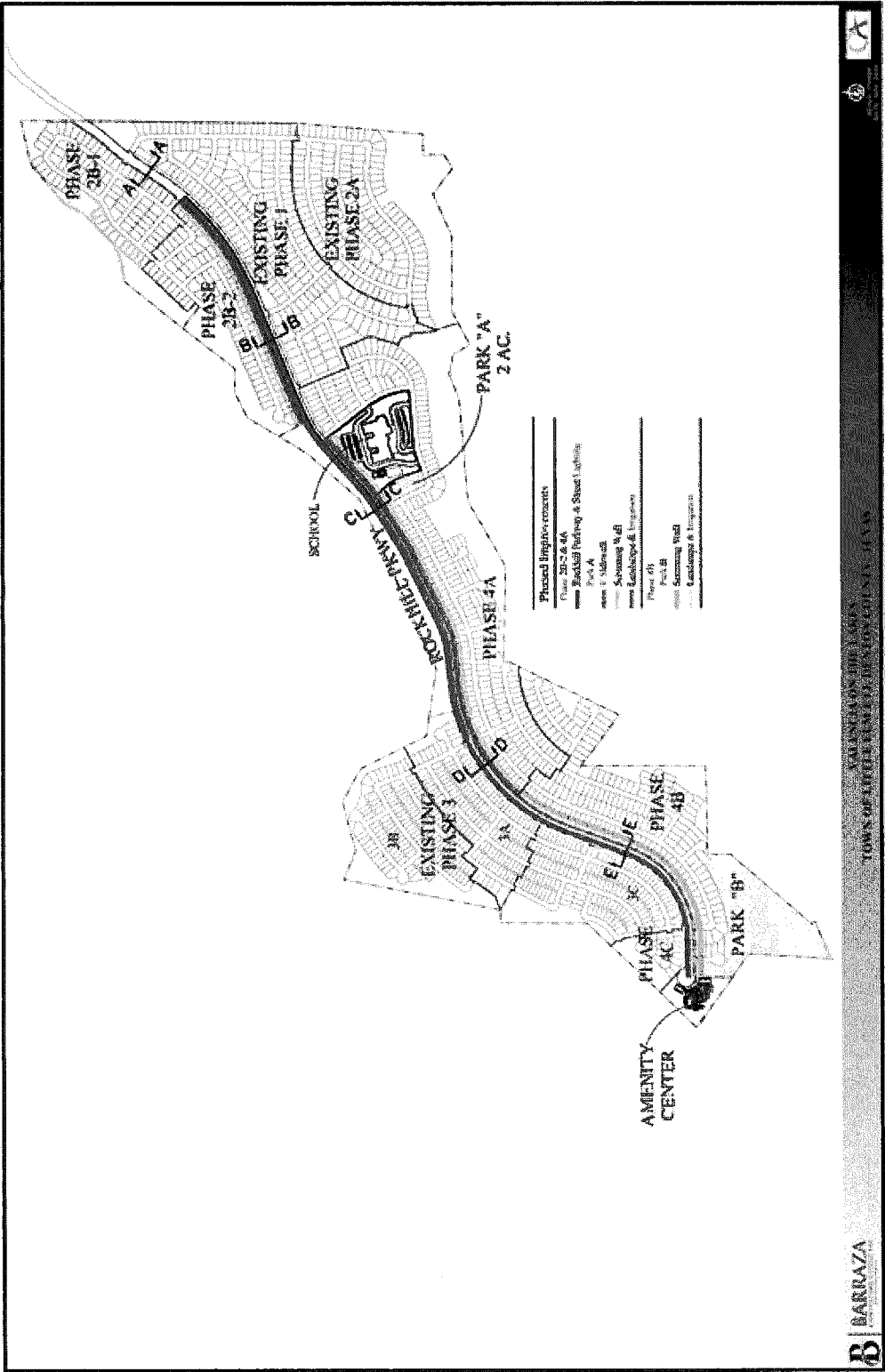


EXHIBIT J – INFRASTRUCTURE PHASING, PAGE 1 OF 2





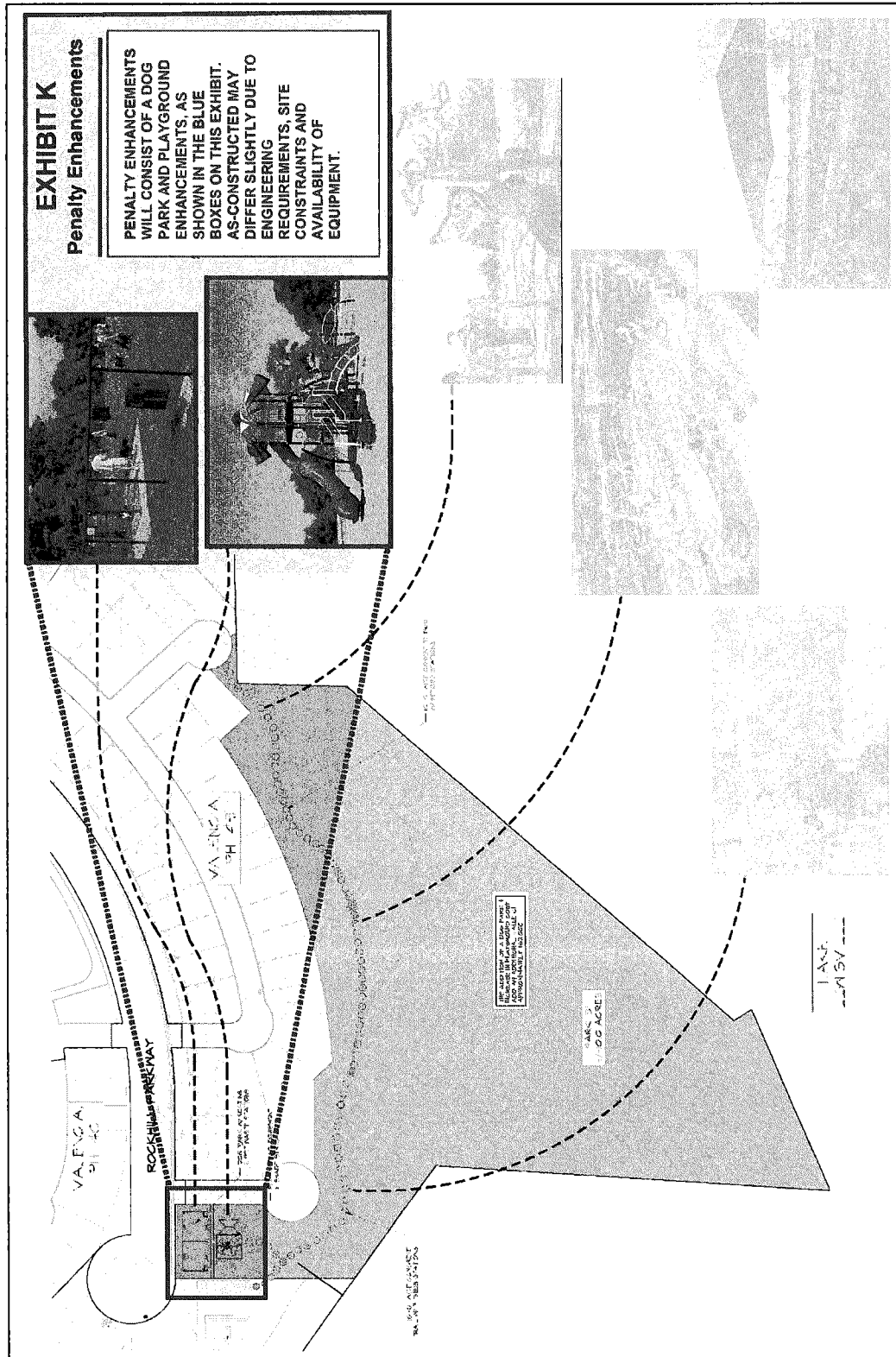


EXHIBIT L – ACKNOWLEDGEMENT OF RESOLUTION OF PENALTY

Due to Owner's completion of the Penalty Enhancements, the Town acknowledges that Invoice No. "Valencia Ph 2 Amenity Center," dated October 19, 2019, and totaling \$62,000, has been fully paid and satisfied, and that no additional payment is required.

TOWN OF LITTLE ELM

By: _____

Name: _____

Title: _____

Date: _____

Recorded Valencia 6th Amendment Agreement

Enhanced Copy for readability followed

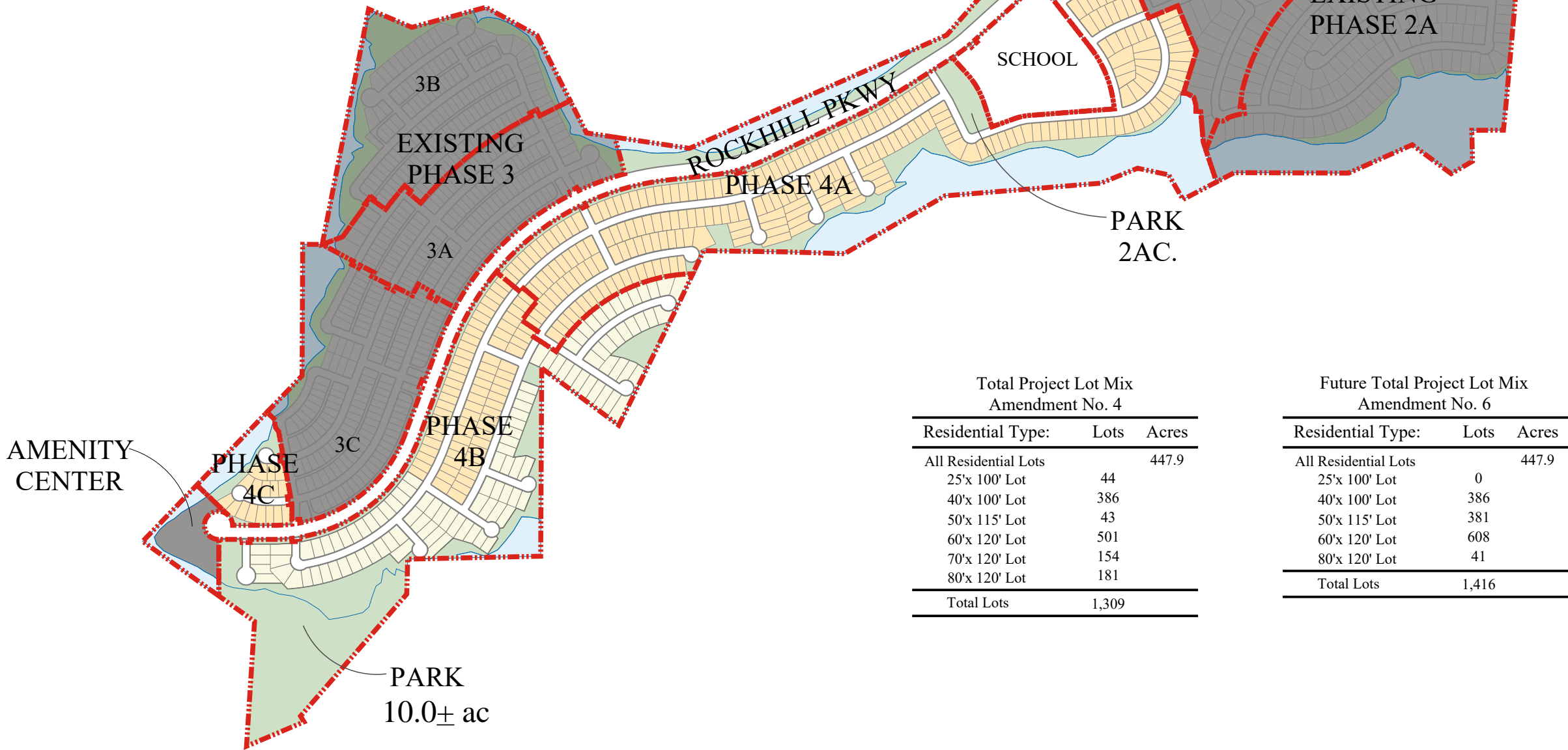
Existing Phases		
DATA TABLE		
Residential Type:	Lots	Acres
Phase 1		62.4
60'x 120' Lot	169	
80'x 135' Lot	41	
Total Lots	210	
Phase 2A		51.9
60'x 120' Lot	154	
Total Lots	154	
Phase 3		80.7
3A 40'x 100' Lot	126	24.2
3A 50'x 115' Lot	14	
3B 40'x 100' Lot	118	28.5
3B 50'x 115' Lot	21	
3C 40'x 100' Lot	142	28.0
3C 50'x 115' Lot	8	
Total Lots	429	

Phase 2B - Amendment No. 4		
Approved Phases		
DATA TABLE		
Residential Type:	Lots	Acres
Phase 2B		57.7
2B 60'x 120' Lot	175	
Total Lots	175	

Proposed Phase 2B - Amendment No. 6		
Approved Phases		
DATA TABLE		
Residential Type:	Lots	Acres
Phase 2B		57.7
2B-1 60'x 120' Lot	89	28.8
2B-2 60'x 120' Lot	90	28.9
Total Lots	179	

Phase 4 - Amendment No. 4		
Future Phases		
DATA TABLE		
Residential Type:	Lots	Acres
Phase 4		149.9
25'x 100' Lot	44	
60'x 120' Lot	3	
70'x 120' Lot	154	
80'x 110' Lot	140	
Total Lots	341	

Proposed Phase 4 - Amendment No. 6		
Future Phases		
DATA TABLE		
Residential Type:	Lots	Acres
Phase 4		149.9
4A 50'x 120' Lot	250	
4B 50'x 120' Lot	72	
4B 60'x 120' Lot	106	
4C 50'x 110' Lot	16	
Total Lots	444	



Total Project Lot Mix Amendment No. 4		
Residential Type:	Lots	Acres
All Residential Lots		447.9
25'x 100' Lot	44	
40'x 100' Lot	386	
50'x 115' Lot	43	
60'x 120' Lot	501	
70'x 120' Lot	154	
80'x 120' Lot	181	
Total Lots	1,309	

Future Total Project Lot Mix Amendment No. 6		
Residential Type:	Lots	Acres
All Residential Lots		447.9
25'x 100' Lot	0	
40'x 100' Lot	386	
50'x 115' Lot	381	
60'x 120' Lot	608	
80'x 120' Lot	41	
Total Lots	1,416	

EXHIBIT E

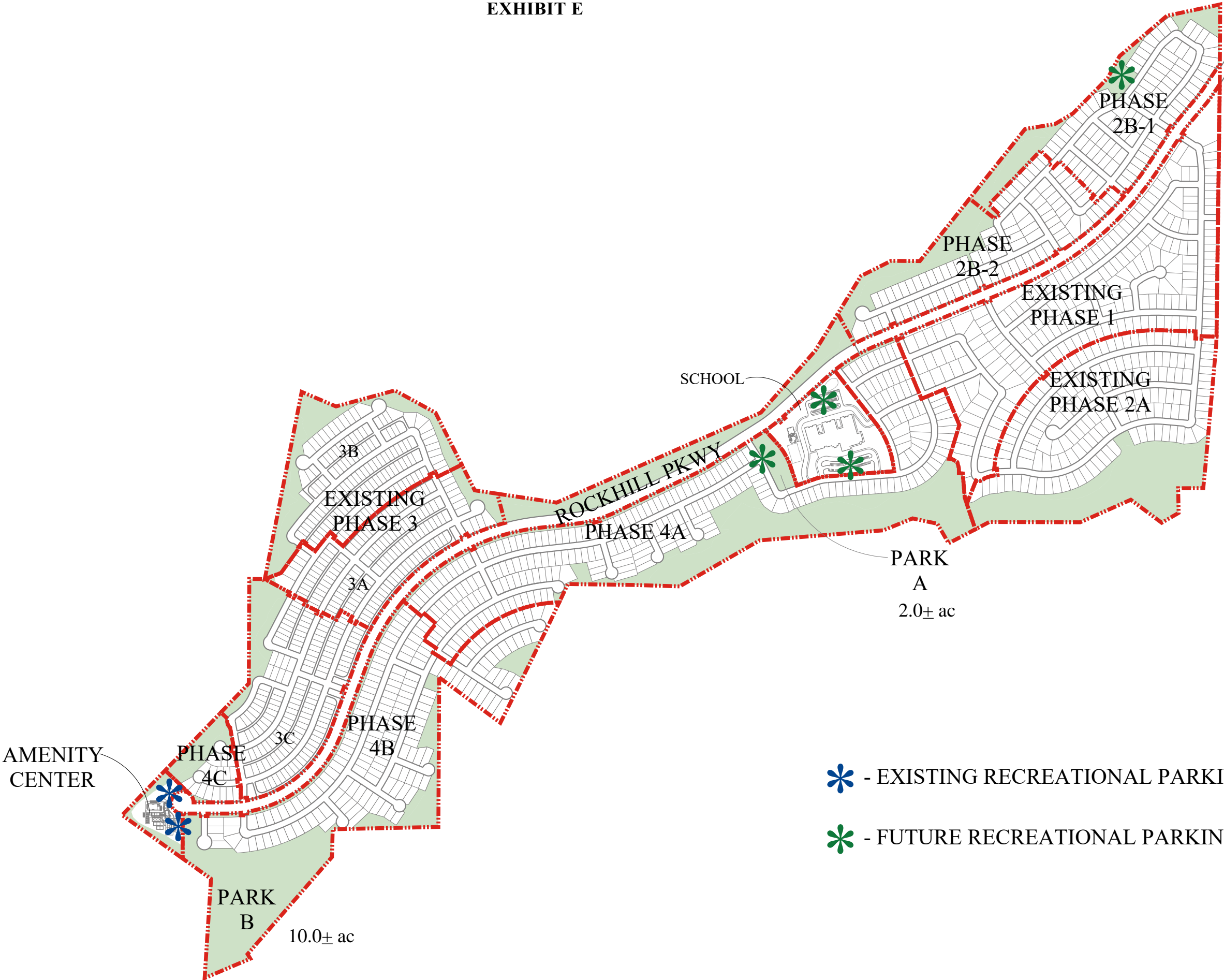
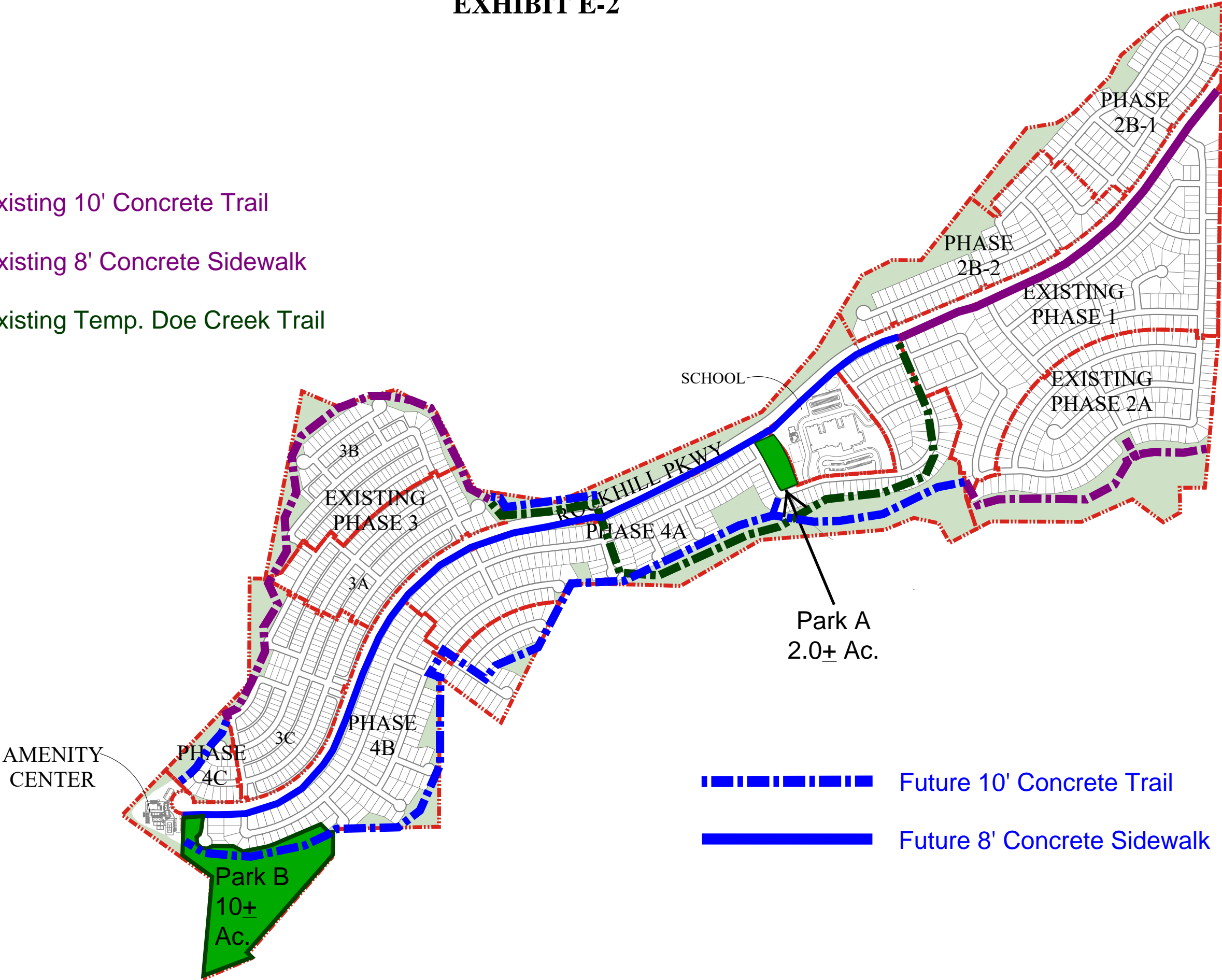


