



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

June 2, 2022

Persons may address the Planning and Zoning Commission on any issue. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. Each member of the public who desires to address the P&Z Commission regarding an item on an agenda for an open meeting of the P&Z Commission shall have the right to address the Commission on the item before the Commission's consideration of the item. All speakers not requiring a translator are given 3 minutes to speak and may address the Commission only once on each agenda item. Non-English Speakers who require a translator are given 6 minutes to speak and may address the Commission only once on each agenda item. In accordance with the State of Texas Open Meeting Act, the board may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. To address the Commission for any public hearing item please sign a speaker's sheet located on the tables by the front entry and submit to a Staff member.

1. **5:30 PM Work Session**

2. **Roll Call**

3. **6:00 PM Regular Meeting**

1. Discuss and take action regarding the approval of the May 19, 2022 regular Planning and Zoning commission meeting minutes.
2. PRELIMINARY PLAT/ Eldorado Bend Addition (PP-22-02680). Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Eldorado Bend, establishing 25 residential lots, 5 HOA lots, Right of way, and easements on approximately 6.049 acres located in the D.M. Cule Survey, Abstract No. 226, in Little Elm's Town limits.
 - Staff Report
 - Applicant Presentation
 - Discussion and Recommendation
3. **PUBLIC HEARING/** Massey Services (SUP-22-02594). Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a Business Service use, generally located at 1927 Old Witt Road, currently zoned Light Commercial (LC), in order to allow for pest control services with on-site vehicle fleet.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation

4. **PUBLIC HEARING/ Liquor King (SUP-22-01130).** Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a Liquor Store use, located at 1951 FM 423, currently zoned Planned Development - Light Commercial (LC), through Ordinance No. 1457, as amended by Ordinance No. 1474, in order to allow for the sale of alcoholic beverages for off-site consumption only.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation
5. **PUBLIC HEARING/ Almost Home Tap House (SUP-22-02678).** Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a Bar/Brewpub use, located at 850 W. Eldorado Parkway, Suite 700, currently zoned Light Commercial (LC), in order to allow for the sale and consumption of alcoholic beverages for on-premises consumption only.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation
6. **PUBLIC HEARING/ Village at Eldorado (PD-22-01649).** A request to rezone approximately 1.5 acres of land, currently zoned as Planned Development - Light Commercial (PD-LC) through Ordinance No. 484, generally located at 2821 Eldorado Parkway, on the south side of Eldorado Parkway, within Little Elm's town limits, in order to amend the existing Planned Development district, to allow a new commercial development with modified development standards.
 - Staff Report
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation

4. **Discussion of future agenda items, update on Council action, and requests for new business considerations**

5. **Adjourn**

Certificate

I certify that the above notice of the Planning & Zoning Commission meeting was posted on the bulletin board of the Town of Little Elm, Texas on May 30th, 2022, prior to 5:00 p.m. The Little Elm Town Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made 48 hours prior to this meeting. Please contact the Town Secretary's office at 214-975-0404 or 972-377-5540 (fax) for arrangements.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/02/2022

OVERVIEW

Project	Adoption of the May 19, 2022 Planning and Zoning Commission Meeting Minutes
P&Z Hearing	06/02/2022
Council Hearing	N/A
Size	N/A
Current Zoning	N/A
Proposed Use	N/A
Existing Use	N/A
Future Land Use Plan Designation	N/A
Applicant	N/A
Owner	N/A
Strategic Goal	

Agenda Item

Discuss and take action regarding the approval of the May 19, 2022 regular Planning and Zoning commission meeting minutes.

Location

N/A

Planning Analysis

N/A

Recommended Action

N/A

Attachments

P&Z Minutes May 19, 2022

DRAFT



Minutes

Town of Little Elm PLANNING & ZONING COMMISSION Regular Meeting Thursday, MAY 19, 2022 - 7:00 pm

Present: Michael Bell, Chairman; Ron Trees, Vice Chairman; Danny Weakley, Commissioner; Stephen Horn, Commissioner; Robert Martin, Commissioner; Chip Norman, Alternate Commissioner

Absent: Tom Ocelli, Commissioner; Brent Thibeaux, Commissioner; Jack Skinner, Alternate Commissioner

Staff Present: Olga Chernomorets, Planning Manager
Rachel Mendoza, Development Manager
Brian Salvesen, Planner

1. 5:30 PM Work Session

P&Z Training 1 - Recap and Discussion on Essential Skills Topics

Roles & Responsibilities Gain a deeper understanding of your role and responsibility as a planning official. Listen as our presenter describes the activities of the planning commission and expectations of planning officials.

Managing the Meeting Watch as seasoned veterans share best practices for managing commission public meetings and hearings. Learn tips to establish a welcoming, civil, and ethical process while allowing robust citizen engagement.

2. Roll Call

3. 6:00 PM Regular Meeting

Chairman Bell opened the May 19, 2022 Regular Planning and Zoning Commission meeting at 6:00 pm.

