



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

October 7, 2021

Persons may address the Planning and Zoning Commission on any issue. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. Each member of the public who desires to address the P&Z Commission regarding an item on an agenda for an open meeting of the P&Z Commission shall have the right to address the Commission on the item before the Commission's consideration of the item. All speakers not requiring a translator are given 3 minutes to speak and may address the Commission only once on each agenda item. Non-English Speakers who require a translator are given 6 minutes to speak and may address the Commission only once on each agenda item. In accordance with the State of Texas Open Meeting Act, the board may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. To address the Commission for any public hearing item please sign a speaker's sheet located on the tables by the front entry and submit to a Staff member.

1. **5:30 PM Work Session**
2. **Roll Call**
3. **6:00 PM Regular Meeting**

Consent Agenda

1. Discuss and take action regarding the approval of the September 16, 2021 regular Planning and Zoning Commission meeting minutes.
2. **FINAL PLAT**/Tricon Addition Lots 2R and 3, (RP-21-03774). Presentation, discussion, and consideration on a request for the approval of a Replat of lots 2R and 3 to add required development easements on approximately 7.546 acres, situated in the Tricon Addition, within Little Elm's town limits.

Regular Agenda

1. **PUBLIC HEARING**/ King Road Planned Development (PD-21-02146). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 8.9 acres of land, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation
2. **PUBLIC HEARING**/ Eldorado Bend Planned Development (PD-21-03453). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 5.79 acres of land, generally located at 1816 W Eldorado Parkway, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment

- Close Public Hearing
- Discussion and Recommendation

3. **PUBLIC HEARING/** 3P Elm Planned Development (PD-21-00765). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately .79 acres of land, currently zoned as Light Commercial (LC), generally located at 1728 E Eldorado Pkwy, on the north side of Eldorado Parkway, within Little Elm's town limits, in order to establish a new Planned Development (PD) district based on Light Commercial (LC), to allow a new commercial development with modified development standards.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation
4. **Discussion of future agenda items, update on Council action, and requests for new business considerations**
5. **Adjourn**

Certificate

I certify that the above notice of the Planning & Zoning Commission meeting was posted on the bulletin board of the Town of Little Elm, Texas on September 11th, 2020, prior to 5:00 p.m. The Little Elm Town Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made 48 hours prior to this meeting. Please contact the Town Secretary's office at 214-975-0404 or 972-377-5540 (fax) for arrangements.

Olga Chernomoretz - Planning Manager



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

10/07/2021

OVERVIEW

Project	Adoption of the September 16, 2021 Planning & Zoning Commission Meeting Minutes
P&Z Hearing	10/07/2021
Council Hearing	N/A
Size	N/A
Current Zoning	N/A
Proposed Use	N/A
Existing Use	N/A
Future Land Use Plan Designation	N/A
Applicant	N/A
Owner	N/A
Strategic Goal	

Agenda Item

Discuss and take action regarding the approval of the September 16, 2021 regular Planning and Zoning Commission meeting minutes.

Location

N/A

Planning Analysis

N/A

Recommended Action

N/A

Attachments

P&Z Minutes September 16, 2021

DRAFT



Minutes

Town of Little Elm

PLANNING & ZONING COMMISSION

Regular Meeting

Thursday, SEPTEMBER 16, 2021 - 7:00 pm

Present: Brent Hagenbuch, Commissioner; Stephen Horn, Commissioner; Michael Bell, Chairman; Danny Weakley, Commissioner; Brent Thibeaux, Commissioner

Absent: Brian Rawlins, Commissioner; Ron Trees, Vice Chairman; Tom Ocelli, Commissioner; Robert Martin, Commissioner

Staff Present: Fred Gibbs, Director of Development Services

Hayden Brodowsky, Development Services Manager

Olga Chernomorets, Planning Manager

1. **5:30 PM Work Session**

2. **Roll Call**

3. **6:00 PM Regular Meeting**

Chairman Bell opened the regular Planning and Zoning Commission meeting at 6:00pm.

1. Discuss and take action regarding the approval of the September 2, 2021 regular Planning & Zoning Commission meeting minutes.

Motion: Approval of the minutes as presented.

Motion by Commissioner Stephen Horn, seconded by Commissioner Danny Weakley

AYE: Commissioner Brent Hagenbuch, Commissioner Stephen Horn, Chairman Michael Bell, Commissioner Brent Thibeaux, Commissioner Danny Weakley

5 - 0 Passed - Unanimously

2. **PUBLIC HEARING/Shops at Lakefront Planned Development (PD-21-01366).** Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 4.56 acres of land, currently zoned as Light Commercial (LC), generally located at 2009 and 2011 Oak Grove Parkway, on the north side of Oak Grove Parkway, within Little Elm's town limits, in order to establish a new Planned Development district based on Light Commercial (LC) district requirements with modified development standards, to allow a new commercial development.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Motion: Withdraw the request at the present time.

Motion by Commissioner Danny Weakley, seconded by Commissioner Brent Thibaux

AYE: Commissioner Brent Hagenbuch, Commissioner Stephen Horn, Chairman Michael Bell, Commissioner Brent Thibaux, Commissioner Danny Weakley

5 - 0 Passed - Unanimously

4. **Discussion of future agenda items, update on Council action, and requests for new business considerations.**

- Planning and Zoning Commission Training

Planning and Zoning Commission Training to be rescheduled for another meeting.

5. **Adjourn**

Chairman Bell closed the regular Planning and Zoning Commission meeting at 6:07pm.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

10/07/2021

OVERVIEW

Project	Replat/Tricon Addition Lots 2R and 3
P&Z Hearing	10/07/2021
Council Hearing	N/A
Size	Approximately 7.546 acres
Current Zoning	Light Commercial (LC)
Proposed Use	Retail
Existing Use	Open Space
Future Land Use Plan Designation	Retail
Applicant	SEOK H KIM
Owner	SMART K INVESTMENT LLC
Strategic Goal	Promote and expand Little Elm's identity

Agenda Item

FINAL PLAT/Tricon Addition Lots 2R and 3, (RP-21-03774). Presentation, discussion, and consideration on a request for the approval of a Replat of lots 2R and 3 to add required development easements on approximately 7.546 acres, situated in the Tricon Addition, within Little Elm's town limits.

Location

Generally located on the north side of Eldorado Parkway, approximately 210 feet west of Hart Road, within Little Elm's town limits.

Planning Analysis

This Replat establishes multiple easements that are required for development, specifically a fire lane easement and cross access easement as required in Section 106.06.41 (b) - Parking standards, in the Town of Little Elm Ordinances. This Replat will be used to develop two commercial sites, both of which meet the future goals of the Towns Comprehensive Plan for this area.

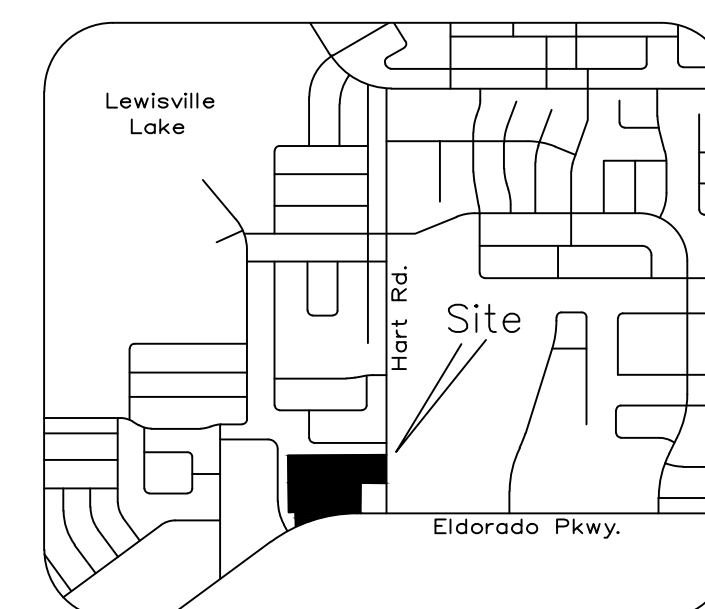
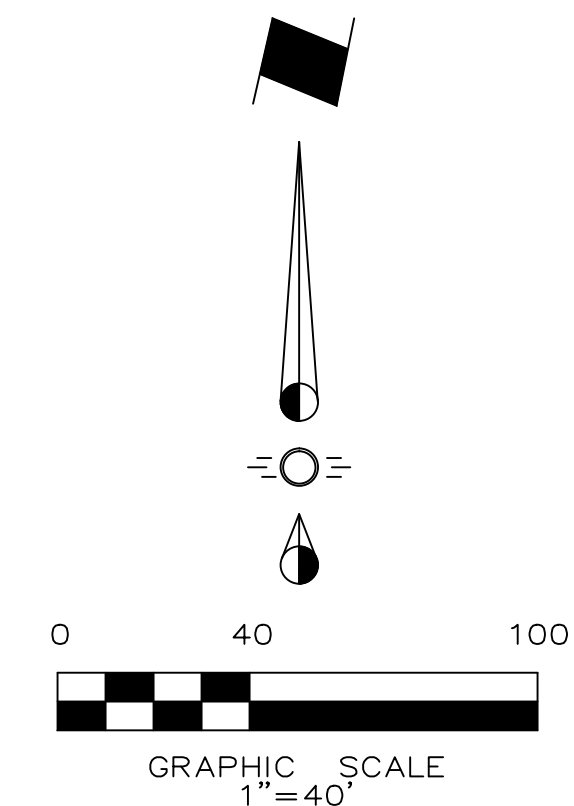
Recommended Action

Staff recommends approval of the Replat.

Attachments

Replat

Location Map

VICINITY MAP
NTS

Zoned Public/Semi-Public

REPLAT

TRICON ADDITION
LOTS 2R & 3R, BLOCK 1

Being A Replat Of Lots 2R, & 3, Block 1
Tricon Addition
Recorded In Volume 2020 , Page 240 P.R.D.C.T.
7.546 Acres Situated In The
J.S. CLARK SURVEY ~ ABST. 252
M. JONES SURVEY ~ ABST. 667
LITTLE ELM, DENTON COUNTY, TEXAS

Owner Lot 2R

Tricon-Hart Road, LP
13101 Preston Road, Suite 601
Dallas, Texas 75240
Telephone 214 532-7558
SBasharkhah@beitexas.com

Owner Lot 3R

Smart K Investment LLC
2516 Woodhaven Drive
Flower Mound, Texas 75028
Telephone 214-893-5632
ken@smartkinvestment.com

Surveyor

Surdukan Surveying, Inc.
 Firm No. 10069500
 PO Box 126
 Anna, Texas 75409
 Telephone 972 924-8200
david@surdukansurveying.com

Revised August 9, 2021
October 19, 2020 Job No. 2019-81
S H E E T 1 O F 2

NOTES:

All lots comply with the minimum size requirements of the zoning district.

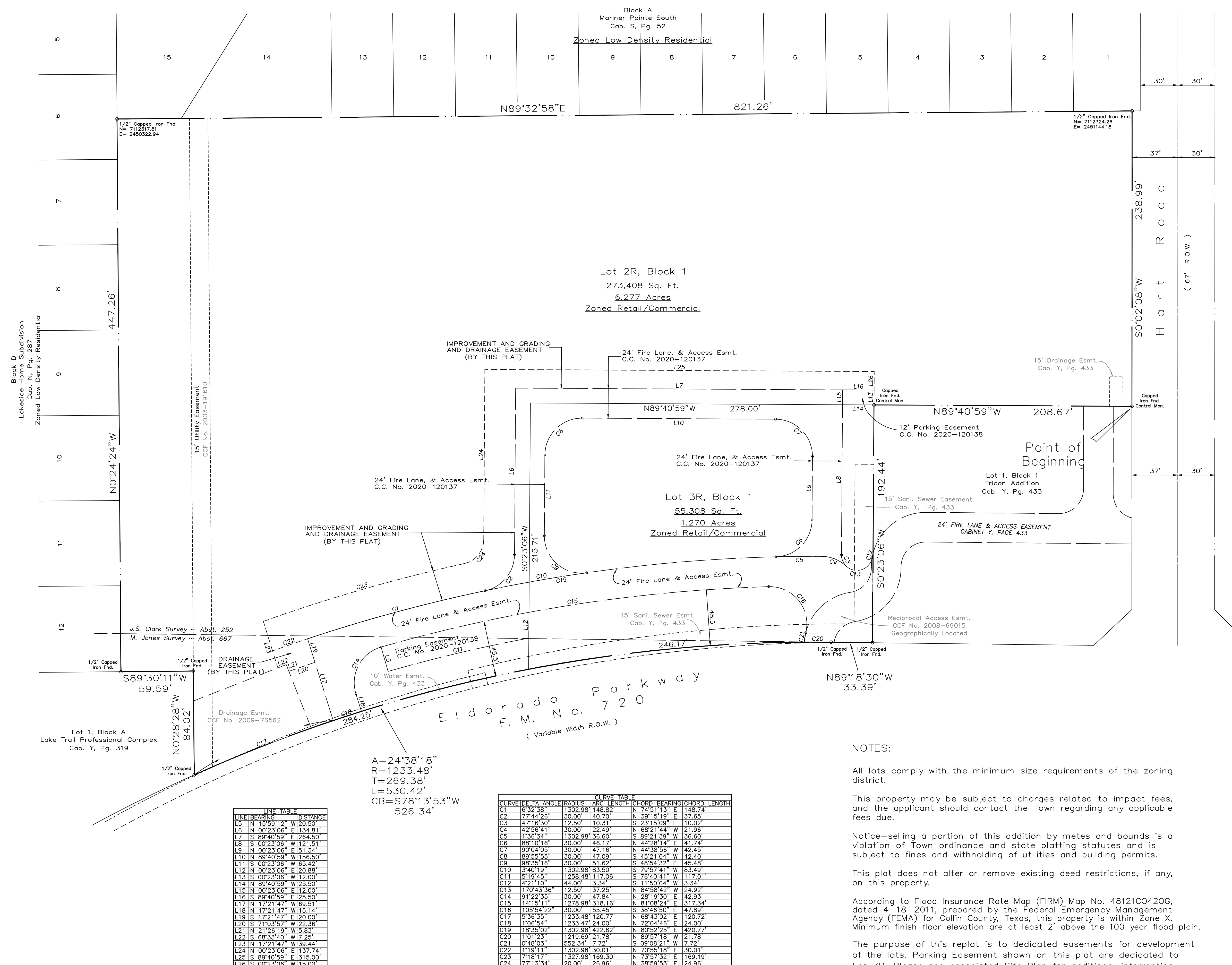
This property may be subject to charges related to impact fees, and the applicant should contact the Town regarding any applicable fees due.

Notice—selling a portion of this addition by metes and bounds is a violation of Town ordinance and state platting statutes and is subject to fines and withholding of utilities and building permits.

This plat does not alter or remove existing deed restrictions, if any, on this property.

According to Flood Insurance Rate Map (FIRM) Map No. 48121C0420G, dated 4-18-2011, prepared by the Federal Emergency Management Agency (FEMA) for Collin County, Texas, this property is within Zone X. Minimum finish floor elevation are at least 2' above the 100 year flood plain.

The purpose of this replat is to dedicated easements for development of the lots. Parking Easement shown on this plat are dedicated to Lot 3R. Please see associated Site Plan for additional information.



OWNER’S CERTIFICATE

STATE OF TEXAS
COUNTY OF DENTON

WHEREAS, Tricon—Hart Road, LP and Smart K Investment LLC are the owner of a tract of land situated in the J.C. Clark Survey, Abstract No. 252, and the M. Jones Survey, Abstract No. 667, Town of Little Elm, Denton County, Texas, and being all of Lot 2R and Lot 3, Block 1, Tricon Addition, and Addition to the Town of Little Elm as recorded in Volume 2020, Page 240, Plat Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2” iron rod found with yellow plastic cap stamped “5310” for corner in the west line of Hart Road (a 67’ R.O.W. at this point, 37’ from centerline), said point being the northeast corner of Lot 1, Block 1, of the aforementioned Tricon Addition;

THENCE N89°40’59”W, leaving Hart Road, and with the north line of said Lot 1, a distance of 208.67 feet to a 1/2” iron rod found with yellow plastic cap stamped “5310” for corner;

THENCE S00°23’06”W, with the west line of said Lot 1, a distance of 192.44 feet to a 1/2” iron rod found with yellow plastic cap stamped “4613” for corner in the north line of Eldorado Parkway (FM 720) (a variable width R.O.W.);

THENCE N89°18’30”W, with the north line of Eldorado Parkway, a distance of 33.39 feet to a 1/2” iron rod found with yellow plastic cap stamped “4613” for corner and the beginning of a curve to the left having a central angle of 24°38’18”, a radius of 1233.48 feet, a tangent length of 269.38 feet, and a chord bearing S78°13’53”W, 526.34 feet;

THENCE in a southwesterly direction along said curve to the left, and with the north line of Eldorado Parkway, an arc distance of 530.42 feet to a 1/2” iron rod found with yellow plastic cap stamped “4613” for corner and the end of said curve, said point being the southeast corner of Lot 1, Block A, Lake Trail Professional Compex, an addition to the Town of Little Elm as recorded in Cabinet Y, Page 319, Plat Records of Denton County, Texas;

THENCE N00°28’28”W, leaving Eldorado Parkway, and with the east line of said Lot 1, a distance of 84.027 feet to a 1/2” iron rod found with yellow plastic cap stamped “4613” for corner;

THENCE S89°30’11”W, with the north line of said Lot 1, a distance 59.59 feet to a 1/2” iron rod found with yellow plastic cap stamped “4613” for corner in the east line of Lakeside Home Subdivision, an addition to the Town of Little Elm as recorded in Cabinet N, Page 287, Plat Records of Denton County, Texas;

THENCE N00°24’24”W, with the east line of said Lakeside Home Subdivison, a distance of 447.26 feet to a 1/2” iron rod found with yellow plastic cap stamped “4613” for corner in the south line of Mariner Pointe South, an addition to the Town of Little Elm as recorded in Cabinet S, Page 52, Plat Records of Denton County, Texas;

THENCE N89°32’58”E, with the south line of said Mariner Pointe South, a distance of 821.26 feet to a 1/2” iron rod found with yellow plastic cap stamped “4613” for corner in the west line Hart Road;

THENCE S00°02’08”W, with the west line of Hart Road, a distance of 238.99 feet to the POINT OF BEGINNING and CONTAINING 328,716 square feet, or 7.546 acres of land.

BASIS OF BEARINGS:

The basis of bearings, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System, Nad83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, Vertical position are referenced to NAVD88 using (GEOID03).

OWNER’S STATEMENT FOR FIRE LANE EASEMENT

The undersigned covenants and agrees that he/she shall construct upon the fire lane easements, as dedicated and shown hereon, a fire lane in accordance with the Fire Code and Town standards and that he shall maintain the same in a state of good repair at all times in accordance with Town Ordinance. The fire lane easement shall be kept free of obstructions in accordance with the Town Ordinance. The maintenance of pavement in accordance to Town Ordinance of the fire lane easements is the responsibility of the owner. The owner shall identify the fire lane in accordance with Town Ordinance. The Chief of Police or his/her duly authorized representative is hereby authorized to cause such fire lane and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

STATE OF TEXAS
COUNTY OF DENTON

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT, Tricon—Hart Road, LP, and Smart K Investment LLC, acting herein by and through its duly authorized officers, does hereby adopt this replat designating the herein above described property as Lots 2R & 3R, Block 1, Tricon Addition, an Addition to the Town of Little Elm, Denton County, Texas, and does hereby dedicate to the public use forever, streets, rights of way, and alleys shown thereon and does hereby dedicate the easement strips shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using same. No buildings, fences, trees, shrubs or other improvements shall be constructed, or placed upon, over, or across the easement strips on said plat. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths, which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of the easement strips, and any public utility shall at all times have the right of ingress or egress to or from and upon said easement for the purposes of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity at any time of procuring permission.

Tricon—Hart Road, LP

By: Title:

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein therein stated. GIVEN under my hand and seal of office, this the _____ day of _____, 2020.

Notary Public in and for
the State of Texas

Smart K Investment LLC

By: Seok H. Kim Title: Manager / Owner

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Seok H. Kim, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein therein stated. GIVEN under my hand and seal of office, this the _____ day of _____, 2020.

Notary Public in and for
the State of Texas

Approved by the Town of Little Elm, Texas

this _____ day of _____, 2020.

Town Official

Attest:

Town Secretary

David J. Surdukan
Registration No. 4613

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared David J. Surdukan, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the _____ day of _____, 2020.

Notary Public in and for
the State of Texas

REPLAT

TRICON ADDITION

LOTS 2R & 3R, BLOCK 1

Being A Replat Of Lots 2R, & 3, Block 1
Tricon Addition

Recorded In Volume 2020 , Page 240 P.R.D.C.T.

7.546 Acres Situated In The

J.S. CLARK SURVEY ~ ABST. 252

M. JONES SURVEY ~ ABST. 667

LITTLE ELM, DENTON COUNTY, TEXAS

Owner Lot 2R

Tricon—Hart Road, LP
13101 Preston Road, Suite 601
Dallas, Texas 75240
Telephone 214 532–7558
SBasharkhah@beitexas.com

Owner Lot 3R

Smart K Investment LLC
2516 Woodhaven Drive
Flower Mound, Texas 75028
Telephone 214–893–5632
ken@smartkinvestment.com

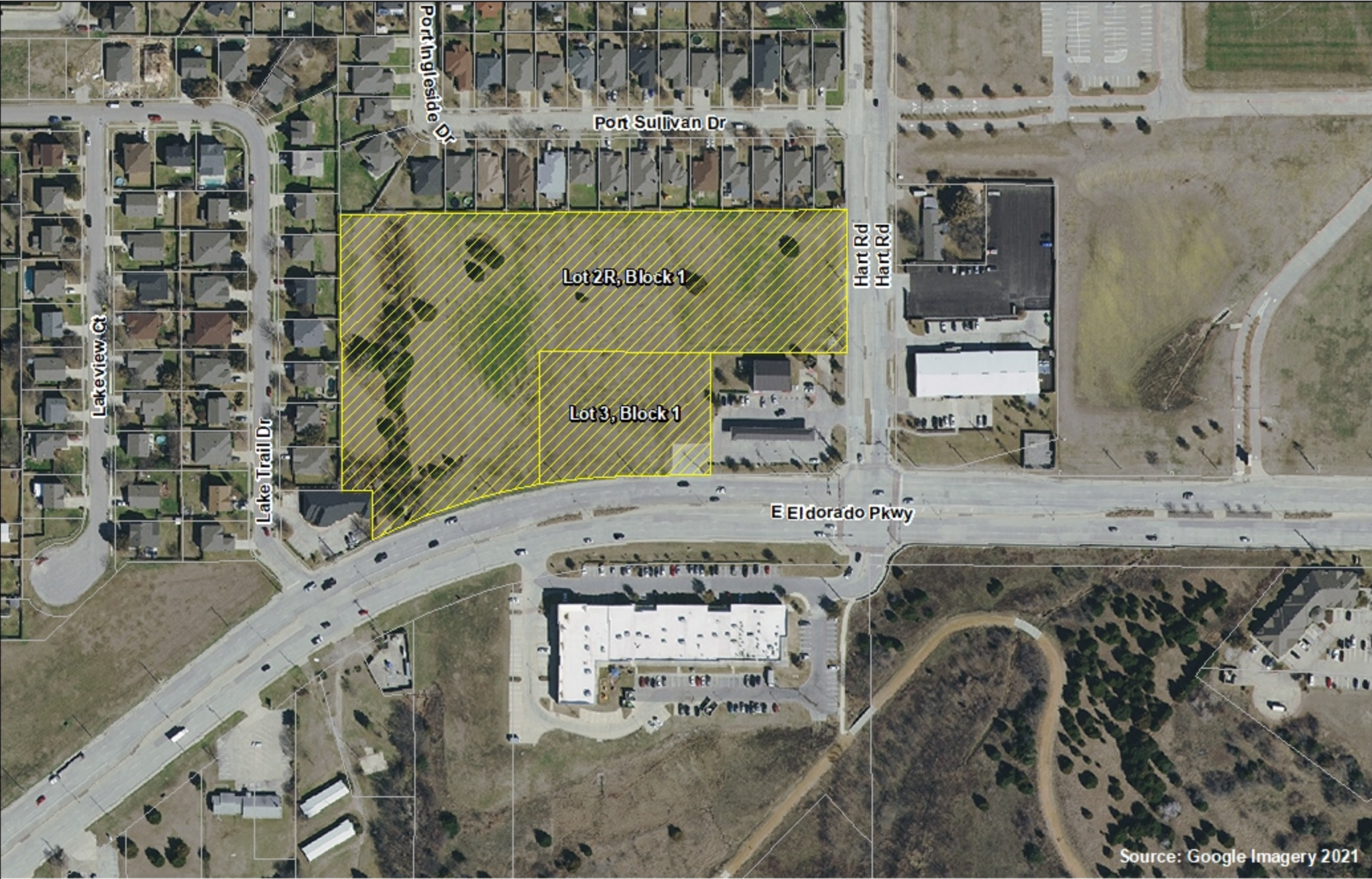
Surveyor

Surdukan Surveying, Inc.
Firm No. 10069500
PO Box 126
Anna, Texas 75409
Telephone 972 924–8200
david@surdukansurveying.com

Revised August 9, 2021
October 19, 2020

Job No. 2019–81

S H E E T 2 O F 2



Source: Google Imagery 2021



LITTLE ELM
Town of Little Elm
Denham County, Tx

Tricon Addition Lot 2R and 3

Date: 10/1/2021

0 187.5 375 Feet



Legend

- Subject Area
- Parcels
- Town Limits



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This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

10/07/2021

OVERVIEW

Project	PUBLIC HEARING/ King Road Planned Development (PD-21-02146)
P&Z Hearing	10/07/2021
Council Hearing	November 2, 2021
Size	8.9 acres
Current Zoning	Light Commercial (LC)
Proposed Use	Low Density Residential
Existing Use	Agricultural
Future Land Use Plan Designation	Residential
Applicant	Sachi Burlingame, Kirkman Engineering
Owner	Ranchetta LLC
Strategic Goal	

Agenda Item

PUBLIC HEARING/ King Road Planned Development (PD-21-02146). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 8.9 acres of land, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Generally located on the southeast corner of the intersection of King Road and Witt Road, within Little Elm's town limits.

Planning Analysis

Background. Subject property consists of two lots, totaling 8.9 acres, zoned Light Commercial (LC), currently improved with two barns and operating as an agricultural use. The subject property is directly adjacent to the new single family residential development known as Kings Court, and the proposed development mirrors the area and standards provided within the Kings Court PD-SF4 Ordinance. The proposed development will also provide an internal street and trail connection to the adjacent development.

The applicant is in the process of acquiring the subject property for the purposes of developing a 47-lot single-family, residential development, mirroring the adjacent residential subdivision, with the intention to join the existing HOA. The proposed development does not perfectly fit into any of the Town's existing zoning districts, therefore, the applicant is requesting a Planned Development (PD) district, based on the existing Single-Family 4 (SF4) zoning district with modified development standards in order to allow for this type of residential development product.

Proposal. The proposed project consists of 47 owner-occupied single family residential dwelling units with a detention pond along the northern portion of the development proposed as a dedicated open space with amenities. The proposed residential density is under six units per gross acre (du/ac).

The applicant is proposing Single-Family 4 (SF4) as the base zoning district, with modified development standards, mirroring the adjacent Kings Court development, as outlined in the following sections. The new Planned Development (PD) district includes development plans and multiple exhibits that will be incorporated into the PD as part of the overall requirements.

Uses. Proposed permitted uses will include the uses currently allowed under SF-4 zoning, primarily single family detached homes.

Area Requirements. The applicant is requesting the following setback and area requirements waivers:

- Minimum Front Yard Setback 20 feet instead of 25 feet
- Minimum Side Yard Setback 5 feet instead of 6 feet
- Minimum Side Yard Setback on Corner lots 10 feet, instead of— 28 feet
- Minimum Rear Yard Setback 15 feet instead of 20 feet
- Minimum Lot Width 40 feet instead of 60 feet
- Minimum Lot Area 4,600 square feet instead of 6,000 square feet

Design Standards. The minimum design elements listed in Section 106.06.03 Architectural Standards for Residential Structures will apply unless stated otherwise or shown in the PD exhibits. Some of the major design standards are proposed as follow:

Minimum masonry requirement. All exterior facades will be 100% masonry (brick and stone). Cementitious fiberboard, cedar trim or engineered wood may also be used for architectural features, including window box-outs, bay windows, roof dormers, columns, chimneys not part of an exterior wall or other architectural features approved by the Director.

Doors. Garage doors shall be painted or stained cedar wood doors and front entry doors shall be eight feet in height.

Elevation repetition. Each unique house elevation and brick color shall not be repeated on the lot most directly across the street, nor shall it be repeated on three lots in either direction on the same side of the street.

Gifts to the Street. All homes shall include at least six (6) of the architectural design features listed in Section 106.06.03(c). Decorative driveway paving (e.g. salt finish, exposed aggregate, or other treatments approved by the Town's building official) is required for all homes. All front yard landscape beds and side yard landscape beds shall be enclosed by masonry edging comprised of brick and/or stone. No less than 25% of homes shall have a covered front patio.

Landscaping and Screening. The proposed PD will follow all landscape requirements per Sections 106.06.11 – 106.06.16 of the Code of Ordinances for residential landscape requirements for a single-family development. The proposed plans provide a 20-foot landscape and wall buffer along the King Road and Witt Road perimeter of the development, and exclude a rear landscape buffer along adjacent residential property. The plans also provide for the continuation of the six-foot trail at the intersection of King Road and Witt Road and along the western boundary of the proposed development.

The existing adjacent residential development, King Court, provides a six-foot masonry screening wall along King Road. Therefore, in order to provide consistency, the applicant is proposing to match the six-foot masonry wall adjacent to King Road and Witt Road. The applicant is also proposing to provide an eight-foot solid masonry wall along the adjacent commercial property to the south, with additional landscape buffering.

Parking. Each dwelling unit shall have two parking spaces within the garage, as well as two parking spaces in the driveway.

Streets and Access. The proposed development plan shows a 50-foot Right of Way dedication inclusive of sidewalks throughout the development on both sides of the street, connecting to Witt Road and the adjacent existing residential neighborhood.

Open Space. The minimum required designated open space area shall be 10% of the gross land area. The proposed plans provide 13% open space, totaling 1.16 acres. The PD language provides requirements for the amenities to be located within the proposed open space. All dedicated open space and screening walls will be maintained by the Homeowners Association (HOA).

Comprehensive Plan. The future land use of this area is identified as residential. The proposed residential development aligns with the Town's vision for future land use of this area.

Recommended Action

The proposed development mirrors the existing residential context and quality of this area. The modifications requested to the development standards would allow for consistency and cohesive design of the residential lots, as well as the screening wall, despite being two feet lower than the typical screening wall requirement. In this particular case, the screening wall is proposed to abut an open space with either a landscape buffer or a street between the closest residential dwellings.

Staff recommends that the Planning and Zoning Commission evaluate the request based on the impact and suitability of the proposed development within the context of the existing area, as well as the importance of the development standards from which the property is requesting to vary, and how the proposed development benefits the Town overall. Additionally, the Planning and Zoning Commission should take into consideration the Town's vision for this area, as outlined by the Town's Comprehensive Plan and Future Land Use Plan.

Attachments

Location Map

PD Exhibits



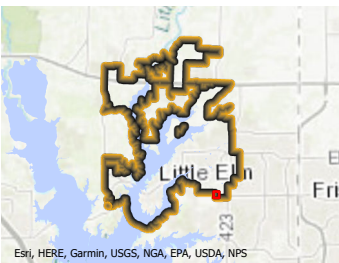
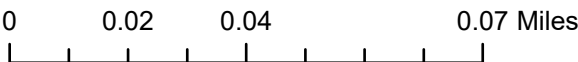
Source:
Town of Little Elm GIS
Imagery: Nearmap July 13, 2021



LITTLE ELM

Zoning Case For Kings Cove

Abstract A0713A
Zoning Case# 21-PD-02146



Town of Little Elm Denton County, Tx

Date: 9/23/2021



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This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Project Location: G:\GIS\TownEmployment\Planning\LocationMap\Portraits\

KINGS COVE

PLANNED DEVELOPMENT REGULATIONS

DATE: SEPTEMBER 2021

PREPARED BY:



5200 STATE HIGHWAY 121
COLLEYVILLE, TEXAS 76034
817-488-4960
TBPE FIRM # 15874

**KINGS COVE
PLANNED DEVELOPMENT DISTRICT
STATEMENT OF INTENT AND PURPOSE**

This zoning submittal encompasses approximately 8.9 total acres of land within the Town of Little Elm more fully described on the legal description attached as Exhibit A (the “Property”) and depicted on Exhibit B. The proposed use for the Property is to provide Single-Family residential homes. This planned development (“PD”) will provide the zoning regulations necessary to develop the site and the final layout must generally conform to Exhibit C.

It is the intent of this PD to alter the base zoning for the tract from Light Commercial (LC) to Single Family (SF-4). Any conflict between this PD and the Zoning Ordinance shall be resolved in favor of those regulations set forth in this PD, or as may be ascertained through the intent of this PD. As used herein “Zoning Ordinance” means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this Agreement, except otherwise defined in this Agreement. Uses and development regulations specifically modified, designated or included in this PD shall not be subject to amendment after the date of the adoption of this PD (the “Effective Date”) (whether through the amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD. Uses and development regulations which otherwise are not specifically modified, designated or included in this PD shall be controlled by the “Zoning Ordinance”, unless the context provides to the contrary.

Project Location

The proposed PD is located on the southeast corner of the intersection of King Road and Witt Road. Legal descriptions (Exhibit A), a zoning exhibit (Exhibit B) and a site plan (Exhibit C) have been provided.

The project area is primarily surrounded by existing and future single family residential uses.

This PD will provide for the opportunity to develop the following:

- Single Family (SF) zoning with a maximum of 47 homes with a typical lot size of forty (40) foot wide and one hundred and fifteen (115) foot deep.

Site Plan

Exhibit C identifies and locates the proposed Single Family lots within the Property. The proposed development will have unified and consistent design elements and provide an integrated development that compliments the Town of Little Elm.

EXHIBIT D
PLANNED DEVELOPMENT DISTRICT
STANDARDS

GENERAL CONDITIONS FOR PD:

- 1) Purpose. The purpose of the PD Planned Development district is to allow single-family neighborhood with a trail extension of the intersection of King Road and Witt Road to McCord Park.
- 2) Use regulations. No building, structure, land or premises will be used, and no building or structure shall hereafter be erected, constructed, reconstructed, or altered, except for one or more of the uses specified in Section 106.05.01(a), "Schedule of Uses - Residential."
- 3) Base Zoning District. The permitted uses and standards shall be in accordance with the Single Family 4 (SF-4) zoning district, unless otherwise specified herein.
- 4) Height and area regulations.
 - a. The height of buildings, the minimum dimensions of lots and yards, and the minimum lot area per family permitted on any lot shall be as follows:

SF – Single Family District Development Standards	
Maximum Height	35'
Minimum Front Yard Setback	20'
Minimum Side Yard Setback	5'
Minimum Side Yard Setback on corner	10'
Minimum Rear Yard Setback	15'
Minimum Lot Width (at building line) ¹	40'
Minimum Lot Depth ²	115'
Minimum Lot Area	4600 sq. ft.
Minimum number garage spaces	2
Number of other drive spaces	2
Maximum Lot Coverage (gross lot area)	55%
Minimum Living Floor Area	2,000 sq. ft.

Note 1: Lot width shall be measured at the front building line for cul-de-sac or "knuckle" lots.

Note 2: Cul-de-sac or "knuckle" lots may be a minimum of one hundred (100) feet.

- b. All dwellings shall be accessible from the street and front entry. Minimum front driveway width shall be 16'.
 - c. All public sidewalks shall be five (5) feet in width.

5) Conceptual plan required. The Concept Plan attached hereto as Exhibit C, and incorporated herein by reference, demonstrates potential locations and relationships of the uses permitted under this PD.

An amendment to a concept plan approved as a part of the ordinance establishing the planned development district is a change in zoning district classification and must follow the same procedures set forth in Section 106.04.03, except the director of planning and development may approve minor revisions which do not alter the basic relationship of the proposed development.

6) Landscape requirements:

- A minimum twenty (20) foot wide landscape and wall buffer is provided for perimeter walls that are adjacent to collector/arterial roads and are to be platted as common areas.
- No rear landscape buffer shall be provided for lots adjacent to other residential lots or open space lots.
- A trail six (6) feet in width shall connect from the intersection of King Road and Witt Road on the western boundary of the property.
- In areas where trees are required, grouping or spacing trees shall be allowed. All large trees must be four-inch (4") minimum caliper diameter at breast height (dbh). All small trees must be two-inch (2") minimum caliper diameter. Measurement is at twelve-inches (12") from grade at time of planting.
- All shrubs shall be a minimum of three (3) gallon in size when planted and shall be planted in the front yard and corner lot landscape beds. Measurement is at twelve-inches (12") from grade at time of planting.
- Tree spacing shall be a minimum of 1 tree per 40' along King Road and Witt Road.
- An enhanced entrance to the subdivision shall be located on Witt Road and shall consist of a typical one hundred (100) foot ROW entrance with stone columns, community name signage located on or within the hardscape screening and stone planters. Future plans are subject to review and approval by the Director of Development Services.
- All other landscaping shall comply with the Zoning Ordinance, as it exists or may be amended in accordance with the standards in effect at the time of development or requested change.

- 7) Screening Standards: All development within this PD District shall comply with the following minimum screening standards:
- A twenty-foot (20') landscape buffer for all lots backing or siding to King Road and Witt Road.
 - Residential lots adjacent to King Road and Witt Road: 6' solid masonry wall and trees spaced at one tree per 40' of adjacency to the roadways.
 - Residential lots adjacent to commercial property: 8' solid masonry wall and 3' landscaped berm (maintained by HOA).
 - Residential lots adjacent to open space or park land: wrought iron fencing with a living screen on the open space side.
 - All residential fences shall be board construction to conform to Section 106.06.32 (Residential Fences) of the Zoning Ordinance. Interior portions of fences (alongside and rear yards) shall be board on board construction.
- 8) Homeowners Association: A Homeowners' Association (HOA) or associations will be established for the development. Dedicated open space and retaining walls greater than four (4) feet, and screening walls will be owned and maintained by the HOA.
- 9) Open Space: A minimum of ten percent (10%) of the tract area, excluding rights-of-way for collector and larger size streets, shall be devoted to open space. The open space requirements shall be met for the tract as defined on Exhibit C. Open space includes areas used for facilities such as walks, plazas, courts, recreational amenities, detention/retention ponds, amenity centers, landscape buffers, public or private parks, water features and other similar uses.