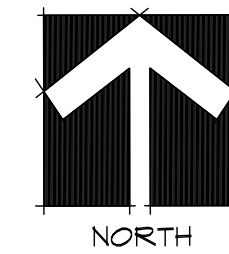
EXHIBIT E-2

- Existing 10' Concrete Trail
- Existing 8' Concrete Sidewalk
- Existing Temp. Doe Creek Trail



VALENCIA ON THE LAKE

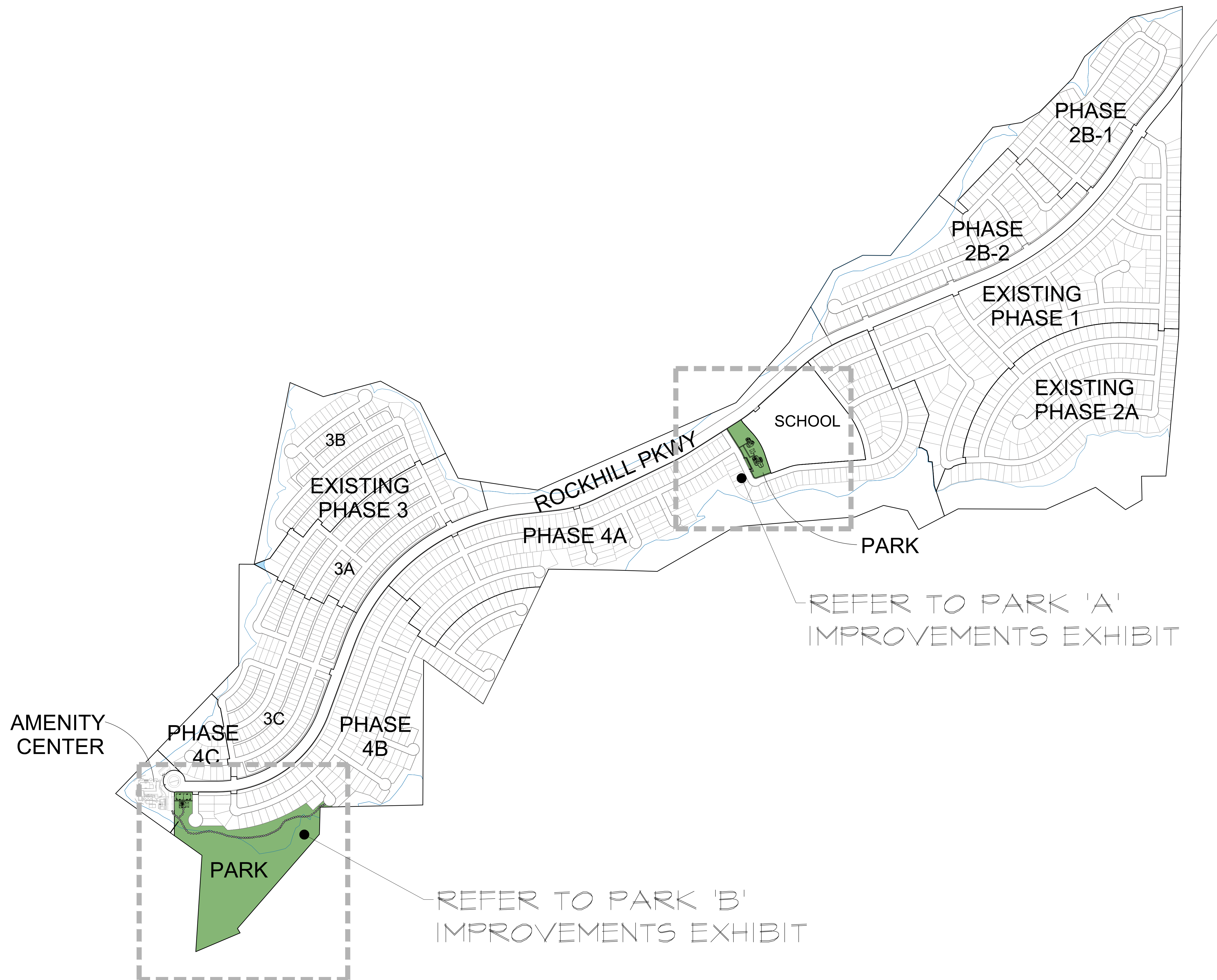
PARKS EXHIBIT



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

400 200 0 400
SCALE: 1" = 400'-0"

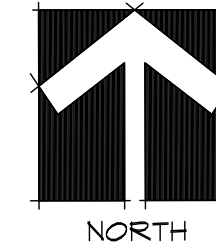
NOTE:
ALL IMPROVEMENTS SHOWN ON
THIS PLAN ARE CONCEPTUAL IN
NATURE & SUBJECT TO CHANGE.





VALENCIA ON THE LAKE

**PARK 'A' IMPROVEMENTS
EXHIBIT**



40 20 0 40
SCALE: 1"=0' = 40'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

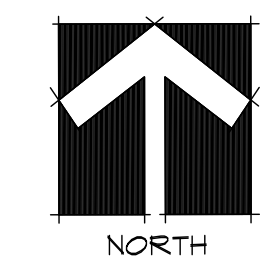
NOTE:
ALL IMPROVEMENTS SHOWN ON THIS PLAN ARE CONCEPTUAL IN NATURE & SUBJECT TO CHANGE.





VALENCIA ON THE LAKE

PARK 'B' IMPROVEMENTS EXHIBIT



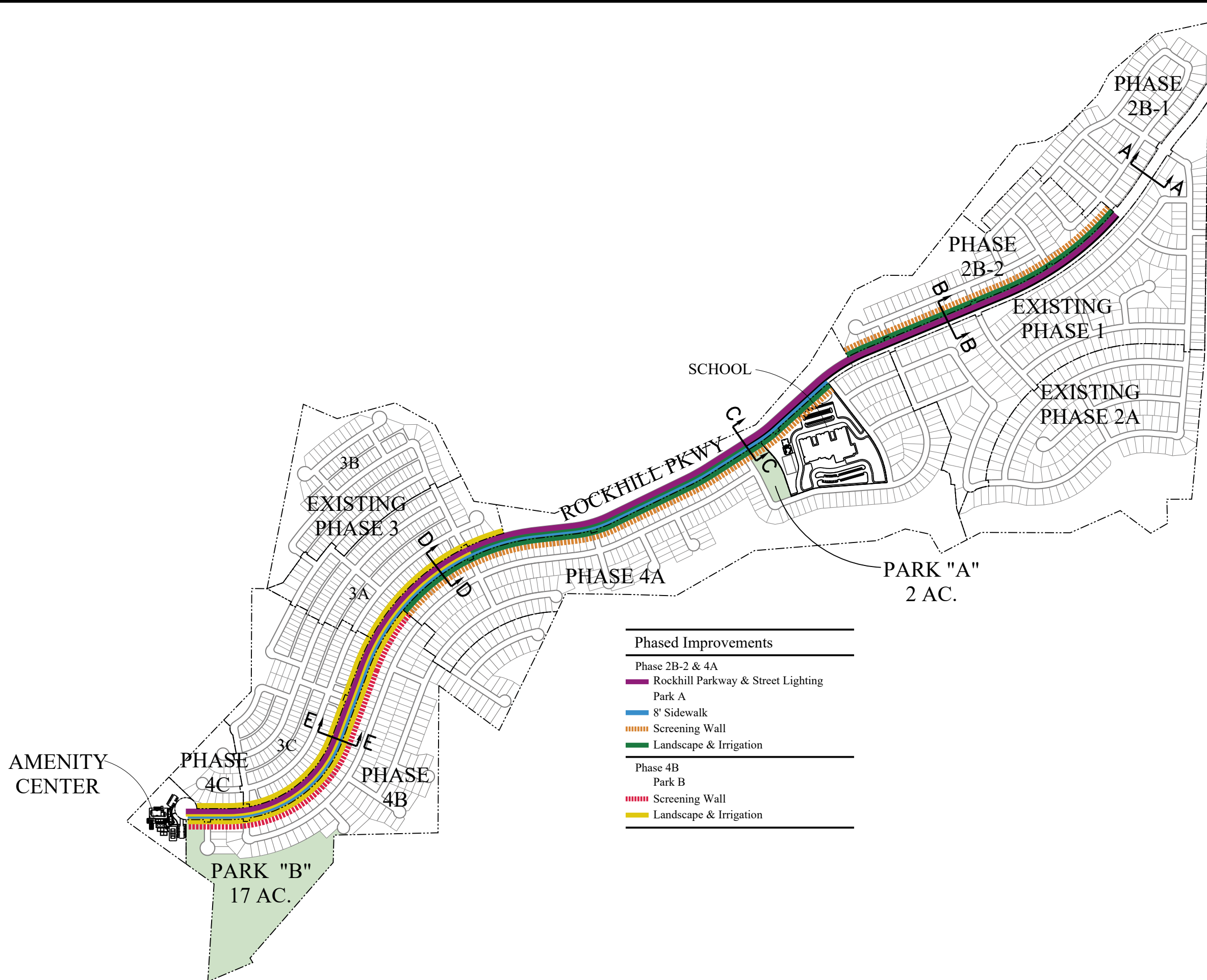
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80 40 0 80
SCALE: 1"=0' = 80'-0"

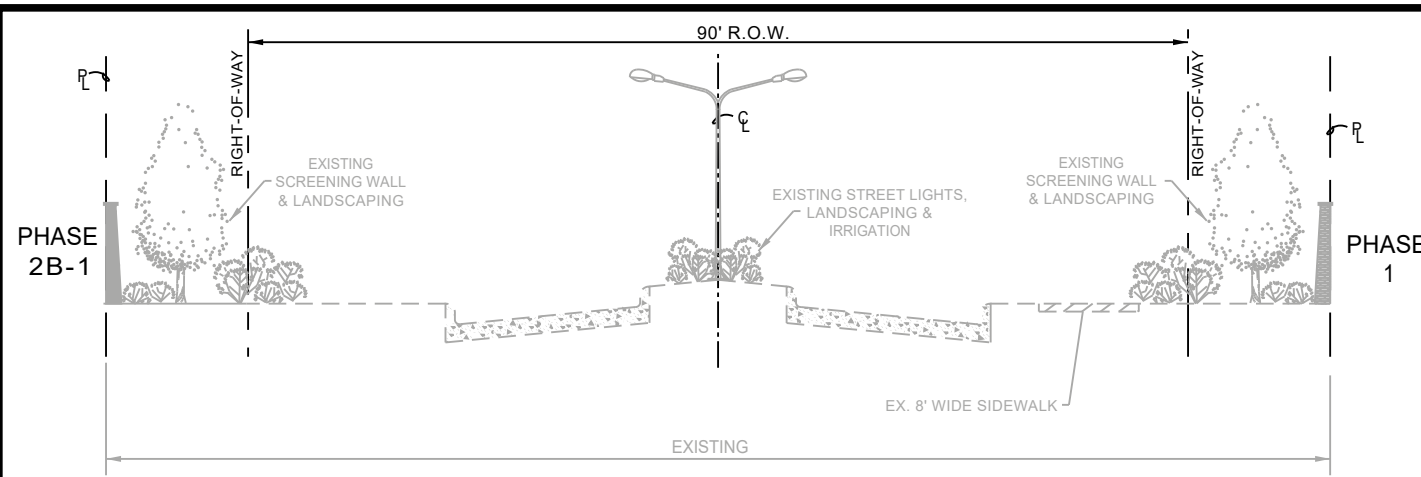
NOTE: ALL IMPROVEMENTS SHOWN ON THIS PLAN ARE CONCEPTUAL IN NATURE & SUBJECT TO CHANGE.

THE ADDITION OF A DOG PARK & INCREASE IN PLAYGROUND COST ADD AN ADDITIONAL VALUE OF APPROXIMATELY \$62,000

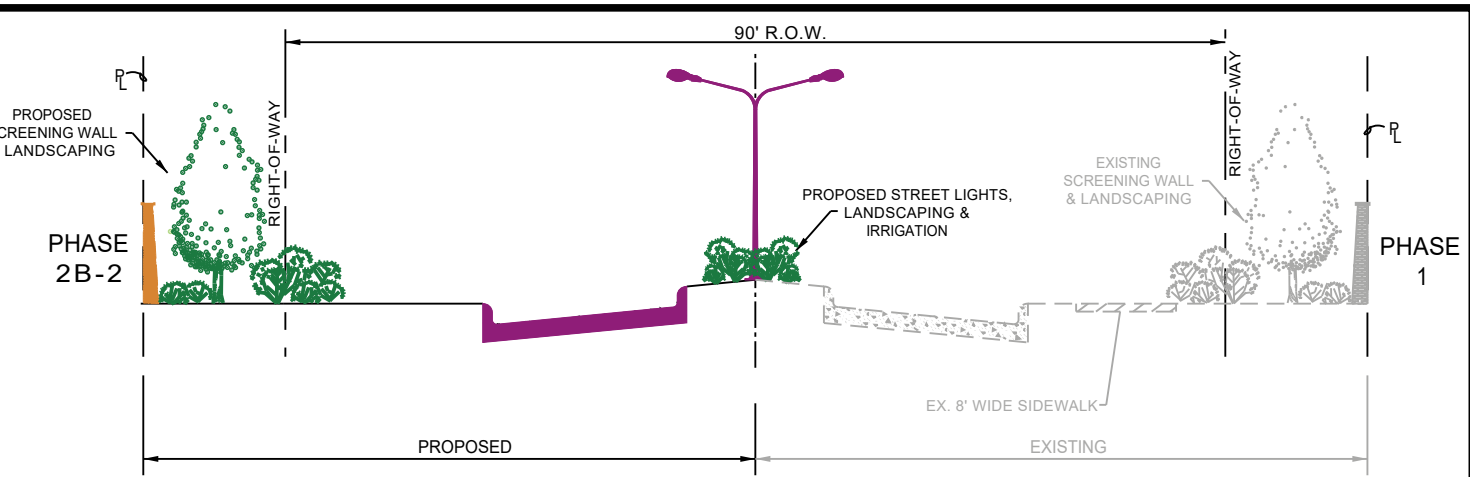
S:\2019\20190004-00 Valencia\CAD\04-EXHIBITS\20190004-00LP11Valencia Phased Improvements Exhibit.dwg Nov 23, 2020 - 9:32 am dtanock



S:\2019\2019004-00 Valencia\CAD\04-EXHIBITS\2019004-00LP11Valencia Phased Impmts Exhibit.dwg Nov 23, 2020 - 9:50 am chancock



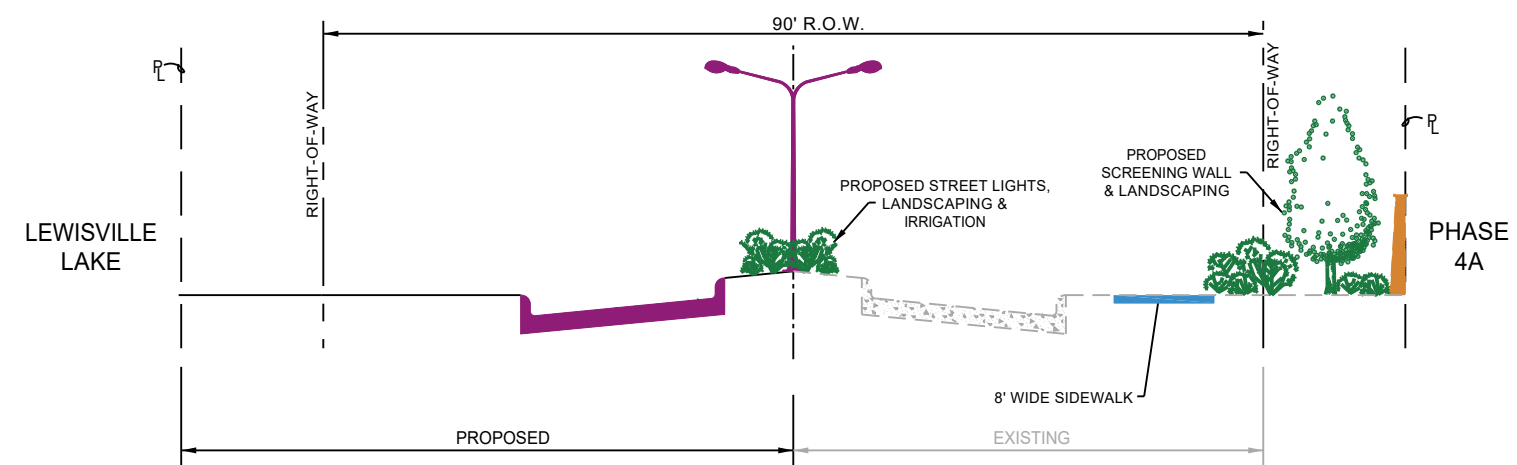
PHASE 2B-1 TYPICAL SECTION A-A
ROCKHILL PARKWAY
SCALE: N.T.S.



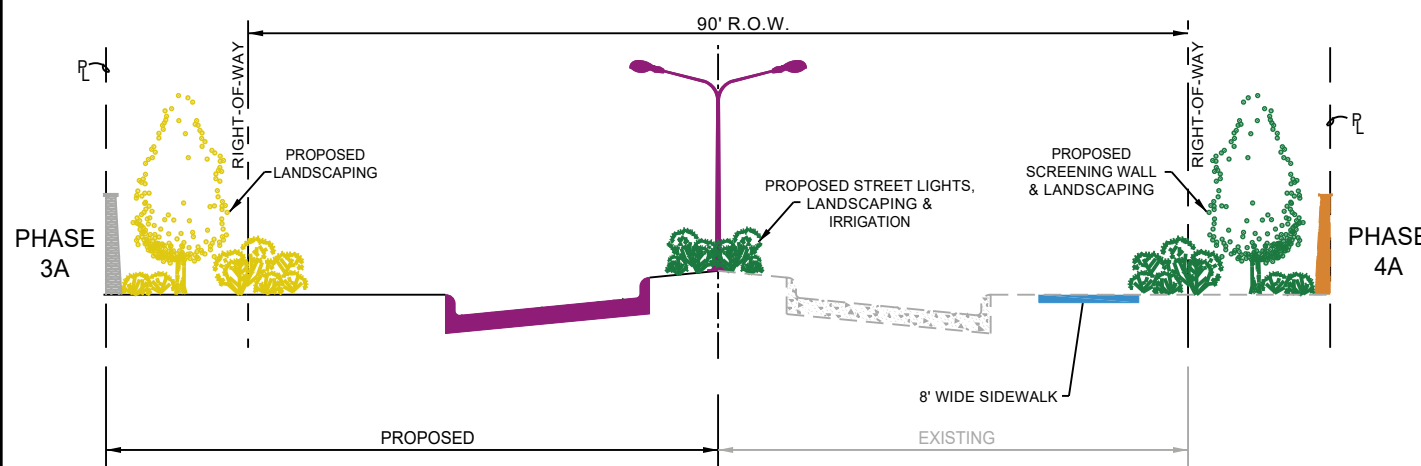
PHASE 2B-2 TYPICAL SECTION B-B
ROCKHILL PARKWAY
SCALE: N.T.S.