1. Consent Agenda

Staff presented the consent agenda items to the commission.

Motion: Approve consent agenda items as presented by staff.

Motion by Vice Chairman Ron Trees, seconded by Commissioner Danny Weakley

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Danny Weakley,
Commissioner Stephen Horn, Commissioner Robert Martin, Alternate Commissioner
Chip Norman

6 - 0 Passed - Unanimously

1. Discuss and take action regarding the approval of the May 5, 2022 regular meeting minutes of the Planning and Zoning Commission.
2. **CONVEYANCE PLAT/** Tricon Addition (CP-22-02719). Presentation, discussion, and consideration on a request for approval of a Conveyance Plat for Tricon Addition, Lots 2R1 and 2R2, in block 1, on approximately 6.284 acres situated in the J.S. Clark Survey, Abstract No. 252 and M. Jones Survey, Abstract 667, within Little Elm's Town limits.
 - Staff Report
 - Applicant Presentation
 - Discussion and Recommendation

2. **Regular Agenda**

1. **REPLAT /** Frisco Park Estates W. Park Replat (RP-22-02652). Presentation, discussion, and consideration on a request for a replat of residential Lot 29, Block 2, establishing 2 lots (29R-1 and 29R-2) on approximately 0.24 acres situated in Frisco Park Estates, Richard Hensworth Survey, Abstract No. 577, within Little Elm Town Limits.
 - Staff Report/Applicant Presentation
 - Open Public Hearing
 - Receive Public Comment
 - Close Public Hearing
 - Discussion and Recommendation

Staff presented the withdrawal request to the commission.

Motion: Accept the request to withdraw the agenda item.

Motion by Commissioner Robert Martin, seconded by Commissioner Stephen Horn

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Danny Weakley,
Commissioner Stephen Horn, Commissioner Robert Martin, Alternate Commissioner
Chip Norman

6 - 0 Passed - Unanimously

3. **PRELIMINARY PLAT/** Eldorado Bend Addition (PP-22-02680). Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Eldorado Bend, establishing 25 residential lots, 5 HOA lots, Right of way, and easements on approximately 6.049 acres located in the D.M. Cule Survey, Abstract No. 226, in Little Elm's Town limits.
 - Staff Report
 - Applicant Presentation
 - Discussion and Recommendation

Staff presented the request for an extension.

Motion: Approve extension request to June 2, 2022 Regular Planning and Zoning Commission Meeting.

Motion by Vice Chairman Ron Trees, seconded by Commissioner Danny Weakley

AYE: Chairman Michael Bell, Vice Chairman Ron Trees, Commissioner Danny Weakley,
Commissioner Stephen Horn, Commissioner Robert Martin, Alternate Commissioner
Chip Norman

6 - 0 Passed - Unanimously

4. **Discussion of future agenda items, update on Council action, and requests for new business considerations**
5. **Adjourn**

Chairman Bell adjourned the meeting at 6:03pm.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/02/2022

OVERVIEW

Project	Preliminary Plat / Eldorado Bend (PP-22-02680)
P&Z Hearing	06/02/2022
Council Hearing	N/A
Size	Approximately 6.049 acres
Current Zoning	Planned Development
Proposed Use	Low Density Residential
Existing Use	Vacant
Future Land Use Plan Designation	Residential
Applicant	Robert Price, KJ Environmental
Owner	John Barbee, Barbee Enterprises
Strategic Goal	Provide a safe and welcoming environment for Little Elm residents and visitors

Agenda Item

PRELIMINARY PLAT/ Eldorado Bend Addition (PP-22-02680). Presentation, discussion, and consideration on a request for approval of a Preliminary Plat for Eldorado Bend, establishing 25 residential lots, 5 HOA lots, Right of way, and easements on approximately 6.049 acres located in the D.M. Cule Survey, Abstract No. 226, in Little Elm's Town limits.

- Staff Report
- Applicant Presentation
- Discussion and Recommendation

Location

Generally located on the south side of W. Eldorado Parkway, 1000 ft west of the intersection with Oak Grove Parkway.

Planning Analysis

This is a Preliminary Plat for Eldorado Bend Addition, part of the single-family residential development recently approved as the Eldorado Bend Planned Development. The Preliminary Plat identifies the layout of the proposed residential development, with 25 residential lots and 5 common area lots on approximately 6.049 acres, dedicates right-of-way, setbacks, and associated easements necessary for development.

The purpose of the Preliminary Plat is to determine the general layout of the lots and blocks of a proposed subdivision to determine the adequacy of public facilities needed to serve the intended development

and overall compliance with the Codes of Little Elm, including but not limited to the Zoning Ordinance, Thoroughfare Plan, and Comprehensive Plan.

Engineering.

Staff has reviewed the submitted plat documents and made the determination that the submittal does not fully meet the requirements of Section 107 - Subdivision Ordinance.

