



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

January 20, 2022

*Persons may address the Planning and Zoning Commission on any issue. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. Each member of the public who desires to address the P&Z Commission regarding an item on an agenda for an open meeting of the P&Z Commission shall have the right to address the Commission on the item before the Commission's consideration of the item. All speakers not requiring a translator are given 3 minutes to speak and may address the Commission only once on each agenda item. Non-English Speakers who require a translator are given 6 minutes to speak and may address the Commission only once on each agenda item. In accordance with the State of Texas Open Meeting Act, the board may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. To address the Commission for any public hearing item please sign a speaker's sheet located on the tables by the front entry and submit to a Staff member.*

1. **5:30 PM Work Session**

2. **Roll Call**

3. **6:00 PM Regular Meeting**

1. Discuss and take action regarding the approval of the January 6, 2022 regular Planning and Zoning Commission meeting minutes.
2. **REPLAT/Shawnee Trail (RP-21-03793).** Presentation, discussion, and consideration on a request for approval of a Replat for Shawnee Trail Church of Christ Addition Block A, Lot 1 on approximately 3.887 acres, situated in the Christian Bohrmann Survey, Abstract 86, within Little Elm's town limits, in order to establish multiple utility, access, and fire lane easements, dedicate right-of-way, and abandon multiple easements for the purpose of new commercial development on Block A, Lot 1R.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation
3. **PRELIMINARY PLAT/Lakeside Shops and Business Park (PP-21-07426)** Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Lakeside Shops and Business Park, establishing Block A, Lots 1 and 2, on approximately 5.006 acres, situated in the David M. Cule Survey, Abstract No. 226, within Little Elm's Town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation

4. **FINAL PLAT/** Spiritas Ranch Phase 1L (FP-21-07425). Presentation, discussion, and consideration on a request for approval of a Final Plat for Spiritas Ranch Phase 1L, establishing 109 residential lots and 4 common area lots on approximately 24.003 acres, situated in the Marsella Jones Survey, Abstract No. 662, within Little Elm's Town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation
5. **PRELIMINARY PLAT/**Royal Court Addition (PP-21-07102). Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Royal Court Addition, establishing 47 residential lots and 5 common area lots on approximately 8.52 acres, situated in the H. Kendall Survey, Abstract No. 713, within Little Elm's Town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation
6. **FINAL PLAT/**Union Place Phase 2 (FP-21-07420). Presentation, discussion, and consideration on a request for the approval of a Final Plat for Lots 4, 5, and 6 of Block C, and Right-of-Way dedication on approximately 4.604 acres, situated in the Thomas Navo Survey, Abstract No. 964, within Little Elm's town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation
7. **FINAL PLAT/** Union Park Phase 7 (FP-21-07419). Presentation, discussion, and consideration on a request for approval of a Final Plat for Union Park Phase 7, establishing 243 residential lots and 6 common area lots on approximately 79.734 acres, situated in the William Lumpkin Survey, Abstract No. 730, and the Thomas Navo Survey, within Little Elm's Town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation
8. **SUBDIVISION VARIANCE/**Witt Road (VAR-21-06705). Presentation, discussion, and consideration on a request for a Variance from Section 107 - Subdivision Ordinance, for CEC Witt Addition on approximately 1.385 acres, situated in the H. KENDAL SURVEY, Abstract No. 713, within Little Elm's town limit, in order to allow a two-year grace period for requirements listed in Section 107.08.01 (b) - Adequate Public Facilities.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation
9. **PUBLIC HEARING/** Providence Commons PD (PD-21-05005). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 9.8 acres of land, in order to establish a new Planned Development district based on Single Family 4 (SF-4) with modified development standards, to allow the development of a new single family residential subdivision.
  - Staff Report/Applicant Presentation
  - Open Public Hearing
  - Receive Public Comment
  - Close Public Hearing
  - Discussion and Recommendation



10. **PUBLIC HEARING/Spiritas East (PD-21-07137).** Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 38.468 acres of land, generally located south of East University Drive (US 380), approximately 2,500 feet east of Providence Boulevard, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision in connection with the Spiritas Ranch Planned Development.
  - Staff Report/Applicant Presentation
  - Open Public Hearing
  - Receive Public Comment
  - Close Public Hearing
  - Discussion and Recommendation
  
11. **PUBLIC HEARING/ Eldorado Bend Planned Development (PD-21-03453).** Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 5.79 acres of land, generally located at 1816 W Eldorado Parkway, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision.
  - Staff Report/Applicant Presentation
  - Open Public Hearing
  - Receive Public Comment
  - Close Public Hearing
  - Discussion and Recommendation
  
4. **Discussion of future agenda items, update on Council action, and requests for new business considerations**
  
5. **Adjourn**

Certificate

I certify that the above notice of the Planning & Zoning Commission meeting was posted on the bulletin board of the Town of Little Elm, Texas by January 17, 2022, prior to 5:00 p.m. The Little Elm Town Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made 48 hours prior to this meeting. Please contact the Town Secretary's office at 214-975-0404 or 972-377-5540 (fax) for arrangements.

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Olga Chernomorets - Planning Manager



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	Adoption of the January 6, 2022 Planning & Zoning Commission Meeting Minutes
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	N/A
<b>Current Zoning</b>	N/A
<b>Proposed Use</b>	N/A
<b>Existing Use</b>	N/A
<b>Future Land Use Plan Designation</b>	N/A
<b>Applicant</b>	N/A
<b>Owner</b>	N/A
<b>Strategic Goal</b>	

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### Agenda Item

Discuss and take action regarding the approval of the January 6, 2022 regular Planning and Zoning Commission meeting minutes.

### Location

N/A

### Planning Analysis

N/A

### Recommended Action

N/A

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### Attachments

P&Z Minutes January 6, 2022

# DRAFT



## Minutes

**Town of Little Elm**  
**PLANNING & ZONING COMMISSION**  
**Regular Meeting**  
**Thursday, JANUARY 6, 2022 - 7:00 pm**

**Present:** Michael Bell, Chairman; Ron Trees, Vice Chairman; Brent Hagenbuch, Commissioner; Robert Martin, Commissioner; Danny Weakley, Commissioner

**Absent:** Stephen Horn, Commissioner; Brian Rawlins, Commissioner; Brent Thibeaux, Commissioner; Tom Ocelli, Commissioner

**Staff Present:** Olga Chernomorets, Planning Manager  
Brian Salvesen, Planner

1. **5:30 PM Work Session**
2. **Roll Call**
3. **6:00 PM Regular Meeting**

Chairman Bell opened the Regular Planning & Zoning Commission Meeting at 6:00pm.

1. **Consent Agenda**

Motion: Approve the consent agenda with minor corrections to the minutes, on one public comment.

Motion by Vice Chairman Ron Trees, seconded by Commissioner Robert Martin

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch, Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

1. Discuss and take action regarding the approval of the December 16, 2021 regular Planning and Zoning Commission meeting minutes.

2. **FINAL PLAT**/Breezeway Final Plat (FP-21-07002). Presentation, discussion, and consideration on a request for approval of a Final Plat for Breezeway Business Park, establishing four commercial lots from an existing abstract survey on approximately 8.985 acres, situated in the J.H. King Survey, Abstract No. 694, within Little Elm's Town limits.

## 2. **Regular Agenda**

1. **FINAL PLAT**/ Valencia Phase 4A (FP-21-05638). Presentation, discussion, and consideration on a request for approval of a Final Plat for Valencia Phase 4A, establishing 250 single-family residential lots and eight (8) common area HOA lots from existing abstract surveys on approximately 76.297 acres, situated in Alexander Cooper Survey, Abstract No. 250, Pierce Fulghum Survey, Abstract No. 427, Santiago Guarrara Survey, Abstract No. 456, and Teodoro Rodriguez Survey, Abstract No. 1068, within Little Elm's Town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation

Staff presented the Final Plat to the Commission.

Stephanie Daily, 2121 Olvereta Drive, had concerns over development responsibilities and current HOA management company practices. The commission directed her to Town and EDC staff who were able to pass her complaint on to the appropriate persons.

The Commission had no questions.

Motion: Approve the request with the following conditions:

- Prior to recording the Final Plat, applicant changes signature block from "Planning and Zoning Chairman" to "Town Official", and the date on all pages be fully written out as the date of final revisions.
- Prior to recording the Final Plat, applicant shall change the Lot Table to denote Common Area Lots (x), and identify and label park space/open space/amenity/etc. per the DA, matching the required acreage, as applicable.

Motion by Commissioner Robert Martin, seconded by Commissioner Brent Hagenbuch

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch, Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

2. **FINAL PLAT**/ Valencia Phase 4B (FP-21-05639). Presentation, discussion, and consideration on a request for approval of a Final Plat for Valencia Phase 4B, establishing 178 single-family residential lots and six common area HOA lots from an existing abstract survey on approximately 63.388 acres, situated in Alexander Cooper Survey, Abstract No. 250, within Little Elm's Town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation

Staff presented the Final Plat to the Commission.

There were no questions from the Commission.

Motion: Approve the request with the following conditions, prior to recording the final plat,

- Prior to recording the Final Plat, applicant shall change the signature block from “Planning and Zoning Chairman” to “Town Official”;
- Prior to recording the Final Plat, applicant shall provide full date on all pages as the date of final revisions, and;
- Prior to recording the Final Plat, applicant shall change the Lot Table to denote Common Area Lots (x), and identify and label Lot 1X, Block S as Park B per the DA, matching the required 10 acres.

Motion by Vice Chairman Ron Trees, seconded by Commissioner Robert Martin

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch, Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

3. **FINAL PLAT/** Valencia Phase 4C (FP-21-05640). Presentation, discussion, and consideration on a request for a Final Plat for Valencia Phase 4C, establishing 17 residential single-family residential lots and one common area HOA lot from an existing abstract survey on approximately 6.123 acres, situated in Alexander Cooper Survey, Abstract No. 250, within Little Elm’s Town limits.
  - Staff Report
  - Applicant Presentation
  - Discussion and Recommendation

Staff presented the Final Plat to the Commission.

The Commission had no questions.

Motion: Approve the request with the following conditions, prior to recording the final plat:

- Prior to recording the Final Plat, applicant shall change the signature block from “Planning and Zoning Chairman” to “Town Official”,
- Prior to recording the Final Plat, applicant shall provide full date on all pages as the date of final revisions, and
- Prior to recording the Final Plat, applicant shall change the Lot Table to denote Common Area Lots (x), and identify and label Lot 1X, Block S as Park B per the DA, matching the required 10 acres.

Motion by Commissioner Brent Hagenbuch, seconded by Commissioner Danny Weakley

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch, Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

4. **FINAL PLAT/** Spiritas Ranch Phase 1 (FP-21-05544). Presentation, discussion, and consideration on a request for approval of a Final Plat for Spiritas Ranch Phase 1, establishing 547 residential lots and 18 common area lots on approximately 31.121 acres, situated in the Marsella Jones Survey, Abstract No. 662, within Little Elm's Town limits.
- Staff Report
  - Applicant Presentation
  - Discussion and Recommendation

Staff presented the Final Plat to the Commission.

Commissioner Martin asked what the reason behind the change in lot numbers. Matt Clark, Engineer with Barraza Engineering, explained that another section had approved changes and thus this was a resulted spillover of those prior changes, which are being approved by each phase.

Motion: Approve the request with the following conditions:

- Applicant shall provide a memo for review and approval of the Town Manager with reference to the changes on lot counts in Phase 1, requesting 183 40-foot lots, instead of the 181 approved through the PD, and 299 50-foot lots, instead of the 301 approved through the PD.
- Prior to recording the Final Plat, applicant shall add to the Lot Table all Common Area Lots (x), with acreage, and label the lots as park/open space/amenity/etc. on the plat, matching the DA requirements.

Motion by Vice Chairman Ron Trees, seconded by Commissioner Robert Martin

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch, Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

5. **PRELIMINARY PLAT/**Spiritas East (PP-21-06344). Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Spiritas East, subdividing and establishing 146 residential lots and eight common area lots on approximately 38.719 acres, situated in the Marsella Jones Survey, Abstract No. 662, within Little Elm's Town limits.
- Staff Report
  - Applicant Presentation
  - Discussion and Recommendation

Staff presented the Final Plat to the Commission.

The Commission had no questions.

Motion: Approve the request with the following conditions:

- Prior to recording of the Preliminary Plat, a technical memo be added to the Spiritas Ranch Traffic Impact Analysis (TIA) to support Spiritas East development.

Motion by Commissioner Danny Weakley, seconded by Vice Chairman Ron Trees

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch,  
Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

6. **PUBLIC HEARING/** Hardwicke Food Truck Park (PD-21-06182). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 3.23 acres of land, currently zoned as Lakefront District and Single Family A1, generally located at on the south side of Eldorado Parkway, approximately 200 feet east of Hardwicke Lane, within Little Elm's town limits, in order to establish a new Planned Development district based on the Lakefront District requirements with allowance for additional uses, to allow outdoor temporary outdoor activities on site.

- Staff Report
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Staff presented that since the December 16, 2021, Regular Planning and Zoning Commission Meeting, the applicant has requested to withdraw their application.

Jennette Espinosa, EDC Director explained the circumstances of the withdrawal and that they plan to submit a rezoning request solely for the residential lot at a later date.

Chairman Bell opened the Public Hearing at 6:20pm. There were no speakers on this item. Chairman Bell closed the Public Hearing at 6:20pm.

Motion: Accept applicant's request to withdraw the item.

Motion by Commissioner Robert Martin, seconded by Commissioner Brent Hagenbuch

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch,  
Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

7. **PUBLIC HEARING/** Providence Commons PD (PD-21-05005). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 9.8 acres of land, in order to establish a new Planned Development district based on Single Family 4 (SF-4) with modified development standards, to allow the development of a new single family residential subdivision.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Staff presented that since the Commission last met on December 16, 2021, the Town of Providence Village had met and approved their part of the Planned Development on January 4th. Their revisions included:

- Revise language to restrict certain business from being allowed.
- Add more descriptive architectural standards for buildings.
- Limit townhomes to 110 units
- Provide landscape plan with proposed enhanced landscape at the entrances on Fishtrap and FM 2931
- Revise street layout at northwest corner inside the light-industrial area.

Chairman Bell opened the Public Hearing at 6:32 pm. There were no speakers on this item. Chairman Bell closed the Public Hearing at 6:32pm.

Motion: Approve Staff's request to table the item until the January 20, 2022 regular Planning and Zoning Commission Meeting in order to allow additional time to address Commission's previous concerns.

Motion by Commissioner Brent Hagenbuch, seconded by Vice Chairman Ron Trees

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch, Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

8. **PUBLIC HEARING/Shops at Lakefront Planned Development (PD-21-01366).** Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 4.56 acres of land, currently zoned as Light Commercial (LC), generally located at 2009 and 2011 Oak Grove Parkway, on the north side of Oak Grove Parkway, within Little Elm's town limits, in order to establish a new Planned Development district based on Light Commercial (LC) district requirements with modified development standards, to allow a new commercial development.
- Staff Report
  - Open Public Hearing
  - Receive Public Comment
  - Close Public Hearing
  - Discussion and Recommendation

Staff presented the latest updates to the Shops at Lakefront that had been made since the October 21, 2021 Regular Planning and Zoning Commission Meeting.

Chairman Bell opened the Public Hearing at 6:32pm. There were speakers on this item. Chairman Bell closed the Public Hearing at 6:32pm.

The Commission discussed concerns over the dumpster location, but due to the unique geography of the site, concluded that there wasn't any reasonable alternative location for additional dumpsters.

Commissioner Martin wanted to know if building materials and artwork shown would have to match what was presented tonight. Staff responded saying that all components for the development, incorporated within the Planned Development Ordinance will be required to closely match the approved exhibits.

Motion: Approve the request as presented.



Motion by Commissioner Robert Martin, seconded by Commissioner Danny Weakley

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch,  
Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

9. **PUBLIC HEARING/** Daiquiri Wave (SUP-21-06613). A request for a Specific Use Permit (SUP) for a Liquor Store and Bar, generally located on Lobo Lane, approximately 400 feet south of W. Eldorado Parkway, currently zoned Light Commercial (LC), in order to allow for a new establishment with both on-premises and off-premises alcohol sales and consumption.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Staff presented the SUP application to the Commission.

Applicant Will Henry, 2716 Whiskey Harbor Dr., presented an overview of the business concept and answered questions from the Commission regarding the desired revenue sources, menu items, and business operations.

Commissioner Bell opened the Public Hearing at 6:48pm.

Roger Konieczny, owner of Margarita Hut, was opposed to the SUP stating the proposed business model too closely resembles his own, and that there is not enough demand to support two unique businesses like these in such close proximity.

Courtney Henry, 2716 Whiskey Harbor Drive, a co-applicant for Daiquiri Wave, stated that the different atmosphere created by Daiquiri Wave wouldn't interfere with existing businesses and they were willing to be engaging members of the community.

Trey Wilder, co-applicant for Daiquiri Wave, stated that the competition would be good for the community and that they were excited to bring another option with a different atmosphere for Little Elm Residents.

Chairman Bell closed the public hearing at 6:56pm.

Vice-Chairman Trees and Commissioner Hagenbuch voiced concern over the proximity of the existing liquor store location.

Commissioner Martin and Chairman Bell had concern over the classification as a liquor store, and that having the drive-thru component really pushes the business operation more towards a liquor store. Chairman Bell also had concern over the proximity to the existing daycare within the same building.

Motion: Deny the request.

Motion by Vice Chairman Ron Trees, seconded by Commissioner Danny Weakley

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Brent Hagenbuch,  
Commissioner Robert Martin, Commissioner Danny Weakley

**5 - 0 Passed - Unanimously**

4. **Discussion of future agenda items, update on Council action, and requests for new business considerations**
5. **Adjourn**

Chairman Bell adjourned the January 6, 2022 Regular Planning and Zoning Commission Meeting at 7:03pm.



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	REPLAT/Shawnee Trail (RP-21-03793)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	3.887 acres
<b>Current Zoning</b>	Light Commercial (LC)
<b>Proposed Use</b>	Commercial
<b>Existing Use</b>	Under construction commercial development
<b>Future Land Use Plan Designation</b>	Commercial/Retail
<b>Applicant</b>	Venkat Papudippu, HRK Solutions
<b>Owner</b>	Venkat Papudippu, HRK Solutions
<b>Strategic Goal</b>	

## Agenda Item

**REPLAT/Shawnee Trail (RP-21-03793).** Presentation, discussion, and consideration on a request for approval of a Replat for Shawnee Trail Church of Christ Addition Block A, Lot 1 on approximately 3.887 acres, situated in the Christian Bohrmann Survey, Abstract 86, within Little Elm's town limits, in order to establish multiple utility, access, and fire lane easements, dedicate right-of-way, and abandon multiple easements for the purpose of new commercial development on Block A, Lot 1R.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

## Location

Generally located at 25663 and 25675 Smotherman Road, on the north side of Smotherman Road, approximately 650 feet east of the intersection of Smotherman Road and FM 423.

## Planning Analysis

The purpose of this Replat submittal is to replat currently platted and recorded Shawnee Trail Church of Christ Addition Block A, Lot 1 by abandoning easements previously approved for a church development, and establishing new access, utility, and fire lane easements, for the purpose of new commercial development.

## Engineering.

The plat has been rejected for engineering review at this time for the following reason: the submittal package

did not include a response to comments and the original and revision dates are the same as submittal #2; it appears that most of the comments were not addressed.

### **Recommended Action**

Staff recommends denial of the submitted Final Plat due to incorrect and/or missing information on the plat document, necessary for review and determination of compliance with standards in Section 107 - Subdivision Ordinance.

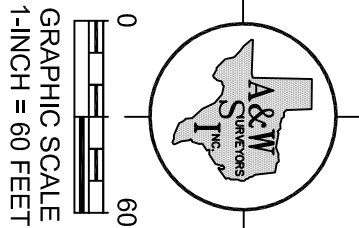
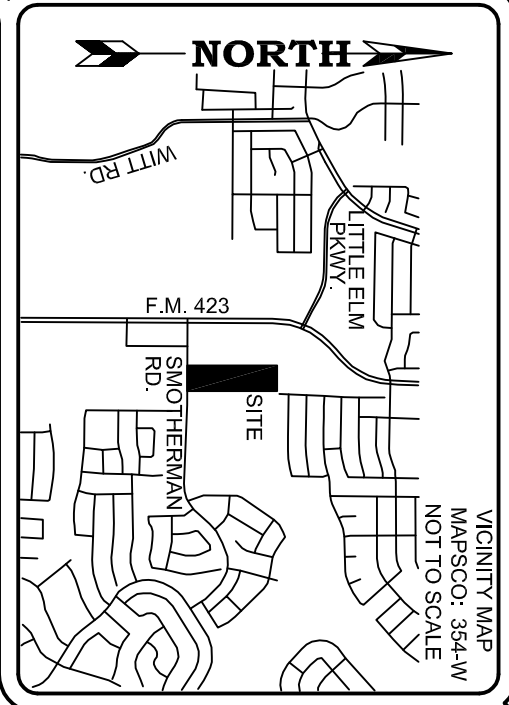
Outstanding comments include the following:

1. Provide response to comments with resubmittal
2. Notate any abandonments by this plat as "xx easement abandoned by this plat"
3. Comments are carried over from the 1st review.
  1. Per the FP Checklist, provide Final Plat Checklist (signed)
  2. Per the FP Checklist, provide Proof of ownership
  3. Per the FP Checklist, provide Copy of Title Commitment
  4. Per the FP Checklist, provide Existing FEMA 100-year floodplain boundaries with elevations listed
  5. Per the FP Checklist, provide Name, address, phone number, and email of preparer
  6. Per the FP Checklist, provide Name, address, phone number, and email of owner
  7. DE appears to cover only a portion of the storm sewer.
  8. Tax certificate shows 3.887 acres and the plat document shows 3.885 acres.
4. Provide a more detailed purpose statement listing out what is being established and what is being abandoned by this plat.
5. There is no Lot 2R associated with this replat. Any mention of Lot 2R must be removed from this plat.

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### **Attachments**

Plat Document



- TOWN OF LITTLE ELM NOTES**
- 1) All lots comply with the minimum size requirements of the zoning district.
  - 2) This property may be subject to changes related to impact fees and the applicant should contact the Town regarding any applicable fees due.
  - 3) All common areas will be owned and maintained by the HOA/POA.
  - 4) Notice - selling a portion of this addition by metes and bounds is a violation of Town Subdivision Ordinance and Platting Statutes and is subject to fines and withholding of utilities and building permits.
  - 5) This plat does not alter or remove existing deed restrictions, if any, on this property.
  - 6) Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.
  - 7) The purpose of this plat is to add fire lane and new easements.

**OWNERS CERTIFICATE**

WHEREAS HRK Realty is the sole owner of a tract of land located in the CHRISTIAN BOHRMANN SURVEY, Abstract No. 86, Town of Little Elm, Denton County, Texas, and being Lot 1, Block A, of Shawnee Trail Church of Christ Addition, an addition to the Town of Little Elm, Denton County, Texas, according to the plat thereof recorded in Cabinet W, Page 556, Plat Records, Denton County, Texas, and being the same tract of land described in deed to HRK Realty, LLC, recorded in Instrument No. 2017-00297, Official Public Records, Denton County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron rod found in the North line of Smotherman Road, a variable width right-of-way, at the Southwest corner of a tract of land described in deed to Chan Soo Hwang and In Joo Hwang, recorded in Instrument No. 2018-10964, Official Public Records, Denton County, Texas, and being the Southeast corner of said Lot 1, Block A, of said Shawnee Trail Church of Christ Addition;

Thence South 89°10'14" West, along said North line, a distance of 199.99 to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the East line of a tract of land described in deed to Tarrant Assurance Residential LP, recorded in Instrument No. 2011-41820, Official Public Records, Denton County, Texas, at the Southwest corner of said Lot 1, Block A;

Thence North 00°51'55" West, along the common line of said Lot 1 and said Tarrant Assurance Residential, a distance of 846.37 to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set at an interior ell corner of said Tarrant Assurance Residential and the Northwest corner of said Lot 1;

Thence North 89°06'05" East, along the common line of said Lot 1 and said Tarrant Assurance Residential, a distance of 200.00 to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the West line of said Hwang tract, at the Northeast corner of said Lot 1;

Thence South 00°51'54" East, along the common line of Lot 1 and said Hwang tract, a distance of 846.37 to the PLACE OF BEGINNING and containing 169245, square feet or 3.885 acres of land.

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF DALLAS

I, **THAT I, AAM Surveyors, Inc.**, do hereby certify that I prepared this Plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Town of Little Elm, Texas.

Witness my hand at Mesquite, Texas,  
This \_\_\_\_ day of \_\_\_\_, 20\_\_.

John S. Turner  
Registered Professional Land Surveyor #6310

**STATE OF TEXAS  
COUNTY OF DALLAS**

**BEFORE ME**, the undersigned, a Notary Public in and for the said County and State on this day personally appeared John S. Turner, R.P.L.S. NO. 5310, State of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Witness my hand at Mesquite, Texas,  
This \_\_\_\_ day of \_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

**OWNERS DEDICATION**

STATE OF TEXAS  
COUNTY OF DENTON

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That HRK Realty, LLC and Tarrant Assurance Residential LP, do hereby adopt this plat as: **LOTS 1R, AND 2, BLOCK A, OF SHAWNEE TRAIL CHURCH OF CHRIST ADDITION**, an addition to the Town of Little Elm, Denton County, Texas, and does hereby dedicate to the public use (beyond the streets, easements, and alleys hereon), and does hereby dedicate the easement strips shown on the plat for mutual use and accommodation of the public desiring to use, or using same. No buildings, fences, trees, shrubs, or other improvements shall be constructed or placed upon, over, or across the easement strips on said plat. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths, which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of the easement strips, and any public utility shall at all times have the right of ingress or egress to and from and upon any said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone.

WITNESS MY HAND, THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

HRK Realty, LLC  
Owner

**STATE OF TEXAS  
COUNTY OF DENTON**

**BEFORE ME**, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,  
this \_\_\_\_ day of \_\_\_\_, 20\_\_.

Notary Public in and for The State of Texas

**CERTIFICATE OF APPROVAL**

Approved by the Town of Little Elm on \_\_\_\_ day of \_\_\_\_, 20\_\_.

Town Official

ATTEST:

Town Secretary

**REPLAT  
SHAWNEE TRAIL CHURCH OF  
CHRIST ADDITION  
BLOCK A, LOTS 1R, AND 2R**

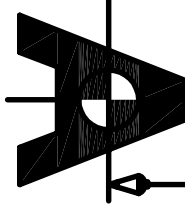
3.885 ACRES OF LAND  
AN ADDITION TO THE TOWN OF LITTLE ELM  
DENTON COUNTY, TEXAS  
CHRISTIAN BOHRMANN SURVEY, ABSTRACT 86

THIS PLAT FILED IN CABINET \_\_\_\_\_, PAGE \_\_\_\_\_

**LEGEND**

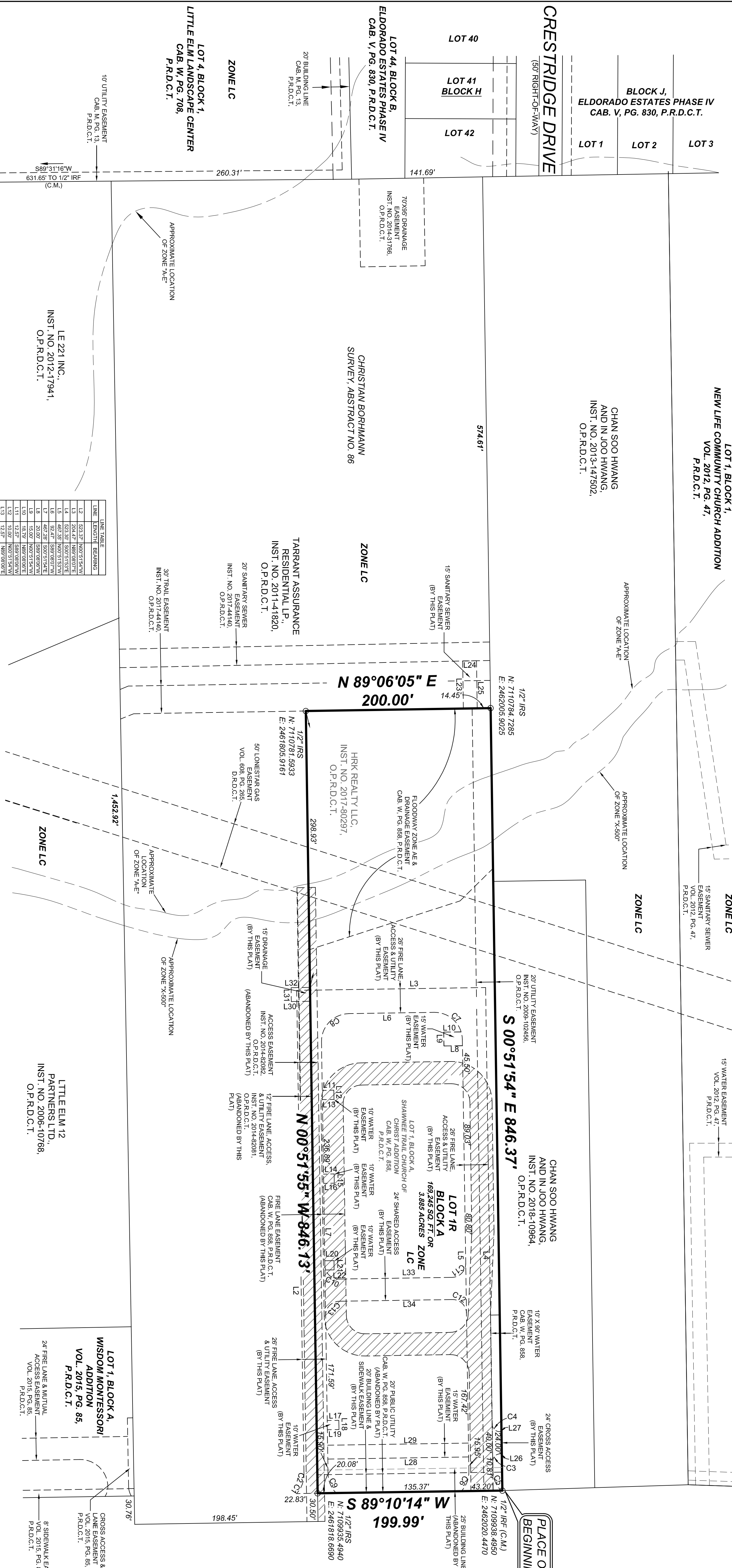
D.R.D.C.T. Deed Records, Denton County, Texas  
P.R.D.C.T. Plat Records, Denton County, Texas  
O.P.R.D.C.T. Official Public Records, Denton County, Texas  
C.M. Controlling Monument  
V.G. Volume  
Page  
1/2" IRF 1/2-inch iron rod found  
CAB. Cabinet  
P.O.B. Place of Beginning

**A&W SURVEYORS, INC.**



Professional Land Surveyors  
TEXAS REGISTRATION NO. 000717400  
P.O. BOX 581, 4055 E. FM 1752, SUITE 120  
PHOENIX, ARIZONA 85018-0581  
WWW.AWSURVEY.COM

~ PROPERTY ADDRESS: 25675 & 25663 Smotherman Rd., Little Elm, TX 75033 ~  
Owner: HRK Realty, LLC  
~ 9479 Kate Creek Rd., The02, TX 75034 ~  
Denton Co., TX 75034  
Phone: (972) 581-0925 FAX: (972) 891-4554  
~ A professional company operating in your best interest ~



**SURVEYOR'S NOTES**

1. ALL 1/2" IRON RODS SET WITH A YELLOW PLASTIC CAP STAMPED "RPLS 5310".

2. ALL COORDINATES SHOWN ARE BASED ON TEXAS STATE PLAT RECORDS, DENTON COUNTY, TEXAS, AND THE AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.

3. IT IS THE RESPONSIBILITY OF EACH BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE DRAINAGE SYSTEM, TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.

4. PUBLIC UTILITY AND DRAINAGE EASEMENTS WERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE ANY EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITY AND DRAINAGE SYSTEMS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINE, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUITS, DRAINAGE PIPES, AND NATURAL GAS LINES.

**FLOOD ZONE**

This is to certify that a portion of the subject property shown hereon lies within the 100 Year Flood Hazard Area as shown on the Flood Insurance Rate Map (FIRM) for Denton County, Texas, dated 04-18-11, as amended by Letter of Map Amendment, under Case No. 12-06-0054-P, dated August 19, 2013.

CHAIN	DELTA	RADIUS (FEET)	CH. BEAT	CHORD
C1	22.141337	30.00	11.36	N1.5707E 11.36
C2	21.41337	30.00	11.36	N0.9592E 11.36
C3	00.00000	8.00	12.37	S44.0000E 11.37
C4	00.00000	8.00	12.37	S44.0000E 11.37
C5	00.00000	30.00	23.36	S52.5019E 22.76
C6	44.27236	30.00	23.36	N1.2203E 22.76
C7	44.27236	30.00	23.36	N1.2203E 22.76
C8	44.27236	30.00	23.36	N1.2203E 22.76
C9	44.27236	30.00	23.36	N1.2203E 22.76
C10	00.00000	15.00	23.36	S43.5198E 21.21
C11	00.00000	15.00	23.36	S43.5198E 21.21
C12	00.00000	15.00	23.36	S43.5198E 21.21
C13	00.00000	15.00	23.36	S43.5198E 21.21

LINE		LENGTH	BEAVING
L2	523.37	NO.515.24"	
L3	523.37	NO.515.24"	
L4	523.37	NO.515.24"	
L5	467.55	NO.515.24"	
L6	92.47	NO.515.24"	
L7	467.55	NO.515.24"	
L8	20.00	NO.515.24"	
L9	15.00	NO.515.24"	
L10	16.73	NO.515.24"	
L11	16.73	NO.515.24"	
L12	12.57	NO.515.24"	
L13	12.57	NO.515.24"	
L14	11.54	NO.515.24"	
L15	11.54	NO.515.24"	
L16	11.54	NO.515.24"	
L17	12.56	NO.515.24"	
L18	10.00	NO.515.24"	
L19	12.56	NO.515.24"	
L20	9.97	NO.515.24"	
L21	10.00	NO.515.24"	
L22	9.97	NO.515.24"	
L23	51.42	NO.515.24"	
L24	51.42	NO.515.24"	
L25	51.46	NO.515.24"	
L26	1.95	NO.515.24"	
L27	15.27	NO.515.24"	
L28	15.27	NO.515.24"	
L29	15.27	NO.515.24"	
L30	20.45	NO.515.24"	
L31	15.00	NO.515.24"	
L32	20.45	NO.515.24"	
L33	12.24	NO.515.24"	
L34	12.24	NO.515.24"	



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	PRELIMINARY PLAT/Lakeside Shops and Business Park (PP-21-07426)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	5.006
<b>Current Zoning</b>	Planned Development PD
<b>Proposed Use</b>	Commercial
<b>Existing Use</b>	Undeveloped Land
<b>Future Land Use Plan Designation</b>	Commercial/Retail
<b>Applicant</b>	Dan Kelleher
<b>Owner</b>	Hackberry Business Park LLC
<b>Strategic Goal</b>	

## Agenda Item

**PRELIMINARY PLAT/Lakeside Shops and Business Park (PP-21-07426)** Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Lakeside Shops and Business Park, establishing Block A, Lots 1 and 2, on approximately 5.006 acres, situated in the David M. Cule Survey, Abstract No. 226, within Little Elm's Town limits.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

## Location

Generally located on the north side of Old State Highway 24, approximately 300 feet east of FM 720 and 300 feet from West Eldorado Parkway, within Little Elm Town limits.

## Planning Analysis

This is a Preliminary Plat for Lakeside Shops and Business Park. The Preliminary Plat establishes two lots of record from two existing tracts of land, and dedicates easements necessary for site development.

The purpose of the Preliminary Plat is to determine the general layout of the lots and blocks of a proposed subdivision to determine the adequacy of public facilities needed to serve the intended development and overall compliance with the Codes of Little Elm, including but not limited to the Zoning Ordinance, Thoroughfare Plan, and Comprehensive Plan.

**Engineering.**

The plat has been rejected for engineering review at this time for the following reason: outstanding engineering and fire comments, necessary for review and determination of compliance with Section 107 - Subdivision Ordinance, have not been addressed.