Phased Improvements

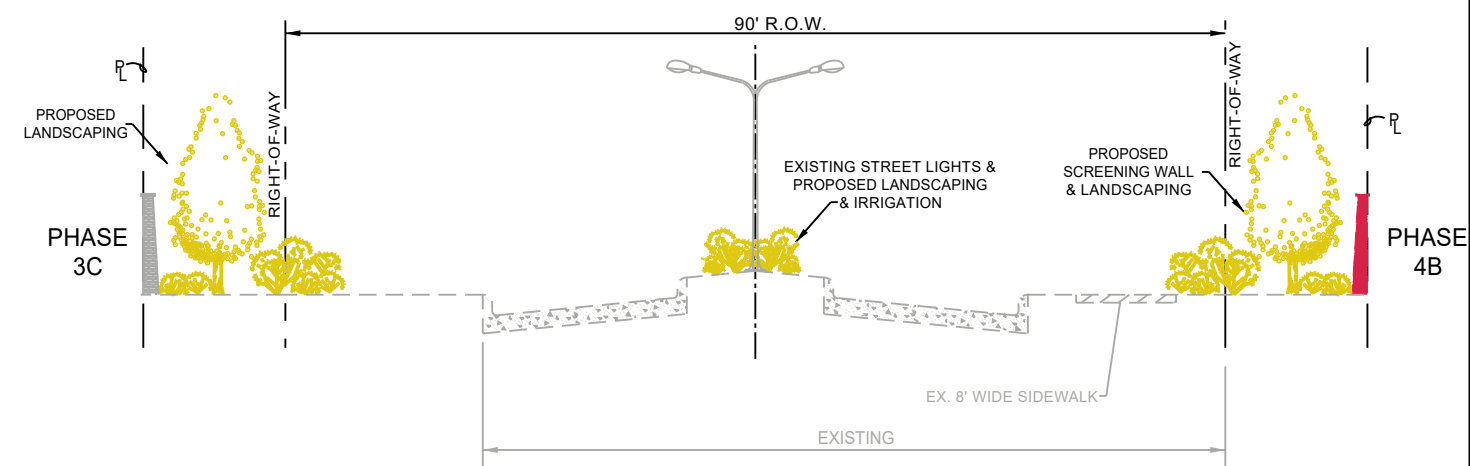
- Phase 2B-2 & 4A
 - Rockhill Parkway & Street Lighting
 - Park A
 - 8' Sidewalk
 - Screening Wall
 - Landscape & Irrigation
-
- Phase 4B
 - Park B
 - Screening Wall
 - Landscape & Irrigation



PHASE 4A TYPICAL SECTION C-C
ROCKHILL PARKWAY
SCALE: N.T.S.



PHASE 4A TYPICAL SECTION D-D
ROCKHILL PARKWAY
SCALE: N.T.S.



PHASE 4B TYPICAL SECTION E-E
ROCKHILL PARKWAY
SCALE: N.T.S.

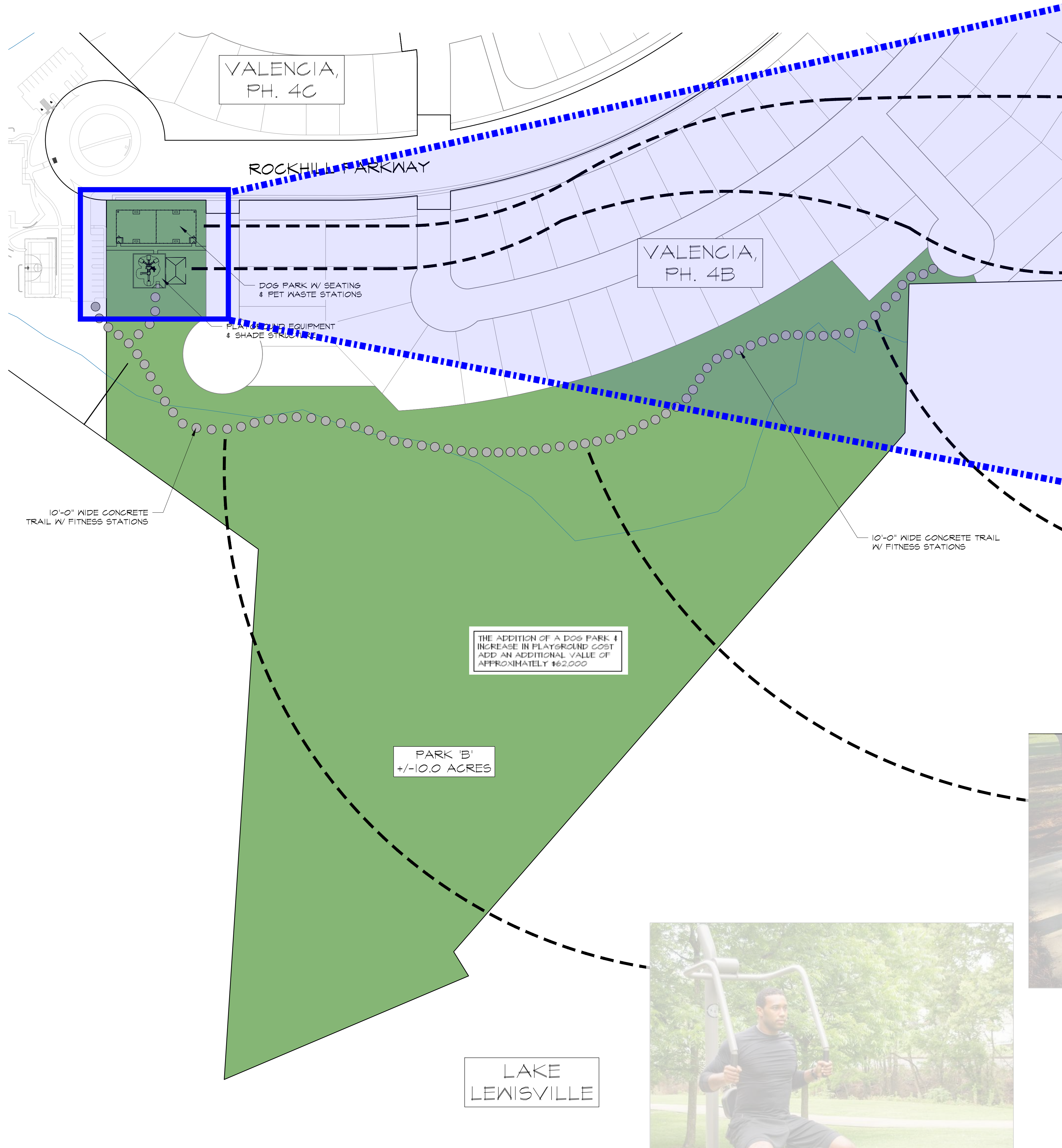


EXHIBIT K

Penalty Enhancements

PENALTY ENHANCEMENTS WILL CONSIST OF A DOG PARK AND PLAYGROUND ENHANCEMENTS, AS SHOWN IN THE BLUE BOXES ON THIS EXHIBIT. AS-CONSTRUCTED MAY DIFFER SLIGHTLY DUE TO ENGINEERING REQUIREMENTS, SITE CONSTRAINTS AND AVAILABILITY OF EQUIPMENT.

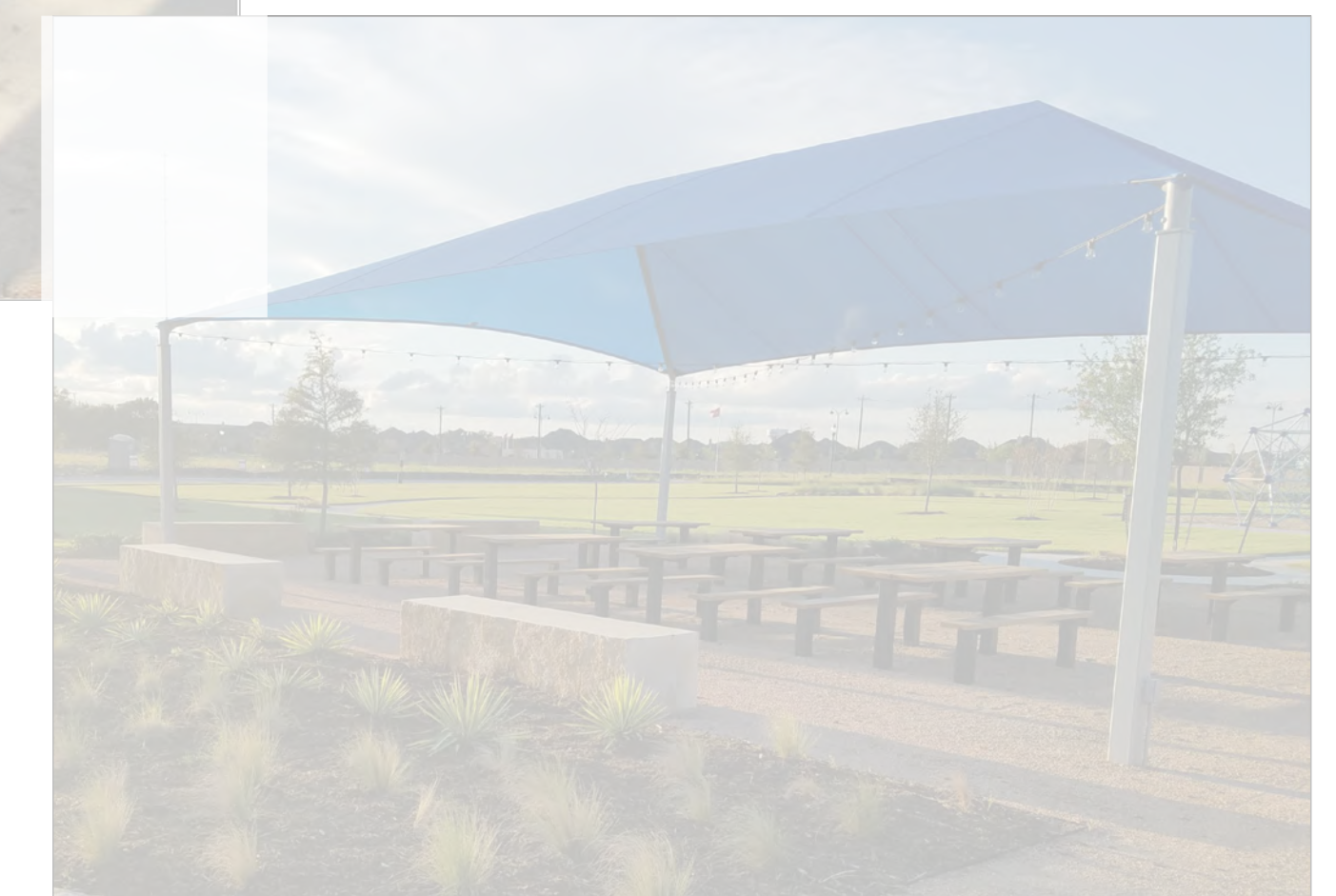
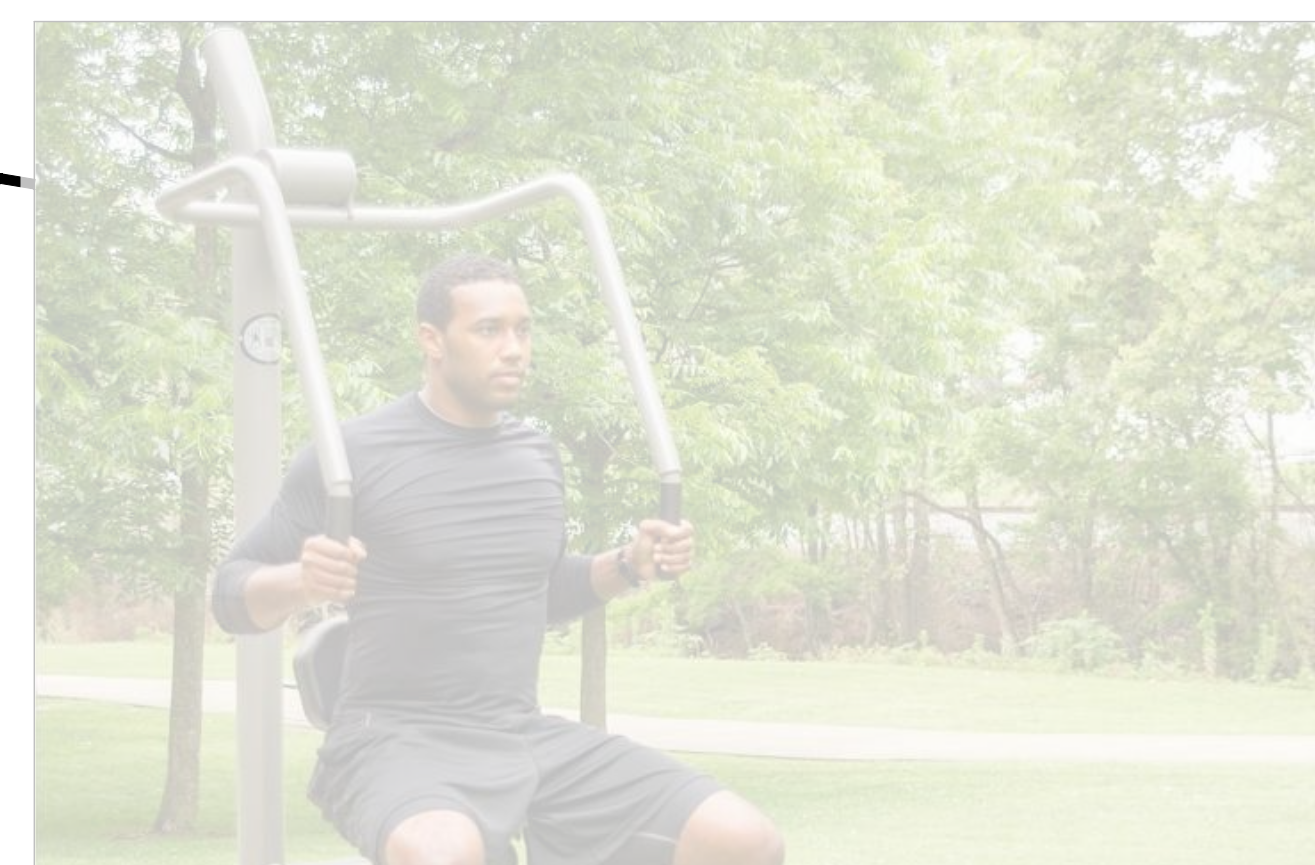
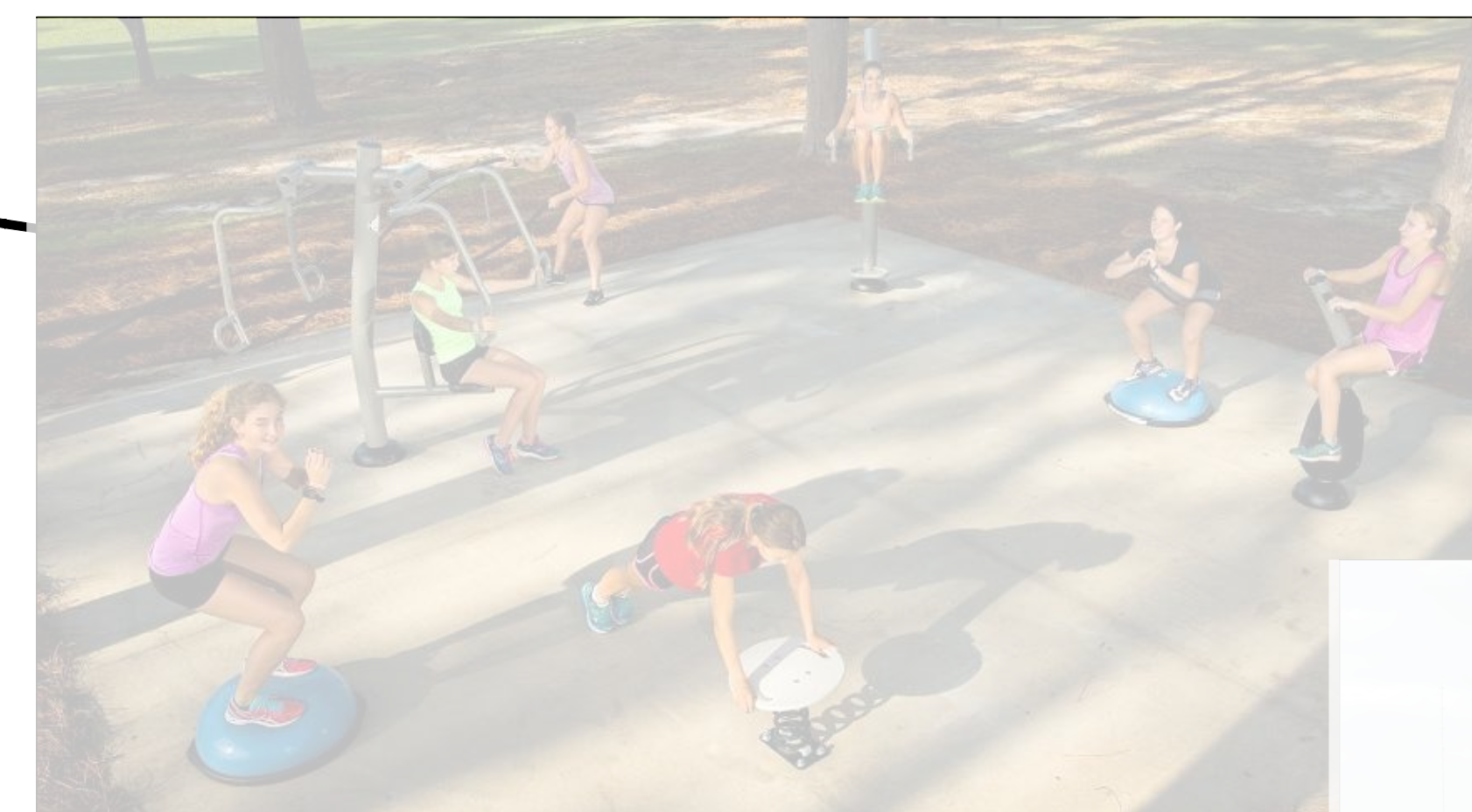


EXHIBIT L – ACKNOWLEDGEMENT OF RESOLUTION OF PENALTY

Due to Owner's completion of the Penalty Enhancements, the Town acknowledges that Invoice No. "Valencia Ph 2 Amenity Center," dated October 19, 2019, and totaling \$62,000, has been fully paid and satisfied, and that no additional payment is required.

TOWN OF LITTLE ELM

By: _____

Name: _____

Title: _____

Date: _____



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/03/2021

OVERVIEW

Project	Montessori Learning House (21-SUP-002)
P&Z Hearing	06/03/2021
Council Hearing	07/06/2021
Request	Specific Use Permit (SUP)
Size	N/A
Current Zoning	Light Commercial (LC)
Proposed Use	Child Care Center Expansion
Existing Use	Child Care Center within a Multi-Tenant Structure
Future Land Use Plan Designation	Retail/Commercial
Applicant	Elizabeth Alzate - The Montessori Learning House Bilingual School
Owner	El Dorado Parkway LLC
Strategic Goal	Promote and expand Little Elm's identity

Location

Generally located on the south side of Eldorado Parkway, approximately 589 feet west of Hart Road, within Little Elm's town limits.

Planning Analysis

The applicant has requested to withdraw this item from consideration by the Planning & Zoning Commission.

Recommended Action

Staff recommends that the Planning & Zoning Commission accept the applicants request to withdraw this item from consideration.

Attachments

Montessori Learning House Location Map
Letter of Request to Withdraw

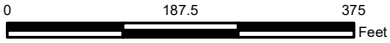


Source: Google Imagery 2021





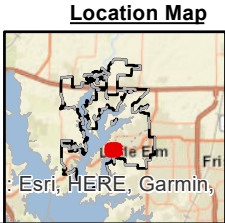
Montessori Learning House
SUP - Lot 2R, Block 1
1000 E. Eldorado Pkwy

Date: 5/19/2021



Legend

-  Subject Property
-  Town Limits



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From: [Hayden Brodowsky](#)
To: [Salena Tittle](#); [Olga Chernomorets](#)
Subject: Fw: [External]Re: [External]Re: Withdrawal
Date: Thursday, May 27, 2021 1:03:57 PM
Attachments: [image002.png](#)

From: Elizabeth Alzate <elizalzate@gmail.com>
Sent: Thursday, May 27, 2021 12:33 PM
To: Hayden Brodowsky <hbrodowsky@littleelm.org>
Subject: [External]Re: [External]Re: Withdrawal

yes sir.

On Thu, May 27, 2021 at 12:21 PM Hayden Brodowsky <hbrodowsky@littleelm.org> wrote:
Just to confirm, you are requesting we withdraw the project?

From: Elizabeth Alzate [mailto:elizalzate@gmail.com]
Sent: Thursday, May 27, 2021 12:10 PM
To: Hayden Brodowsky <hbrodowsky@littleelm.org>; Dillon Foerster <foersterdillon@yahoo.com>
Subject: [External]Re: Withdrawal

Yes, please proceed. Based on the city requirements, it is not possible to continue with our project. I had a meeting with the architect and he suggested dropping the project since the requirements are making this project almost impossible due to the parking lot and playground.

Thanks, elizabeth alzate

On Thu, May 27, 2021 at 12:03 PM Hayden Brodowsky <hbrodowsky@littleelm.org> wrote:

Good Afternoon,
Please send correspondence with how you would like to proceed with the Specific Use Request.
Thank you!

 **Hayden Brodowsky, MPA**
Development Services Manager
Town of Little Elm
214.975.0454
LITTLE ELM www.littleelm.org

report this email as spam.