Detention/Retention areas must be amenitized on three sides with improvements. A sidewalk, bench or pavilion constitutes an improvement. Open space includes any parcel of land or water (no minimum dimension) exclusive of public right-of-way, associated with all non-residential and residential developments that is generally provided to improve the microclimate and/or aesthetics of the site and that is not covered by buildings, structures, parking or loading areas and driveways (except for parking or loading areas and driveways associated with the open space uses or any principal or accessory use of such open space as described above in this section). Detention/Retention areas must follow requirements of Section 106.06.14.

Tree Requirement in Detention/Retention Areas:

Detention/Retention HOA lots shall provide five (5) large trees for every acre or portion of an acre of detention/retention space. The trees that are provided shall be irrigated.

Other than the provisions of open space required by this Section 1.8, no park land dedication or construction of park improvements shall be required. Park fees will still be required.

- 10) *Architectural Standards:* Minimum design elements listed in Section 106.06.03 Architectural Standards for Residential Structures will apply with the following enhancements required for this community:
- Decorative driveway paving (e.g. salt finish, exposed aggregate, or other treatments approved by the Town's building official) is required for all homes.
 - Elevation Repetition. Each unique house elevation and brick color shall not be repeated on the lot most directly across the street or diagonal, nor shall it be repeated on three (3) lots in either direction on the same side of the street.
 - All homes must include at least six (6) of the architectural design features listed in Section 106.06.03(c), in addition to the decorative driveway paving requirement.
 - Minimum Masonry Requirement. All exterior facades will be 100% masonry (brick and stone). Cementitious fiberboard, cedar trim or engineered wood may also be used for architectural features, including window box-outs, bay windows, roof dormers, columns, chimneys not part of an exterior wall or other architectural features approved by the Director.
 - 25% of home construction will have a front porch that is a minimum of 10' in width and 6' in depth. Porches may encroach a maximum of five feet over the front yard setback in order to provide elevation articulation along the streetscape.
 - Garage Doors will be painted or stained cedar wood doors.
 - Front entry doors to the home shall be 8' in height.
 - All front yard landscape beds and side yard landscape beds shall be enclosed by masonry edging comprised of brick and/or stone.
 - The architectural exhibits provided in this PD, "Exhibit E" are incorporated herein by reference and demonstrate potential elevations and floorplans. The ultimate design must generally conform to Exhibit E and will be provided at time of building permit by designated home builder.

WAIVERS FOR PD:

Min front yard setback 25' – Requested Min. 20' front yard setback
Min side yard setback 6' – Requested Min. 5' side yard setback
Min side yard setback on corner 28' – Requested Min. 10' side yard setback
Min rear yard setback 20' – Requested Min. 15' rear yard setback
Min Lot width 60' – Requested Min. 40' front width
Min lot area 6,000 sq. ft. – Requested Min. lot area 4,600 sq. ft.
Screening masonry wall height 8' – Requested 6' screening masonry wall

EXHIBIT A

**SE. Corner of King Road and Witt Road
Town of Little Elm, Denton County, Texas
JOB# 2021.001.185**



BEING a tract of land out of the H. Kendall Survey, Abstract Number 713, in the Town of Little Elm, Denton County, Texas, and being a portion of that tract of land described by deed to Ranchetta, LLC as recorded under Document Number 2005-67916, Official Public Records, Denton County, Texas, (O.P.R.D.C.T.), the subject property being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83)):

BEGINNING at a 1/2 inch rebar found for the southeast corner of said Ranchetta tract and the herein described tract;

THENCE South 89 degrees 34 minutes 30 seconds West, with the south line of said Ranchetta tract, passing a 5/8 inch rebar found for the northeast corner of a tract of land described by deed to ARI Holdings, LLC as recorded under Document Number 2009-122154, (O.P.R.D.C.T.) at a distance of 222.09 feet, and continuing for a total distance of 484.95 feet to a point for the southwest corner of said Ranchetta tract;

THENCE North 00 degrees 55 minutes 09 seconds West, with the west line of said Ranchetta tract, a distance of 82.15 feet to a point for the south corner of a tract of land described by deed to the Town of Little Elm as recorded under Document Number 2015-130330, (O.P.R.D.C.T.), said point being the beginning of a non-tangent curve to the left, having a radius of 520.00 feet, with a delta angle of 10 degrees 45 minutes 00 seconds, whose chord bears North 04 degrees 07 minutes 59 seconds East, a distance of 97.42 feet;

THENCE with the perimeter and to the corners of said Town of Little Elm tract, the following calls:

1. Along said non-tangent curve to the left, an arc length of 97.56 feet to a point for corner;
2. North 01 degrees 14 minutes 31 seconds West, a distance of 391.22 feet to a point for corner;
3. South 09 degrees 04 minutes 55 seconds West, a distance of 36.71 feet to a point in the west line of said Ranchetta tract;

THENCE with the perimeter and to the corners of said Ranchetta tract, the following calls:

1. North 00 degrees 55 minutes 09 seconds West, a distance of 272.90 feet to a point for corner;
2. North 89 degrees 16 minutes 01 seconds East, a distance of 324.38 feet to a point at the beginning of a tangent curve to the right, having a radius of 1,827.26 feet, with a delt angle of 05 degrees 03 minutes 18 seconds, whose chord bears South 88 degrees 12 minutes 20 seconds East, a distance of 161.16 feet;
3. Along said tangent curve to the right, an arc length of 161.21 feet to a point for corner;
4. South 00 degrees 53 minutes 19 seconds East, passing at a distance of 32.37 feet a 1/2 inch rebar with cap stamped, "CARTER & BURGESS" found for the northwest corner of a tract of land described by deed to DD Kings Court, LTD. as recorded under Document Number 2020-28318, (O.P.R.D.C.T.), and continuing and passing at an additional distance of 410.76 feet a 1/2 inch rebar found for reference, and continuing for a total distance of 802.65 feet to the **POINT OF BEGINNING** and enclosing 8.918 acres (388,462 square feet) of land, more or less.


John H. Barton III, RPLS #6737
jack@bcsdfw.com | 817.864.1949
5200 State Highway 121
Colleyville, TX 76034
Firm# 10194474



Kirkman Engineering, LLC | Barton Chapa Surveying, LLC
5200 State Highway 121
Colleyville, TX 76034 | 817.488.4960
TBPE FIRM# 15874 | TBPLS FIRM# 10194474

SURVEYOR'S NOTES:

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015063.
- This property lies within Zone "X" of the Flood Insurance Rate Map for Denton County, Texas and Incorporated Areas, map no. 48121C0420G, with an effective date of April 18, 2011, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

NOTE REGARDING UTILITIES

Source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

Utility locations are per observed evidence and the below sources

DigTess - Ticket #2158826797

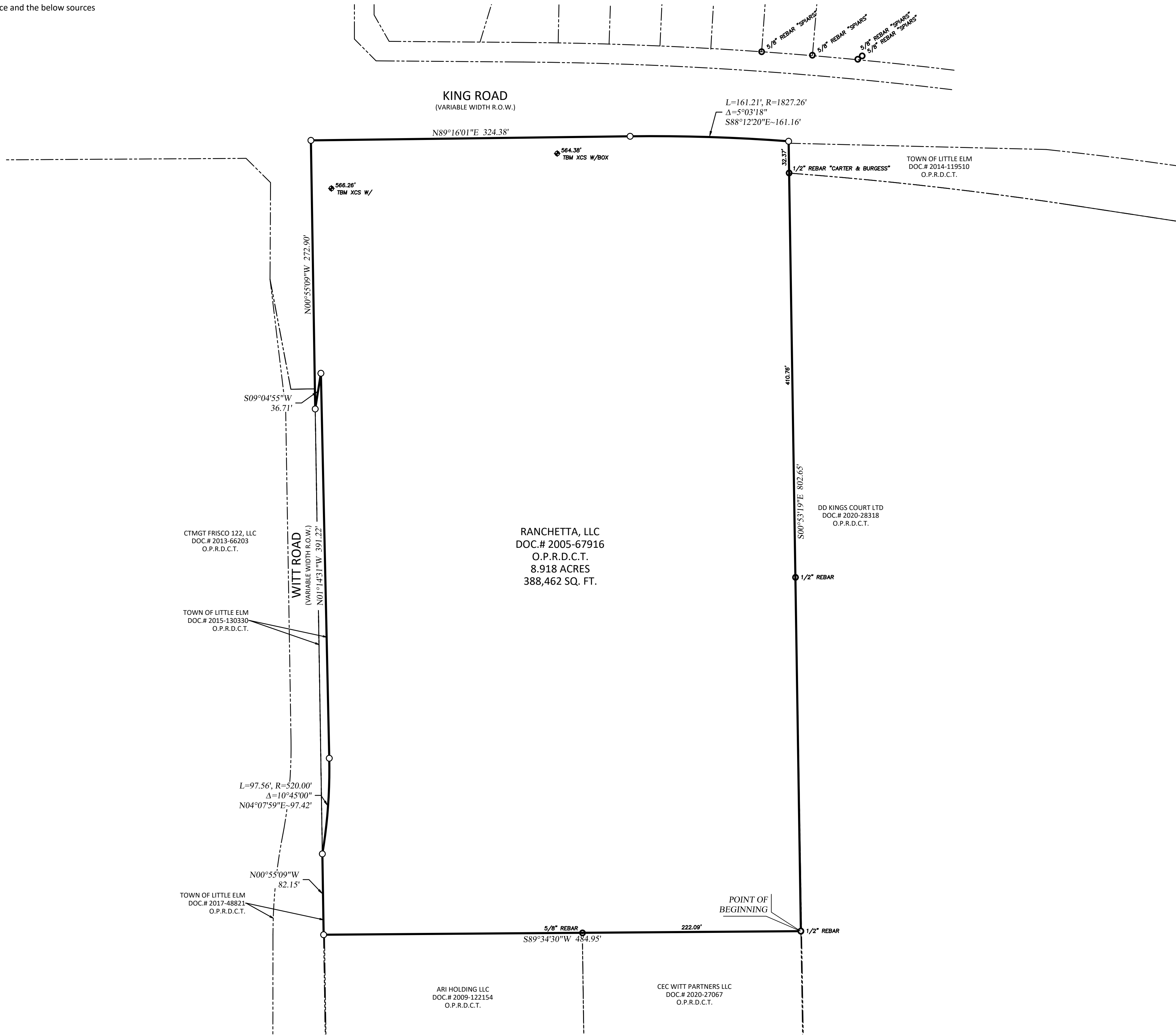
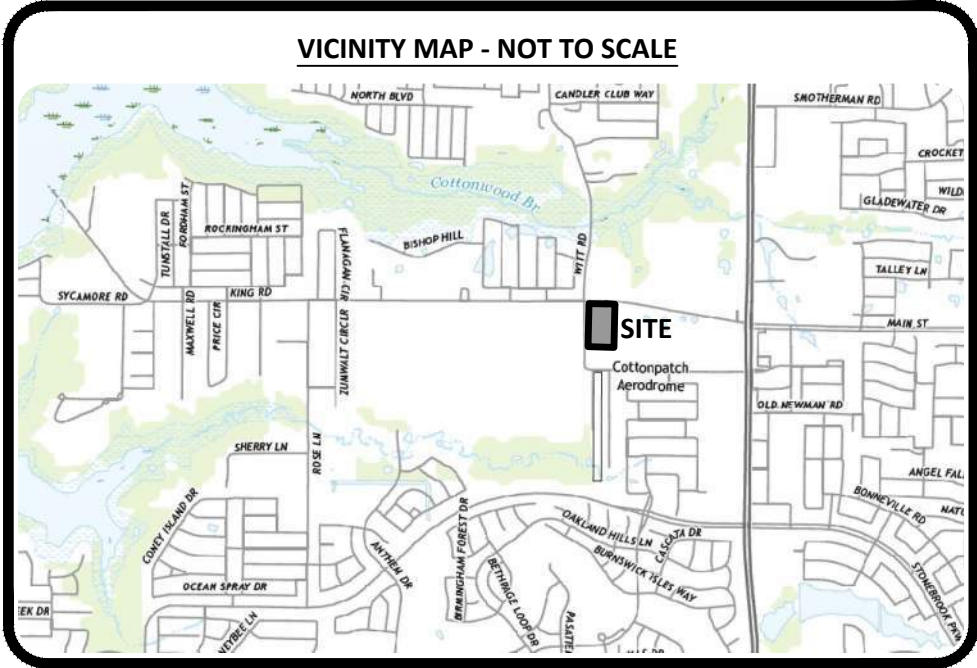
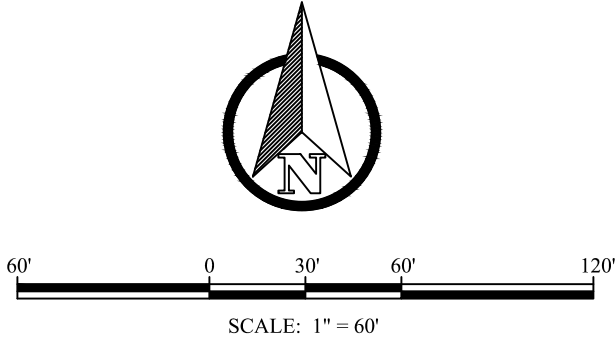
Maps/Plans: XX

LEGEND OF ABBREVIATIONS

- D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
- P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
- O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET

SITE BENCHMARKS:

- The site benchmark is a XX



PROPERTY DESCRIPTION

BEING a tract of land out of the H. Kendall Survey, Abstract Number 713, in the Town of Little Elm, Denton County, Texas, and being a portion of that tract of land described by deed to Ranchetta, LLC as recorded under Document Number 2005-67916, Official Public Records, Denton County, Texas, (O.P.R.D.C.T.), the subject property being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83)):

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- South 00 degrees 53 minutes 19 seconds East, passing at a distance of 32.37 feet a 1/2 inch rebar with cap stamped, "CARTER & BURGESS" found for the northwest corner of a tract of land described by deed to DD Kings Court, LTD. as recorded under Document Number 2020-28318, (O.P.R.D.C.T.), and continuing and passing at an additional distance of 410.76 feet a 1/2 inch rebar found for reference, and continuing for a total distance of 802.65 feet to the POINT OF BEGINNING and enclosing 8.918 acres (388,462 square feet) of land, more or less.

TITLE COMMITMENT NOTES

This survey was prepared without the benefit of a commitment for title insurance. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.

SURVEYOR'S CERTIFICATE

To: XX

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, & 14 of Table A thereof. The fieldwork was completed on XX.

Date of Plat or Map: April 19, 2021

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE
AND SHALL NOT BE USED, VIEWED, OR RELIED UPON AS A FINAL
SURVEY DOCUMENT April 19, 2021

John H. Barton III, RPLS# 6737

TERMS OF ACCEPTANCE OF SURVEY

This survey is issued pursuant to a real estate transaction and is appurtenant to the title commitment referenced in the "Title Commitment Notes" This survey is issued for use in such transaction. Notwithstanding any of the above statements, the surveyor has a contractual relationship with one client or entity. Review/requested revisions by other parties must be received by or through such entity. Client is responsible for reviewing survey (including, but not limited to: notations; existence or lack of spelling/grammatical/typographical errors; certified parties; dates; instruments) within thirty (30) days of the date of plat or map. After such time has passed, client accepts survey as issued, and further revisions are not embraced by the above certification. Additional or altered commitments for title insurance will require an new or re-issued survey. Please feel free to request pricing for this at info@bcswf.com, or call (817) 864-1957.

ALTA/NSPS LAND TITLE SURVEY

A TRACT SITUATED IN THE
H. KENDALL SURVEY, ABSTRACT #713
CITY NAME
DENTON COUNTY, TEXAS



5200 State Highway 121
Colleyville, TX 76034
Phone: 817-488-4960

JOB NO. 2021.001.185

DRAWN: BCS

CHECKED: JHB

TABLE OF REVISIONS

DATE	SUMMARY

LITTLE ELM
TOWNHOMES

FRISCO,
TEXAS

SHEET:

EXHIBIT B

ALTA/NSPS LAND
TITLE SURVEY

LEGEND OF SYMBOLS

- air conditioning unit
- irrigation control valve
- cable tv
- electric meter
- fence or guardrail
- fire dept. connection
- fire hydrant
- bollard
- area drain
- grate inlet
- gas valve
- gas meter
- gas well
- sign
- sanitary sewer manhole
- storm water manhole
- telephone manhole
- tank fill lid
- telephone pedestal
- traffic signal pole
- utility clean out
- comm. utility cabinet
- electric utility cabinet
- comm. utility vault
- elect. utility vault
- water utility vault
- utility/service pole
- utility sign
- water shutoff
- water valve
- well
- water meter
- cable tv riser
- air release valve
- utility markings
- tree
- shrub/decorative tree or tree with diameter < 4 in.
- contour lines



IRRIGATION NOTE

ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.

TOWN OF LITTLE ELM LANDSCAPE TABULATIONS

- A MIN. 20' LANDSCAPE AND WALL BUFFER IS PROVIDED FOR PERIMETER WALLS THAT ARE ADJACENT TO COLLECTOR/ARTERIAL ROADS AND ARE TO BE PLATTED AS COMMON AREAS
- NO REAR LANDSCAPE BUFFER OR LANDSCAPING SHALL BE PROVIDED
- A TRAIL 6 FEET IN WIDTH SHALL CONNECT FROM THE INTERSECTION OF KING ROAD AND WITT ROAD ON THE WESTERN BOUNDARY OF THE PROPERTY
- IN AREAS WHERE TREES ARE REQUIRED, GROUPING OR SPACING TREES SHALL BE ALLOWED. ALL TREES MUST BE 4" MIN. CAL. AT BREAST HEIGHT.
- ALL SHRUBS SHALL BE A MIN. 3 GALLON IN SIZE WHEN PLANTED AND SHALL BE PLANTED IN THE FRONT YARD LANDSCAPE BEDS
- TREE SPACING SHALL BE A MIN. OF 1 TREE PER 40' ALONG KING ROAD AND WITT ROAD
- AN ENHANCED ENTRANCE TO THE SUBDIVISION SHALL BE LOCATED ON WITT ROAD AND SHALL CONSIST OF A TYPICAL 100' ROW ENTRANCE WITH STONE COLUMNS, COMMUNITY NAME SIGNAGE LOCATED ON OR WITHIN THE HARDSCAPE SCREENING AND STONE PLANTERS.

OTHER ZONING ORDINANCE REQUIREMENTS:

POINTS (25 POINTS)	
ENHANCED ENTRY	5 POINTS
DECORATIVE ENTRANCE	5 POINTS
ENHANCED ENTRYWAY PAVING	5 POINTS
MEANDERING SIDEWALK	5 POINTS
DETENTION POND	5 POINTS

LANDSCAPE KEY

STREET TREES

	28	QT	Quercus shumardii	Shumard Red Oak	4" Cal. Min. Cont; Crown=65 Gal. 12'-15" Height, 6'-8' Spread Specimen
	5	AC	Acer saccharum 'Caddo'	Caddo Maple	4" Cal. Min. Cont; Crown=65 Gal. 12'-15" Height, 6'-8' Spread Specimen
	4	AS	Magnolia grandiflora	Southern Magnolia	4" Cal. Min. Cont; Crown=65 Gal. 12'-15" Height, 6'-8' Spread Specimen

ORNAMENTAL TREES

	15	VA	Vitex Agnus-castus	Vitex Tree	Multi-trunk, min. 3 stems, 10'-12' ht., 65 gal. container Specimen
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SHRUBS

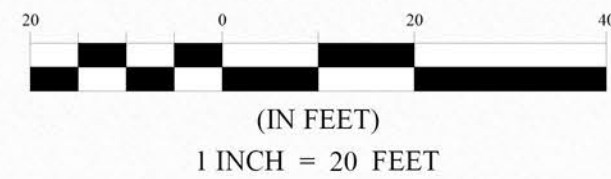
	58	LF	Leucophyllum frutescens	Texas Sage	3 Gal. Min. Spacing Per Plan
	82	MP	Myrica pusilla	Dwarf Wax Myrtle	3 Gal. Min. Spacing Per Plan
	18	EA	Euonymus Alatus	Winged Euonymus	3 Gal. Min. Spacing Per Plan
	60	EF	Euonymus fortunei	Winter Creeper	4" min. pot, 12" o.c.
	109	RI	Rhapiolepis indica	Indian Hawthorn	3 Gal. Min. Spacing per plan

GROUNDCOVER, SEASONAL COLOR, SOD, MISC.

	317	ANN	Annual Color		4" min. pot, 8" o.c.
	47,252 SF	LAWN	Cynodon dactylon	Common Bermuda	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion



GRAPHIC SCALE



P.O. BOX 28
COLLINSVILLE, TEXAS 76233
PHONE: 972-800-0676
AMY_LONDON@LONDON-LANDSCAPES.NET



Know what's below.
Call before you dig.



9/15/21

KINGS COVE

TOWN OF LITTLE ELM
DENTON COUNTY, TEXAS

REV: DATE: DESCRIPTION:



JOB NUMBER: RSP21001

ISSUE DATE: 9/15/21

LANDSCAPE
PLAN

SHEET:

L1.00

EXHIBIT E



First floor



Second floor



First floor



Second floor



First floor



Second floor





TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

10/07/2021

OVERVIEW

Project	PUBLIC HEARING/ Eldorado Bend Planned Development (PD-21-03453)
P&Z Hearing	10/07/2021
Council Hearing	November 2, 2021
Size	5.79 acres
Current Zoning	Single Family A1
Proposed Use	Low Density Residential
Existing Use	Undeveloped Land
Future Land Use Plan Designation	Residential
Applicant	John Barbee, Barbee Enterprises
Owner	AM HAGI & ASSOCIATES LLC
Strategic Goal	

Agenda Item

PUBLIC HEARING/ Eldorado Bend Planned Development (PD-21-03453). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 5.79 acres of land, generally located at 1816 W Eldorado Parkway, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Generally located approximately 1,000 feet southwest of Oak Grove Parkway, within Little Elm's town limits.

Planning Analysis

Background. Subject property is a vacant undeveloped lot totaling 5.79 acres, currently zoned as Single Family A1. The subject property is located on the west side of Town and is bound by Eldorado Parkway to the north and single family residential to the east and south.

Recently, the Town has undergone a West Side Study that specifically identified the vision for this area as low density single-family residential uses. This is the second application for residential development post the

study's findings, to be evaluated by the Administration for suitability within the West Side Study context.

The applicant, Barbee Enterprises Inc., is in the process of acquiring the subject property for the purposes of developing a 28-lot single-family, residential development, intended for second or third time homebuyers. The proposed development is a higher density than the existing zoning district allows, but complies with the envisioned three to six dwelling units per acre density within the West Side Study. The development in general does not perfectly fit into any of the Town's existing zoning districts, therefore, the applicant is requesting a Planned Development (PD) district, based on the existing Single-Family 4 (SF4) zoning district with modified development standards.

Proposal. The proposed project consists of 28 owner-occupied single family residential dwelling units with a centrally located amenity open space, as well as a detention pond in the southeast corner of the development proposed as an open space with amenities. The proposed residential density is five units per gross acre (du/ac).

The applicant is proposing Single-Family 4 (SF4) as the base zoning district, with modified development standards as outlined in the following sections. The new Planned Development (PD) district includes development plans and multiple exhibits that will be incorporated into the PD as part of the overall requirements.

Uses. Proposed permitted uses will include the uses currently allowed under SF-4 zoning, primarily single family detached homes.

Area Requirements. The applicant is requesting the following setback and area requirements waivers:

- Minimum Front Yard Setback 20 feet instead of 25 feet
- Minimum Side Yard Setback 5 feet instead of 6 feet
- Minimum Side Yard Setback on Corner lots 5 feet, instead of— 28 feet
- Minimum Rear Yard Setback 15 feet instead of 20 feet
- Minimum Lot Width 50 feet instead of 60 feet
- Minimum Lot Area 4,000 square feet instead of 6,000 square feet

Design Standards. The minimum design elements listed in Section 106.06.03 Architectural Standards for Residential Structures will apply unless stated otherwise or shown in the PD exhibits. Some of the major design standards are proposed as follow:

Minimum masonry requirement. The front facing exterior facades of the main building or structure shall be constructed of 100 percent masonry material that is comprised of brick, stone, cast stone, or a combination thereof. On houses exceeding one story, up to 15 percent of the second story front facade may be comprised of siding. The overall minimum masonry content of all facades shall be 85 percent. Stucco may be used as a design feature with no more than 15 percent of any façade other than those facing a right-of-way being made up of this material. Other materials of equal or similar characteristics may be allowed at the discretion of the director.

Doors. Garage doors shall be of carriage style and consist of stained cedar, redwood, spruce, fir, or other hardwood.

Elevation repetition. Each unique house elevation and brick color shall not be repeated on the lot most directly across the street, nor shall it be repeated on three lots in either direction on the same side of the street.

Gifts to the Street. All homes shall include at least four (4) of the architectural design features listed in Section 106.06.03(c). Decorative driveway paving (e.g. salt finish, exposed aggregate, or other treatments approved by the Town's building official) is required for all homes. All front yard landscape beds and side yard landscape beds shall be enclosed by masonry edging comprised of brick and/or

stone. No less than 25 percent of homes shall have a covered front patio.

Landscaping and Screening. The proposed PD will follow all landscape requirements per Sections 106.06.11 – 106.06.16 of the Code of Ordinances for residential landscape requirements for a single-family development. A solid eight-foot masonry wall, constructed of laid in place stone, rock, brick, or monolithic concrete panels, will be located adjacent to Eldorado Parkway, with eight-foot board-on-board fencing surrounding the remainder of the development.

Parking. Each dwelling unit shall have two parking spaces within the garage, as well as two parking spaces in the driveway.

Streets and Access. The proposed development plan shows a 50-foot Right of Way dedication inclusive of sidewalks throughout the development on both sides of the street, connecting to Eldorado Parkway.

Open Space. The minimum required designated open space area shall be ten percent (10%) of the gross land area, totaling .6 acres. The open space is to be dedicated as park land to the Town. The PD language provides requirements for amenities to be located within the proposed open space. All dedicated open space and screening walls will be maintained by the Homeowners Association (HOA).

Comprehensive Plan. The future land use of this area is identified as residential and the recent West Side Study identified this area as low density neighborhood residential, ranging between three and six units per acre. The proposed residential development aligns with the Town's vision for future land use of this area and the proposed density of five units per acre complies with the maximum density identified in the West Side Study.

Recommended Action

The proposed development aligns with the Town's vision for low density single family residential and dedicates the proposed open space as privately maintained park space.

Staff recommends that the Planning and Zoning Commission evaluate the request based on the impact and suitability of the proposed development within the context of the existing area, as well as the importance of the development standards from which the property is requesting to vary, and how the proposed development benefits the Town overall. Additionally, the Planning and Zoning Commission should take into consideration the Town's vision for this area, as outlined by the Town's Comprehensive Plan, Future Land Use Plan, and the recently completed West Side Study.

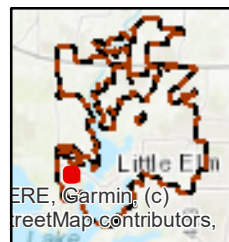
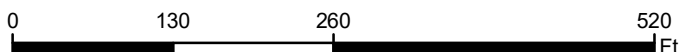
Attachments

Location Map

PD Exhibits



Eldorado Bend Zoning Ordinance Request



Town of Little Elm Denton County, Tx

Date: 8/17/2021



This map is the property of the Town of Little Elm, and is not to be reproduced by any means, mechanical or digital, without written consent of the Town.

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Eldorado Bend

Planned Development Regulations

Development Standards

Submitted: September 23, 2021

Developer/Applicant

Barbee Enterprises, Inc.
3712 Valencia Court
Flower Mound, Texas 75022
214.538.0479

Planner/Engineer

KJ Environmental Mgt.
500 Moseley Rd
Cross Roads, Texas 76227
940.387.0830

Owner

Am Haghi & Associates LLC
4500 Explorer Dr
Frisco, Tx 75034

A Planned Development for Eldorado Bend

1.0 GENERAL PURPOSE AND DESCRIPTION:

1. The Eldorado Bend Planned Development is intended primarily for the development of single-family homes at a higher density than the zoning originally allows. The goal of this development is to attract second or third-time homebuyers. The smaller lots will allow a higher value product to be built, which will attract a higher tax base to the town.
2. The development shall use the base zoning of SF-4 for all other regulations not specified in the below PD.

2.0 AREA REGULATIONS:

1. Maximum Lot Area: The size of lot shall be flexible to encourage a unique mix of pad sizes as well as provide for pedestrian friendly neighborhood within the PD. Lot sizes shall not be larger than 8,500 sq ft.
2. Maximum Dwelling Area: Pad sizes shall be no larger than 5,000 sq ft.
3. Maximum Lot Coverage: The maximum lost coverage shall not be greater than fifty-five (55) percent of the gross lot area. Maximum lot coverage shall be defined as the area covered by the building footprint of the primary residential structure, exclusive of sidewalks, driveways, or accessory structures.
4. Minimum Setbacks: Minimum setback standards shall be proposed as follows. Please see the attached exhibit for more information.

BLOCK A	Front Yard – 20’
	Rear Yard – 15’
	Side Yard – 5’
BLOCK B	Front Yard – 20’
	Rear Yard – 15’
	Side Yard – 5’
BLOCK C	Front Yard – 20’
	Rear Yard – 15’
	Side Yard – 5’

3.0 MINIMUM DESIGN CRITERIA:

1. Architectural Design Standards: minimum design elements listed in Section 106.06.03 of the Code of Ordinances will apply with the following enhancements required for this community.
 - A. The front facing exterior facades of the main building or structure shall be constructed of 100 percent masonry finishing material that is comprised of brick, stone, cast stone, or a combination thereof. On houses exceeding one story, up to but not exceeding 15 percent of the second story front facade may be comprised of siding. The overall minimum masonry content of all facades shall be 85 percent. Stucco may be used as a design feature with no more than 15 percent of any façade other than those facing a right-of-way being made up of this material. Other materials of equal or similar characteristics may be allowed at the discretion of the director.
 - B. Decorative driveway paving (e.g. salt finish, exposed aggregate, or other treatments approved by the Town's building official) is required for all homes.
 - C. Each unique house elevation and brick color shall not be repeated on the lot most directly across the street, nor shall it be repeated on three (3) lots in either direction on the same side of the street.
 - D. All homes must include at least four (4) of the architectural design features listed in Section 106.06.03(c), in addition to the decorative driveway paving requirement.
 - E. Garage doors shall be of carriage style and consist of stained cedar, redwood, spruce, fir, or other hardwood.
 - F. All front yard landscape beds and side yard landscape beds shall be enclosed by masonry edging comprised of brick and/or stone.
 - G. No less than 25 percent of homes shall have a covered front patio.

4.0 STREET WIDTHS:

1. STREET WIDTH: Widths for all subdivisions shall be 31 feet from back-of-curb to back-of curb on residential sections.

5.0 LANDSCAPE AND SCREENING:

1. All landscape requirements shall follow Sec 106.06.11 – 106.06.16 of the Code of Ordinances for residential landscape requirements for a single-family development.
2. Subdivision perimeter screening walls must be constructed by the developer at the time the subdivision infrastructure is constructed. Perimeter landscaping and irrigation is required adjacent to rights-of-way, subject to review and approval by the director or his designee.
 - A. Materials Allowed: solid masonry wall a minimum of eight feet in height adjacent to Eldorado Parkway, with eight-foot board-on-board fencing surrounding the remainder of development. General specifications shall follow Section 106.06.31(b) of the Code of Ordinances.
 - B. Wall Located within Buffer: subdivision solid perimeter walls are required to be constructed within a 20-foot-wide platted common area adjacent to collector roads or arterials, as indicated on the Master Thoroughfare Plan, or other such roads that have a right-of-way of 60 feet or greater.
 - C. General Specifications: all screening or perimeter walls shall be constructed of laid in place stone, rock, brick, or monolithic concrete panels. Modular screening walls, chain link, and wooden fences are generally prohibited.

3. All required trees on residential lots shall be 4" caliper trees.
4. Required shrubs shall be a minimum of three (3) gallon in size when planted and shall be planted in the front yard landscape beds. All homes on corner lots shall extend landscape beds along the side of the home to the side yard fence return.
5. All residential fences shall be board on board construction to conform to Section 106.06.32 of the Code of Ordinances. Interior portions of the fences, along side and rear yards, shall be board on board construction.

6.0 HOMEOWNERS ASSOCIATION:

1. A Homeowner's Association (HOA) will be established for the development. Dedicated open space, retaining walls greater than four (4) feet, and the masonry screening wall along Eldorado Parkway will be owned and maintained by the HOA.

7.0 OPEN SPACE DEDICATION:

1. A minimum of ten percent (10%) of the tract area, excluding rights-of-way for collector and larger size streets, shall be devoted to open space. Open space includes areas used for facilities such as walks, plazas, courts, recreational amenities, detention/retention ponds, amenity center, landscape buffers, public or private parks, water features, dog parks, and other similar uses.
2. Dedicated open space shall be provided to improve the aesthetics of the site of any area not covered by buildings or structures.
3. Detention/Retention areas will be amenitized with a paved walking path surrounding the area and connecting to existing sidewalks in the community.

8.0 SITE PLAN REVIEW:

1. Review and approval of a site plan by the Planning and Zoning Commission and the Town Council (in accordance with Section 107.03 of the Code of Ordinances) shall be required for any tract/lot within the PD district. No certificate of occupancy shall be issued unless all construction and development conform to the Site Plan as approved by the Town Council.

9.0 OTHER REGULATIONS

1. All other regulations as established in the Little Elm Development Standards, Article VI of the Code of Ordinances, and not redefined by this amendment shall remain in effect and are enforceable. To the extent a conflict exists between the regulations specifically set out above and the referenced standards, the regulations specifically set out above shall control.

10.0 WAIVERS FOR PD

1. Minimum Front Yard Setback – 25'
 - a. Requested: Block A – minimum 20'

- Block B – minimum 20'
 - Block C – minimum 20'
- 2. Minimum Side Yard Setback – 6'
 - a. Requested: minimum 5'
- 3. Minimum Side Yard Setback on Corner – 28'
 - a. Requested: minimum 5'
- 4. Minimum Rear Yard Setback – 20'
 - a. Requested: Block A – minimum 15'
 - Block B – minimum 15'
 - Block C – minimum 15'
- 5. Minimum Lot Width – 60'
 - a. Requested: minimum 50'
- 6. Minimum Lot Area - 6,000 sq. ft.
 - a. Requested: Minimum: 4,000 sq. ft.













Playground Example:



Masonry Wall Sample:

It is the Developer's intentions to use lighter stone and lighter brick throughout the wall and the entries. The brick wall with have brick columns approximately every 10', with stone columns approximately every 50'. It is also intended to use stone wall and columns at the entries.



Enhanced Entry Sample:

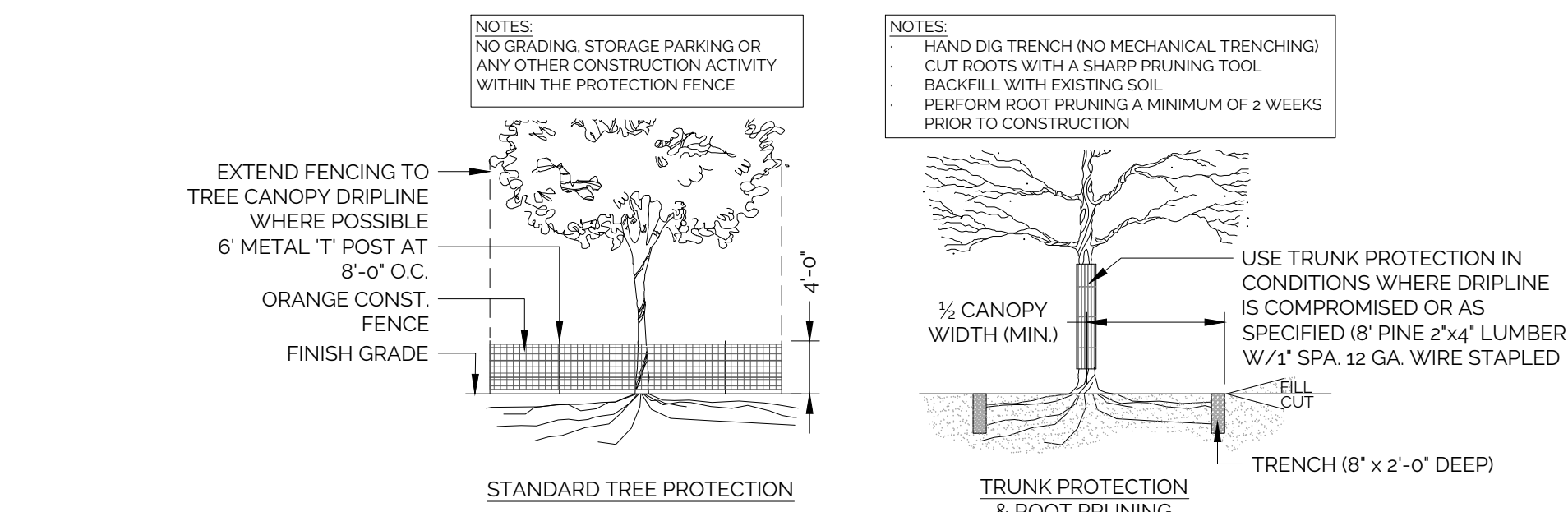
It is the Developer's intentions to use lighter stone and lighter brick throughout the wall and the entries. The brick wall will have brick columns approximately every 10', with stone columns approximately every 50'. It is also intended to use stone wall and columns at the entries.

The signs will be similar to the below. The Developer is currently considering copper letters on a rusty metal plaque, attached to the stone wall. The signs will only say "Eldorado Bend".