**Recommended Action**

Staff recommends denial of the submitted Preliminary Plat due to missing information on the plat document, necessary for review and determination of compliance with standards in Section 107 - Subdivision Ordinance. Outstanding comments include the following:

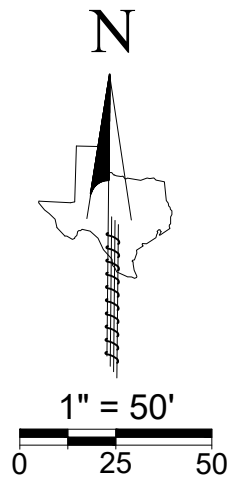
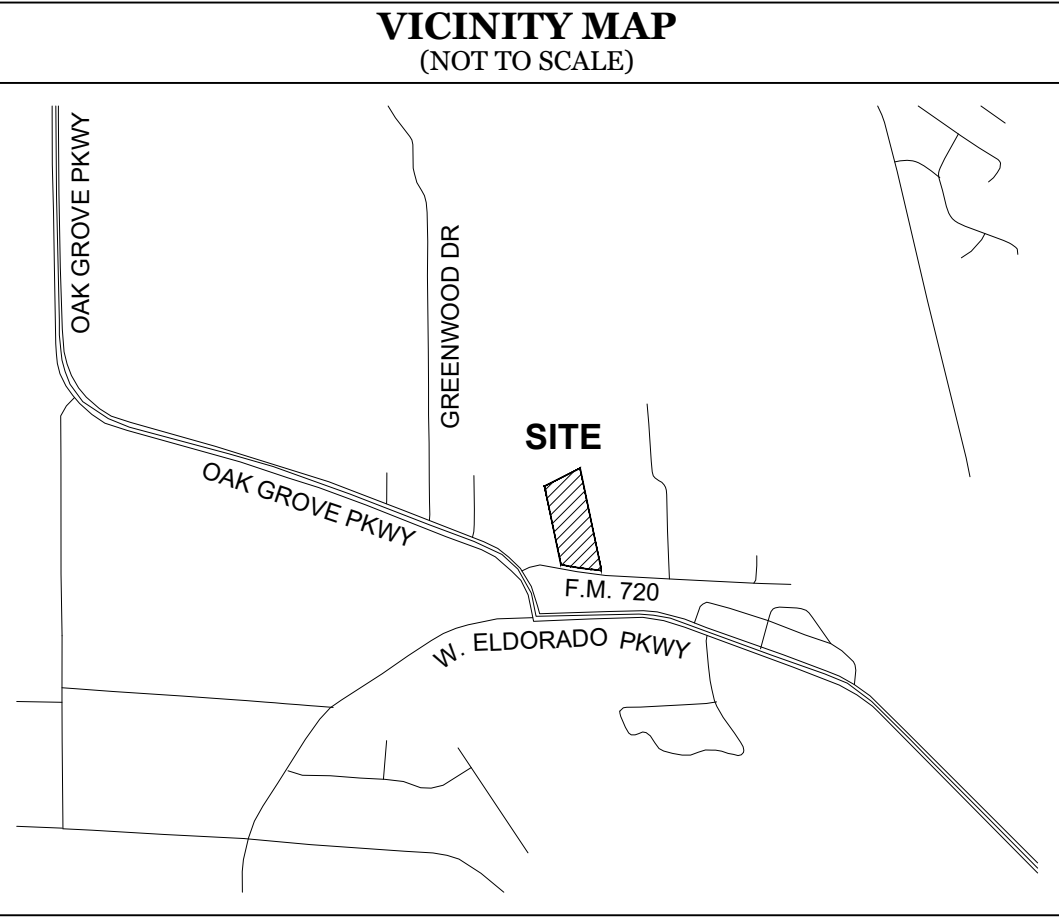
1. Per PP Checklist, provide a preliminary drainage plan.
2. Per PP Checklist, provide a preliminary utility plan.
3. Per PP Checklist, provide a traffic impact checklist. Please note that a traffic impact analysis will be required.
4. To ensure fire lane compliance, need to identify where future buildings will be placed on the back lot.
5. Combined acreage of the two existing tracts of land, as provided on the tax certificates, does not total 5.006 acres.
6. Provide Existing zoning of the subject property and adjacent lots.

---

**Attachments**

Plat Document





- GENERAL NOTES**
- The purpose of this plat is to create two (2) lots of record from two (2) existing tracts of land, and to dedicate easements for site development.
  - The subject property does not lie within a 100 year floodplain according to Community Panel No. 48121C0415G, dated April 18, 2011 of the National Flood Insurance rate Maps for Denton County, Texas.
  - The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network - North American Datum of 1983 (Adjustment Realization 2011).
  - Notice - selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
  - All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
  - The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTK Network - North American Datum of 1983 (Adjustment Realization 2011).
  - This property may be subject to charges related to impact fees and the applicant should contact the Town regarding any applicable fees due.
  - All common areas will be owned and maintained by the HOA/POA.
  - All lots comply with the minimum size requirements of the zoning district.
  - This plat does not alter or remove existing deed restrictions, if any, on this property.

LEGEND	
●	UTILITY POLE
⊗	STORM DRAIN MANHOLE
⊕	WATER VALVE
⬆	FIRE HYDRANT
⊙	WATER METER
⊞	UTILITY VAULT
□	POINT OF BEGINNING
POB	IRON ROD FOUND
IRF	CAPPED IRON ROD FOUND
CIRF	DOCUMENT NUMBER
DOC. NO.	PLAT RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
D.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS
R.P.R.D.C.T.	WIRE FENCE
---	OVERHEAD UTILITIES

Project  
2108.006-03

Date  
12-20-2021

Drafter  
CHM

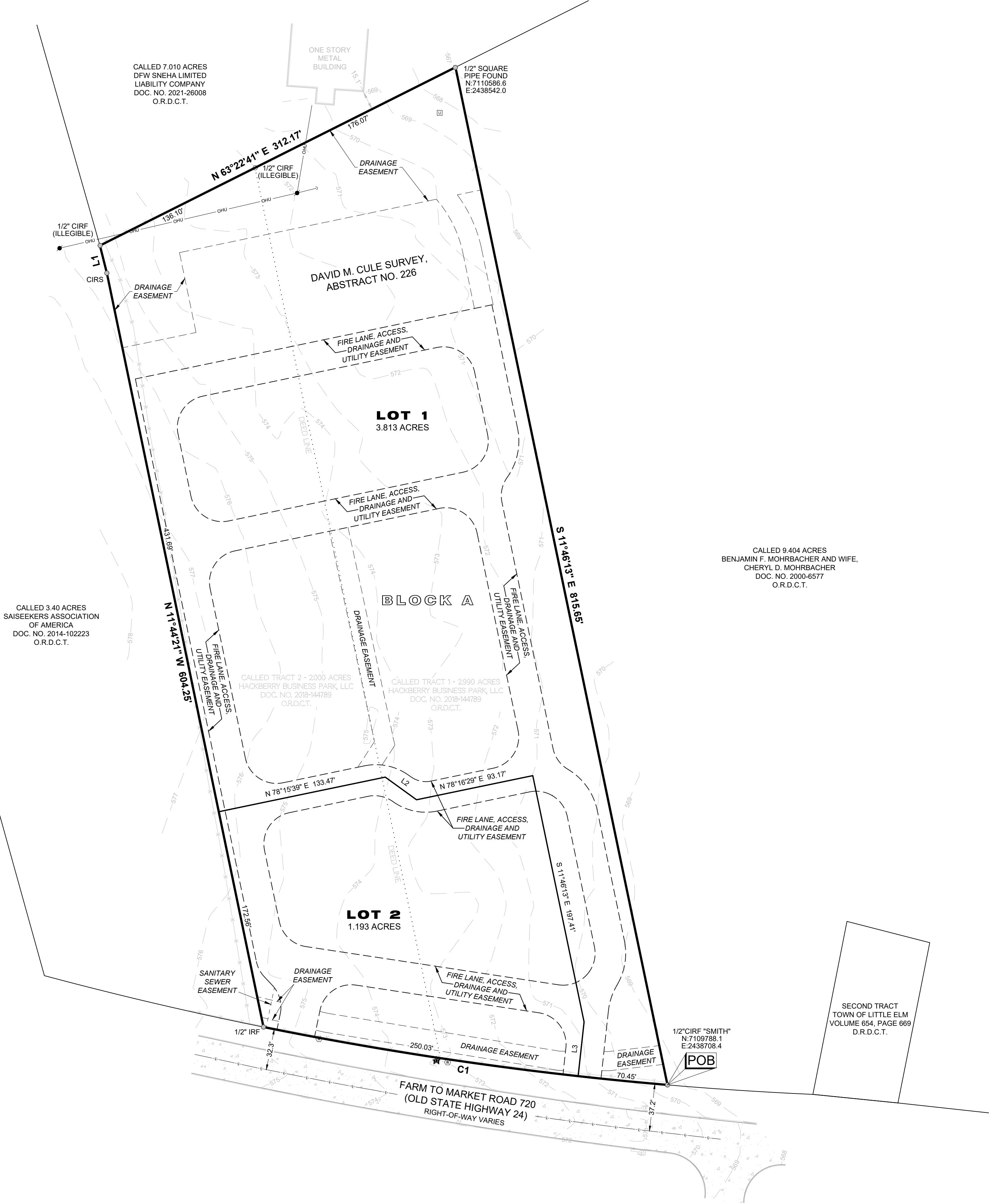


**EAGLE SURVEYING, LLC**  
210 S. Elm Street, Suite: 104  
Denton, TX 76201  
(940) 222-3009  
TX Firm #10194177

**SURVEYOR**  
Eagle Surveying, LLC  
Contact: Tyler Rank  
210 S. Elm Street, Suite: 104  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
Marshall Gage, LLC  
Contact: Scott Caruthers, P.E.  
207 E. Virginia, Suite: 216  
McKinney, TX 75069  
(972) 542-9018

**OWNER**  
Hackberry Business Park, LLC  
P.O. Box 1217  
Frisco, TX 75034



CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	320.48'	2819.79'	6°30'43"	N 81°51'10" W	320.31'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 14°08'58" W	22.29'
L2	S 54°07'58" E	30.30'
L3	S 06°14'52" W	42.79'

**CERTIFICATE OF APPROVAL**

APPROVED by the Town of Little Elm Town Council

on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Town Official

ATTEST:

\_\_\_\_\_  
Town Secretary

**OWNER'S CERTIFICATE & DEDICATION**

STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS, **HACKBERRY BUSINESS PARK, LLC**, is the owner of a 5.006 acre tract of land out of the DAVID M. CULE SURVEY, ABSTRACT NUMBER 226, situated in the Town of Little Elm, Denton County, Texas and being all of a called Tract 1 - 2.990 acre tract of land and all of a called Tract 2 - 2.000 acre tract conveyed to Hackberry Business Park, LLC by deed of record in Document Number 2018-144789 of the Official Records of Denton County, Texas and being more particularly described by metes and bounds as follows:

**BEGINNING**, at a 1/2 inch iron rod with yellow plastic cap stamped "JE SMITH" found in the curving North right-of-way line of Farm to Market Road 720 (right-of-way varies), being the Southwest corner of a called 9.404 acre tract of land conveyed to Benjamin and Cheryl Mohrbacher by deed of record in Document Number 2000-6577 of said Official Records, also being the Southeast corner of said 2.990 acre tract and hereof;

**THENCE**, along the curving North right-of-way line of Farm to Market Road 720, being in part, the common South line of said 2.990 acre tract, and in part, the common South line of said 2.000 acre tract, along a non-tangent curve to the right, having a radius of 2819.79 feet, a chord bearing of N81°51'10"W, a chord length of 320.31 feet, a delta angle of 06°30'43", an arc length of 320.48 feet to a 1/2 inch iron rod found at the Southeast corner of a called 3.40 acre tract of land conveyed to Saiseekers Association of America by deed of record in Document Number 2014-102223 of said Official Records, being the Southwest corner of said 2.000 acre tract and hereof;

**THENCE**, leaving the North right-of-way line of Farm to Market Road 720, along the East line of said 3.40 acre tract and the common West line of said 2.000 acre tract, the following two (2) courses and distances:

- N11°44'21"W, a distance of 604.25 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N14°08'58"W, a distance of 22.29 feet to a 1/2 inch iron rod with unreadable orange plastic cap found in the South line of a called 7.010 acre tract of land conveyed to DFW Sneha Limited Liability Company by deed of record in Document Number 2021-26008 of said Official Records, being the Northwest corner of said 2.000 acre tract and hereof;

**THENCE**, N63°22'41"E, leaving the East line of said 3.40 acre tract, along the South line of said 7.010 acre tract, being in part, the common North line of said 2.000 acre tract, and in part, the common North line of said 2.990 acre tract, passing at a distance of 136.10 feet a 1/2 inch iron rod with illegible yellow plastic cap found at the Northwest corner of said 2.990 acre tract, being the Northeast corner of said 2.000 acre tract, and continuing for a total distance of 176.07 feet to a 1/2 inch square pipe found at the Northwest corner of said 9.404 acre tract, being the Northeast corner of said 2.990 acre tract and hereof;

**THENCE**, S11°46'13"E, leaving the South line of said 7.010 acre tract, along the West line of said 9.404 acre tract, being the common East line of said 2.990 acre tract, a distance of 815.65 feet to the **POINT OF BEGINNING** and containing an area of 5.006 Acres, or (218,052 Square Feet) of land, more or less.

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT, **HACKBERRY BUSINESS PARK, LLC**, does hereby adopt this plat, designating herein described property as **LAKESIDE SHOPS AND BUSINESS PARK**, an addition to the Town of Little Elm, Denton County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the drainage and utility easements as shown. Said drainage and utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the drainage and utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said drainage and utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone.

OWNER: **HACKBERRY BUSINESS PARK, LLC**, a Texas liability company

BY: \_\_\_\_\_  
Authorized Agent

\_\_\_\_\_  
Date

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

**CERTIFICATE OF SURVEYOR**

STATE OF TEXAS §  
COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the Town of Little Elm, Denton County, Texas.

**PRELIMINARY**  
this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. #6402 \_\_\_\_\_  
Date

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

**PRELIMINARY PLAT  
LAKESIDE SHOPS AND  
BUSINESS PARK  
LOTS 1 & 2, BLOCK A**

BEING 5.006 ACRES OF LAND OUT OF THE  
DAVID M. CULE SURVEY, ABSTRACT NO. 226  
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

SCALE: 1" = 50'





# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	FINAL PLAT/Spiritas Ranch Phase 1L (FP-21-07425)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	24.003 acres
<b>Current Zoning</b>	Planned Development PD
<b>Proposed Use</b>	Low Density Residential
<b>Existing Use</b>	Undeveloped Land
<b>Future Land Use Plan Designation</b>	Low Density Residential
<b>Applicant</b>	Matt Clark, Barraza Consulting Group LLC
<b>Owner</b>	MM Little Elm 548, LLC
<b>Strategic Goal</b>	

## Agenda Item

**FINAL PLAT/** Spiritas Ranch Phase 1L (FP-21-07425). Presentation, discussion, and consideration on a request for approval of a Final Plat for Spiritas Ranch Phase 1L, establishing 109 residential lots and 4 common area lots on approximately 24.003 acres, situated in the Marsella Jones Survey, Abstract No. 662, within Little Elm's Town limits.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

## Location

Generally located on the east side of Oak Grove Parkway, approximately 3,000 feet south of East University Drive, within Little Elm's town limits.

## Planning Analysis

This is a Final Plat for Spiritas Ranch Phase 1L, part of the master planned single-family residential development Spiritas Ranch. The Final Plat establishes 109 residential lots and 4 common area lots on approximately 24.003 acres, dedicates 4.657 acres of right-of-way, identifies setbacks, and establishes easements necessary for development.

The purpose of a Final Plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of this Subdivision Ordinance pertaining to the adequacy of public facilities, that

public improvements to serve the subdivision or development have been installed and accepted by the Town or that provision for such installation has been made, that all other requirements and conditions have been satisfied or provided to allow the Final Plat to be recorded.

**Engineering.**

Staff has reviewed the submitted plat documents and found items out of compliance with the requirements of Section 107 - Subdivision Ordinance. Since providing comments back to the applicant on December 30, 2021, no revisions have been received. Given the required timeframe for action on plat documents, Staff has determined that the outstanding items are minor enough to be included as conditions.

**Recommended Action**

Staff recommends approval of the submitted Final Plat with the following conditions:

Prior to recording the plat:

1. Mustang SUD information regarding water and wastewater utilities (TYP) must be provided.
2. The number of common lots must be revised to reflect the actual number of lots provided
3. Blocks must be identified with letters
4. Lot Breakdown under Plat Title must have a separate breakdown for the 4 common area lots with total acreage.
5. Lot Table must be provided, showing all lots by blocks, with widths and total areas, inclusive of all X lots.
6. Additionally, a separate chart notating each Common area lot with acreage.
7. Block "A" in note 17 must be capitalized.

---

**Attachments**

Plat Document









# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	PRELIMINARY PLAT/Royal Court Addition (PP-21-07102)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	8.52 acres
<b>Current Zoning</b>	Planned Development PD
<b>Proposed Use</b>	Low Density Residential
<b>Existing Use</b>	Undeveloped Land
<b>Future Land Use Plan Designation</b>	Low Density Residential
<b>Applicant</b>	Sachi Burlingame, Kirkman Engineering
<b>Owner</b>	Jim Fox, Ranchetta LLC
<b>Strategic Goal</b>	

## Agenda Item

**PRELIMINARY PLAT/Royal Court Addition (PP-21-07102).** Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Royal Court Addition, establishing 47 residential lots and 5 common area lots on approximately 8.52 acres, situated in the H. Kendall Survey, Abstract No. 713, within Little Elm's Town limits.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

## Location

Generally located on the southeast corner of the intersection of King Road and Witt Road, within Little Elm's town limits.

## Planning Analysis

This is a Preliminary Plat for Royal Court Addition, part of the single-family residential development recently approved as the Kings Cove Planned Development. The Preliminary Plat identifies the layout of the proposed residential development, with 47 residential lots and 5 common area lots on approximately 8.52 acres, dedicates 1.865 acres of right-of-way, setbacks, and associated easements necessary for development.

The purpose of the Preliminary Plat is to determine the general layout of the lots and blocks of a proposed subdivision to determine the adequacy of public facilities needed to serve the intended development and

overall compliance with the Codes of Little Elm, including but not limited to the Zoning Ordinance, Thoroughfare Plan, and Comprehensive Plan.

**Engineering.**

Staff has reviewed the submitted plat documents and found it to be in compliance with most of the requirements of Section 107 - Subdivision Ordinance as well as Planned Development Ordinance No. 1642. The outstanding items have been determined to be minor enough to be included as conditions.

**Recommended Action**

Staff recommends approval of the submitted Preliminary Plat with the following conditions:

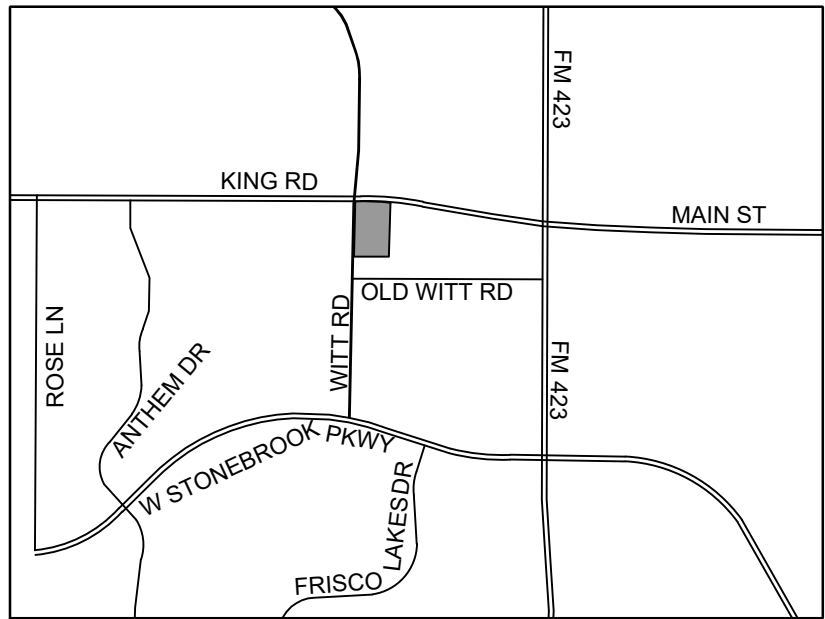
Prior to recording the plat:

1. Date of the plat must reflect the most recent, fully written out date of approved revisions.
2. Signature block should state Town Official instead of Planning and Zoning Commission Chairman.
3. Plat Title must include the total number of residential lots, common area lots, and proposed right of way acreage dedication.
4. Drainage calculations identify 24.06 CFS; it's unclear as to where this number comes from. Provide clear documentation and references to the appropriate areas considered in calculation when submit for SDV permit.
5. Include appropriate and detailed calculations, including but not limited to, where the subdivision drainage systems tie into existing storm sewer, capacity of the overall system, and for the proposed detention pond.
6. Is there a specific reason the construction entrance/exist is placed here? Consider placing it in the future entrance to the subdivision.

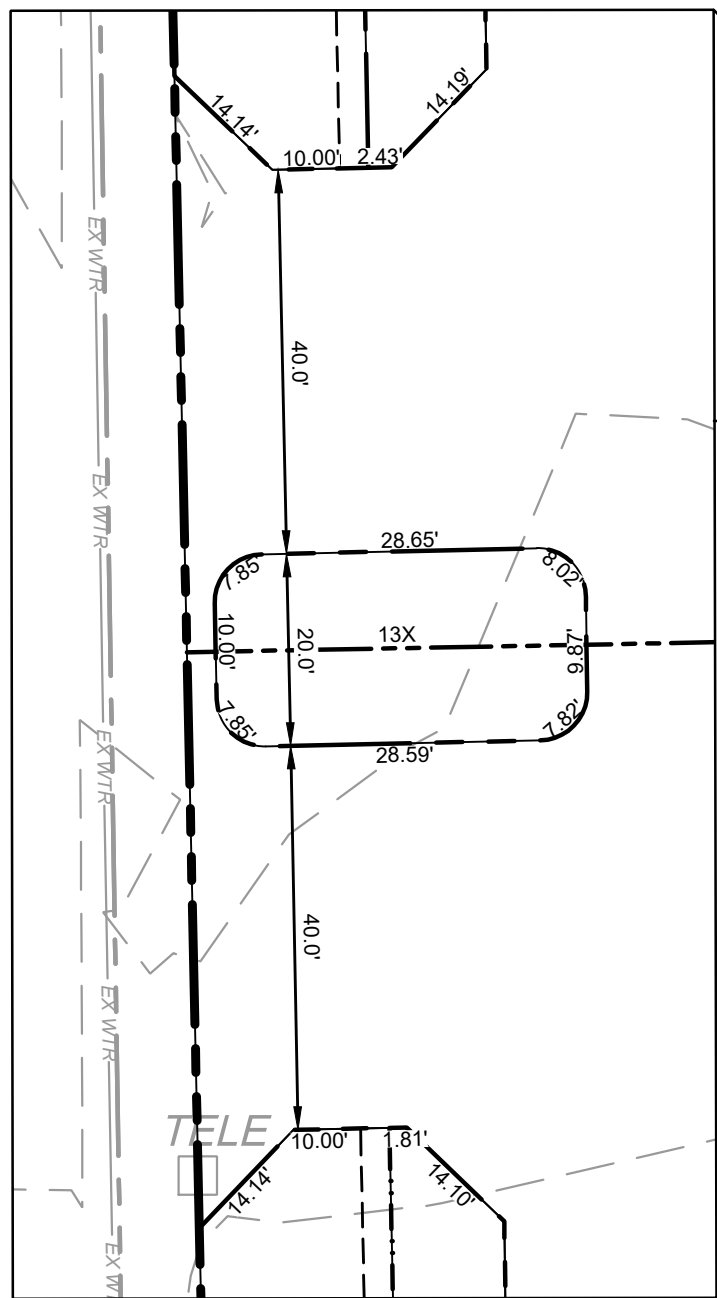
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**Attachments**

Plat Document



VICINITY MAP  
N.T.S.



GRAPHIC SCALE

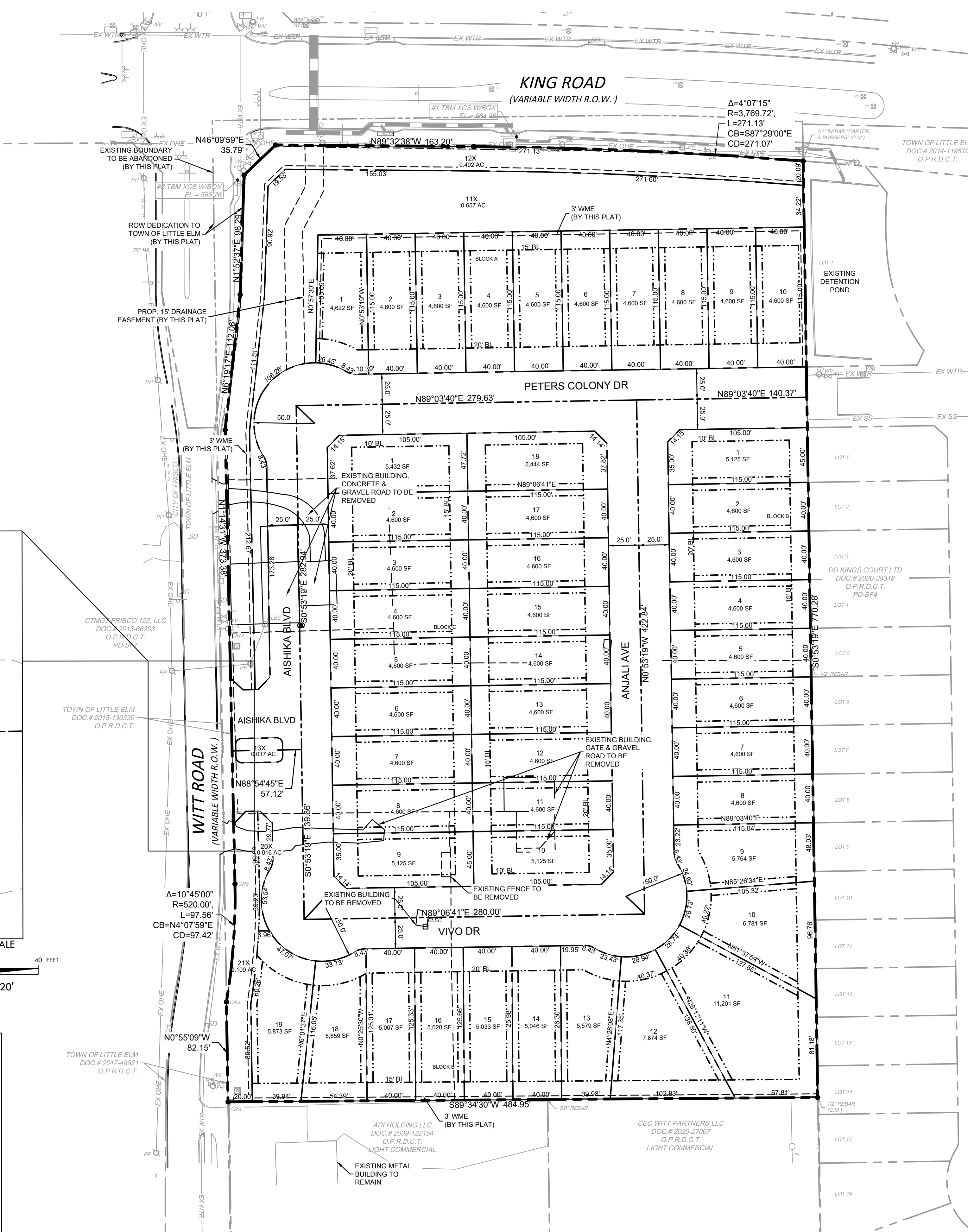
SCALE: 1" = 20'

CERTIFICATE OF PRELIMINARY PLAT APPROVAL

Approved \_\_\_\_\_  
Chairman, Town Official \_\_\_\_\_ Date \_\_\_\_\_  
Town of Little Elm, Texas

The undersigned, the Town Secretary of the Town of Little Elm, Texas, hereby certifies that the foregoing Preliminary Plat of the \_\_\_\_\_ Subdivision or Addition to the Town of Little Elm was submitted to the Planning and Zoning Commission on the \_\_\_\_\_ day of \_\_\_\_\_, and the Commission, by formal action, then and there accepted the Final Plat and hereby authorizes the developer to proceed with the construction of public works improvements and infrastructure as indicated on the accompanying construction plans, and said Commission further authorizes the Chairman of the Planning and Zoning Commission to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness by hand this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Town Secretary  
Town of Little Elm, Texas



- LEGEND OF ABBREVIATIONS
- D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
  - P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
  - O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
  - DOC.# DOCUMENT NUMBER
  - C.M. CONTROLLING MONUMENT
  - SQ. FT. SQUARE FEET
  - ROW RIGHT OF WAY
  - CRS CAPPED REBAR SET

SITE BENCHMARKS

TBM NO. 1 The site benchmark is an "X" cut with box set on top of an inlet in the south right of way of King Road, north of the site, immediately east of a storm drain manhole, and being approximately 270 feet from the intersection of King Road and Witt Road. ELEVATION = 564.38' (NAVD '88)

TBM NO. 2 The site benchmark is an "X" cut with box set on top of an inlet in the west right of way of Witt Road, being immediately north of a storm drain manhole, and being approximate 100 feet south from the intersection of King Road and Witt Road. ELEVATION = 566.25' (NAVD '88)

LOT AREA TABLE				LOT AREA TABLE				LOT AREA TABLE			
LOT	BLOCK	S.F.	AC.	LOT	BLOCK	S.F.	AC.	LOT	BLOCK	S.F.	AC.
1	BLOCK A	4,622	0.106	1	BLOCK B	5,125	0.118	1	BLOCK C	5,432	0.125
2	BLOCK A	4,600	0.106	2	BLOCK B	4,600	0.106	2	BLOCK C	4,600	0.106
3	BLOCK A	4,600	0.106	3	BLOCK B	4,600	0.106	3	BLOCK C	4,600	0.106
4	BLOCK A	4,600	0.106	4	BLOCK B	4,600	0.106	4	BLOCK C	4,600	0.106
5	BLOCK A	4,600	0.106	5	BLOCK B	4,600	0.106	5	BLOCK C	4,600	0.106
6	BLOCK A	4,600	0.106	6	BLOCK B	4,600	0.106	6	BLOCK C	4,600	0.106
7	BLOCK A	4,600	0.106	7	BLOCK B	4,600	0.106	7	BLOCK C	4,600	0.106
8	BLOCK A	4,600	0.106	8	BLOCK B	4,600	0.106	8	BLOCK C	4,600	0.106
9	BLOCK A	4,600	0.106	9	BLOCK B	5,764	0.132	9	BLOCK C	5,125	0.118
10	BLOCK A	4,600	0.106	10	BLOCK B	6,781	0.156	10	BLOCK C	5,125	0.118
				11	BLOCK B	11,201	0.257	11	BLOCK C	4,600	0.106
				12	BLOCK B	7,874	0.181	12	BLOCK C	4,600	0.106
				13	BLOCK B	5,579	0.128	13	BLOCK C	4,600	0.106
				14	BLOCK B	5,046	0.116	14	BLOCK C	4,600	0.106
				15	BLOCK B	5,033	0.116	15	BLOCK C	4,600	0.106
				16	BLOCK B	5,020	0.115	16	BLOCK C	4,600	0.106
				17	BLOCK B	5,007	0.115	17	BLOCK C	4,600	0.106
				18	BLOCK B	5,659	0.130	18	BLOCK C	5,444	0.125
				19	BLOCK B	5,873	0.135				

PRELIMINARY PLAT NOTES:

- ALL LOTS COMPLY WITH THE MINIMUM SIZE REQUIREMENTS OF THE ZONING DISTRICT (PD-SF4) ORDINANCE NO. 1642
- THIS PROPERTY MAY BE SUBJECT TO CHARGES RELATED TO IMPACT FEES AND THE APPLICANT SHOULD CONTACT THE TOWN REGARDING ANY APPLICABLE FEES DUE.
- ALL COMMON AREAS WILL BE OWNED AND MAINTAINED BY THE HOA/POA.
- NOTICE - SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTIONS, IF ANY, ON THIS PROPERTY.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO COMMUNITY PANEL NO. 4812C0420G, DATED 4/18/2011, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR DENTON COUNTY, TX.

LOT AREA TABLE

LOT	BLOCK	S.F.	AC.
	ROW	81,243	1.865
11X	BLOCK A	28,599	0.657
12X	BLOCK A	17,508	0.402
13X	BLOCK A	751	0.017
20X	BLOCK B	705	0.016
21X	BLOCK B	4,735	0.109



GRAPHIC SCALE

0 50 100 FEET  
SCALE: 1" = 50'

PRELIMINARY PLAT  
CITY PROJECT NO. PP-21-07102

8.52 ACRES  
LOT 1-10, 11X, 12X, 13X, BLOCK A  
LOT 1-19, 20X, 21X, BLOCK B  
LOT 1-18, LOT C  
ROYAL COURT ADDITION  
A TRACT SITUATED IN THE  
H. KENDALL SURVEY, ABSTRACT #713  
TOWN OF LITTLE ELM,  
DENTON, TEXAS  
PREPARATION DATE: DECEMBER 21, 2021

**APPLICANT**  
RESPACE  
4050 MCEWEN #8101  
FARMERS BRANCH, TX, 75244  
PH: 469-531-4131  
CONTACT: BRANDT BARHAM  
BRANDT@RESpaceUSA.COM

**ENGINEER**  
KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
PH: 817-488-4960  
CONTACT: SACHI BURLINGAME, PE  
SACHI.BURLINGAME@TRUSTEKE.COM





### LEGEND

BASIN NAME	DA1
ACRES	0.63 ac.
Q100 (cfs)	5.57

EXISTING DRAINAGE AREA LABEL

EXISTING DRAINAGE AREA DIVIDE

EXISTING DRAINAGE FLOW ARROW

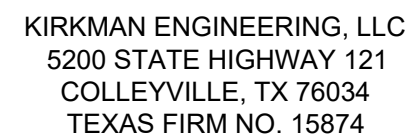
EXISTING CONTOUR

EXISTING STORM PIPE

PROPERTY BOUNDARY

**RESPACE**

ROYAL COURT  
47 RESIDENTIAL LOTS  
TOWN OF LITTLE ELM  
DENTON COUNTY, TEXAS

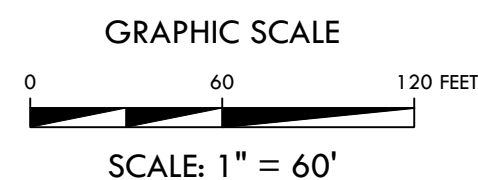
[illegible]

ISSUE DATE:      DATE

SHEET:

# PP2.0

NOTE: DRAINAGE CRITERIA TAKEN FROM TOWN OF LITTLE ELM  
ENGINEERING DESIGN STANDARDS DATED MARCH 2018.







P R E L I M I N A R Y  
F O R R E V I E W O N L Y  
T H E S E D O C U M E N T S A R E F O R  
D E S I G N R E V I E W O N L Y A N D  
N O T I N T E N D E D F O R T H E  
P U R P O S E S O F C O N S T R U C T I O N ,  
B I D D I N G O R P E R M I T . T H E Y  
W E R E P R E P A R E D B Y , O R  
U N D E R T H E S U P E R V I S I O N O F :  
S H E A O . K I R K M A N  
P . E . # 9 1 8 6 5

**RESPACE**

4050 MCEWEN RD, STE. 8101  
FARMERS BRANCH, TX 75244  
469-531-4131

ROYAL COURT  
47 RESIDENTIAL LOTS  
TOWN OF LITTLE ELM  
DENTON COUNTY, TEXAS

[illegible]

KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

JOB NUMBER: RSP21001

ISSUE DATE:      DATE

**PRELIMINARY  
DRAINAGE  
AREA MAP**

SHEET:

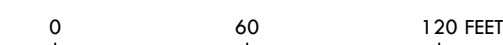
# PP2.1

PROPOSED DRAINAGE AREA CALCULATIONS Q=CIA								
DRAINAGE AREA ID	Tc (min.)	RUNOFF COEFFICIENT 'C'	AREA (acres)	I5 (in./hr.)	Q5 (cfs)	I100 (in./hr.)	Q100 (cfs)	COMMENTS
DA1	10	0.65	0.86	5.02	2.80	9.24	5.15	TO EX. 5'X5' Y INLET
DA2	10	0.65	0.50	5.02	0.64	9.24	1.17	DEFENTION TO EX. STORM JUNCTION BOX
DA3	10	0.65	1.60	5.02	5.22	9.24	9.62	TO PROP. CURB INLET 1
DA4	10	0.65	1.32	5.02	4.30	9.24	7.92	TO PROP. CURB INLET 2
DA5	10	0.65	1.18	5.02	3.84	9.24	7.06	TO PROP. CURB INLET 3
DA6	10	0.65	1.83	5.02	5.96	9.24	10.97	TO PROP. CURB INLET 4
DA7	10	0.65	0.32	5.02	1.03	9.24	1.90	TO PROP. CURB INLET 5
DA8	10	0.65	1.23	5.02	4.02	9.24	7.40	TO PROP. CURB INLET 6
DA9	10	0.90	0.64	5.02	2.89	9.24	5.31	TO EX. GRATE INLET

NOTE: DRAINAGE CRITERIA TAKEN FROM TOWN OF LITTLE ELM ENGINEERING DESIGN STANDARDS DATED MARCH 2013  
PER CARTER BURGESS (06/2007) KING ROAD PLANS THE ALLOWED Q FROM THE DEVELOPMENT IS 24.06 CFS.