*******This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. If you have any questions email the Help Desk ithelpdesk@littleelm.org *******

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*******This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. If you have any questions email the Help Desk ithelpdesk@littleelm.org *******



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/03/2021

OVERVIEW

Project	Lakehill Shopping Center Liquor Store
P&Z Hearing	06/03/2021
Council Hearing	June 15, 2021
Request	Amend an existing Specific Use Permit (SUP) to allow for the sale of beer, wine, and/or liquor for off-premises consumption only.
Size	The Liquor Store would operate in an existing tenant space within the Lakehill Shopping Center that is approximately 1,914 square feet.
Current Zoning	Light Commercial (LC) with an existing SUP for a gas station
Proposed Use	Liquor Store
Existing Use	Multi-tenant shopping center with associated gas station
Future Land Use Plan Designation	Retail and Commercial Use
Applicant	Ashwin B. Chaudhari, Little Elm Real Estate, LLC.
Owner	Ashwin B. Chaudhari, Little Elm Real Estate, LLC.
Strategic Goal	Promote and expand Little Elm's identity

Location

The property is addressed as 1020 West Eldorado Parkway, Suite 101, and is generally located at the southeast corner of Eldorado Parkway and Lewis Drive.

Planning Analysis

Subject property is currently zoned Light Commercial (LC) with a Specific Use Permit (SUP) for the associated gas station, as approved through Ordinance No. 1119, and amended through Ordinance No. 1161. The property is operating as an existing multitenant retail shopping center; existing tenants include Johnny Joe's Food Mart, within the eastern end-cap of the building, and Qwench Juice Bar, DRNK Coffee and Tea, and Pint House, within the western end-cap of the building. The proposed liquor store would occupy the currently vacant 1,914 square-foot Suite 101, previously occupied by Martial Arts.

The applicant is requesting to amend the existing SUP Ordinance by removing "liquor store" from the list of restricted uses on the subject property, and approving a liquor store as an allowed use on said property. No other changes are being proposed to the Ordinance and all other existing conditions will remain in place.

The applicant is proposing to purchase the inventory, and take over the management contract, of the existing Cruz's Cooler Liquor, located at 407 W Eldorado Parkway, and relocate the store to 1020 West Eldorado Parkway, under a new business name. It should be noted that 407 W Eldorado Parkway would not be able to be re-occupied by another liquor store without going through the full entitlement process in order to request and obtain approval of a new SUP for this

specific use.

Chapter 106 of the Little Elm Code of Ordinances requires a Specific Use Permit (SUP) be issued for Liquor Store use. The purpose of an SUP is to add or modify specific land use rights to those already granted within a zoning district. Each request considers the intensity of the proposed use within the context of the proposed location based on compatibility and suitability.

The proposal includes a total SUP area of 1,914 square feet, specifically for the liquor store use, depicted on the submitted floor plan as a typical store layout with shelving and associated storage. The liquor store is categorized as a retail use, which is required to be parked at a ratio of 1 parking space per 200 square feet of floor area. The existing site was developed with a 9,000 square-foot retail building, which requires a total of 45 parking spaces. The site provides a total of 46 parking spaces and meets parking requirements.

This site was developed through an approved Concept Plan and since the applicant is not making any exterior or site improvements in order to accommodate the proposed use, no additional site requirements were reviewed at this time.

Recommended Action

Staff believes that given the limited size of the proposed space and the existing mix of tenants, the proposed liquor store would be compatible with the operations of the existing site and should not have any negative impacts on the surrounding properties. Staff recommends approval of the proposed request without conditions.

Attachments

Lakehill Shopping Center Liquor Store Location Map

Lakehill Shopping Center Liquor Store Plans

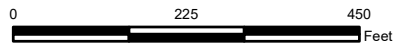
Ordinance No. 1161





Source: Google Imagery 2021



**Cruz's Liquor
SUP**
1020 E. Eldorado Pkwy
Date: 5/18/2021



Legend

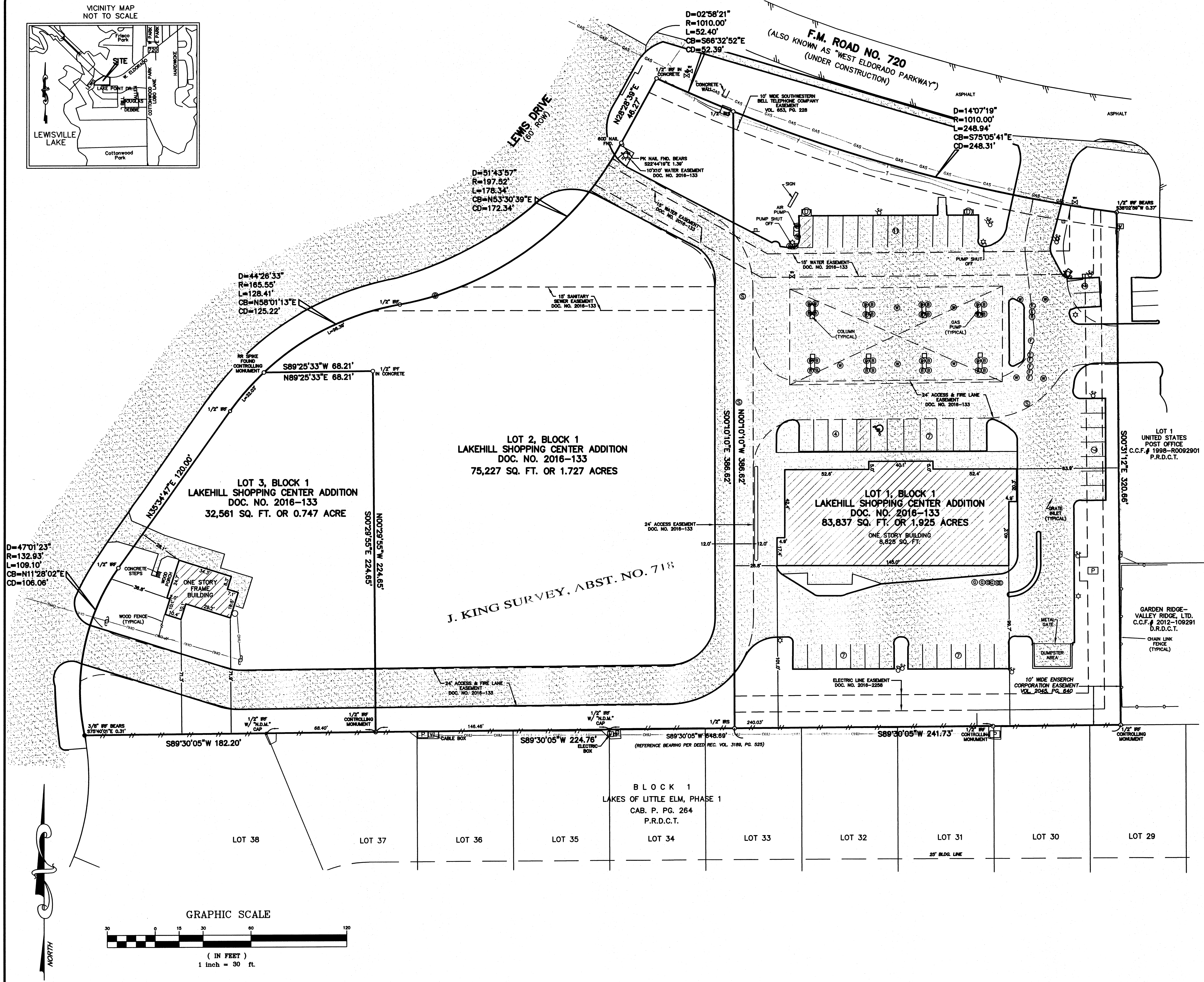
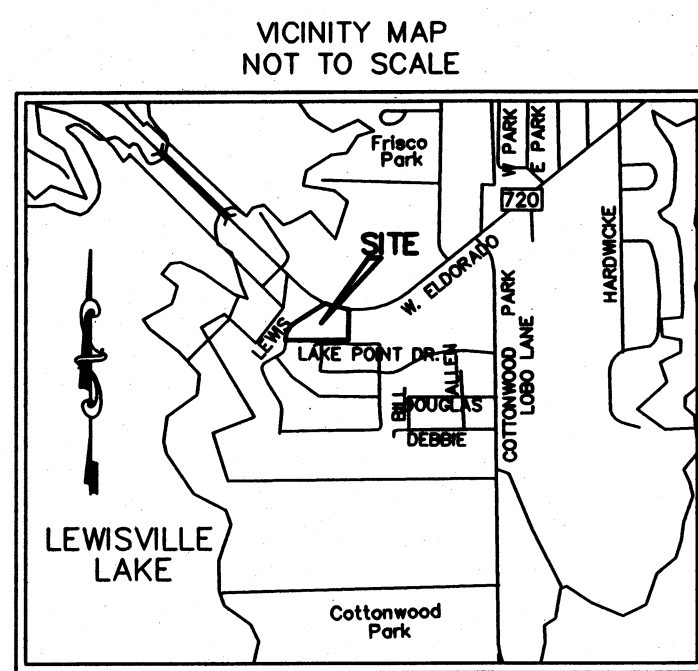
-  Subject Property
-  Town Limits

Location Map



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This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



This is to certify that I have, this date, made an on the ground survey of the property located on F.M. Road No. 720 and Lewis Drive in the City of Gunter, Texas, described as follows:

Being Lots 1, 2, and 3, Block 1, of Lakehill Shopping Center Addition, an Addition to Town of Little Elm, Denton County, Texas, as shown by plat of record in Document Number 2016-133, Plat Records, Denton County, Texas.

NOTES:

1. IRF - Iron Rod Found
2. This property has not been abstracted per the client's request, and this survey was performed without the benefit of a title commitment, all easements may not be shown.
3. The bearing recited hereon are based on the south line (South 89 deg. 30 min. 05 sec. West) of the deed recorded in Volume 3189, Page 525, of the Deed Records of Denton County, Texas.

PARKING:

Regular - 45
Handicap - 1
Total - 46

FLOOD CERTIFICATE

As determined by the FLOOD INSURANCE RATE MAPS for Denton County, Texas, Map date 04/18/2011 Community Panel No. 48121C0415 G subject lot is located in Zone X and Zone "X-Shaded". If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.

NOTES CORRESPONDING TO SCHEDULE 'B' according to Title Commitment issued July 9, 2016:

e. Easement dated August 14, 1971, executed by H.L. Gentsch to Southwestern Bell Telephone Company recorded in Volume 653, Page 228, Deed Records, Denton County, Texas, does affect subject property, as shown hereon.

f. Easement dated December 2, 1986, executed by H.L. Gentsch to Enserch Corporation (c/o Lone Star Gas Company), recorded in Volume 2045, Page 640, Real Property Records, Denton County, Texas, does affect subject property, as shown hereon.

h. Property is subject to Temporary Access Easement Agreement dated May 20, 2005 executed by Gateway Services, Inc. to Dallas MTA, LP d/b/a Verizon Wireless recorded in Document No. 2005-64138, Official Public Records of Denton County, Texas.

NOTES CORRESPONDING TO SCHEDULE 'B' according to Endorsement dated January 7, 2016:

Electric Line Easement and Right-of-Way dated December 28, 2015 recorded under Document No. 2016-2258, Official Public Records of Denton County, Texas, does affect, as shown hereon.

NOTES CORRESPONDING TO SCHEDULE 'B' according to Endorsement dated May 22, 2016:

Plat recorded in Document No. 2016-133, Official Public Records, Denton County, Texas, does affect, easements shown hereon.

This survey was performed in connection with the transaction described in GF No. SL14124 of Stewart Title Guaranty Company, effective date of June 27, 2014 and issued on July 9, 2014, Endorsement dated March 29, 2015, Endorsement dated January 7, 2016, Endorsement dated March 6, 2016, and Endorsement dated May 22, 2016, and all subsequent commitments for information regarding encumbrances on subject property and surveyor did not abstract property for easements and/or other restrictions. The legal description used for this survey describes the same land as the legal description in the title commitment.

The term "certify" or "certificate" as shown and used hereon indicates an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, either expressed or implied; and is exclusively to the parties involved in, and limited to the transaction (GF No. SL14124) closing at the title company indicated hereon.

The plat of survey hereon is a true, correct and accurate representation of the property as determined by an on the ground survey, subject to any and all easements, reservations and restrictions that may be of record, the lines and dimensions of said property being indicated by the plat. There are no visible encroachments, conflicts, or protrusions except as shown.



Timothy R. Mankin
Registered Professional Land Surveyor No. 6122

LEGEND

	GAS METER		FIRE HYDRANT		MONITORING WELL		SIGN
	IRR. CONTROL VALVE		WATER METER		TRAFFIC SIGNAL POLE		LIGHT POLE
	TELEPHONE PEDESTAL		METAL FILL LID		TRAFFIC SIGNAL BOX		TYPICAL FENCE
	POWER POLE		WATER VALVE		SWB MAN HOLE		CONCRETE
	DOWN GUY		TRANSFORMER PAD		GREASE TRAP		BOLLARD
	S.S. MAN HOLE		ELECTRIC METER		VAULT		COVERED AREA
	CLEAN OUT		STORM DRAIN MAN HOLE		TREE		A/C PAD

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AS-BUILT SURVEY

W. ELDORADO PARKWAY
LITTLE ELM TEXAS 75068

NO.	DATE	REVISION
1.	8/17/16	UPDATE SURVEY
2.		
3.		

JOB NO.:	121023
DATE:	04/25/2016
FIELD DATE:	04/19/2016
SCALE:	1" = 30'
FIELD:	A.R.M.
DRAWN:	T.R.M.
CHECKED:	J.B.

PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com		SHEET
623 E. DALLAS ROAD GRAPEVINE, TEXAS 76051 817-481-1806 (O) 817-481-1809 (F)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	1 OF 1

TOWN OF LITTLE ELM

ORDINANCE NO. 1161

AN ORDINANCE OF THE TOWN OF LITTLE ELM, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF LITTLE ELM, TEXAS, AND ORDINANCE 1119, HEREOFRE AMENDED, BY REVISING AN EXISTING SPECIFIC USE PERMIT (SUP) TO MODIFY THE CONCEPT PLAN AND DEVELOPMENT CONDITIONS ON PROPERTY CURRENTLY ZONED LIGHT COMMERCIAL DISTRICT (LC) WITH AN SUP FOR GAS PUMPS AND FUEL SALES, LOCATED AT THE SOUTHEAST CORNER OF ELDORADO PARKWAY AND LEWIS DRIVE, PROVIDING THAT THIS SPECIFIC USE PERMIT IS ESTABLISHED SUBJECT TO CERTAIN CONDITIONS AS SET FORTH HEREIN; PROVIDING A SAVINGS CLAUSE; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING A PENALTY; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Little Elm ("Town") is a home rule municipal corporation organized and existing by virtue of the Constitution and laws of the State of Texas and by its Charter adopted on May 1, 2001; and

WHEREAS, the Town possesses all the rights, powers, and authorities possessed by all home rule municipalities, including the authority to regulate land uses under Chapter 211 of the Texas Local Government Code; and

WHEREAS, in December, 2012, Town Council issued a Specific Use Permit (SUP) for fuel sales to the subject property that contained multiple specific performance conditions; and

WHEREAS, the applicant has since that time acquired additional property and desires to slightly revise a few of the aforementioned performance conditions; and

WHEREAS, the applicant's proposal remains to construct a new multi-tenant retail center with associated gas pumps, but with modified conditions and a revised concept plan, on a piece of property currently zoned Light Commercial district (LC) with an SUP for fuel sales, more specifically described on the Location Map, attached hereto; and

WHEREAS, Section 106-36 of the Little Elm Code of Ordinances, and as amended, provides that in considering and determining the issuance of a specific use permit, the Town may require from an applicant plans, information, operating data, and expert evaluation concerning the location and function and characteristics of any building or use proposed; and may, in the interest of the public welfare and to assure compliance therewith, establish conditions of operation, location, arrangement, and construction of any use for which a permit is authorized; and further, that in authorizing the location of any of the uses listed as specific use permits, the Town Council may impose such development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, odor, gas, explosion, glare, offensive view, or other undesirable or hazardous conditions; and

WHEREAS, the Town Council and the Planning & Zoning Commission of the Town of Little Elm, in compliance with the laws of the State of Texas and the ordinances of the Town of Little Elm, have given the required notices and held the required public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof regarding the requested specific use permit described herein; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning & Zoning Commission and any other information and materials received at the public hearing, the Town Council of the Town of Little Elm, Texas, has determined that the requested specific use permit for Private School uses would be in the interest of public health, safety and welfare of the citizens of the Town of Little Elm.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF LITTLE ELM, TEXAS:

SECTION 1. INCORPORATION OF PREMISES. The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2. AMENDMENT. That Ordinance No. 226 of the Town of Little Elm, Texas, the same being the Comprehensive Zoning Ordinance of the Town, and Ordinance 1119, are hereby amended by issuing a **Specific Use Permit for Gas Pumps / Fuel Sales** to the property located at the southeast corner of Eldorado Parkway and Lewis Drive, Little Elm, Denton County, Texas, a tract of land more particularly described on the Location Map, attached hereto, subject to all of the terms and conditions set forth herein, the terms and conditions of the Comprehensive Zoning Ordinance, and all other applicable ordinances, laws, rules, regulations, and standards.

SECTION 3. CONDITIONS. The following special ordinance provisions shall apply to the subject property and hereby repeal and replace the conditions within Ordinance 1119:

1. This SUP expires if a site plan application is not submitted by December 1st, 2013, or if a building permit is not obtained by March 1st, 2014, or if a CO is not obtained by December 31st, 2014.
2. The applicant shall comply with all Fire, Building, Subdivision, Zoning, and Health codes and all other Town ordinances, including obtaining all necessary permits.
3. The proposed facility shall provide a minimum 10,000 square feet of retail space that may be cumulatively phased and contain drive-thrus, as long as the convenience store is not a single-tenant building.
4. The following uses are restricted/prohibited: SOBs, outdoor storage/display, alternative financial services, body art facility, smoke shop, vice paraphernalia, gaming or slot machines, lewd merchandise sales, liquor store, and pawn shop.
5. The first phase of construction shall include the demolition of the two existing on-site facilities (the mechanic shop and the abandoned car wash).

6. Prior to issuance of a building permit for the new facility, the applicant shall provide the Town with an escrow and right-of-entry (*and any other legal rights necessary*) for the demolition of the two (2) facilities commonly known as Johnny Joe's and Lakeview Grocery (*in their entirety – all attached, detached, and submerged structures on-site*).
7. In lieu of demolishing Johnny Joe's and Lakeview Grocery, the applicant has the option to significantly and completely rehabilitate the two (2) facilities by submitting a Conceptual Site Plan (CSP), prior to issuance of a building permit on the new facility. The CSP shall include a new concrete parking layout, landscaping, signage, architectural building elevations, and other common site plan features, subject to review and approval by Staff. The rehabilitation permits and site work must commence prior to issuance of a CO on the new facility.
8. If demolition of the two (2) facilities is not completed by the applicant within 60 days of issuance of the CO on the new facility, or if the rehabilitation work is not completed within four (4) months of issuance of the CO on the new facility, then the Town may utilize the escrow to perform the demolition.
9. The Planning & Zoning Commission (and then Town Council) shall be the appellate board for any objection to staff determination.

SECTION 4. SAVINGS. This Ordinance shall be cumulative of all other ordinances of the Town, and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those ordinances are in direct conflict with the provisions of this Ordinance; provided, however, that any complaint, notice, action, cause of action, or claim which prior to the effective date of this Ordinance has been initiated or has arisen under or pursuant to such other ordinance(s) shall continue to be governed by the provisions of that ordinance or those ordinances, and for that purpose that ordinance or those ordinances shall be deemed to remain and shall continue in full force and effect.

SECTION 5. ZONING MAP. The official zoning map of the Town shall be amended to reflect the changes in zoning made by this ordinance.

SECTION 6. PENALTY. Any person, firm, or corporation violating any of the provision of this ordinance shall be punished by a penalty of a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. SEVERABILITY. The sections, paragraphs, sentences, phrases, and words of this Ordinance are severable, and If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid or unconstitutional, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the Town of Little Elm, Texas, and the Town Council hereby declares that it would have adopted the valid portions and applications of the ordinance without the valid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. REPEALER. That all ordinances of the Town of Little Elm in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 9. EFFECTIVE DATE. That this Ordinance shall take effect immediately upon its adoption and publication in accordance with and as provided by law and the Town Charter.

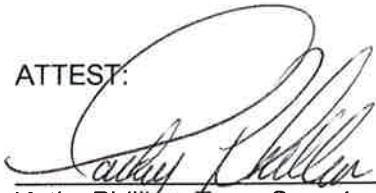
PASSED AND APPROVED this the 20th day of August, 2013.