Recommended Action

Applicant has requested an extension in order to allow additional time to address the outstanding comments.

Staff recommends approval of the extension request. This is the last extension available to the applicant.



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/02/2022

OVERVIEW

Project	PUBLIC HEARING/ Massey Services (SUP-22-02594)
P&Z Hearing	06/02/2022
Council Hearing	July 5, 2022
Size	Approximately 1.93 acres
Current Zoning	Light Commercial (LC)
Proposed Use	Commercial
Existing Use	Commercial
Future Land Use Plan Designation	Retail/Commercial
Applicant	Alan Weiss
Owner	Witt Properties LLP
Strategic Goal	

Agenda Item

PUBLIC HEARING/ Massey Services (SUP-22-02594). Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a Business Service use, generally located at 1927 Old Witt Road, currently zoned Light Commercial (LC), in order to allow for pest control services with on-site vehicle fleet.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Located at 1927 Old Witt Road, on the north side of Old Witt Road, approximately 1000 feet west of FM 423, within Little Elm town limits.

Planning Analysis

Background.

Subject property is zoned Light Commercial (LC) and contains several structures currently operating as an existing multi-tenant commercial site. The front building, Suite 100, and accessory metal structure are being utilized as an office showroom and storage for a home remodeling company, and the back metal building, formerly occupied by ServePro, has been split into Suite 200 and 300, with Suite 300 currently occupied by an auto repair business. The proposed business service use would occupy the currently vacant 6,700 square-foot Suite 200.

The applicant, Massey Services Pest Prevention, is a pest prevention, termite protection and law care company that prides themselves on providing environmentally responsible and innovative services. A business service use is defined as "establishments primarily engaged in providing off-site services not elsewhere classified to business enterprises on a fee contract basis. Examples include, but are not limited to, plumbing services, cleaning services, computer/equipment repair services with certain on-site storage needs such as fleet vehicles used to provide off-site services to customers."

Chapter 106 of the Little Elm Code of Ordinances allows business service uses to locate within the Light Commercial (LC) district, through a Specific Use Permit (SUP). The purpose of the SUP requirement is to allow the Town to determine the situational suitability and appropriateness of each particular proposal. This allows review of the proposed operation any potential nuisances, as well as possible mitigation efforts, on a case by case basis. Thus, the Administration has broad discretionary approval of the requested SUP.

Existing businesses in this area include ServePro, auto repair, self storage, remodeling, construction, and plumbing contractors.

Proposal.

The applicant is requesting approval of a business service as an allowed use within Suite 200 of the subject property, for the purposes of operating a pest prevention business with an on-site vehicle fleet. Massey intends to utilize 2,700 square feet as administrative office space, and 4,000 square feet for the storage of products and equipment associated with their business operations. The storage component will primarily consist of common pest control and lawn care products, ranging from plastic 1 or 2.5 gallon jugs to 40 pound bags of product. The applicant has confirmed that their products do not contain "hazardous" or "danger" labels. The business operation also includes approximately 10-13 fleet trucks, ranging in size from Toyota Tacoma to Dodge Ram, which will park on-site, along the western edge of the property, within the confines of the fence.

The proposal includes a total SUP area of 6,700 square feet, specifically for pest prevention administrative office business operations, storage of associated product and equipment within 50% of the suite, and on-site fleet vehicle parking.

Parking.

The subject property contains three tenant spaces, an existing office use in Suite 100, which requires a total of 6 parking spaces, and an existing auto repair use in Suite 300, which requires a total of 8 parking spaces. The proposed business service use in Suite 200, based on the floor plan square footage breakdown, requires a total of 13 parking spaces. The site currently provides a total of 18 striped parking spaces but has room to accommodate the necessary additional parking spaces in order to comply with code. The provided site plan shows additional parking spaces to be provided. However, Staff and the applicant have identified opportunities for site layout and landscape improvements post the site plan submittal, therefore Staff will request that if this item is considered for approval, the site plan be updated to show at least 27 properly scaled parking spaces and the proposed site and landscape screening improvements prior to the Council meeting.

Development Standards.

This site was developed prior to being annexed into the Town and has maintained continued operations. Since the applicant is not making any exterior building improvements or major site plan changes in order to

accommodate the proposed use, no additional site requirements were reviewed at this time.

Landscape and Screening.

The applicant is proposing to clean up the paving edges in the front portion of the site and add shrubbery along the frontage of the property and five ornamental trees, in order to screen the parking lot on both sides of the driveway and provide a more attractive street frontage.

Dumpster.

There is currently an old dumpster enclosure in the front of the property, facing the right-of-way. This enclosure is no longer being utilized and the applicant has proposed to remove its remnants in order to provide the minor improvements along this property's frontage. Staff will request that if this item is considered for approval, the site plan be updated to remove the old dumpster enclosure and add the current dumpster being utilized, in the back of the property, with proper screening per code, prior to the Council meeting.

Comprehensive Plan.