GRAPHIC SCALE



SCALE: 1" = 60'



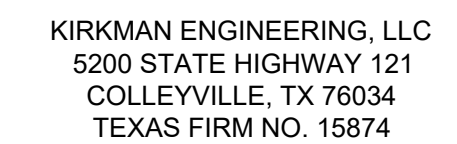


TBM NO. 1 The site benchmark is an "X" cut with box set on top of an inlet in the south right of way of King Road, north of the site, immediately east of a storm drain manhole, and being approximately 270 feet from the intersection of King Road and Witt Road. ELEVATION = 564.38' (NAVD '88)

TBM NO. 2 The site benchmark is an "X" cut with box set on top of an inlet in the west right of way of Witt Road, being immediately north of a storm drain manhole, and being approximate 100 feet south from the intersection of King Road and Witt Road. ELEVATION = 566.26' (NAVD '88)

**RESPACE**

ROYAL COURT  
47 RESIDENTIAL LOTS  
TOWN OF LITTLE ELM  
DENTON COUNTY, TEXAS

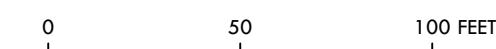
[illegible]

ISSUE DATE:      DATE

## SHEET:



GRAPHIC SCALE



SCALE: 1" = 50'

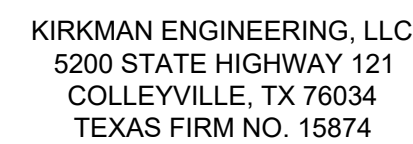




P R E L I M I N A R Y  
F O R R E V I E W O N L Y  
T H E S E D O C U M E N T S A R E F O R  
D E S I G N R E V I E W O N L Y A N D  
N O T I N T E N D E D F O R T H E  
P U R P O S E S O F C O N S T R U C T I O N,  
B I D D I N G O R P E R M I T. T H E Y  
W E R E P R E P A R E D B Y, O R  
U N D E R T H E S U P E R V I S I O N O F:  
  
S H E A O. K I R K M A N  
P. E. # 91865

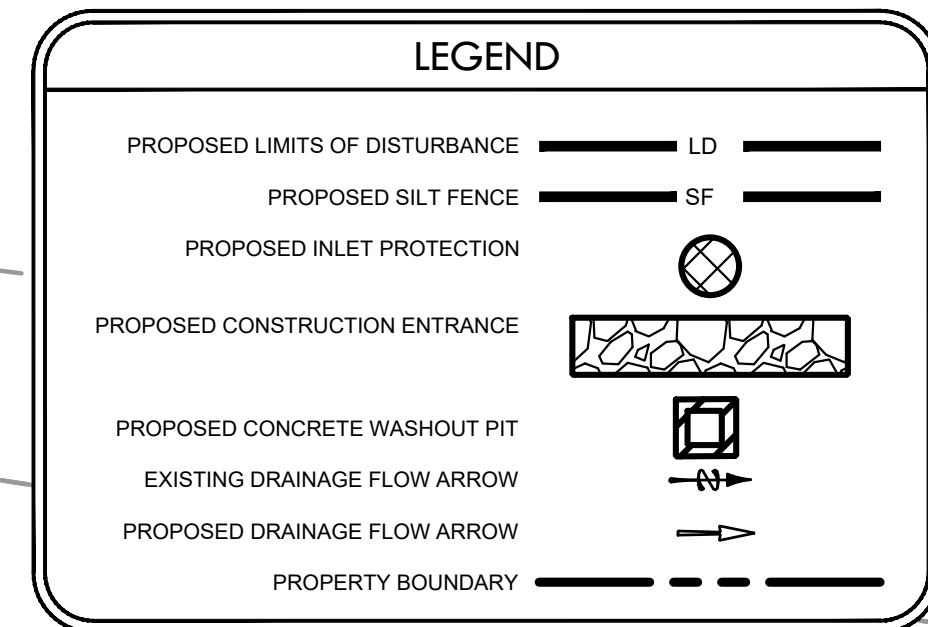
4050 MCEWEN RD, STE. 8101  
FARMERS BRANCH, TX 75244  
469-531-4131

ROYAL COURT  
47 RESIDENTIAL LOTS  
TOWN OF LITTLE ELM  
DENTON COUNTY, TEXAS

[illegible]

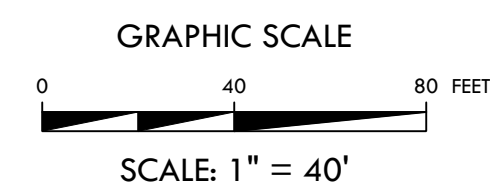
ISSUE DATE:      DATE

SHEET:  
PP2.3



### EROSION CONTROL SEQUENCE

1. INSTALL SILT FENCES AROUND PERIMETER OF PROPERTY AND DISTURBED AREAS AS SHOWN.
2. INSTALL INLET PROTECTION FOR ALL EXISTING GRATE INLETS, CURB INLETS AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES, IF PRESENT.
3. CONSTRUCT TEMPORARY CONSTRUCTION SLOPES.
4. COMMENCE GRUBBING AND REMOVAL OF VEGETATION IN AREA TO RECEIVE CUT OR FILL.
5. COMMENCE GRADING OPERATION FOR BUILDING PAD PREPARATION.
6. INSTALL ALL UNDERGROUND UTILITIES.
7. FINALIZE PAVEMENT SUBGRADE PREPARATION.
8. INSTALL ALL PROPOSED STORM SEWER PIPES AND INSTALL INLET PROTECTION SILT FENCES AT ENDS OF EXPOSED PIPES.
9. CONSTRUCT ALL GRATE INLETS AND DRAINAGE STRUCTURES. INLET PROTECTION SILT FENCES MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
10. REMOVE SILT FENCES AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO THE START OF STABILIZED BASE COURSE.
11. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT, CURB & GUTTER.
12. INSTALL ALL PAVING, CURB & GUTTER.
13. COMPLETE PLANTINGS AND/OR SEEDING OF VEGETATED AREAS TO ACCOMPLISH STABILIZATION AS IN ACCORDANCE WITH MCTC'S STANDARD SPECIFICATIONS.
14. REMOVE TEMPORARY CONSTRUCTION EXIT & SILT FENCES.



FULL PATH: K:\Jobs\RS21001\_LittleEm TH\Drawings\02\_PPLAT\03 - Production\PRELIMINARY EROSION CONTROL\_RS21001

FILENAME: PRELIMINARY EROSION CONTROL\_RSP21001.dwg  
PLOTTED BY: Sachi Burlingame  
PLOTTED DATE: 1/10/2022





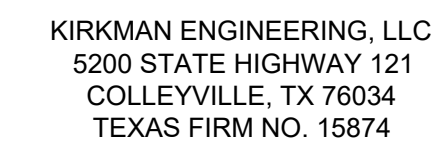
FILENAME: PRELIMINARY UTILITY PLAN\_RSP21001.dwg  
PLOTTED BY: Sach Buthigame  
PLOTTED DATE: 1/10/2022

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TBM NO. 2 The site benchmark is an "X" cut with box set on top of an inlet in the west right of way of Witt Road, being immediately north of a storm drain manhole, and being approximate 100 feet south from the intersection of King Road and Witt Road. ELEVATION = 566.28' (NAVD '88)

**RESPACE**

**ROYAL COURT**  
47 RESIDENTIAL LOTS  
TOWN OF LITTLE ELM  
DENTON COUNTY, TEXAS

[illegible]

ISSUE DATE:      DATE

SHEET:

# PP3.0

EXISTING SANITARY SEWER ———— EX SS ————

PROPOSED SANITARY SEWER ———— SS ————

EXISTING WATER ———— EX WTR ————

PROPOSED WATER ———— W ————

EXISTING SANITARY SEWER MANHOLE (S)

PROPOSED SANITARY SEWER MANHOLE (SS)

PROPOSED SANITARY SEWER CLEANOUT (C)

EXISTING FIRE HYDRANT (FH)

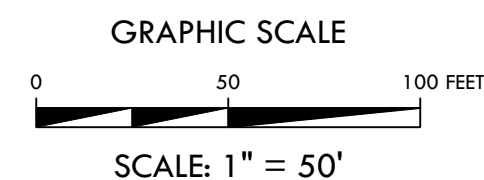
PROPOSED FIRE HYDRANT (FH)

EXISTING GAS ———— EX GAS ————

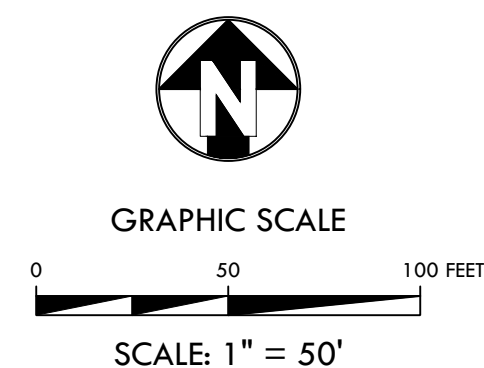
EXISTING UNDERGROUND ELECTRIC ———— EX UGE ————

EXISTING OVERHEAD ELECTRIC ———— EX OHE ————

PROPERTY BOUNDARY ————









# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	FINAL PLAT/Union Place Phase 2 (FP-21-07420)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	4.604 acres
<b>Current Zoning</b>	Planned Development PD
<b>Proposed Use</b>	Commercial
<b>Existing Use</b>	Undeveloped Land
<b>Future Land Use Plan Designation</b>	Commercial/Retail
<b>Applicant</b>	Andrea Saavedra, Kikmley-Horn
<b>Owner</b>	Elaine Ford, H4 Little Elm LP
<b>Strategic Goal</b>	

## Agenda Item

**FINAL PLAT/Union Place Phase 2 (FP-21-07420).** Presentation, discussion, and consideration on a request for the approval of a Final Plat for Lots 4, 5, and 6 of Block C, and Right-of-Way dedication on approximately 4.604 acres, situated in the Thomas Navo Survey, Abstract No. 964, within Little Elm's town limits.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

## Location

Generally located on the east side of Pergola Drive, between US Highway 380 and Union Place, within Little Elm's town limits.

## Planning Analysis

This is a Final Plat for Union Place Phase 2, this is the commercial tract along US Highway 380, that is in connection with the master planned single-family residential development Union Park. The Final Plat establishes 3 commercial Lots 4, 5, and 6, on Block C on approximately 4.604 acres, dedicates 1.577 acres of right-of-way, identifies setbacks, and establishes easements necessary for development.

The purpose of a Final Plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of this Subdivision Ordinance pertaining to the adequacy of public facilities, that public improvements to serve the subdivision or development have been installed and accepted by the Town

or that provision for such installation has been made, that all other requirements and conditions have been satisfied or provided to allow the Final Plat to be recorded.

**Engineering.**

Staff has reviewed the submitted plat document and found it in compliance with Section 107 - Subdivision Ordinance, as well as Planned Development Ordinance No. 1329, as amended by Ordinances No. 1361, 1490, and 1559. However, there are outstanding Staff comments that have not been addressed. Staff has determined that the outstanding items are minor enough to be included as conditions.

**Recommended Action**

Staff recommends approval of the submitted Final Plat with the following conditions:

Prior to recording the plat:

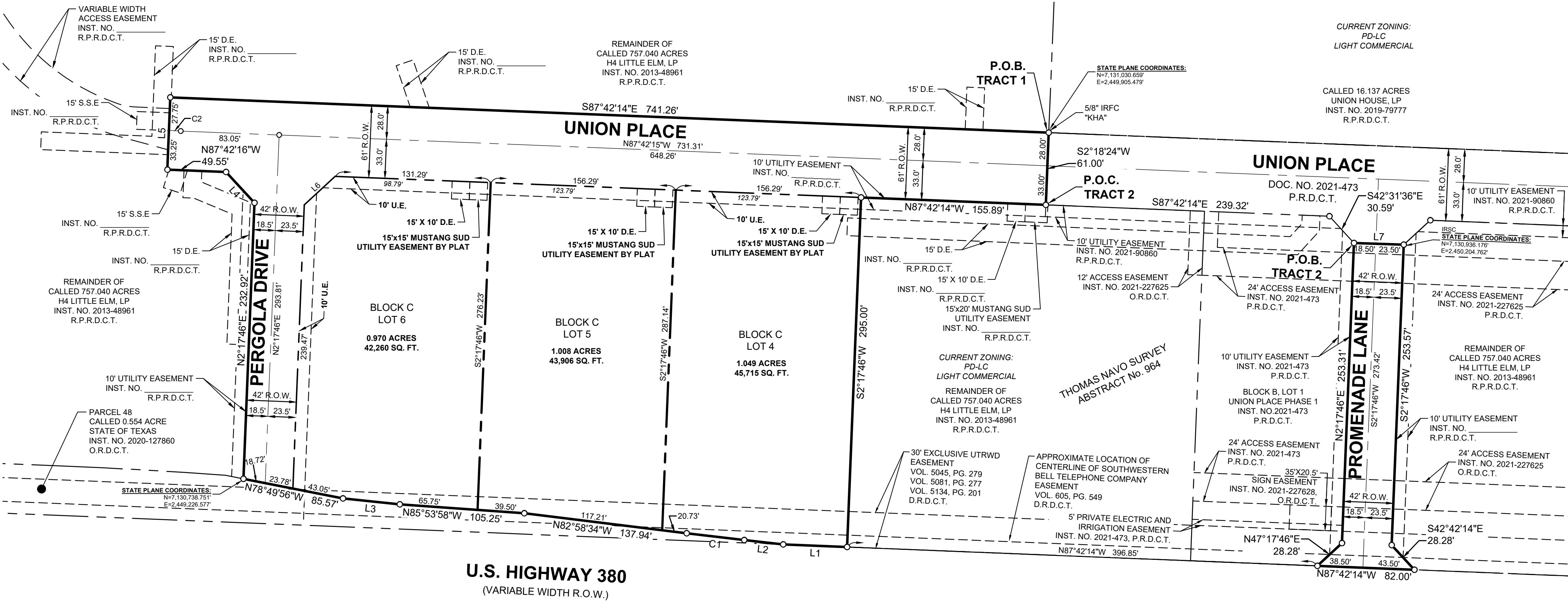
1. Blank instrument numbers must be provided on all sheets.
2. All appropriate standard notations must be listed as in the FP Checklist:
  1. All lots comply with the minimum size requirements of the zoning district.
  2. "This property may be subject to charges related to impact fees and the applicant should contact the Town regarding any applicable fees due."
3. Full date of preparation, include the day, must be provided on all sheets.

---

**Attachments**

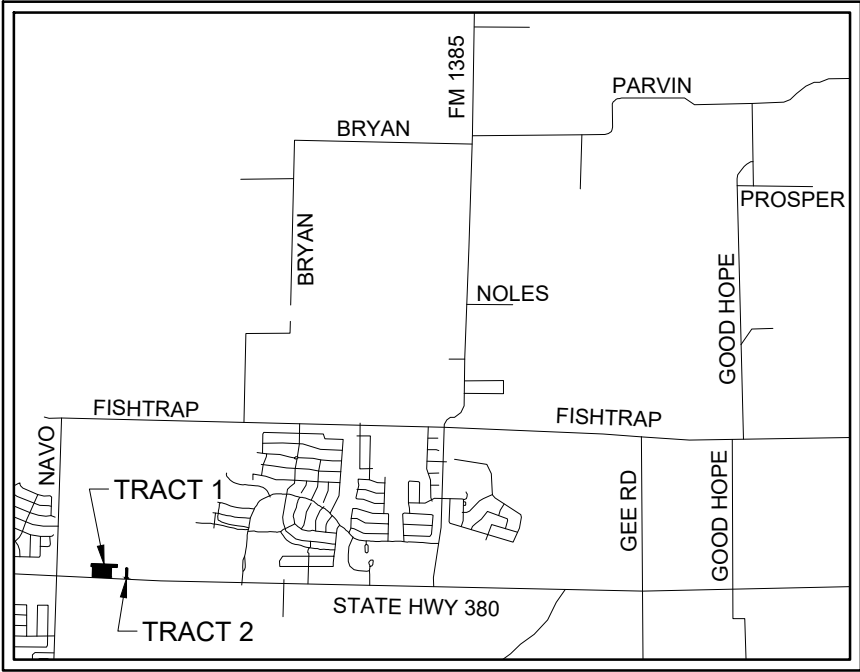
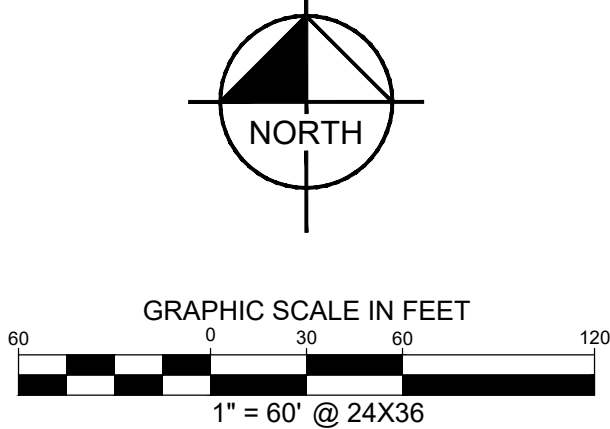
Plat Document





LAND USE TABLE:

LAND USE	ACREAGE	LOTS
COMMERCIAL SPACE	1.049	C-4
COMMERCIAL SPACE	1.008	C-5
COMMERCIAL SPACE	0.970	C-6
STREET R.O.W.	1.577	-
TOTAL	4.604	3 LOTS



CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	0°36'05"	4658.33'	48.89'	N83°16'36"W	48.89'
C2	2°51'27"	200.00'	9.97'	S86°16'35"E	9.97'

LINE TABLE

NO.	BEARING	LENGTH
L1	N87°42'14"W	53.91'
L2	N83°34'39"W	33.05'
L3	N84°04'19"W	48.13'
L4	N42°42'14"W	35.36'
L5	N02°20'50"E	61.00'
L6	S47°17'46"W	35.36'
L7	S88°03'53"E	42.00'

LEGEND

P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING
R.P.R.D.C.T.	REAL PROPERTY RECORDS OF DENTON COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS OF DENTON COUNTY, TEXAS
O.R.D.C.T.	OFFICIAL RECORDS OF DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS OF DENTON COUNTY, TEXAS
IPF	IRON PIPE FOUND
IRFC	IRON ROD FOUND WITH CAP
IRSC	5/8" IRON ROD SET WITH PLASTIC CAP STAMPED "KHA"
M.S.U.D.	MUSTANG SPECIAL UTILITY DISTRICT

OWNER'S CERTIFICATE

STATE OF TEXAS §  
COUNTY OF DENTON §

TRACT 1

BEING a tract of land situated in the Thomas Navo Survey, Abstract No. 964, Town of Little Elm, Denton County, Texas, and being a portion of a called 757.040 acre tract of land described in a deed to H4 Little Elm, LP, as recorded in Instrument No. 2013-48961 of the Official Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with plastic cap stamped "KHA" found for the north end of the westerly terminus of Union Place, a 61 foot right of way, according to the Revised Final Plat of Union Place thereof recorded in Document No. \_\_\_\_\_ of the Plat Records of Denton County, Texas, same being the southwest corner of a called 16.137 acre tract of land described in a deed to Union House, LP, as recorded in Instrument No. 2019-79777, of the Real Property Records of Denton County, Texas;

THENCE South 02°18'24" West, along said westerly terminus, a distance of 61.00 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for south end of said westerly terminus;

THENCE North 87°42'14" West, departing said westerly terminus and crossing said 757.040 acre tract, a distance of 155.89 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

THENCE South 02°17'46" West, continuing across said 757.040 acre tract, a distance of 295.00 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner on the northerly right of way line of U.S. Highway 380, a variable width right of way;

THENCE continuing along the northerly right of way line of said U.S. 380, the following:

North 87°42'14" West, a distance of 53.91 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 83°34'39" West, a distance of 33.05 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set at the beginning of a tangent curve to the right with a radius of 4,658.33 feet, a central angle of 00°36'05", and a chord bearing and distance of North 83°16'36" West, 48.89 feet;

In a westerly direction, with said tangent curve to the right, an arc distance of 48.89 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 82°58'34" West, a distance of 137.94 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 85°53'58" West, a distance of 105.25 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 84°04'19" West, a distance of 48.13 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 78°49'56" West, a distance of 85.57 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

THENCE departing the northerly right of way line of said U.S. 380 and crossing said 757.040 acre tract, the following:

North 02°17'46" East, a distance of 232.92 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 42°42'14" West, a distance of 35.36 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 87°42'16" West, a distance of 49.55 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

North 02°20'50" East, a distance of 61.00 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

South 87°42'14" East, a distance of 741.26 feet to the POINT OF BEGINNING and containing 4.332 acres (188,695 square feet) of land, more or less.

OWNER'S DEDICATION

STATE OF TEXAS §  
COUNTY OF DENTON §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That H4 LITTLE ELM, LP, ("Owner") does hereby adopt this plat designating the hereinabove property as UNION PLACE PHASE 2, an addition to the Town of Little Elm, Denton County, Texas, and does hereby dedicate in fee simple to Highway 380 Municipal Management District No. 1 (The District) to exclusive use forever, the streets and public use areas shown hereon, and does hereby dedicate the easements shown on the plat for the purposes indicated to the District's exclusive use forever, and said dedications being free and clear of all liens and encumbrances except as shown herein or subordinated to this plat. No buildings, fences, trees, shrubs or other improvements shall be constructed or placed upon, over or across the easements of said plat. At the discretion of the District and subject to its written approval. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use the same unless the easement limits the use to a particular utility or utilities. Said use by public utilities being subordinate to the District's use thereof. Any public utility given the right by the District to use said easements shall have the right to: remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easements, and any public utility shall at all times have the right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time procuring the permission of anyone. I do hereby bind myself, my successors and assigns to forever warrant and defend all and singular above described streets, alleys, easements an rights unto the District against every person whomsoever lawfully claiming or to claim the same or any part thereof by and through Owner but not otherwise. This property is not located within the extraterritorial jurisdiction of any municipality. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Little Elm, Texas.

Witness, my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

H4 LITTLE ELM, LP, a Texas limited partnership

By: BOH Investment GP, LLC,  
a Delaware limited liability company,  
its general partner

By: \_\_\_\_\_  
Name, Title

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

Before me, the undersigned authority, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

I, Sylviana Gunawan, a Registered Professional Land Surveyor in the State of Texas, do hereby declare that I have prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with Subdivision Regulations of the Town of Little Elm, Texas.

Sylviana Gunawan  
Registered Professional Land Surveyor No. 6461  
Kimley-Horn and Associates, Inc.  
6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
Phone 972-335-3580  
Fax 972-335-3779

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Sylviana Gunawan, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

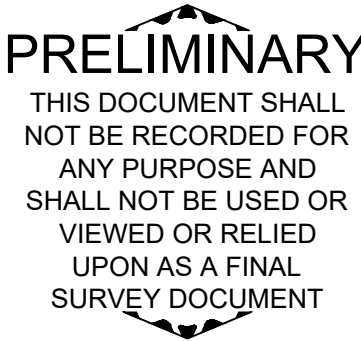
GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public, State of Texas

CERTIFICATE OF FINAL PLAT APPROVAL

APPROVED

Town Official  
Town of Little Elm, Texas



Date  
Town of Little Elm, Texas

The undersigned, the Town Secretary of the Town of Little Elm, Texas, hereby certifies that the foregoing Final Plat of the Gazebo Street Addition to the Town of Little Elm was submitted to the Planning and Zoning Commission on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and the Commission, by formal action, then and there accepted the Final Plat and public works improvements and infrastructure, and said Commission further authorizes the Chairman of the Planning and Zoning Commission to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness by hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Town Secretary  
Town of Little Elm, Texas

NOTES:

- Bearing system for this survey is based upon NAD 83 - Texas North Central Zone, Horizontal Adjustment to NAD 83 (1993). To convert the Surface distances to Grid Values, multiply the distances by a Combined Scale Factor of 0.999853696.
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- According to Community Panel No. 48121C0410G, dated April 18, 2011 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Denton County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone "X-Unshaded", which is not a special flood hazard area. For portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- Notice – selling a portion of this addition by metes and bounds is a violation of Town ordinance and State Law and is subject to fines and withholding of utilities and building permits.
- This plat does not alter or remove existing deed restrictions, if any, on this property.
- All dedicated public roads will be maintained by the Town of Little Elm.

FINAL PLAT  
UNION PLACE  
PHASE 2

LOT 4, 5, AND 6, BLOCK C AND  
RIGHT-OF-WAY DEDICATION

BEING 4.604 ACRES SITUATED IN THE  
THOMAS NAVO SURVEY, ABSTRACT NO. 964  
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

# Kimley»Horn

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034

Tel. No. (972) 335-3580  
FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet
1" = 60'	CDS	KHA	JAN. 2022	063230000	1 OF 1

OWNERS:  
Union Park Phase 2A, LP  
H4 LITTLE ELM, LP  
3000 Turtle Creek Blvd.  
Dallas, Texas 75219  
972-201-2980  
Contact: Renee Cousins  
Renee.Cousins@khlwood.com

ENGINEER / SURVEYOR:  
Kimley-Horn and Associates  
Two Galleria Office Tower  
13455 Noel Road, Suite 700  
Dallas, Texas 75240  
972-770-1300  
Contact: Jason Kaiser, P.E.  
Email: Jason.Kaiser@kimley-horn.com



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	FINAL PLAT/Union Park Phase 7 (FP-21-07419)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	79.734 acres
<b>Current Zoning</b>	Planned Development PD
<b>Proposed Use</b>	Low Density Residential
<b>Existing Use</b>	Undeveloped Land
<b>Future Land Use Plan Designation</b>	Low Density Residential
<b>Applicant</b>	Andrea Saavedra, Kikmley-Horn
<b>Owner</b>	Bruce French, Tri Pointe DFW, LLC
<b>Strategic Goal</b>	

## Agenda Item

**FINAL PLAT/** Union Park Phase 7 (FP-21-07419). Presentation, discussion, and consideration on a request for approval of a Final Plat for Union Park Phase 7, establishing 243 residential lots and 6 common area lots on approximately 79.734 acres, situated in the William Lumpkin Survey, Abstract No. 730, and the Thomas Navo Survey, within Little Elm's Town limits.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

## Location

Generally located on the west side of Union Park Boulevard, approximately 650 feet southwest of Heritage Drive, within Little Elm's town limits.

## Planning Analysis

This is a Final Plat for Union Park Phase 7, part of the master planned single-family residential development Union Park. The Final Plat establishes 243 residential lots and 6 common area lots on approximately 79.734 acres, dedicates 14.885 acres of right-of-way, identifies setbacks, and establishes easements necessary for development.

The purpose of a Final Plat is to ensure that the proposed subdivision and development of the land is consistent with all standards of this Subdivision Ordinance pertaining to the adequacy of public facilities, that



public improvements to serve the subdivision or development have been installed and accepted by the Town or that provision for such installation has been made, that all other requirements and conditions have been satisfied or provided to allow the Final Plat to be recorded.

**Engineering.**

Staff has reviewed the submitted plat documents and found it in compliance with Section 107 - Subdivision Ordinance, as well as Planned Development Ordinance No. 1329, as amended by Ordinances No. 1361, 1490, and 1559. However, there are outstanding Staff comments that have not been addressed. Staff has determined that the outstanding items are minor enough to be included as conditions.

**Recommended Action**

Staff recommends approval of the submitted Final Plat with the following conditions:

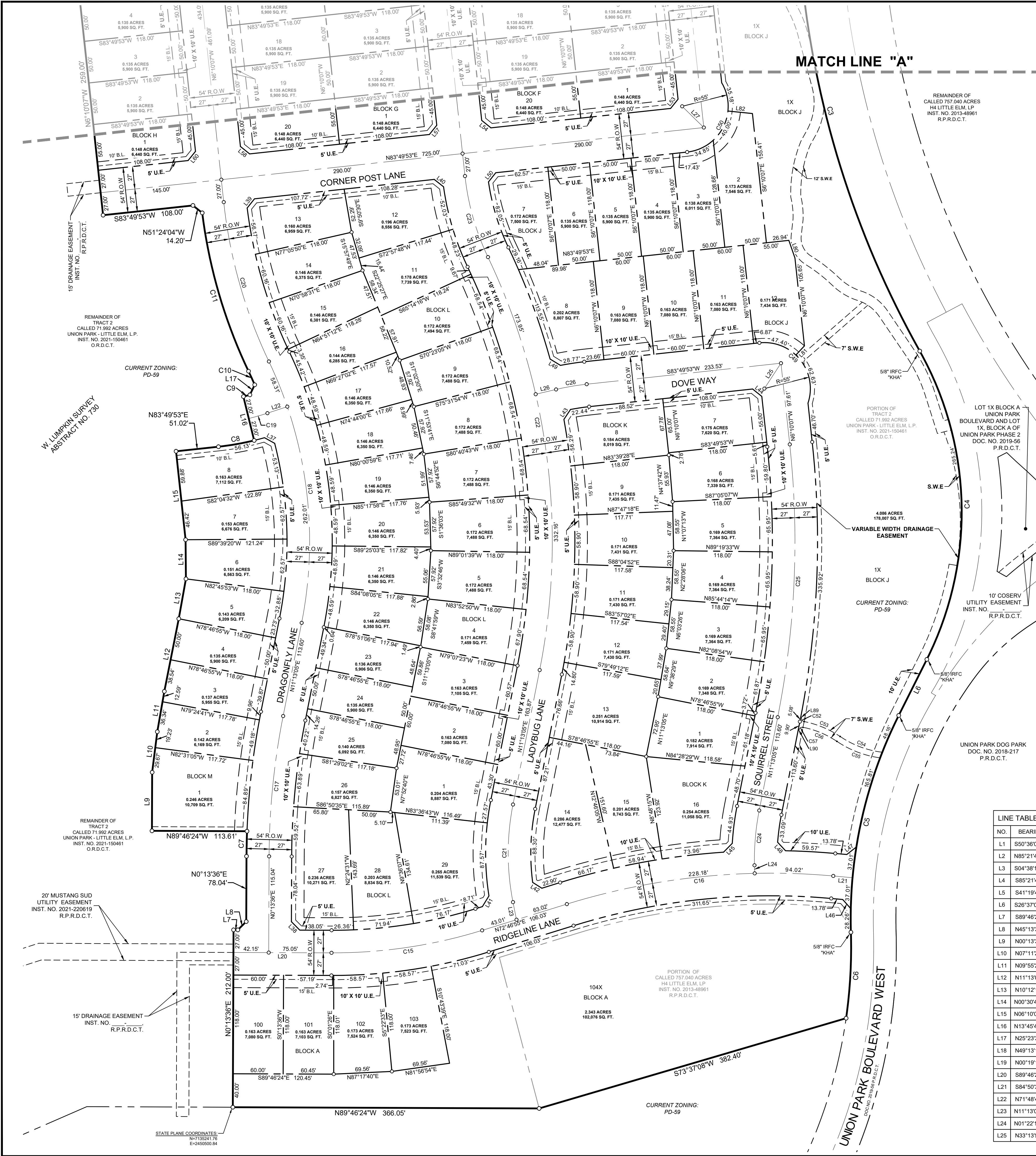
Prior to recording the plat:

1. Blank instrument numbers must be provided on all sheets.
2. Wall maintenance is the responsibility of the HOA for walls exceeding 4' in height. Note must be revised on all sheets.
3. Full date of preparation, include the day, must be provided on all sheets.
4. Lot table, with a breakdown by block and lot, with lot sizes and widths, inclusive of X lots, must be provided.
5. Pages 1-3 still reference 244 residential lots, from previous resubmittal. Must be revised on all sheets.

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**Attachments**

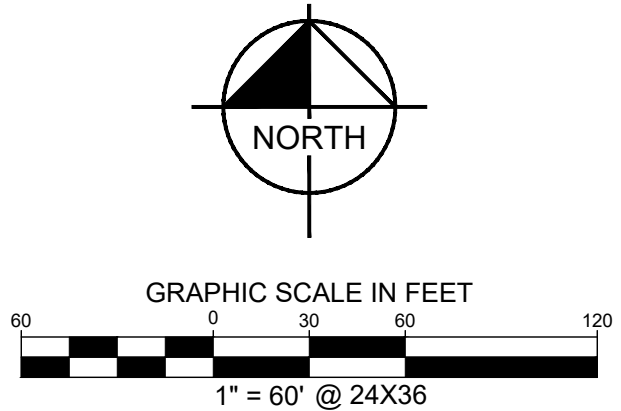
Plat Document



- NOTES:**
- Bearing system for this survey is based upon NAD 83 - Texas North Central Zone, Horizontal Adjustment to NAD 83 (1993). To convert the Surface distances to Grid Values, multiply the distances by a Combined Scale Factor of 0.999853696.
  - All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
  - According to Community Panel No. 48121C0410G, dated April 18, 2011 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Denton County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone "X-Unshaded", which is not a special flood hazard area. For portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - All common areas will be owned and maintained by the HOA/POA or the MMD.
  - All lots comply with the minimum size requirements of the zoning district.
  - This property may be subject to charges related to impact fees and the applicant should contact the Town regarding any applicable fees due.
  - All dedicated public roads will be maintained by the Town of Little Elm.
  - Notice - selling a portion of this addition by metes and bounds is a violation of Town ordinance and State Law and is subject to fines and withholding of utilities and building permits.
  - This plat does not alter or remove existing deed restrictions, if any, on this property.
  - Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.
  - Private Wall Maintenance Easement shall give the Union Park Homeowners Association (H.O.A.) and the Highway 380 Municipal Management District (District) the right but not the responsibility to maintain retaining and/or screen walls.