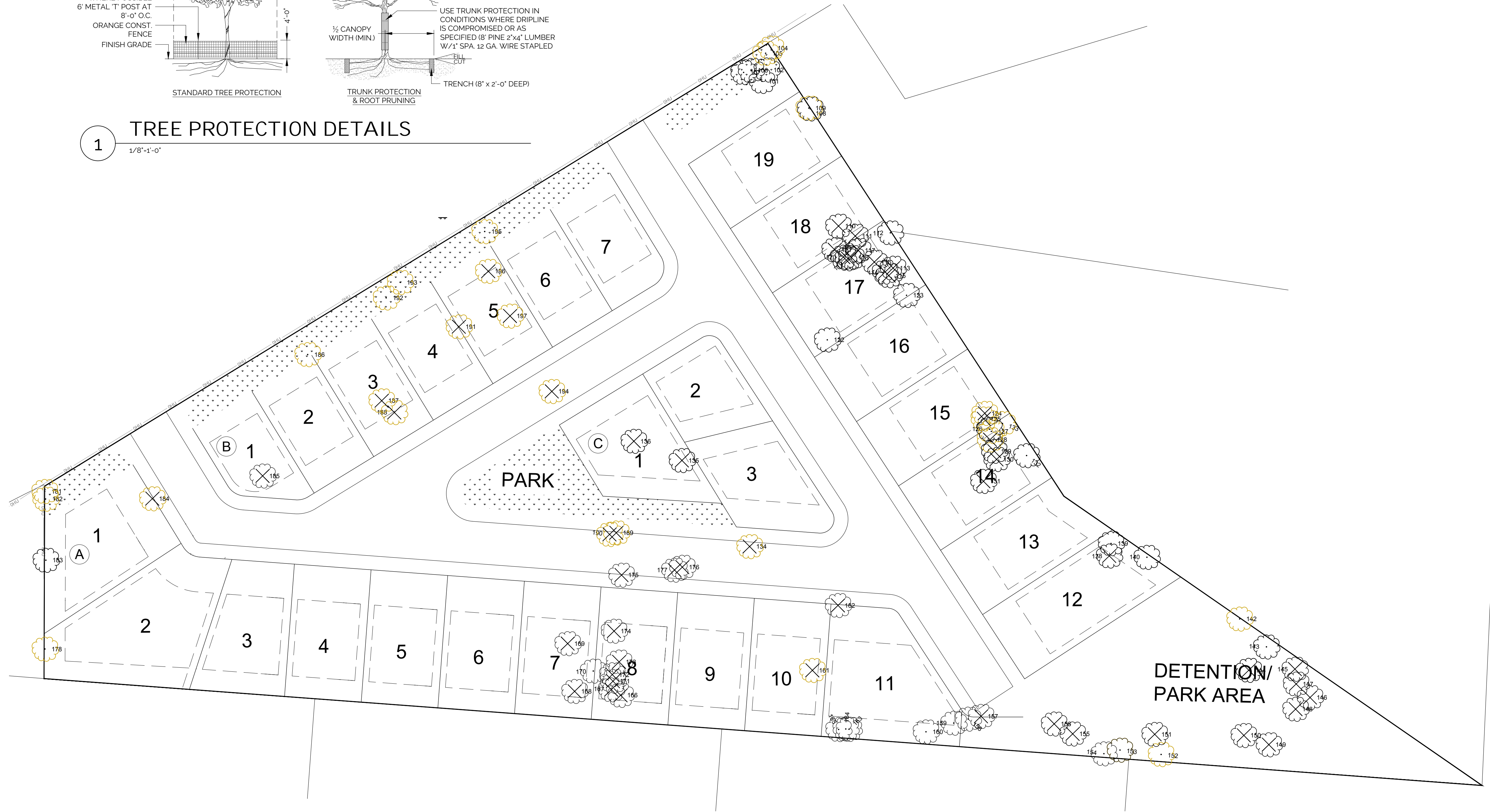


Enhanced Entry Sample:

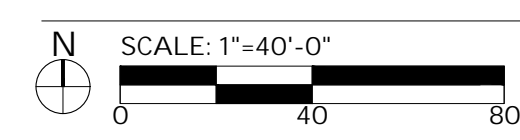




TREE PROTECTION DETAILS



TREE PRESERVATION PLAN



EXISTING TREE LEGEND

- EXISTING CLASS NO. 1 TREE, TO REMAIN
- EXISTING CLASS NO. 2 TREE, TO REMAIN
- EXISTING CLASS NO. 3 TREE, TO REMAIN
- EXISTING CLASS NO. 4 TREE, TO REMAIN
- EXISTING TREE, TO BE REMOVED
- TREE PROTECTION FENCING
REF. DET. 1 / THIS SHEET

I, Jeremy Blad, being a registered landscape architect as defined in the Denton Development Code, attest that the identification and dbh of trees identified on the survey are correct and that all trees 6" and greater dbh have been shown.

Signature _____
Date: Month DD, 2021

Valley Quest
DESIGN

LANDSCAPE ARCHITECTS
212 S. Elm St. Ste. 120
Denton, Texas 76201
ph: 214.783.1715

CONSULTANT:

OWNER / CLIENT:

Barbee Enterprises, Inc.
214-538-0479
John@BarbeeEnterprises.com

Project No:	2021-074
Drawn By:	CTA
Reviewed By:	JDB
Issue Type:	Drawings
Issue Date:	9/28/2021

REVISIONS:

No.	Date	Description

Interim review documents.
Not for regulatory approval,
permitting or construction.
Jeremy D. Blad
Texas RLA No. 2734

Month DD, YYYY

PROJECT:

EL DORADO BEND
1816 WEST ELDORADO
PKWY

LITTLE ELM, TEXAS

SHEET TITLE:

TREE PRESERVATION
PLAN


SHEET NUMBER:

LT.01

TREE PRESERVATION COMPUTATIONS TABLE

TREE SPECIES	DBH	TREE I.D.	CONDITION OF TREE	PRESERVED OR REMOVED	CLASS NO.	MITIGATION REQ. (%)	MITIGATION REQ. (INCHES)
MESQUITE MULTI-TRUNK / <i>PROSOPIS SP.</i>	10"	101	ALIVE	PRESERVED	3	60%	
MESQUITE MULTI-TRUNK / <i>PROSOPIS SP.</i>	7"	102	ALIVE	PRESERVED	3	60%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	20"	104	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	9"	105	ALIVE	PRESERVED	4	40%	
MESQUITE / <i>PROSOPIS SP.</i>	7"	106	ALIVE	PRESERVED	3	60%	
MESQUITE / <i>PROSOPIS SP.</i>	7"	107	ALIVE	PRESERVED	3	60%	
HONEY LOCUST MULTI-TRUNK	13"	108	ALIVE	PRESERVED	3	60%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	20"	109	ALIVE	PRESERVED	4	40%	
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	25"	110	ALIVE	REMOVED	1	100%	25.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	11"	111	ALIVE	REMOVED	1	100%	11.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	15"	112	ALIVE	PRESERVED	1	100%	
OAK / <i>QUERCUS SP.</i>	9"	113	ALIVE	REMOVED	1	100%	9.00
OAK / <i>QUERCUS SP.</i>	15"	114	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	15"	115	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	14"	116	ALIVE	REMOVED	1	100%	14.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	16"	117	ALIVE	REMOVED	1	100%	16.00
OAK / <i>QUERCUS SP.</i>	11"	118	ALIVE	REMOVED	1	100%	11.00
OAK / <i>QUERCUS SP.</i>	24"	119	ALIVE	REMOVED	1	100%	24.00
OAK / <i>QUERCUS SP.</i>	6"	120	ALIVE	REMOVED	1	100%	6.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	32"	121	ALIVE	REMOVED	1	100%	32.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	40"	122	ALIVE	PRESERVED	1	100%	
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	20"	123	ALIVE	PRESERVED	1	100%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	8"	124	ALIVE	REMOVED	4	40%	3.20
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	8"	125	ALIVE	REMOVED	4	40%	3.20
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	24"	126	ALIVE	PRESERVED	1	80%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	6"	127	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	8"	128	ALIVE	REMOVED	4	40%	3.20
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	19"	129	ALIVE	REMOVED	1	100%	19.00
OAK / <i>QUERCUS SP.</i>	12"	130	ALIVE	REMOVED	1	100%	12.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	38"	131	ALIVE	REMOVED	1	100%	38.00
OAK / <i>QUERCUS SP.</i>	25"	132	ALIVE	PRESERVED	1	100%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	9"	133	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	24"	134	ALIVE	REMOVED	4	40%	9.60
PECAN / <i>CARYA ILLINOINENSIS</i>	50"	135	ALIVE	REMOVED	1	100%	50.00
PECAN MULTI-TRUNK / <i>CARYA ILLINOINENSIS</i>	28"	136	ALIVE	REMOVED	1	100%	28.00
OAK / <i>QUERCUS SP.</i>	24"	138	ALIVE	REMOVED	1	100%	24.00
OAK / <i>QUERCUS SP.</i>	18"	139	ALIVE	PRESERVED	1	100%	
OAK / <i>QUERCUS SP.</i>	28"	140	ALIVE	PRESERVED	1	100%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	12"	142	ALIVE	PRESERVED	4	40%	
OAK / <i>QUERCUS SP.</i>	17"	143	ALIVE	PRESERVED	1	100%	
OAK / <i>QUERCUS SP.</i>	14"	144	ALIVE	REMOVED	1	100%	14.00
OAK / <i>QUERCUS SP.</i>	15"	145	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	15"	146	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	14"	147	ALIVE	REMOVED	1	100%	14.00
OAK / <i>QUERCUS SP.</i>	16"	148	ALIVE	REMOVED	1	100%	16.00
ELM / <i>ULMUS SP.</i>	12"	149	ALIVE	REMOVED	2	80%	9.60
ELM / <i>ULMUS SP.</i>	14"	150	ALIVE	REMOVED	2	80%	11.20

HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	15"	151	ALIVE	REMOVED	4	40%	6.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	152	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	153	ALIVE	PRESERVED	4	40%	
ELM / <i>ULMUS SP.</i>	14"	154	ALIVE	PRESERVED	2	80%	
OAK / <i>QUERCUS SP.</i>	14"	155	ALIVE	REMOVED	1	100%	14.00
OAK / <i>QUERCUS SP.</i>	12"	156	ALIVE	REMOVED	1	100%	12.00
ELM / <i>ULMUS SP.</i>	12"	157	ALIVE	REMOVED	2	80%	9.60
ELM / <i>ULMUS SP.</i>	12"	158	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	11"	159	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	11"	160	ALIVE	PRESERVED	2	80%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	27"	161	ALIVE	REMOVED	4	40%	10.80
CEDAR ELM / <i>ULMUS CRASSIFOLIA</i>	50"	162	ALIVE	REMOVED	2	80%	40.00
ELM / <i>ULMUS SP.</i>	10"	163	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	6"	164	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	10"	165	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	13"	166	ALIVE	REMOVED	2	80%	10.40
ELM / <i>ULMUS SP.</i>	11"	167	ALIVE	REMOVED	2	80%	8.80
ELM / <i>ULMUS SP.</i>	10"	168	ALIVE	REMOVED	2	80%	8.00
CEDAR ELM MULTI-TRUNK / <i>ULMUS CRASSIFOLIA</i>	36"	169	ALIVE	REMOVED	2	80%	28.80
ELM / <i>ULMUS SP.</i>	20"	170	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	16"	171	ALIVE	REMOVED	2	80%	12.80
ELM / <i>ULMUS SP.</i>	12"	172	ALIVE	REMOVED	2	80%	9.60
ELM / <i>ULMUS SP.</i>	14"	173	ALIVE	REMOVED	2	80%	11.20
ELM / <i>ULMUS SP.</i>	18"	174	ALIVE	REMOVED	2	80%	14.40
CEDAR ELM MULTI-TRUNK / <i>ULMUS CRASSIFOLIA</i>	31"	175	ALIVE	REMOVED	2	80%	24.80
CEDAR ELM / <i>ULMUS CRASSIFOLIA</i>	15"	176	ALIVE	REMOVED	2	80%	12.00
CEDAR ELM / <i>ULMUS CRASSIFOLIA</i>	20"	177	ALIVE	PRESERVED	2	80%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	11"	178	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	9"	181	ALIVE	PRESERVED	4	40%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	20"	182	ALIVE	PRESERVED	4	40%	
GUM MULTI-TRUNK / <i>EUCALYPTUS MANNIFERA</i>	15"	183	ALIVE	PRESERVED	1	100%	
CREPE MYRTLE / <i>LAGERSTROEMIA</i>	6"	184	ALIVE	REMOVED	4	40%	2.40
CEDAR ELM MULTI-TRUNK / <i>ULMUS CRASSIFOLIA</i>	28"	185	ALIVE	REMOVED	2	80%	22.40
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	30"	186	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	187	ALIVE	REMOVED	4	40%	4.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	188	ALIVE	REMOVED	4	40%	4.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	189	ALIVE	REMOVED	4	40%	4.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	190	ALIVE	REMOVED	4	40%	4.00
SYCAMORE / <i>PLATANUS OCCIDENTALIS</i>	12"	191	ALIVE	REMOVED	4	40%	4.80
CALLERY PEAR MULTI-TRUNK / <i>PYRUS CALLERYANA</i>	15"	192	ALIVE	PRESERVED	4	40%	
SYCAMORE / <i>PLATANUS OCCIDENTALIS</i>	15"	193	ALIVE	PRESERVED	4	40%	
SYCAMORE / <i>PLATANUS OCCIDENTALIS</i>	32"	194	ALIVE	REMOVED	4	40%	12.80
CREPE MYRTLE CLUSTER / <i>LAGERSTROEMIA</i>	6"	195	ALIVE	PRESERVED	4	40%	
CREPE MYRTLE CLUSTER / <i>LAGERSTROEMIA</i>	6"	196	ALIVE	REMOVED	4	40%	2.40
CREPE MYRTLE CLUSTER / <i>LAGERSTROEMIA</i>	6"	197	ALIVE	REMOVED	4	40%	2.40
MITIGATION TOTAL =							759.400000



Valley Quest
DESIGN

LANDSCAPE ARCHITECTS
212 S. Elm St. Ste. 120
Denton, Texas 76201
ph: 214.783.1715

CONSULTANT:

OWNER / CLIENT:

Barbee Enterprises, Inc.
214-538-0479
John@BarbeeEnterprises.com

Project No:	2021-074
Drawn By:	CTA
Reviewed By:	JDB
Issue Type:	Drawings
Issue Date:	9/28/2021

REVISIONS:

No.	Date	Description

Interim review documents.
Not for regulatory approval,
permitting or construction.
Jeremy D. Blad
Texas RLA No. 2734

Month DD, YYYY

PROJECT:

EL DORADO BEND
1816 WEST ELDORADO
PKWY

LITTLE ELM, TEXAS

SHEET TITLE:

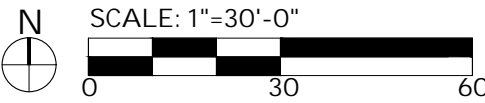
TREE PRESERVATION
PLAN

SHEET NUMBER:

LT.02



LANDSCAPE PLAN




PROJECT LANDSCAPE DATA TABLE				
CITY LANDSCAPE REQUIREMENTS				
TYPE	REQUIREMENT	AREA / MEASUREMENT	REQUIRED	PROVIDED
GENERAL	ALL RESIDENTIAL LAWNS MUST BE COVERED WITH VEGETATION, INCLUDING GRASS, LIVING GROUNDCOVER, MULCH, AND/OR DECORATIVE STONE.		YES	
LOT TREES	REQUIRED LARGE TREES SHALL NOT BE SMALLER THAN FOUR CALIPER INCHES IN SIZE.		YES	
	REQUIRED SMALL TREES SHALL NOT BE SMALLER THAN TWO CALIPER INCHES IN SIZE.		YES	
	TREES PLANTED IN THE FRONT YARD OR SIDE YARD ON A CORNER SHALL BE PLANTED IN THE AREA BETWEEN RESIDENCE AND THE SIDEWALK.		YES	
	FRONT: 1 LARGE, REAR: 1 LARGE / 1 SMALL TREES, SHRUBS: 8 TOTAL PER 30'-49' FOOT LOT, FRONT OR J-SWING ENTRY		2 LOTS	
	FRONT: 1 LARGE / 1 SMALL, REAR: 1 LARGE / 1 SMALL TREES, SHRUBS: 12 TOTAL PER 50'-69' FOOT LOT, FRONT OR J-SWING ENTRY		21 LOTS	
	FRONT: 1 LARGE / 2 SMALL, REAR: 2 LARGE / 1 SMALL TREES, SHRUBS: 18 TOTAL PER 70'-89' FOOT LOT, FRONT OR J-SWING ENTRY.		1 LOT	
	FRONT: 3 LARGE / 2 SMALL, REAR: 2 LARGE / 2 SMALL TREES, SHRUBS: 24 TOTAL PER 70'-89' FOOT LOT AND LARGER, CORNER LOT.		4 LOTS	
PARKWAY LANDSCAPING	FRONT: 2 LARGE / 2 SMALL, REAR: 2 LARGE / 2 SMALL TREES, SHRUBS: 20 TOTAL PER 90' FOOT LOT AND LARGER, FRONT OR J-SWING ENTRY		1 LOT	
	One canopy tree per 25 linear feet of parkway, with a minimum of four-inch caliper trunk, and a well-formed canopy that is typical of the species. Canopy trees shall be planted no closer than 30 feet from streetlights if located in the parkway and no closer than 15 feet from any overhead electrical line.		YES	
	Two ornamental trees per 30 linear feet of parkway. Ornamental trees shall be a minimum two-inch caliper and eight feet in height at time of planting and shall be used primarily as accent trees near the median nose and dispersed among the larger canopy trees.		YES	

PLANT SYMBOL LEGEND

- TREES
- LARGE TREE
 - SMALL TREE
 - ORNAMENTAL TREE

LITTLE ELM LANDSCAPE PLAN STANDARD NOTES:

- The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, and fertilizing, watering, weeding and such activities common to the maintenance of landscaping.
- Landscape areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping.
- No substitutions for plant materials are allowed without written approval by the director and acknowledged by an approval stamp on the landscape plan.
- The right-of-way adjacent to required landscape areas shall be maintained by the adjacent property owner in the same manner as the required landscape area. All driveways will maintain visibility as approved by the director. All plantings intended for erosion control will be maintained. The town may require revegetation to prevent erosion or slippage.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size, within 30 days or a date approved by the director, based on current seasons and weather conditions (e.g. drought or freeze).
- When power lines are present, trees shall not be planted underneath and should be oriented in a manner to avoid conflict. Substitution of plant material is not allowed without prior written authorization from the director.
- All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors and evapotranspiration (ET) weather-based controllers and said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator.
- All trees are to be equipped with a bubbler irrigation system.
- Required landscaped open areas and disturbed soil areas shall be completely covered with living plant material, per the landscape ordinance.
- All landscaping shall be in a planned area that is defined by edging, mulch or another practice approved by the town.
- All streetscape furniture (benches, bollards, lampposts, trash receptacles, patio furniture, bike racks, etc.) shall be a chip and flake resistant metal, decorative, and generally black "storm cloud" in color.



Valley Quest
DESIGN

LANDSCAPE ARCHITECTS
212 S. Elm St. Ste. 120
Denton, Texas 76201
ph: 214.783.1715

CONSULTANT:

OWNER / CLIENT:

Barbee Enterprises, Inc.
214-538-0479
John@BarbeeEnterprises.com

Project No:	2021-074
Drawn By:	CTA
Reviewed By:	JDB
Issue Type:	Drawings
Issue Date:	9/28/2021

REVISIONS:

No.	Date	Description

Interim review documents.
Not for regulatory approval,
permitting or construction.
Jeremy D. Blad
Texas RLA No. 2734

Month DD, YYYY

PROJECT:

EL DORADO BEND
1816 WEST ELDORADO
PKWY

LITTLE ELM, TEXAS

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

LP.01



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

10/07/2021

OVERVIEW

Project	PUBLIC HEARING/ 3P Elm Planned Development (PD-21-00765)
P&Z Hearing	10/07/2021
Council Hearing	November 2, 2021
Size	.79 acres
Current Zoning	Light Commercial (LC)
Proposed Use	Retail and Commercial
Existing Use	Undeveloped Land
Future Land Use Plan Designation	Retail and Commercial Use Category
Applicant	Rao Vasamsetti, Rao's Consulting Engineers
Owner	Lokesh Prasad, 3P LITTLE ELM LLC
Strategic Goal	

Agenda Item

PUBLIC HEARING/ 3P Elm Planned Development (PD-21-00765). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately .79 acres of land, currently zoned as Light Commercial (LC), generally located at 1728 E Eldorado Pkwy, on the north side of Eldorado Parkway, within Little Elm's town limits, in order to establish a new Planned Development (PD) district based on Light Commercial (LC), to allow a new commercial development with modified development standards.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Generally located at 1728 E Eldorado Pkwy, on the north side of Eldorado Parkway, approximately 300 feet from Preston on the Lake Boulevard, within Little Elm's town limits.

Planning Analysis

Background. Subject property consists of an undeveloped parcel currently zoned as Light Commercial (LC), bound to the west by an existing retail property, which is owned by Roma's Pizza and Pasta, and to the east by Town-owned property.

In order to make the proposed development financially feasible, the property owner, 3P Little Elm, would need relief from various requirements of Chapter 106, Zoning Ordinance, and is therefore requesting to rezone the property to a new Planned Development (PD) district based on the Light Commercial district regulations with modified standards. Additionally, due to the driveway spacing limitations, in order to make the proposed development work on the subject property, the property owner will need to work out an agreement with the adjacent property owners, on either side of the subject property, to establish access easements onto the subject property.

The land behind this property is an existing single family subdivision, the Villages of Woodlake, which places additional screening requirements along the back of the subject property. However, the nearest home is over 450 feet from the property line, which is also separated by a 225 foot wide, wooded, green space. Therefore the property owner is also requesting for relief with regard to constructing an eight-foot tall masonry screening wall along the back of the property, and a 20-foot wide landscape buffer with double row of canopy trees.

Proposal. The proposed project consists of one commercial building totaling 7,900 square feet, anticipated to be occupied by three retail tenants. The property owner is proposing to meet all of the requirements outlined within the Light Commercial (LC) zoning district, with the following deviations:

- Parking space size
- Landscape
 - Parking landscape islands
 - Front landscape buffer
 - Rear landscape buffer
 - Tree requirements
 - Landscape points
- Screening wall
- Electric vehicle charging station infrastructure

The following sections will outline how the proposed development is meeting, or deviating from the current standards.

Uses. Retail is allowed within the Light Commercial (LC) zoning district.

Design Standards. Proposed elevations show the building to be constructed primarily of brick and stone, and meeting the articulation and design guidelines.

Landscaping. Proposed landscape plans comply with screening requirements and landscape coverage.

Proposed landscape plans do not meet buffer requirements of 25-foot front landscape buffer, instead providing 6 feet from the property line, 20 feet from the back of the curb on Eldorado Parkway, in order to match the adjacent commercial property and provide a continuous frontage.

Proposed landscape plans do not meet buffer requirements of 20-foot rear landscape buffer with double row of trees planted within the required rear landscape edge along the residential adjacency, instead providing primarily 5 feet, except where the dumpster impedes into this setback. Properties adjacent to residential uses are also required to provide an eight-foot masonry screening wall, which is not being proposed here.

Proposed landscape plans do not meet the perimeter tree planting requirements, to provide a canopy

tree every 40 feet along commercial property and every 20 feet along residential property, double row planting, requiring a total of 26 canopy trees within the perimeter landscape buffer, in addition to the required frontage trees, providing only 10 trees. Additionally, the plans do not meet the perimeter ornamental tree planting requirements, to provide three small trees per every five large trees required, totaling a required 16 perimeter ornamental trees within the perimeter landscape buffer, providing zero trees.

Proposed landscape plans do not meet the foundation tree planting requirements for buildings over 5,000 square feet, to provide 1 tree per 1,000 gross square feet of building, totaling eight trees required within 20 feet of the building frontage, instead providing only two trees.

Proposed landscape plans do not meet the requirement to provide parking lot landscape islands at every 10 parking spaces.

The proposed landscape plans do not meet the required 25 landscape points, instead providing only 10 points.

The applicant is requesting the landscape plans be approved as proposed and adopted into the new PD ordinance as the minimum requirements for this property.

Parking. Light Commercial district requires that retail uses be parked at 1 space per 200 square feet. Based on the total building square footage of 7,900, the property is required to provide at least 40 parking spaces. The proposed plans show 46 parking spaces being provided. It should be noted that in order to accommodate an access easement on the west side, the adjacent property would lose approximately six parking spaces, which will be provided on the subject property in return, also requiring a shared parking agreement between the two properties.

However, parking spaces are required to be provided at a width of 10 feet and length of 20 feet, and the proposed site plan shows the parking spaces provided at a width of 9 feet in order to be able to fully park the proposed building and accommodate the additional parking for the adjacent property, which also provides parking stalls at a width of 9 feet.

The proposed plans also do not provide for the required electric vehicle charging station infrastructure.

The applicant is requesting a waiver for parking stall widths to be allowed at 9 feet instead of 10 feet and for electric vehicle charging station infrastructure.

Dumpster. Given the site limitations, the proposed dumpster enclosure is being proposed within the rear landscape buffer in order to meet the CWD Waste Management requirements.

Comprehensive Plan. The future land use of this area is identified as retail and commercial. The proposed commercial development, to be occupied with future retail tenants aligns with the Town's vision for this area.

Recommended Action

While the current proposed development matches the existing uses and falls within the vision for future land use in this area, due to the limited size of the site, the property owner is requesting a number of deviations from the Town's development standards. Development standards exist in order to ensure quality and longevity of future development. Staff has worked diligently with the applicant over the last several months in order to bring the proposal as close to compliance with all of the Town's standards as financially feasible for the property owner.

In general, the subject property provides a challenge for any potential future development, as it would not be able to provide direct driveway access, requiring access agreements from adjacent property owners. If the proposed rezoning request is considered for approval, it should be conditioned on the requirement of access easements prior to platting.

The property owner must obtain an access easement agreement from the adjacent property owner to the west, and an access agreement from the Town to the east, as shown on the proposed plans, in order to utilize as well as maintain the off-site property for cross-access. Fully executed agreements must be presented with the plat submittal.

Staff recommends that the Planning and Zoning Commission review this request based on the impact and suitability of the proposed development within the context of the existing area, and the importance of the development standards from which the property is requesting to vary, as well as how the proposed development benefits the Town overall.

Attachments


Location Map

PD Exhibits



Document Path: G:\GIS\ForTownEmployees\Planning\LocationMap_Portrait.mxd

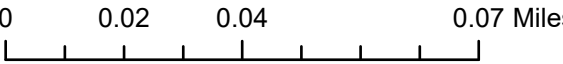
Source:
Town of Little Elm GIS
Imagery: Nearmap July 13, 2021

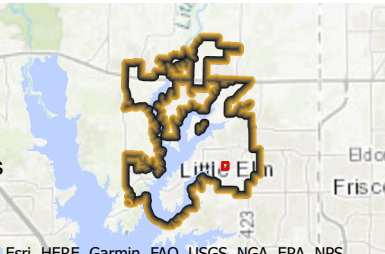


Zoning Case For 3P Elm

BLK A LOT 3

Zoning Case# 21-PD-004






Town of Little Elm

Denton County, Tx

Date: 9/16/2021

This map is the property of the Town of Little Elm, and is not to be reproduced by any means, mechanical or digital, without written consent of the Town.

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



3P ELM
SITE DEVELOPMENT PLANS
TOWN OF LITTLE ELM, TEXAS

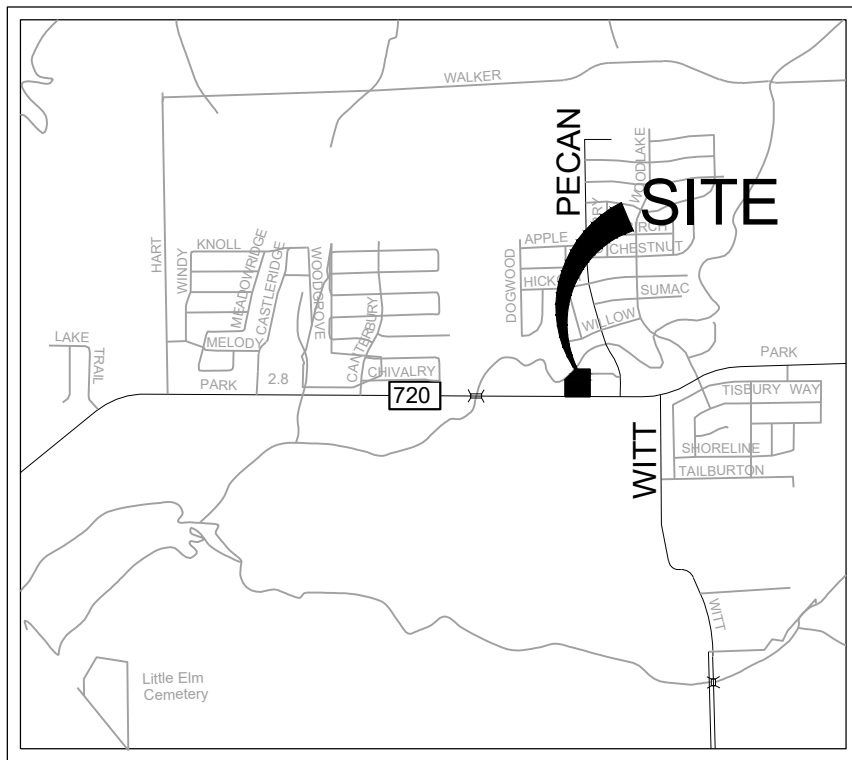
OWNER/DEVELOPER:
3P LITTLE ELM LLC
5431 BEACON HILL DR
FRISCO, TEXAS 75034
PHONE: 214-838-4198
EMAIL: LOKESHPOH@GMAIL.COM

CIVIL ENGINEER:
RAO VASAMSETTI, P.E.
RAO'S CONSULTING ENGINEERS, LLC
P.O. BOX 592991
SAN ANTONIO, TX 78258
PHONE: 210-548-7557
EMAIL: RAO@RAOSENGINEERING.COM

ACRES: 0.79 ACRES

SUBMITTAL DATE: 01/27/2021

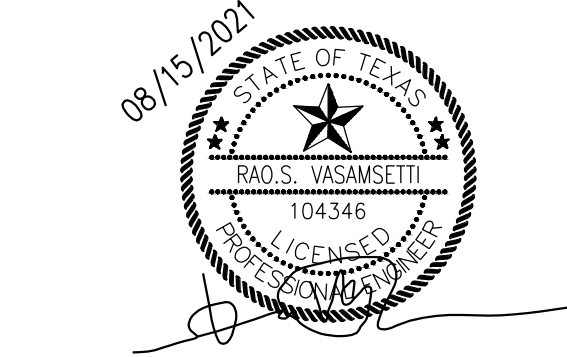
LEGAL DESCRIPTION: LOT 3, BLOCK A, ELM LITTLE PROPERTY, AN ADDITION TO THE TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN COUNTY CLERK'S FILE NO. 2014-420, LAND RECORDS OF DENTON COUNTY, TEXAS.



LOCATION MAP
NOT TO SCALE

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.00	COVER SHEET
C1.00	DIMENSIONAL CONTROL PLAN
C1.10	PAVING PLAN
C1.20	FIRE PROTECTION PLAN
C2.00	GRADING PLAN
C3.00	UTILITY PLAN
C4.00	EROSION CONTROL PLAN
C4.10	EROSION CONTROL DETAILS
C5.00	DETAIL SHEET
C5.10	DETAIL SHEET
C5.20	DETAIL SHEET
C5.30	DETAIL SHEET
C5.40	DETAIL SHEET
A4	ELEVATIONS
E0	SITE LIGHTING PLAN
L1.0	LANDSCAPE NOTES & DETAILS
L2.0	LANDSCAPE PLAN
L3.0	IRRIGATION NOTES AND DETAILS
L4.0	IRRIGATION PLAN
L5.0	TREE BUBBLER PLAN

REVISION #	DESCRIPTION	DATE



PRIMARY CONTACT PERSON: RAO VASAMSETTI, P.E.

RCE RAO'S CONSULTING
ENGINEERS

TYPE FIRM#1985
P.O. BOX 592991 SAN ANTONIO, TX 78258
PHONE: 210.548.7557 FAX: 512.895.4895
www.raosengineering.com

PROJECT DESCRIPTION: 3P ELM 1728 E ELDORADO PKWY, LITTLE ELM, TX 75068	
TITLE: COVER SHEET	
DATE : 12/01/20	JOB NO. 2019-768
DESIGNED BY : RV	DRG NO
DRAWN BY : MO	C0.00
CHECKED BY : RV	

PERMIT SET

ACRES: 0.79 ACRES
LOT 3, BLK A, ELM PROPERTY SUBDIVISION
ABSTRACT NO. 1312
SURVEY: ALLEN VESTAL SURVEY
SUBMITTAL DATE: 01/27/2021

BENCHMARK "A"
DESCRIPTION
X MARK ON FIRE HYDRANT
N 71°18'17.12
E: 2455948.39
ELEVATION = 552.14'
NOTE:
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE BENCHMARK DEPICTED ON THIS DRAWING AND REPORT ANY DISCREPANCIES IN THE ELEVATION OR DESCRIPTION TO THE CIVIL ENGINEER IMMEDIATELY.

- DIMENSIONAL CONTROL NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
 3. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
 4. ALL DIMENSIONAL CONTROL POINTS AND DIMENSIONS ARE TO THE FACE OF CURB. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
 5. REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION. ONLY MINIMUM BUILDING AND PROPERTY CONTROL POINTS ARE PROVIDED ABOVE.
 6. CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 7. ALL CURBS WITHIN PRIVATE PROPERTY ARE 6" HIGH AND ALL CURBS WITHIN PUBLIC RIGHT-OF-WAY ARE 6" HIGH EXCEPT AT CURB RAMPS OR SPECIFICALLY NOTED OTHERWISE.

SITE DATA SUMMARY CHART		
SITE DATA SUMMARY	EXISTING	PROPOSED
EXISTING ZONING	LIGHT COMMERCIAL	PD - LIGHT COMMERCIAL
LAND USE DESIGNATION	RETAIL/COMMERCIAL	RETAIL/COMMERCIAL
GROSS ACREAGE	0.79	0.79
NET ACREAGE	0.79	0.79
NUMBER OF PROPOSED LOTS	1	1
PERCENTAGE OF SITE COVERAGE		80% (27,529 SF)
AREA OF OPEN SPACE		0
PERCENTAGE OF OPEN SPACE		0%
PERCENTAGE OF LANDSCAPE		20% (6,862 SF)
AREA OF IMPERVIOUS COVERAGE		27,529 SF
PERCENTAGE OF IMPERVIOUS COVERAGE		80% (27,529 SF)
PROPOSED BUILDING AREA (SQUARE FOOTAGE FOOTPRINT)		7,900 SF
NUMBER OF SINGLE-STORY BUILDINGS		1
NUMBER OF TWO-STORY BUILDINGS		0
MAXIMUM BUILDING HEIGHT		21-FT - 4-INCH
PROPOSED FLOOR AREA		7,900 SF
PROPOSED FLOOR AREA BY USE		RETAIL
REQUIRED PARKING		1/200 40
PROVIDED PARKING		46 (6 spaces dedicated to Roma's property)
STANDARD		44
HANDICAP		2
TOTAL		46
INVENTORY PARKING		-
REQUIRED LOADING SPACES		NONE
PROVIDED LOADING SPACES		NONE
AREA OF OUTSIDE STORAGE		NONE
PERCENTAGE OF OUTSIDE STORAGE		0

- GENERAL NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
 2. ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE. ALL RADII ARE TO FACE OF CURB.
 3. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
 4. COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
 6. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, AND BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 7. THE BOUNDARY/TOPO SURVEY SHALL BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS.
 8. ALL CURBS ARE 6" HIGH UNLESS OTHERWISE NOTED.
 9. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE CITY OF FLORESVILLE AND WILSON COUNTY SPECIFICATIONS.
 10. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
 12. ALL CONCRETE SHALL BE 4,000 P.S.I. UNLESS OTHERWISE NOTED.
 13. PROPOSED PARKING LOT STRIPING SHALL BE 4" SOLID YELLOW STRIPING UNLESS NOTED OTHERWISE. REFERENCE DETAIL SHEET FOR STRIPED ISLANDS.
 14. REFERENCE LANDSCAPE PLANS FOR LANDSCAPING.
 15. ALL PAVEMENT MARKINGS AND SIGNAGE OF ACCESSIBLE PARKING AREAS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT T&S AND ADA STANDARDS.
 16. FIRE LANES SHALL BE PROVIDED IN ACCORDANCE WITH LITTLE ELM.
 17. REQUIREMENTS AND SHALL HAVE A MIN. INSIDE TURNING RADIUS OF 30', UNLESS OTHERWISE NOTED.
 18. FIRE HYDRANTS SHALL BE PROVIDED IN ACCORDANCE WITH LITTLE ELM REQUIREMENTS.
 19. ALL SCREENING WILL BE PROVIDED IN ACCORDANCE WITH LITTLE ELM REQUIREMENTS.
 20. FINAL SIDEWALK DESIGN SHALL BE PROVIDED IN ACCORDANCE WITH APPROVED ZONING.

REV. NO.	DESCRIPTION	DATE

Notes:

LOCATION MAP (NOT TO SCALE)

LEGEND

- PROPOSED CONCRETE HEADER CURB
- PROPOSED CONCRETE CURB
- EXISTING CONCRETE CURB
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
- MISC. TRAFFIC SIGN
- GUARD POST
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- LIGHT POLE
- POWER POLE
- GRATE
- TRAFFIC LIGHT
- ACCESSIBLE PARKING
- EXISTING CONCRETE AREAS
- WHEELSTOP
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC
- RETAINING WALL
- SAWTOOTH CURB
- SINGLE LAMP LIGHT POLE
- RADIUS LINES REPRESENTS THE TRAVEL PATH OF THE FIRE TRUCK FOR FIRE DEPARTMENT REVIEW ONLY.