The Future Land Use Plan (FLUP) designates the subject property with a retail/commercial land use category, which is appropriate for a business service use. Therefore, the requested SUP, if approved, would not be in conflict with the FLUP.

Recommended Action

The purpose of an SUP is to add or modify specific land use rights to those already granted within a zoning district. Section 106.02.17 provides that each request considers the intensity of the proposed use within the context of the proposed location based on compatibility and suitability, and in evaluating the compatibility of the proposed use within the existing area context, "the town council may impose such additional development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, odor, gas, explosion, glare, offensive view, or other undesirable or hazardous conditions."

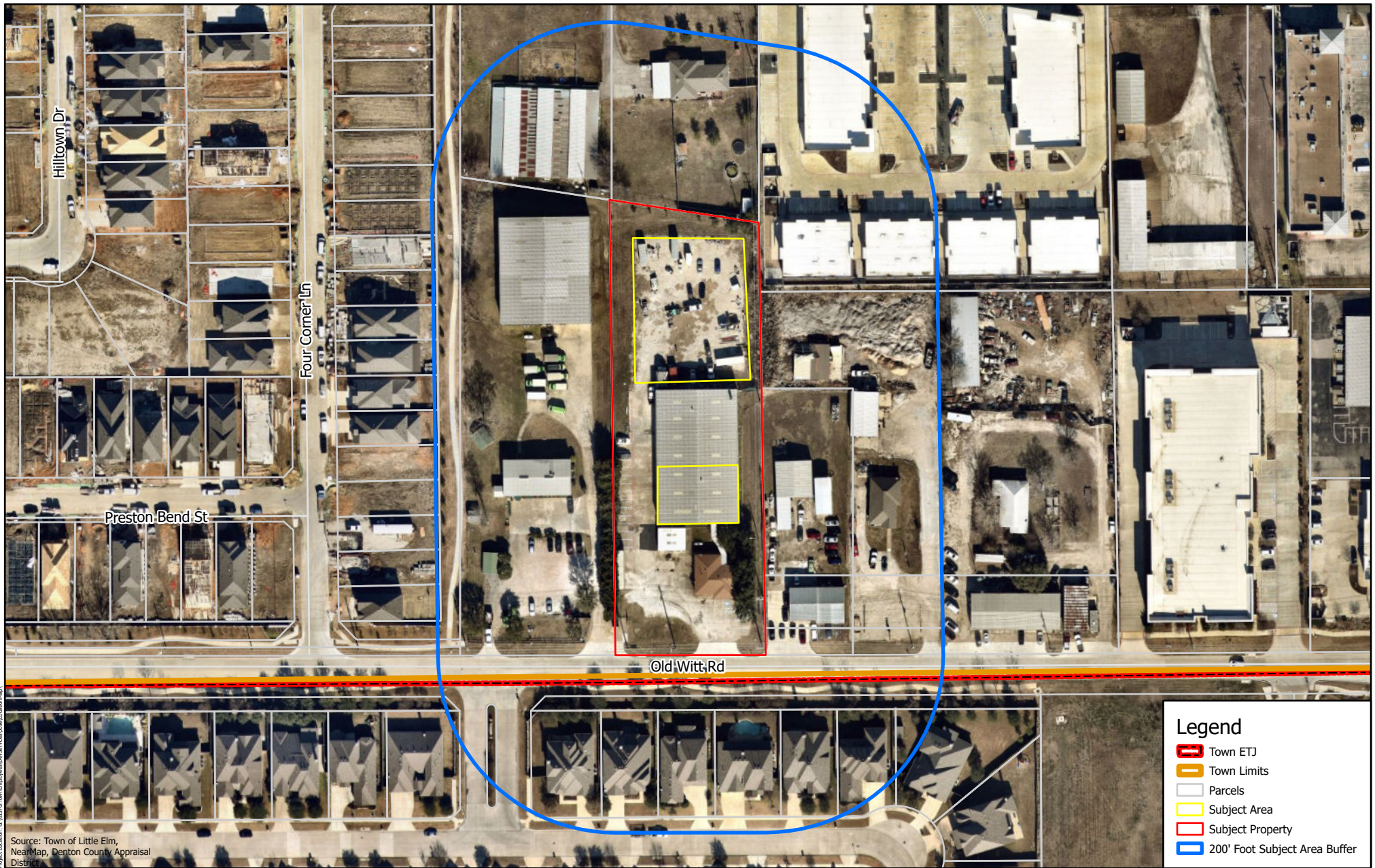
The proposed business service use fits within the current context of the existing uses in this area, however, given the Town's ongoing growth there is uncertainty of what this area may look like in several years and whether this use would still be fitting on this site. Additionally, given the purpose of a Specific Use Permit, Staff believes that there are several possible conditions that could be placed on this SUP to help make this request more appropriate and attractive within the context of the existing area, as well as its proximity to other uses.