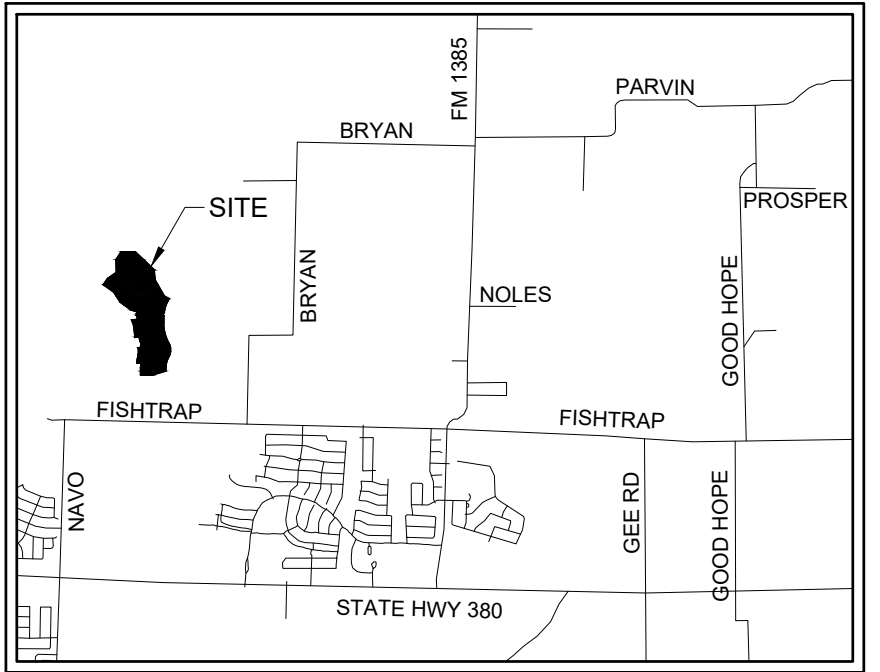
Lots: 244 (PD-59)  
Acreage: 79.73  
Density: 3.06 D UIAC

CURVE TABLE						CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	26°37'40"	950.00'	441.50'	S20°10'56"W	437.54'	C30	11°42'54"	950.00'	194.24'	S86°54'07"E	193.90'
C2	0°57'19"	950.00'	15.84'	S01°55'38"W	15.84'	C31	38°46'46"	550.00'	372.26'	S19°42'41"W	365.19'
C3	30°42'03"	1150.00'	616.21'	S13°54'03"E	608.86'	C32	35°40'22"	840.00'	522.99'	S18°09'29"W	514.58'
C4	55°52'12"	393.50'	383.71'	S01°18'59"E	368.69'	C33	24°13'55"	300.00'	126.88'	S48°06'37"W	125.93'
C5	28°21'59"	541.50'	268.09'	S12°26'08"W	265.36'	C34	14°41'29"	300.00'	76.92'	N37°07'10"W	76.71'
C6	9°50'54"	599.50'	103.05'	S03°10'35"W	102.92'	C35	25°47'25"	300.00'	135.04'	S31°34'12"E	133.90'
C7	1°53'34"	907.00'	29.96'	N01°10'23"E	29.96'	C36	46°40'19"	1130.00'	920.47'	S23°39'27"W	895.24'
C8	7°35'36"	327.00'	43.34'	N80°02'05"E	43.30'	C37	28°13'12"	300.00'	147.76'	S66°31'34"E	146.27'
C9	1°40'47"	273.00'	8.00'	N75°23'54"E	8.00'	C38	11°22'32"	1180.00'	234.28'	S46°43'42"E	233.89'
C10	2°09'34"	473.00'	17.83'	N24°24'30"W	17.83'	C39	73°50'12"	300.00'	386.61'	S04°07'20"E	360.41'
C11	18°23'27"	617.00'	198.04'	N16°17'33"W	197.20'	C40	38°31'45"	300.00'	201.74'	S52°03'38"W	197.96'
C12	3°33'54"	1607.00'	99.99'	N02°35'17"W	99.98'	C41	23°33'32"	600.00'	246.71'	S30°27'15"E	244.97'
C13	0°59'09"	977.00'	16.81'	N81°32'15"W	16.81'	C42	14°24'12"	300.00'	75.42'	S49°26'07"E	75.22'
C14	0°31'38"	923.00'	8.49'	S81°16'29"E	8.49'	C43	23°13'23"	300.00'	121.60'	N45°35'33"W	120.77'
C15	17°26'42"	600.00'	182.68'	N81°30'16"E	181.98'	C44	13°08'59"	890.00'	204.26'	S40°33'21"E	203.81'
C16	22°22'34"	825.00'	322.19'	S83°58'12"W	320.15'	C45	21°32'28"	300.00'	112.79'	S57°54'04"E	112.13'
C17	10°59'28"	880.00'	168.81'	S05°43'21"W	168.55'	C46	90°11'39"	55.00'	86.58'	S15°19'24"W	77.91'
C18	36°42'22"	500.00'	320.32'	N07°08'06"W	314.87'	C47	11°43'12"	55.00'	110.03'	N75°59'05"W	92.58'
C19	4°25'32"	300.00'	23.17'	N74°01'32"E	23.17'	C48	28°70'24"	60.00'	300.59'	S77°45'54"W	71.34'
C20	19°19'10"	590.00'	198.94'	S15°49'42"E	198.00'	C49	11°43'12"	55.00'	110.03'	N38°51'31"W	92.58'
C21	22°26'10"	300.00'	117.48'	S00°00'00"E	116.73'	C50	11°43'12"	55.00'	110.03'	N26°31'17"E	92.58'
C22	36°42'22"	790.00'	506.11'	N07°08'06"W	497.50'	C51	7°23'46"	950.00'	122.63'	N89°03'41"W	122.55'
C23	19°19'10"	300.00'	101.16'	S15°49'42"E	100.68'	C52	89°42'22"	4.00'	6.26'	S33°53'52"E	5.64'
C24	12°35'22"	300.00'	65.92'	S04°55'24"W	65.79'	C53	22°35'48"	118.83'	46.87'	N67°27'09"W	46.56'
C25	17°23'12"	1080.00'	327.73'	N02°31'29"E	326.47'	C54	27°06'55"	114.75'	54.31'	S69°28'59"E	53.80'
C26	7°05'51"	300.00'	37.16'	S80°16'58"W	37.14'	C55	26°16'39"	121.75'	55.84'	S69°04'16"E	55.35'
C27	6°29'25"	1580.00'	178.97'	S02°55'24"E	178.88'	C56	22°34'45"	111.83'	44.07'	N67°27'03"W	43.79'
C28	6°29'25"	1290.00'	146.12'	S02°55'24"E	146.05'	C57	90°02'30"	4.00'	6.29'	S56°14'20"W	5.66'
C29	6°29'25"	1000.00'	113.27'	S02°55'24"E	113.21'						



**LEGEND:**

P.O.B. = POINT OF BEGINNING  
IRFC = IRON ROD W/CAP FOUND  
IRSC = 5/8" IRON ROD SET W/ "KHA" CAP  
IRF = IRON ROD FOUND  
PKF = PK NAIL FOUND  
B.L. = BUILDING LINE  
MFFE = MINIMUM FINISHED FLOOR ELEVATION  
D.E. = DRAINAGE EASEMENT  
U.E. = UTILITY EASEMENT  
W.E. = WATER EASEMENT  
S.W.E. = SIDE WALK EASEMENT  
P.R.D.C.T. = PLAT RECORDS OF DENTON COUNTY, TEXAS  
O.R.D.C.T. = OFFICIAL RECORDS OF DENTON COUNTY, TEXAS  
R.P.R.D.C.T. = REAL PROPERTY RECORDS OF DENTON COUNTY, TEXAS

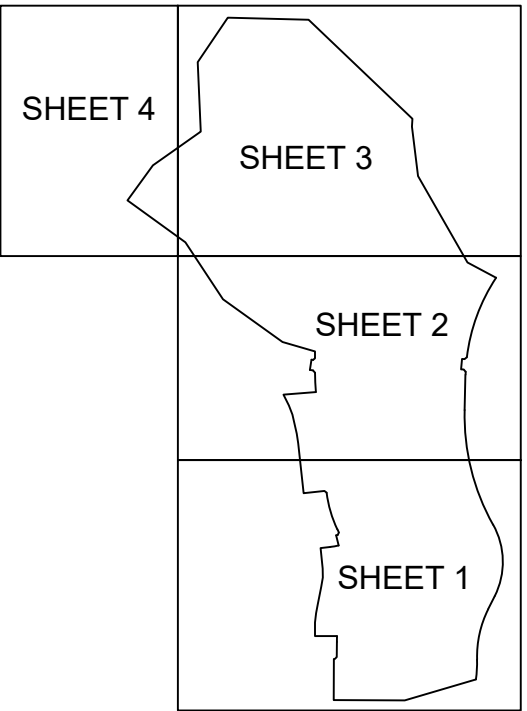


VICINITY MAP  
N.T.S.

**LAND USE TABLE :**

LAND USE	ACREAGE	LOTS
RESIDENTIAL	41.45	244 LOTS
HOA/OPEN SPACE	16.103	A-48X
HOA/OPEN SPACE	2.343	A-104X
HOA/OPEN SPACE	0.21	B-1X
HOA/OPEN SPACE	0.65	C-1X
HOA/OPEN SPACE	4.09	J-1X
STREET R.O.W.	14.885	-
TOTAL	79.734	249 LOTS

**KEY MAP**



**FINAL PLAT  
UNION PARK PHASE 7**

**243 RESIDENTIAL LOTS**

BLOCK A, LOTS 2-47 & 100-103; BLOCK B, LOTS 2-24;  
BLOCK C, LOTS 2-33; BLOCK D, LOTS 1-13; BLOCK E, LOTS 1-12;  
BLOCK F, LOTS 1-20; BLOCK G, LOTS 1-20; BLOCK H, LOTS 1-9;  
BLOCK J, LOTS 2-12; BLOCK K, LOTS 1-16;  
BLOCK L, LOTS 1-29; BLOCK M, LOTS 1-8;

**AND 6 OPEN SPACE LOTS**

BLOCK A, LOTS 1X, 48X, AND 104X; BLOCK B, LOTS 1X;  
BLOCK C, LOTS 1X; BLOCK J, LOTS 1X;

BEING 79.734 ACRES SITUATED IN THE  
WILLIAM LUMPKIN SURVEY, ABSTRACT NO. 730  
AND THE THOMAS NAVO SURVEY  
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

**Kimley»Horn**

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034

Tel. No. (972) 335-3580  
FIRM # 10193822

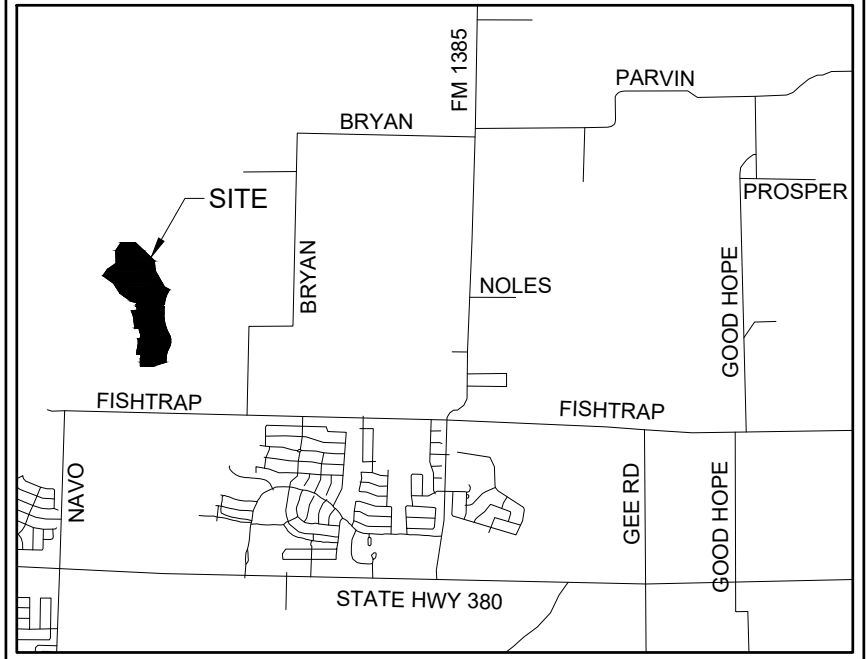
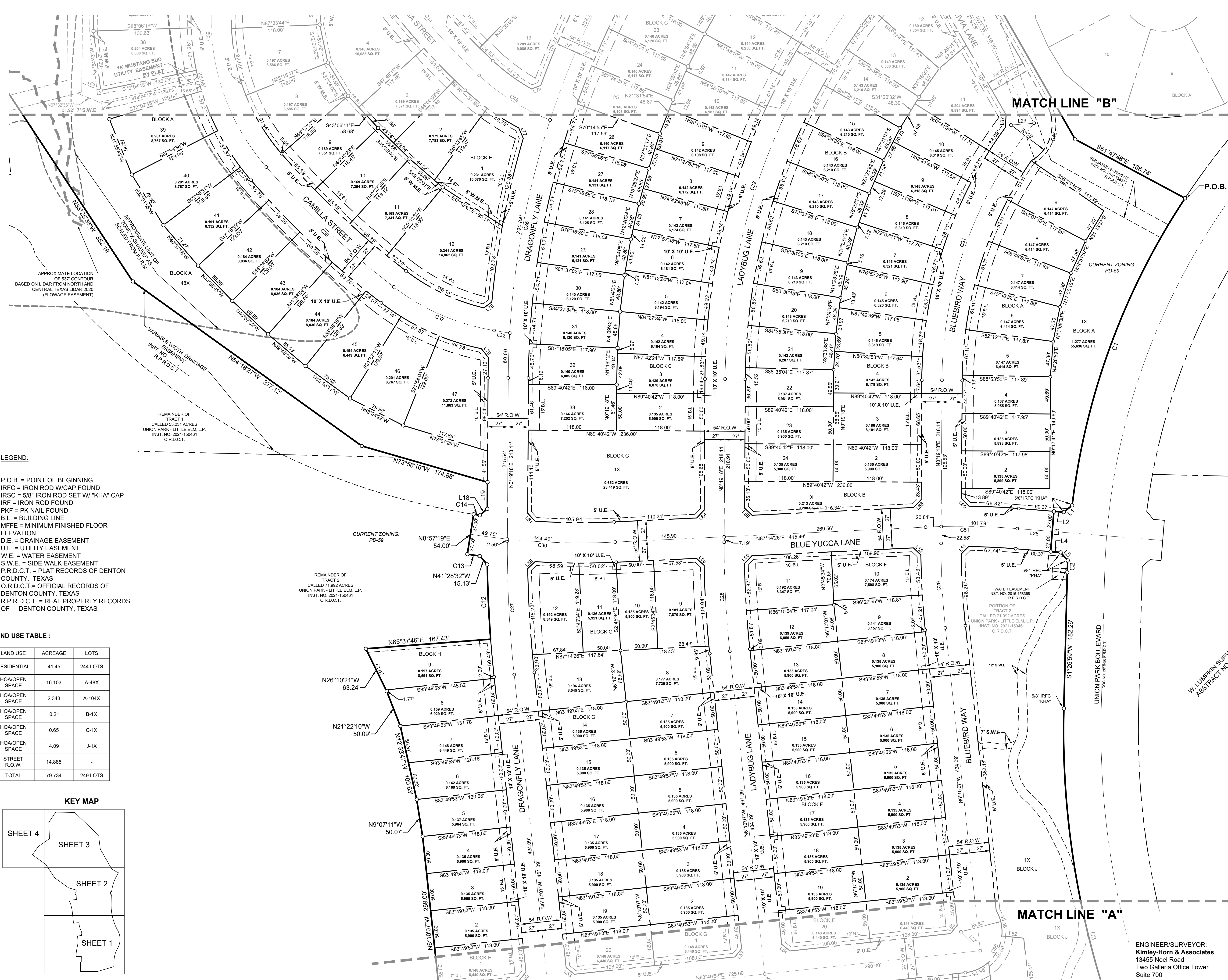
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	CDS	KHA	JAN. 2022	063230000	1 OF 4

OWNER  
**Union Park - Little Elm, L.P.**  
4835 Lyndon B. Johnson Freeway, Suite 700  
Dallas, Texas 75244  
214-876-2550  
Contact: Bruce French  
Bruce.French@TriPointeHomes.com

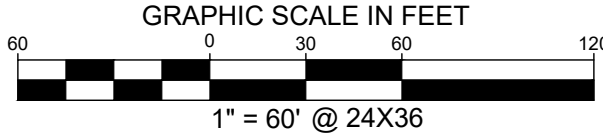
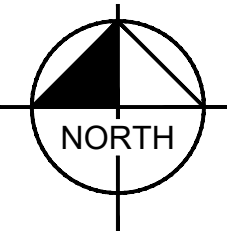
OWNER  
**H4 Little Elm, LP**  
3000 Turtle Creek Blvd.  
Dallas, Texas 75219  
972-201-2980  
Contact: Renee Cousins  
Renee.Cousins@hillwood.com

ENGINEER/SURVEYOR:  
**Kimley-Horn & Associates**  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, Texas 75240  
972-770-1300  
Contact: Jason Kaiser, P.E.  
Jason.Kaiser@kimley-horn.com





VICINITY MAP  
N.T.S.



- NOTES:
- Bearing system for this survey is based upon NAD 83 - Texas North Central Zone, Horizontal Adjustment to NAD 83 (1993). To convert the Surface distances to Grid Values, multiply the distances by a Combined Scale Factor of 0.999853696.
  - All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
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  - This plat does not alter or remove existing deed restrictions, if any, on this property.
  - See sheet 1 for line and curve table.
  - Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.
  - Private Wall Maintenance Easement shall give the Union Park Homeowners Association (H.O.A.) and the Highway 380 Municipal Management District (District) the right but not the responsibility to maintain retaining and/or screen walls.

Lots: 244 (PD-59)  
Acreage: 79.734  
Density: 3.06 D.U./AC

FINAL PLAT  
UNION PARK PHASE 7

243 RESIDENTIAL LOTS  
BLOCK A, LOTS 2-47 & 100-103; BLOCK B, LOTS 2-24;  
BLOCK C, LOTS 2-33; BLOCK D, LOTS 1-13; BLOCK E, LOTS 1-12;  
BLOCK F, LOTS 1-20; BLOCK G, LOTS 1-20; BLOCK H, LOTS 1-9;  
BLOCK J, LOTS 2-12; BLOCK K, LOTS 1-16;  
BLOCK L, LOTS 1-29; BLOCK M, LOTS 1-18;

AND 6 OPEN SPACE LOTS  
BLOCK A, LOTS 1X, 48X, AND 104X; BLOCK B, LOTS 1X;  
BLOCK C, LOTS 1X; BLOCK J, LOTS 1X;

BEING 79.734 ACRES SITUATED IN THE  
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AND THE THOMAS NAVO SURVEY  
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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	CDS	KHA	JAN. 2022	063230000	2 OF 4

OWNER  
**Union Park - Little Elm, L.P.**  
4835 Lyndon B. Johnson Freeway, Suite 700  
Dallas, Texas 75244  
214-876-2550  
Contact: Bruce French  
Bruce.French@TriPointeHomes.com

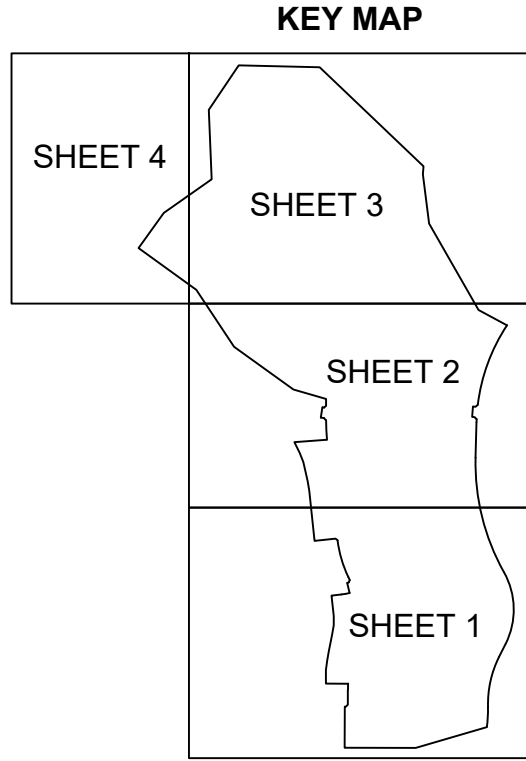
OWNER  
**H4 Little Elm, LP**  
3000 Turtle Creek Blvd.  
Dallas, Texas 75219  
972-201-2980  
Contact: Renee Cousins  
Renee.Cousins@hillwood.com

ENGINEER/SURVEYOR:  
**Kimley-Horn & Associates**  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, Texas 75240  
972-770-1300  
Contact: Jason Kaiser, P.E.  
Jason.Kaiser@kimley-horn.com

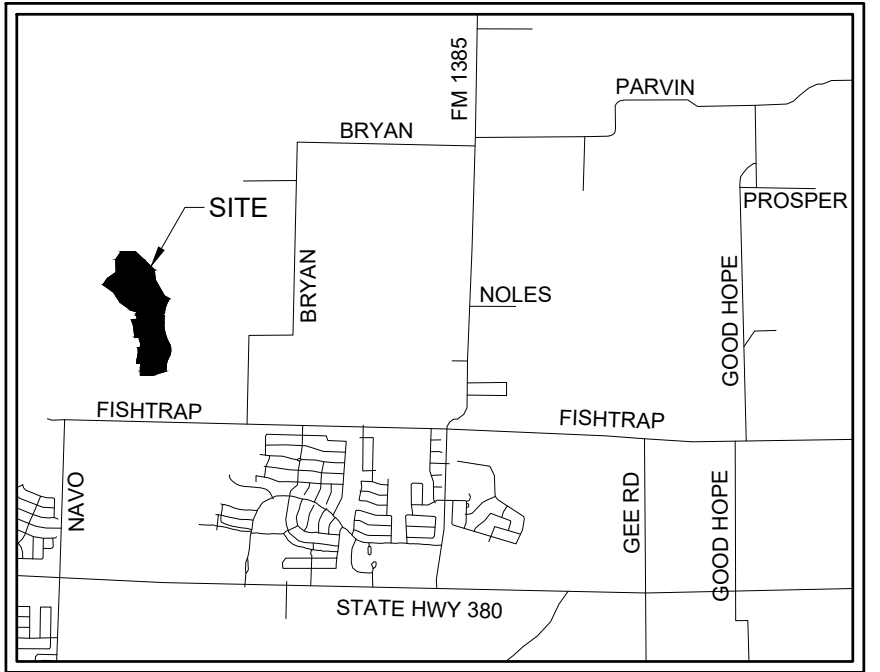
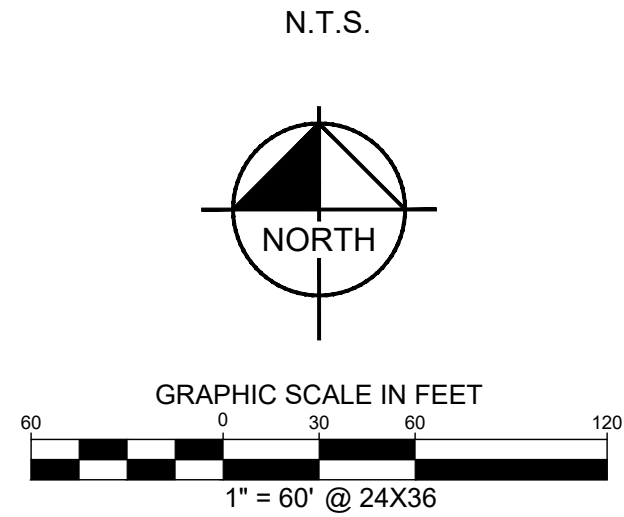
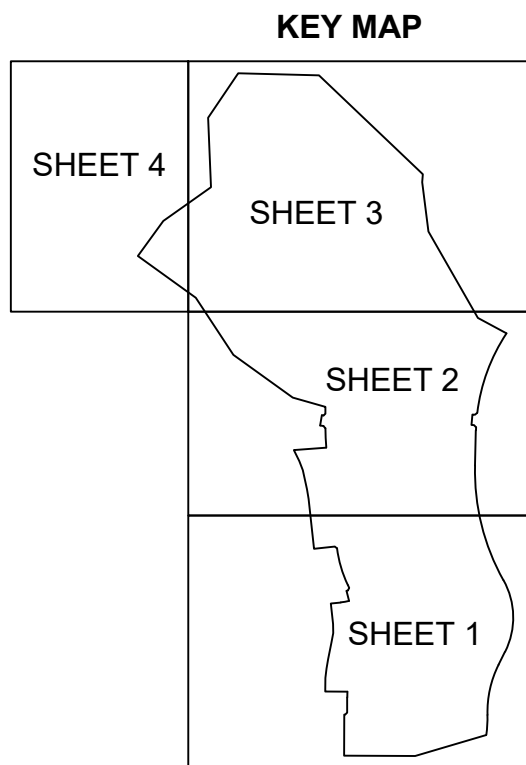
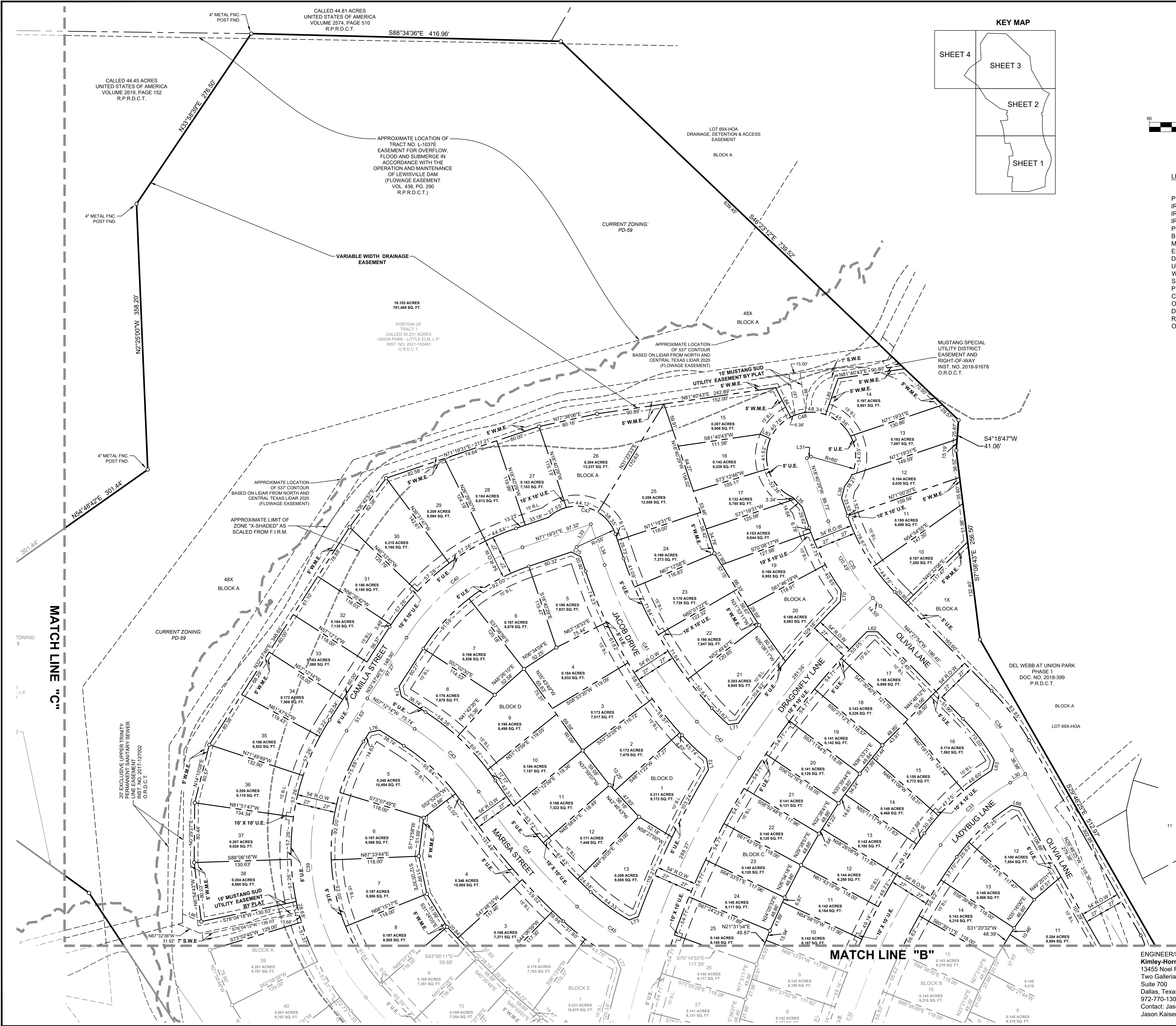
P.O.B. = POINT OF BEGINNING  
IRFC = IRON ROD W/CAP FOUND  
IRSC = 5/8" IRON ROD SET W/ "KHA" CAP  
IRF = IRON ROD FOUND  
PKF = PK NAIL FOUND  
B.L. = BUILDING LINE  
MFFE = MINIMUM FINISHED FLOOR  
ELEVATION  
D.E. = DRAINAGE EASEMENT  
U.E. = UTILITY EASEMENT  
W.E. = WATER EASEMENT  
S.W.E. = SIDE WALK EASEMENT  
P.R.D.C.T. = PLAT RECORDS OF DENTON  
COUNTY, TEXAS  
O.R.D.C.T. = OFFICIAL RECORDS OF  
DENTON COUNTY, TEXAS  
R.P.R.D.C.T. = REAL PROPERTY RECORDS  
OF DENTON COUNTY, TEXAS

LAND USE TABLE :

LAND USE	ACREAGE	LOTS
RESIDENTIAL	41.45	244 LOTS
HOA/OPEN SPACE	16.103	A-48X
HOA/OPEN SPACE	2.343	A-104X
HOA/OPEN SPACE	0.21	B-1X
HOA/OPEN SPACE	0.65	C-1X
HOA/OPEN SPACE	4.09	J-1X
STREET R.O.W.	14.885	-
TOTAL	79.734	249 LOTS







LEGEND:

P.O.B. = POINT OF BEGINNING  
IRFC = IRON ROD W/CAP FOUND  
IRSC = 5/8" IRON ROD SET W/ "KHA" CAP  
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STREET R.O.W.	14.885	-
TOTAL	79.734	249 LOTS

NOTES:

- Bearing system for this survey is based upon NAD 83 - Texas North Central Zone, Horizontal Adjustment to NAD 83 (1993). To convert the Surface distances to Grid Values, multiply the distances by a Combined Scale Factor of 0.999853696.
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- According to Community Panel No. 48121C0410G, dated April 18, 2011 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Denton County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone "X-Unshaded", which is not a special flood hazard area. For portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- All common areas will be owned and maintained by the HOA/POA or the MMD.
- All lots comply with the minimum size requirements of the zoning district.
- This property may be subject to charges related to impact fees and the applicant should contact the Town regarding any applicable fees due.
- All dedicated public roads will be maintained by the Town of Little Elm.
- Notice - selling a portion of this addition by metes and bounds is a violation of Town ordinance and State Law and is subject to fines and withholding of utilities and building permits.
- This plat does not alter or remove existing deed restrictions, if any, on this property.
- See sheet 1 for line and curve table.
- Minimum finished floor elevations are at least 2 feet above the 100 year flood plain.
- Private Wall Maintenance Easement shall give the Union Park Homeowners Association (H.O.A.) and the Highway 380 Municipal Management District (District) the right but not the responsibility to maintain retaining and/or screen walls.

Lots: 244 (PD-59)  
Acreage: 79.734  
Density: 3.06 D.U./AC

FINAL PLAT  
UNION PARK PHASE 7

243 RESIDENTIAL LOTS

BLOCK A, LOTS 2-47 & 100-103; BLOCK B, LOTS 2-24;  
BLOCK C, LOTS 2-33; BLOCK D, LOTS 1-13; BLOCK E, LOTS 1-12;  
BLOCK F, LOTS 1-20; BLOCK G, LOTS 1-20; BLOCK H, LOTS 1-9;  
BLOCK I, LOTS 2-12; BLOCK K, LOTS 1-16;  
BLOCK L, LOTS 1-29; BLOCK M, LOTS 1-8;

AND 6 OPEN SPACE LOTS

BLOCK A, LOTS 1X, 48X, AND 104X; BLOCK B, LOTS 1X;  
BLOCK C, LOTS 1X; BLOCK J, LOTS 1X;

BEING 79.734 ACRES SITUATED IN THE  
WILLIAM LUMPKIN SURVEY, ABSTRACT NO. 730  
AND THE THOMAS NAVO SURVEY  
TOWN OF LITTLE ELM, DENTON COUNTY, TEXAS

**Kimley»Horn**

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034

Tel. No. (972) 335-3580  
FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	CDS	KHA	JAN. 2022	063230000	3 OF 4

OWNER  
Union Park - Little Elm, L.P.  
4835 Lyndon B. Johnson Freeway, Suite 700  
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214-878-2550  
Contact: Bruce French  
Bruce.French@TriPointeHomes.com

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H4 Little Elm, LP  
3000 Turtle Creek Blvd.  
Dallas, Texas 75219  
972-201-2980  
Contact: Renee Cousins  
Renee.Cousins@hillwood.com

ENGINEER/SURVEYOR:  
Kimley-Horn & Associates  
13455 Noel Road  
Two Galleria Office Tower  
Suite 700  
Dallas, Texas 75240  
972-770-1300  
Contact: Jason Kaiser, P.E.  
Jason.Kaiser@kimley-horn.com







# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	SUBDIVISION VARIANCE/Witt Road (VAR-21-06705)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	02/15/2022
<b>Size</b>	1.385 acres
<b>Current Zoning</b>	Light Commercial (LC)
<b>Proposed Use</b>	Commercial
<b>Existing Use</b>	Vacant
<b>Future Land Use Plan Designation</b>	Low Density Residential
<b>Applicant</b>	Haider Rizv
<b>Owner</b>	Kataliya Quinlan
<b>Strategic Goal</b>	Promote and expand Little Elm's identity

## Agenda Item

**SUBDIVISION VARIANCE/Witt Road (VAR-21-06705).** Presentation, discussion, and consideration on a request for a Variance from Section 107 - Subdivision Ordinance, for CEC Witt Addition on approximately 1.385 acres, situated in the H. KENDAL SURVEY, Abstract No. 713, within Little Elm's town limit, in order to allow a two-year grace period for requirements listed in Section 107.08.01 (b) - Adequate Public Facilities.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

## Location

Generally located on the north side of Old Witt Road, approximately 285 feet east of Witt Road, with an address of 1707 Old Witt Road, within Little Elm's town limits.

## Planning Analysis

This request originated from the initial Final Plat request to establish one commercial lot from an existing two-property abstract survey on approximately 1.385 acres, situated in the H. KENDAL SURVEY, Abstract No. 713, within Little Elm's town limits. The purpose of the Final Plat (FP-21-05220) is to allow building permits to be pulled on this property. As Sec. 107.04.01 - Subdivision procedures and plat types explains:

"No building permits will be issued for the construction of any building on any unplatted land within the town and the town's extraterritorial jurisdiction (ETJ), therefore a Final Plat is required to pull a

permit for a Certificate of Occupancy or a permit to remodel."

The Final Plat was denied by the Planning and Zoning Commission on November 18, 2021, for not meeting the following standards:

1. Section 107.08.01 (b) Adequate Public Facilities.

- Water. A plat will not be approved unless all of the proposed lots are connected to a public water system which is capable of providing adequate water for health and emergency purposes.
- Wastewater. A plat will not be approved unless all of the proposed lots are served by an approved means of wastewater collection and treatment.

At this time, the property owner requests a variance to allow a two-year grace period to the requirements listed in Section 107.08.01 (b) - Adequate Public Facilities. However, both water and wastewater lines are existing along Witt Road and accessible for connecting to the subject property.

**Recommended Action**

This is a major variance request to Subdivision Ordinance requirements and is first directed to the Town Engineer for determination. The Town Engineer has reviewed and denied the request, which is now brought before the Planning and Zoning Commission. If P&Z chooses to deny the request, the applicant can appeal the decision to Town Council.

Town Engineer recommends denial of VAR-21-06705 based on the following reasons:

1. Information regarding the water well operation and quality was not provided in the application. This information is required according to Section 107.08.02(d)(7) of the Town's Subdivision Ordinance.
2. Access to the Town's water and wastewater system is located directly adjacent to the subject property and would not require additional off-site utility extensions.
3. The application states that financial hardship is the reason for the request. According to section 107.01.01(a)(3) of the Subdivision Ordinance, pecuniary interests alone shall not be justification for the granting of a variance.

---

**Attachments**

Location Map  
Letter of Intent  
Engineer Review

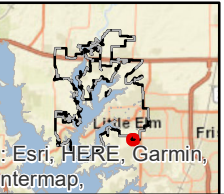




**CEC Witt Addition (FP-21-05220)**

Date: 10/14/2021

**Location Map**



*This map is the property of the Town of Little Elm, and is not to be reproduced by any means, mechanical or digital, without written consent of the Town.*

*This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.*





December 14<sup>th</sup>, 2021

To: Town of Little Elm

**RE: Variance - 1707 Witt Road, Little Elm, TX**

Attached please find our application for Variance concerning the Water and Sewage elements of our property.

We are requesting that the **existing** potable water well and septic systems be **re-commissioned** and used instead of connecting to "City" utilities.

I have attached the Environmental Site Assessment which confirms that both systems are in conformance with Little Elm's Code Section 107.08.02 #6,7 and (e) as they relate to Water and Sewage. We are **not** going to use the Well water for commercial sale of water. It will only be used for 2 small bathrooms.

***Section 107.08.02***

*(6) Individual wells in ETJ.*

*a. Well approval. Individual wells within the town's ETJ shall be subject to approval by the Denton County health official, and this approval shall be documented by the health official's signature on the water system statement on the preliminary and final plat. The property owner must submit with the preliminary and final plat applications a certificate from a professional engineer who is registered or a geoscientist who is licensed to practice in the State of Texas verifying the adequacy of the proposed well water supply and potability prior to preliminary plat and construction plans approvals.*

*b. Compliance with other regulations. Installation, operations and maintenance of individual wells shall comply with town standards, regulations of the Texas Commission on Environmental Quality (TCEQ), and any other applicable county or state rules and regulations. In the event of conflict among these regulations, whichever is the most stringent shall apply.*

*(7) Alternative water systems. Developments may be approved with alternative water facilities according to the following criteria:*

*a. Water well operation and quality shall meet the minimum requirements of the Texas Commission on Environmental Quality (TCEQ), Denton County, town health ordinances, and all other regulatory agencies, as applicable.*

*b. Water wells may not be used for commercial sale of water.*

*c. The cost to tie onto the public water system must exceed the certified initial capital cost of a well by 25 percent. All costs and engineering designs shall be submitted by a licensed professional engineer and are subject to review and approval by the town engineer. If a residence is located within 1,000 feet of a domestic water supply, that residence must connect to that service.*

The cost to connect to the city services will exceed \$20,000 which is well over 25% higher than the already functioning well on the site.

We are willing to connect to the city water if we can get a minimum grace period of 2 years after we open for business.

Thank you,

Alan Weiss  
President  
Steps America, Inc.  
Home Floors Remodeling and Granite Yard  
4400 Preston Rd.  
Frisco TX 75034  
[214-618-2870](tel:214-618-2870) Office  
[214-618-2871](tel:214-618-2871) Fax  
[469-293-2462](tel:469-293-2462) Direct  
[www.homefloors.net](http://www.homefloors.net)

## MEMO

Date: December 22, 2021

To: Olga Chernomorets, Planning Manager

From: Wesley Brandon, Town Engineer



**RE: 1707 Old Witt Road**

Variance Request

---

I have reviewed the variance request received on December 14, 2021 regarding the proposed re-commissioning of an existing water well and septic system. It is my understanding that the property owner intends to utilize the well and septic system to serve a commercial business, rather than connecting to the Town's water and wastewater system.

After reviewing the applicant's request and supporting documentation, as well as the Town's Subdivision Ordinance, I cannot approve the variance request for the following reasons:

1. Information regarding the water well operation and quality was not provided in the application. This information is required according to Section 107.08.02(d)(7) of the Town's Subdivision Ordinance.
2. Access to the Town's water and wastewater system is located directly adjacent to the subject property and would not require additional off-site utility extensions.
3. The application states that financial hardship is the reason for the request. According to section 107.01.01(a)(3) of the Subdivision Ordinance, pecuniary interests alone shall not be justification for the granting of a variance.

Section 107.10.01 of the Town's Subdivision Ordinance contains information regarding the applicant's option to appeal this decision.

Thanks

*Wesley*



# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	PUBLIC HEARING/Providence Commons (PD-21-05005)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	N/A
<b>Size</b>	9.8 acres
<b>Current Zoning</b>	Agriculture (AG)
<b>Proposed Use</b>	Low Density Residential
<b>Existing Use</b>	Residential
<b>Future Land Use Plan Designation</b>	Low Density Residential
<b>Applicant</b>	Bart Jetton, RPM xConstruction
<b>Owner</b>	Barry Rich, R&M Materials, LLC
<b>Strategic Goal</b>	

## Agenda Item

**PUBLIC HEARING/** Providence Commons PD (PD-21-05005). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 9.8 acres of land, in order to establish a new Planned Development district based on Single Family 4 (SF-4) with modified development standards, to allow the development of a new single family residential subdivision.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

## Location

Generally located south of Fishtrap Road and west of FM 2931 (Main Street) at the western end of Cherokee Oaks Road, within Little Elm's town limits.