The Town of Little Elm, Texas



David Hillock, Mayor

ATTEST:



Kathy Phillips, Town Secretary



Location Map

Town of Little Elm
Denton County, Tx
Date: 7/16/2013

0 80 160
Feet

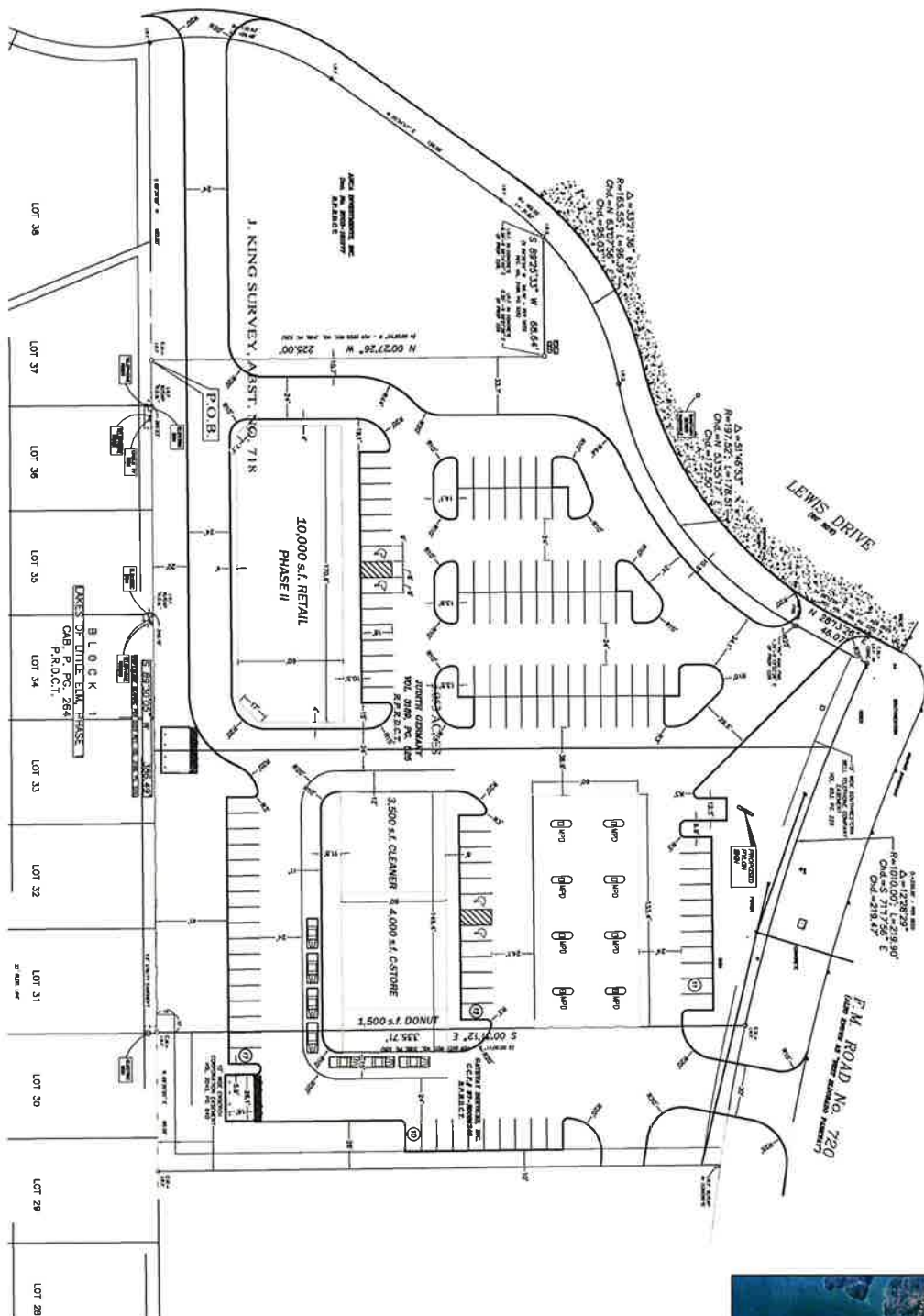
Legend

-  Parcels
-  Subject Property
-  Town Limits



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This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



LOCATION MAP

GENERAL NOTES

1. ALL CONCEPTS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE CITY ENGINEER SHALL HAVE THE FINAL SAY ON ALL CONCEPTS TO BE CONSIDERED FOR CONSTRUCTION.
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* MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SPENDED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY, ACCESS DRIVES, AND FROM ADJACENT RESIDENTIAL PROPERTIES.



C1.01

SITE PLAN

SIDE PLAN

[illegible]

JWK ENGINEERING, LLC
Engineering | Construction | Development
1301 E. Debbie Ln. Suite 102-164 Mansfield, Texas 76063
Tel 817-308 6243 Fax 972 538-9933 jwkengineering@yahoo.com

TOWN OF LITTLE ELM

Town Council

Staff Report



PROJECT: 13-SUP-003 SUP Revision – Gas Pumps / Fuel Sales (Lake Hill Fueling Center)

HEARING DATES: Planning & Zoning Commission: 08/01/13
Town Council: 08/20/13

REQUEST: A request to revise an existing Specific Use Permit to modify the concept plan and development conditions on approximately 4.4 acres of land currently zoned Light Commercial (LC) district with SUP for fuel sales.

PROPOSED USE: Multi-tenant strip center with associated gas station

LOCATION: The property is generally located at the southeast corner of Eldorado Parkway and Lewis Drive.

SIZE: Approximately 4.4 acres

CURRENT ZONING: Light Commercial (LC) with SUP for fuel sales

Chapter 106 of the Little Elm Code of Ordinances requires a Specific Use Permit (SUP) be issued for Gas Pumps / Fuel Sales use. An SUP refers to uses that the zoning ordinance allows, but that are screened and specially approved for situational suitability.

EXISTING USE / SITE ATTRIBUTES: Undeveloped / vacant land / existing non-conforming structures

APPLICANT & OWNER: Kacy Kim

PLANNING ANALYSIS: Town Council issued a Specific Use Permit for fuel sales to the subject property in December, 2012 that contained multiple specific performance conditions.

Since that time, the owner has acquired additional property and desires to slightly revise a few of the conditions. Staff supports the endeavor and also wishes to slightly revise a few of the conditions.

The applicant's proposal remains to construct a new multi-tenant retail center with associated gas pumps, but a few of the details have changed, as discussed in the below special ordinance provisions.

STAFF RECOMMENDATION: Staff recommends approval of Ordinance 1161, per the special ordinance provisions included in the staff report.

PLANNING & ZONING COMMISSION RECOMMENDATION: *On August 1st, 2013, the Planning & Zoning Commission recommended approval (4-1) of the requested SUP with the condition that the existing rental property be included on the demo list. The dissenting vote indicated support for the SUP, but not for including the rental property on the demo list as per the motion.*

Two people spoke during the public hearing. One resident from the Lakes of Little Elm subdivision spoke in opposition, yet suggested including the rental property in the demolition plans if the Commission were inclined to approve the applicant's request. After much discussion, the Commission later included this suggestion in its motion for approval. Important to note, the applicant raised objections to including the rental property in the demolition plans.

A second person spoke in general opposition to retail uses at the corner and its associated impacts on the area.

RECOMMENDED PROVISIONS: **SUP** Staff recommends revising the special ordinance provisions to read as outlined below:

1. This SUP expires if a site plan application is not submitted by December 1st, 2013, or if a building permit is not obtained by March 1st, 2014, or if a CO is not obtained by December 31st, 2014.
2. The applicant shall comply with all Fire, Building, Subdivision, Zoning, and Health codes and all other Town ordinances, including obtaining all necessary permits.
3. The proposed facility shall provide a minimum 10,000 square feet of retail space that may be cumulatively phased and contain drive-thrus, as long as the convenience store is not a single-tenant building.
4. The following uses are restricted/prohibited: SOBs, outdoor storage/display, alternative financial services, body art facility, smoke shop, vice paraphernalia, gaming or slot machines, lewd merchandise sales, liquor store, and pawn shop.
5. The first phase of construction shall include the demolition of the three existing on-site facilities (the mechanic shop, the abandoned car wash, and the rental house).
6. Prior to issuance of a building permit for the new facility, the applicant shall provide the Town with an escrow and right-of-entry (*and any other legal rights necessary*) for the demolition of the two (2) facilities commonly known as Johnny Joe's and Lakeview Grocery (*in their entirety – all attached, detached,*

and submerged structures on-site).

7. In lieu of demolishing Johnny Joe's and Lakeview Grocery, the applicant has the option to significantly and completely rehabilitate the two (2) facilities by submitting a Conceptual Site Plan (CSP), prior to issuance of a building permit on the new facility. The CSP shall include a new concrete parking layout, landscaping, signage, architectural building elevations, and other common site plan features, subject to review and approval by Staff. The rehabilitation permits and site work must commence prior to issuance of a CO on the new facility.
8. If demolition of the two (2) facilities is not completed by the applicant within 60 days of issuance of the CO on the new facility, or if the rehabilitation work is not completed within four (4) months of issuance of the CO on the new facility, then the Town may utilize the escrow to perform the demolition.
9. The Planning & Zoning Commission (and then Town Council) shall be the appellate board for any objection to staff determination.

The existing special ordinance provisions are listed below:

1. *The proposed facility shall be a minimum 10,000 square foot multi-tenant building, including the allowance of an optional drive-thru.*
2. *The proposed facility shall maintain at least 1 restaurant tenant whose Certificate of Occupancy (CO) must be issued prior to the fuel pumps' CO being issued.*
3. *No gaming machines, slot machines, or lewd merchandise sales shall be allowed.*
4. *The applicant shall comply with all Fire, Building, Subdivision, Zoning, and Health codes and all other Town ordinances.*
5. *This SUP expires if a building permit is not submitted by December 31st, 2013.*
6. *The applicant shall also abide by one of the following:*
 - a. *Prior to issuance of a building permit for the new facility, the applicant shall apply for demolition permits for the facilities commonly known as Johnny Joe's, Frank's Garage, and Lakeview Grocery (in their entirety – all attached and detached structures on the sites). The applicant will include in the application for demolition permit an escrow and signed right-of-entry to the Town (and any other legal rights necessary) to*

complete demolition of the three (3) facilities in the event the applicant fails to perform the demolition in compliance herein. Demolition of the three (3) facilities shall be completed within 60 days of issuance of the CO. Or,

- b. Prior to issuance of a building permit for the new facility, the applicant shall have conceptual site plans approved for the complete rehabilitation of the two (2) existing structures known as Johnny Joe's and Lakeview Grocery. The conceptual site plans shall include new concrete parking layout, landscaping, signage, architectural building elevations, and other common site plan features, subject to review and approval by Staff. Prior to issuance of a CO for the new facility, the applicant shall apply for the requisite rehabilitation permits from the Town and provide the Town with an escrow and right-of-entry for the rehabilitation of the 2 existing sites in the event the applicant fails to perform the rehabilitation in compliance herein. All enhancements to the 2 sites shall be completed within 6 months of the new facility being issued a CO. The Planning & Zoning Commission (and then Town Council) shall be the appellate board for any objection to staff determination.*

TOWN CONTACT:

Dusty McAfee, AICP - Planning Manager

ATTACHMENTS:

Ordinance 1161
Location Map
Concept Plan



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/03/2021

OVERVIEW

Project	21-PD-002 (Button Memorial Methodist Church PD)
P&Z Hearing	06/03/2021
Council Hearing	July 6, 2021
Request	Lakefront (LF)
Size	Approximately 5.3 acres
Current Zoning	Lakefront (LF)
Proposed Use	Religious Facility
Existing Use	Religious Facility
Future Land Use Plan Designation	Lakefront District
Applicant	Town of Little Elm
Owner	Button Memorial Methodist Church
Strategic Goal	Promote and expand Little Elm's identity

Location

The subject property is addressed as 101 West Eldorado Parkway, generally located on the northwest corner of West Eldorado Parkway and Lakefront Drive, within Little Elm's town limits.

Planning Analysis

As the Town of Little Elm has evolved its ordinances throughout the years, instances of older structures not conforming to the Town's current requirements will become a reoccurring issue. While the goal is to remove and prevent nonconformities as sites develop/redevelop, in certain situations, existing site limitations may hinder the ability of an existing site to be brought into compliance with the Town's current standards.

The subject property is currently zoned as Lakefront (LF) zoning district and contains religious facilities for Button Methodist Church, inclusive of a church parsonage building, located on its own lot. Over the years, the parsonage has been used primarily to store scouting equipment for Boy Scouts of America, but the lot was recently sold off, to be used as a single family residence. The remainder of the church property currently sits across multiple lots and is undergoing a concurrent platting request in order to unify the site by removing lot lines that run through the existing church structures, as well as creating four residential lots to the north of the existing church, along the King Street cul-de-sac.

The church is requesting to construct a 30'x55' metal storage shed in the rear of the property, which would be considered a nonconforming accessory structure, and a four-foot metal fence around the existing playground equipment, which exceeds the three-foot maximum fence allowance as outlined in the Town's

Code of Ordinances. The proposed shed is proposed to be screened by a living screen and used as equipment storage for Pack 367, Troop 45, and Crew 45; all of which provide scouting opportunities within Little Elm. The religious facility was constructed in 1980, well before the establishment of the Town's Lakefront District. Presently, the structure and site are considered to be nonconforming because of requirements listed in Section 106.06, Site Development Standards, in the Code of Ordinances. Without the proposed rezoning, the subject property would not be allowed to make the above-mentioned improvements because such actions would be considered as expanding or intensifying the nonconformity of the site.

This request was previously heard by the Planning and Zoning Commission on February 18, 2021, where the Commission recommended approval of the proposed PD with the additional recommendation that the proposed accessory structure be designed to meet the architectural requirements as stated by Section 106.05.02.1.4 (Accessory Uses - Architectural Requirements). However, the request was subsequently denied by the Town Council on March 2, 2021 with the understanding that the church and staff would work together to mitigate any negative visual impact resulting from the proposed metal shed. At this time, the proposal includes a living screen as the form of mitigation and the church is once again requesting the Administration's consideration for approval.

Given the challenges and limitations of the existing site, a Planned Development (PD) district is being proposed in order to accommodate the longstanding church congregation to continue its operation on this site and to continue providing scouting opportunities throughout the community. The PD will remedy the existing nonconformity of this site by capturing what is currently on site, as well as the proposed site improvements, to be allowed by right. However, any additional improvements that expand beyond what is shown in the site exhibits, or is spelled out within this PD language, would require going back through the entitlement process to amend the PD and site plan. The site exhibits will constitute as the subject property site plan, landscape plan, and elevations.

This request will allow the construction of a metal storage shed with a living screen, and a four-foot metal fence around the existing playground equipment in order to accommodate an existing church operation to continue its work within the community.

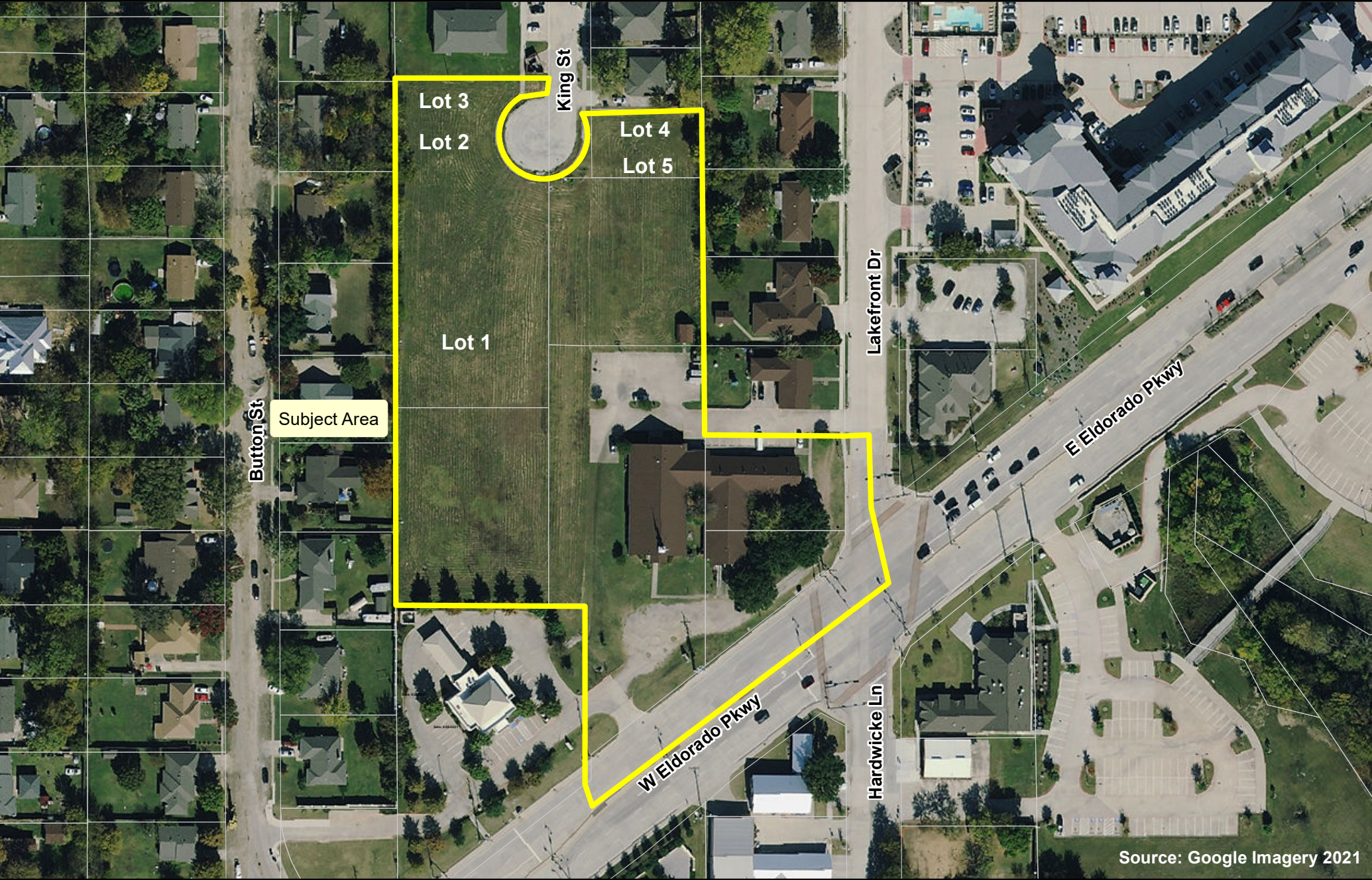
Recommended Action

This request aligns with the Comprehensive Plans objectives and goals listed in the Livability and Quality of Life sections. Specifically, "Protect, preserve, and enhance the elements that create a high quality of life such as the lake, the small-town character, and areas of high aesthetic value" and "Promote a sense of community and shared responsibility for maintaining Little Elm's character and quality of life". Additionally, as suggested by Council, the request now reflects a living screen in order to mitigate any off site visual nuisance that may be created by the proposed metal shed. Therefore, in this singular instance, staff recommends approval of the request without conditions.