SIGNATURE/SEAL

RCERAO'S CONSULTING ENGINEERS

PROJECT DESCRIPTION:

3P ELM 1728 E ELDORADO PKWY LITTLE ELM, TX 75068

TITLE:

SITE PLAN

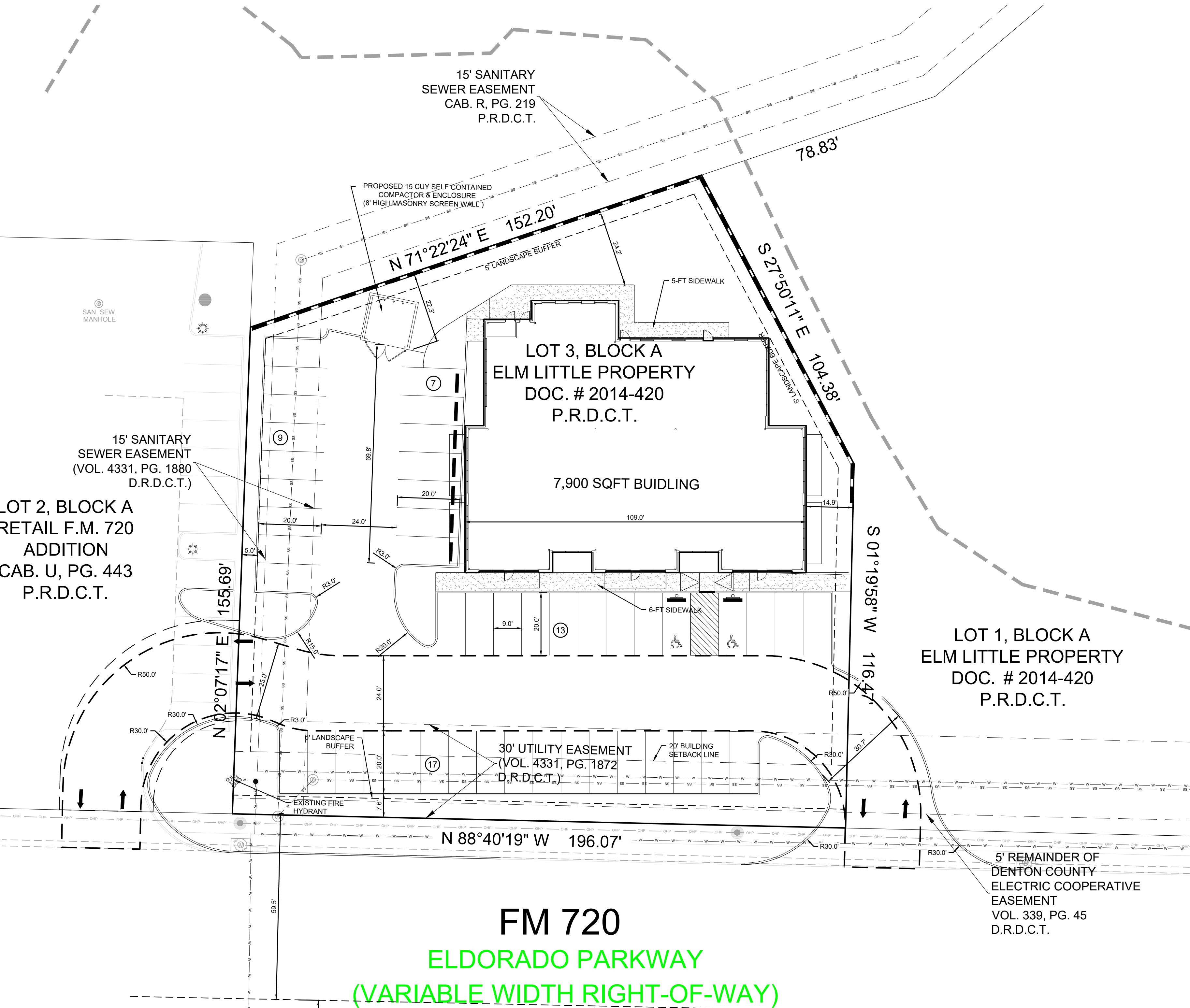
DATE : 12/10/20 **JOB NO.** 2019-875

DESIGNED BY : RV **DRG NO.**

DRAWN BY : MO

CHECKED BY : RV

C1.00

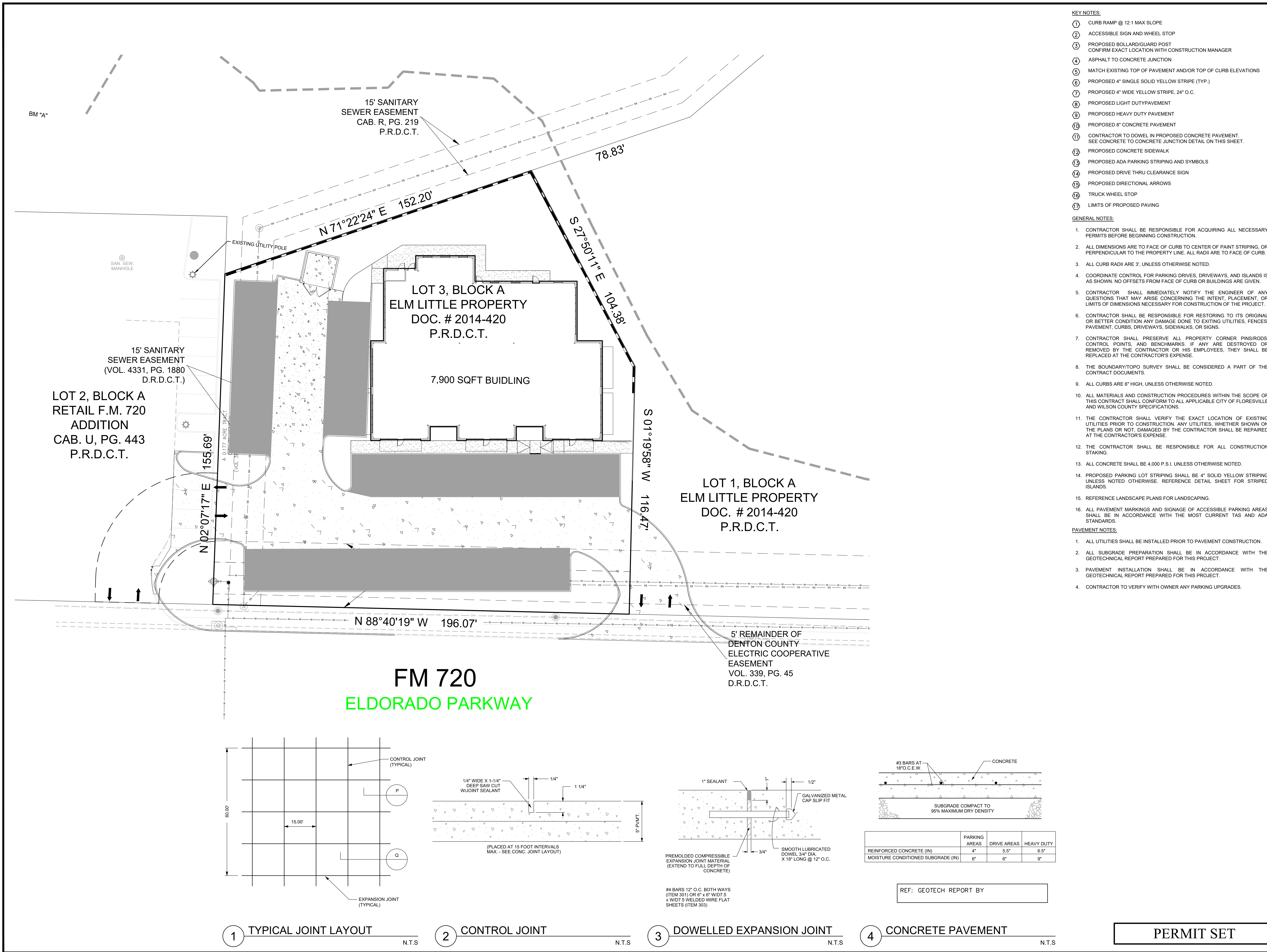


SITE PLAN
ELM LITTLE PROPERTY
BLOCK 'A' LOT 3
0.79 ACRES, ALLEN VESTAL SURVEY, ABSTRACT NO. 1312
A.W. ROBERTSON SURVEY, ABSTRACT NO. 1134

OWNER/DEVELOPER:
3P LITTLE ELM LLC
5431 BEACON HILL DR
FRISCO, TEXAS 75034
PHONE: 214-838-4198
EMAIL: LOKESHIP@HOTMAIL.COM

CIVIL ENGINEER:
RAO VASAMSETTI, P.E.
RAO'S CONSULTING ENGINEERS, LLC
P.O. BOX 592991
SAN ANTONIO, TX 78258
PHONE: 210-549-7257
EMAIL: RAO@RAOSENGINEERING.COM

PERMIT SET



- KEY NOTES:**
- 1 CURB RAMP @ 12:1 MAX SLOPE
 - 2 ACCESSIBLE SIGN AND WHEEL STOP
 - 3 PROPOSED BOLLARD/GUARD POST
CONFIRM EXACT LOCATION WITH CONSTRUCTION MANAGER
 - 4 ASPHALT TO CONCRETE JUNCTION
 - 5 MATCH EXISTING TOP OF PAVEMENT AND/OR TOP OF CURB ELEVATIONS
 - 6 PROPOSED 4" SINGLE SOLID YELLOW STRIPE (TYP.)
 - 7 PROPOSED 4" WIDE YELLOW STRIPE, 24" O.C.
 - 8 PROPOSED LIGHT DUTY PAVEMENT
 - 9 PROPOSED HEAVY DUTY PAVEMENT
 - 10 PROPOSED 8" CONCRETE PAVEMENT
 - 11 CONTRACTOR TO DOWEL IN PROPOSED CONCRETE PAVEMENT.
SEE CONCRETE TO CONCRETE JUNCTION DETAIL ON THIS SHEET.
 - 12 PROPOSED CONCRETE SIDEWALK
 - 13 PROPOSED ADA PARKING STRIPING AND SYMBOLS
 - 14 PROPOSED DRIVE THRU CLEARANCE SIGN
 - 15 PROPOSED DIRECTIONAL ARROWS
 - 16 TRUCK WHEEL STOP
 - 17 LIMITS OF PROPOSED PAVING

- GENERAL NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
 2. ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE. ALL RADII ARE TO FACE OF CURB.
 3. ALL CURB RADII ARE 3', UNLESS OTHERWISE NOTED.
 4. COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
 5. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
 7. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, AND BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 8. THE BOUNDARY/TOPO SURVEY SHALL BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS.
 9. ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
 10. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE CITY OF FLORESVILLE AND WILSON COUNTY SPECIFICATIONS.
 11. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
 13. ALL CONCRETE SHALL BE 4,000 P.S.I. UNLESS OTHERWISE NOTED.
 14. PROPOSED PARKING LOT STRIPING SHALL BE 4" SOLID YELLOW STRIPING UNLESS NOTED OTHERWISE. REFERENCE DETAIL SHEET FOR STRIPED ISLANDS.
 15. REFERENCE LANDSCAPE PLANS FOR LANDSCAPING.
 16. ALL PAVEMENT MARKINGS AND SIGNAGE OF ACCESSIBLE PARKING AREAS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT T&S AND ADA STANDARDS.

- PAVEMENT NOTES:**
1. ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
 2. ALL SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
 3. PAVEMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
 4. CONTRACTOR TO VERIFY WITH OWNER ANY PARKING UPGRADES.

REV. NO.	DESCRIPTION	DATE

Notes:

LOCATION MAP (NOT TO SCALE)

LEGEND

PROPOSED 5" CONCRETE PAVEMENT

PROPOSED 6" CONCRETE PAVEMENT

SIGNATURE/SEAL

08/16/2021

RCE RAO'S CONSULTING ENGINEERS

TYPE PERMIT/ISS
P.O. BOX 992991 SAN ANTONIO, TX 78298
PHONE: 210.548.7887 FAX: 912.856.4895
www.raoconsulting.com

PROJECT DESCRIPTION:

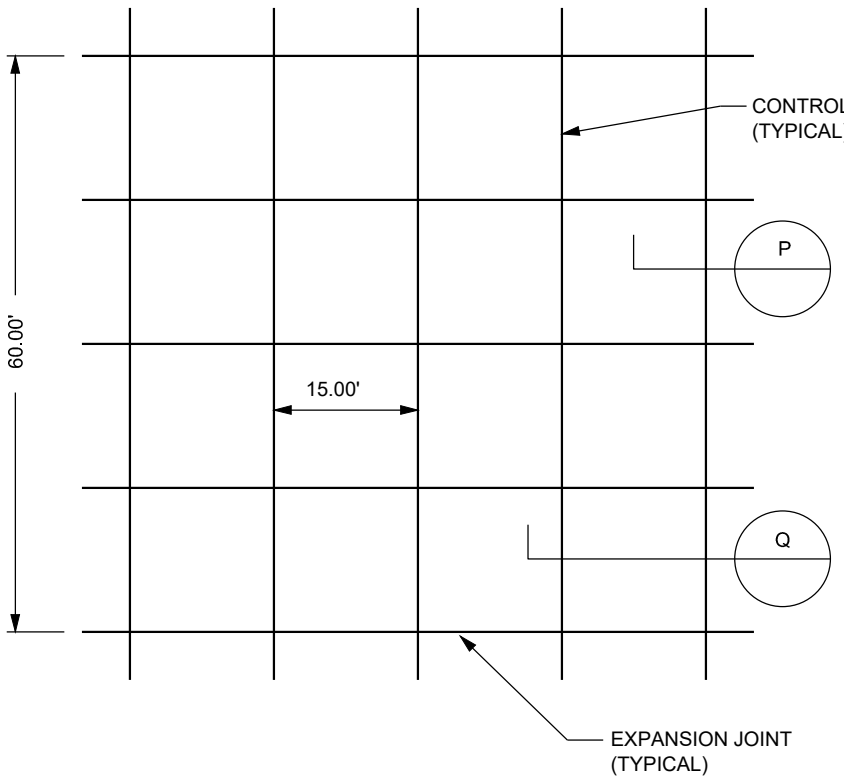
3P ELM
1728 E ELDORADO
PKWY
LITTLE ELM, TX 75068

TITLE:

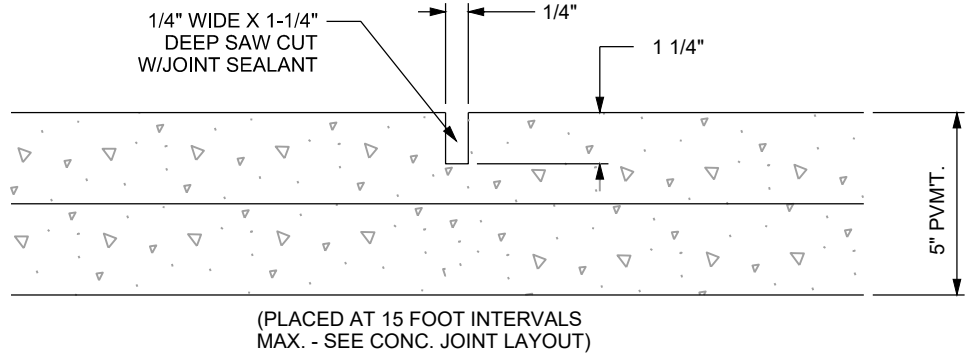
PAVING PLAN

DATE :	12/10/20	JOB NO.	2019-875
DESIGNED BY :	RV	DRG NO.	
DRAWN BY :	MO		
CHECKED BY :	RV		

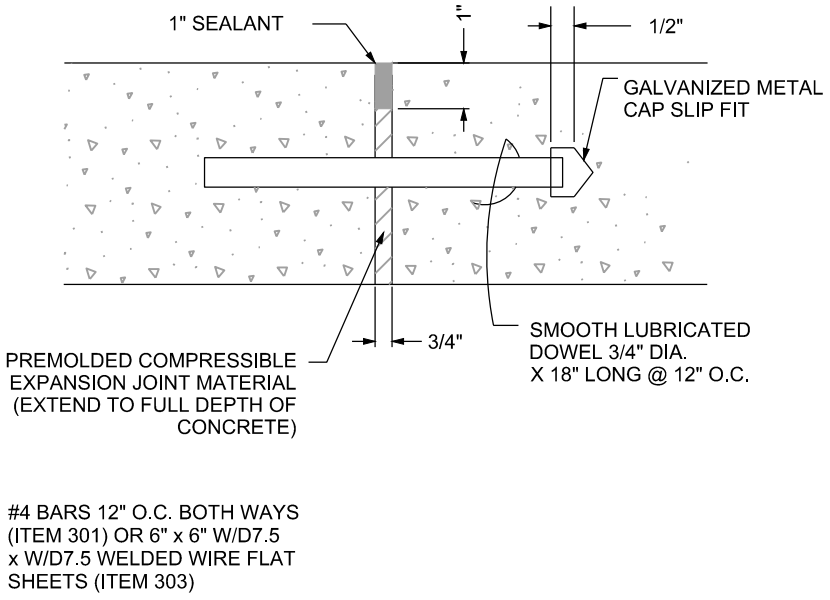
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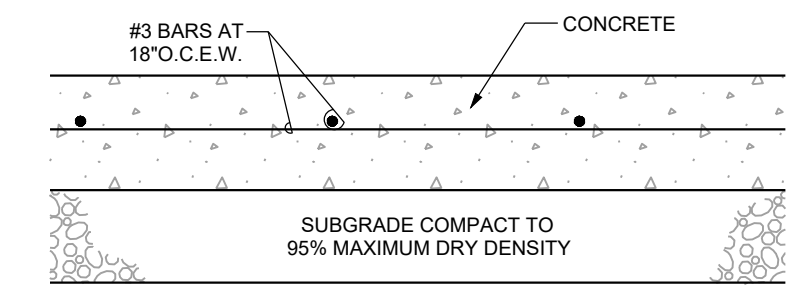
1 TYPICAL JOINT LAYOUT N.T.S.



2 CONTROL JOINT N.T.S.



3 DOWELLED EXPANSION JOINT N.T.S.

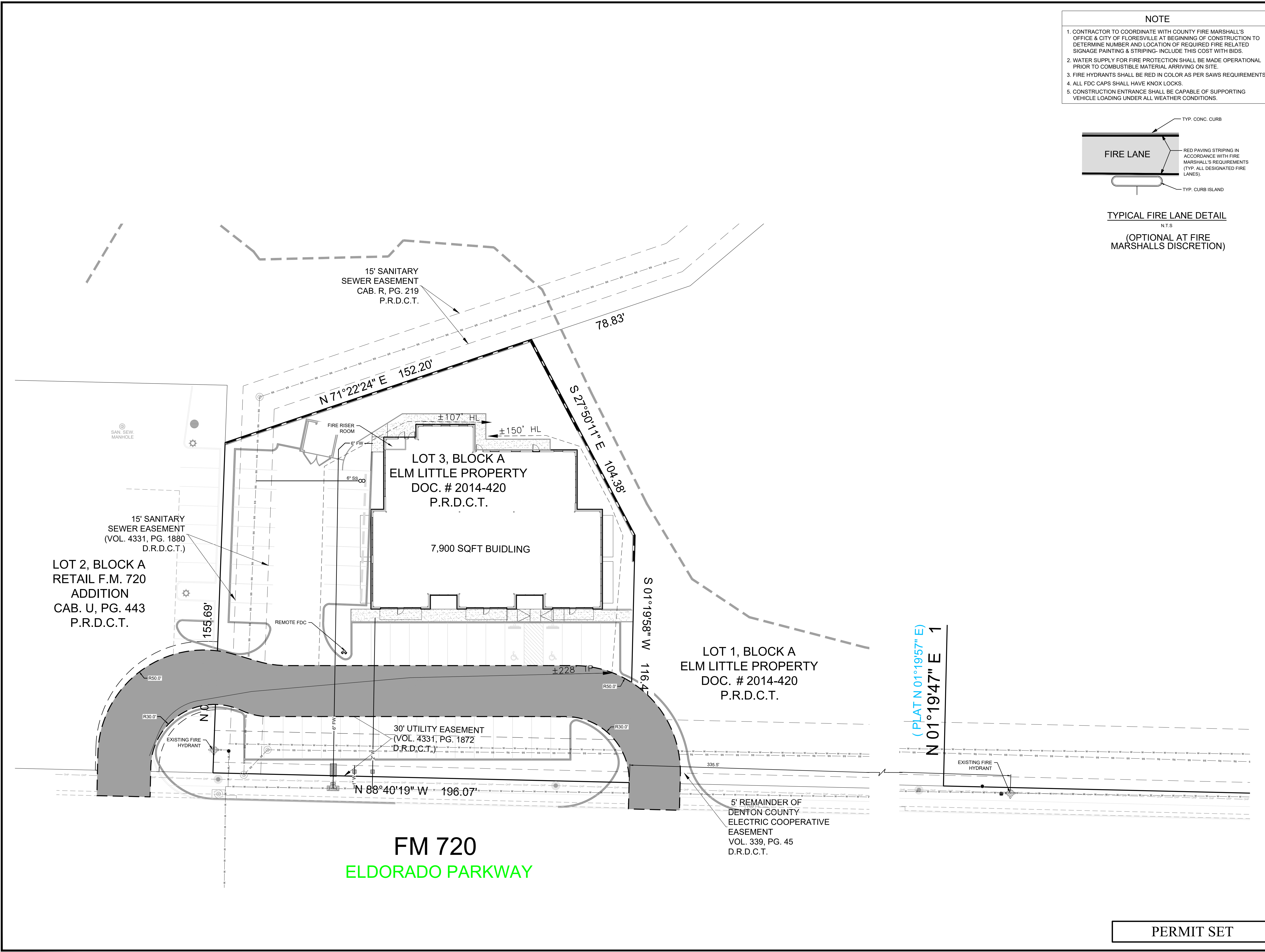


	PARKING AREAS	DRIVE AREAS	HEAVY DUTY
REINFORCED CONCRETE (IN)	4"	5.5"	6.5"
MOISTURE CONDITIONED SUBGRADE (IN)	6"	6"	9"

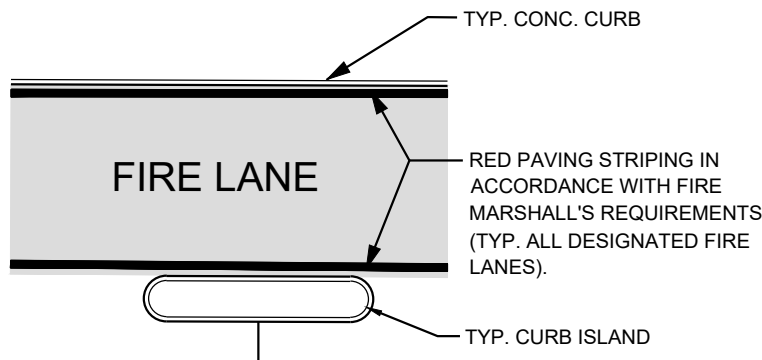
REF: GEOTECH REPORT BY

4 CONCRETE PAVEMENT N.T.S.

PERMIT SET



- NOTE**
1. CONTRACTOR TO COORDINATE WITH COUNTY FIRE MARSHALL'S OFFICE & CITY OF FLORESVILLE AT BEGINNING OF CONSTRUCTION TO DETERMINE NUMBER AND LOCATION OF REQUIRED FIRE RELATED SIGNAGE PAINTING & STRIPING- INCLUDE THIS COST WITH BIDS.
 2. WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE OPERATIONAL PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON SITE.
 3. FIRE HYDRANTS SHALL BE RED IN COLOR AS PER SAWS REQUIREMENTS
 4. ALL FDC CAPS SHALL HAVE KNOX LOCKS.
 5. CONSTRUCTION ENTRANCE SHALL BE CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS.



TYPICAL FIRE LANE DETAIL
N.T.S.
(OPTIONAL AT FIRE MARSHALLS DISCRETION)

REV. NO.	DESCRIPTION	DATE

Notes:

LOCATION MAP (NOT TO SCALE)

LEGEND

- FIRE LANE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- RADIUS LINES REPRESENTS THE TRAVEL PATH OF THE FIRE TRUCK FOR FIRE DEPARTMENT REVIEW ONLY.
- HOSE PULL BY TRUCK 350' MAX (NON-SPRINKLERED BLDG) 550' MAX (SPRINKLERED BLDG)
- HOSE LAY 150' MAX BY HAND (NON-SPRINKLERED BLDG) 200' MAX BY HAND (SPRINKLERED BLDG)
- HL HOSE LAY
- TP TRUCK PULL
- TP TRUCK PULL
- PROPOSED REMOTE FIRE DEPARTMENT CONNECTION (FDC)

SCALE: 1" = 20'

SIGNATURE/SEAL

RCERAO'S CONSULTING ENGINEERS

PROJECT DESCRIPTION:

3P ELM 1728 E ELDORADO PKWY LITTLE ELM, TX 75068

TITLE:

FIRE PROTECTION PLAN

DATE :	12/10/20	JOB NO.	2019-875
DESIGNED BY :	RV	DRG NO.	C1.20
DRAWN BY :	MO		
CHECKED BY :	RV		

PERMIT SET

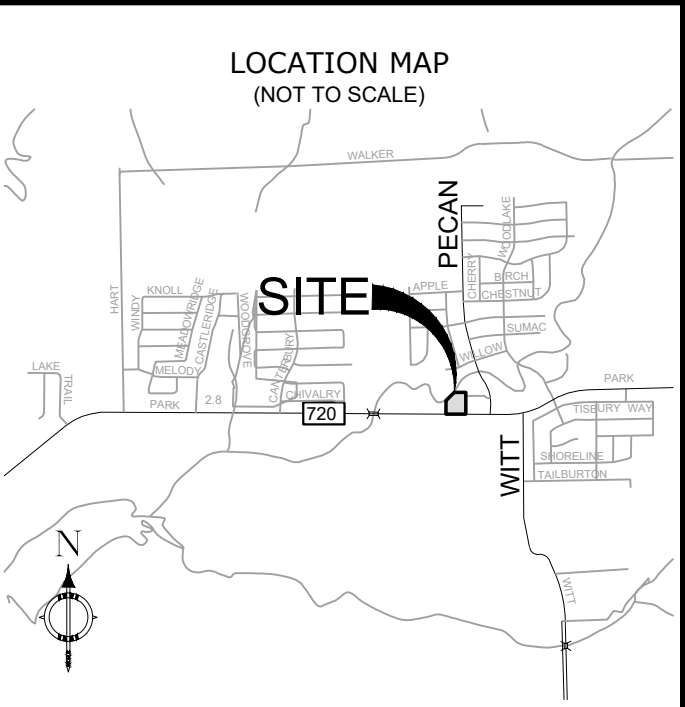
BENCHMARK "A"
DESCRIPTION X MARK ON FIRE HYDRANT N:7111817.12 E: 2455948.39
ELEVATION =552.14'
NOTE: PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE BENCHMARK DEPICTED ON THIS DRAWING AND REPORT ANY DISCREPANCIES IN THE ELEVATION OR DESCRIPTION TO THE CIVIL ENGINEER IMMEDIATELY.

- UTILITY NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
 - ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE TOWN OF LITTLE ELM RULES AND REQUIREMENTS.
 - THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATELY ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO NOTIFY THE ENGINEER IMMEDIATELY OR ANY CONFLICTS. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR AT HIS EXPENSE.
 - CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER OR NOT SHOWN PLANS.
 - ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
 - ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL INSTALL ANDY BENDS, FITTINGS OR PIPE IN THE WATER LINE AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES (NOT SEPARATE PAY ITEM).
 - NO WATER JETTING TO BACK FILL TRENCHES WILL BE ALLOWED ON THIS PROJECT.
 - REFERENCE ELECTRICAL PLANS FOR PARKING LOT AND SIGNAGE LIGHTING WHICH MAY BE IN THE SCOPE OF WORK.
 - REFERENCE LANDSCAPE, ELECTRICAL, AND OTHER PLANS FOR ADDITIONAL CONDUITS REQUIRED.
 - SANITARY SEWER PIPE SIX INCHES (6") AND SMALLER SHALL BE SDR 40 CONFORMING TO ASTM D1785 AND INSTALLED PER SPECIFICATIONS. FITTINGS AND JOINTS SHALL CONFORM TO COMPATIBLE SDR 35 PIPE WITH THE EXCEPTION THAT SOLVENT CEMENT JOINTS SHALL NOT BE USED.
 - CONTRACTOR SHALL INSTALL THE SANITARY SEWER SYSTEM OUTSIDE OF THE BUILDING IN ACCORDANCE WITH PROCEDURES SPECIFIED BY THE LOCAL PLUMBING CODE. FOR PROJECTS WITHIN THE CITY LIMITS, THE LINE SHALL BE INSPECTED BY THE CITY INSPECTOR.
 - WHEN SEWER LINES ARE INSTALLED IN THE VICINITY OF WATER MAINS, SUCH INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TEXAS DEPARTMENT OF HEATH RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS (1988 OR ANY REVISIONS THERETO).
 - DUE TO FEDERAL REGULATIONS TITLE 49, PARK 192.181, LDC GAS COMPANY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
 - ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT THIS EXPENSE.
 - CLEAN OUTS AND VALVE BOXES SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE AND AS DIRECTED BY THE PLUMBING INSPECTOR. ALL CLEAN OUT AND VALVE BOX TOPS SHALL BE INSTALLED AT LEAST 2" ABOVE FINISHED GRADE OUTSIDE PAVEMENT AND FLUSH WITH FINISHED GRADE WITHIN THE PAVEMENT AREAS.
 - CONTRACTOR TO CONTACT UTILITY COMPANY TO VERIFY MATERIALS TO BE USED FOR SERVICES AND CONNECTIONS.
 - 2-INCH (2") DOMESTIC WATER LINE TO BE PVC SCHEDULE 40.

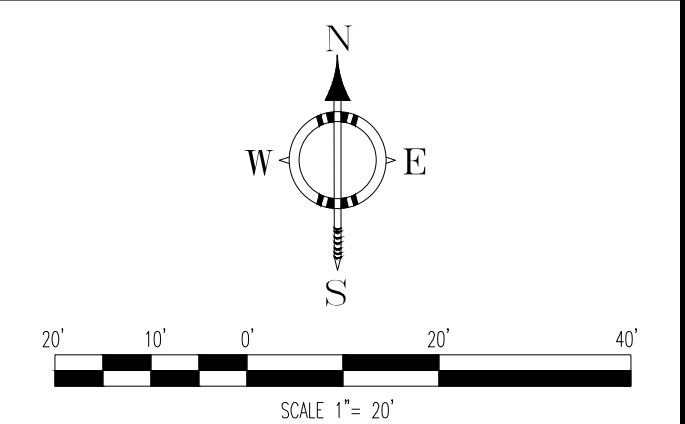
- KEY NOTES:
- CONTRACTOR TO REFERENCE MEP DRAWINGS FOR CONTINUATION OF UTILITIES INTO BUILDING.
 - CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING WATER LINE PRIOR TO CONSTRUCTION AND TO NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCY.
 - CONTRACTOR TO INSTALL 1 1/2-INCH DOMESTIC WATER LINE, WHICH SHALL BE CONSTRUCTED OF C900 PVC, AND TO CONNECT TO EXISTING WATER LINE WITH A TAPPING SLEEVE AND VALVE. SEE DETAIL SHEET FOR WATER SERVICE CONNECTION DETAIL.
 - PROPOSED UNDERGROUND POWER.
 - LOCATION TO EXISTING 4-INCH GAS MAIN APPROXIMATE AND NOT FIELD VERIFIED. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING GAS MAIN PRIOR TO CONSTRUCTION AND TO NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
 - CONTRACTOR TO COORDINATE GAS INSTALLATION WITH
 - CONTRACTOR TO INSTALL PROPOSED 2 1/2" GAS LINE AND CONNECT TO EXISTING GAS MAIN.
 - CONTRACTOR TO INSTALL 1-INCH IRRIGATION WATER LINE AND METER. REFER TO IRRIGATION PLANS FOR BACKFLOW PREVENTOR AND CONTINUATION

REV. NO.	DESCRIPTION	DATE

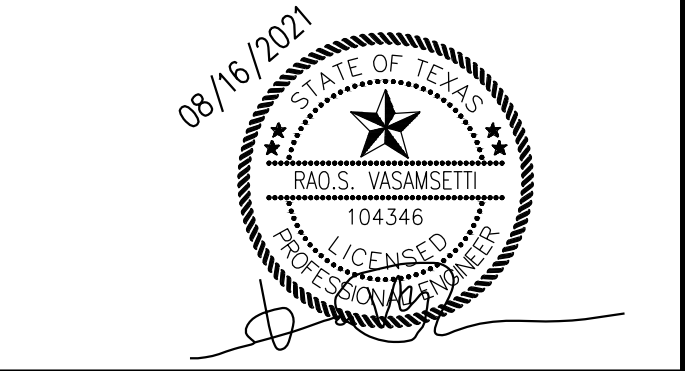
Notes:



LEGEND	
SD	EXISTING STORM DRAIN
SS	EXISTING SANITARY SEWER LINE
W	EXISTING WATER LINE
GAS	EXISTING GAS LINE
OT	EXISTING OVERHEAD TELEPHONE
UT	EXISTING UNDERGROUND TELEPHONE
OHE	EXISTING OVERHEAD ELECTRIC
UE	EXISTING UNDERGROUND ELECTRIC
DW	PROPOSED DOMESTIC WATER LINE
W	PROPOSED WATER LINE
I	PROPOSED IRRIGATION LINE
SS	PROPOSED SANITARY SEWER LINE
SD	PROPOSED STORM DRAIN
G	PROPOSED GAS LINE
F	PROPOSED FIRE LINE
EB	THRUST BLOCKING
E	EXISTING ELECTRIC METER
O	EXISTING CLEAN-OUT
W	EXISTING WATER VALVE
W	EXISTING WATER METER
W	PROPOSED WATER METER
W	EXISTING FIRE HYDRANT
W	PROPOSED FIRE HYDRANT
W	PROPOSED FIRE DEPARTMENT CONNECTION
W	PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
L	EXISTING LIGHT POLE



SIGNATURE/SEAL



RCERAO'S CONSULTING ENGINEERS

TYPE PERMIT 1005
P.O. BOX 992891 SAN ANTONIO, TX 78258
PHONE: 210.548.7887 FAX: 512.856.4895
www.raoengineering.com

PROJECT DESCRIPTION:

**3P ELM
1728 E ELDORADO
PKWY
LITTLE ELM, TX 75068**

TITLE:

UTILITY PLAN

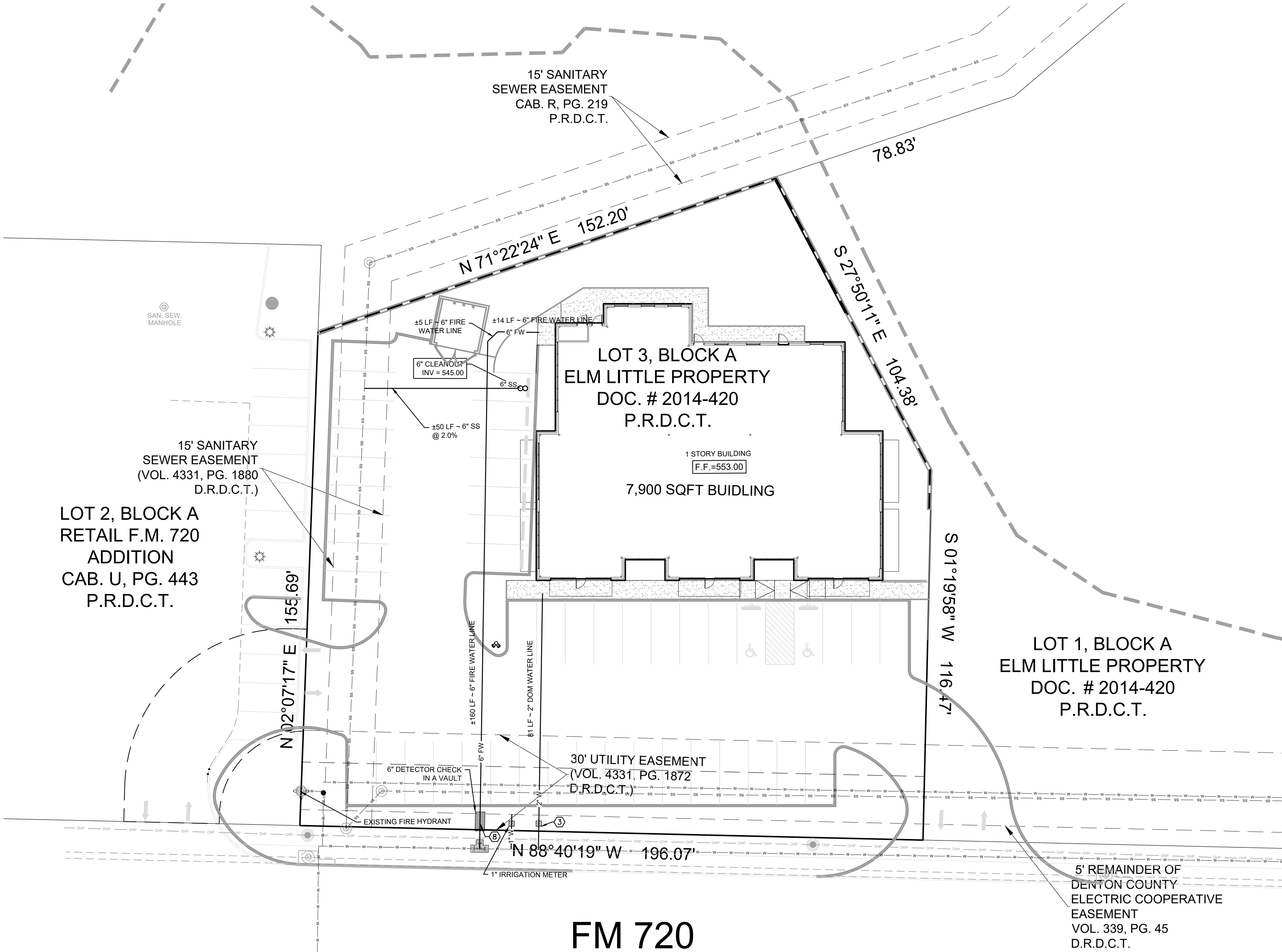
DATE :	12/10/20	JOB NO.	2019-875
DESIGNED BY :	RV	DRG NO.	
DRAWN BY :	MO		
CHECKED BY :	RV		

PERMIT SET

CAUTION!!!
CONTRACTOR TO VERIFY EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICTS.

NOTE:
REFER TO MEP PLANS FOR SLEEVES/CONDUITS FOR PARKING LOT LIGHTS, AND COMMUNICATIONS TO PROPOSED MENU BOARD. CONTRACTOR TO ENSURE THERE ARE NOT CONFLICTS BETWEEN LIGHT POLE BASES AND ANY UTILITIES.
UTILITY CONTRACTORS TO CONTACT PUBLIC UTILITY COMPANIES AND CITY OF FLORESVILLE TO CONFIRM WHAT IS NEEDED FOR A COMPLETE TURNKEY FINAL PRODUCT FOR THIS BID.