## Planning Analysis

**Background.** The subject property is located north of Highway 380, directly adjacent to the Town of Providence Village. The original property actually consists of 10.317, but the rezoning request only encompasses 9.8 acres, developed with a single-family residential structure, currently zoned as Agricultural (AG) district. The 9.8 acres are situated approximately 800 feet west of FM 2931, with the remainder of the acreage consisting of an existing gravel driveway access from FM 2931, which is not part of this rezoning request. The subject property is surrounded by single family development to the east and south, known as Hillstone Pointe, consisting of 40- and 50-foot lots, and two existing single family lots to the west, currently zoned as AG.

The applicant, RPM Construction, is proposing to create a mixed use community called Providence Commons consisting of a total of five phases, of single-family homes, townhomes, and commercial/retail uses. The majority of the proposed community would be located within the Town of Providence Village, with just Phase 5, 9.8 acres, located within the Town of Little Elm limits. The applicant is anticipating presenting their proposal to the Providence Village Planning and Zoning Commission and Town Council on December 21st.

The applicant is proposing to develop a 45-lot single-family, Cape Cod style residential development, intended as Phase 5 of the overall Providence Commons community. The propose development standards do not perfectly fit into any of the Town's existing zoning districts, therefore, the applicant is requesting a Planned Development (PD) district, based on the existing Single-Family 4 (SF4) zoning district with modified development standards in order to allow for this type of residential development product.

**Proposal.** The proposed project consists of 45 owner-occupied single family residential dwelling units with an amenitized open space on the north portion and a landscaped open space on the southeast corner.

The applicant is proposing Single-Family 4 (SF4) as the base zoning district, with modified development standards as outlined in the following sections. The new Planned Development (PD) district includes development plans and multiple exhibits that will be incorporated into the PD as part of the overall requirements.

Uses. Proposed permitted uses will include the uses currently allowed under SF-4 zoning, primarily single-family detached homes.

Area Requirements. The applicant is requesting the following setback and area requirements:

- Maximum Height 35 feet
- Minimum Front Yard Setback 20 feet, instead of 25 feet
- Minimum Side Yard Setback 5 feet, instead of 6 feet
- Minimum Side Yard Setback on Corner lots 10 feet, instead of— 28 feet
- Minimum Rear Yard Setback 20 feet
- Minimum Lot Width 50 feet, instead of 60 feet
- Minimum Lot Depth 110 feet
- Minimum Lot Area 5,000 square feet, instead of 6,000 square feet
- Minimum number of garage spaces 2
- Minimum Lot Coverage 51%
- Minimum Living floor area 2,000 square feet, instead of 1, 200 square feet

Design Standards. The minimum design elements listed in Section 106.06.03 Architectural Standards for Residential Structures will apply unless stated otherwise or shown in the PD exhibits. Some of the major design standards are proposed as follow:

- Exterior materials and design. Homes shall maintain a Cape Cod style, buildings of simple design, using wood siding or simulated materials, incorporating wide overhangs, porches, and tall windows.
- Elevation repetition. Each unique house elevation and color shall not be repeated on the lot most directly across the street or diagonal, nor shall it be repeated on three lots in either direction on the same side of the street.
- Gifts to the Street. All homes shall include at least six of the architectural design features listed in Section 106.06.03(c).

**Landscaping and Screening.** The proposed PD will follow all landscape requirements per Sections 106.06.11 – 106.06.16 of the Code of Ordinances for residential landscape requirements for a single-family development. Residential lots adjacent to open space or park land shall have wrought iron fencing with a living screen on the open space side. All residential fences shall be board construction to conform to Section 106.06.32 (Residential Fences) of the Zoning Ordinance. Interior portions of fences (alongside and rear yards) shall be board on board construction.

**Parking.** Each dwelling unit shall have two parking spaces within the garage, as well as two parking spaces in the driveway.

**Streets and Access.** The proposed development plan shows a 50-foot Right of Way dedication inclusive of 5-foot sidewalks throughout the development on both sides of the street.

**Open Space.** The minimum required designated open space area shall be ten percent (10%) of the gross land area, totaling 3.68 acres. Open space is required to be landscaped, with at least 5 large trees per acre, irrigated, and amenitized on at least three sides.

**Comprehensive Plan.** The future land use of this area is identified as residential. The proposed residential development aligns with the Town's vision for future land use of this area.

**Update.**

On December 16, 2021, the Planning and Zoning Commission held a public hearing and tabled this item due to concerns over access and drainage, as well as the Town of Providence Village not having yet held their public hearing. On December 21, 2021, the Town of Providence Village Planning and Zoning Commission approved the item, however, the Town Council voted to table the item until January 18, 2022. The item was ultimately approved by the Town of Providence Village Town Council on January 4, 2022, however, the property owner would like to explore other potential development options on the property located within the Town of Little Elm. Staff and the property owner's representatives met on January 11, 2022 to discuss alternate solutions, and the property owner has requested additional time to consider his options.

**Recommended Action**

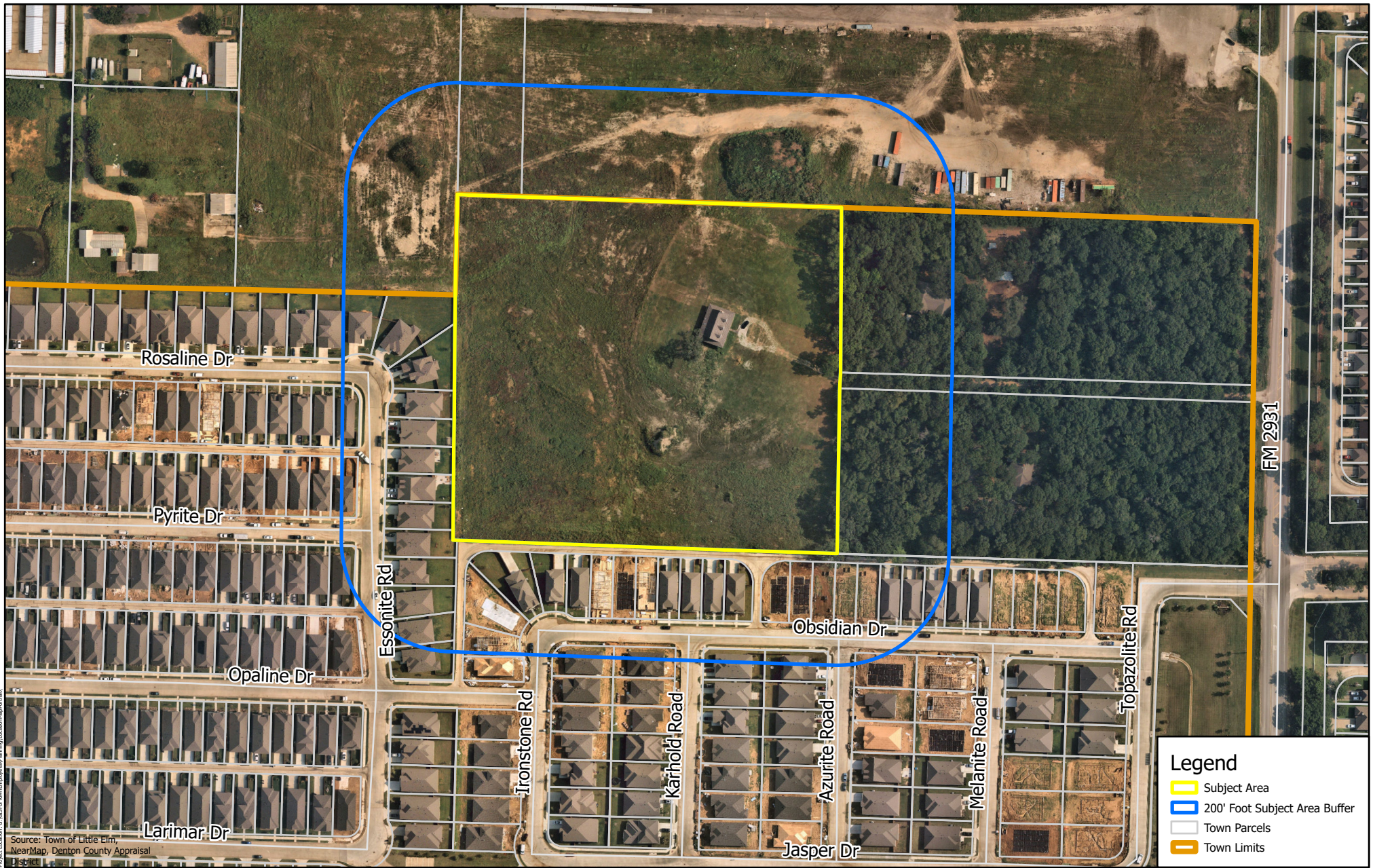
At this time Staff and the applicant request the item be tabled until February 3rd.

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**Attachments**

Location Map  
PD Exhibits





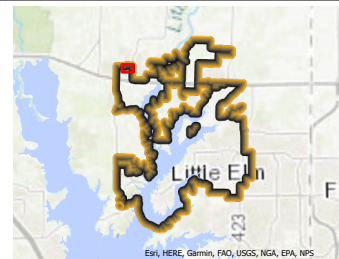
## Providence Commons Rezoning and PD Map

0 0.03 0.05 0.1 Miles



**Town of Little Elm**  
**Denton County, Tx**

Date: 12/6/2021



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.



**ST. LOUIS**

Power House at Union Station  
401 S. 18th Street, Suite 200  
St. Louis, MO 63103  
314.984.9887 *tel*

**ST. CHARLES**

1520 S. Fifth Street  
Suite 307  
St. Charles, MO 63303  
636.978.7508 *tel*

**DALLAS**

6175 Main Street  
Suite 367  
Frisco, TX 75034  
972.624.6000 *tel*

**PHOENIX**

2701 E. Camelback Road  
Suite 175  
Phoenix, AZ 85016  
602.795.4111 *tel*

**Submittal Documents in Support of**

# **Providence Commons**

**A Planned Development District  
in the  
Town of Little Elm,  
Denton County, Texas**

**Owner:  
R&M Materials, LLC  
5208 Tennyson Parkway, Suite 130  
Plano, Texas 75024**

**November 8, 2021**

**ST. LOUIS**

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401 S. 18th Street, Suite 200  
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PROVIDENCE COMMONS  
PLANNED DEVELOPMENT DISTRICT  
STATEMENT OF INTENT AND PURPOSE

This zoning submittal encompasses approximately 9.8 acres of land within the Town of Little Elm ("Town") more fully described on the legal description attached as Exhibit A (the "Property") and depicted on Exhibit B. The proposed use for the property is to provide single-family residential homes. This planned development ("PD") will provide zoning regulations necessary to develop the site and the final layout must generally conform to Exhibit C.

It is the intent of this PD to alter the base zoning for the tract from Agriculture (AG) to Single Family (SF-4) and exist as part of a larger, connected and unified community outside the Town's limits. Any conflict between this PD and the Zoning Ordinance shall be resolved in favor of those regulations set forth in this PD, or as may be ascertained through the intent of this PD. As used herein, "Zoning Ordinance" means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this Agreement, except otherwise defined in this Agreement. Uses and development regulations specifically modified, designated or included in this PD shall not be subject to amendment after the date of the adoption of this PD (the "Effective Date") (whether through the amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD. Uses and development regulations which otherwise are not specifically modified, designated or included in this PD shall be controlled by the "Zoning Ordinance", unless context provides to the contrary.

### Project Location

The proposed PD is located south of Fishtrap Road and west of FM 2931 (Main Street) at the western end of Cherokee Oaks Road. Legal descriptions (Exhibit A) and a site plan (Exhibit B) have been provided.

The project is surrounded by existing single family, proposed townhomes and single family, and future low-density residential uses.

This PD will provide for the opportunity to develop the following:

- Single Family (SF) zoning with a maximum of 45 homes with a typical lot size of fifty (50) foot wide and one hundred and ten (110) foot deep.

### Site Plan

Exhibit B identifies and locates the proposed Single Family lots within the Property. The proposed development will have unified and consistent design elements and provide an integrated development that compliments Providence Commons community within the Town of Providence Village.

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## EXHIBIT A

### LEGAL DESCRIPTION

THENCE NORTH 87 DEGREES 55 MINUTES 23 SECONDS WEST, DEPARTING SAID WEST RIGHT-OF-WAY LINE OF F.M. 2931 AND CONTINUING ALONG THE NORTH LINE OF SAID STRADER TRACT, A DISTANCE OF 739.87 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID STRADER TRACT;

THENCE SOUTH 00 DEGREES 52 MINUTES 49 SECONDS WEST, DEPARTING SAID NORTH LINE OF STRADER TRACT AND CONTINUING ALONG THE WEST LINE OF SAID STRADER TRACT, A DISTANCE OF 294.08 FEET TO A 5/8 INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF SAID STRADER TRACT, IN THE NORTH LINE OF A TRACT OF LAND DESCRIBED IN DEED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD AS RECORDED IN COUNTY CLERK'S FILE NUMBER 22018-12623, O.R.D.C.T., FOR THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 87 DEGREES 54 MINUTES 37 SECONDS WEST, DEPARTING SAID WEST LINE OF STRADER TRACT AND CONTINUING ALONG THE COMMON LINE OF SAID LENNAR HOMES TRACT AND TRACT OF LAND DESCRIBED IN DEED TO R&M MATERIALS AS RECORDED IN COUNTY CLERK'S FILE NUMBER 2016-16715, O.R.D.C.T., A DISTANCE OF 689.49 FEET TO A 5/8 INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF LAND DESCRIBED IN DEED TO DIVINEY JOHNA AS RECORDED IN COUNTY CLERK'S FILE NUMBER 2007-54985, O.R.D.C.T., FOR THE SOUTH WEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 00 DEGREES 30 MINUTES 06 SECONDS EAST, ALONG THE COMMON LINE OF SAID DIVINEY TRACT AND SAID LENNAR HOMES TRACT, A DISTANCE OF 438.60 FEET TO A 5/8 INCH IRON ROD SET FOR CORNER;

THENCE NORTH 88 DEGREES 47 MINUTES 38 SECONDS WEST, DEPARTING THE WEST LINE OF SAID DIVINEY TRACT AND CONTINUING ALONG THE NORTH LINE OF SAID LENNAR HOMES TRACT, A DISTANCE OF 393.75 FEET TO AN IRON PIPE FOUND FOR CORNER;

THENCE NORTH 88 DEGREES 21 MINUTES 17 SECONDS WEST, CONTINUING ALONG THE NORTH LINE OF SAID LENNAR TRACT, A DISTANCE OF 303.57 FEET TO A POINT FOR CORNER;

THENCE NORTH 88 DEGREES 15 MINUTES 22 SECONDS WEST, CONTINUING ALONG THE NORTH LINE OF SAID LENNAR TRACT, A DISTANCE OF 346.77 FEET TO A NAIL FOUND FOR THE SOUTHWESTERLY CORNER OF THE HEREIN DESCRIBED TRACT, AND THE SOUTHEASTERLY CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO BARTEL, STEVE AND NANCY AS RECORDED IN COUNTY CLERK'S FILE NUMBER 95-12685. O.R.D.C.T.

THENCE NORTH 01 DEGREE 09 MINUTES 13 SECONDS EAST, DEPARTING SAID NORTH LINE OF LENNAR TRACT AND CONTINUING WITH THE COMMON LINE OF SAID BARTEL TRACT AND A TRACT OF LAND DESCRIBED IN DEED TO R&M MATERIALS, LLC AS RECORDED IN COUNTY CLERK'S FILE NUMBER 137069, O.R.D.C.T., A DISTANCE OF 370.71 FEET TO A 5/8 INCH IRON ROD SET FOR THE SOUTHWEST CORNER OF LAND DESCRIBED IN DEED TO FISHTRAP STORAGE, LLC AS RECORDED IN COUNTY CLERK'S FILE NUMBER 2016-39124, O.R.D.C.T., FOR CORNER OF THE HEREIN DESCRIBED TRACT;

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**DALLAS**

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**PHOENIX**

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THENCE SOUTH 87 DEGREES 51 MINUTES 41 SECONDS EAST, WITH THE COMMON LINE OF SAID R&M MATERIALS, LLC TRACT (137069) AND SAID FISHTRAP STORAGE TRACT, A DISTANCE OF 346.45 FEET TO A POINT FOR THE SOUTHEAST CORNER OF SAID FISHTRAP STORAGE TRACT AND FOR CORNER OF THE HEREIN DESCRIBED TRACT.

THENCE NORTH 01 DEGREES 16 MINUTES 14 SECONDS EAST, CONTINUING ALONG THE EAST LINE OF SAID FISHTRAP STORAGE TRACT, A DISTANCE OF 365.68 FEET TO A CAPPED IRON ROD FOUND FOR CORNER;

THENCE CONTINUING WITH THE NORTH LINE OF A TRACT OF LAND DESCRIBED IN DEED TO R&M MATERIALS, LLC (2018-8520) AND (2015-140494) THE FOLLOWING COURSES AND DISTANCES;

SOUTH 87 DEGREES 48 MINUTES 20 SECONDS EAST, A DISTANCE OF 353.29 FEET TO A 5/8 INCH IRON ROD SET FOR CORNER;

SOUTH 02 DEGREES 09 MINUTES 20 SECONDS WEST, A DISTANCE OF 26.87 FEET TO A 5/8 INCH IRON ROD SET FOR CORNER;

SOUTH 87 DEGREES 43 MINUTES 15 SECONDS EAST, A DISTANCE OF 59.89 FEET TO A 5/8 INCH IRON ROD SET FOR CORNER;

NORTH 02 DEGREES 13 MINUTES 01 SECONDS EAST, A DISTANCE OF 26.83 FEET TO A 5/8 INCH IRON ROD SET FOR CORNER;

SOUTH 87 DEGREES 38 MINUTES 47 SECONDS EAST, A DISTANCE OF 285.03 FEET TO A 5/8 INCH IRON ROD SET FOR CORNER

NORTH 01 DEGREES 11 MINUTES 39 SECONDS EAST, A DISTANCE OF 447.30 FEET TO A 5/8 INCH IRON ROD SET FOR CORNER;

THENCE ALONG SAID NORTH LINE OF R&M MATERIALS (2010-103658) TRACT, SOUTH 88 DEGREES 16 MINUTES 12 SECONDS EAST, A DISTANCE OF 1355.36 FEET TO THE POINT OF BEGINNING AND CONTAINING 57.48 ACRES (2,504,036 SQ. FT.) OF LAND MORE OR LESS.



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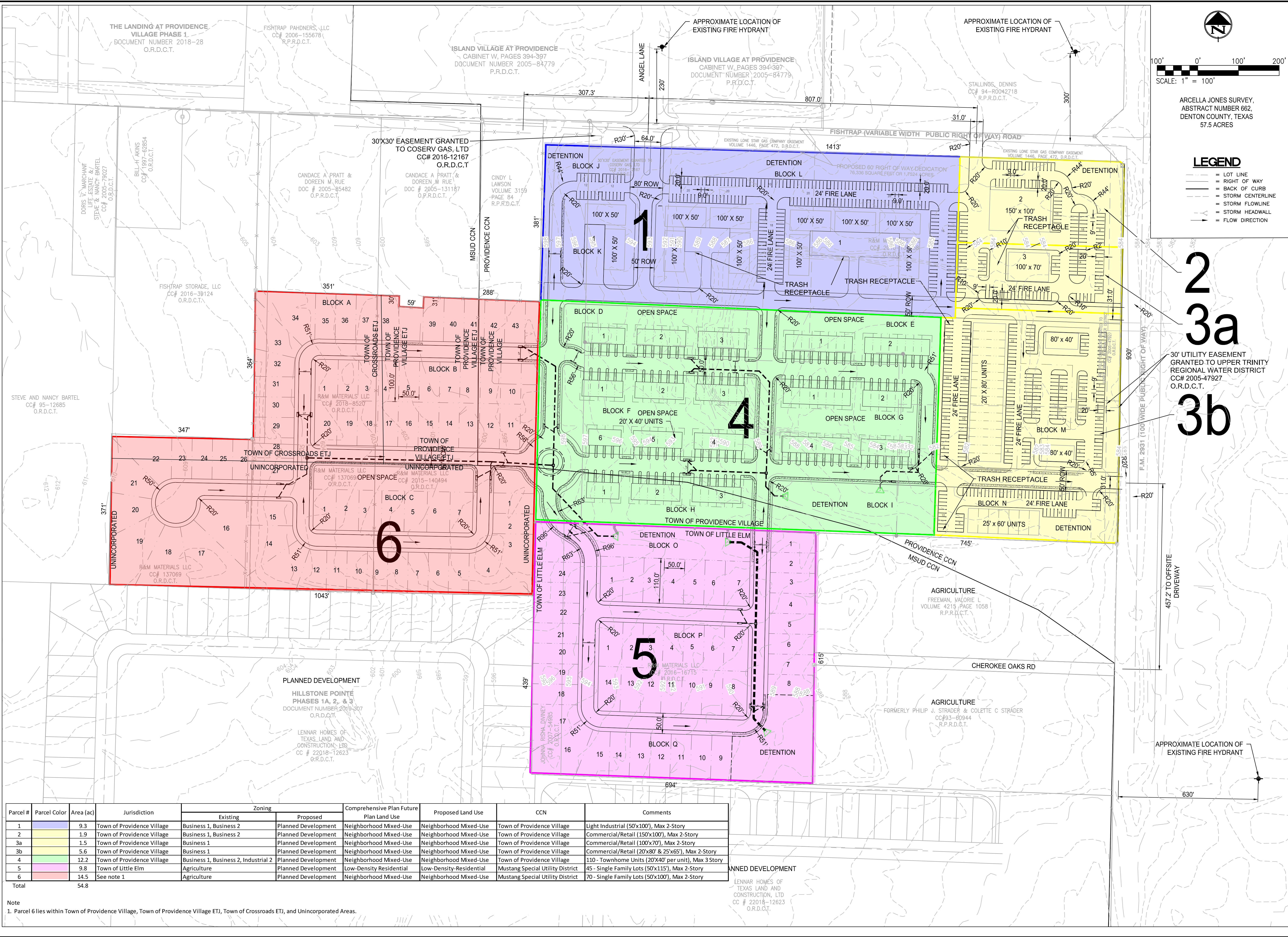
#### PHOENIX

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602.795.4111 *tel*

## EXHIBIT B



USER: Matthew Zamarrigo TAB: CONCEPT PLAN  
DATE: November 2, 2021 3:11:50 PM  
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Parcel #	Parcel Color	Area (ac)	Jurisdiction	Zoning		Comprehensive Plan Future Plan Land Use	Proposed Land Use	CCN	Comments
				Existing	Proposed				
1		9.3	Town of Providence Village	Business 1, Business 2	Planned Development	Neighborhood Mixed-Use	Neighborhood Mixed-Use	Town of Providence Village	Light Industrial (50'x100'), Max 2-Story
2		1.9	Town of Providence Village	Business 1, Business 2	Planned Development	Neighborhood Mixed-Use	Neighborhood Mixed-Use	Town of Providence Village	Commercial/Retail (150'x100'), Max 2-Story
3a		1.5	Town of Providence Village	Business 1	Planned Development	Neighborhood Mixed-Use	Neighborhood Mixed-Use	Town of Providence Village	Commercial/Retail (100'x70'), Max 2-Story
3b		5.6	Town of Providence Village	Business 1	Planned Development	Neighborhood Mixed-Use	Neighborhood Mixed-Use	Town of Providence Village	Commercial/Retail (20'x80' & 25'x65'), Max 2-Story
4		12.2	Town of Providence Village	Business 1	Planned Development	Neighborhood Mixed-Use	Neighborhood Mixed-Use	Town of Providence Village	110 - Townhome Units (20'x40' per unit), Max 3 Story
5		9.8	Town of Little Elm	Agriculture	Planned Development	Low-Density Residential	Low-Density Residential	Mustang Special Utility District	45 - Single Family Lots (50'x115'), Max 2-Story
6		14.5	See note 1	Agriculture	Planned Development	Neighborhood Mixed-Use	Neighborhood Mixed-Use	Mustang Special Utility District	70 - Single Family Lots (50'x100'), Max 2-Story
Total		54.8							

Note  
1. Parcel 6 lies within Town of Providence Village, Town of Providence Village ETJ, Town of Crossroads ETJ, and Unincorporated Areas.

DEVELOPER/OWNER:  
RPMXCONSTRUCTION, LLC  
5208 TENNYSON PKWY  
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PHONE 214-239-4722

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Texas Board of Professional Engineering and Land Surveyors  
Registration #10198871  
Civil & Landscape Architecture License #10198871

DESIGN/CALC BY  
HTT

DRAWN BY  
MJC/JHH

CHECKED BY  
MGZ

DRAWING SCALE  
AS SHOWN

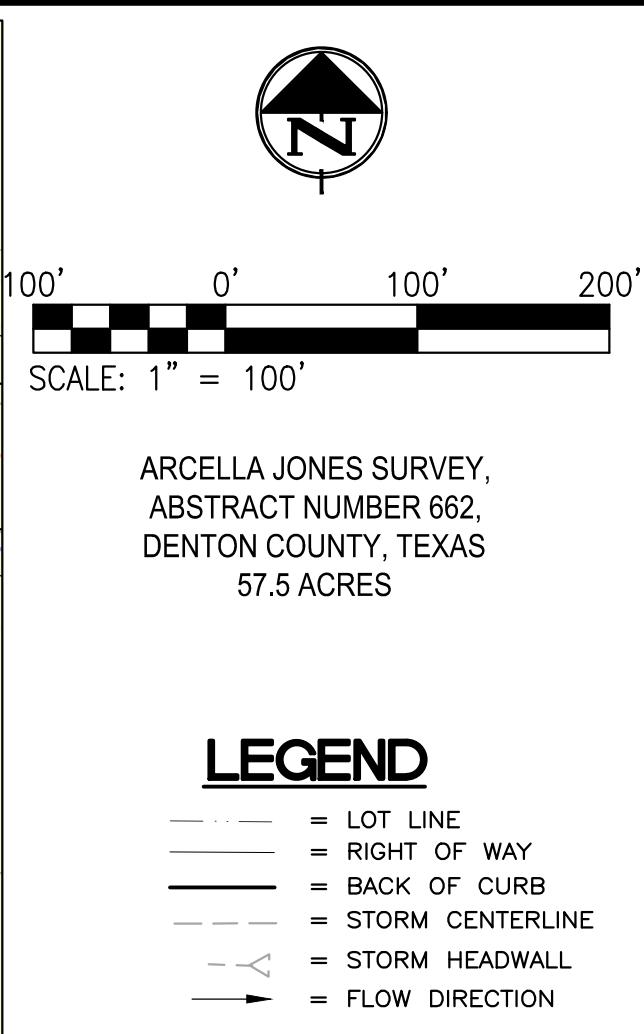
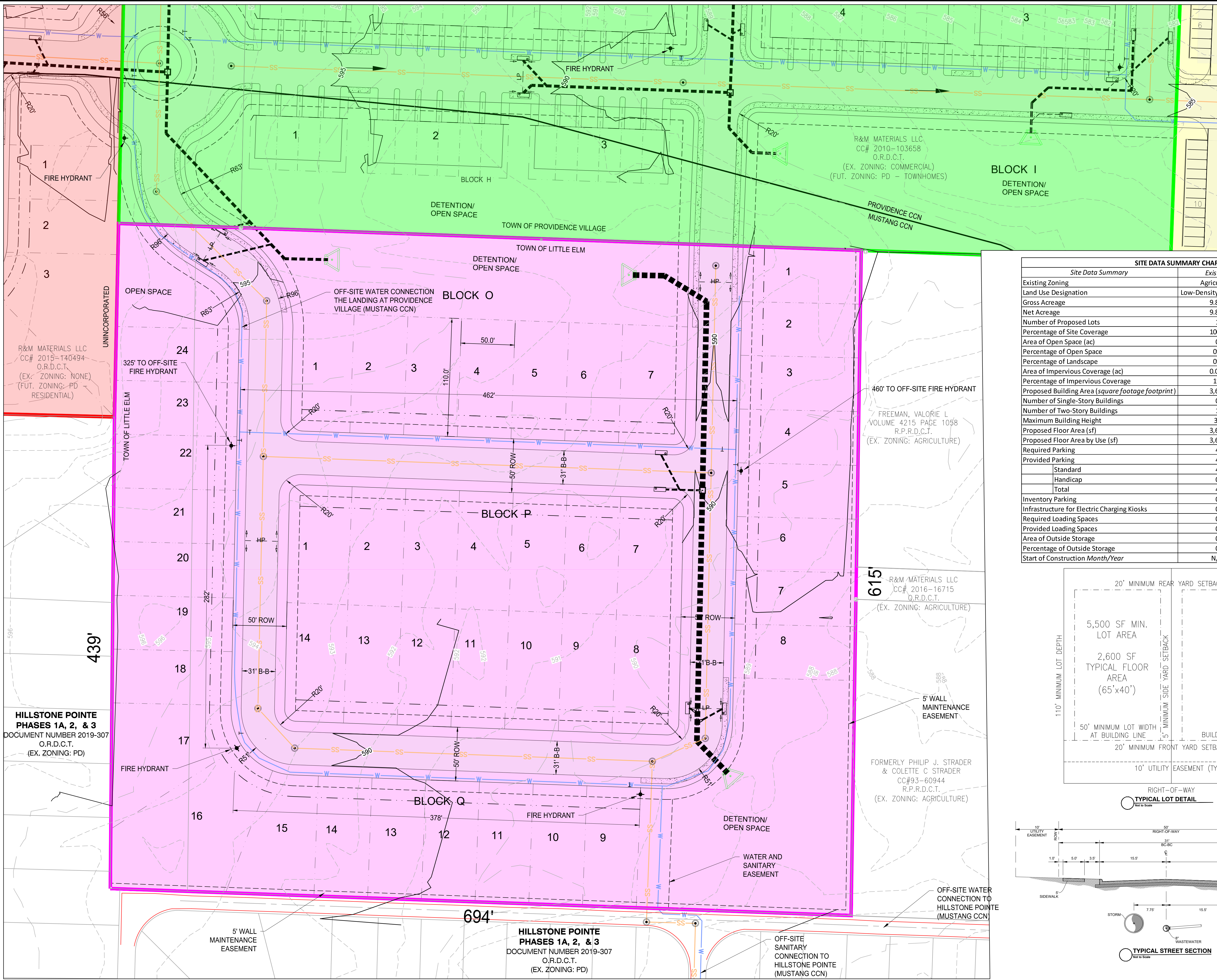
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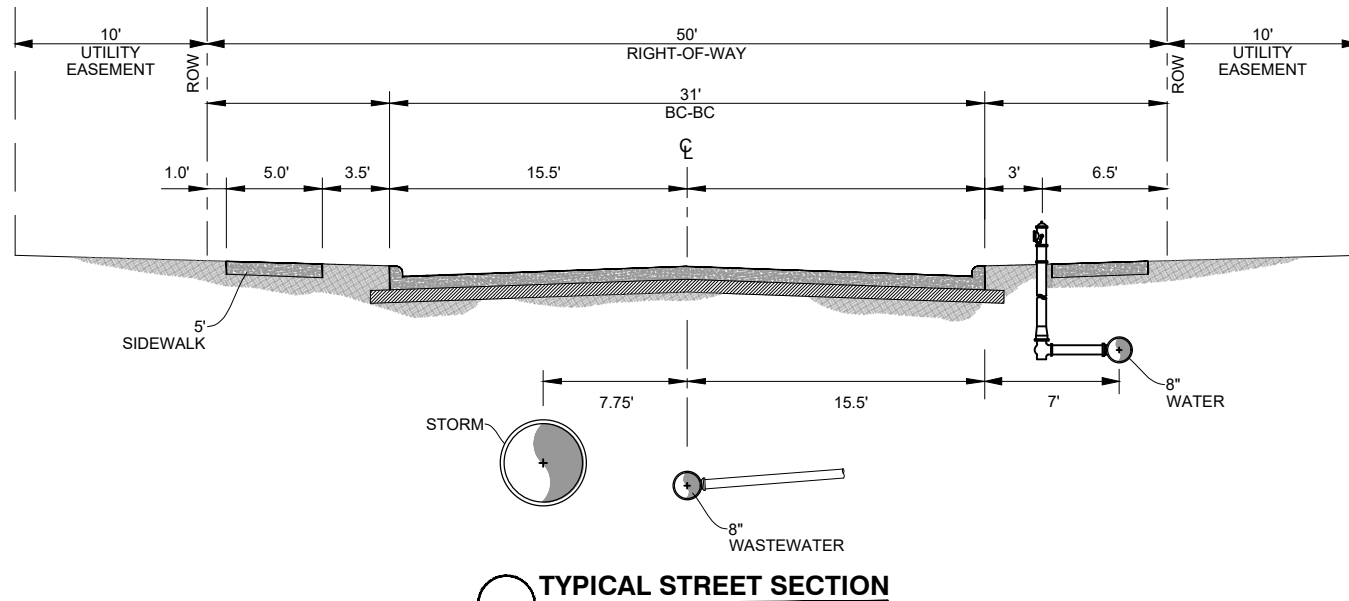
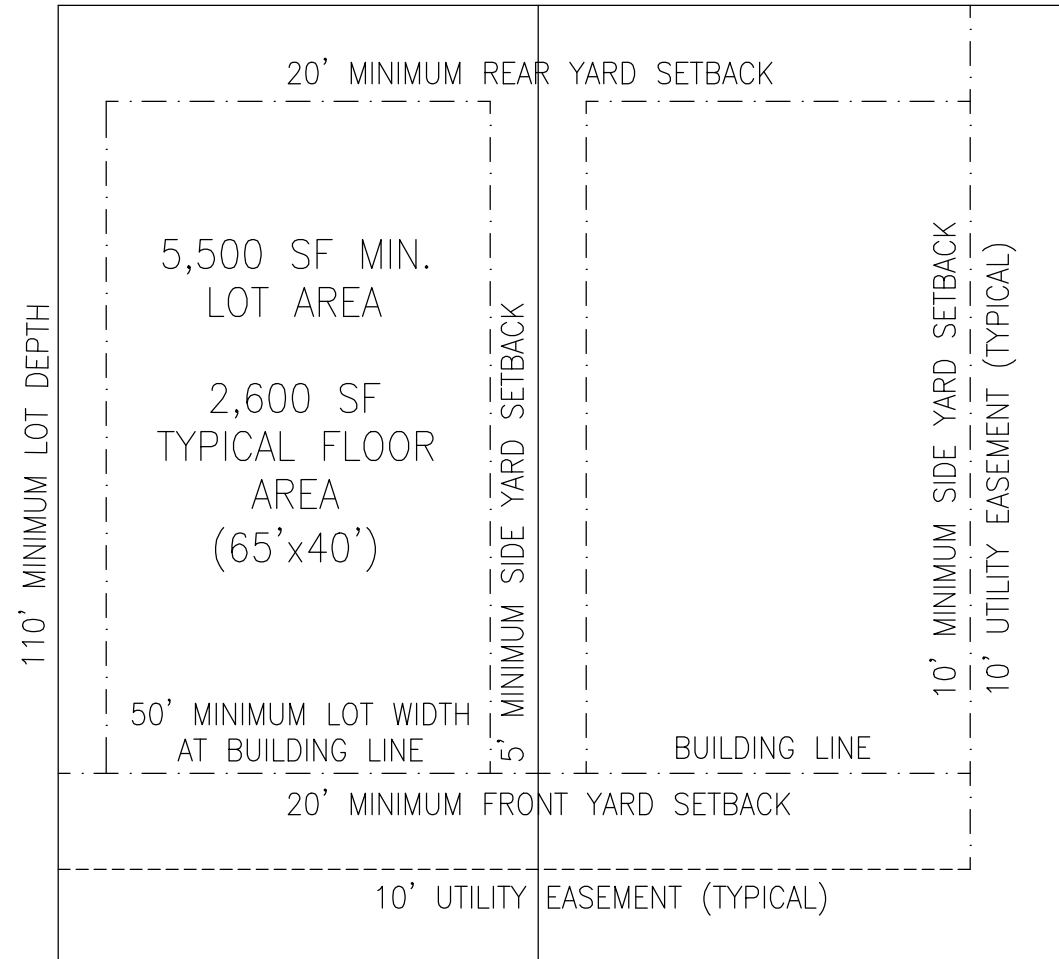
CONCEPT PLAN





- LEGEND**
- LOT LINE
  - RIGHT OF WAY
  - BACK OF CURB
  - STORM CENTERLINE
  - STORM HEADWALL
  - FLOW DIRECTION

SITE DATA SUMMARY CHART		
Site Data Summary	Existing	Proposed
Existing Zoning	Agriculture	Planned Development
Land Use Designation	Low-Density Residential	Low-Density Residential
Gross Acreage	9.815	9.815
Net Acreage	9.815	9.815
Number of Proposed Lots	1	45
Percentage of Site Coverage	100%	63%
Area of Open Space (ac)	0	3.680
Percentage of Open Space	0%	37%
Percentage of Landscape	0%	56%
Area of Impervious Coverage (ac)	0.084	4.346
Percentage of Impervious Coverage	1%	44%
Proposed Building Area (square footage footprint)	3,659	2,600
Number of Single-Story Buildings	0	0
Number of Two-Story Buildings	1	45
Maximum Building Height	35	35
Proposed Floor Area (sf)	3,659	2,600
Proposed Floor Area by Use (sf)	3,659	2,600
Required Parking	4	2
Provided Parking	4	2
Standard	4	2
Handicap	0	0
Total	4	2
Inventory Parking	0	0
Infrastructure for Electric Charging Kiosks	0	0
Required Loading Spaces	0	0
Provided Loading Spaces	0	0
Area of Outside Storage	0	0
Percentage of Outside Storage	0	0
Start of Construction Month/Year	N/A	March/2022



DEVELOPER/OWNER:  
**RPMXCONSTRUCTION, LLC**  
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FM 2931 & FISHTAP ROAD  
PROVIDENCE VILLAGE, TX 76227

CONCEPT SITE PLAN

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**cole**  
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE  
Texas Board of Professional Engineers and Land Surveyors  
Registration #10193871  
Clerk of the Board: Matthew G. Zamoripa, P.E. Clerk of the Board: Matthew G. Zamoripa, P.E.