Attachments

Button Memorial Methodist Church Location Map

Button Memorial Methodist Church Plans



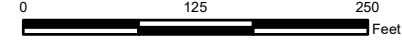
Source: Google Imagery 2021



LITTLE ELM
Town of Little Elm
Denton County, Tx

**Button Memorial United
Methodist Church Addition
Lots 1-5, Block A
Zoning Case**

Date: 5/25/2021



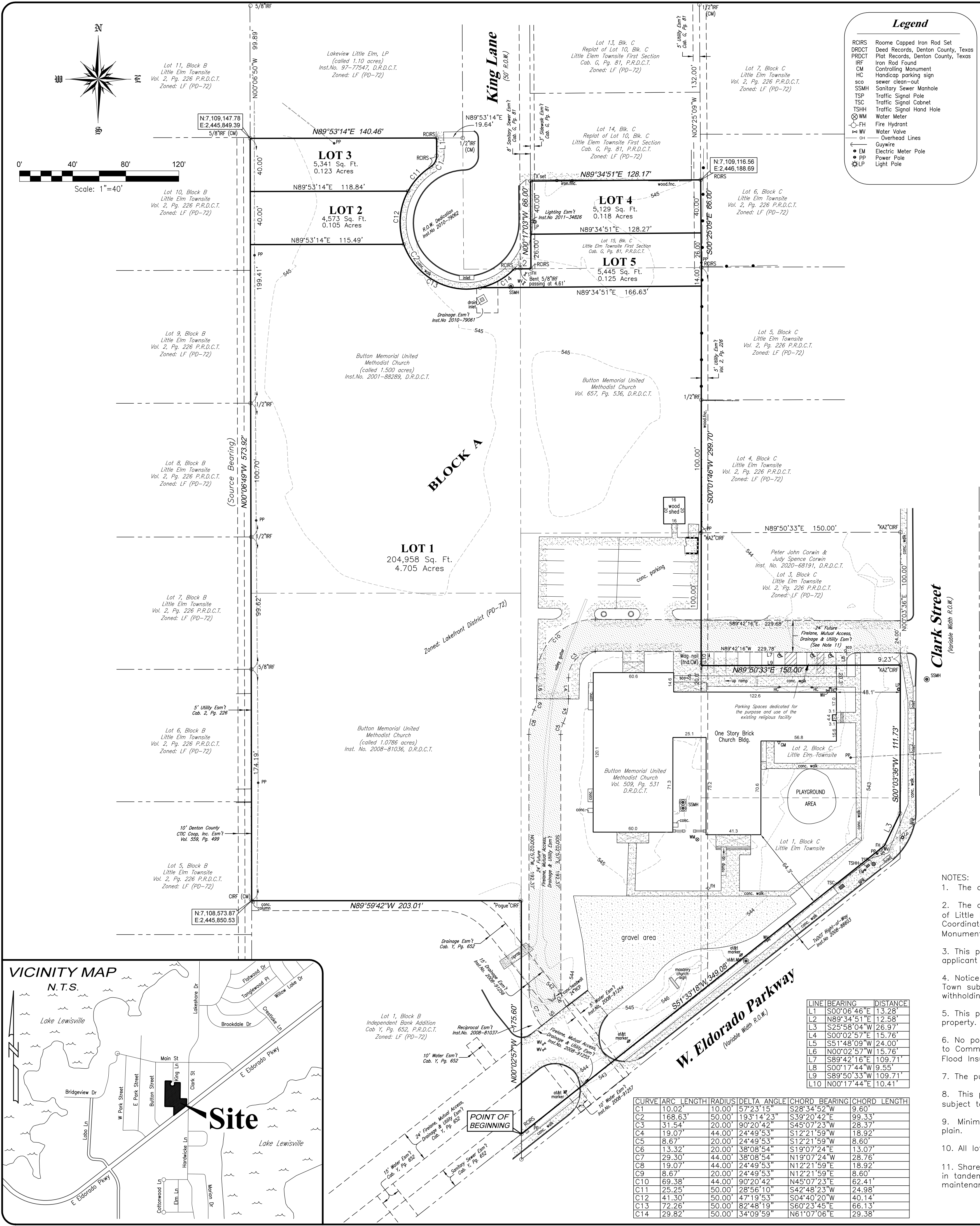
Legend

- Subject Property
- Parcels
- Town Limits



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STATE OF TEXAS
COUNTY OF DENTON

WHEREAS, Button Memorial United Methodist Church, is the owner of multiple tracts of land situated in the State of Texas, County of Denton, and Town of Little Elm, being part of the R. Hensworth Survey, Abstract No. 577, being all of Button Memorial United Methodist Church properties as follows: a called 1.0786 acre tract as recorded under Inst. No. 2008-81036, all of a called 1.500 acre tract as recorded under Inst. No. 2001-88289, all of a Button tract recorded in Volume 657, Page 536, all of a Button tract recorded in Volume 509, Page 531 of the Deed Records of Denton County, Texas (henceforth D.R.D.C.T.), and part of Lots 1, and all of Lot 2, Block C of Little Elm Townsite as recorded in Volume 2, Page 226 of the Plat Records of Denton County, Texas (henceforth P.R.D.C.T.), with said premises being more particularly described as follows:

BEGINNING at a point in the northwest right-of-way line of W. Eldorado Parkway (a variable width right-of-way), the west line of said Button tract (Vol. 509, Pg. 531), marking the southeast corner of Lot 1, Block B, Independent Bank Addition as recorded in Cab. Y, Page 652 of the P.R.D.C.T., and the southwest corner of the herein described premises;

THENCE with the west line of Button tract (509/531) and the east line of Lot 1, Block B of said Independent Bank Addition, North 00°02'57" West, 175.60 feet to a Pogue capped iron rod found marking the northeast corner of Lot 1, and the southeast corner of Button 1.0786 acre tract;

THENCE with the north line of Lot 1, and the south line of said 1.0786 acre tract, North 89°59'42" West, 203.01 feet to an illegible capped iron rod found marking the northwest corner of Lot 1, the southwest corner of Button 1.0786 acre tract, and being in the east line of Lot 5, Block B, Little Elm Townsite as recorded in Vol. 2, Page 226 P.R.D.C.T.;

THENCE with the west line of Button 1.0786 acre tract, Button tract 1.500 acre tract, and the east line of Lots 5 through 10 of said Addition as follows: North 00°06'49" West (Source Bearing), passing at 174.19 feet a 5/8" iron rod found marking the northeast corner of Lot 6, and the southeast corner of Lot 7 of said Addition; passing at 273.81 feet a 1/2" iron rod found marking the northeast corner of Lot 7, and the southeast corner of Lot 8; passing at 374.51 feet to the northeast corner of Lot 8, and the southeast corner of Lot 9; and continuing for a total distance of 573.92 feet to a 5/8" iron rod found marking the northwest corner of said premises, the northwest corner of Button tract 1.500 acre tract, and the southwest corner of a called 1.10 acre tract as recorded under Inst. No. 97-77547 of the D.R.D.C.T.;

THENCE with the northerly most north line of said premises, the north line of Button 1.500 acre tract, and the south line of said 1.10 acre tract, North 89°53'14" East, 140.46 feet to a Roome capped iron rod set in the west right-of-way line of King Lane (50' right-of-way) from which a 1/2" iron rod found marking the southeast corner of said 1.10 acre tract bears North 89°53'14" East, 19.64 feet;

THENCE with a common line between said premises and the dedicated right-of-way of King Lane as follows: South 00°06'46" East, 13.28 feet to a Roome capped iron rod set marking the beginning of a curve to the right; Southwesterly along a curve to the right having a central angle of 57°23'15" with a radius of 10.00 feet, for an arc distance of 10.02 feet (chord = South 28°34'52" West, 9.60 feet) to a Roome capped iron rod set marking a point of reverse curve; Southeasterly along a curve to the left having a central angle of 193°14'23" with a radius of 50.00 feet, for an arc distance of 168.63 feet (chord = South 39°20'42" East, 99.33 feet) to a Roome capped iron rod set in the south right-of-way line of the existing King Lane;

THENCE continuing with a common line between said premises and an existing south right-of-way line of King Lane as follows: North 89°34'51" East, passing at 4.61 feet a bent 5/8" iron rod found marking the southeast corner of said right-of-way, the northwest corner of the aforementioned Button tract (Vol. 657, Pg. 536), being in the east line of said Button 1.500 acre tract, and continuing for a total distance of 12.58 feet to a Roome capped iron rod set marking the southeast corner of the existing King Lane, and the southwest corner of Lot 15, Block C, Little Elm Townsite First Section as recorded in Cab. G, Page 81 of the P.R.D.C.T.;

THENCE with a common line between said premises, the east right-of-way line of King Lane, and the west line of Lot 15, North 00°17°03" West, 66.00 feet to an "X" set in concrete and marking the northwest corner of Lot 15, and the southwest corner of Lot 14, Block C of said Addition;

THENCE departing said right-of-way, North 89°34'51" East with a common line between Lots 14 and 15 a distance of 128.17 feet to a Roome capped iron rod set marking the northeast corner of Lot 15, the southeast corner of Lot 14, and being in the west line of Lot 6, Block C, Little Elm Townsite as recorded in Vol. 2, Pg. 226 of the P.R.D.C.T., same corner being the easterly most northeast corner of said premises;

THENCE with an east line of said premises, the east line of Button tract (Vol. 657, Pg. 536), Button tract (Vol. 509, Pg. 531), and the west line of said Lot 6, South 00°25°09" East, 66.00 feet to a Roome capped iron rod set marking the southwest corner of Lot 6, and the northwest corner of Lot 5 of said Addition;

THENCE continuing with an east line of said premises, the east line of Button tract (Vol. 657, Pg. 536), Button tract (Vol. 509, Pg. 531), and the west line of Lots 5, 4 and 3 of said Addition, South 00°01'46" West, 299.70 feet to a Mag nail found marking the southwest corner of Lot 3, Block C, and the northwest corner of Lot 2, Block C of said Little Elm Townsite Addition, same corner being an ell corner of said premises;

THENCE with a common line between said Lots 2 and 3, and a north line of said Addition, North 89°50'33" East, 150.00 feet to a KA2 capped iron rod found in the west right-of-way line of Clark Street and marking the southeast corner of Lot 3, the northeast corner of Lot 2, and being the easterly most northeast corner of said premises;

THENCE with the west right-of-way line of Clark Street, the easterly most east line of said premises, and the east line of Lots 2 and 1 of said Addition, South 00°03'36" West, 111.73 feet a Roome capped iron rod set marking the intersection of the northwest right-of-way line of W. Eldorado Parkway with the west right-of-way line of Clark Street, same point marking the southeast corner of said premises;

THENCE with the northwest right-of-way line of W. Eldorado Parkway, the southeast line of said premises, crossing through Lot 1, and Button tract (Vol. 509, Pg. 531), as follows: South 25°58'04" West, 26.97 feet to a Roome capped iron rod set; South 51°33'18" West, 349.08 feet to the place of beginning and containing 225,446 square feet or 5.1755 acres of land.

NOTES:

- The current zoning for this property is Lakefront District (PD-72).
- The coordinates shown and the basis of the bearings are based on the Town of Little Elm Control Monument No. 2 & 3 (NAD 83), Texas State Plane Coordinates-North Central Zone. Elevations based on the Town of Little Elm Monument No. 2, (NAVD 88).
- This property may be subject to charges related to impact fees, and the applicant should contact the Town regarding any applicable fees due.
- Notice-selling a portion of this addition by metes and bounds is a violation of Town subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building permits.
- This plat does not alter or remove existing deed restrictions, if any, on this property.
- No portion of the subject property lie within the 100 year flood plain according to Community Panel No. 48121C0415 G, dated April 18, 2011, of the National Flood Insurance Rate Maps for Denton County, Texas, (Zone X).
- The purpose of this plat is to create 5 lots from 5 tracts of land.
- This property was surveyed without the benefit of a title commitment and is subject to any/all easements of record.
- Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.
- All lots comply with the minimum size requirements of the zoning district.
- Shared Fire Lane/Access Drive for future Development agreement will be formed in tandem with a future PD that will involve language for shared use and maintenance.

Approved by the Town of Little Elm, Texas this
____ day of _____, 2021.

Town Official

Attest:

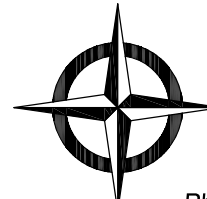
Town Secretary

Owners:
Button Memorial United
Methodist Church
P.O. Box 68,
Town of Little Elm, Texas 75068
Attn: Mike McClellan
(214) 228-9345
email: michael@mcclellan.com

Surveyor:
Roome Land Surveying
2000 Ave G, Suite 810
Plano, TX 75074
(972) 423-4372
email: fred@roomeinc.com
Attn: Fred Bemenderfer

Revised: 3.30.2021

P:\AC\202004\AC867790.DWG



Roome
Land Surveying
2000 Avenue G, Suite 810
Plano, Texas 75074
Phone (972) 423-4372 / Fax (972) 423-7523
www.roomesurveying.com / Firm No. 10013100

Final Replat
**Button Memorial United
Methodist Church Addition**
Lots 1, 2, 3, 4 & 5, Block A
5.1755 Acres Situated in The
R. Hensworth Survey, Abstract No. 577
Town of Little Elm, Denton County, Texas
December, 2020





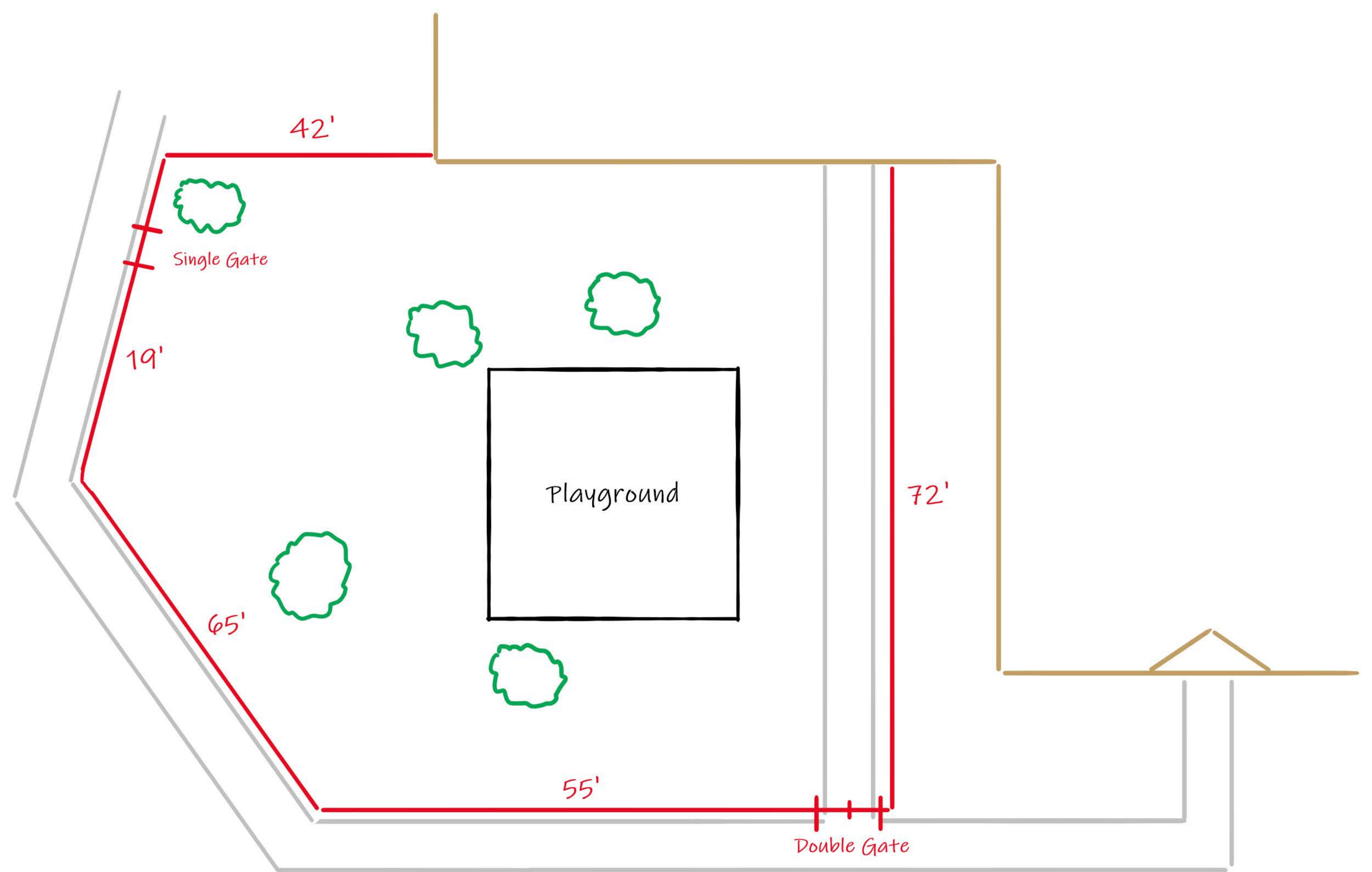


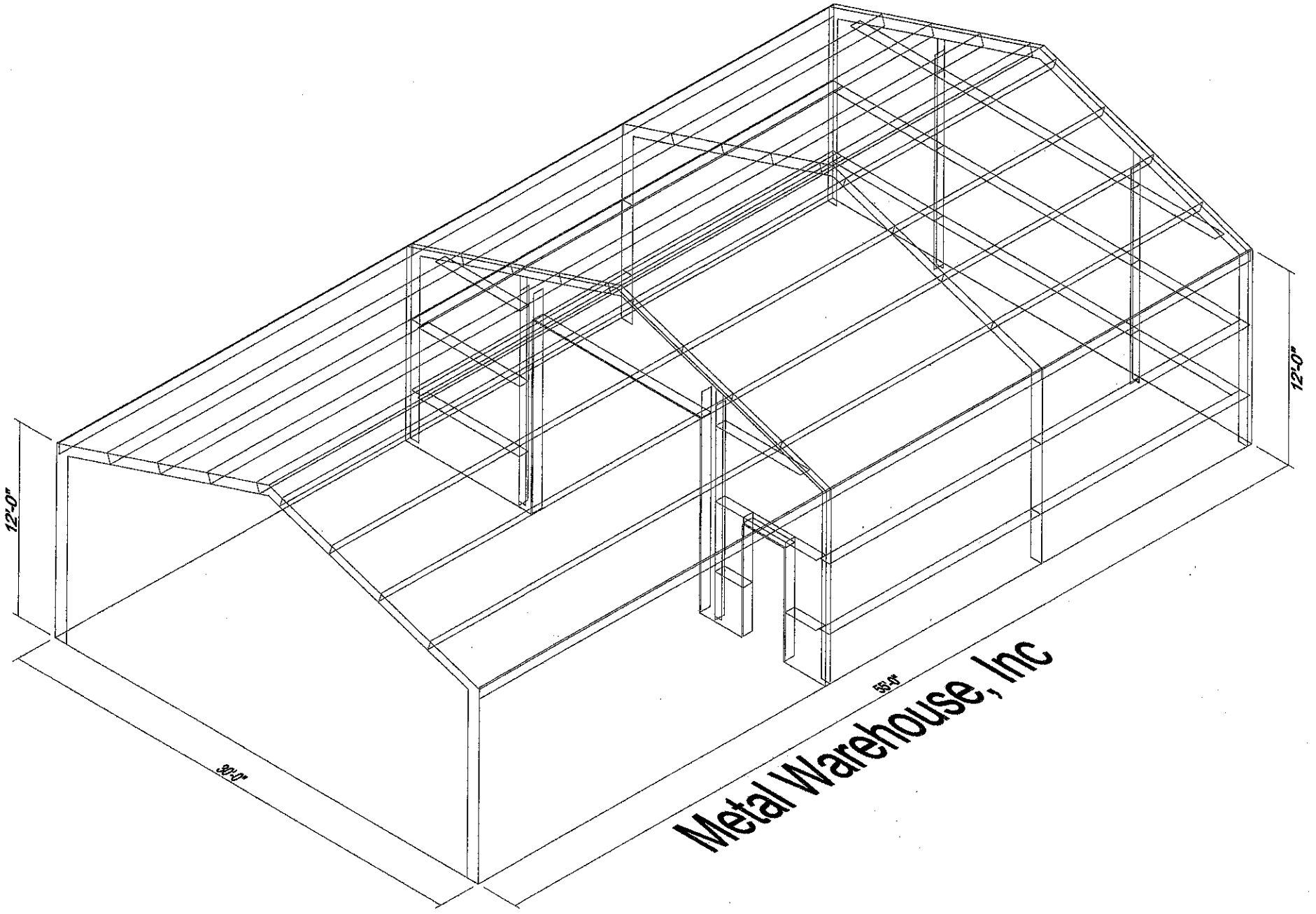




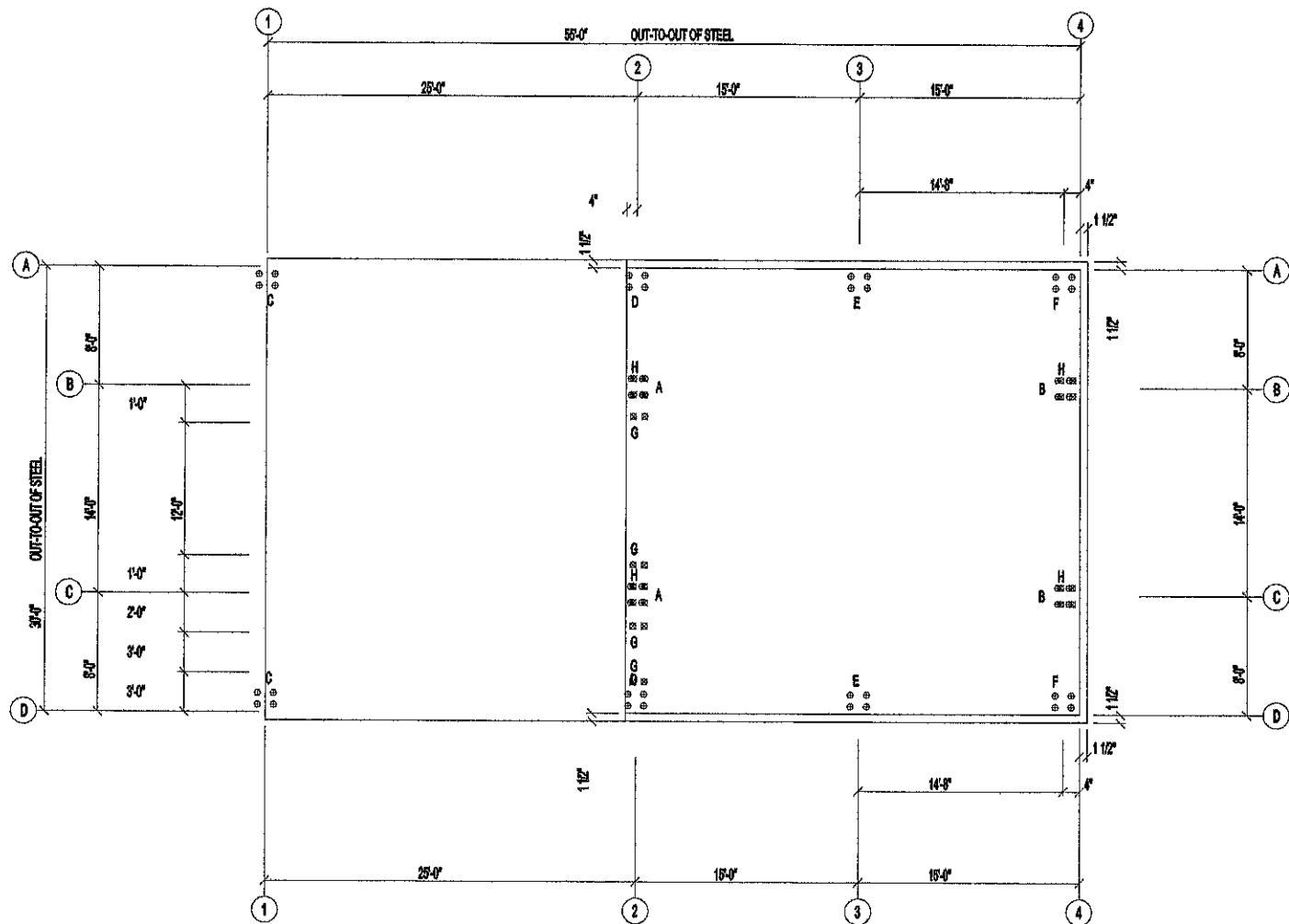








Metal Warehouse, Inc



ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (U.N.)