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.



**FM 720
ELDORADO PARKWAY**

BENCHMARK "A"

DESCRIPTION

COTTON SPINDLE IN UTILITY POLE
N: 13480858.22
E: 2334552.10

ELEVATION = 306.54'

NOTE:
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE BENCHMARK DEPICTED ON THIS DRAWING AND REPORT ANY DISCREPANCIES IN THE ELEVATION OR DESCRIPTION TO THE CIVIL ENGINEER IMMEDIATELY.

STORM WATER POLLUTION PREVENTION NOTES:

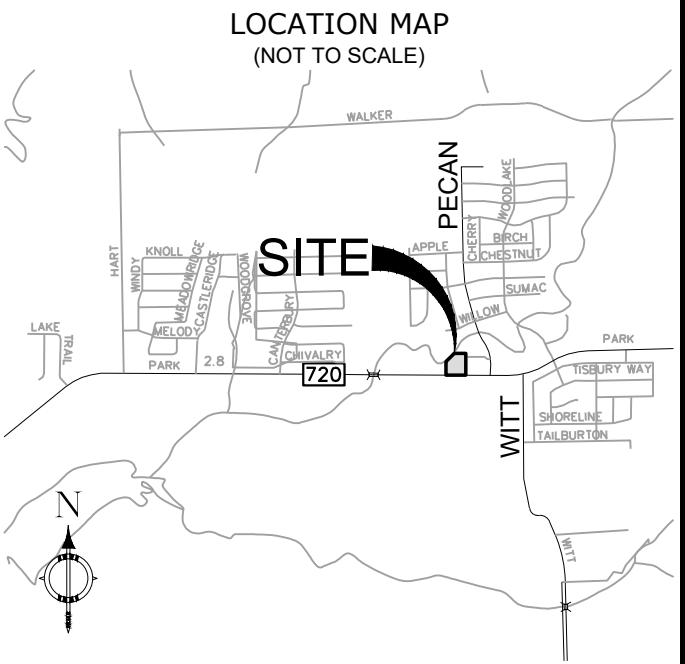
- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
- CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASHOUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN THE FIELD.
- STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
- RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
- ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
- FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TPDES STORM WATER POLLUTION PREVENTION PLAN.
- STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
- AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
- BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS.
- BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATER SHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS.
- UPON COMPLETION OF THE PROJECT AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT & EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.
- GRADING SHOWN HEREON IS APPROXIMATE ONLY. REFER TO DETAILED GRADING PLANS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

TEMPORARY POLLUTION ABATEMENT NOTES:

- CONSTRUCTION OF PARKING LOT AND DRAINAGE STRUCTURES WILL PRECEDE BUILDING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PLACING SILT FENCE ALONG THE DOWN GRADIENT SIDE OF THE DISTURBED AREA PERPENDICULAR TO THE DRAINAGE FLOW.
 - CONSTRUCTION OF BUILDINGS WITHIN THE DEVELOPMENT MAY NOT BE CONTINUOUS. THE CONTRACTOR IS RESPONSIBLE FOR PLACING SILT FENCE ALONG THE DOWN GRADIENT SIDE OF EACH PAD DURING BUILDING CONSTRUCTION. ALL SILT FENCE SHALL BE PLACED PERPENDICULAR TO DRAINAGE FLOW AS SHOWN ON EXHIBIT 3.
 - ROCK BERMS SHALL BE PLACED IN AREAS WHERE DRAINAGE FLOW IS CONCENTRATED DUE TO NATURAL CONDITIONS OR CONSTRUCTION ACTIVITIES SUCH AS AT DRAINAGE STRUCTURES. THESE BERMS WILL BE MAINTAINED UNTIL THEY ARE NO LONGER NEEDED OR UNTIL THEY ARE REPLACED WITH PERMANENT POLLUTION ABATEMENT MEASURES.
- GENERAL NOTES:
- STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
 - AS SOON AS PRACTICAL, ALL DISTURBED SOIL WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
 - ALL TEMPORARY BMP'S WILL BE REMOVED ONCE WATERSHED IS STABILIZED.
 - MUD OR DIRT INADVERTENTLY TRACKED OFF-SITE AND ONTO EXISTING STREETS SHALL BE REMOVED IMMEDIATELY BY HAND OR MECHANICAL BROOM SWEEPING.
 - UPON COMPLETION OF THE PROJECT AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.
 - PRIOR TO INITIATION OF SUBSEQUENT PHASES OF CONSTRUCTION, TEMPORARY BMP'S INCLUDING SILT FENCING, CONSTRUCTION ENTRANCE/EXIT, AND CONSTRUCTION STAGING AREA SHALL BE FIELD LOCATED AS APPROPRIATE FOR THE AREA OF CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND REMOVAL OF TEMPORARY POLLUTION ABATEMENT MEASURES THAT CONFLICT WITH SITE IMPROVEMENTS SUCH AS LANDSCAPING AND FENCES SO AS TO PREVENT SEDIMENT FROM ESCAPING THE PROJECT SITE.
 - CONTRACTOR TO NOTE THAT SITE IS SUBJECT TO A TPDES SWPPP AND A WATER POLLUTION ABATEMENT PLAN. ALL NECESSARY REPORTS AND DOCUMENTS TO BE MAINTAINED ON-SITE.

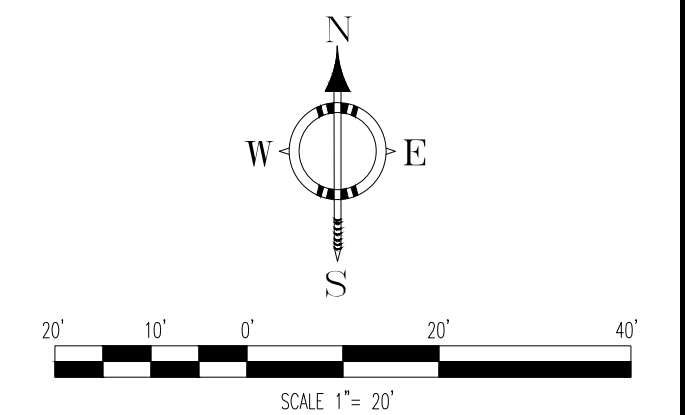
REV. NO.	DESCRIPTION	DATE

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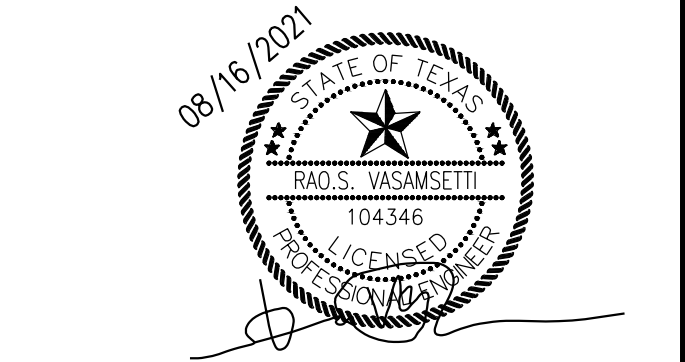


LEGEND

- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE TRUCK WASHOUT PIT
- ROCK BERM
- INLET W/PROTECTION
- ROCK BERM
- EXISTING CONTOUR
- PROPOSED CONTOUR (REPRESENT FINISHED TOP OF PAVEMENT OR TOPSOIL)
- DEFINED SWALE
- DRAINAGE FLOW (EXISTING)
- GRATE
- PROJECT LIMITS
- DISTURBED AREA LIMITS



SIGNATURE/SEAL



RCERAO'S CONSULTING ENGINEERS

TYPE PERMIT105
P.O. BOX 992891 SAN ANTONIO, TX 78298
PHONE: 210.548.7827 FAX: 512.856.4995
www.rcerasingineering.com

PROJECT DESCRIPTION:

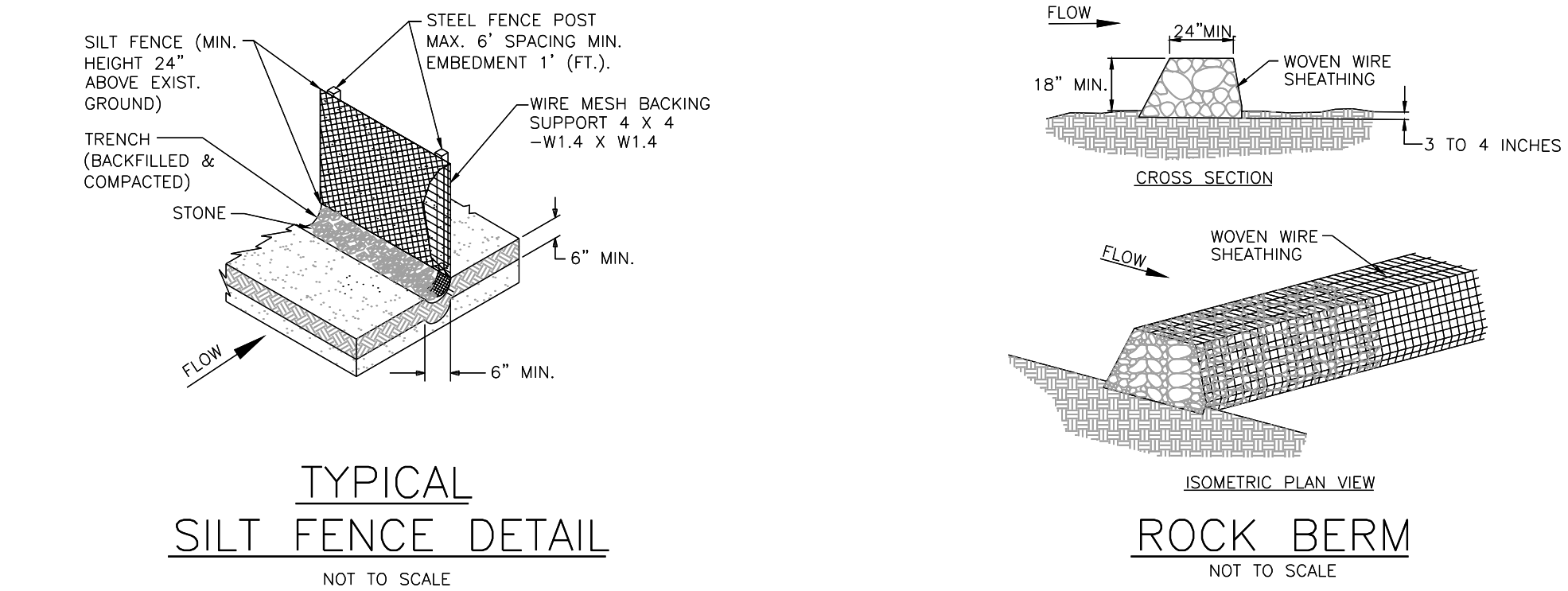
3P ELM
1728 E ELDORADO
PKWY
LITTLE ELM, TX 75068

TITLE:

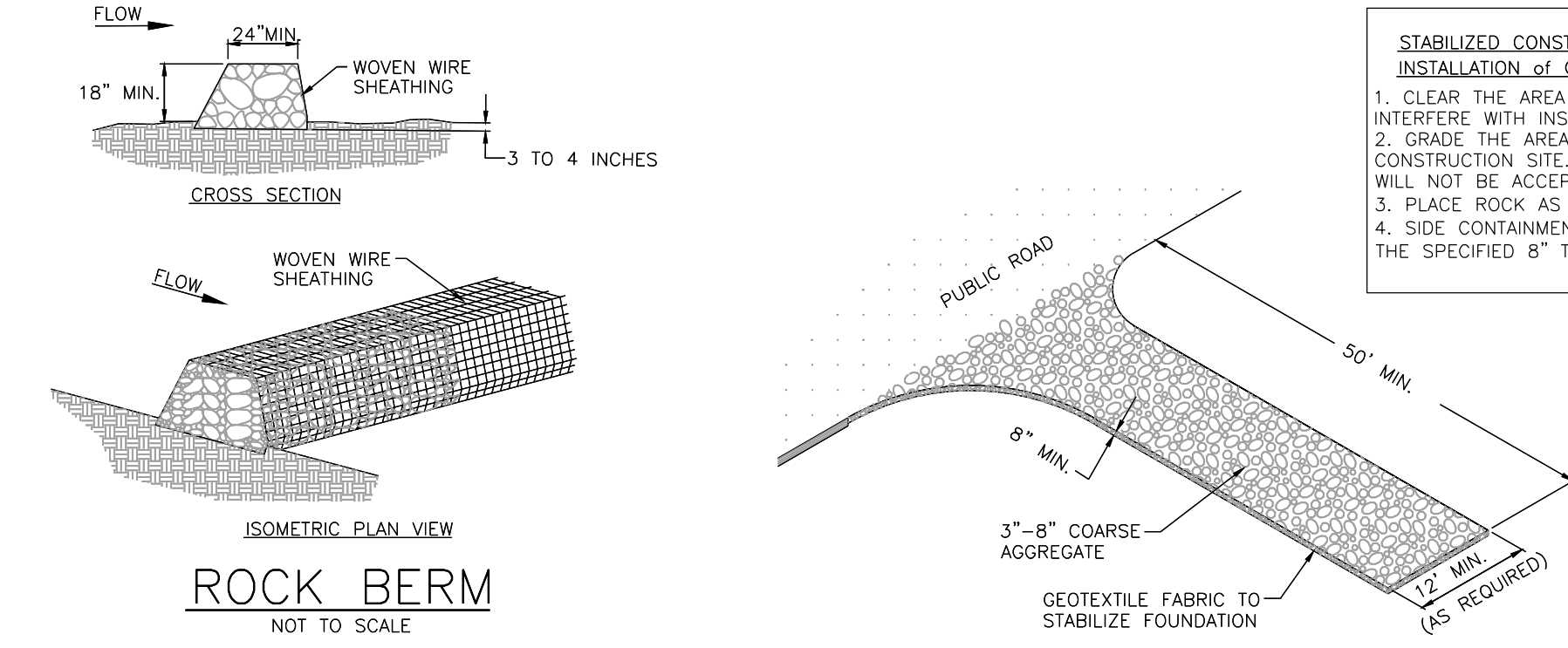
EROSION CONTROL PLAN

DATE :	12/10/20	JOB NO.	2019-875
DESIGNED BY :	RV	DRG NO.	
DRAWN BY :	MO		
CHECKED BY :	RV		

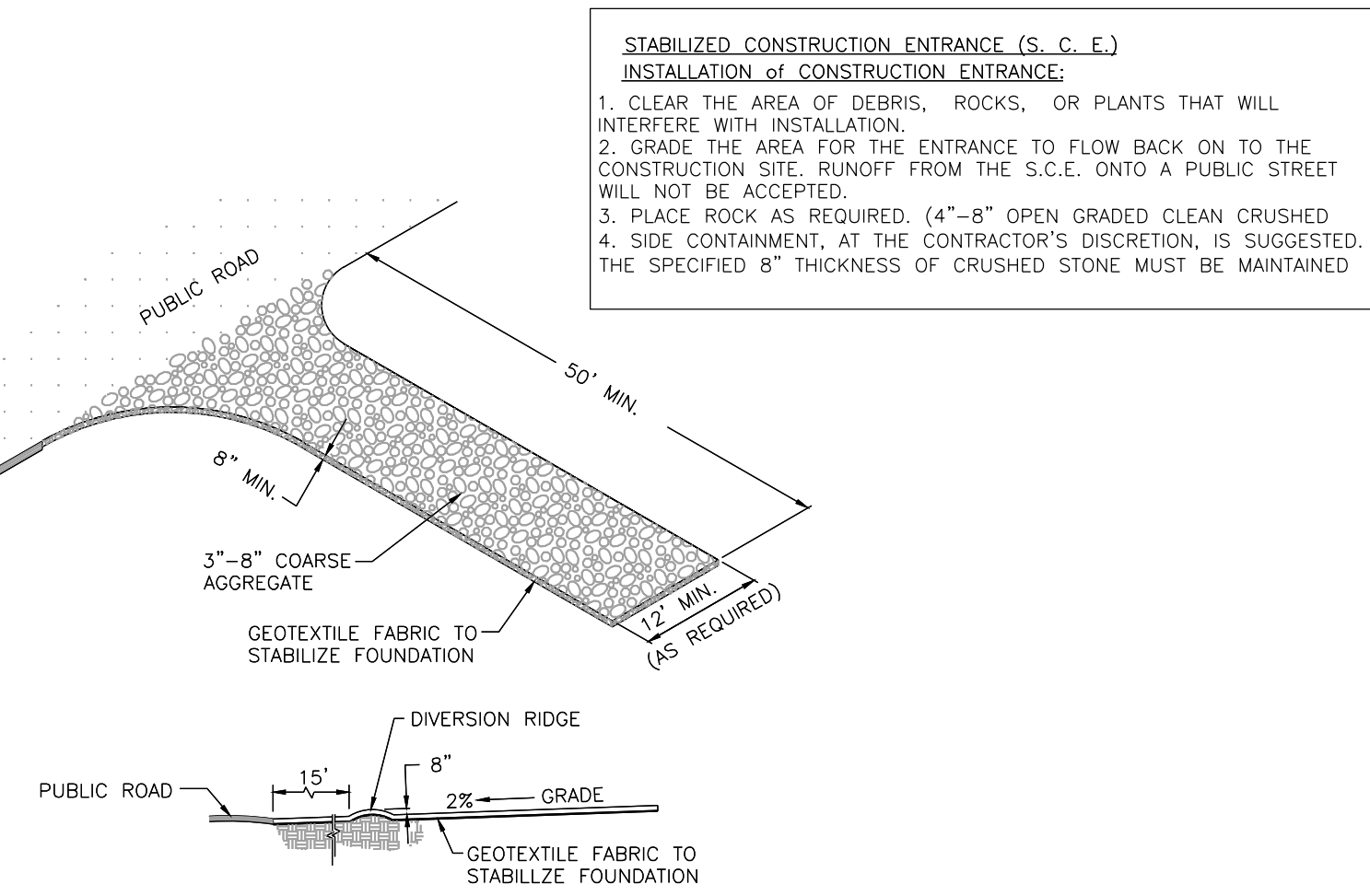
PERMIT SET



- SILT FENCE NOTES:**
- 1.) STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 1-FOOT DEEP.
 - 2.) LAY OUT FENCING DOWN-SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS 1/4 ACRE/100 FEET OF FENCE.
 - 3.) THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G., PAVEMENT OR ROCK OUTCROP), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 - 4.) THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 - 5.) SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 - 6.) INSPECT ALL FENCING WEEKLY, AND AFTER ANY RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED.
 - 7.) ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
 - 8.) REPLACE ANY TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION 6.
 - 9.) REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY. IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT WILL NOT OBSTRUCT VEHICLES. A TRIANGULAR FILTER DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS.
 - 10.) WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE REVEGETATED. THE FENCE ITSELF SHOULD BE DISPOSED OF IN A APPROVED LANDFILL.
 - 11.) DESIGNATED SILT FENCE CONSIST OF THE FOLLOWING: GEOTECHNICAL FILTER FABRIC, STRETCHED AND SECURED TO THREE FOOT HIGH WIRE FENCING AND SUPPORTED BY STEEL POSTS AT A MAXIMUM SPACING OF 6 FEET. THE BOTTOM 6 INCHES OF FABRIC SHALL BE BURIED.
 - 12.) MAINTENANCE AND INSPECTIONS SHALL BE AS DESIGNATED IN THE STORM WATER POLLUTION PREVENTION PLAN.

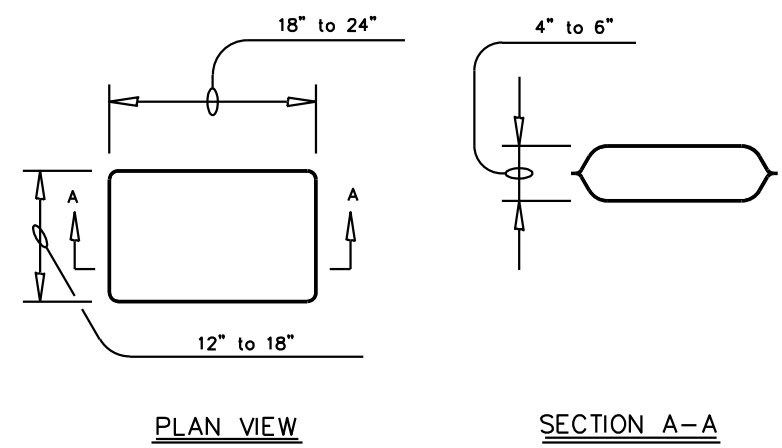


- ROCK BERM NOTES**
1. THE BERM STRUCTURE SHOULD BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE DIAMETER OF 20 GAUGE GALVANIZED AND SHOULD BE SECURED WITH SHOOT RINGS.
 2. CLEAN, OPEN GRADED 3 TO 5 INCH DIAMETER ROCK SHOULD BE USED, EXCEPT IN AREAS WHERE HIGH VELOCITIES OR LARGE VOLUMES OF FLOW ARE EXPECTED, WHERE 5 TO 8 INCH DIAMETER ROCKS MAY BE USED.
 3. BERM SHOULD HAVE A TOP WIDTH OF 2 FEET MINIMUM WITH SIDE SLOPES BEING 2:1 (H:V) OR FLATTER. HEIGHT OF ROCK BERM SHALL NOT BE LESS THAN 18".
 4. WRAP THE WIRE SHEATHING AROUND THE ROCK AND SECURE WITH THE WIRE SO THAT THE ENDS OF THE SHEATHING OVERLAP AT LEAST 2 INCHES, AND THE BERM RETAINS ITS SHAPE WHEN WALKED UPON.
 5. THE ENDS OF THE BERM SHOULD BE TIED INTO EXISTING UPSLOPE GRADE AND THE BERM SHOULD BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP.
 6. BERM SHALL BE INSTALLED PERPENDICULAR TO DIRECTION OF FLOW.
 7. INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL. FOR INSTALLATIONS IN STREAMBEDS, ADDITIONAL DAILY INSPECTIONS SHOULD BE MADE.
 8. REMOVE SEDIMENT AND OTHER DEBRIS WHEN BUILDUP REACHES 6 INCHES, DISPOSE OF THE ACCUMULATED SILT IN AN APPROVED MANNER THAT WILL NOT CAUSE ANY ADDITIONAL SILTATION.
 9. THE BERM SHOULD BE RESHAPED AND REPAIRED AS NEEDED DURING INSPECTION.
 10. THE BERM SHOULD BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
 11. THE ROCK BERM SHOULD BE LEFT IN PLACE UNTIL ALL UPSTREAM AREAS ARE STABILIZED AND ACCUMULATED SITE REMOVED.



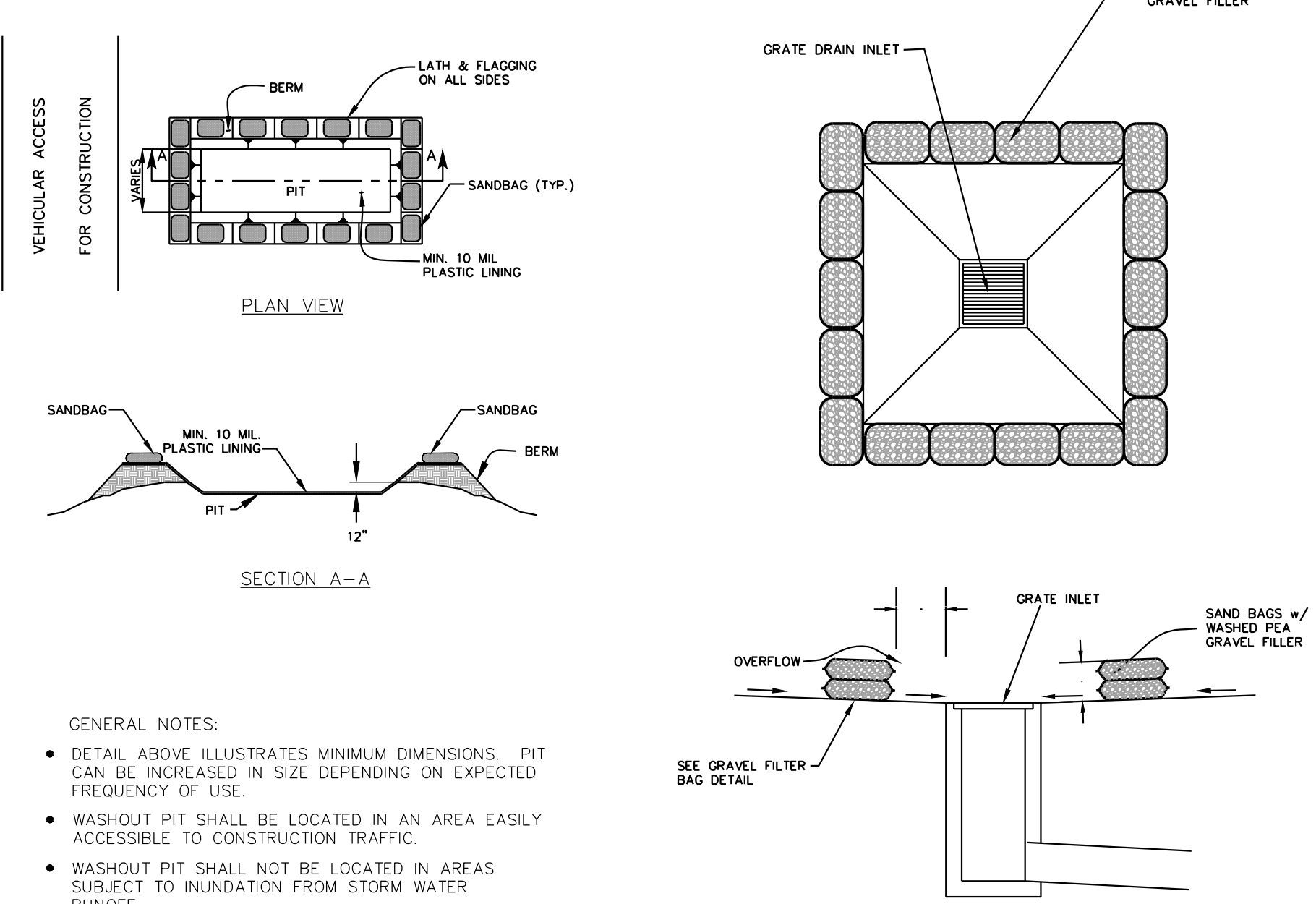
STABILIZED CONSTRUCTION ENTRANCE

- INSTALLATION:**
- (1) AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES. REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.
 - (2) THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.
 - (3) THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
 - (4) IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
 - (5) PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
 - (6) PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE.
 - (7) DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.
 - (8) INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
- COMMON TROUBLE POINTS:**
- (1) INADEQUATE RUNOFF CONTROL-SEDIMENT WASHES ONTO PUBLIC ROAD.
 - (2) STONE TOO SMALL OR GEOTEXTILE FABRIC ABSENT, RESULTS IN MUDDY CONDITION AS STONE IS PRESSED INTO SOIL.
 - (3) PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC-EXTEND PAD BEYOND THE MINIMUM 50 FOOT LENGTH AS NECESSARY.
 - (4) PAD NOT FLARED SUFFICIENTLY AT ROAD SURFACE, RESULTS IN MUD BEING TRACKED ON TO ROAD AND POSSIBLE DAMAGE TO ROAD.
 - (5) UNSTABLE FOUNDATION - USE GEOTEXTILE FABRIC UNDER PAD AND/OR IMPROVE FOUNDATION DRAINAGE.
- INSPECTION AND MAINTENANCE GUIDELINES:**
- (1) THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - (2) ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.
 - (3) WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - (4) WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - (5) ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.



- The filter bag material shall be made of polypropylene, polyethylene or polyamide woven fabric, min. unit weight of 4 ounces/sy, have a Mullen burst strength exceeding 300 psi and ultraviolet stability exceeding 70%.
- The filter bag shall be filled with clean, medium (washed pea gravel) to coarse gravel (0.31 to 0.75 inch diameter).
- Sand shall NOT be used to fill the filter bags.

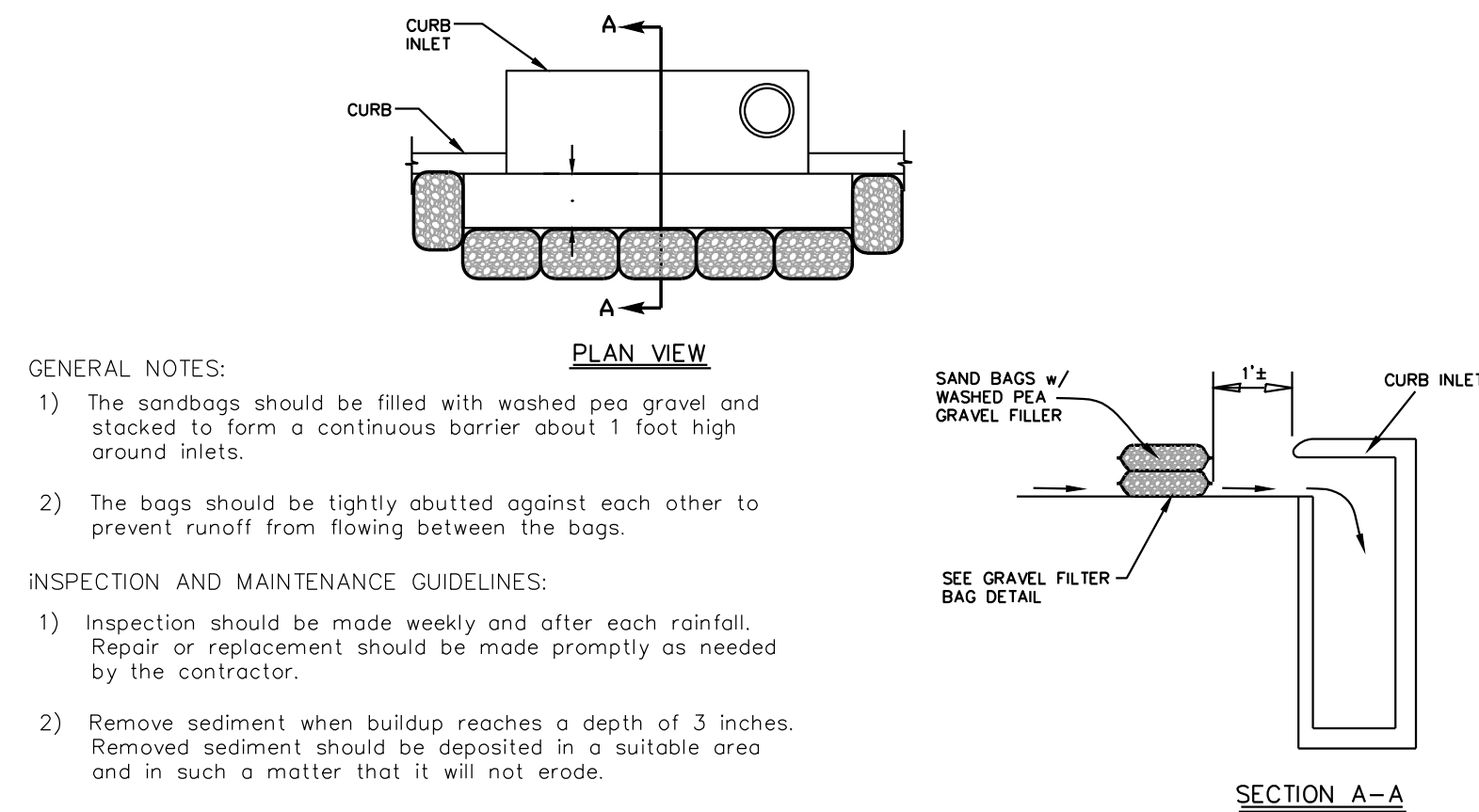
GRAVEL FILTER BAG DETAIL



- GENERAL NOTES:**
- DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.
 - WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
 - WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF.
 - LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES, OR WATER BODIES.
 - TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE CONSTRUCTED WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
- MATERIALS:**
- PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- MAINTENANCE:**
- WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF.
 - MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.
 - HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.
- GENERAL NOTES:**
- 1) The sandbags should be filled with washed pea gravel and stacked to form a continuous barrier about 1 foot high around inlets.
 - 2) The bags should be tightly abutted against each other to prevent runoff from flowing between the bags.
- INSPECTION AND MAINTENANCE GUIDELINES:**
- 1) Inspection should be made weekly and after each rainfall. Repair or replacement should be made promptly as needed by the contractor.
 - 2) Remove sediment when buildup reaches a depth of 3 inches. Removed sediment should be deposited in a suitable area and in such a matter that it will not erode.
 - 3) Check placement of device to prevent gaps between device and curb.
 - 4) Inspect filter fabric and patch or replace if torn or missing.
 - 5) Structures should be removed and the area stabilized only after the remaining drainage area has been properly stabilized.