Staff recommends the Planning and Zoning Commission evaluate the proposed SUP request based on the presented information, in accordance with Section 106.02.17, and make a recommendation accordingly, with the consideration of the following conditions:

1. Applicant shall not park more than 13 fleet vehicles on site, and all fleet vehicles shall only park within the screened gated area as shown on the site plan.
2. Prior to the Council meeting, the applicant shall revise the site plan to show the additional site and landscape improvements.
3. Prior to obtaining a Certificate of Occupancy, applicant shall complete the proposed parking improvements.
4. Prior to obtaining a Certificate of Occupancy, applicant shall provide professionally drawn landscape/irrigation plans showing perimeter shrubs and ornamental trees, along the entirety of Witt Road frontage, and an above grade planter with living shrubs to screen the parking area on the west side of the front building, all in accordance with the Town's landscape requirements. All planting must be completed within a reasonable time frame.
5. This SUP shall only be in effect for two years, or a period determined appropriate by the Planning and Zoning Commission and Town Council, and shall be eligible for re-evaluation by the Planning and Zoning Commission and Town Council in order to determine its suitability within the context of the area at that time.

Attachments

Location Map
SUP Exhibits



Source: Town of Little Elm,
NearMap, Denton County Appraisal
District



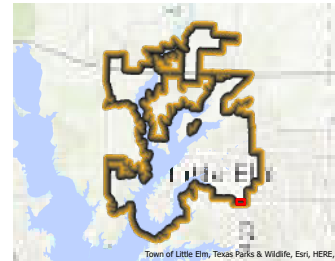
SUP 1927 Old Witt Rd

0 0.01 0.03 0.06 Miles



Town of Little Elm
Denton County, Tx

Date: 5/20/2022



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.



1927 Old Witt Rd. Suite 100
Frisco, TX 75034
April 27, 2022

Owners Statement of Intent

This shall serve as the property owner's Statement Of Intent as it relates to the Master Plan for the subject property located at 1927 Old Witt Road.

1. General Use: Light Commercial Tenants to inhabit Suite's 100,200 and 300.
2. Suite 100 is visible from the street and only used as office space and/or consumer show rooms. Parking shall be consumer vehicles parked in the lot in front of the perimeter fencing and screened gate separating Suite 100 from Suite 200 and 300.
3. Suite 200 is currently reserved for Massey Pest Control which is a "Service Company". Massey Services is a residential and commercial pest control with a fleet of decade light duty trucks. Their vehicles will be in the parking spaces on the West Side of the property behind the screened and fenced perimeter, outside the view of the public road.
This service facility will not have any walk in customers and will be limited to the staff use only, thus adding nominal car traffic to Old Witt road.
4. Operating Hours: Light Commercial tenants will be limited to 6:00am to 7:00pm.
5. The Building use is and will remain harmonious and compatible with the adjacent buildings and businesses as it complements the majority of the business currently on the same street including but not limited to :
 - Servpro
 - Frisco Auto Body
 - Royal Automotive
 - Beautiful Backyard Living
 - Authority Automotive
 - Public Storage
 - Caliber Auto Body shop

- Air Repair Pros
- Lexi's Plumbing Frisco
- MTC Contractors

6. With regards to Certificate of Occupancy, both landlord and tenants intent on complying with all applicable codes and ordinances.

It is also our intent to operate this Commercial Property with regard to, and for the peaceful use of neighboring businesses, and more importantly, the neighboring residences.

Thank you,

Alan Weiss
Property Manager
817-681-0011
dksw@gmx.com



GRAPHIC SCALE: 1" = 20'

20 0 20 40 60 Feet

KING ROAD REALTY, LLC
DOC. NO. 2018-83254
D.R.D.C.T.

- LEGEND OF ABBREVIATIONS
- D.R.D.C.T. DEED RECORDS, DENTON, TEXAS
 - O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
 - P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
 - ROW RIGHT OF WAY
 - IRS 1/2 INCH CAPPED REBAR STAMPED "WINDROSE" SET
 - C.M. CONTROLLING MONUMENT

- Pedestrian Walkway
- Wall
- 12' Rollout gate
- Parking Slots
- Occupied Space
- Site Boarder
- Wood Shed
- Metal Warehouse