2304 West Hwy. 82 Sherman, TX 75082
(800) 465-0369

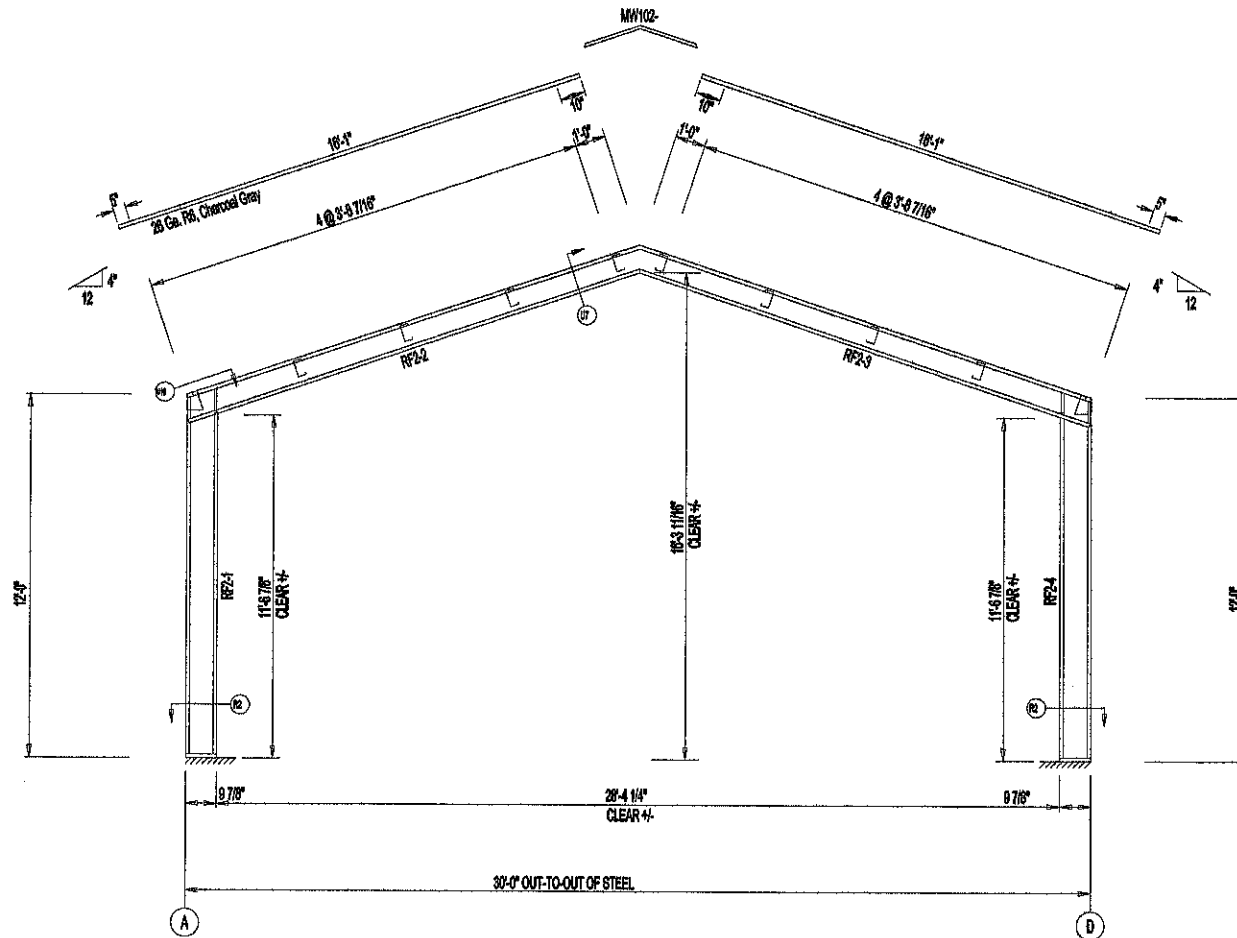
DESCRIPTION: ANCHOR BOLT PLAN						
CUSTOMER:				PROJECT:		
LOCATION:						
DRN. BY	CKD BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.
		12/21/20	N.T.S.	00	Mike Welton 30x30x12	OF

SPLICE PLATE & BOLT TABLE

Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1							11 5/8"			
SP-2							7 7/8"			
SP-3							11 3/4"			

MEMBER SIZE TABLE

MARK	MEMBER	LENGTH	WEIGHT
RF2-1	W10X12	11'-3 11/16"	149
RF2-2	W8X10	15'-9 3/4"	162
RF2-3	W8X10	15'-9 3/4"	162
RF2-4	W10X12	11'-3 11/16"	149



RIGID FRAME ELEVATION: FRAME LINE 1



22091 West Hwy, El Paso, TX 79922
(920) 425-0999

DESCRIPTION: RIGID FRAME ELEVATION

CUSTOMER:

PROJECT:

LOCATION:

DRAWN BY:

CHKD BY:

DATE:

SCALE:

REV:

QUOTATION NO.:

SHEET NO.:

12/21/20

N.T.S.

00

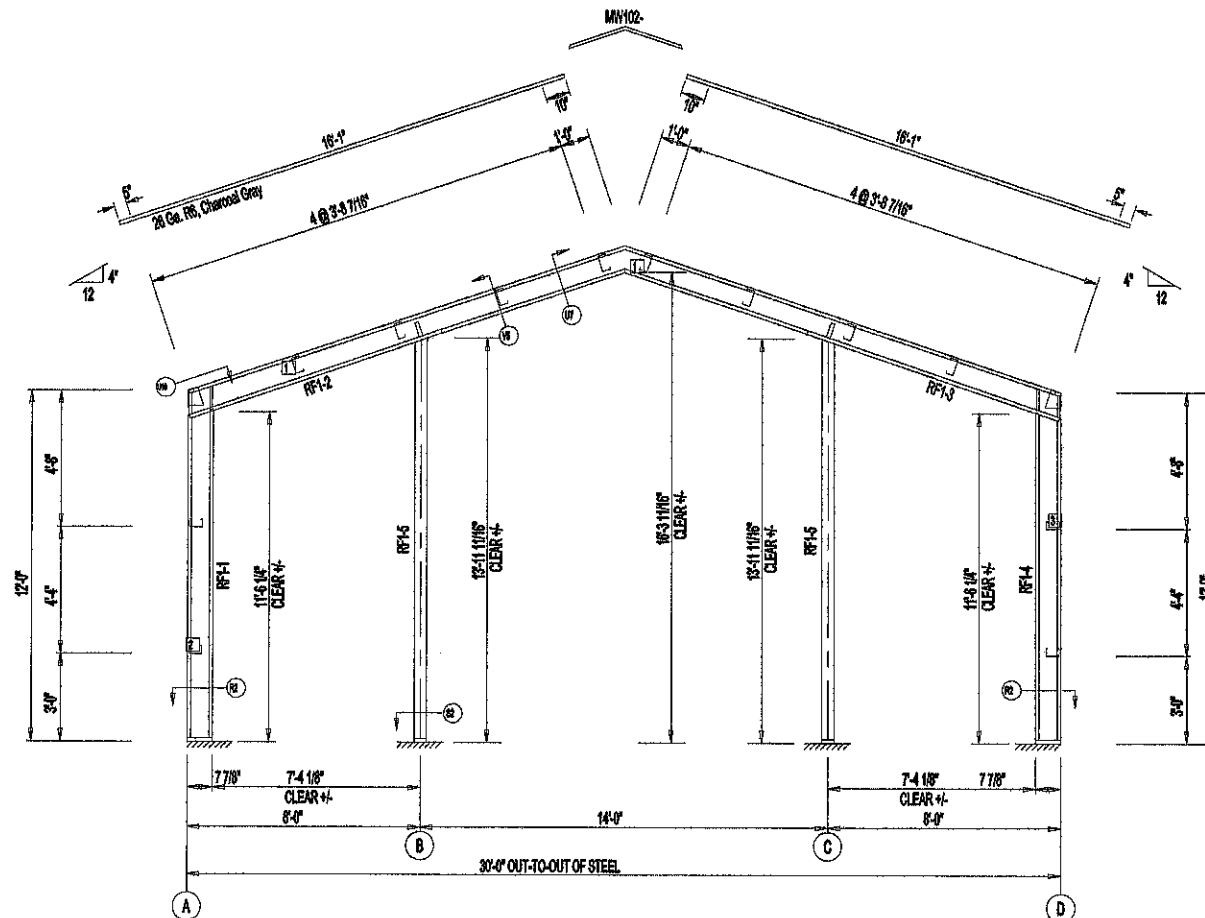
Mha_Welkert_30x30x12

OF

SPICE PLATE & BOLT TABLE											CAP PLATE BOLTS				
Mark	Qty	Bot	Int	Type	Dia	Length	Width	Thick	Length		Mark	Qty	Type	Dia	Length
SP-1							"	"	9 1/2"		RF1-5	4	A325	0.000	0.50
SP-2							"	"	7 7/8"						
SP-3							"	"	9 3/4"						

MEMBER SIZE TABLE			
MARK	MEMBER	LENGTH	WEIGHT
RF1-1	W8X10	11'-3 11/16"	126
RF1-2	W8X10	15'-9 3/4"	165
RF1-3	W8X10	15'-9 3/4"	166
RF1-4	W8X10	11'-3 11/16"	126
RF1-5	W8X13	14'-0 3/8"	192

CONNECTION PLATES		
ID	Mark	Part
1	c3	
2	c2	
3	d1	



RIGID FRAME ELEVATION: FRAME LINE 2 4



22894 West Hwy, B2 Orem, UT 84057
(801) 455-4100

DESCRIPTION: RIGID FRAME ELEVATION									
CUSTOMER:					PROJECT:				
LOCATION:									
DRN. BY	CKD BY	DATE	SCALE	REV.	QUOTATION NO.			SHEET NO.	
		12/21/20	N.T.S.	00	Mike Walkert_30x30x12			OF	

SPICE PLATE & BOLT TABLE

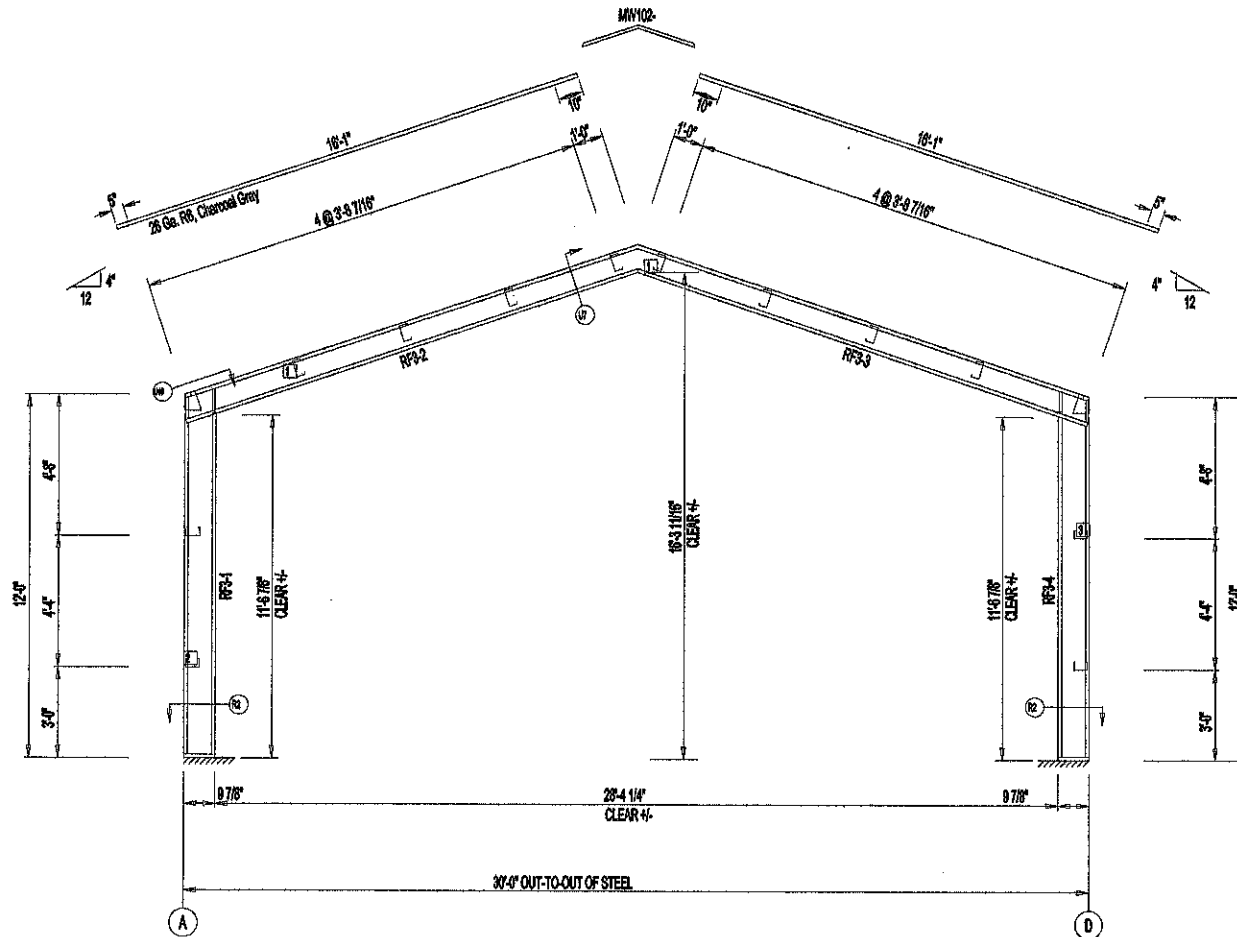
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1							11 5/8"			
SP-2							7 7/8"			
SP-3							11 3/4"			

MEMBER SIZE TABLE

MARK	MEMBER	LENGTH	WEIGHT
RF3-1	W10X12	11'-3 11/16"	149
RF3-2	W8X10	15'-9 3/4"	182
RF3-3	W8X10	15'-9 3/4"	182
RF3-4	W10X12	11'-3 11/16"	149

CONNECTION PLATES

ID	Mark/Part
1	d3
2	d2
3	d1



RIGID FRAME ELEVATION: FRAME LINE 3

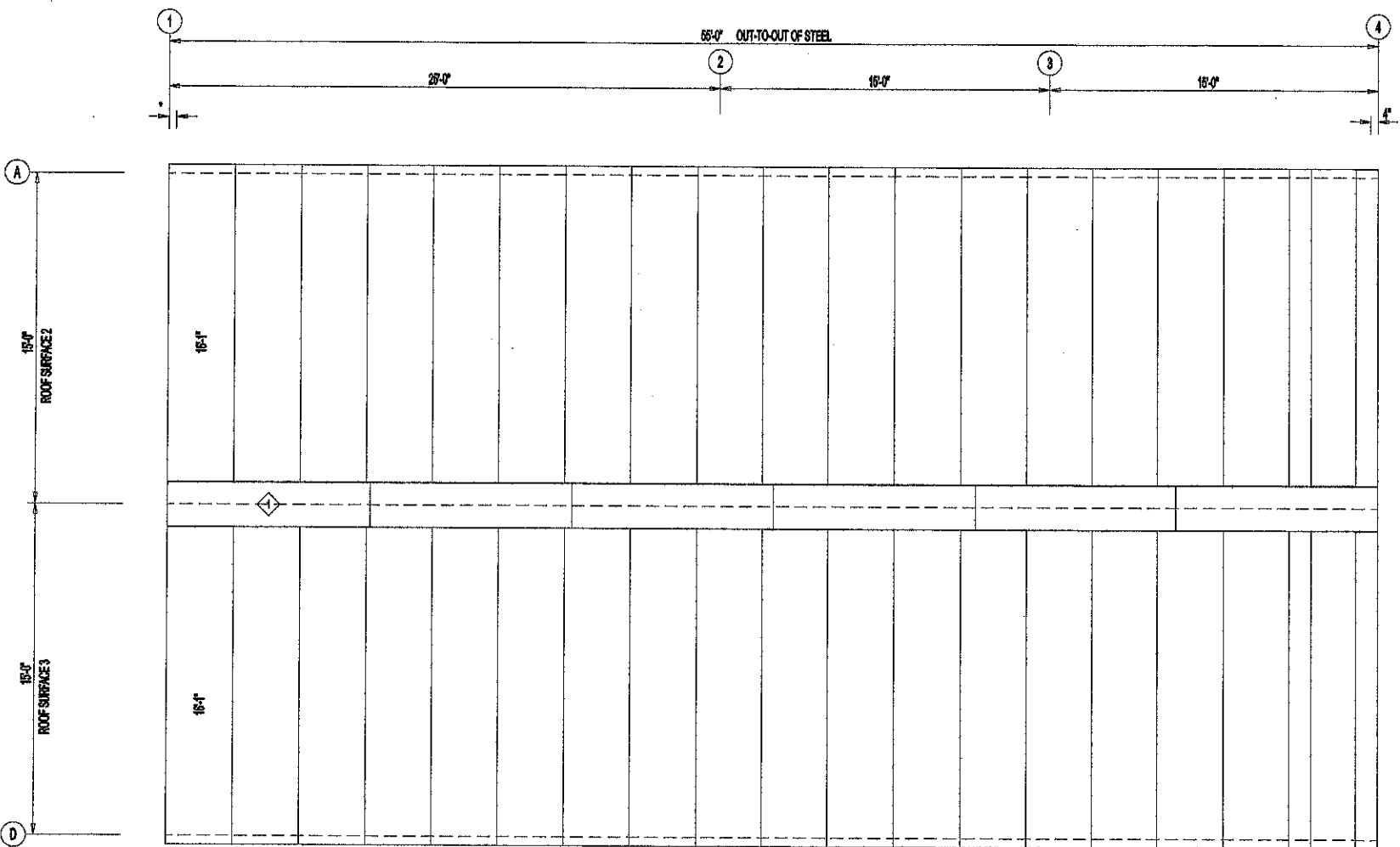


23004 West Hwy, P.O. Box 1000, TX 75002
(202) 485-6000


DESCRIPTION: RIGID FRAME ELEVATION

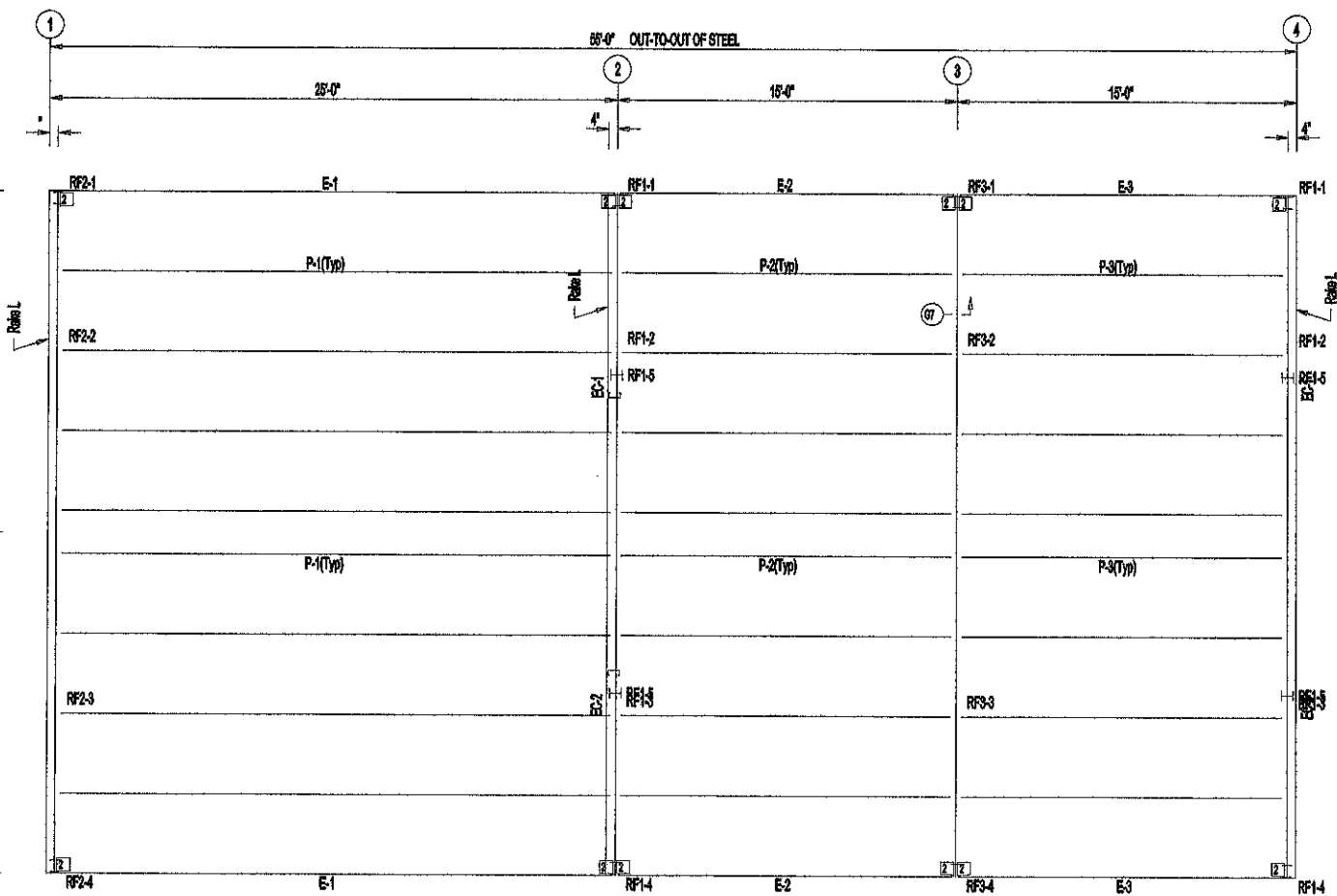
CUSTOMER:				PROJECT:			
LOCATION:				QUOTATION NO.			
DRN BY	CKD BY	DATE	SCALE	REV.	SHEET NO.		
		12/21/20	N.T.S.	00	Mike Welkert_30x30x12 OF		