BAGGED GRAVEL GRATE INLET PROTECTION

CONCRETE TRUCK WASHOUT PIT

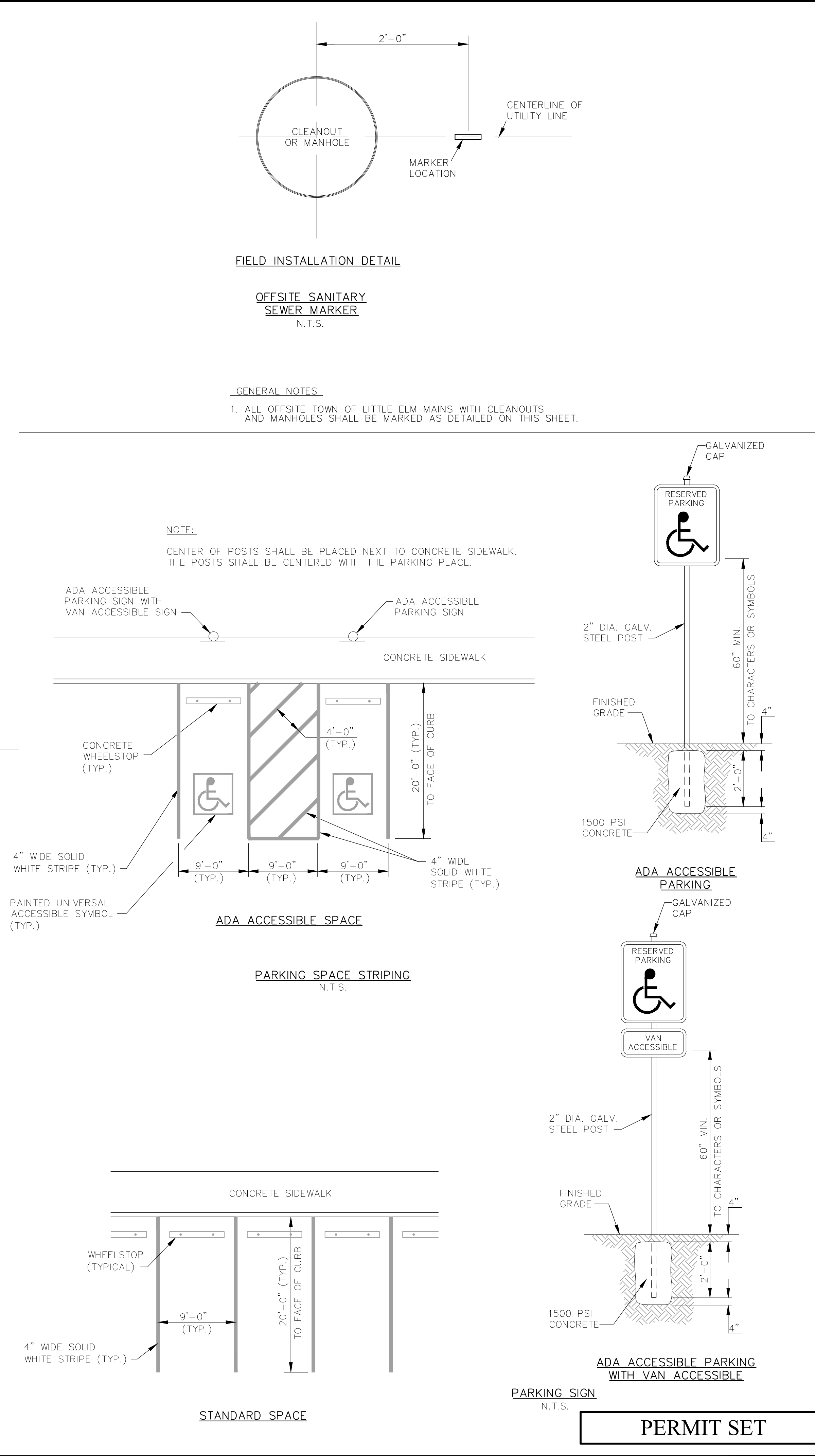
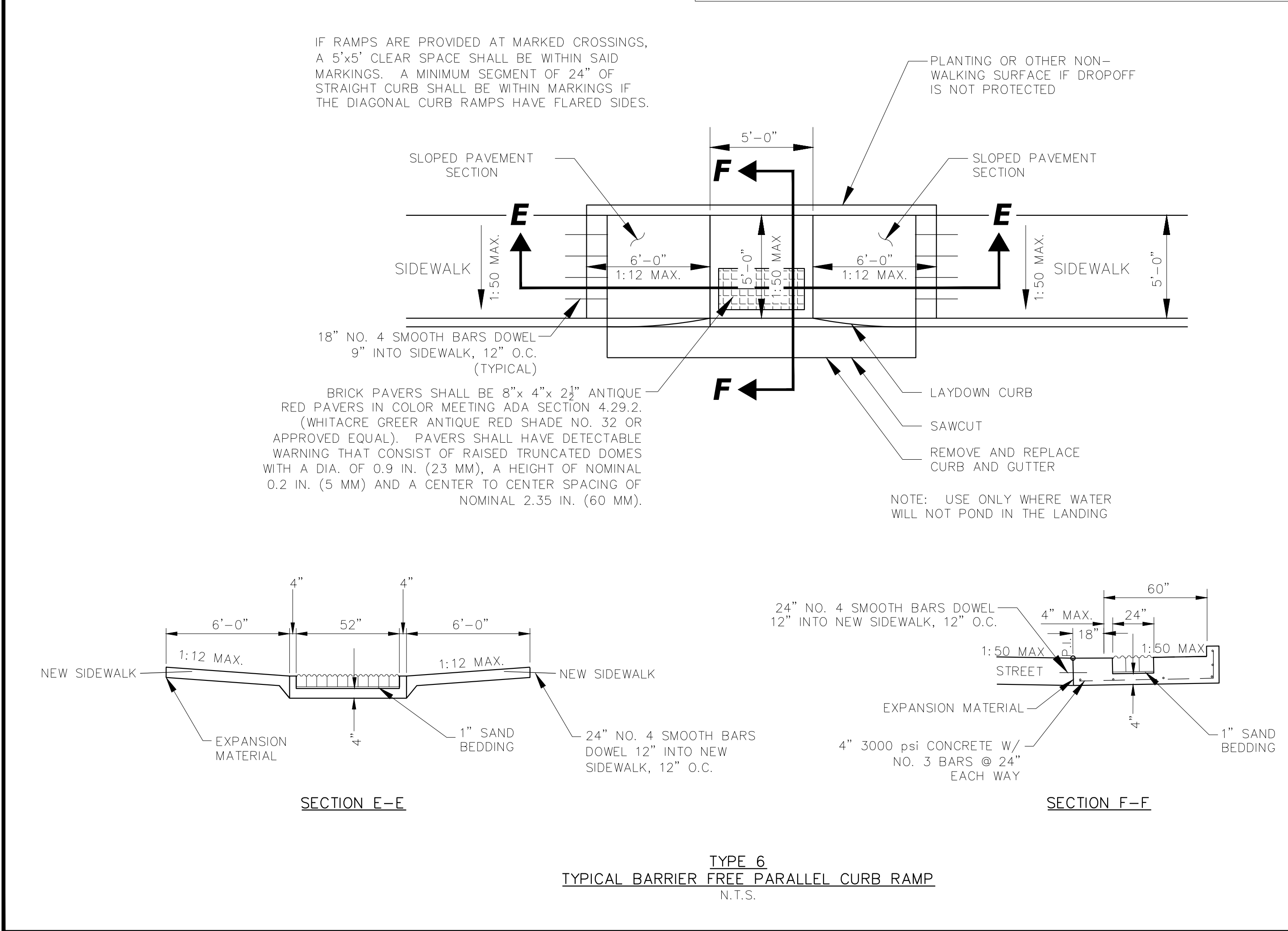
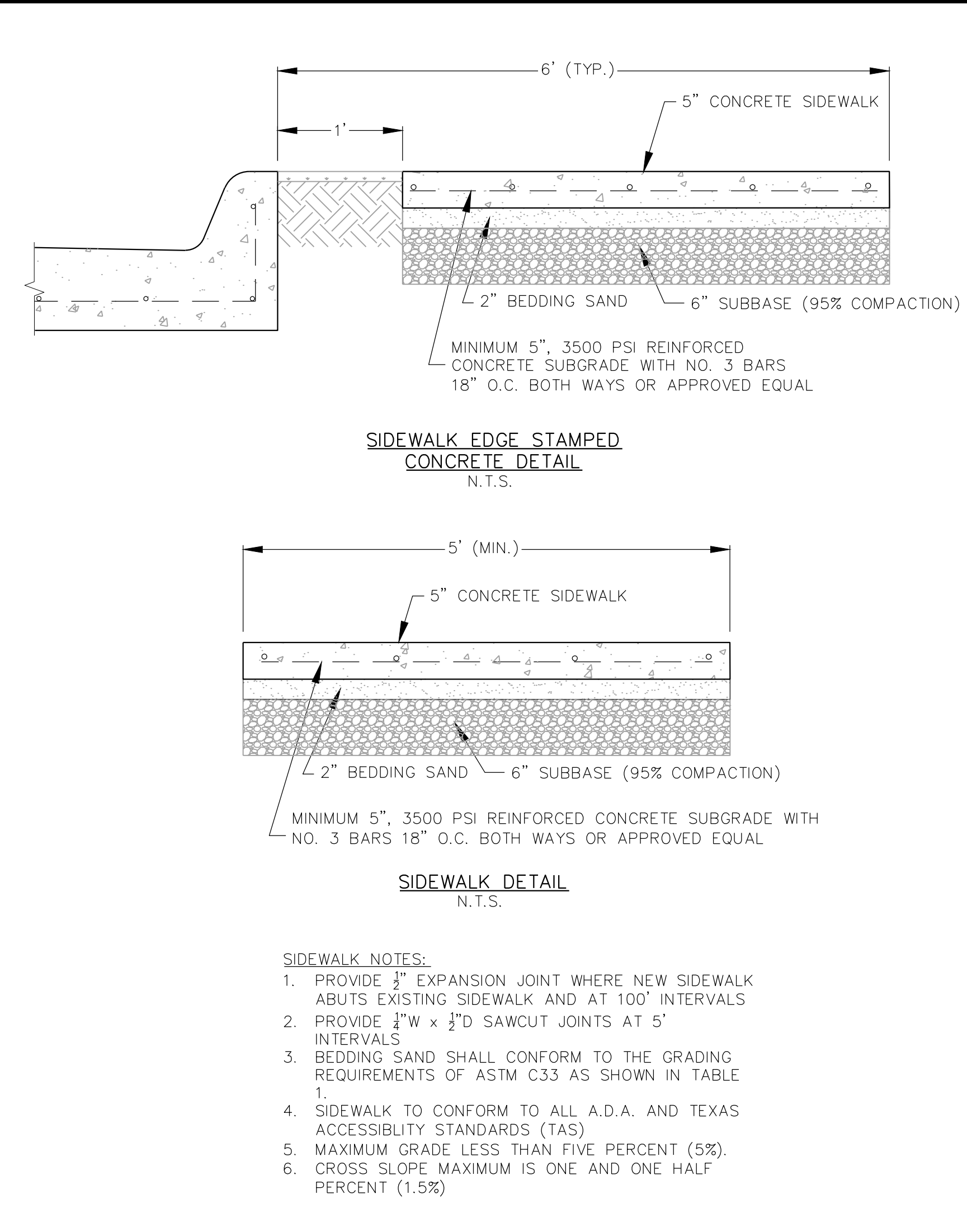
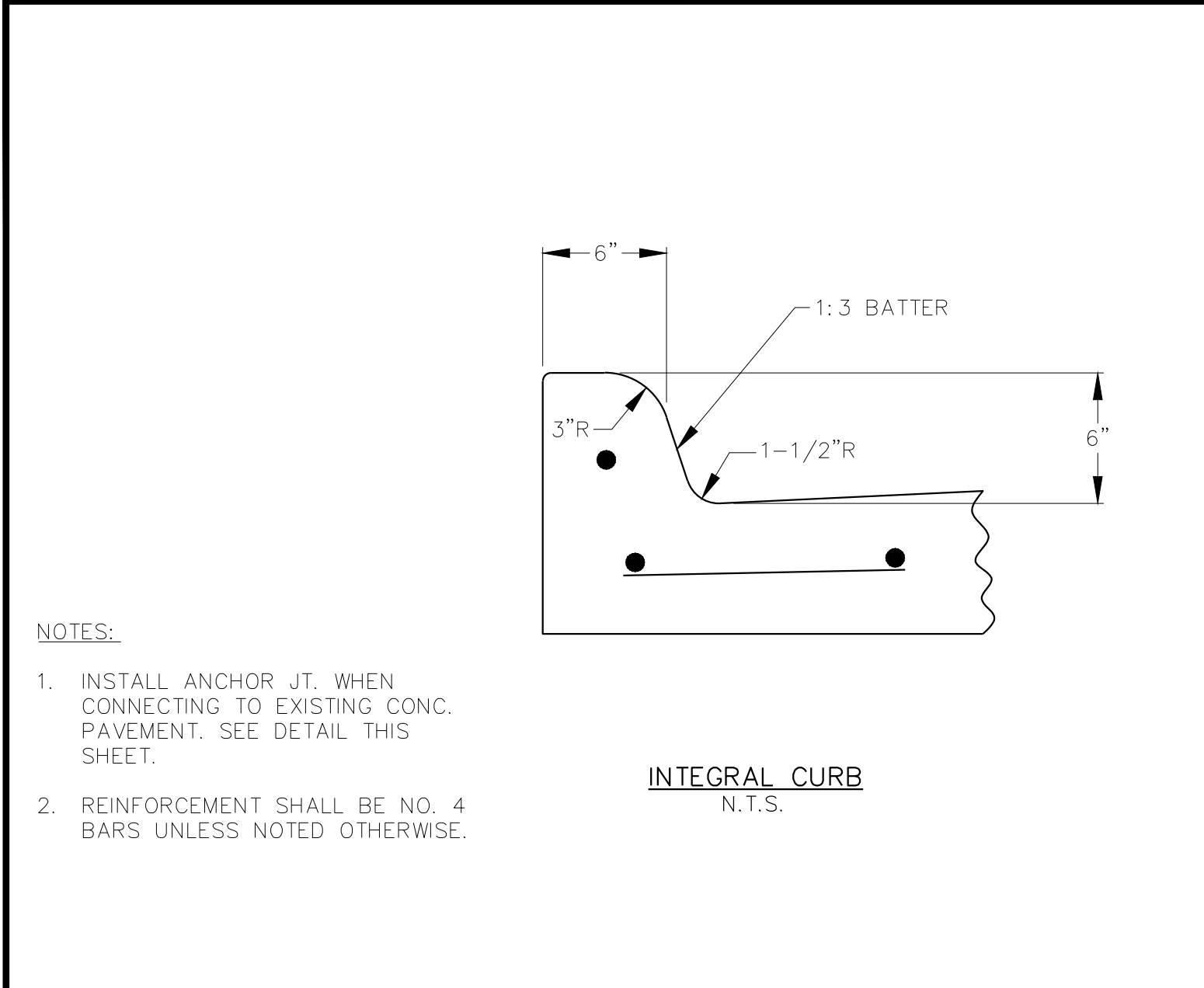


- GENERAL NOTES:**
- 1) The sandbags should be filled with washed pea gravel and stacked to form a continuous barrier about 1 foot high around inlets.
 - 2) The bags should be tightly abutted against each other to prevent runoff from flowing between the bags.
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 - 3) Check placement of device to prevent gaps between device and curb.
 - 4) Inspect filter fabric and patch or replace if torn or missing.
 - 5) Structures should be removed and the area stabilized only after the remaining drainage area has been properly stabilized.

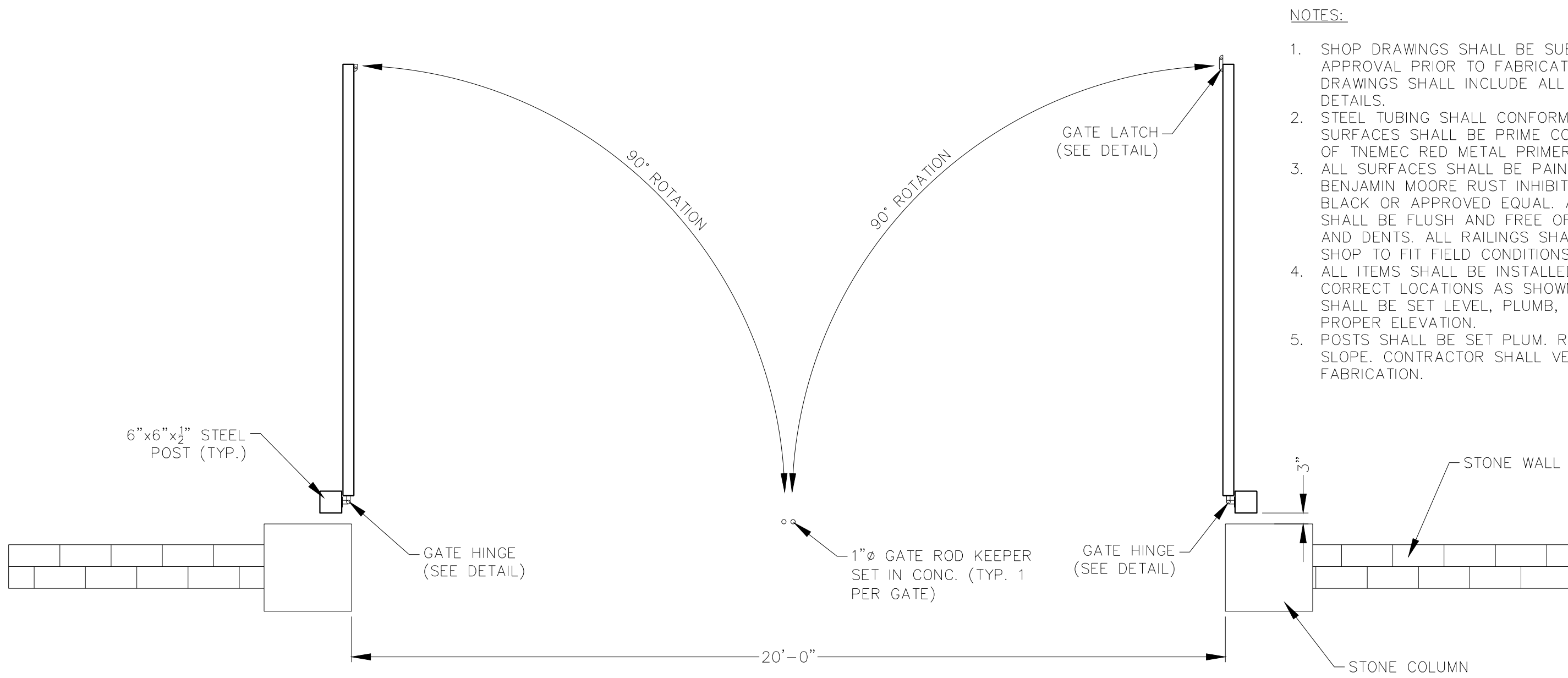
BAGGED GRAVEL CURB INLET PROTECTION

REV. NO.	DESCRIPTION	DATE
Notes:		
LOCATION MAP (NOT TO SCALE)		
LEGEND		
SIGNATURE/SEAL		
PROJECT DESCRIPTION:		
TITLE:		
DATE :		
DRAWN BY :		
CHECKED BY :		

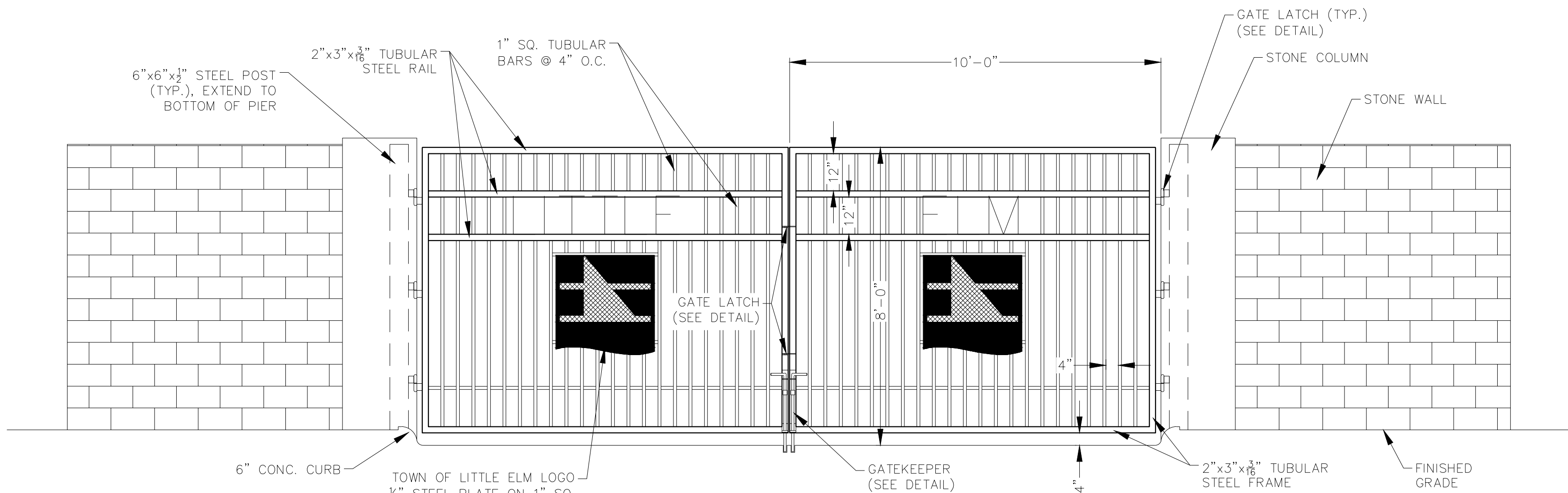
PERMIT SET



REV. NO.	DESCRIPTION	DATE
Notes:		
<p>LOCATION MAP (NOT TO SCALE)</p>		
LEGEND		
SIGNATURE/SEAL		
<p>RCE RAO'S CONSULTING ENGINEERS</p> <p>TYPE PERMITTING P.O. BOX 992991 SAN ANTONIO, TX 78299 PHONE: 210.548.7827 FAX: 912.856.4895 www.rceengineering.com</p>		
PROJECT DESCRIPTION:		
<p>3P ELM 1728 E ELDORADO PKWY LITTLE ELM, TX 75068</p>		
TITLE:		
DETAIL SHEET		
DATE :	12/10/20	JOB NO. 2019-875
DESIGNED BY : RV		DRG NO.
DRAWN BY : MO		
CHECKED BY : RV		C5.00

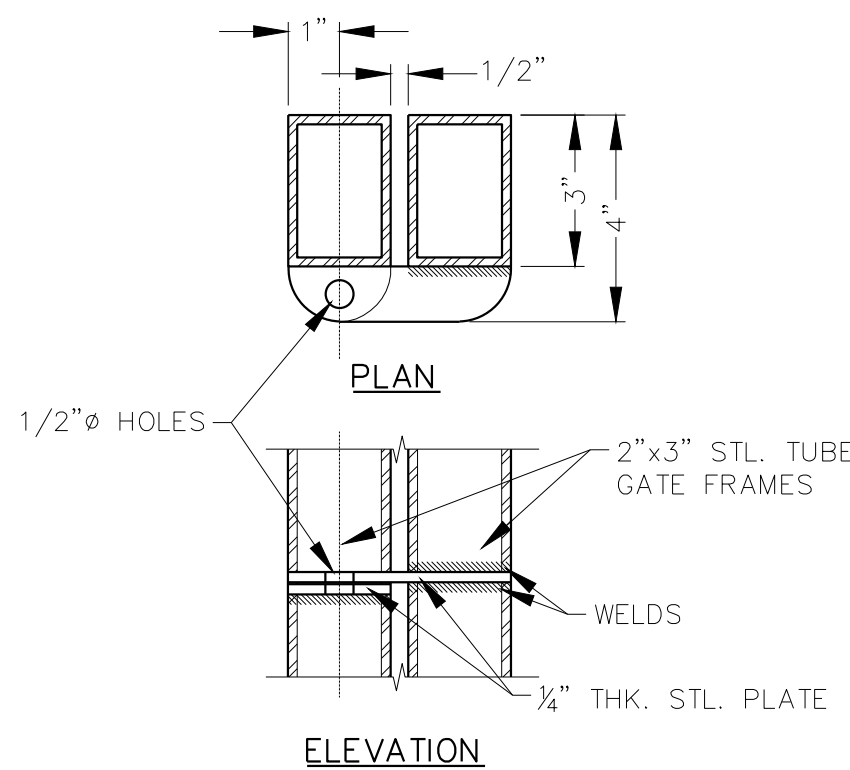


PLAN VIEW



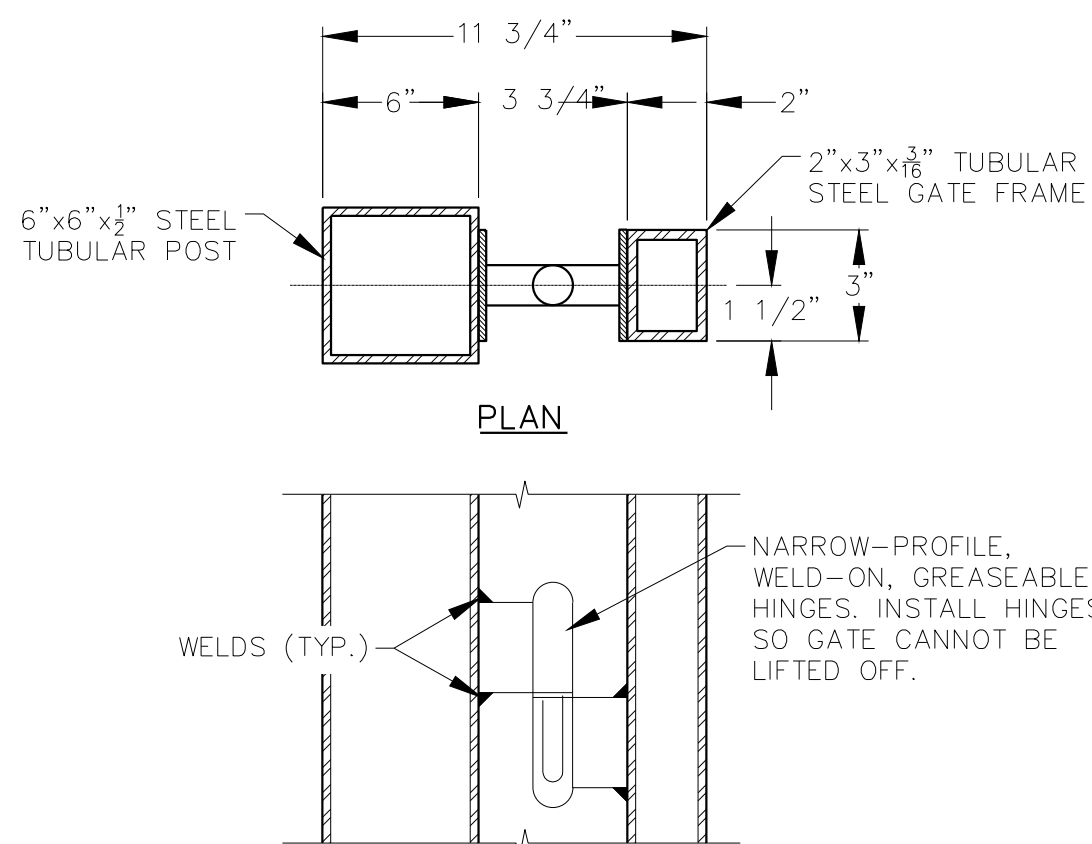
ELEVATION

20'-0" DOUBLE SWING GATE
N.T.S.



ELEVATION

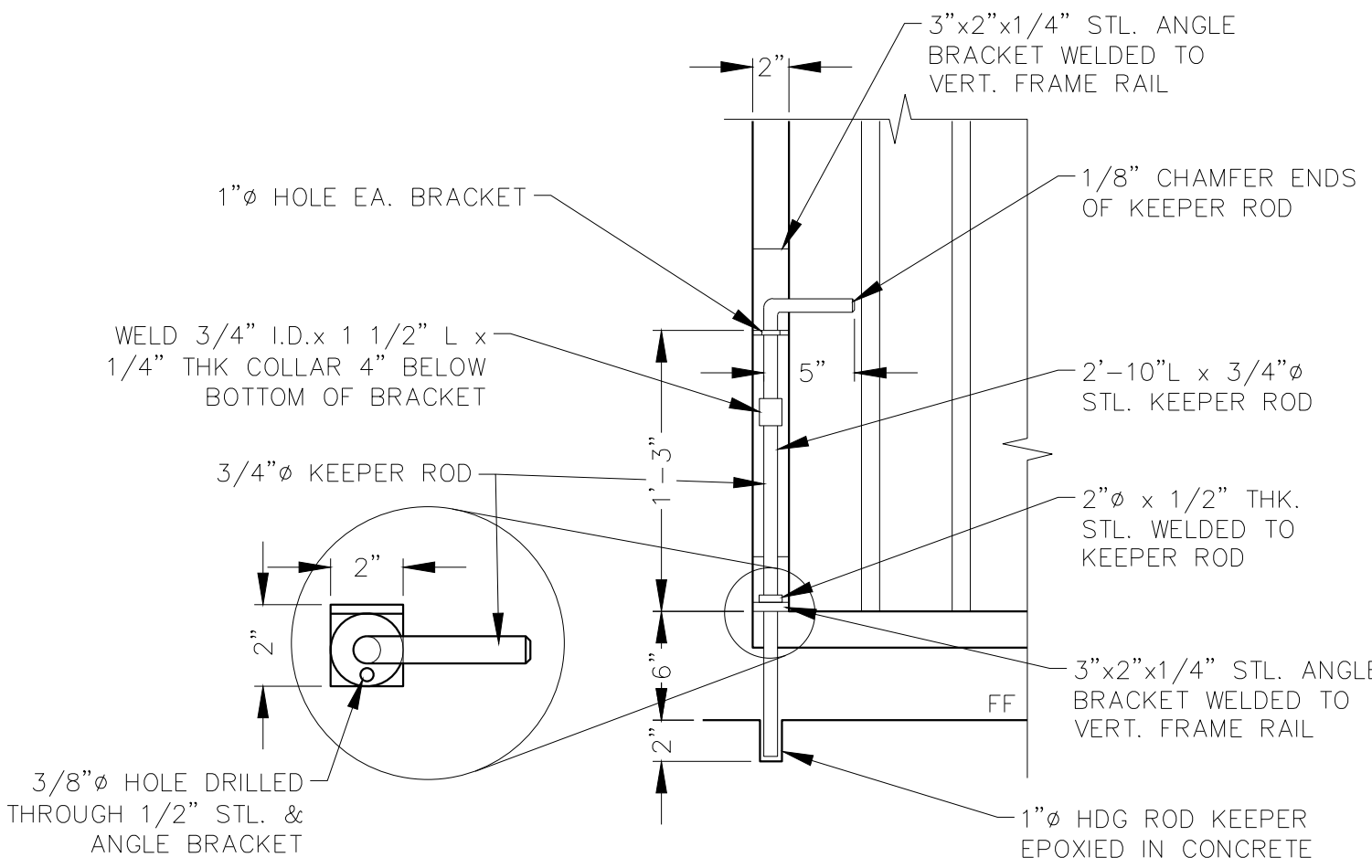
GATE LATCH DETAIL
N.T.S.



PLAN

ELEVATION

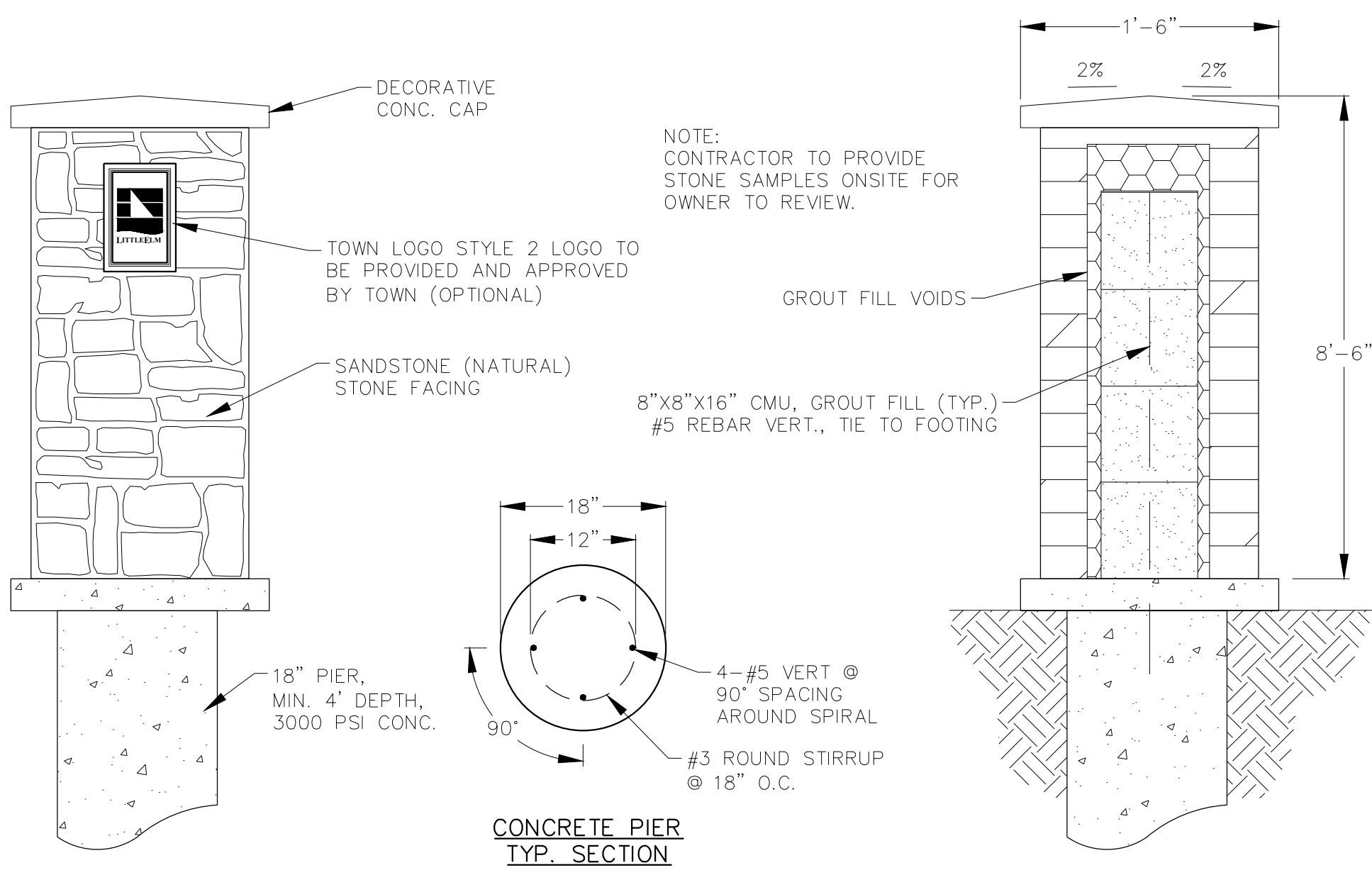
GATE HINGE DETAIL
N.T.S.



GATE KEEPER ROD DETAIL
N.T.S.

NOTES:

1. SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION OF ALL ITEMS. SHOP DRAWINGS SHALL INCLUDE ALL SHOP AND ERECTION DETAILS.
2. STEEL TUBING SHALL CONFORM TO ASTM A500, GR B. ALL SURFACES SHALL BE PRIME COAT PAINTED WITH 2 COATS OF TNEDEC RED METAL PRIMER.
3. ALL SURFACES SHALL BE PAINTED WITH 2 COATS OF BENJAMIN MOORE RUST INHIBITOR PAINT SEMI-GLOSS, BLACK OR APPROVED EQUAL. ALL TUBES AND FITTINGS SHALL BE FLUSH AND FREE OF SHARP EDGES, SPURS, AND DENTS. ALL RAILINGS SHALL BE FABRICATED IN THE SHOP TO FIT FIELD CONDITIONS.
4. ALL ITEMS SHALL BE INSTALLED AND SET IN THEIR CORRECT LOCATIONS AS SHOWN ON THE DRAWINGS. THEY SHALL BE SET LEVEL, PLUMB, SQUARE, AND AT THE PROPER ELEVATION.
5. POSTS SHALL BE SET PLUMB. RAILS SHALL FOLLOW THE SLOPE. CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO FABRICATION.

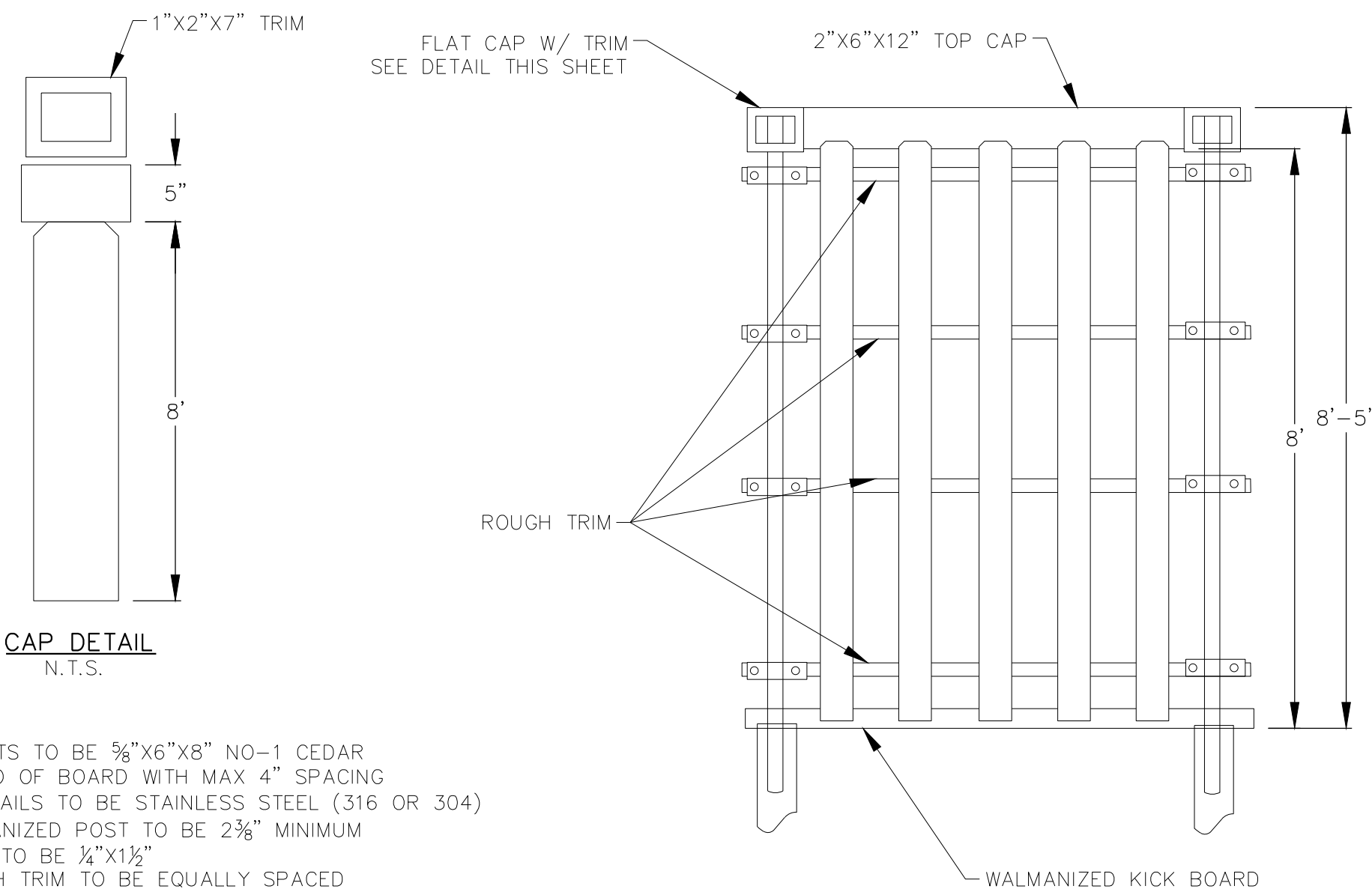


WITH TOWN LOGO

CONCRETE PIER
TYP. SECTION

STONE COLUMN DETAIL
N.T.S.

REINFORCEMENT

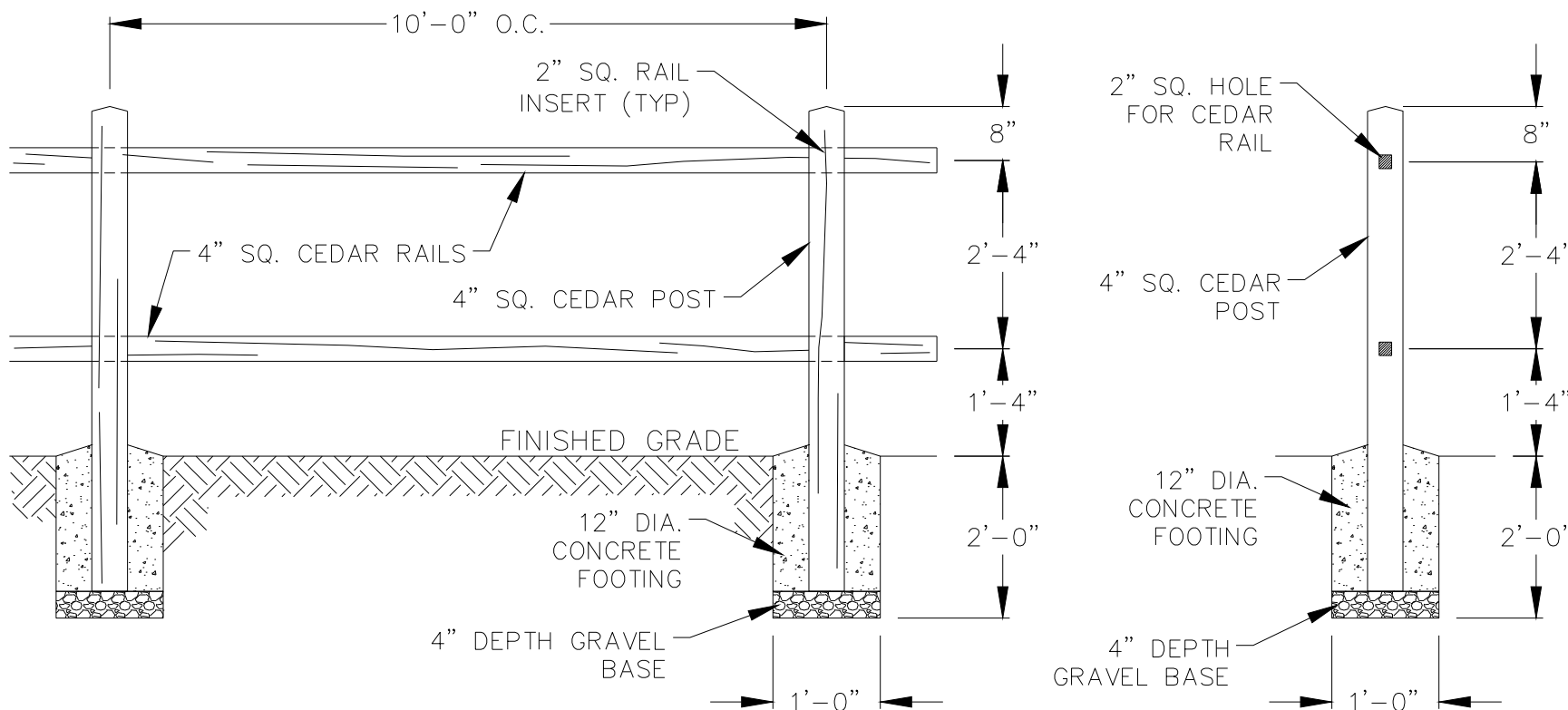


CAP DETAIL
N.T.S.