LEGEND

* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY

- | | | | |
|---------|----------------------------|---------|---------------------------------|
| BO | BOLLARD | H | HIGHBANK |
| EM | ELECTRIC METER | PLM | PIPELINE MARKER |
| HC | HANDICAP | UCS | UNDERGROUND CABLE SIGN |
| GM | GAS METER | CTL | CATHODIC TEST LEAD |
| GV | GAS VALVE | MW | MONITORING WELL |
| FH | FIRE HYDRANT | P | PIN FLAG/PAINT MARK |
| FDC | FIRE DEPARTMENT CONNECTION | TC | TOP OF CURB |
| WM | WATER METER | G | GUTTER |
| WV | WATER VALVE | TG | TOP OF GRATE |
| ICV | IRRIGATION CONTROL VALVE | FL | FLOW LINE |
| GI | GRATE INLET | HB | HIGHBANK |
| GI | GRATE INLET | SAN | SANITARY SEWER |
| CO | CLEANOUT | STM | STORM SEWER |
| TP | TELEPHONE PEDESTAL | CMP | CORRUGATED METAL PIPE |
| CP | CABLE PEDESTAL | CPP | CORRUGATED PLASTIC PIPE |
| EB | ELECTRIC BOX | RCP | REINFORCED CONCRETE PIPE |
| TB | TRAFFIC SIGNAL BOX | TEL | TELEPHONE |
| LP | LIGHT POLE | SWBT | SOUTHWESTERN BELL TELEPHONE CO. |
| TLP | TRAFFIC LIGHT POLE | WTR | WATER |
| GL | GROUND/SPOT LIGHT | UG | UNDERGROUND |
| PP | POWER POLE | FND | FOUND |
| PP/T | POWER POLE W/TRANSFORMER | IP | IRON PIPE |
| PP/LT | POWER POLE W/LIGHT | IR | IRON ROD |
| PP/CT | POWER POLE W/CONDUIT | NO | NUMBER |
| MP | METER POLE | PG | PAGE |
| SP | SERVICE POLE | R.O.W. | RIGHT-OF-WAY |
| GA | GUY ANCHOR | SQ. FT. | SQUARE FEET |
| OL | OVERHEAD POWER LINE | VOL. | VOLUME |
| BF | BARBED WIRE FENCE | F.C. | FILM CODE |
| WIF | WROUGHT IRON FENCE | B.L. | BUILDING LINE |
| WF | WOOD FENCE | U.E. | UTILITY EASEMENT |
| CLF | CHAINLINK FENCE | T | TREE/SHRUB |
| GP | GATE POST | | |
| (P) | PER PLANS | | |
| APPROX. | APPROXIMATE | | |

PROPERTY DESCRIPTION:

BEING ALL OF LOT 3, BLOCK A, OF KINGS ROAD ESTATES, AN ADDITION TO DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET N, PAGE 375 OF THE PLAT RECORDS OF DENTON COUNTY, TEXAS.

TITLE COMMITMENT NOTES

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, G.F. NUMBER CHD1999-8000362001079, EFFECTIVE DATE SEPTEMBER 28, 2020. THIS COMMITMENT WAS RELIED UPON FOR ENCUMBRANCE RESEARCH, AND THE SURVEYOR HAS PERFORMED NO INDEPENDENT TITLE SEARCH, THEREFORE EASEMENTS, AGREEMENTS, OR OTHER DOCUMENTS, EITHER RECORDED, OR UNRECORDED MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY. THE FOLLOWING EXCEPTIONS FROM SCHEDULE "B" WERE ADDRESSED AS FOLLOWS:

10G. A 30' BUILDING SETBACK LINE, AS DISCLOSED BY PLAT RECORDED IN CABINET N, SLIDE 375, PLAT RECORDS, DENTON COUNTY, TEXAS, AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

10H. 15' UTILITY EASEMENT AND DRAINAGE EASEMENT RECORDED IN CABINET N, SLIDE 375, PLAT RECORDS, DENTON COUNTY, TEXAS, AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

10I. THE EASEMENT AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT TO SOUTHWESTERN BELL TELEPHONE COMPANY, RECORDED IN VOLUME 772, PAGE 121, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS DOES NOT AFFECT THE SUBJECT PROPERTY.

10J. THE EASEMENT AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT TO SOUTHWESTERN BELL TELEPHONE COMPANY, RECORDED IN VOLUME 710, PAGE 846, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS DOES NOT AFFECT THE SUBJECT PROPERTY.

SURVEYOR'S CERTIFICATE

CERTIFY TO: ALAN WEISS; OLD WITT ENTERPRISES, INC.; CHICAGO TITLE INSURANCE COMPANY; AND CHICAGO TITLE OF TEXAS, LLC:

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON AND IS CORRECT, AND TO THE BEST OF MY KNOWLEDGE, THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHTS OF WAY THAT I HAVE BEEN ADVISED OF EXCEPT AS SHOWN HEREON. BEARINGS AND DISTANCES ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202) NORTH AMERICAN DATUM OF 1983 (NAD 83)(US FOOT) WITH A COMBINED SCALE FACTOR OF 1.000150630.

Mark N. Peoples
MARK N. PEOPLES
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6443
STATE OF TEXAS



REVISIONS		
DATE	REASON	BY
10/20/20	ADDED TITLE INFO.	E.R.