DESIGN/CALC BY  
HTT

DRAWN BY  
JHH

CHECKED BY  
MGZ

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AS SHOWN

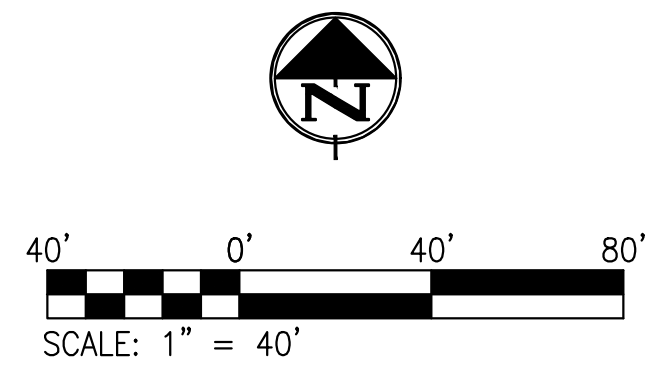
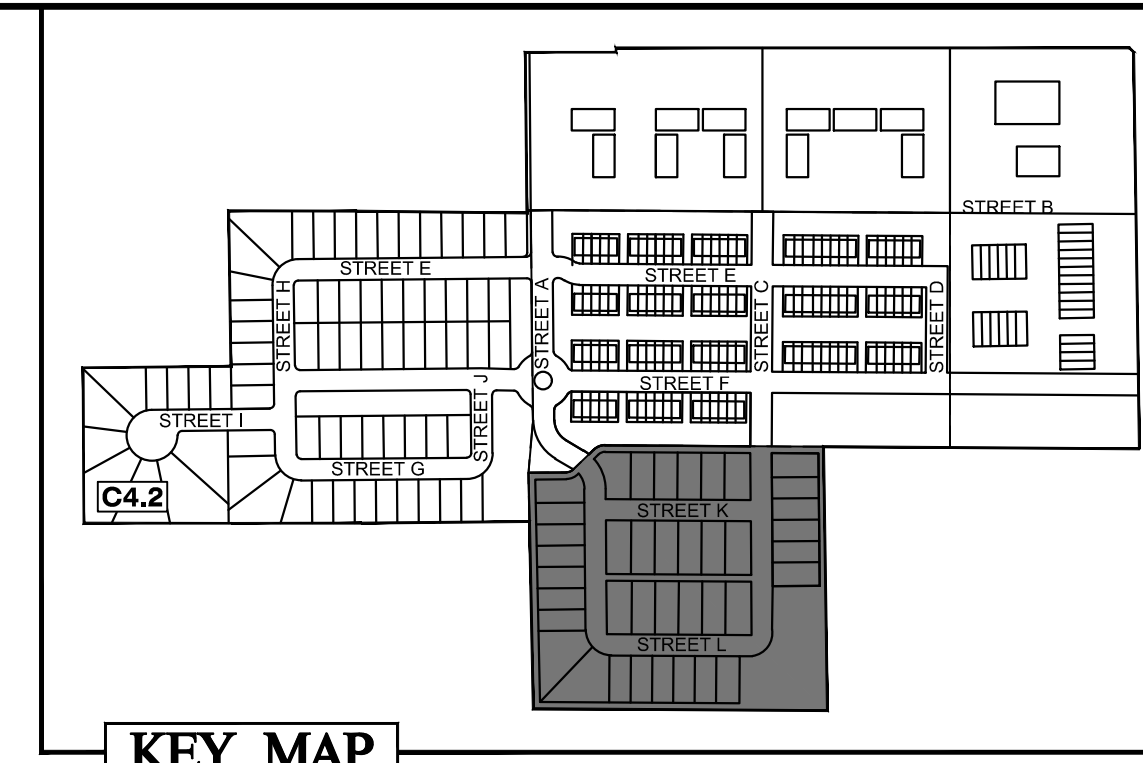
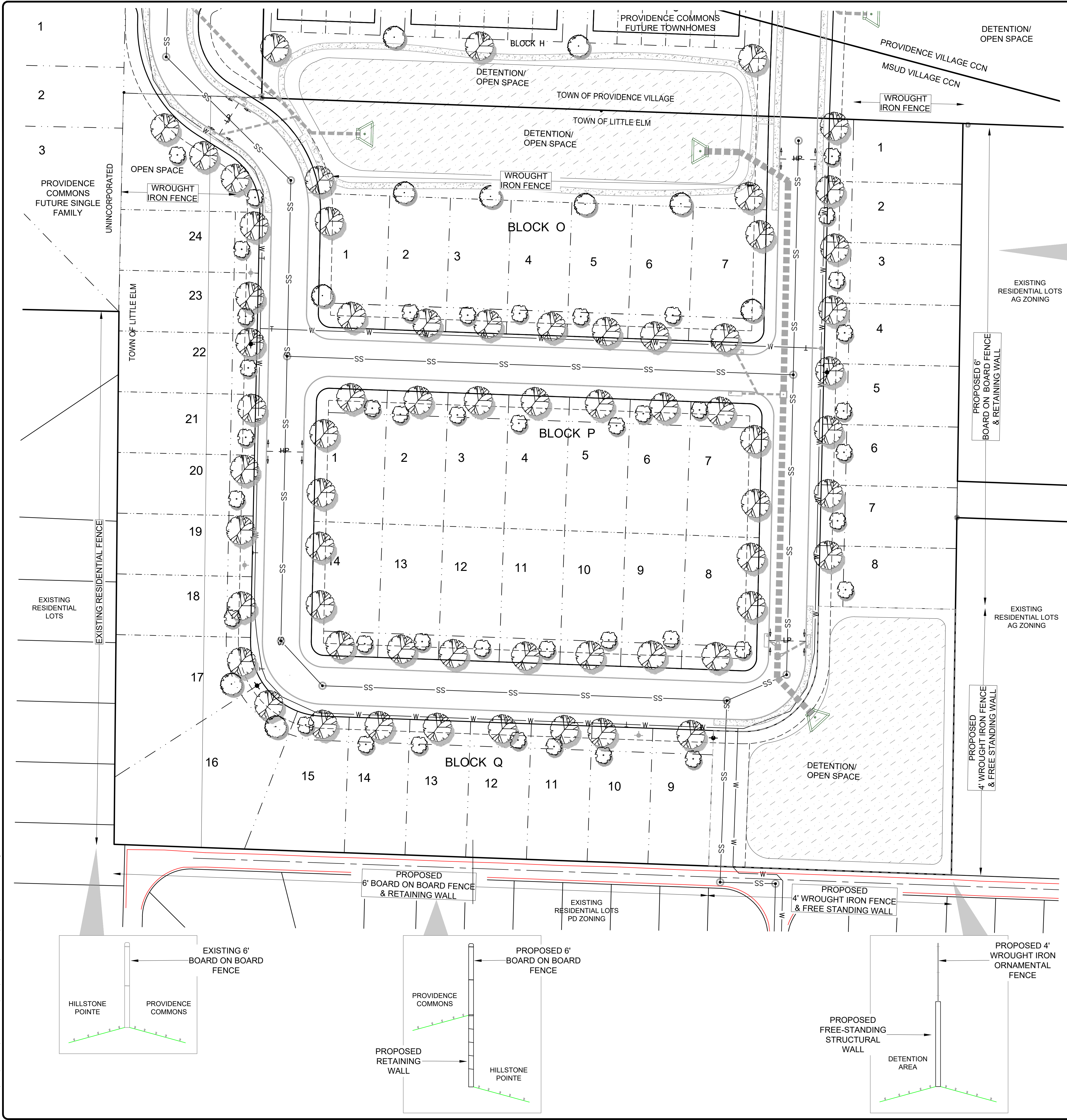
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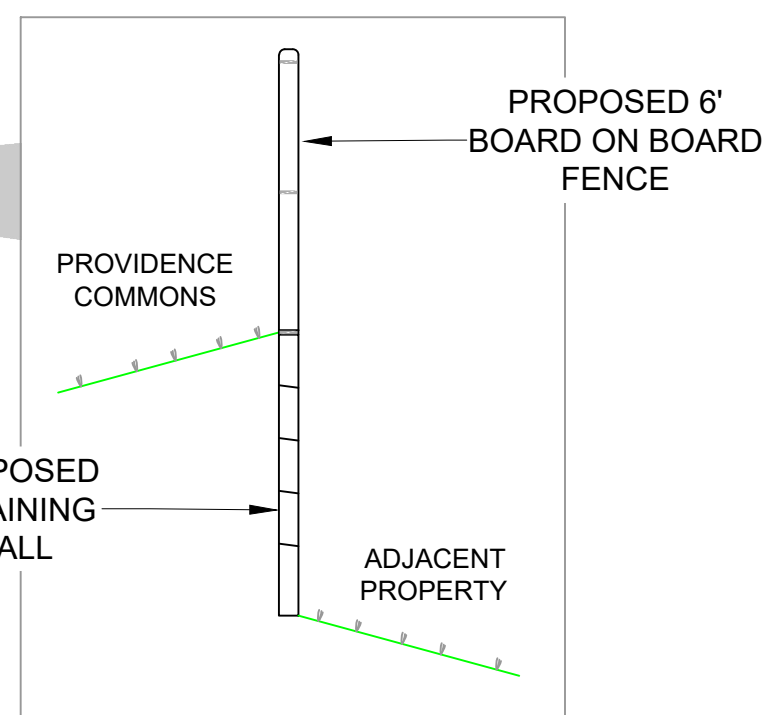
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- LEGEND**
- LARGE TREE
  - SMALL TREE
  - ORNAMENTAL TREE

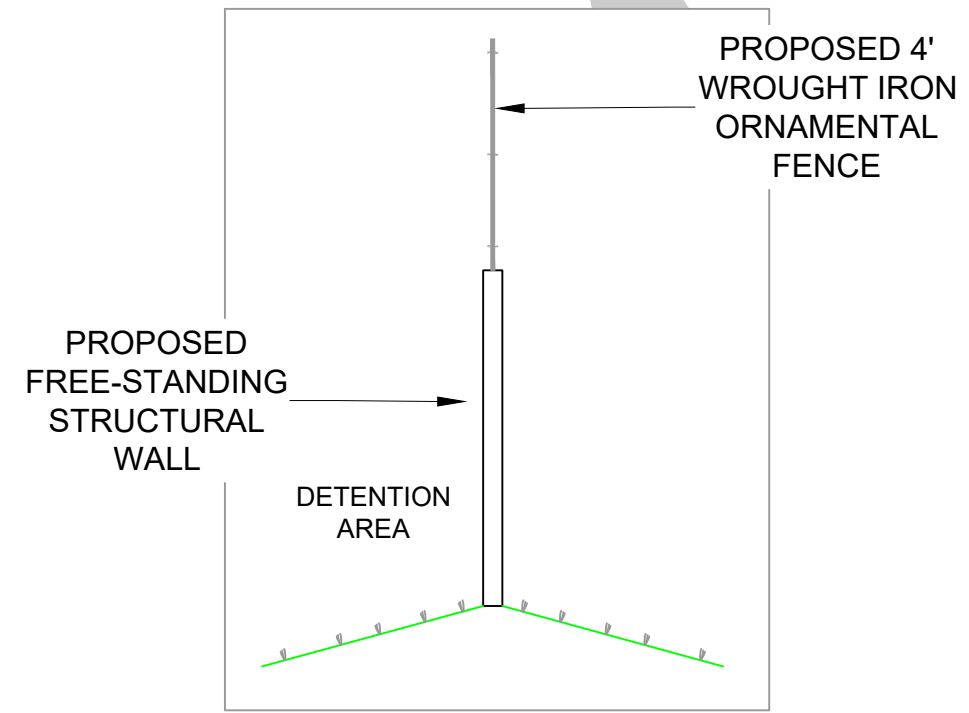
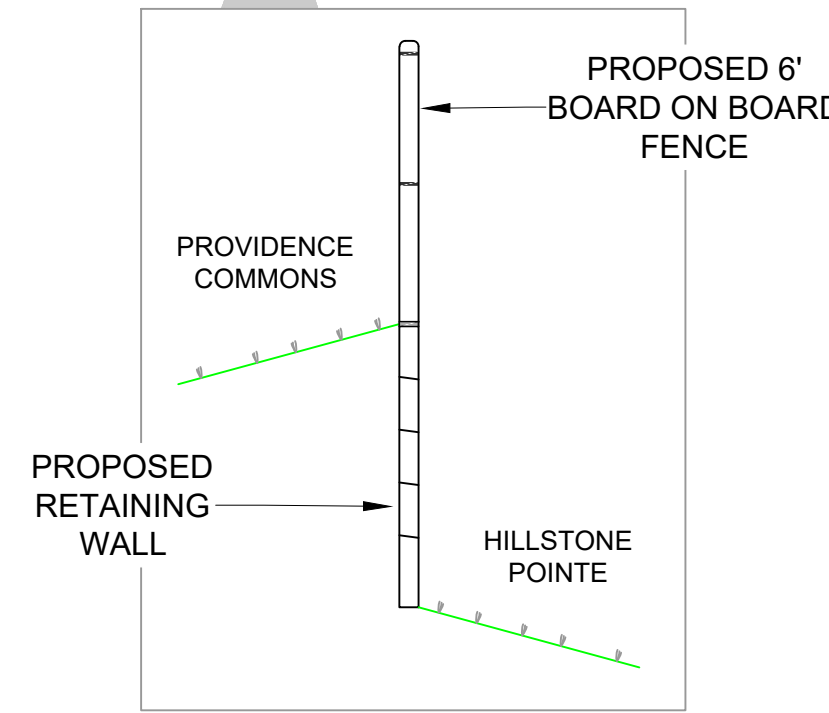
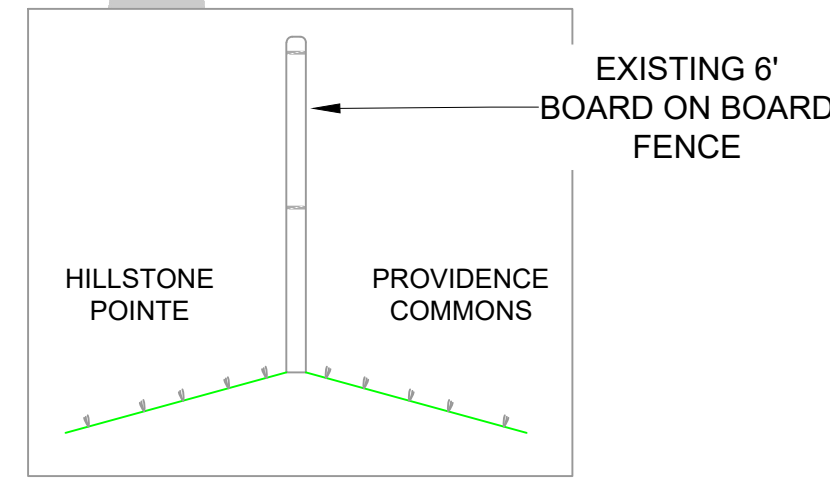


**NOTE:**  
NO TREE MITIGATION PLAN IS REQUIRED AS THERE ARE NO EXISTING TREES ON THE SUBJECT PROPERTY

**PROJECT LANDSCAPE DATA TABLE**  
CITY LANDSCAPE REQUIREMENTS

TYPE	REQUIREMENT	REQUIRED	PROVIDED
GENERAL	ALL RESIDENTIAL LAWNS MUST BE COVERED WITH VEGETATION, INCLUDING GRASS, LIVING GROUNDCOVER, MULCH, AND/OR DECORATIVE STONE.	YES	YES
LOT TREES	REQUIRED LARGE TREES SHALL NOT BE SMALLER THAN FOUR CALIPER INCHES IN SIZE.	YES	YES
	REQUIRED SMALL TREES SHALL NOT BE SMALLER THAN TWO CALIPER INCHES IN SIZE.	YES	YES
	INTERIOR LOTS AND NORTHERN LOTS: FRONT YARD: 1 LARGE TREE AND 1 ORNAMENTAL TREE	21 LOTS	YES
	TREES PLANTED IN THE FRONT YARD OR SIDE YARD ON A CORNER SHALL BE PLANTED IN THE AREA BETWEEN RESIDENCE AND THE SIDEWALK.	YES	YES
	FRONT: 1 LARGE, 1 ORNAMENTAL TREE	22 LOTS	YES
DETENTION/OPEN SPACE	CORNER LOTS, FRONT: 1 LARGE CANOPY TREE, 1 SMALL TREE	2 LOTS	YES
	ALL DETENTION AREAS TO RECEIVE NATIVE GRASS SPECIES	YES	YES

- LITTLE ELM LANDSCAPE PLAN STANDARD NOTES:**
- The owner, tenant and their agent, if any, shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, and fertilizing, watering, weeding and such activities common to the maintenance of landscaping.
  - Landscape areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping.
  - No substitutions for plant materials are allowed without written approval by the director and acknowledged by an approval stamp on the landscape plan.
  - The right-of-way adjacent to required landscape areas shall be maintained by the adjacent property owner in the same manner as the required landscape area. All driveways will maintain visibility as approved by the director. All plantings intended for erosion control will be maintained. The town may require revegetation to prevent erosion or slippage.
  - All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size, within 30 days or a date approved by the director, based on current seasons and weather conditions (e.g. drought or freeze).
  - When power lines are present, trees shall not be planted underneath and should be oriented in a manner to avoid conflict. Substitution of plant material is not allowed without prior written authorization from the director.
  - All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors and evapotranspiration (ET) weather-based controllers and said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator.
  - All trees are to be equipped with a bubbler irrigation system.
  - Required landscaped open areas and disturbed soil areas shall be completely covered with living plant material, per the landscape ordinance.
  - All landscaping shall be in a planned area that is defined by edging, mulch or another practice approved by the town.



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FM 2031 & FISHTRAP ROAD  
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CONCEPT LANDSCAPE PLAN

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DESIGN/CALC BY: HTT  
DRAWN BY: JHH  
CHECKED BY: MGZ  
DRAWING SCALE: AS SHOWN  
DATE: 12/20/21  
Job Number: 16-0170  
Sheet Number: L1.0



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## EXHIBIT C PLANNED DEVELOPMENT DISTRICT STANDARDS

### GENERAL CONDITIONS FOR PD:

1. **Purpose.** The purpose of the PD Planned Development district is to allow single-family neighborhood connecting the Providence Commons community which resides primarily within the Town of Providence Village.
2. **Use Regulations.** No building, structure, land or premises will be used, and no building or structure hereafter be erected, constructed, reconstructed, or altered, except for one or more of the uses specified in Section 106.05.01(a), "Schedule of Uses – Residential."
3. **Base Zoning District.** The permitted uses and standards shall be in accordance with the Single Family 4 (SF-4) zoning district, unless otherwise specified herein.
4. **Height and Area Regulations.**
  - a. The height of buildings, the minimum dimensions of lots and yards, and the minimum lot area per family permitted on any lot shall be as follows:

SF – Single Family District Development Standards	
Maximum Height	35'
Minimum Front Yard Setback	20'
Minimum Side Yard Setback	5'
Minimum Side Yard Setback on corner	10'
Minimum Rear Yard Setback	20'
Minimum Lot Width (at building line) <sup>1</sup>	50'
Minimum Lot Depth <sup>2</sup>	110'
Minimum Lot Area	5,500 sq. ft.
Minimum number garage spaces	2
Number of other drive spaces	2
Maximum Lot Coverage (gross lot area)	51%
Minimum Living Floor Area	2,000 sq. ft.

Note 1: Lot width shall be measured at the front building line for cul-de-sac or "knuckle" lots.

Note 2: Cul-de-sac or "knuckle" lots may be a minimum of one hundred (100) feet.

- b. All dwellings shall be accessible from the street and front entry. Minimum front driveway width shall be 16'.
  - c. All public sidewalks shall be five (5) feet in width.

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5. Conceptual plan required. The Concept Plan attached hereto as Exhibit C, and incorporated herein by reference, demonstrates potential locations and relationships of the uses permitted under this PD.

An amendment to a concept plan approved as a part of the ordinance establishing the planned development district is a change in zoning district classification and must follow the same procedures set forth in Section 106.04.03, except the director of planning and development may approve minor revisions which do not alter the basic relationship of the proposed development.

6. Landscape requirements:

- A minimum twenty (20) foot wide landscape and wall buffer is provided for perimeter walls that are adjacent to collector/arterial roads and are to be platted as common areas.
- No rear landscape buffer shall be provided for lots adjacent to other residential lots or open space lots.
- In areas where trees are required, grouping or spacing trees shall be allowed. All large trees must be four-inch (4") minimum caliper diameter at breast height (dbh). All small trees must be two-inch (2") minimum caliper diameter. Measurement is at twelve-inches (12") from grade at time of planting.
- All shrubs shall be a minimum of three (3) gallon in size when planted and shall be planted in the front yard and corner lot landscape beds. Measurement is at twelve-inches (12") from grade at time of planting.
- Tree spacing shall be a minimum of 1 tree per 50' along all residential roads.
- An enhanced entrance shall be located outside the subdivision within the Town of Providence Village on Fishtap Road and shall consist of a typical eighty (80) foot ROW entrance to align with Angel Lane, with stone columns, community name signage located on or within the hardscape screening and stone planters. Future plans are subject to review and approval by the Director of Development Services.
- All other landscaping shall comply with the Zoning Ordinance, as it exists or may be amended in accordance with the standards in effect at the time of development or requested change.



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7. Screening Standards: All development within this PD District shall comply with the following minimum screening standards:
  - Residential lots adjacent to commercial property: 8' solid masonry wall and 3' landscaped berm (maintained by HOA).
  - Residential lots adjacent to open space or park land: wrought iron fencing with a living screen on the open space side.
  - All residential fences shall be board construction to conform to Section 106.06.32 (Residential Fences) of the Zoning Ordinance. Interior portions of fences (alongside and rear yards) shall be board on board construction.
8. Homeowners Association: A Homeowners' Association (HOA) or associations will be established for the development. Dedicated open space, retaining walls, and screening walls will be owned and maintained by the HOA.
9. Open Space: A minimum of ten percent (10%) of the tract area, excluding rights-of-way for collector and larger size streets, shall be devoted to open space. The open space requirements shall be met for the tract as defined on Exhibit C. Open space includes areas used for facilities such as walks, plazas, courts, recreational amenities, detention/retention ponds, amenity centers, landscape buffers, public or private parks, water features and other similar uses.

Detention/Retention areas must be amenitized on three sides with improvements. A sidewalk, bench or pavilion constitutes an improvement. Open space includes any parcel of land or water (no minimum dimension) exclusive of public right-of-way, associated with all non-residential and residential developments that is generally provided to improve the microclimate and/or aesthetics of the site and that is not covered by buildings, structures, parking or loading areas and driveways (except for parking or loading areas and driveways associated with the open space uses or any principal or accessory use of such open space as described above in this section). Detention/Retention areas must follow requirements of Section 106.06.14.

Tree Requirement in Detention/Retention Areas:

Detention/Retention HOA lots shall provide five (5) large trees for every acre or portion of an acre of detention/retention space. The trees that are provided shall be irrigated.

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Other than the provisions of open space required by this Section 1.8, no park land dedication or construction of park improvements shall be required. Park fees will still be required.

#### Dry Detention Pond at Southeast Corner



#### Wet Detention Pond at Northern Boundary



10. Architectural Standards: The intent of this section is to create a residential neighborhood which reflects the character of Providence Commons, a community of single-family homes, townhomes, restaurants, retail space, and commercial space. Minimum design elements listed in Section 106.06.03 Architectural Standards for Residential Structures will apply that are not in conflict the following enhancements:
  - Homes shall maintain a Cape Cod style, buildings of simple design, using wood siding or simulated materials, incorporating wide overhangs, porches, and tall windows.
  - Elevation Repetition. Each unique house elevation and color shall not be repeated on the lot most directly across the street or diagonal, nor shall it be repeated on three (3) lots in either direction on the same side of the street.
  - All homes must include at least six (6) of the architectural design features listed in Section 106.06.03(c).

**ST. LOUIS**

Power House at Union Station  
401 S. 18th Street, Suite 200  
St. Louis, MO 63103  
314.984.9887 *tel*

**ST. CHARLES**

1520 S. Fifth Street  
Suite 307  
St. Charles, MO 63303  
636.978.7508 *tel*

**DALLAS**

6175 Main Street  
Suite 367  
Frisco, TX 75034  
972.624.6000 *tel*

**PHOENIX**

2701 E. Camelback Road  
Suite 175  
Phoenix, AZ 85016  
602.795.4111 *tel*

- The architectural exhibits provided in this PD, "Exhibit D" are incorporated herein by reference and demonstrate potential elevations and floorplans. The ultimate design must generally conform to Exhibit D and will be provided at time of building permit by designated home builder.



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**WAIVERS FOR PD:**

Min front yard setback 25' – Requested Min. 20' front yard  
setback Min side yard setback 6' – Requested Min. 5' side yard  
setback

Min side yard setback on corner 28' – Requested Min. 10' side yard

Min Lot width 60' – Requested Min. 50' front width

Min lot area 6,000 sq. ft. – Requested Min. lot area 5,000 sq. ft.

## EXHIBIT D Single-Family



**This future land use designation is predominantly comprised of single family detached residential dwellings in established residential neighborhoods with a Craftsman style of architecture.**

### Anticipated Land Uses

- Detached Single-Family Residential dwellings.
- Parks, trails, and open spaces permitted with trail connections to and through adjacent neighborhood.

### Development Characteristics

- Sidewalk or trail connections should be provided to nearby destinations.
- Building form, height, setbacks, and sidewalk connections should be consistent in order to form a thoughtful and sensitive transition to commercial or adjacent uses where applicable.
- Craftsman architecture elements like front porches, gabled roofs, and tapered columns are to be incorporated to ensure new development blends with the style of the town.

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# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	PUBLIC HEARING/Spiritas East (PD-21-07137)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	February 15, 2022
<b>Size</b>	38.468 acres
<b>Current Zoning</b>	Agriculture (AG)
<b>Proposed Use</b>	Low Density Residential
<b>Existing Use</b>	Undeveloped Land
<b>Future Land Use Plan Designation</b>	Commercial/Retail
<b>Applicant</b>	Jim Nichols, Barraza Consulting Group, LLC
<b>Owner</b>	MM Little Elm 548, LLC
<b>Strategic Goal</b>	

## Agenda Item

**PUBLIC HEARING/Spiritas East (PD-21-07137).** Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 38.468 acres of land, generally located south of East University Drive (US 380), approximately 2,500 feet east of Providence Boulevard, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision in connection with the Spiritas Ranch Planned Development.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

## Location

Generally located south of East University Drive (US 380), approximately 2,500 feet east of Providence Boulevard, within Little Elm's town limits.

## Planning Analysis

**Background.** Subject property is a vacant undeveloped land totaling 38.468 acres, currently zoned as Agriculture (AG). The subject property is located on the south side of US Highway 380 adjacent to Spiritas Ranch master planned development.

Recently, the Town approved a new master planned community with single-family residential, as well as public and retail uses, known as Spiritas Ranch. The proposed Spiritas East Planned Development is an extension to the existing PD, with a mix of 40-foot wide, 50-foot wide, and a courtyard single-family residential product. In 2021, the Town and property owner executed a developers' agreement with development standards.

At this time, the applicant is bringing forward the rezoning request for approval of a new Planned Development (PD) district that would incorporate the development plans and development standards established by the developers' agreement for the residential component. The new PD would allow for the development of the Spiritas East, an extension of the Spiritas Ranch community, consisting of 146 single-family dwelling units.

The applicant is proposing to utilize the existing Single Family 4 (SF4) as the base zoning district to create three types of residential subdistricts, with modified development standards as outlined in the following sections. The new Planned Development district includes a concept plan identifying locations for the various lot designations that will be incorporated into the PD as part of the overall requirements.

**Proposal.** The proposed project consists of 25 owner-occupied single family residential dwelling units with a centrally located amenity open space, as well as a detention pond in the southeast corner of the development proposed as an open space with amenities. The proposed residential density is now 4.3 units per gross acre (du/ac).

The applicant is proposing Single-Family 4 (SF4) as the base zoning district, with modified development standards as outlined in the following sections. The new Planned Development (PD) district includes development plans and multiple exhibits that will be incorporated into the PD as part of the overall requirements.

**Uses.** The uses within the new PD are proposed to comply with uses permitted for SF-4 Single-Family district, with the additional accessory uses such as model homes, temporary offices, temporary asphalt and concrete batch plants, temporary construction yard, and concrete washouts.

**Area Requirements.** SF-4A lots are proposed at 40' feet minimum width and lot area of at least 4,500 square feet. SF-4B lots are proposed at 50' feet minimum width and lot area of at least 5,650 square feet. SF-4C lots are proposed at 40' feet minimum width and lot area of at least 5,000 square feet. Additional setback, living area, lot coverage, and garage regulations as listed and shown in the PD exhibits.

**Design Standards.** Standards as listed below and shown in the PD exhibits.

**Exterior Materials.** Front facing exterior facades of the main building or structure shall be constructed of 100% masonry, comprised of brick, stone, cast stone. Minimum masonry of all facades shall be 85%. Stucco or other cementitious materials such as hardie board may be used as a secondary design feature with no more than 15 percent of any facade other than those facing a right-of-way being made up of this material. The PD allows special exceptions to increased stucco and hardie board percentages for specific design, at the discretion of the Director of Development Services.

**Elevation Repetition.** Each unique house elevation shall not be repeated on the lot most directly across the street, nor shall it be repeated on four lots in either direction on the same side of the street.

**Doors.** Garage doors and front entry doors visible from the right-of-way shall consist of stained cedar,

redwood, spruce, fir or other hardwood, or other products, including products that are not wood but have a wood appearance, including fiberglass, aluminum/ metal or hardie and approved by the director.

**Gifts to the Street.** All buildings shall include decorative driveway paving and at least three of the listed design features.

**Landscaping.** The PD establishes trails requirements, tree requirements, and retention/detention pond design criteria as shown in the PD exhibits.

**Parks and Open Space.** The PD establishes a 1.1 acre park on the northeast corner of the development and .3 acres of open space, with an eight-foot trail connecting the park to the Spiritas Ranch trail as shown in the PD exhibits.

**Street.** The PD establishes street categories and associated standards for each type of street as shown in the PD exhibits.

**General.** The PD establishes general subdivision policies specific to the subdivision as well as engineering design standards as shown in the PD exhibits.

**Comprehensive Plan.** The future land use of this area is identified as Commercial/Retail, however the Town's Zoning Ordinance allows for consideration of a Planned Development district within any zoning district category.

#### **Recommended Action**

Staff recommends that the Planning and Zoning Commission evaluate the new request based on:

- impact and suitability of the proposed development within the context of the existing area
- importance of the development standards from which the property is requesting to vary
- how the proposed development benefits the Town overall
- Town's vision for this area, as outlined by the Town's Comprehensive Plan

Staff recommends approval of the request as proposed, subject to no conditions.

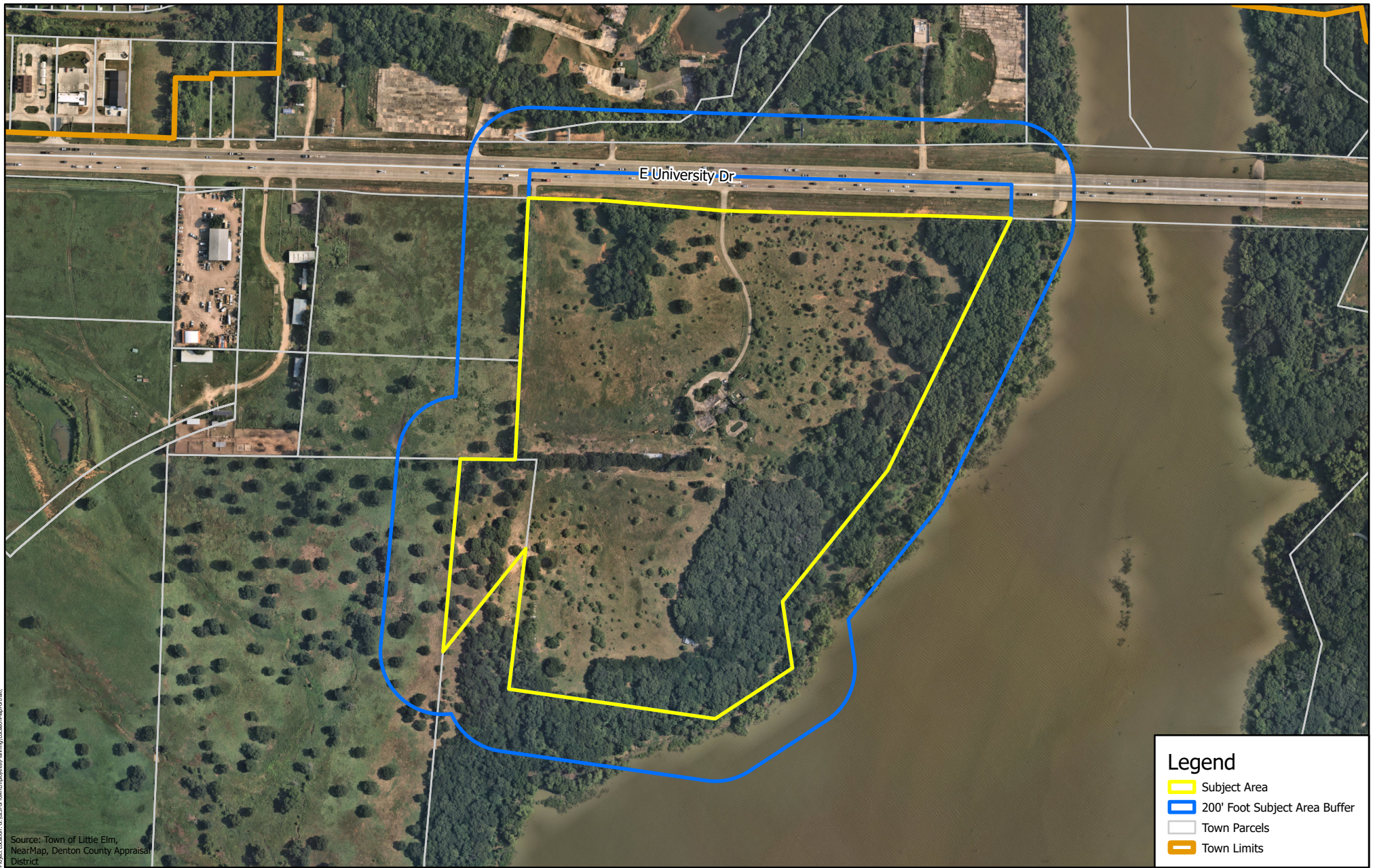
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#### **Attachments**

Location Map

PD Exhibits





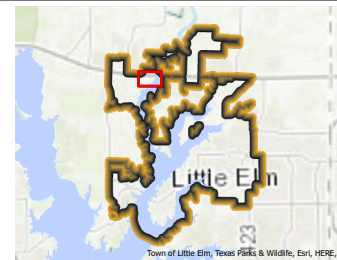
## Spiritas East Zoning Case

0 0.05 0.1 0.2 Miles



**Town of Little Elm  
Denton County, Tx**

Date: 1/10/2022



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.



**Exhibit E**  
**DEVELOPMENT STANDARDS**

**I. LOT TYPE REGULATIONS**

Spiritas East Development will include a variety of lot types in order to achieve the goals established for the district. The lot types and requirements for each shall be as follows:

**A. Lot Type SF-4A:**

1. Permitted Uses: Land use shall comply with uses permitted for SF-4 Single-Family District in Section 106-05-01 of the Town of Little Elm Zoning Ordinance. The following additional uses are permitted by right or requires administrative approval only as provided below:
  - a. Model homes (inclusive of early permits) - permitted by right
  - b. Temporary sales offices - permitted by right
  - c. Temporary construction offices - permitted by right
  - d. Temporary asphalt batch plants - requires administrative approval only
  - e. Temporary concrete batch plants – requires administrative approval only
  - f. Temporary construction yards - permitted by right
  - g. Concrete Washouts - permitted by right
2. Height Regulations: No building shall exceed thirty-five feet (35') or two and one-half (2-1/2) stories in height.
3. Area Regulations: The following minimum standards shall be required as measured from property lines:

Lot Size:	4,500+/- square feet (minimum)
Lot coverage:	The combined area covered by all main buildings and accessory structures shall not exceed fifty-five percent (55%) of the total lot area. Driveways, flatwork, swimming pools and spas shall not be included in determining maximum building coverage.
Minimum Floor Area:	The minimum square footage of a dwelling unit, exclusive of garages, breezeways, and porches, shall be 1,800 square feet, with the exception that no more than 10% of homes or dwellings being allowed to be 1,500 square feet minimum.
Front Yard:	20 feet minimum
Rear Yard:	20 feet minimum (excludes outdoor areas such as patios, outdoor kitchens, etc.)
Side Yard:	5 feet minimum
Side Yard Adj. to Street:	15 feet minimum
Lot Width:	40 feet minimum (measured at front building line)
Garage:	May face front or side street.