NOTES:

1. PICKETS TO BE $\frac{5}{8}$ "x6"x8" NO-1 CEDAR
2. BOARD OF BOARD WITH MAX 4" SPACING
3. ALL NAILS TO BE STAINLESS STEEL (316 OR 304)
4. GALVANIZED POST TO BE 2 $\frac{3}{8}$ " MINIMUM
5. LAGS TO BE $\frac{1}{4}$ "x1 $\frac{1}{2}$ "
6. ROUGH TRIM TO BE EQUALLY SPACED
7. CONCRETE PIERS TO BE 12" DIAMETER, 3'-6" MINIMUM DEPTH 3000 PSI CONCRETE.
8. ALL CEDAR MATERIAL TO BE PRE-STAINED. STAIN SAMPLE SHALL BE APPROVED BY TOWN PRIOR TO INSTALLATION.
9. STONE COLUMNS TO BE INSTALL AT CORNERS AND MIDPOINT OF FENCE SECTION, UNLESS OTHERWISE INDICATED ON PLANS.
10. FENCING SHALL MATCH THE EXISTING CEDAR FENCING INSTALLED AROUND THE LITTLE ELM SERVICE CENTER.

BOARD ON BOARD CEDAR FENCE
N.T.S.



NOTES:

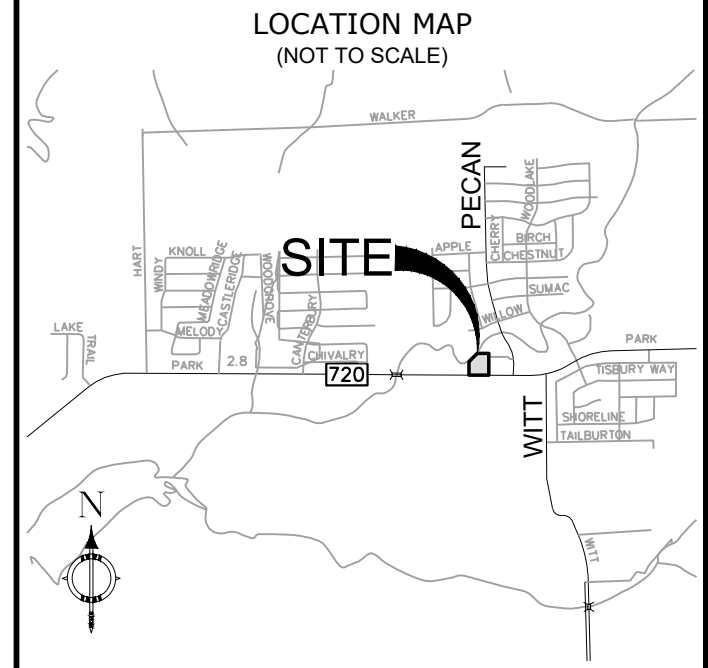
1. FENCE SHALL BE CONSTRUCTED OF WESTERN RED CEDAR.

SPLIT RAIL FENCE DETAIL
N.T.S.

PERMIT SET

REV. NO.	DESCRIPTION	DATE

Notes:



LEGEND

SIGNATURE/SEAL

RCERAO'S CONSULTING ENGINEERS

TYPE PERMITTING
P.O. BOX 992891 SAN ANTONIO, TX 78298
PHONE: 210.548.7827 FAX: 912.856.4895
www.rceraoengineering.com

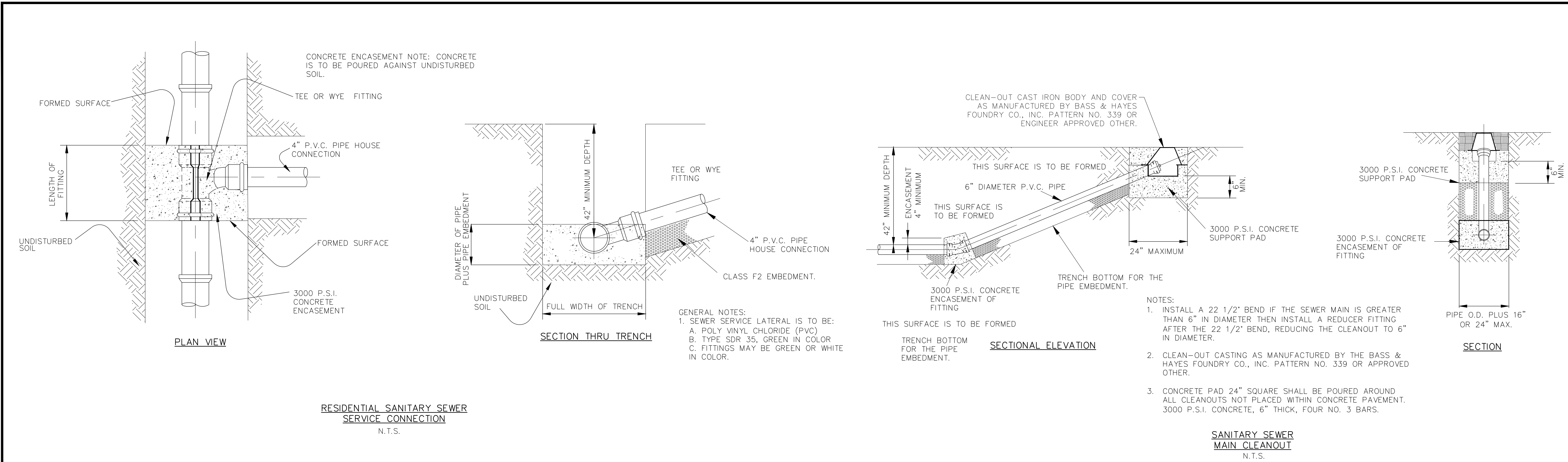
PROJECT DESCRIPTION:

3P ELM
1728 E ELDORADO
PKWY
LITTLE ELM, TX 75068

TITLE:

DETAIL SHEET

DATE :	12/10/20	JOB NO.	2019-875
DESIGNED BY :	RV	DRG NO.	C5.10
DRAWN BY :	MO		
CHECKED BY :	RV		



REV. NO.	DESCRIPTION	DATE

Notes:

LOCATION MAP
(NOT TO SCALE)

LEGEND

SIGNATURE/SEAL

RCERAO'S CONSULTING
ENGINEERS

TYPE PERMITTING
P.O. BOX: 992891 SAN ANTONIO, TX 78298
PHONE: 210.548.7687 FAX: 912.856.4895
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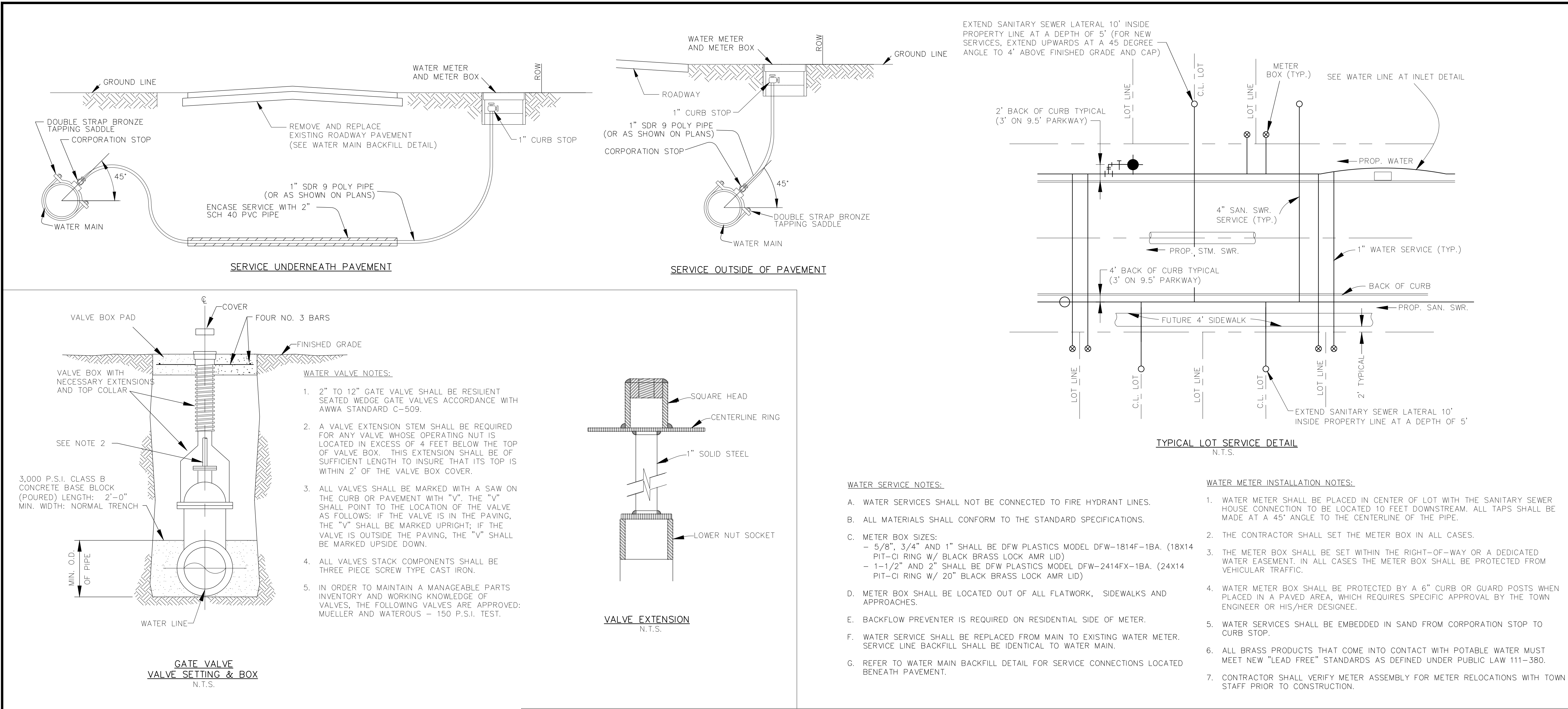
PROJECT DESCRIPTION:

**3P ELM
1728 E ELDORADO
PKWY
LITTLE ELM, TX 75068**

TITLE:
DETAIL SHEET

DATE :	12/10/20	JOB NO.	2019-875
DESIGNED BY :	RV	DRG NO.	C5.20
DRAWN BY :	MO		
CHECKED BY :	RV		

PERMIT SET



REV. NO.	DESCRIPTION	DATE
Notes:		
LOCATION MAP (NOT TO SCALE)		
LEGEND		
SIGNATURE/SEAL		
PROJECT DESCRIPTION:		
3P ELM 1728 E ELDORADO PKWY LITTLE ELM, TX 75068		
TITLE:		
DETAIL SHEET		
DATE :	12/10/20	JOB NO. 2019-875
DESIGNED BY : RV		DRG NO.
DRAWN BY : MO		
CHECKED BY : RV		C5.30

PERMIT SET

RCERAOS CONSULTING ENGINEERS

TYPE PERMITTING
P.O. BOX 992891 SAN ANTONIO, TX 78298
PHONE: 210.548.7887 FAX: 912.856.4895
www.rceraoengineering.com

PROJECT DESCRIPTION:

3P ELM
1728 E ELDORADO
PKWY
LITTLE ELM, TX 75068

TITLE:

DETAIL SHEET

DATE : 12/10/20

DESIGNED BY : RV

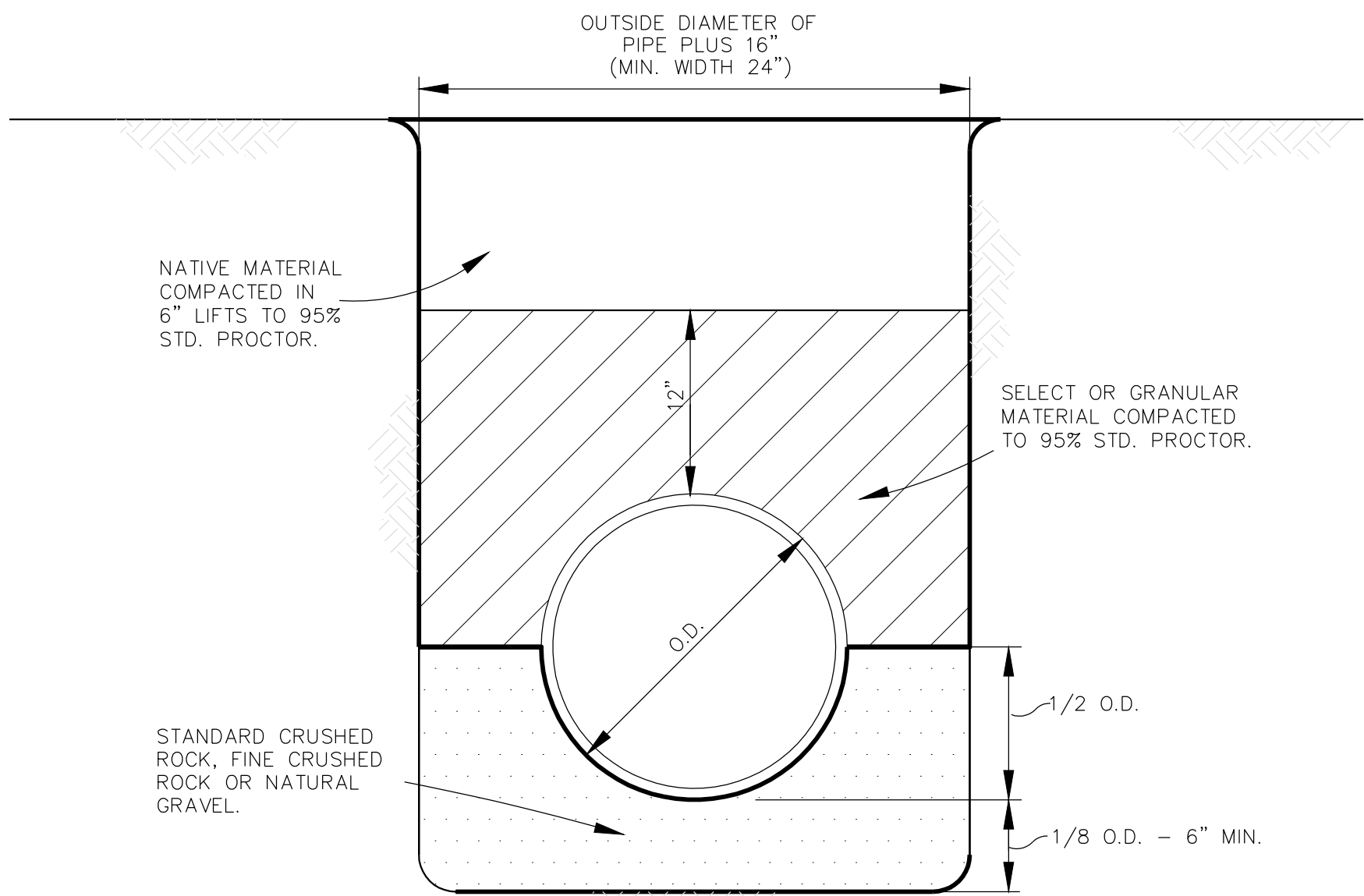
DRAWN BY : MO

CHECKED BY : RV

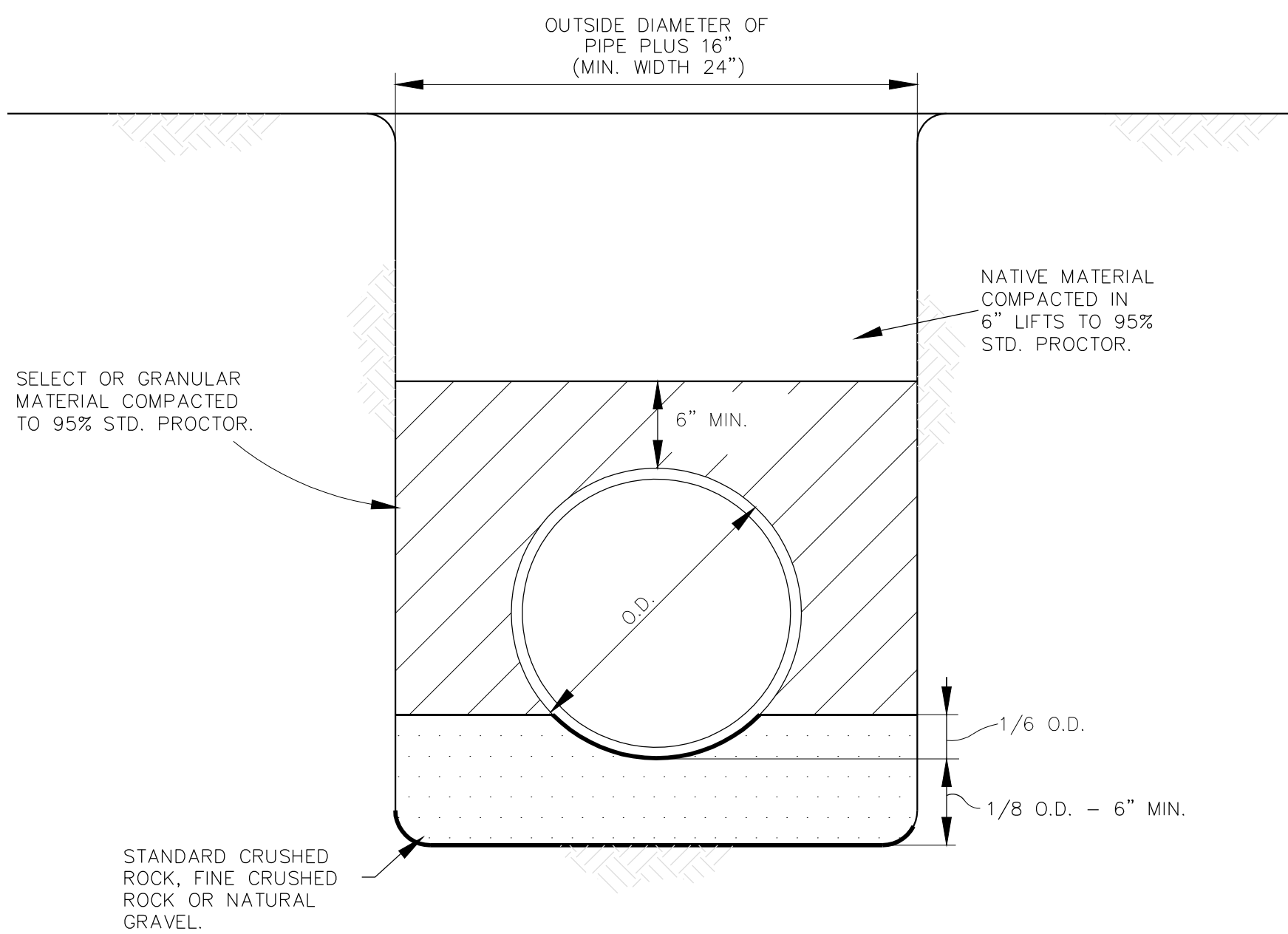
JOB NO. 2019-875

DRG NO.

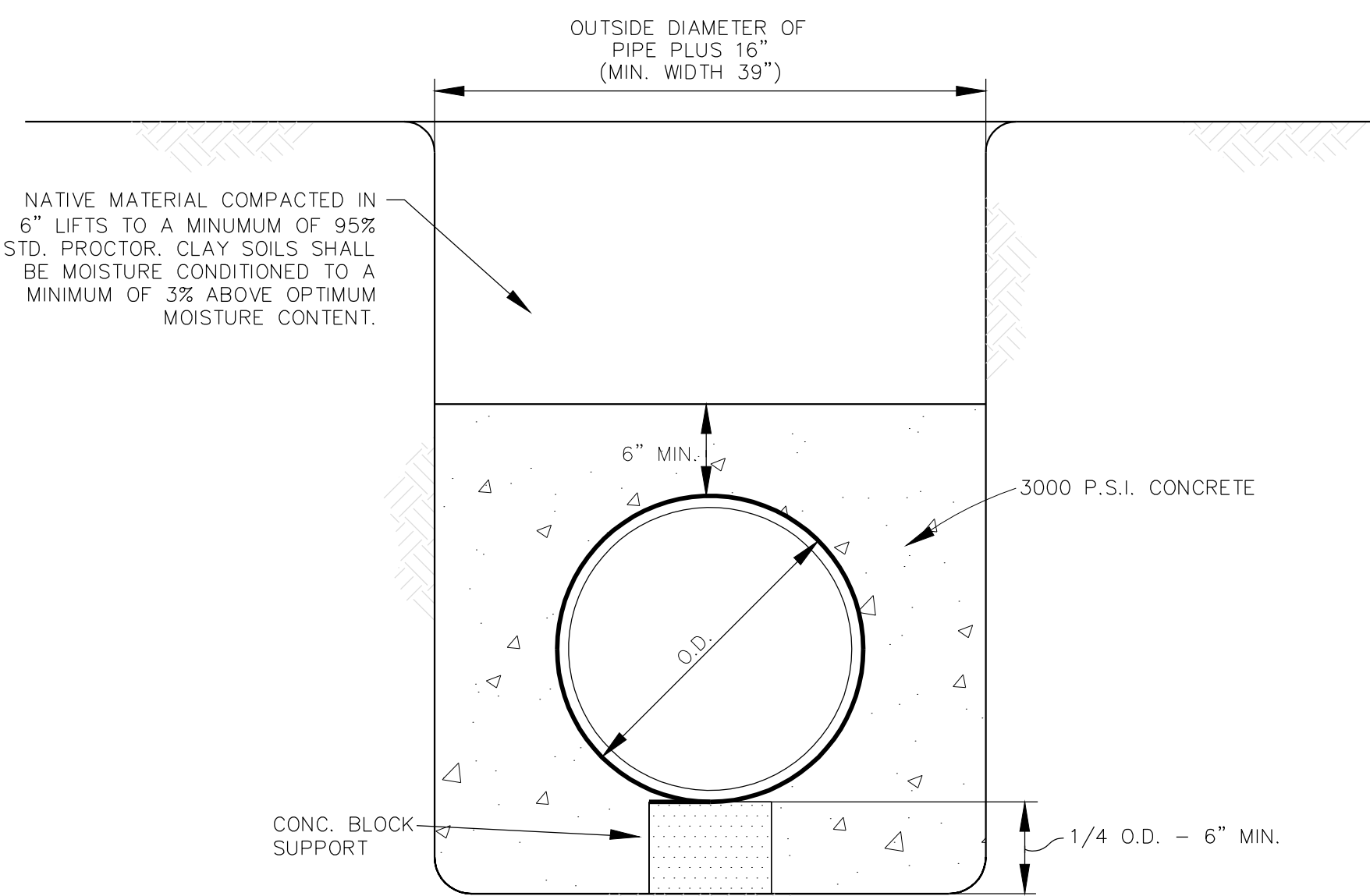
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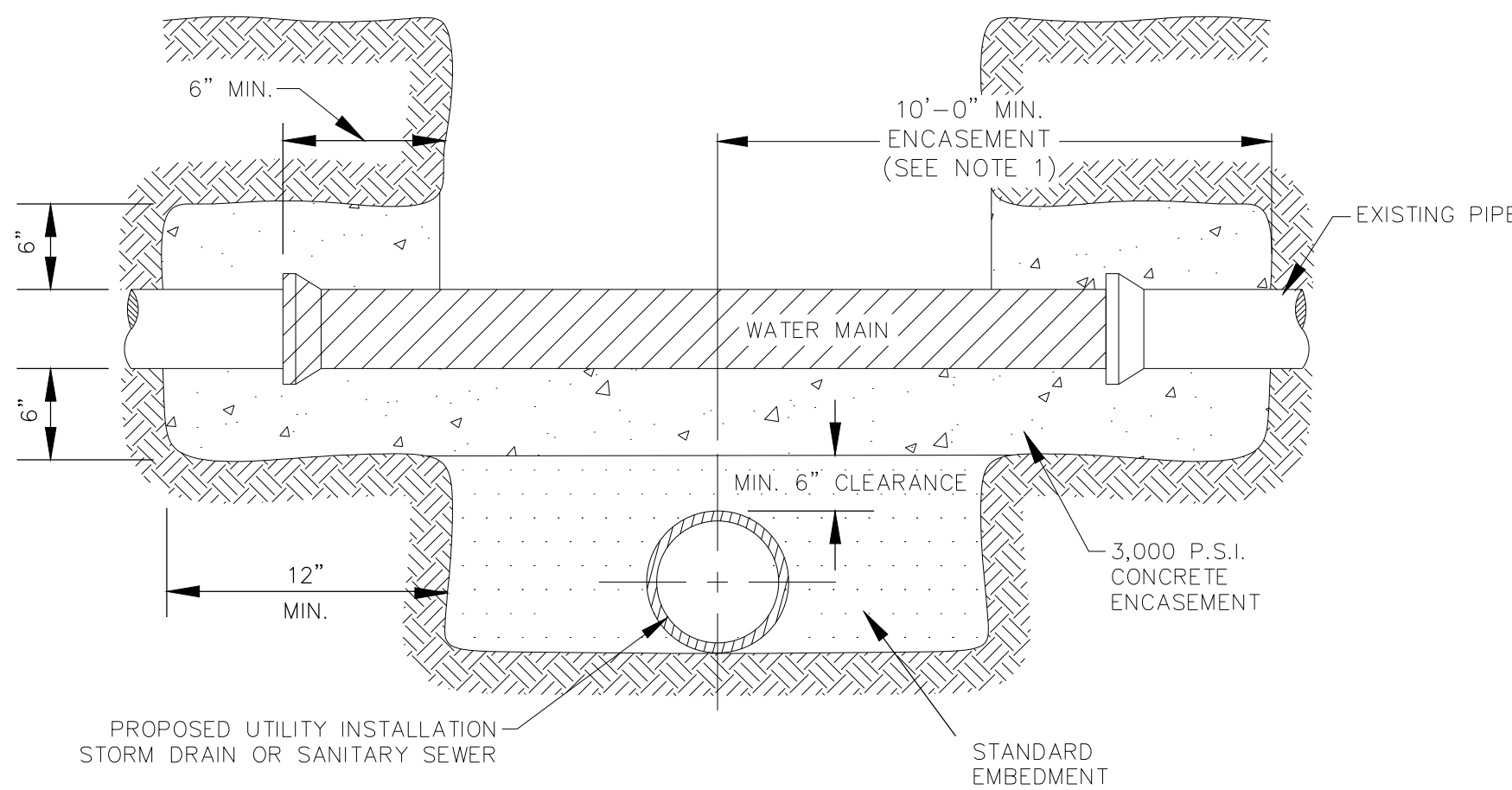
MIN. STD P.V.C. WATER
N.T.S.
CLASS F1 EMBEDMENT



MIN. STD. DUCTILE IRON WATER
MIN. STD. R.C.C.P. WATER
N.T.S.
CLASS F3 EMBEDMENT



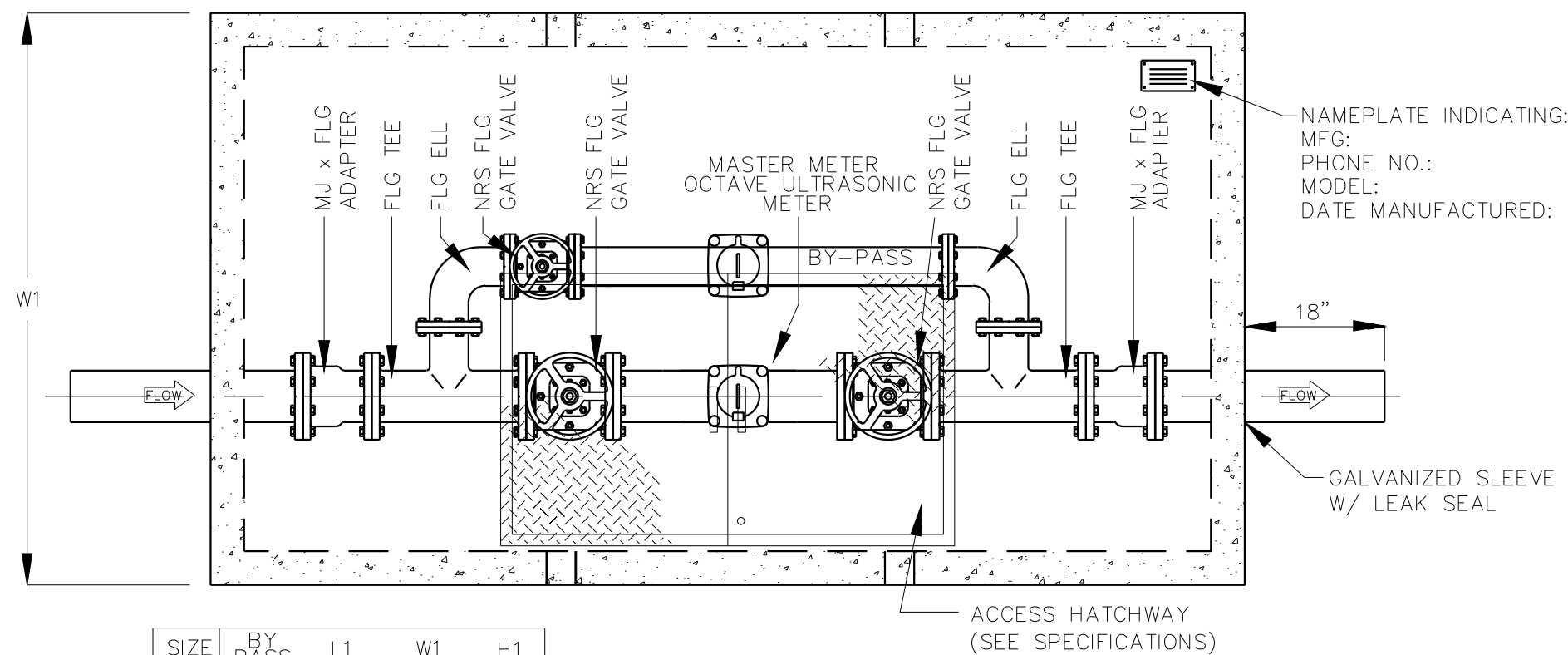
CONCRETE ENCASEMENT
N.T.S.
CLASS F4 EMBEDMENT



MINIMUM CLEARANCE NOTE:

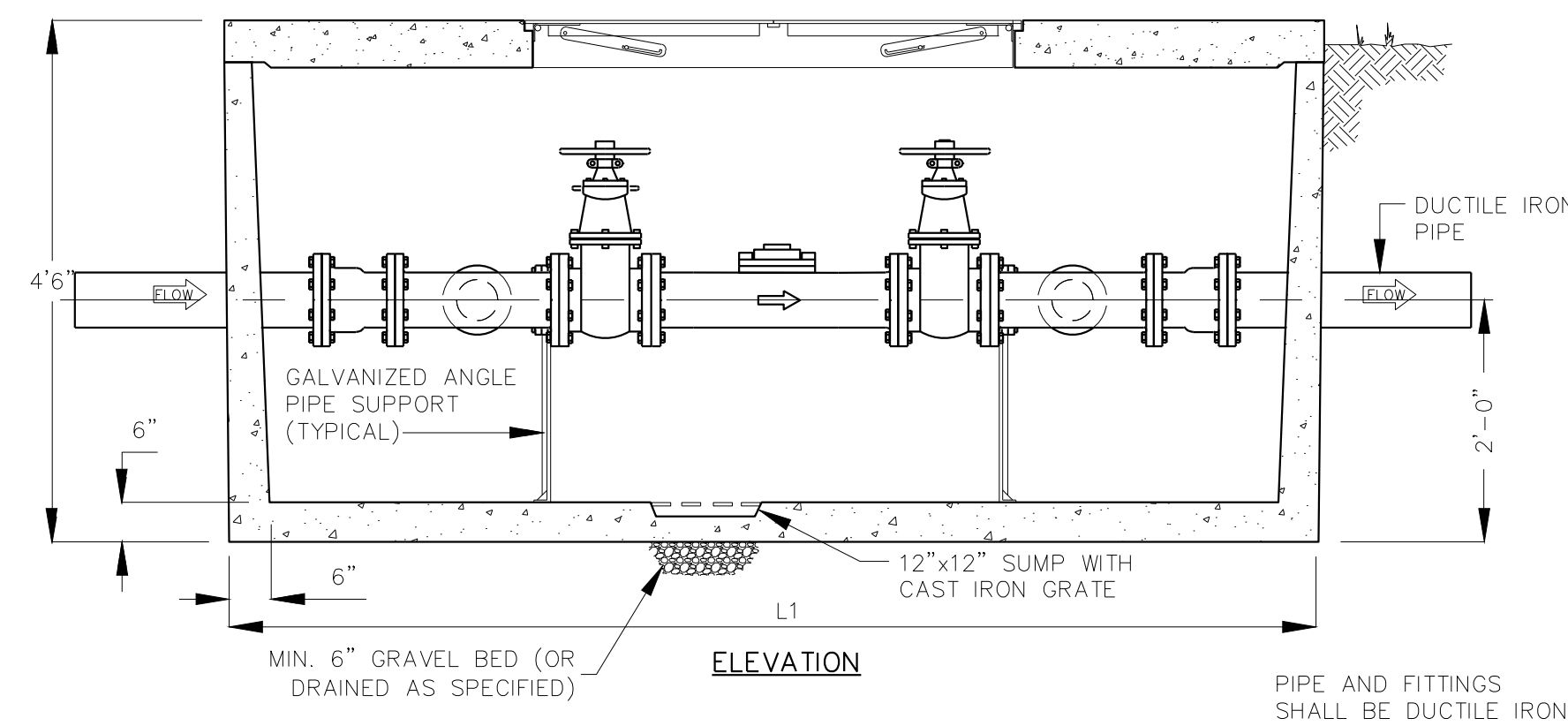
- WHERE A MINIMUM CLEARANCE OF 10'-0" (HORIZONTAL AND/OR VERTICAL) CANNOT BE OBTAINED, THEN THE POTABLE WATER MAIN SHALL BE CONCRETE ENCASED FOR 10'-0" EACH SIDE OF THE INTERSECTION OF THE INSTALLED UTILITY LINE.
- CROSSING OF SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE LATEST TCEQ RULES AND REGULATIONS.

CROSSING UTILITY
PIPE SUPPORT
N.T.S.



PLAN VIEW

SIZE	BY PASS	L1	W1	H1
3"	2"	8'-8"	4'-8"	4'-6"
4"	2"	8'-8"	4'-8"	4'-6"
6"	4"	11'-0"	6'-0"	4'-6"



ELEVATION

METER VAULT
N.T.S.

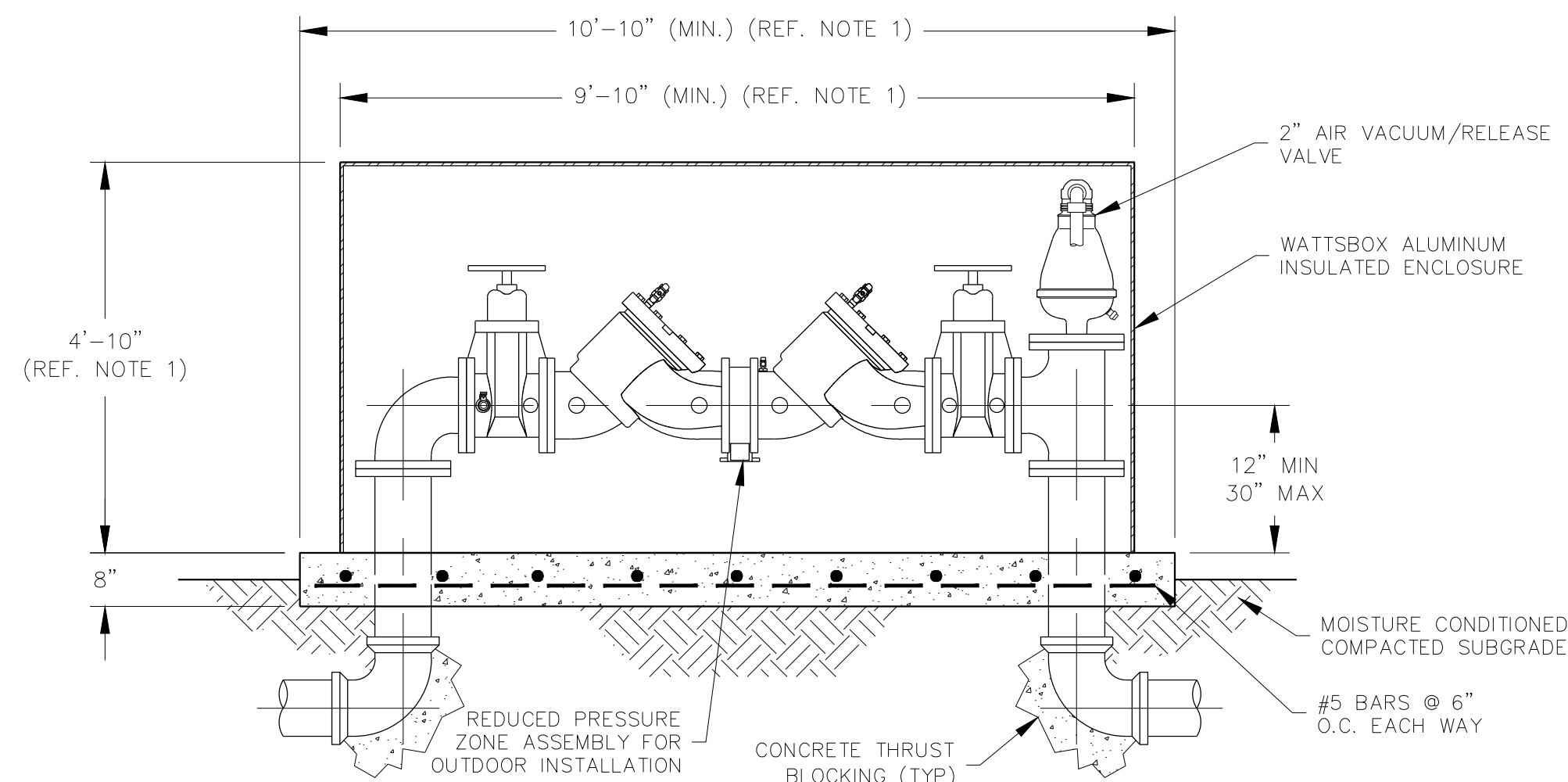
SPECIFICATIONS

CONCRETE : CLASS 1 CONCRETE WITH DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. UNIT IS OF MONOLITHIC CONSTRUCTION AT FLOOR AND FIRST STAGE OF WALL WITH SECTIONAL RISER TO REQUIRED DEPTH.