WINDROSE
LAND SURVEYING | PLATTING
220 ELM STREET, SUITE 200 | LEWISVILLE, TX 75057 | 214.217.2644
FIRM REGISTRATION NO. 10194331 | WINDROSESERVICES.COM

LAND TITLE SURVEY OF
LOT 3, BLOCK A, KINGS ROAD ESTATES
SITUATED IN THE
H. KENDALL SURVEY, ABSTRACT NO. 713 & THE
M.E.P. & P.R.R. SURVEY, ABSTRACT NO. 919
DENTON COUNTY, TEXAS

COPYRIGHT © WINDROSE LAND SERVICES THIS DOCUMENT IS COPYRIGHTED AND IS AN INSTRUMENT OF SERVICE FOR THE SPECIFIC PROJECT OR TRANSACTION FOR WHICH IT WAS PREPARED. REUSE, COPYING OR MODIFICATION OF THIS DOCUMENT WHETHER IN HARD COPY OR ELECTRONIC FORMAT OTHER THAN FOR THE SPECIFIC PURPOSE INTENDED, WITHOUT WRITTEN PERMISSION FROM WINDROSE LAND SERVICES IS A VIOLATION OF FEDERAL COPYRIGHT LAW.

FIELD BY: BLG	CHECKED BY: MNP	JOB NO. D56363-112986
DRAWN BY: ER	DATE: 10/12/2020	SHEET NO. 1 OF 1



Town of Little Elm

100 W. Eldorado Parkway, Little Elm, Texas, 75068

www.littleelm.org

SITE DATA SUMMARY CHART		
by phase and in total to include the following items:		
Site Data Summary	Existing	Proposed
Existing Zoning	LC	LC
Land Use Designation	LC	LC
Gross Acreage	1.93 Ac	1.93 Ac
Net Acreage	1.93 ac	1.93 ac
Number of Proposed Lots	1	1
Percentage of Site Coverage	19.2%	19.2%
Area of Open Space	67759 sf	67759 sf
Percentage of Open Space	80.8%	80.8%
Percentage of Landscape	17%	17%
Area of Impervious Coverage	38997 sf	38997 sf
Percentage of Impervious Coverage	46.5%	46.5%
Proposed Building Area (square footage footprint)	16098 sf	16098 sf
Number of Single-Story Buildings	3	3
Number of Two-Story Buildings	0	0
Maximum Building Height	20'	20'
Proposed Floor Area	16098sf	16098 sf
Proposed Floor Area by Use	*	**
Required Parking	27	27
Provided Parking	27	27
Standard	26	26
Handicap	1	1
Total	27	27
Inventory Parking	0	0
Infrastructure for Electric Charging Kiosks	0	0
Required Loading Spaces	0	0
Provided Loading Spaces	0	0
Area of Outside Storage	1	1
Percentage of Outside Storage	0.25%	0.25%
Start of Construction Month/Year	n/a	n/a

Certification of Submitted Information

I hereby certify that the above stated information is included with the accompanying submission materials. Further, I have included any required conditions of Site Plan, as listed in Section 106.02.15 and of the Landscape Plan, as listed in Section 106.06.13 of the Zoning Ordinance.

Applicant's Signature

Date

Verification of Detailed Information

I hereby confirm that the above detailed information as required by the checklist is complete and accurate to the best of my knowledge. I understand that proper Town staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me or my firm may delay the proper review of this application.