**B. Lot Type SF-4B:**

1. Permitted Uses: Land use shall comply with uses permitted for SF-4 Single-Family District in Section 106-05-01 of the Town of Little Elm Zoning Ordinance. The following additional uses are permitted by right or requires administrative approval only as provided below:
  - a. Model homes (inclusive of early permits) – permitted by right
  - b. Temporary sales offices - permitted by right
  - c. Temporary construction offices – permitted by right
  - d. Temporary asphalt batch plants – requires administrative approval only
  - e. Temporary concrete batch plants – requires administrative approval only
  - f. Temporary construction yards – permitted by right
  - g. Concrete Washouts – permitted by right
2. Height Regulations: No building shall exceed thirty-five feet (35') or two and one-half (2-1/2) stories in height.
3. Area Regulations: The following minimum standards shall be required as measured from property lines:

Lot Size:	5,650+/- square feet (minimum)
Lot coverage:	The combined area covered by all main buildings and accessory structures shall not exceed fifty-nine percent (59%) of the total lot area. Driveways, flatwork, swimming pools and spas shall not be included in determining maximum building coverage.
Minimum Floor Area:	The minimum square footage of a dwelling unit, exclusive of garages, breezeways, and porches, shall be 2,000 square feet, with the exception that no more than 10% of homes or dwellings being allowed to be 1,800 square feet minimum.
Front Yard:	20 feet minimum
Rear Yard:	20 feet minimum (excludes outdoor areas such as patios, outdoor kitchens, etc.)
Side Yard:	5 feet minimum
Side Yard Adj. to Street:	15 feet minimum
Lot Width:	50 feet minimum (measured at front building line)
Garage:	May face front or side street.



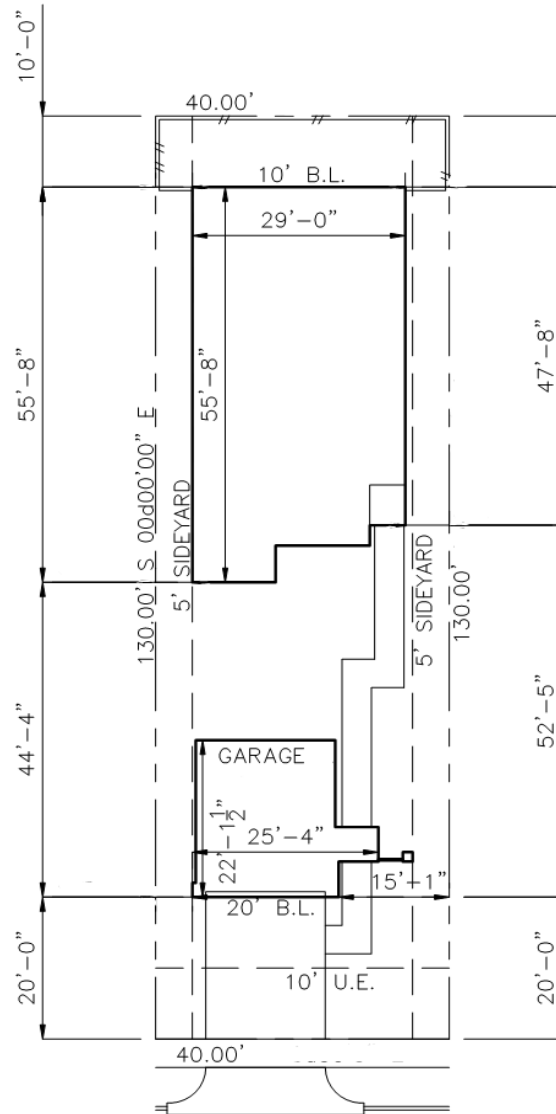
**C. Lot Type SF-4C (Courtyard Lots):**

1. Permitted Uses: Land use shall comply with uses permitted for SF-4 Single-Family District in Section 106-05-01 of the Town of Little Elm Zoning Ordinance. The following additional uses are permitted by right or requires administrative approval only as provided below:
  - a. Model homes (inclusive of early permits) - permitted by right
  - b. Temporary sales offices - permitted by right
  - c. Temporary construction offices - permitted by right
  - d. Temporary asphalt batch plants - requires administrative approval only
  - e. Temporary concrete batch plants – requires administrative approval only
  - f. Temporary construction yards - permitted by right
  - g. Concrete Washouts - permitted by right

2. Height Regulations: No building shall exceed thirty-five feet (35') or two and one-half (2-1/2) stories in height.

3. Area Regulations: SF-4C area regulations shall comply with **Exhibit E.1** below and the following minimum standards shall be required as measured from property lines:

Lot Size:	5,000+/- square feet (minimum)
Lot coverage:	The combined area covered by all main buildings and accessory structures shall not exceed fifty-five percent (55%) of the total lot area. Driveways, flatwork, swimming pools and spas shall not be included in determining maximum building coverage.
Minimum Floor Area:	The minimum square footage of a dwelling unit, exclusive of garages, breezeways, and porches, shall be 1,800 square feet, with the exception that no more than 10% of homes or dwellings being allowed to be 1,500 square feet minimum.
Front Yard:	20 feet minimum
Rear Yard:	10 feet minimum (excludes outdoor areas such as patios, outdoor kitchens, etc.)
Side Yard:	5 feet minimum
Side Yard Adj. to Street:	15 feet minimum
Lot Width:	40 feet minimum (measured at front building line)
Garage:	May face front or side street.



**Exhibit E.1 – Courtyard Lots**

## II. DEVELOPMENT AND DESIGN STANDARDS

A. **Street:** The following street types shall establish the criteria for streets allowed within Spiritas East Development.

1. **Entry Road** (80' Right-of-Way)

Public Right of Way Width:	80'
Pavement Width:	Two (2) – 25' B/B
Pavement Section:	8", 3,600 psi concrete
Curb Radii:	20'
Minimum Centerline Radius for Curves:	100'
Minimum Tangent between Reverse Curves:	0'
Minimum Sidewalk Width:	5'
Parkway Width:	11.5'

4. **Urban Mix Residential (R – Residential Street, 50' Right-of-Way)**

Classification: Designed to provide access to residential areas.

Public Right of Way Width:	50'
Pavement Width:	31' B/B
Pavement Section:	6", 3,600 psi concrete
Curb Radii:	20'
Minimum Centerline Radius for Curves:	100'
Minimum Tangent between Reverse Curves:	0'
Minimum Sidewalk Width:	5'
Parkway Width:	9.5'
Parking:	Allowed on both sides



**B. Residential Architectural Design Standards:** All development within Spiritas East Development shall comply with Section 106-06 of the Town of Little Elm Zoning Ordinance with the following modification:

1. Minimum masonry requirement. The front facing exterior facades of the main building or structure shall be constructed of 100 percent masonry finishing material that is comprised of brick, stone, cast stone, or a combination thereof. The overall minimum masonry content of all facades shall be 85 percent. Stucco or other cementitious materials such as hardie board may be used as a secondary design feature with no more than 15 percent of any facade other than those facing a right-of-way being made up of this material. Other materials of equal or similar characteristics may be allowed at the discretion of the director.
2. Alternate stucco architecture. If a home is designed with a specific architectural style that warrants the use of stucco as the primary exterior material, including but not limited to Mediterranean, Spanish, southwest or modern, then the use of stucco as a primary material will be allowed. All elements of the architectural style must be consistently incorporated, including but not limited to composition roof and clay roof tiles, typical of the style. Residences with primarily stucco finishes may be accented with heavy wood beams, stonework or other features to enhance the style. Elevations with no discernable style that simply disregard the required masonry requirement will not be considered.
3. Cementitious fiberboard and engineered wood. Cementitious fiberboard or engineered wood may constitute up to 50 percent of the exterior facades of stories other than the first floor if the 85 percent masonry finishing materials is maintained overall. Cementitious fiberboard or engineered wood may also be used for architectural features, including window box-outs, bay windows, roof dormers, columns, chimneys not part of an exterior wall, or other architectural features approved by the director.
4. Elevation repetition. Each unique house elevation shall not be repeated on the lot most directly across the street, nor shall it be repeated on ~~four-two~~ lots in either direction on the same side of the street. A wide variety of elevations is desired as it augments the character of the subdivision and reduces monotony of design. Houses that have a primarily stucco exterior shall be limited to three per block face.
5. Elevation masonry mix and pattern. Front elevations may use more than one type of masonry construction in a variety of patterns to vary the architectural appeal of the streetscape.
6. Doors. Garage doors and front entry doors visible from the right-of-way shall consist of stained cedar, redwood, spruce, fir or other hardwood, or

other products, including products that are not wood but have a wood appearance, including fiberglass, aluminum/ metal or hardie and approved by the director. Garage doors shall not be required to have reveals or textures or be recessed from garage face.

7. Some front porches shall be bricked.
8. Front Door enhancement. Homes shall be designed in a manner that enhances the front door rather than the garage door and shall include one of the following or other gifts to streets:
  - Front Porch
  - Columns/ Gateways/ Articulation
  - Or Other Gifts to the Streets

9. Gifts to the Street: All buildings constructed shall include decorative driveway paving (e.g. salt finish, exposed aggregate, or other treatments approved by the town's building official) and at least three (3) of the following below listed design features to provide visual relief along the front of the residence:

Garage door(s) with hardware;  
Carriage style garage door(s) with hardware;  
Architectural pillars or posts;  
Bay window(s);  
Brick chimney on exterior wall;  
Cast stone accents;  
Covered front porches (minimum of 30 square feet covered by main roof or an architectural extension);  
Cupulas or turrets;  
Dormers or gables;  
Garage door not facing the street (J-swing garage style);  
Roof accent upgrades (e.g. metal, tile, slate, solar tiles);  
Recessed entries a minimum of three feet deeper than main front facade;  
Greater than 6:12 primary roof pitch, or variable roof pitches;  
Transom windows;  
Shutters;  
8' Front door  
Colored mortar  
Brick smaller than "King Size"  
Masonry arches;  
Mixed masonry patterns (over and above what is required by section 106.06.02(b)(5));  
Hanging or Coach lights at entrances;

Decorative attic or gable feature, minimum two square feet in size (e.g. vent, window, brick detail);  
Divided Light Windows on the front;  
Colored Windows – tan or black;  
Decorative Hardware on front door or sconces next to front door;  
Exposed rafter tails.

**C. Landscape Standards:**

1. Trees planted within the median, common areas and landscape buffers shall be a minimum 3” caliper and shall be planted at a ratio of one (1) tree per each fifty (50) linear feet of street frontage. Trees planted within these common spaces may be planted in groupings, clusters or masses.
2. Amenity retention (wet) ponds shall be designed in a manner to be an amenity to the development by providing a gentle six-to-one (6:1) slope (a partial decorative stone retaining wall may be allowed), a large canopy tree for each seventy-five (75) linear feet of the perimeter (which may be clustered), fountains, and trash receptacles. Such ponds shall include aeration to ensure water quality. The area shall be accessible by patrons and be maintained by the property owner or established property owners association.
3. Amenity detention (dry) ponds shall be designed in a manner to be an amenity to the development by providing a gentle six-to-one (6:1) slope (a partial decorative stone retaining wall may be allowed), a large canopy tree for each fifty (50) linear feet of the perimeter (which may be clustered), benches and trash receptacles.
4. At least one (1) small ornamental tree, per lot, shall be planted in the side yard of lots adjacent to a street. Trees shall be a minimum 3.0” caliper.
5. Tree Requirements:  
Each lot shall have a minimum of two (2) total trees with a combined minimum caliper of 6-inches.
6. No tree mitigation will be required for this project.
7. All front yard landscape beddings are not required to be edged with masonry.

**D. Residential fences:** All residential fences shall be 6-foot cedar board on board fencing with a top cap on all sides of the lots.



### **III. GENERAL SUBDIVISION POLICIES**

1. No alleys are required within the Spiritas Development.
2. Trails: All trails shall be 8' wide with a minimum 15' wide level ground surface.
3. (j) (7) a. Parallel Streets – Remove section 107.08.02 (j)(7) a. This section requires 60% of the frontage of creeks to be by ROW
4. (j) (7) b. Cul-de-sac streets – Remove section 107.08.02 (j)(7) b. This section limits the placement of cul-de-sacs, disallows multiple cul-de-sacs in a row, and adds a requirement for a feature at the end of the cul-de-sac. Also puts restrictions on how many cul-de-sacs can be closed off to the floodplain
5. (j)(8) Setbacks. Adjust side yard setbacks adjacent to creeks/shorelines to be 15' minimum.

#### ***Section 107.08.03 – Streets and alleys***

6. (b)(5) Maximum street length. “No street shall be more than 1,000 feet in length”. Change to “1,200”
7. (6) Curvilinear requirement. Remove this paragraph. “When a residential street length exceeds 500 feet but is less than 1,000 feet in length, the design of the street shall include a curve of between 100 to 200 feet radius for a length equal to the curve radius.”
8. (7) Street calming methods. Remove this paragraph.

#### ***Section 107.08.06 – Other subdivision regulations***

9. (e)(3)a. Remove paragraph. Section is requirement for live-screening of franchise utility ground-mounted equipment - 3' spacing of five-gallon shrubs

#### ***Section 107.09.01 – Applicability and general requirements***

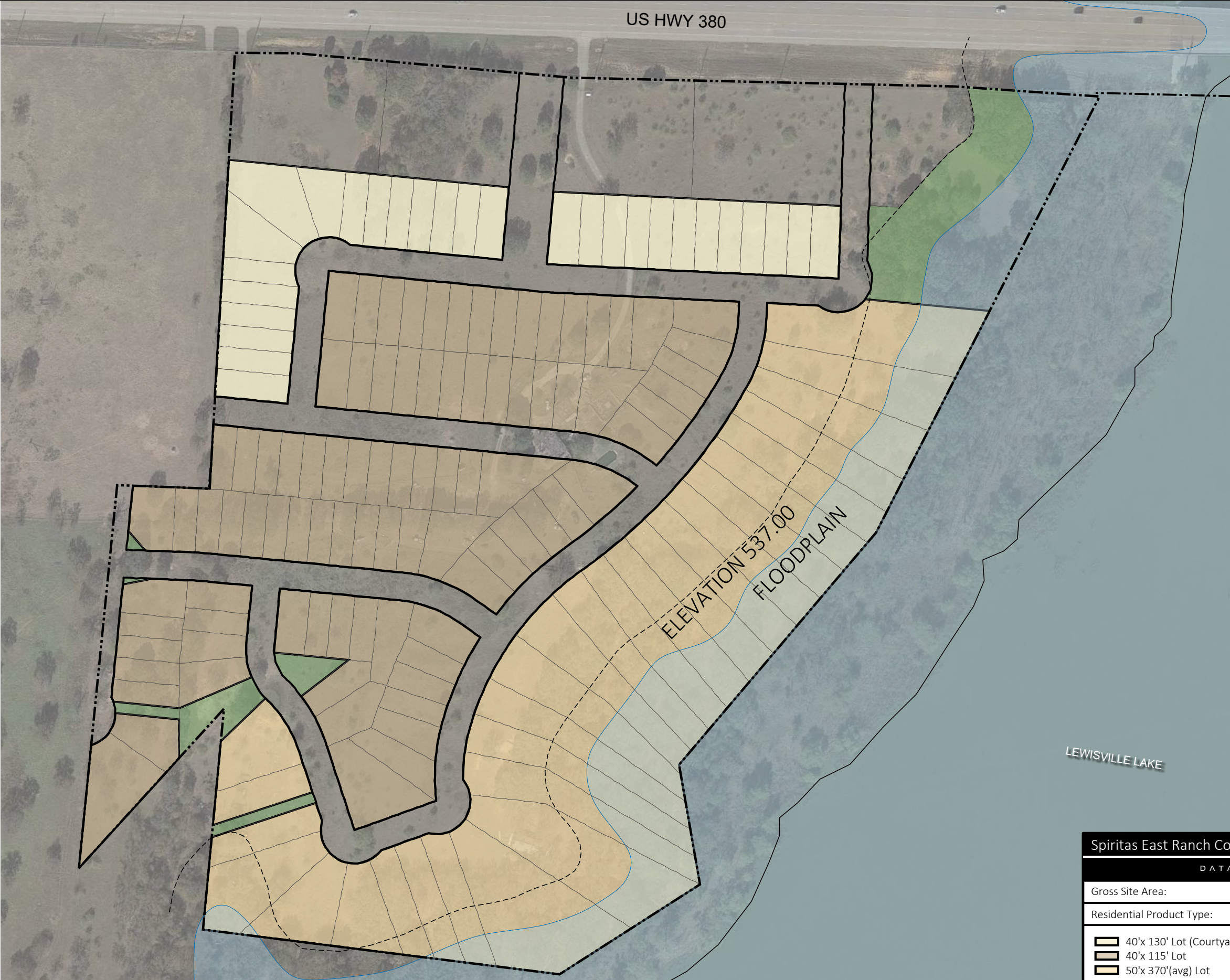
10. (b)(5) Non-residential uses adjacent to parks. Revise section to remove requirement that use cannot back up to park/open space
11. (b)(6) Street abutting a park. Remove 2nd sentence that may require streets abutting open space to be increased width from 31' to 37'.




### **IV. ENGINEERING DESIGN STANDARDS**

#### ***Section 3.0 – Drainage design requirements***

1. E. – Remove requirement for concrete lining of channels based on CA values. Concrete should remain as an option, but not a requirement. Alternative stabilization techniques shall be approved by the Town Engineer if lining of channel is not concrete.





Spiritas East Ranch Concept Plan 2		
DATA TABLE		
Gross Site Area:		43+/-
Residential Product Type:		Total
 40'x 130' Lot (Courtyard Lots)		28
 40'x 115' Lot		89
 50'x 370'(avg) Lot		29
Total Lots		146

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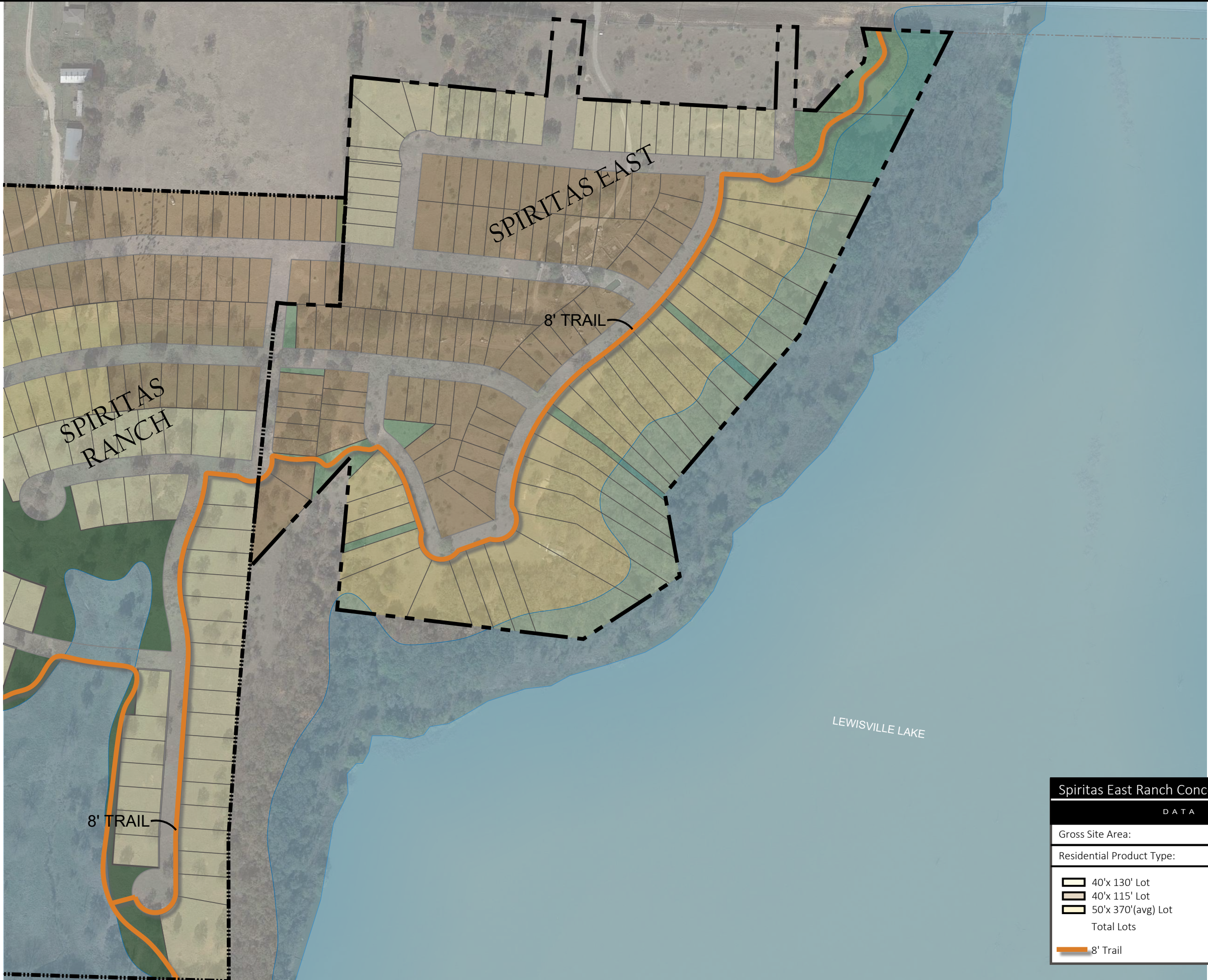
US HWY 380







PARKS & OPEN SPACE

Spiritas East Ranch Concept Plan 2	
DATA TABLE	
Active Parks (Suitable for open play)	
Parks	1.1 AC.
Passive Parks	
Open Space	0.8 AC.
Floodplain	1.0 AC.





Spiritas East Ranch Concept Plan 2	
DATA TABLE	
Gross Site Area:	43+/-
Residential Product Type:	Total
 40'x 130' Lot	28
 40'x 115' Lot	89
 50'x 370'(avg) Lot	29
Total Lots	146
 8' Trail	

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## COURTYARD PRODUCT

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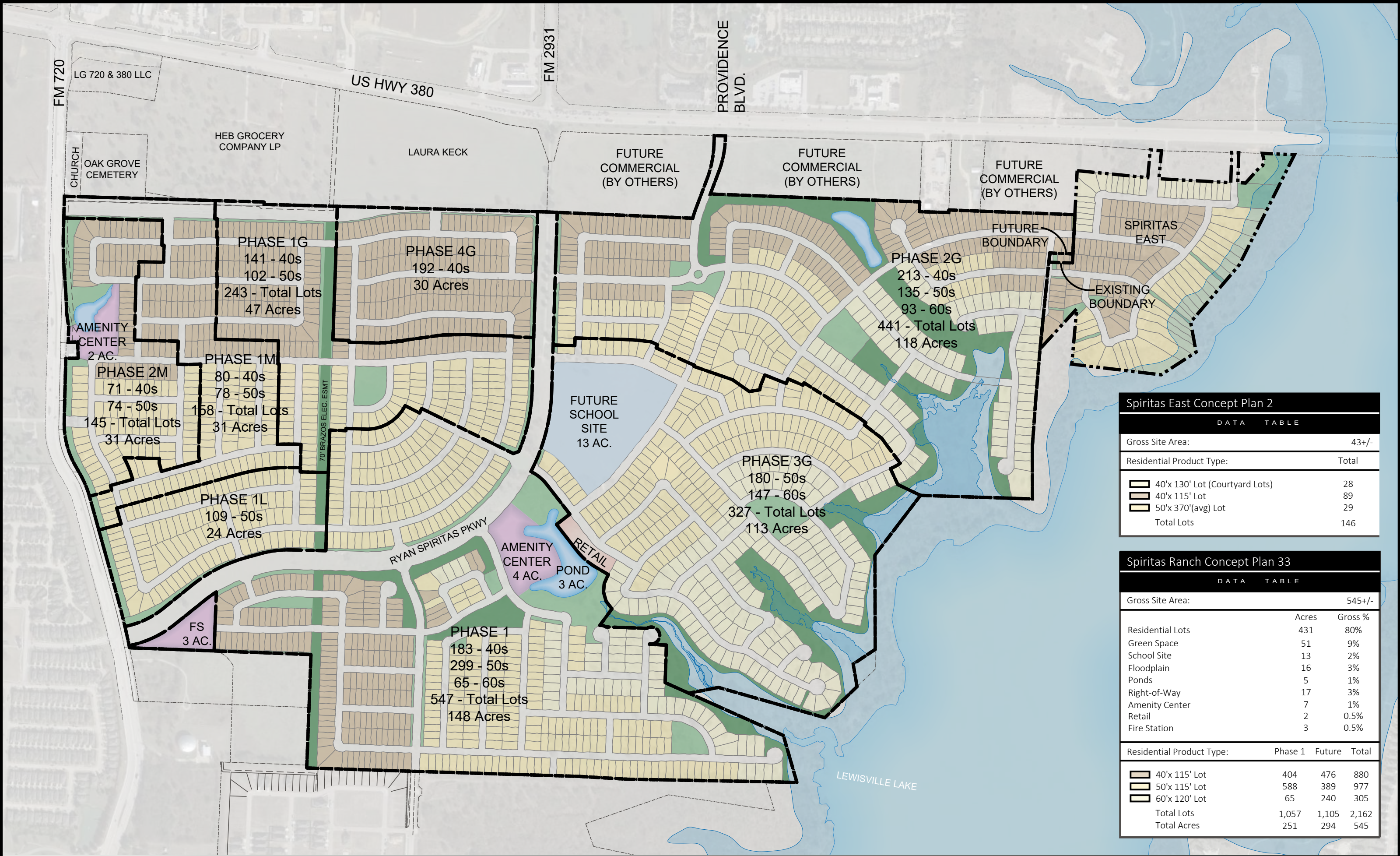
## TRADITIONAL PRODUCT

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Spiritas East Concept Plan 2	
DATA TABLE	
Gross Site Area:	43+/-
Residential Product Type:	Total
40'x 130' Lot (Courtyard Lots)	28
40'x 115' Lot	89
50'x 370'(avg) Lot	29
Total Lots	146

Spiritas Ranch Concept Plan 33			
DATA TABLE			
Gross Site Area:	545+/-		
	Acres	Gross %	
Residential Lots	431	80%	
Green Space	51	9%	
School Site	13	2%	
Floodplain	16	3%	
Ponds	5	1%	
Right-of-Way	17	3%	
Amenity Center	7	1%	
Retail	2	0.5%	
Fire Station	3	0.5%	
Residential Product Type:	Phase 1	Future	Total
40'x 115' Lot	404	476	880
50'x 115' Lot	588	389	977
60'x 120' Lot	65	240	305
Total Lots	1,057	1,105	2,162
Total Acres	251	294	545





# TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

01/20/2022

## OVERVIEW

<b>Project</b>	PUBLIC HEARING/Eldorado Bend Planned Development (PD-21-03453)
<b>P&amp;Z Hearing</b>	01/20/2022
<b>Council Hearing</b>	February 1, 2022
<b>Size</b>	5.79 acres
<b>Current Zoning</b>	Single Family A1
<b>Proposed Use</b>	Low Density Residential
<b>Existing Use</b>	Undeveloped Land
<b>Future Land Use Plan Designation</b>	Low Density Residential
<b>Applicant</b>	John Barbee, Barbee Enterprises
<b>Owner</b>	AM HAGI & ASSOCIATES LLC
<b>Strategic Goal</b>	

## Agenda Item

**PUBLIC HEARING/** Eldorado Bend Planned Development (PD-21-03453). Public hearing, discussion, and take action on a recommendation regarding a request to rezone approximately 5.79 acres of land, generally located at 1816 W Eldorado Parkway, in order to establish a new Planned Development district, to allow the development of a new single family residential subdivision.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

## Location

Generally located approximately 1,000 feet southwest of Oak Grove Parkway, within Little Elm's town limits.

## Planning Analysis

**Background.** Subject property is a vacant undeveloped lot totaling 5.79 acres, currently zoned as Single Family A1. The subject property is located on the west side of Town and is bound by Eldorado Parkway to the north and single family residential to the east and south.

Recently, the Town has undergone a West Side Study that specifically identified the vision for this area as low density single-family residential uses. This is the second application for residential development post the

study's findings, to be evaluated by the Administration for suitability within the West Side Study context.

On October 7, 2021 the applicant, Barbee Enterprises Inc., presented a request for rezoning to a Planned Development (PD) district, based on the existing Single-Family 4 (SF4) zoning district with modified development standards, for the purposes of developing a 28-lot single-family, residential development. While the proposed request was for higher density than the existing zoning district allowed, it complied with the envisioned three to six dwelling units per acre density identified within the West Side Study. During the public hearing, the Planning and Zoning Commission deliberated the request and determined that the proposed density was not appropriate within the context of the adjacent residential neighborhood. The applicant subsequently met with the representatives to the adjacent neighborhood in an effort to address their concerns, and has revised the request accordingly.

At this time, the applicant is requesting a Planned Development (PD) district, based on the existing Single-Family 4 (SF4) zoning district with modified development standards, for the purposes of developing a 25-lot single-family, residential development with a mix of lot sizes.

**Proposal.** The proposed project consists of 25 owner-occupied single family residential dwelling units with a centrally located amenity open space, as well as a detention pond in the southeast corner of the development proposed as an open space with amenities. The proposed residential density is now 4.3 units per gross acre (du/ac).

The applicant is proposing Single-Family 4 (SF4) as the base zoning district, with modified development standards as outlined in the following sections. The new Planned Development (PD) district includes development plans and multiple exhibits that will be incorporated into the PD as part of the overall requirements.

**Uses.** Proposed permitted uses will include the uses currently allowed under SF-4 zoning, primarily single family detached homes.

**Area Requirements.** The applicant is requesting the following setback and area requirements waivers:

Minimum Front Yard Setback for Lots 1-22, 20 feet instead of 25 feet, and Lots 23-25, 15 feet.

Minimum Side Yard Setback 5 feet instead of 6 feet

Minimum Side Yard Setback on Corner lots 5 feet, instead of 28 feet

Minimum Rear Yard Setback 15 feet instead of 20 feet

Minimum Lot Width for Lots 2, 17, 18, 19, 20 and 21, 50 feet instead of 60 feet, and for Lots 9, 10, 11, 12, 13, 14, and 15, 55 feet. The rest of the lots are proposed at 60-foot in width.

Minimum Lot Area 4,202 square feet instead of 6,000 square feet (on just one lot), six lots ranging between 4,200 square feet and 5,700 square feet, and the rest of the lots ranging from 6,000 square feet to 9,200 square feet.

**Design Standards.** The minimum design elements listed in Section 106.06.03 Architectural Standards for Residential Structures will apply unless stated otherwise or shown in the PD exhibits. Some of the major design standards are proposed as follow:

**Minimum masonry requirement.** The front facing exterior facades of the main building or structure shall be constructed of 100 percent masonry material that is comprised of brick, stone, cast stone, or a combination thereof. On houses exceeding one story, up to 15 percent of the second story front facade may be comprised of siding. The overall minimum masonry content of all facades shall be 85 percent. Stucco may be used as a design feature with no more than 15 percent of any façade other than those facing a right-of-way being made up of this material. Other materials of equal or similar characteristics may be allowed at the discretion of the director.

**Doors.** Garage doors shall be of carriage style and consist of stained cedar, redwood, spruce, fir, or other



hardwood.

**Elevation repetition.** Each unique house elevation and brick color shall not be repeated on the lot most directly across the street, nor shall it be repeated on three lots in either direction on the same side of the street.

**Gifts to the Street.** All homes shall include at least four (4) of the architectural design features listed in Section 106.06.03(c). Decorative driveway paving (e.g. salt finish, exposed aggregate, or other treatments approved by the Town's building official) is required for all homes. All front yard landscape beds and side yard landscape beds shall be enclosed by masonry edging comprised of brick and/or stone. No less than 25 percent of homes shall have a covered front patio.

**Landscaping and Screening.** The proposed PD will follow all landscape requirements per Sections 106.06.11 – 106.06.16 of the Code of Ordinances for residential landscape requirements for a single-family development. A solid eight-foot masonry wall, constructed of laid in place stone, rock, brick, or monolithic concrete panels, will be located adjacent to Eldorado Parkway, with eight-foot board-on-board fencing surrounding the remainder of the development.

**Parking.** Each dwelling unit shall have two parking spaces within the garage, as well as two parking spaces in the driveway.

**Streets and Access.** The proposed development plan shows a 50-foot Right of Way dedication inclusive of sidewalks throughout the development on both sides of the street, connecting to Eldorado Parkway.

**Open Space.** The minimum required designated open space area shall be ten percent (10%) of the gross land area. The PD language provides requirements for amenities to be located within the proposed open space. All dedicated open space and screening walls will be maintained by the Homeowners Association (HOA).

**Comprehensive Plan.** The future land use of this area is identified as residential and the recent West Side Study identified this area as low density neighborhood residential, ranging between three and six units per acre. The proposed residential development aligns with the Town's vision for future land use of this area and the proposed density of 4.3 units per acre complies with the maximum density identified in the West Side Study.

#### **Recommended Action**

Staff recommends that the Planning and Zoning Commission evaluate the new request based on:

- impact and suitability of the proposed development within the context of the existing area
- importance of the development standards from which the property is requesting to vary
- how the proposed development benefits the Town overall
- Town's vision for this area, as outlined by the Town's Comprehensive Plan, Future Land Use Plan, and the recently completed West Side Study

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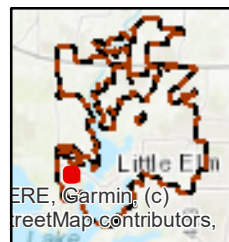
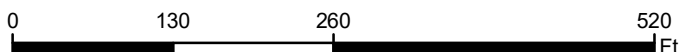
#### **Attachments**

Location Map

PD Exhibits



## Eldorado Bend Zoning Ordinance Request



**Town of Little Elm**  
**Denton County, Tx**  
 Date: 8/17/2021



*This map is the property of the Town of Little Elm, and is not to be reproduced by any means, mechanical or digital, without written consent of the Town.*

*This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.*

# **Eldorado Bend**

## **Planned Development Regulations**

Development Standards  
Submitted: September 23, 2021

### **Developer/Applicant**

Barbee Enterprises, Inc.  
2454 Sunderland Lane  
Lewisville, Texas 75067  
214.538.0479

### **Planner/Engineer**

KJ Environmental Mgt.  
500 Moseley Rd  
Cross Roads, Texas 76227  
940.387.0830

### **Owner**

Am Haghi & Associates LLC  
4500 Explorer Dr  
Frisco, Tx 75034



## **A Planned Development for Eldorado Bend**

### **1.0 GENERAL PURPOSE AND DESCRIPTION:**

1. The Eldorado Bend Planned Development is intended primarily for the development of single-family homes at a higher density than the zoning originally allows. The smaller lots will allow a higher value product to be built, which will attract a higher tax base to the town.
2. The development shall use the base zoning of SF-4 for all other regulations not specified in the below PD.

### **2.0 AREA REGULATIONS:**

1. Maximum Lot Area: The size of lot shall be flexible to encourage a unique mix of pad sizes as well as provide for pedestrian friendly neighborhood within the PD.
2. Maximum Dwelling Area: House pad sizes shall be no larger than 5,000 sq ft.
3. Maximum Lot Coverage: The maximum lot coverage shall not be greater than fifty-five (55) percent of the gross lot area. Maximum lot coverage shall be defined as the area covered by the building footprint of the primary residential structure, exclusive of sidewalks, driveways, or accessory structures.
4. Minimum Setbacks: Minimum setback standards shall be proposed as follows. Please see the attached exhibit for more information.

Lots 1-22	Front Yard – 20’
	Rear Yard – 15’
	Side Yard – 5’
Lots 23-25	Front Yard – 15’
	Rear Yard – 15’
	Side Yard – 5’

### **3.0 MINIMUM DESIGN CRITERIA:**

1. Architectural Design Standards: minimum design elements listed in Section 106.06.03 of the Code of Ordinances will apply with the following enhancements required for this community.
  - A. The front facing exterior facades of the main building or structure shall be constructed of 100 percent masonry finishing material that is comprised of brick, stone, cast stone, or a combination thereof. On houses exceeding one story, up to but not exceeding 15 percent of the second story front facade may be comprised of siding. The overall minimum masonry content of all facades shall be 85 percent. Stucco may be used as a design feature with no more than 15 percent of any façade other than those facing a right-of-way being made up of this material. Other materials of equal or similar characteristics may be allowed at the discretion of the director.
  - B. Decorative driveway paving (e.g. salt finish, exposed aggregate, or other treatments approved by the Town's building official) is required for all homes.
  - C. Each unique house elevation and brick color shall not be repeated on the lot most directly across the street, nor shall it be repeated on three (3) lots in either direction on the same side of the street.
  - D. All homes must include at least four (4) of the architectural design features listed in Section 106.06.03(c), in addition to the decorative driveway paving requirement.
  - E. Garage doors shall be of carriage style and consist of stained cedar, redwood, spruce, fir, or other hardwood.
  - F. All front yard landscape beds and side yard landscape beds shall be enclosed by masonry edging comprised of brick and/or stone.
  - G. No less than 25 percent of homes shall have a covered front patio.