TRIM TABLE	
ROOF PLAN	
◇ ID	MARK
1	MW102



ROOF SHEETING PLAN
 PANELS: 26 Ga. R6 - Charcoal Gray

 2804 West Hwy. 22, Greenville, TX 75042 (903) 425-8899		DESCRIPTION: ROOF SHEETING	
		CUSTOMER: _____ PROJECT: _____	
LOCATION: _____		DATE: 12/21/20	SCALE: N.T.S.
DRN. BY: _____	CRD BY: _____	REV: 00	QUOTATION NO. Nike_Welkert_30x30x12 OF 0F SHEET NO.



ROOF FRAMING PLAN

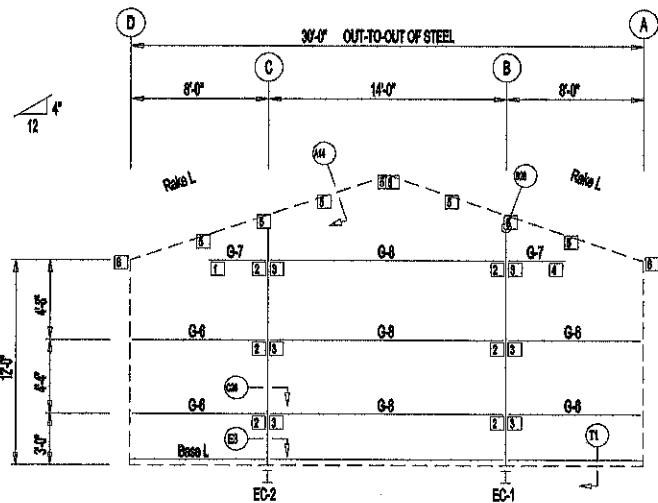
CONNECTION PLATES	
ROOF PLAN	
ID	MARK/PART
1	d3
2	d6

MEMBER TABLE	
ROOF PLAN	
MARK	PART
P-1	8x25C14
P-2	8x25C14
P-3	8x25C14
E-1	E08S344L
E-2	E08S344L
E-3	E08S344L

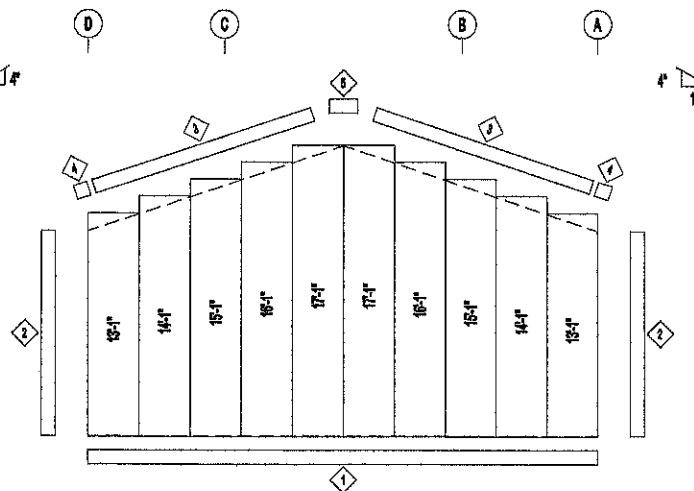


23004 Metal Pkwy, B2 Houston, TX 77062
(281) 489-0038

DESCRIPTION: ROOF FRAMING		PROJECT:	
CUSTOMER:		LOCATION:	
DRN BY	CKD BY	DATE	SCALE
		12/21/20	N.T.S.
REV.	00	QUOTATION NO.	SHEET NO.
		Mike_Welkert_30x30x12	OF



ENDWALL FRAMING: FRAME LINE 4



ENDWALL SHEETING & TRIM: FRAME LINE 4

PANELS: 20 Ga. R6 - Rustic Red

TRIM TABLE FRAME LINE 4		
ID	MARK	DETAIL
1	BT-101	TRIM_74
2	CT-102	TRIM_323
3	FL-18	TRIM_229
4	FL18A	
5	FL618B	

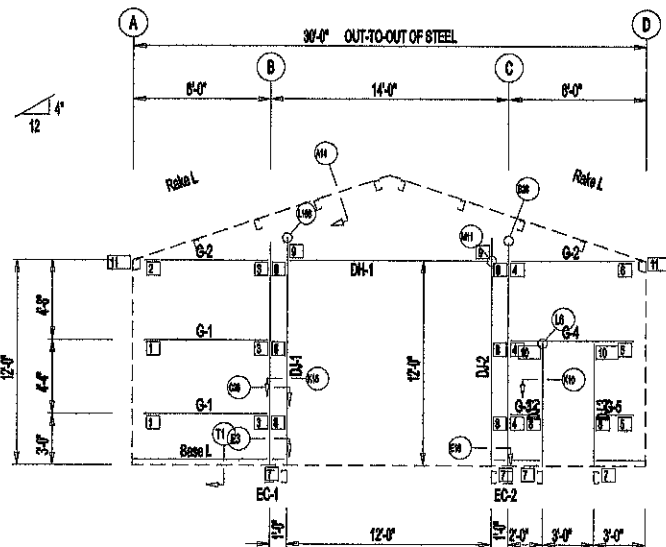
MEMBER TABLE FRAME LINE 4		
MARK	PART	
EC-1	W8X10	
EC-2	W8X10	
G-6	6x20C14	
G-7	6x20C14	
G-8	6x20C14	

CONNECTION PLATES FRAME LINE 4		
ID	MARK/PART	
1	b5	
2	b6	
3	b7	
4	b8	
5	c8	
6	d8	

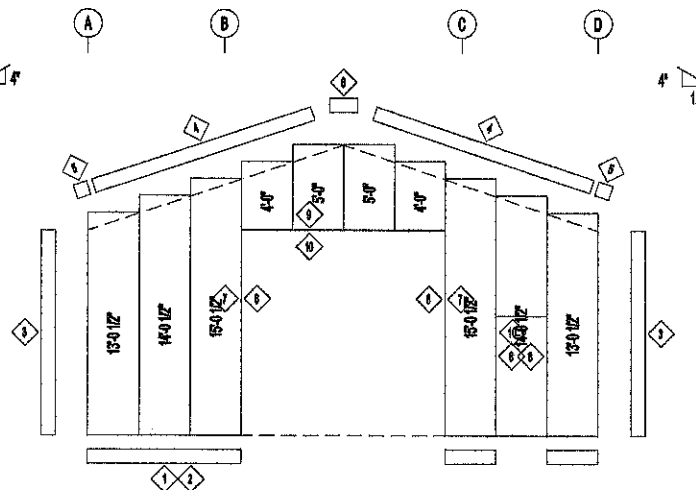


23104 West Hwy 82 Sherman, TX 76002
(817) 462-8100

DESCRIPTION: ENDWALL FRAMING						
CUSTOMER:				PROJECT:		
LOCATION:						
DRN. BY	CKD BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.
		12/21/20	N.T.S.	00	Mike Welkart_30x30x12	OF



ENDWALL FRAMING: FRAME LINE 2



ENDWALL SHEETING & TRIM: FRAME LINE 2

PANELS: 28 Ga. R6 - Rustic Red

TRIM TABLE		
FRAME LINE 2		
ID	MARK	DETAIL
1	BT-101	TRIM_74
2	BT-101	TRIM_74
3	CT-102	TRIM_323
4	MT-113	
5	FL10A	
6	FL10B	
7	MT-116	TRIM_242
8	FL-26	TRIM_239
9	MT-116	TRIM_235
10	FL-26	TRIM_232

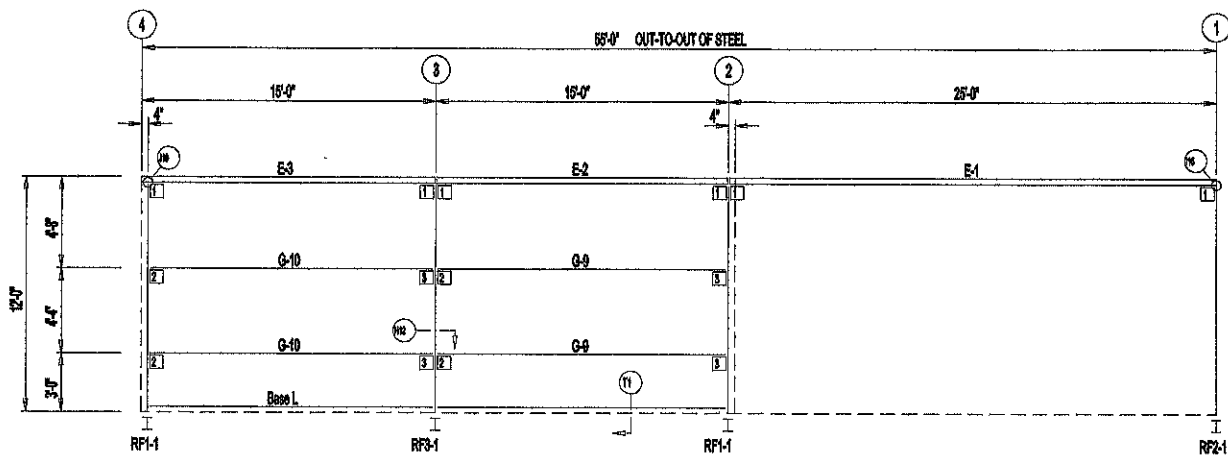
MEMBER TABLE	
FRAME LINE 2	
MARK	PART
EC-1	W8X10
EC-2	W8X10
DJ-1	4X16C14
DJ-2	4X16C14
DJ-3	4X16C14
DH-1	4X20C14
G-1	3X16C14
G-2	3X16C14
G-3	3X16C14
G-4	3X16C14
G-5	3X16C14

CONNECTION PLATES	
FRAME LINE 2	
ID	MARK/PART
1	b4
2	b1
3	b2
4	b3
5	b5
6	b4
7	b1
8	b9
9	c1
10	j1
11	b6

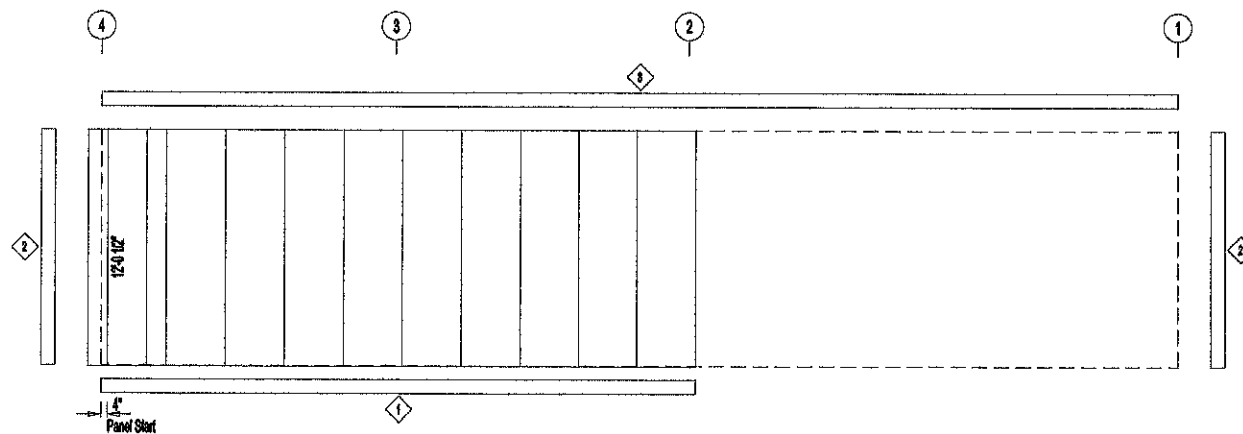


23004 West Hwy. #2 Sherman, TX 75082
(940) 834-5500

DESCRIPTION: ENDWALL FRAMING					
CUSTOMER:				PROJECT:	
LOCATION:					
DRN. BY	CKD BY	DATE	SCALE	REV.	QUOTATION NO.
		12/21/20	N.T.S.	00	Mike Welkart 30x30x12 OF
					SHEET NO.



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 20 Ga. R8 - Rustic Red

TRIM TABLE		
FRAME LINE A		
ID	MARK	DETAIL
1	BT-101	TRIM 74
2	CT-102	TRIM 323
3	ET-004	TRIM 316

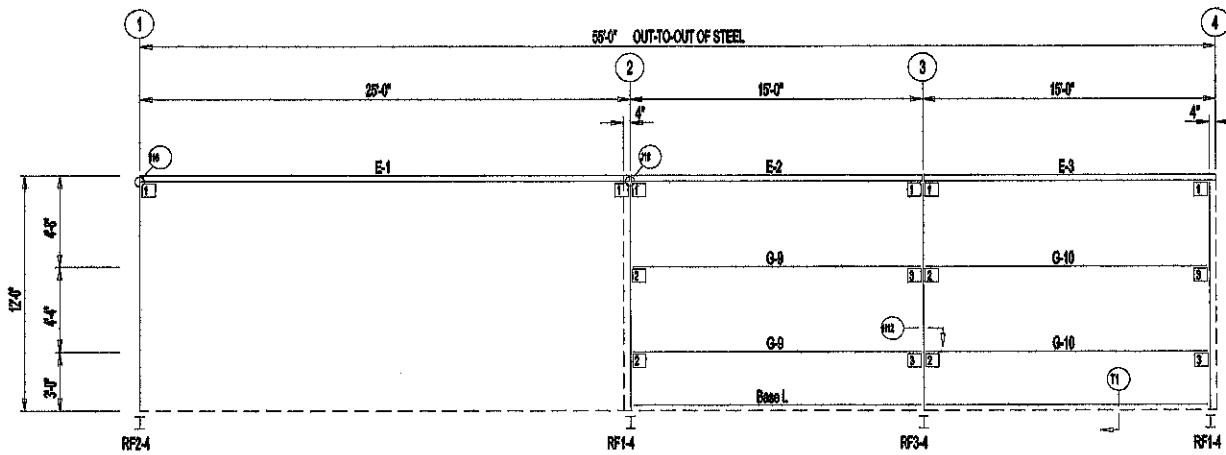
MEMBER TABLE	
FRAME LINE A	
MARK	PART
E-1	E08394L
E-2	E08394L
E-3	E08394L
G-9	G20C14
G-10	G20C14

CONNECTION PLATES	
FRAME LINE A	
ID	MARK/PART
1	d8
2	d1
3	d2

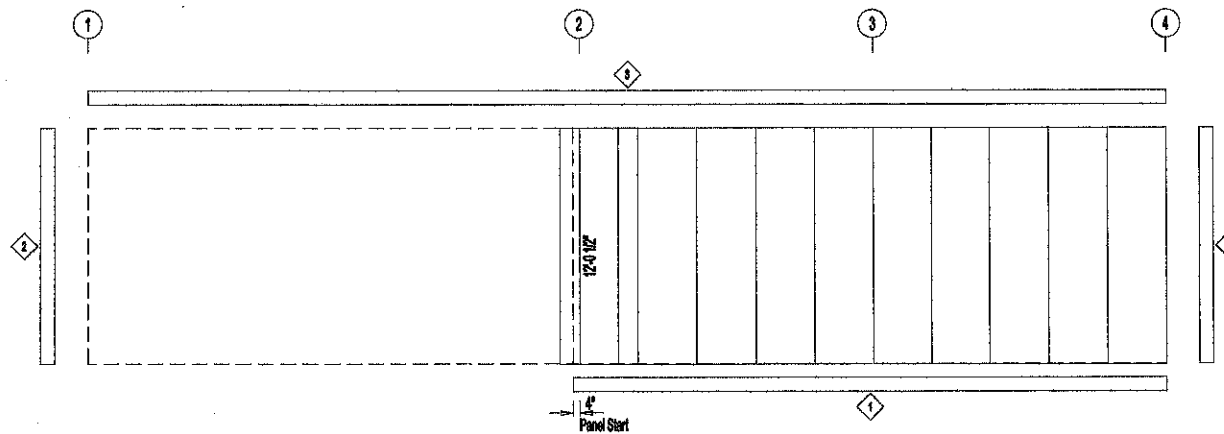


25504 West Hwy. B2 Shreveport, LA 70502
(504) 415-4552

DESCRIPTION: SIDEWALL FRAMING									
CUSTOMER:						PROJECT:			
LOCATION:									
DRN. BY	OKD BY	DATE	SCALE	REV.	QUOTATION NO.	SHEET NO.			
		12/21/20	N.T.S.	00	Mike Weikert_30x30x12	OF			



SIDEWALL FRAMING: FRAME LINE D



SIDEWALL SHEETING & TRIM: FRAME LINE D

PANELS: 26 Ga. R6 - Rustic Red

TRIM TABLE		
FRAME LINE D		
ID	MARK	DETAIL
1	BT-101	TRIM 74
2	CT-102	TRIM 323
3	ET-304	TRIM 316

MEMBER TABLE	
FRAME LINE D	
MARK	PART
E-1	EB6344L
E-2	EB6344L
E-3	EB6344L
G-9	G20C14
G-10	G20C14

CONNECTION PLATES	
FRAME LINE D	
ID	MARK/PART
1	db
2	d1
3	d2



27500 West Hwy. 83, Houston, TX 77052
(832) 455-8888

DESCRIPTION:		SIDEWALL FRAMING			
CUSTOMER:		PROJECT:			
LOCATION:		QUOTATION NO.			
DRN BY	CRD BY	DATE	SCALE	REV.	SHEET NO.
		12/21/20	N.T.S.	00	OF
		Mke_Welkert_30x30x12			



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/03/2021

OVERVIEW

Project	P&Z Meeting Format Discussion
P&Z Hearing	06/03/2021
Council Hearing	N/A
Request	N/A
Size	N/A
Current Zoning	N/A
Proposed Use	N/A
Existing Use	N/A
Future Land Use Plan Designation	N/A
Applicant	N/A
Owner	N/A
Strategic Goal	

Location

N/A

Planning Analysis

Discuss whether the Planning and Zoning Commission prefers to continue holding meetings virtually or return to in person meetings moving forward.

Recommended Action

This is a discussion item; no official action necessary.