REINFORCEMENT: GRADE 60 REINFORCED STEEL BAR CONFORMING TO ASTM A615 ON REQUIRED CENTERS OR EQUAL.

HATCHWAY: 3' X 5' GALVANIZED STEEL DOUBLE LEAF SPRING ASSISTED HATCHWAY - TRAFFIC RATED W/ SLAM LOCK.

PRECAST VAULT SHALL BE FROM PARK EQUIPMENT COMPANY MATCHING DETAIL SHOWN OR APPROVED OTHER.



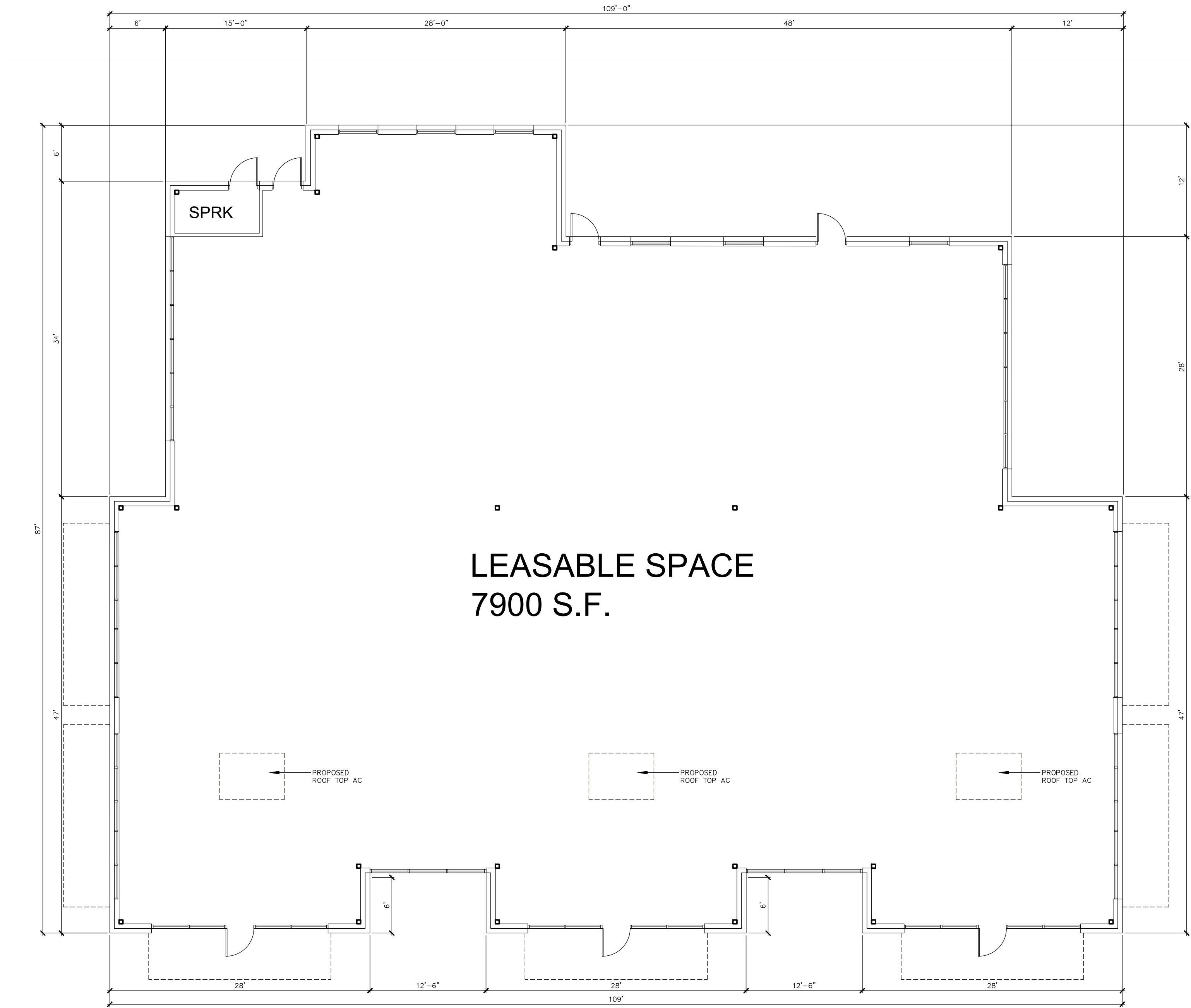
BACKFLOW PREVENTER
N.T.S.

NOTES:

- EXACT SIZE OF BOX MAY VARY DEPENDING ON ACTUAL LENGTH OF RPZ BACKFLOW PREVENTER.
- AIR/VACUUM RELEASE ASSEMBLY SHALL BE ARI FLOW CONTROL ACCESSORIES, MODEL D-025, WITH NYLON BODY.
- FIELD ROUTE DRAIN LINES FROM RPZ AND AIR RELEASE VALVE TO A COMMON DISCHARGE POINT.

REV. NO.	DESCRIPTION	DATE
Notes:		
LOCATION MAP (NOT TO SCALE)		
LEGEND		
SIGNATURE/SEAL		
PROJECT DESCRIPTION: 3P ELM 1728 E ELDORADO PKWY LITTLE ELM, TX 75068		
TITLE: DETAIL SHEET		
DATE :	12/10/20	JOB NO. 2019-875
DESIGNED BY :	RV	DRG NO.
DRAWN BY :	MO	C5.40
CHECKED BY :	RV	

NOT FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION



FLOOR PLAN
SCALE: 1/8"=1'-0"

PROPOSED LEASE SPACE BUILDING
LITTLE ELM, TX

DATE:	1/18/21
REVISED:	4/8/21
6/23/21	AC LOCATIONS

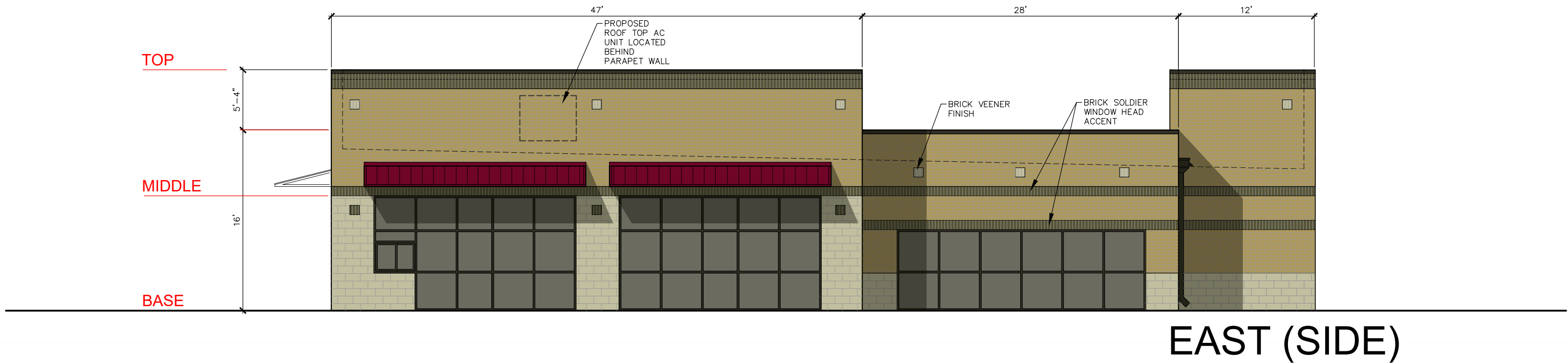
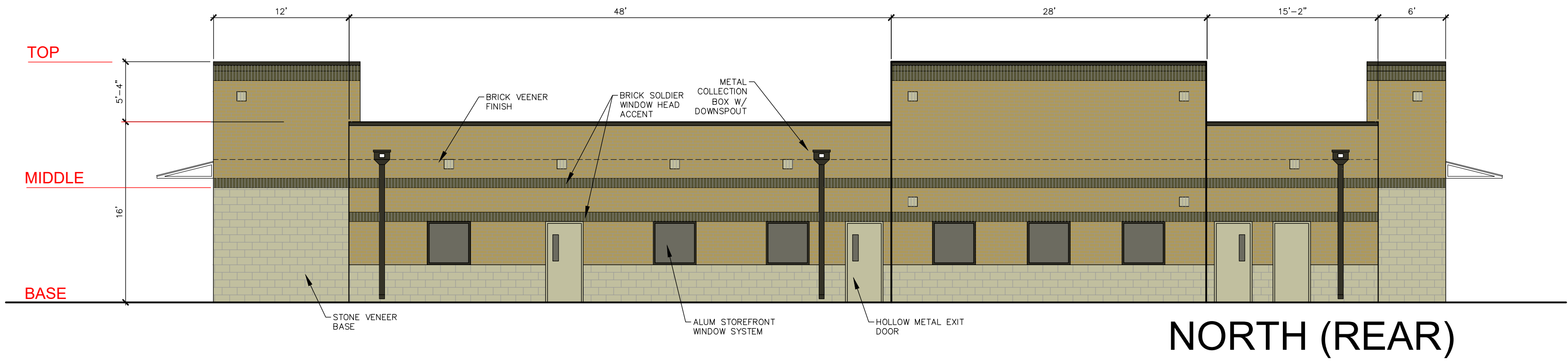
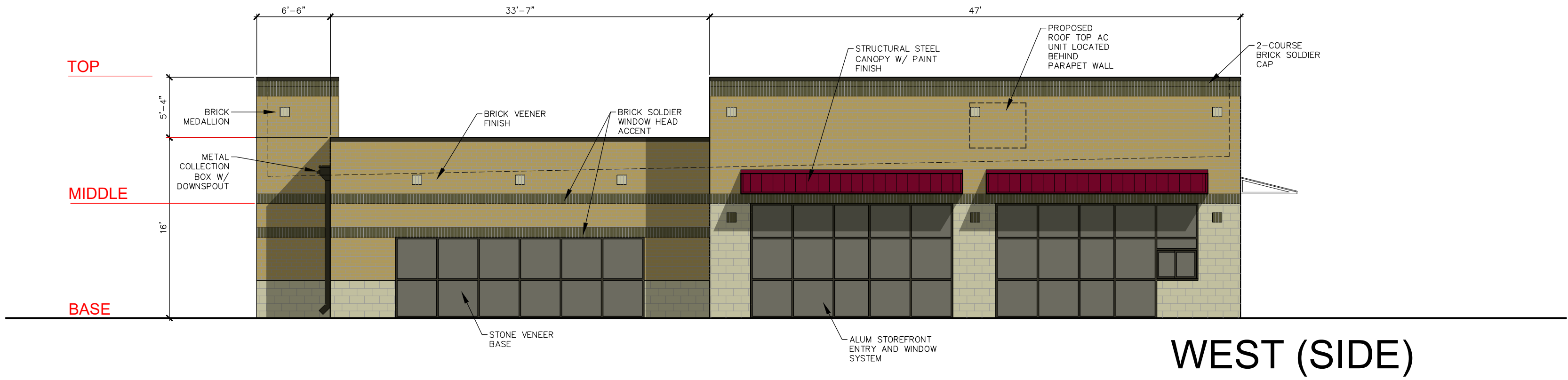
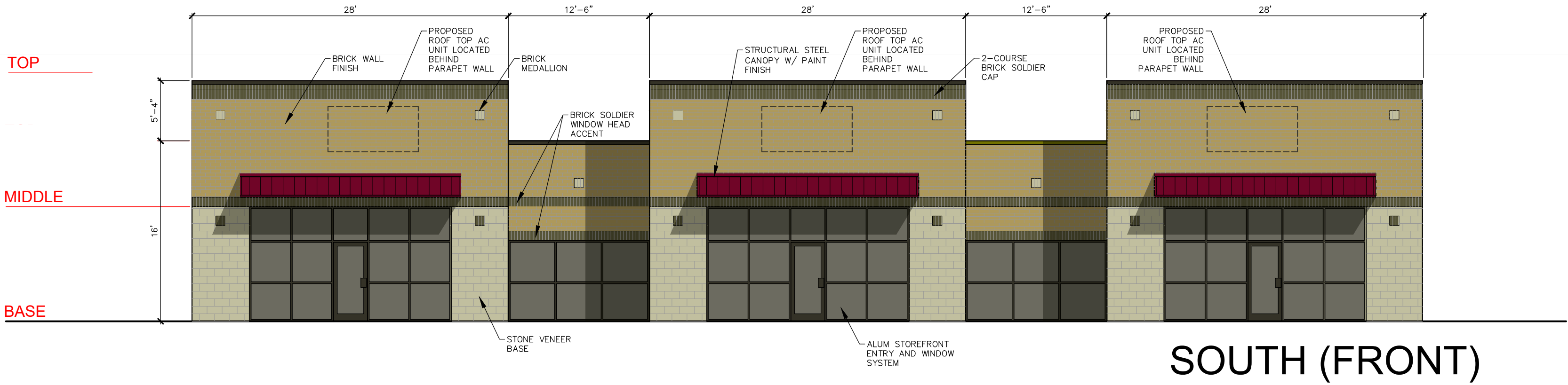
SHEET:
A1

NOT FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION

PROPOSED LEASE SPACE BUILDING
LITTLE ELM, TX

DATE:	1/18/21
REVISED:	4/8/21
6/23/21	AC LOCATIONS

SHEET:
A4.1



EXTERIOR MATERIAL / COLORS

SCALE: 1/8"=1'-0"

Exterior Elevation Comments and Calculations:

Reference Section: 106.06.05 (a)(b)(c)(d)(f) and (g)
Building Area: 7900 s.f. All walls are primary elevations < 15,000 s.f.
Building Height: 21'4"
5'-4" @ top of cap (25% of height per 106.06.05 (f)(2)
Maximum Width: 48' or 3x more than 16' wall height per 106.06.05 (f)(1)
w/o vertical relief:
Design Element 4 elements used in design are 106.06.05 (g) i, iii, iv, and vi
Usage:

Building Material Calculations:	South:	East:	North:	West:	Ordinance Reference:
Total Facade Area:	2190 s.f.	1718 s.f.	2001 s.f.	1683 s.f.	
Doors and Windows:	726 s.f. (33%)	534 s.f. (31%)	180 s.f. (9%)	534 s.f. (32%)	106.06.05 (c)(5)
% of Masonry Category A: Brick	80%	85%	83%	85%	106.06.05 (d)(1)
% of Masonry Category A: Stone	20%	15%	17%	15%	106.06.05 (d)(1)
Other materials:	0%	0%	0%	0%	

Landscape Requirements & Tabulations

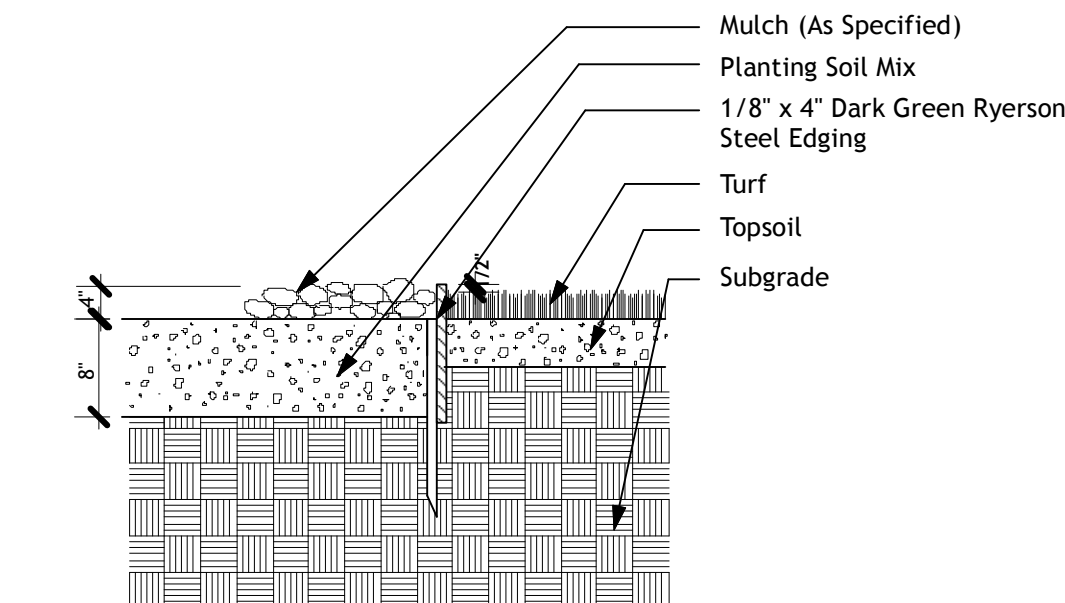
Property Description

Lot 3, Block A
Elm Little Property
Coc. # 2014-420; PRDCT

Prior to commencement of any construction activities, Contractor shall notify local utility location service to identify any underground utilities. Contractor shall immediately notify the Landscape Architect of any potential discrepancies, or obstacles. CALL 1-800-DIG-TESS for underground utility location at least two (2) days prior to excavation.

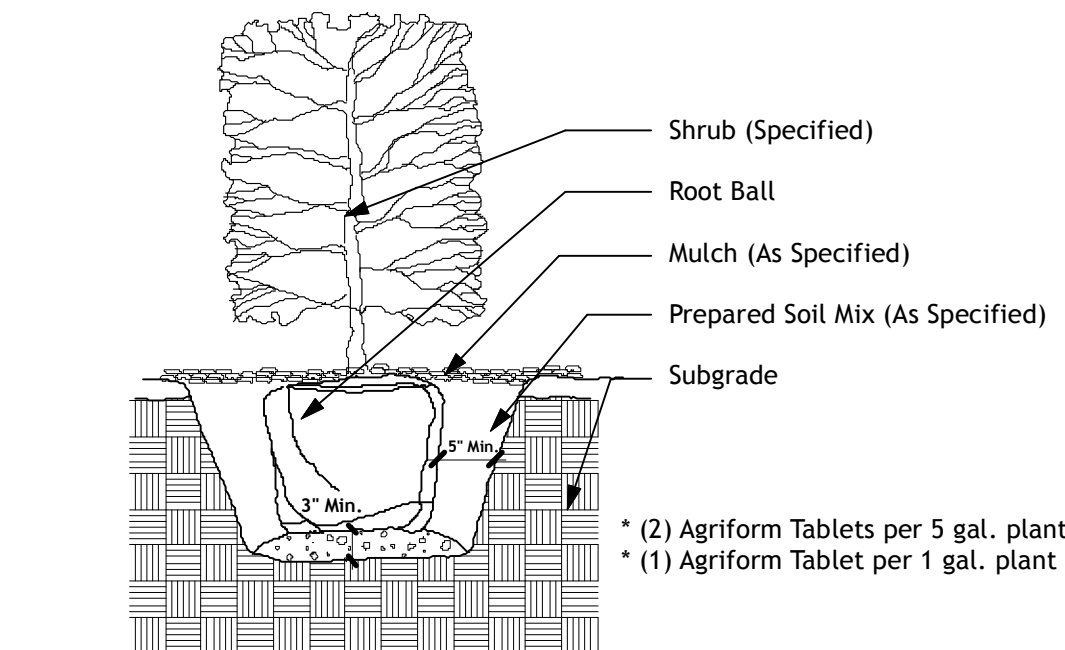
The Site Information shown on this plan has been provided by the Owner, Architect, or Civil Engineer. C2 Landgroup, Inc. is not responsible for the accuracy of that information and is using the information provided to prepare this Landscape Plan.

The Landscape Contractor shall verify all scales of the plans and quantities shown on the plan and is responsible for including in the bid the planting, or installation of all items shown. Any errors on the plan, or quantities should be brought to the attention of the Landscape Architect by the Contractor prior to submittal of any bid.



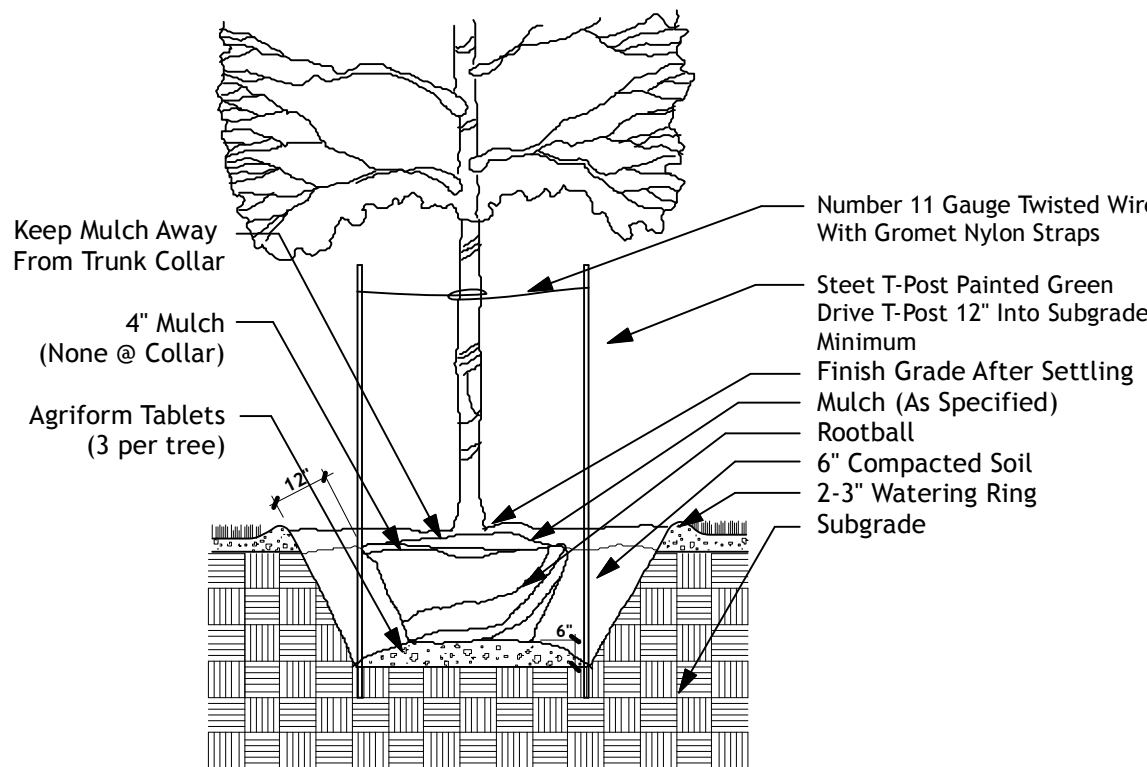
Steel Edging Detail

NO SCALE



Shrub Planting Detail

NO SCALE



Tree Planting Detail

NO SCALE

Plant List

Key	Qty.	Common Name	Botanical Name	Size	Height	Spread	Remarks
AJ	1660	Asian Jasmine	Trachelospermum asiaticum	4" Pot	6" Ht.	9" width	Full and Symmetrical; 12" o.c.
BW	27	Boxwood	Buxus microphylla	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 36" o.c.
CE	10	Cedar Elm	Ulmus crassifolia	4" Cal.	12-14' Ht.	5-6' width	Full, Symmetrical, Uniform Height and Spread 4' Maximum Clear Trunks
CL	1	Cherry Laurel	Prunus laurocerasus	30 Gal.	5-6" Ht.	29" width	Full and Symmetrical
DAB	34	Dwarf Abelia	Abelia x grandiflora 'Kaleidoscope'	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 30" o.c.
DBH	62	Dwarf Burford Holly	Ilex burfordii	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 36" o.c.
DYH	10	Dwarf Yaupon Holly	Ilex vomitoria	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 24" o.c.
RC	31	Rock Cotoneaster	Cotoneaster horizontalis	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 36" o.c.
ROK	3	Shumard Red Oak	Quercus shumardii	4" Cal.	12-14' Ht.	5-6' width	Full, Symmetrical, Uniform Height and Spread 4' Maximum Clear Trunks; Staked
RY	25	Red Yucca	Hesperaloe parviflora	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 36" o.c.
SGM	9	Sweet Gum	Liquidambar styraciflua	4" Cal.	12-14' Ht.	5-6' width	Full and Symmetrical; 36" o.c.
SE		Steel Edging					1/8" x 4" Ryerson Steel Edging
SOD		Tiff 419 Bermuda		S.Y.			90% Purity Cut Prior to Shipment

Landscape Tabulations

II. <u>Mandatory Requirements (25 points required)</u>			
A	Enhanced Landscaping	Points Credit	5 pts.
B	Open Space greater than required	Points Credit	5 pts.
		Total Points	10 pts.
* Variance Requested			

Parking Area Calculations

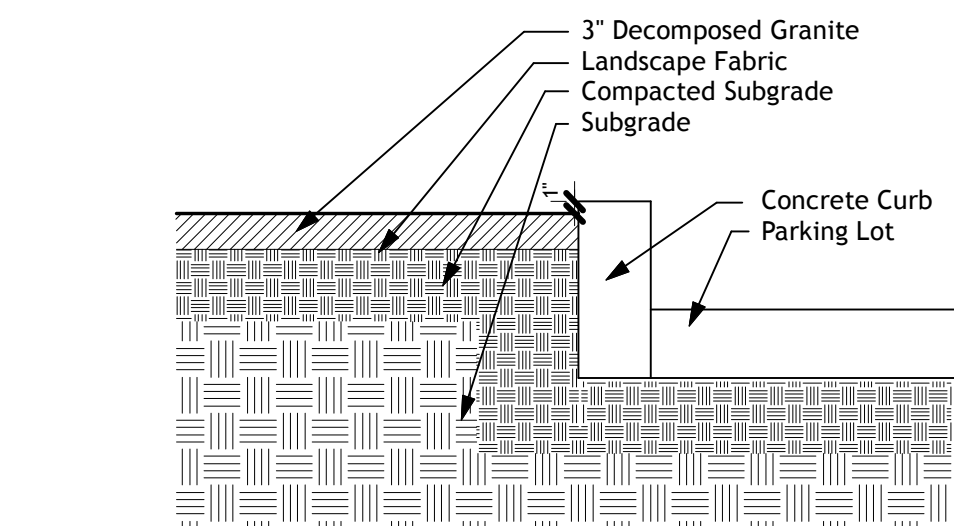
(Mandatory Requirement)

Parking Area	17,297 sf	Landscape Proposed	
10% Landscape Required	1,730 sf	• Sod	2,175 sf 30.1 %
Landscape Proposed	7,226 sf	• Planting	4,101 sf 56.8 %
% Proposed	41.8%	• Texas Blend Gravel	560 sf 7.7 %
		• Decomposed Granite	390 sf 5.4 %
(1) Tree per 400sf 10% Required Landscape	5 ea		7,226 sf 100 %
Trees Proposed	7 ea		

Street Tree Calculations

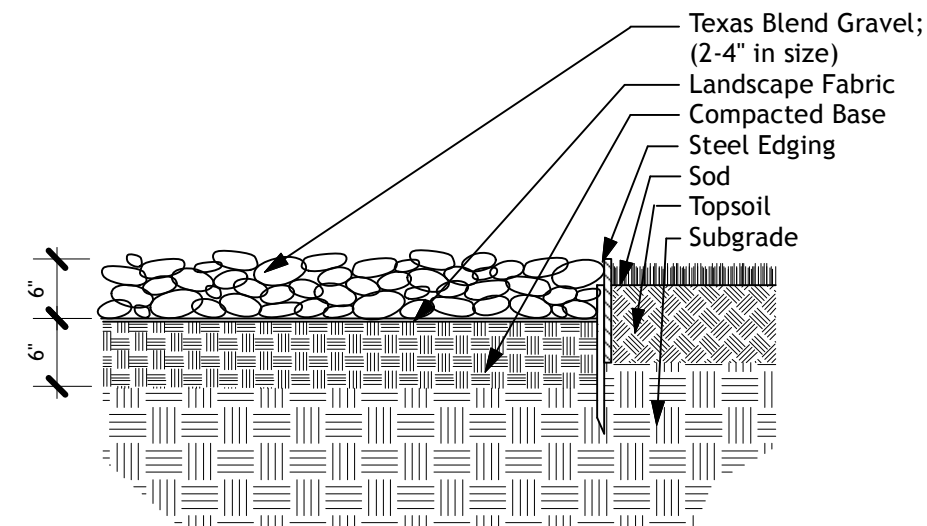
(Mandatory Requirement)

FM 720 Eldorado Parkway		Perimeter Canopy Tree Requirements	Perimeter Ornamental Tree Requirements
196 LF of Street Frontage		1 tree every 40' adjacent to Commercial	3 trees for every 5 trees required within perimeter landscape buffer
196 /20 LF =	10 Trees needed (OHE)	1 tree every 20' adjacent to Residential (double row along rear yard)	
	0 Existing Trees provided		
	10 Canopy Trees provided	Total required 26	Total required 16
	0 Understory Trees provided	Total provided 10	Total provided 0
	10 Total Trees provided (OHE)		
		*Variance requested.	*Variance requested.



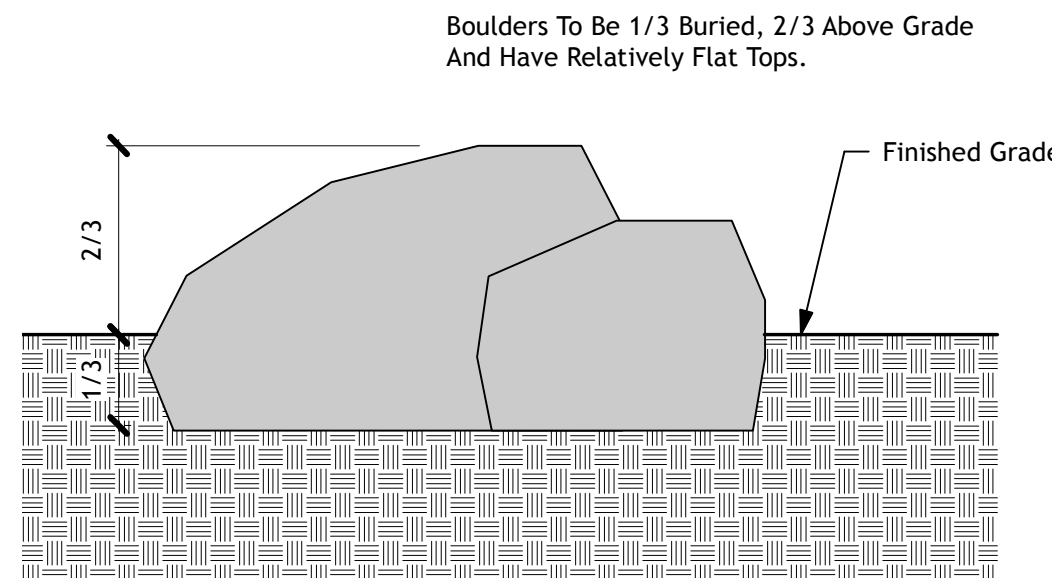
Decomposed Granite @ Curb Detail

No Scale



Texas Blend Gravel Detail

No Scale



Boulder Detail

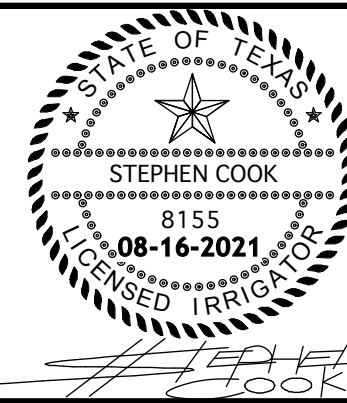
NO SCALE

General Notes

- All quantities shown on plans to be verified by Landscape Contractor. Landscape Contractor shall be responsible for installing all labeled plant material.
- Landscape Contractor shall familiarize himself with the Landscape Plan and Specifications and shall be responsible for the requirements dictated therein.
- Landscape Contractor shall familiarize himself with the location of all underground utilities and easements prior to the installation of any plant material.
- All plants must comply with the American Standards for Nursery Stock, by the American Association of Nurserymen, Inc.
- All final shaping and raking of the topsoil shall be approved by the Landscape Architect prior to application of Hydromulch or sod, shaping planting beds, installing trees and installing irrigation. Excessive slopes on berms which may cause maintenance problems shall be reviewed by the Landscape Architect. Berms shall be installed in 12" layers and compacted to 90% proctor.
- All topsoil shall be fine sandy loam, raked smooth to grade 2" below curbs, sidewalks, or edging.
- All beds to be mulched to a depth of 4" with BLACK dyed mulch from New Earth (210.661.5180). (7800 IH-10 East, 78219). Submit mulch sample to Landscape Architect prior to delivery and installation.
- All backfill to be sandy loam material and shall be the responsibility of the General Contractor. General Contractor shall allow for the installation of 2" of topsoil at hydroseed areas, 6" of topsoil at lawn areas, and 8" of specified backfill (New Earth 4-way Mix) in shrub areas to be supplied by the Landscape Contractor. Any backfill material shall be compacted sufficiently to prevent excessive settling of topsoil that may effect the finished grade or drainage.
- Landscape Contractor shall notify the Landscape Architect of any questions regarding application of proposed plant material prior to installation-especially questions that may effect or alter the warranty of said material.
- Landscape Contractor shall maintain all trees, shrubs, groundcover and turf areas in a healthy state under the contract until acceptance by the owner. A 90 day maintenance period, after acceptance, shall be included in base bid.
- Trees shall be warrantied 1 year from acceptance of owner. Shrubs and groundcovers shall be warrantied 6 months in the same period.
- All container grown shrubs and groundcovers shall be healthy, vigorous, well-rooted and established in the container in which they are growing.
- Landscape Irrigation to be provided throughout project and shall provide 100% coverage at all landscape areas.
- All new trees to be provided (2) tree bubblers each as per Irrigation Notes & Details sheet L3.0 & as prescribed on Tree Bubbler sheet L5.0.

Sod Notes

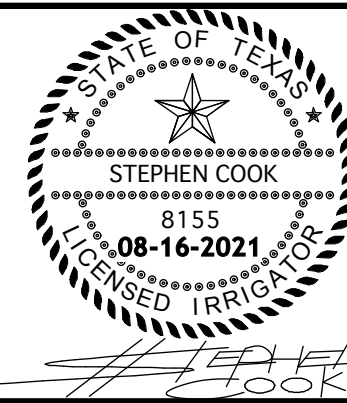
- Lawn installation shall not begin until the irrigation system has been completed and is operational.
- Before placing of topsoil, all areas shall be cultivated to a depth of four (4") inches, unless otherwise specified, or ordered by the Landscape Architect. Cultivation of the soil may be done by disc, spring tooth harrow, rototiller, or similar equipment. This operation shall be done at right angles to the natural flow of water on the slopes.
- After the topsoil has been spread to the depth specified, the area shall be mechanically tilled to a depth of 6 inches, then roll raked and dragged to remove all large clods, rocks, debris, and litter over (1") one inch in any dimension which shall be disposed of by the Contractor in a lawful manner at an off site location.
- The area shall then be rolled in 2 directions; the second shall be done at right angles to the first rolling. The roller shall be of a standard, lightweight, waterfilled type.
- Rake the area to make it smooth and level. Remove ridges and fill depressions. Add topsoil where necessary, or as directed by the Landscape Architect.
- The finished grade shall be two (2) inches below all curbs, sidewalks, and/or other appurtenances.
- Roll the area in one direction. Moisten prepared lawn areas before planting if soil is dry. Allow surface moisture to dry.
- Lay sod within 24 hours from time of stripping. Do not plant dormant sod. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
- Water sod thoroughly within one (1) hour with a fine spray immediately after planting to ensure 4" to 6" penetration of water into the soil. Roll sod with roller to ensure good contact with soil.
- Continue watering sod similar penetration for ten (10) days.
- Erect a barrier of stakes and strings, and post warning signs where necessary, or as directed by the Landscape Architect.
- Apply water as required to keep the sod damp at all times through germination and initial growth period.
- Continued maintenance (mowing, fertilization, weeding, etc) of the sodded areas should be provided by a professional landscape maintenance contractor.



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Issue / Revision
City Submittal 01.11.21
City Resubmittal 08.16.21

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an irrigation plan for the

drawn by: sc

checked by: sc

date: august 16, 2021

tree bubbler plan

L5.0

Lot 3
FM 720 Eldorado Parkway, Little Elm, Texas

Irrigation Legend

- Hunter ProS PRS30 4"
- Hunter PGP Rotor

Hunter PLD Dripline

Hunter 1 GPM Bubbler

Water Meter

Hunter Controller
Install rain & freeze sensor

Hunter ICV Electric Valve with
Accu-Set Pressure Regulator

Class 200 Mainline Piping

Class 200 Lateral Piping

Backflow Device

Class 200 Sleeve

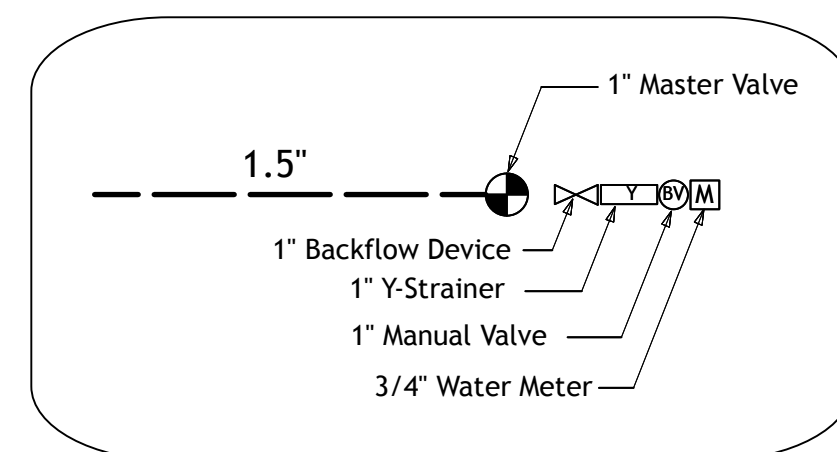
LOT 2, BLOCK A
RETAIL F.M. 720
ADDITION
CAB. U, PG. 443
P.R.D.C.T.

LOT 3, BLOCK A
ELM LITTLE PROPERTY
DOC. # 2014-420
P.R.D.C.T.

LOT 1, BLOCK A
ELM LITTLE PROPERTY
DOC.

2014-420
P.R.D.C.T.

FM 720 Eldorado Parkway



1 Tree Bubbler Plan
SCALE 1" = 20'-0"