#### 4.0 STREET WIDTHS:

1. STREET WIDTH: Widths for all subdivisions shall be 31 feet from back-of-curb to back-of curb on residential sections.

#### 5.0 LANDSCAPE AND SCREENING:

1. All landscape requirements shall follow Sec 106.06.11 – 106.06.16 of the Code of Ordinances for residential landscape requirements for a single-family development.
2. Subdivision perimeter screening walls must be constructed by the developer at the time the subdivision infrastructure is constructed. Perimeter landscaping and irrigation is required adjacent to rights-of-way, subject to review and approval by the director or his designee.
  - A. Materials Allowed: solid masonry wall of eight feet in height adjacent to Eldorado Parkway, with eight-foot fencing surrounding the remainder of development. General specifications shall follow Section 106.06.31(b) of the Code of Ordinances.
  - B. Wall Located within Buffer: subdivision solid perimeter walls are required to be constructed within a 20-foot-wide platted common area adjacent to collector roads or arterials, as indicated on the Master Thoroughfare Plan, or other such roads that have a right-of-way of 60 feet or greater.
  - C. General Specifications: all screening or perimeter walls shall be constructed of laid in place stone, rock, brick, or monolithic concrete panels. Modular screening walls, chain link, and wooden fences are generally prohibited.

3. All required trees on residential lots shall be 4" caliper trees.
4. Required shrubs shall be a minimum of three (3) gallon in size when planted and shall be planted in the front yard landscape beds. All homes on corner lots shall extend landscape beds along the side of the home to the side yard fence return.
5. All residential fences shall be board on board construction to conform to Section 106.06.32 of the Code of Ordinances. Interior portions of the fences, along side and rear yards, shall be board on board construction.

6.0 HOMEOWNERS ASSOCIATION:

1. A Homeowner's Association (HOA) will be established for the development. Dedicated open space, retaining walls greater than four (4) feet, and the masonry screening wall along Eldorado Parkway will be owned and maintained by the HOA.

7.0 OPEN SPACE DEDICATION:

1. A minimum of ten percent (10%) of the tract area, excluding rights-of-way for collector and larger size streets, shall be devoted to open space. Open space includes areas used for facilities such as walks, plazas, courts, recreational amenities, detention/retention ponds, amenity center, landscape buffers, public or private parks, water features, dog parks, and other similar uses.
2. Dedicated open space shall be provided to improve the aesthetics of the site of any area not covered by buildings or structures.

8.0 SITE PLAN REVIEW:

1. Review and approval of a site plan by the Planning and Zoning Commission and the Town Council (in accordance with Section 107.03 of the Code of Ordinances) shall be required for any tract/lot within the PD district. No certificate of occupancy shall be issued unless all construction and development conform to the Site Plan as approved by the Town Council.

9.0 OTHER REGULATIONS

1. All other regulations as established in the Little Elm Development Standards, Article VI of the Code of Ordinances, and not redefined by this amendment shall remain in effect and are enforceable. To the extent a conflict exists between the regulations specifically set out above and the referenced standards, the regulations specifically set out above shall control.

10.0 WAIVERS FOR PD

1. Minimum Front Yard Setback – 25'
  - a. Requested: Lots 1-22 – minimum 20'



- Lots 23-25 – minimum 15’
2. Minimum Side Yard Setback – 6’
    - a. Requested: minimum 5’
  3. Minimum Side Yard Setback on Corner – 28’
    - a. Requested: minimum 5’
  4. Minimum Rear Yard Setback – 20’
    - a. Requested: All Lots – minimum 15’
  5. Minimum Lot Width – 60’
    - a. Requested: minimum 50’ (6 lots total)
  6. Minimum Lot Area - 6,000 sq. ft.
    - a. Requested: Minimum: 4,201.71 sq. ft. (1 lot total)

# JOHN AND JOSH BARBEE

## DISTINGUISHED PROJECTS AND SELECTED ACCOMPLISHMENTS

### 2009-2021

- The Lakes (Grand Prairie, TX) - [137 unit](#), 172,000 ft² Class A Age Restricted Multi-Family
- The Luxe (Rowlett, TX) - [128 unit](#), 129,000 ft² Class A Age Restricted Multi-Family
- Razor Ranch (Denton, TX) - [212 unit](#), 202,000 ft² Class A Age Restricted Multi-Family
- The Whitley (Wheeling, IL) - [102 unit](#), 90,000 ft² Independent and Assisted Living
- The Warren Residence (Coppell, TX) - 17,000 ft² Luxury Custom Single Family Residential
- 47 Autumn Leaves Memory Care and Assisted Living Communities - Texas, Oklahoma, Kansas, Missouri, Illinois, Wisconsin, South Carolina, Georgia, and Florida

### 1995-2009

- 12+ Custom Residences (Dallas/Fort Worth, TX) - 2,000 ft² to 8,000 ft² Luxury Custom Single Family Residential
- 50+ Remodels (Dallas/Fort Worth, TX) – 1,800 ft² to 22,000 ft² Custom Commercial and Residential Remodels



















**Playground Example:**





**Masonry Wall Sample:**

**It is the Developer's intentions to use lighter stone and lighter brick throughout the wall and the entries. The brick wall with have brick columns approximately every 10', with stone columns approximately every 50'. It is also intended to use stone wall and columns at the entries.**



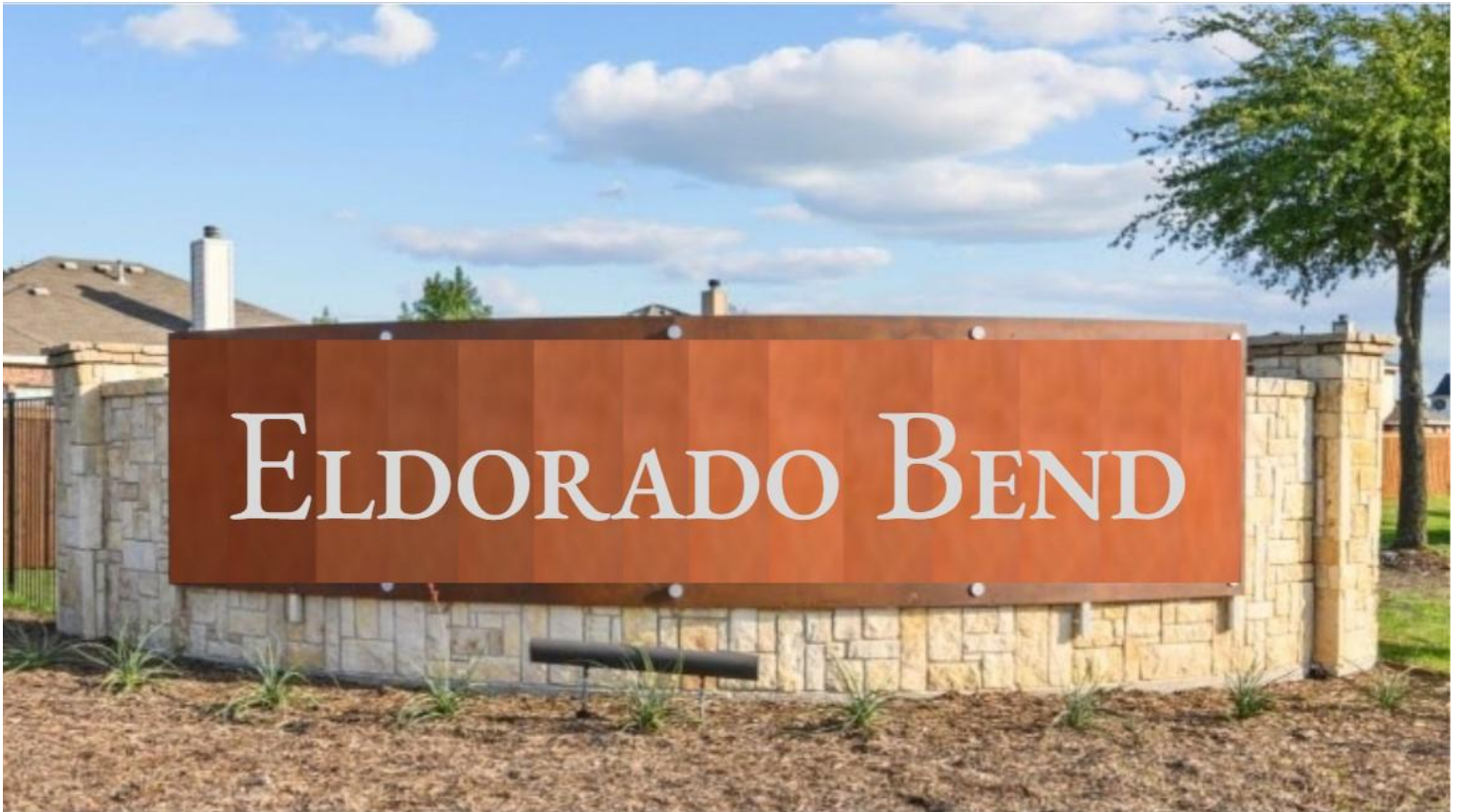
EXAMPLE



**Enhanced Entry Sample:**

**It is the Developer's intentions to use lighter stone and lighter brick throughout the wall and the entries. The brick wall with have brick columns approximately every 10', with stone columns approximately every 50'. It is also intended to use stone wall and columns at the entries.**

**The signs will be similar to the below. The Developer is currently considering copper letters on a rusty metal plaque, attached to the stone wall. The signs will only say "Eldorado Bend".**



EXAMPLE

FILE: S:\Shared\Active\Current Clients\Borbee Enterprises\CAD\Concept Plan 2022\01.04.dwg DATE: 1/4/2022  
PLOT: 1/4/2022 1:13 PM

LOT AREA AND DIMENSIONS	
LOT NUMBER	LOT AREA (SQFT)
1	7051.56
2	8506.06
3	9223.32
4	8099.61
5	8090.71
6	8037.52
7	8100.26
8	7603.54
9	6718.22
10	5538.53
11-15	5225.00
16	7347.98
17	4201.71
18-21	4250.00
22	7910.67
23	5732.71
24	4676.44
25	5117.51

SETBACKS	
LOTS 1-16	FRONT YARD - 20'
	REAR YARD - 15'
	SIDE YARD - 5'
LOTS 17-22	FRONT YARD - 20'
	REAR YARD - 15'
	SIDE YARD - 5'
LOTS 23-25	FRONT YARD - 15'
	REAR YARD - 15'
	SIDE YARD - 5'

LOT WIDTH	
MIN LOT WIDTH	LOT NUMBER
50'	2, 17-21
55'	9-15
60'	1, 3-8, 16, 22

SITE DATA TABLE		
EXISTING ZONING	SF-1(A1)	PD
LAND USE DESIGNATION	SINGLE FAMILY	SINGLE FAMILY
GROSS ACREAGE	5.7900	5.7900
NET ACREAGE	5.7900	5.7900
NUMBER OF PROPOSED LOTS	1	25
MAXIMUM BUILDING HEIGHT	NA	35 FT



LOCATION MAP NOT TO SCALE

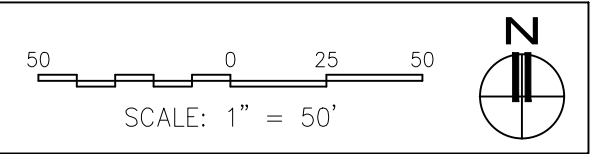
LEGEND

- PROPOSED GREEN SPACE
- PROPOSED MASONRY WALL
- PROPOSED 8' FENCE

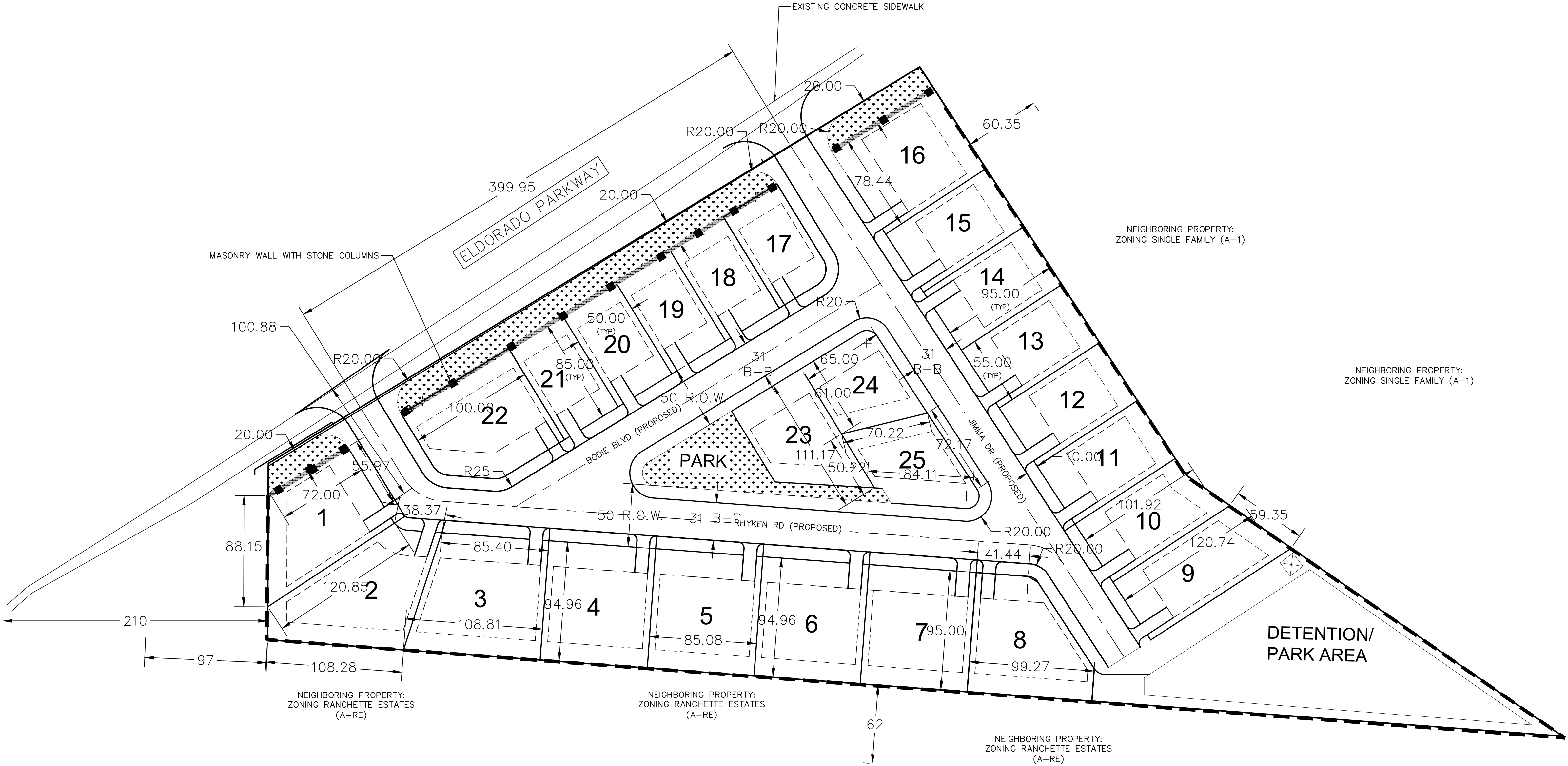
ALL SCREENING TO FOLLOW  
TOWN OF LITTLE ELM CODE  
OF ORDINANCES SEC  
106.06.32

FUTURE LAND USE  
DESIGNATION: ESTATE  
RESIDENTIAL

CURRENT ZONING: SF-1 (A1)



**PRELIMINARY**  
FOR REVIEW ONLY



500 Moseley Road  
Cross Roads, Texas 76227  
Phone (940) 387-0805  
Fax (940) 387-0830  
(TBPE # F-12214)

CONCEPT PLAN

EL DORADO BEND  
1816 WEST ELDORADO PKWY  
LITTLE ELM, TEXAS

DATE:	1/4/2022
DRAWN BY:	ES
CHECKED BY:	SG
PROJECT #:	JBE042021E

SHEET:

01





EXISTING TREE LEGEND

-  EXISTING TREE, TO REMAIN
-  EXISTING TREE, TO BE REMOVED

  
**Valley Quest**  
DESIGN  
LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

CONSULTANT:

OWNER / CLIENT:

Barbee Enterprises, Inc.  
214-538-0479  
John@BarbeeEnterprises.com

Project No:	2021-074
Drawn By:	CTA
Reviewed By:	JDB
Issue Type:	Drawings
Issue Date:	12/20/2021

REVISIONS:		
No.	Date	Description

Interim review documents.  
Not for regulatory approval,  
permitting or construction.  
Jeremy D. Blad  
Texas RLA No. 2734

DECEMBER 20, 2021

PROJECT:

EL DORADO BEND  
1816 WEST ELDORADO  
PKWY

LITTLE ELM, TEXAS

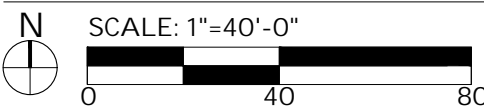
SHEET TITLE:

TREE PRESERVATION  
PLAN

SHEET NUMBER:

TP.01

TREE PRESERVATION PLAN






TREE PRESERVATION COMPUTATIONS TABLE

TREE SPECIES	DBH	TREE I.D.	CONDITION OF TREE	PRESERVED OR REMOVED	CLASS NO.	MITIGATION REQ. (%)	MITIGATION REQ. (INCHES)
MESQUITE MULTI-TRUNK / <i>PROSOPIS SP.</i>	10"	101	ALIVE	PRESERVED	3	60%	
MESQUITE MULTI-TRUNK / <i>PROSOPIS SP.</i>	7"	102	ALIVE	PRESERVED	3	60%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	20"	104	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	9"	105	ALIVE	PRESERVED	4	40%	
MESQUITE / <i>PROSOPIS SP.</i>	7"	106	ALIVE	PRESERVED	3	60%	
MESQUITE / <i>PROSOPIS SP.</i>	7"	107	ALIVE	PRESERVED	3	60%	
HONEY LOCUST MULTI-TRUNK	13"	108	ALIVE	PRESERVED	3	60%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	20"	109	ALIVE	PRESERVED	4	40%	
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	25"	110	ALIVE	REMOVED	1	100%	25.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	11"	111	ALIVE	REMOVED	1	100%	11.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	15"	112	ALIVE	PRESERVED	1	100%	
OAK / <i>QUERCUS SP.</i>	9"	113	ALIVE	REMOVED	1	100%	9.00
OAK / <i>QUERCUS SP.</i>	15"	114	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	15"	115	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	14"	116	ALIVE	REMOVED	1	100%	14.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	16"	117	ALIVE	REMOVED	1	100%	16.00
OAK / <i>QUERCUS SP.</i>	11"	118	ALIVE	REMOVED	1	100%	11.00
OAK / <i>QUERCUS SP.</i>	24"	119	ALIVE	REMOVED	1	100%	24.00
OAK / <i>QUERCUS SP.</i>	6"	120	ALIVE	REMOVED	1	100%	6.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	32"	121	ALIVE	REMOVED	1	100%	32.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	40"	122	ALIVE	PRESERVED	1	100%	
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	20"	123	ALIVE	PRESERVED	1	100%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	8"	124	ALIVE	REMOVED	4	40%	3.20
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	8"	125	ALIVE	REMOVED	4	40%	3.20
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	24"	126	ALIVE	PRESERVED	1	80%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	6"	127	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	8"	128	ALIVE	REMOVED	4	40%	3.20
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	19"	129	ALIVE	REMOVED	1	100%	19.00
OAK / <i>QUERCUS SP.</i>	12"	130	ALIVE	REMOVED	1	100%	12.00
OAK MULTI-TRUNK / <i>QUERCUS SP.</i>	38"	131	ALIVE	REMOVED	1	100%	38.00
OAK / <i>QUERCUS SP.</i>	25"	132	ALIVE	PRESERVED	1	100%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	9"	133	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	24"	134	ALIVE	REMOVED	4	40%	9.60
PECAN / <i>CARYA ILLINOINENSIS</i>	50"	135	ALIVE	REMOVED	1	100%	50.00
PECAN MULTI-TRUNK / <i>CARYA ILLINOINENSIS</i>	28"	136	ALIVE	REMOVED	1	100%	28.00
OAK / <i>QUERCUS SP.</i>	24"	138	ALIVE	REMOVED	1	100%	24.00
OAK / <i>QUERCUS SP.</i>	18"	139	ALIVE	PRESERVED	1	100%	
OAK / <i>QUERCUS SP.</i>	28"	140	ALIVE	PRESERVED	1	100%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	12"	142	ALIVE	PRESERVED	4	40%	
OAK / <i>QUERCUS SP.</i>	17"	143	ALIVE	PRESERVED	1	100%	
OAK / <i>QUERCUS SP.</i>	14"	144	ALIVE	REMOVED	1	100%	14.00
OAK / <i>QUERCUS SP.</i>	15"	145	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	15"	146	ALIVE	REMOVED	1	100%	15.00
OAK / <i>QUERCUS SP.</i>	14"	147	ALIVE	REMOVED	1	100%	14.00
OAK / <i>QUERCUS SP.</i>	16"	148	ALIVE	REMOVED	1	100%	16.00
ELM / <i>ULMUS SP.</i>	12"	149	ALIVE	REMOVED	2	80%	9.60

ELM / <i>ULMUS SP.</i>	14"	150	ALIVE	REMOVED	2	80%	11.20
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	15"	151	ALIVE	REMOVED	4	40%	6.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	152	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	153	ALIVE	PRESERVED	4	40%	
ELM / <i>ULMUS SP.</i>	14"	154	ALIVE	PRESERVED	2	80%	
OAK / <i>QUERCUS SP.</i>	14"	155	ALIVE	REMOVED	1	100%	14.00
OAK / <i>QUERCUS SP.</i>	12"	156	ALIVE	REMOVED	1	100%	12.00
ELM / <i>ULMUS SP.</i>	12"	157	ALIVE	REMOVED	2	80%	9.60
ELM / <i>ULMUS SP.</i>	12"	158	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	11"	159	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	11"	160	ALIVE	PRESERVED	2	80%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	27"	161	ALIVE	REMOVED	4	40%	10.80
CEDAR ELM / <i>ULMUS CRASSIFOLIA</i>	50"	162	ALIVE	REMOVED	2	80%	40.00
ELM / <i>ULMUS SP.</i>	10"	163	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	6"	164	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	10"	165	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	13"	166	ALIVE	REMOVED	2	80%	10.40
ELM / <i>ULMUS SP.</i>	11"	167	ALIVE	REMOVED	2	80%	8.80
ELM / <i>ULMUS SP.</i>	10"	168	ALIVE	REMOVED	2	80%	8.00
CEDAR ELM MULTI-TRUNK / <i>ULMUS CRASSIFOLIA</i>	36"	169	ALIVE	REMOVED	2	80%	28.80
ELM / <i>ULMUS SP.</i>	20"	170	ALIVE	PRESERVED	2	80%	
ELM / <i>ULMUS SP.</i>	16"	171	ALIVE	REMOVED	2	80%	12.80
ELM / <i>ULMUS SP.</i>	12"	172	ALIVE	REMOVED	2	80%	9.60
ELM / <i>ULMUS SP.</i>	14"	173	ALIVE	REMOVED	2	80%	11.20
ELM / <i>ULMUS SP.</i>	18"	174	ALIVE	REMOVED	2	80%	14.40
CEDAR ELM MULTI-TRUNK / <i>ULMUS CRASSIFOLIA</i>	31"	175	ALIVE	REMOVED	2	80%	24.80
CEDAR ELM / <i>ULMUS CRASSIFOLIA</i>	15"	176	ALIVE	REMOVED	2	80%	12.00
CEDAR ELM / <i>ULMUS CRASSIFOLIA</i>	20"	177	ALIVE	PRESERVED	2	80%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	11"	178	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	9"	181	ALIVE	PRESERVED	4	40%	
HACKBERRY MULTI-TRUNK / <i>CELTIS OCCIDENTALIS</i>	20"	182	ALIVE	PRESERVED	4	40%	
GUM MULTI-TRUNK / <i>EUCALYPTUS MANNIFERA</i>	15"	183	ALIVE	PRESERVED	1	100%	
CREPE MYRTLE / <i>LAGERSTROEMIA</i>	6"	184	ALIVE	REMOVED	4	40%	2.40
CEDAR ELM MULTI-TRUNK / <i>ULMUS CRASSIFOLIA</i>	28"	185	ALIVE	REMOVED	2	80%	22.40
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	30"	186	ALIVE	PRESERVED	4	40%	
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	187	ALIVE	REMOVED	4	40%	4.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	188	ALIVE	REMOVED	4	40%	4.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	189	ALIVE	REMOVED	4	40%	4.00
HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	10"	190	ALIVE	REMOVED	4	40%	4.00
SYCAMORE / <i>PLATANUS OCCIDENTALIS</i>	12"	191	ALIVE	REMOVED	4	40%	4.80
CALLERY PEAR MULTI-TRUNK / <i>PYRUS CALLERYANA</i>	15"	192	ALIVE	PRESERVED	4	40%	
SYCAMORE / <i>PLATANUS OCCIDENTALIS</i>	15"	193	ALIVE	PRESERVED	4	40%	
SYCAMORE / <i>PLATANUS OCCIDENTALIS</i>	32"	194	ALIVE	REMOVED	4	40%	12.80
CREPE MYRTLE CLUSTER / <i>LAGERSTROEMIA</i>	6"	195	ALIVE	PRESERVED	4	40%	
CREPE MYRTLE CLUSTER / <i>LAGERSTROEMIA</i>	6"	196	ALIVE	REMOVED	4	40%	2.40
CREPE MYRTLE CLUSTER / <i>LAGERSTROEMIA</i>	6"	197	ALIVE	REMOVED	4	40%	2.40
MITIGATION TOTAL =						759.400000	



**Valley Quest**  
DESIGN

LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

CONSULTANT:

OWNER / CLIENT:

Project No: 2021-074

Drawn By: CTA

Reviewed By: JDB

Issue Type: Drawings

Issue Date: 12/20/2021

REVISIONS:

No.	Date	Description

Interim review documents.  
Not for regulatory approval,  
permitting or construction.  
Jeremy D. Blad  
Texas RLA No. 2734

DECEMBER 20, 2021

PROJECT:

EL DORADO BEND  
1816 WEST ELDORADO  
PKWY

LITTLE ELM, TEXAS

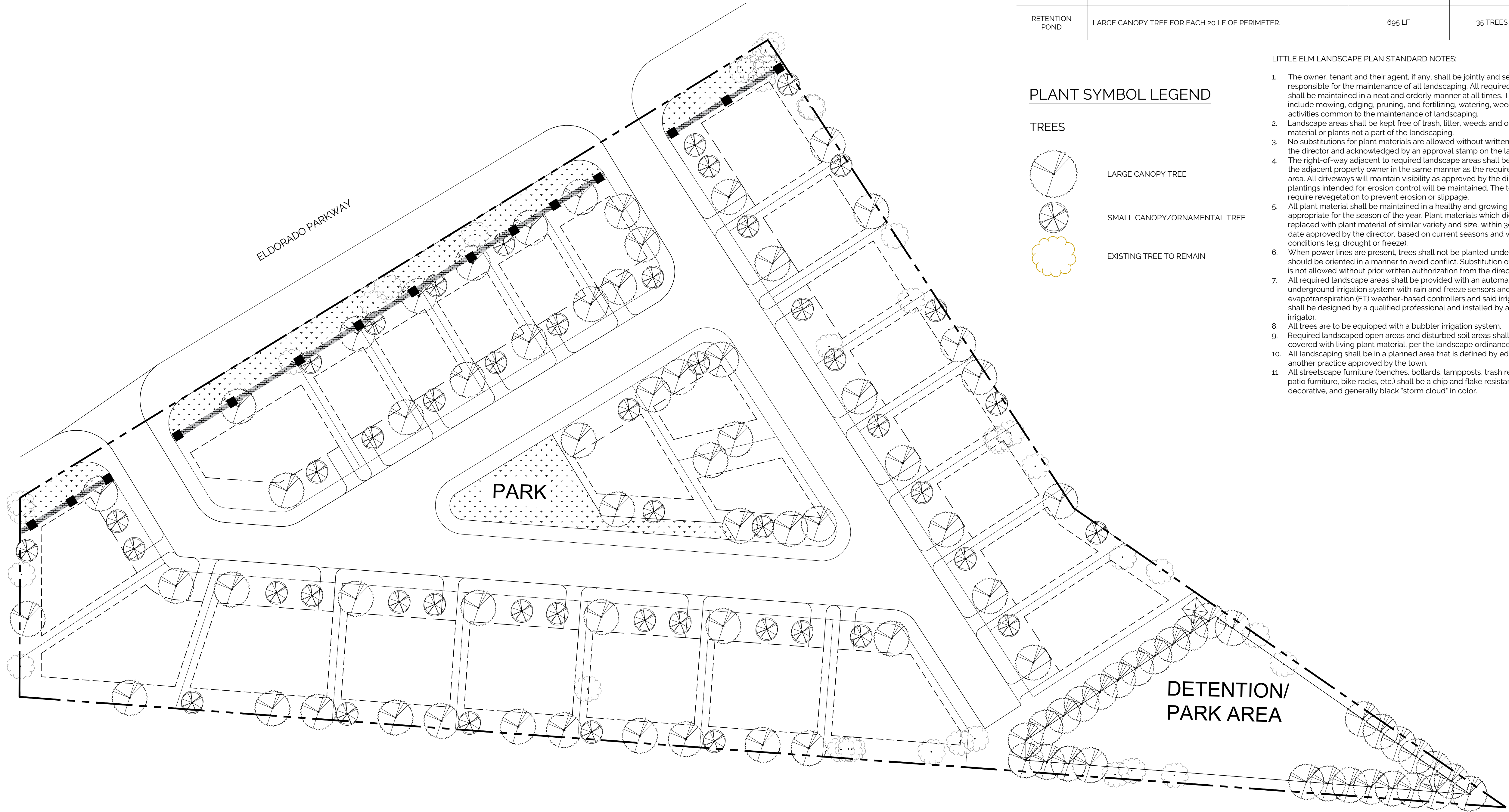
SHEET TITLE:

TREE PRESERVATION  
PLAN

SHEET NUMBER:

TP.02





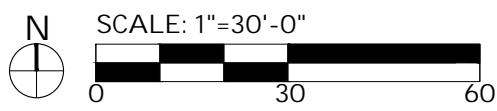
PROJECT LANDSCAPE DATA TABLE				
CITY LANDSCAPE REQUIREMENTS				
TYPE	REQUIREMENT	MEASUREMENT	REQUIRED	PROVIDED
LOT TREES	FRONT: 1 LARGE, REAR: 1 LARGE, 1 SMALL TREES, SHRUBS: 8 TOTAL PER 30'-49' FOOT LOT, FRONT OR J-SWING ENTRY	-	1 LOT	YES
	FRONT: 1 LARGE, 1 SMALL, REAR: 1 LARGE TREES, SHRUBS: 10 TOTAL PER 30'-49' FOOT LOT, CORNER LOT	-	2 LOTS	YES
	FRONT: 1 LARGE / 1 SMALL, REAR: 1 LARGE / 1 SMALL TREES, SHRUBS: 12 TOTAL PER 50'-69' FOOT LOT, FRONT OR J-SWING ENTRY	-	12 LOTS	YES
	FRONT: 3 LARGE / 1 SMALL, REAR: 1 LARGE TREES, SHRUBS: 15 TOTAL PER 50'-69' FOOT LOT, CORNER LOT	-	1 LOT	YES
	FRONT: 1 LARGE / 2 SMALL, REAR: 2 LARGE / 1 SMALL TREES, SHRUBS: 18 TOTAL PER 70'-89' FOOT LOT, FRONT OR J-SWING ENTRY	-	7 LOTS	YES
	FRONT: 3 LARGE / 2 SMALL, REAR: 2 LARGE / 2 SMALL TREES, SHRUBS: 24 TOTAL PER 70'-89' FOOT LOT AND LARGER, CORNER LOT	-	2 LOTS	YES
RETENTION POND	LARGE CANOPY TREE FOR EACH 20 LF OF PERIMETER	695 LF	35 TREES	35 TREES

PLANT SYMBOL LEGEND

- TREES
- LARGE CANOPY TREE
  - SMALL CANOPY/ORNAMENTAL TREE
  - EXISTING TREE TO REMAIN

- LITTLE ELM LANDSCAPE PLAN STANDARD NOTES:
- The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, and fertilizing, watering, weeding and such activities common to the maintenance of landscaping.
  - Landscape areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping.
  - No substitutions for plant materials are allowed without written approval by the director and acknowledged by an approval stamp on the landscape plan.
  - The right-of-way adjacent to required landscape areas shall be maintained by the adjacent property owner in the same manner as the required landscape area. All driveways will maintain visibility as approved by the director. All plantings intended for erosion control will be maintained. The town may require revegetation to prevent erosion or slippage.
  - All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size, within 30 days or a date approved by the director, based on current seasons and weather conditions (e.g. drought or freeze).
  - When power lines are present, trees shall not be planted underneath and should be oriented in a manner to avoid conflict. Substitution of plant material is not allowed without prior written authorization from the director.
  - All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors and evapotranspiration (ET) weather-based controllers and said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator.
  - All trees are to be equipped with a bubbler irrigation system.
  - Required landscaped open areas and disturbed soil areas shall be completely covered with living plant material, per the landscape ordinance.
  - All landscaping shall be in a planned area that is defined by edging, mulch or another practice approved by the town.
  - All streetscape furniture (benches, bollards, lampposts, trash receptacles, patio furniture, bike racks, etc.) shall be a chip and flake resistant metal, decorative, and generally black "storm cloud" in color.

LANDSCAPE PLAN



**Valley Quest**  
DESIGN

LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

CONSULTANT:

OWNER / CLIENT:

Barbee Enterprises, Inc.  
214-538-0479  
John@BarbeeEnterprises.com

Project No:	2021-074
Drawn By:	CTA
Reviewed By:	JDB
Issue Type:	Drawings
Issue Date:	12/20/2021

REVISIONS:

No.	Date	Description

Interim review documents.  
Not for regulatory approval,  
permitting or construction.  
Jeremy D. Blad  
Texas RLA No. 2734

DECEMBER 20, 2021

PROJECT:

EL DORADO BEND  
1816 WEST ELDORADO  
PKWY

LITTLE ELM, TEXAS

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

LP.01





# Town of Little Elm

100 W. Eldorado Parkway, Little Elm, Texas, 75068

[www.littleelm.org](http://www.littleelm.org)

## TRAFFIC IMPACT ANALYSIS CHECKLIST

### GENERAL INFORMATION

- (1) The Town of Little Elm's Subdivision Ordinance provides that a Traffic Study may be required with Preliminary Plat applications. If the proposed development exceeds one or more of the three threshold criteria listed below, a traffic study will be required to be submitted. Otherwise, for projects that do not exceed any of the three criteria, a Traffic Study Threshold Worksheet must be submitted and approved by the Town's Engineer prior to submittal of the Preliminary Plat application.
- (2) A Traffic Impact Study may be required by the Town Engineer when an amendment to the Master Thoroughfare Plan is sought (Section 107.08.01(a)(3), *Master Thoroughfare Plan Amendments*).
- (3) Please describe in detail your evaluation of each criteria listed below. Additional sheets should be utilized.
- (4) The Town of Little Elm is completely paperless in terms of submittals and resubmittals. All required materials shall be submitted in electronic formats (Adobe PDF via email) or through the Town's dropbox server, *Hightail*. All digital items may also be submitted on a CD/DVD or flash drive. Each file shall be labeled on the disc or drive as it appears on the checklist. Discs or drives must be clearly labeled with the project name on the outside of the media.

Applicant	Staff	Criteria Threshold for Traffic Impact Analysis (TIA)
		<b>CRITERIA</b>
NA		The development exceeds parking 100 spaces average per driveway.
NA		Any driveway in the development is projected to serve 1000 or more vehicles per day.
NA		Any driveway in the development is projected to serve 100 or more vehicles in the design hour.

Unless approved otherwise, trip generation rates should be based on the most recent edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*.

I hereby certify that this project does not exceed any of the three threshold criteria shown above and therefore the development would not warrant a Traffic Study in accordance with Section 107.08.01(b)(v) of the Subdivision Ordinance of the Town of Little Elm.

Name: SCOTT L. GRAVES Registration No. 88150 Date: 7/21/21  
 Firm: KJE Phone: 940.387.0805 Email: sgraves@kje-us.com

*For Town Use Only:* The requirement for a Traffic Study with this submittal is hereby waived:

Name: \_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_