Applicant's Engineer's Signature

Date

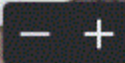
Firm

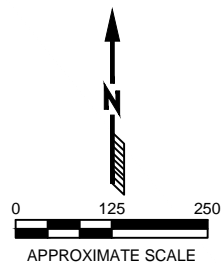
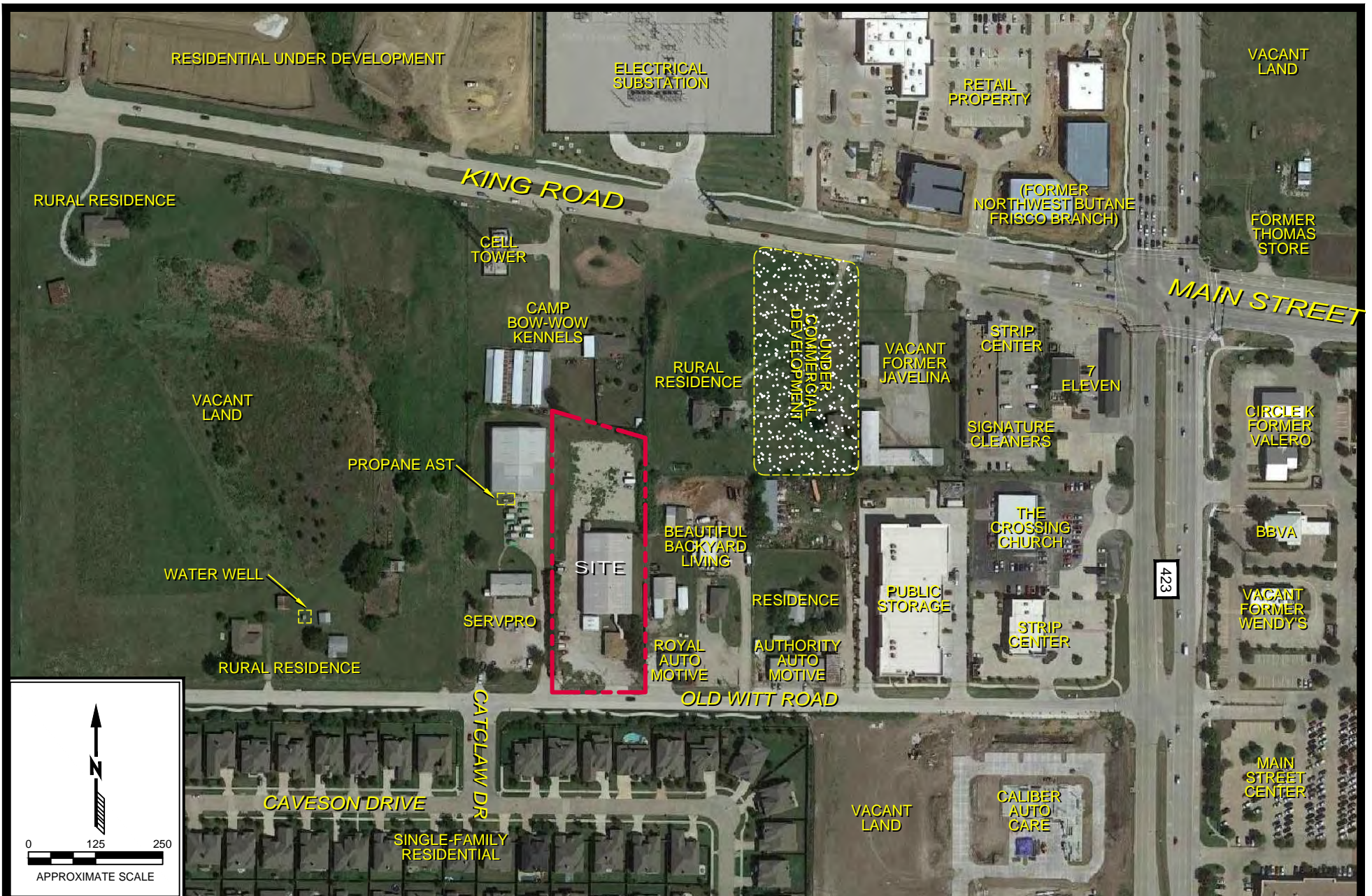
* 4465 sf Office Area and 11562 sf warehouse area

** 4465 sf Office Area and 11562 sf warehouse area



2D





TERRA • SOLNE
ENVIRONMENTAL CONSULTANTS

P.O. BOX 702522
DALLAS, TX 75370-2522
PHONE (972) 267-1900
FAX (469) 687-8583

SITE VICINITY MAP

WAREHOUSE PROPERTY
1927 OLD WITT ROAD
LITTLE ELM, DENTON COUNTY, TEXAS

DATE:
OCT 2020

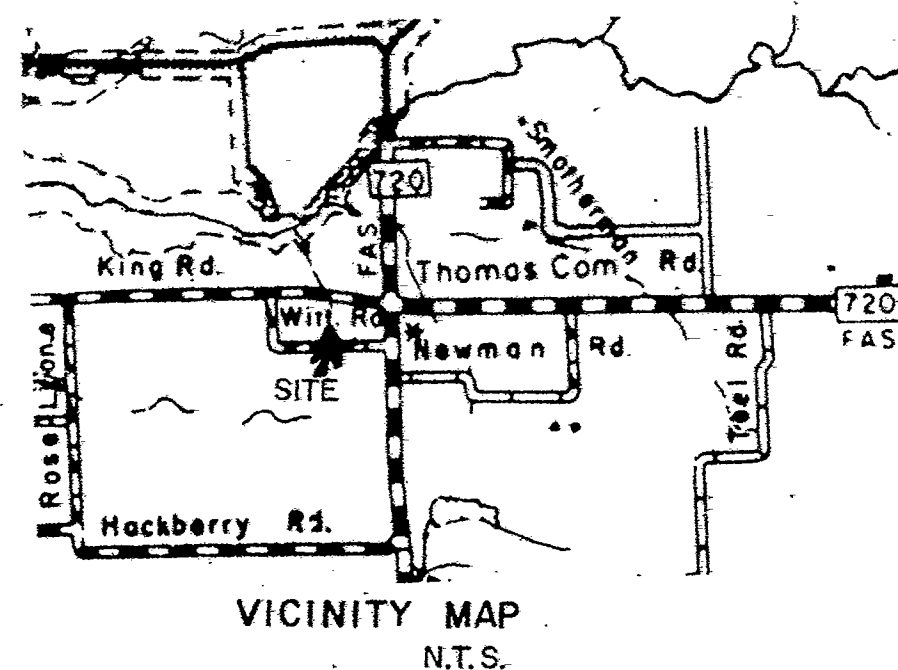
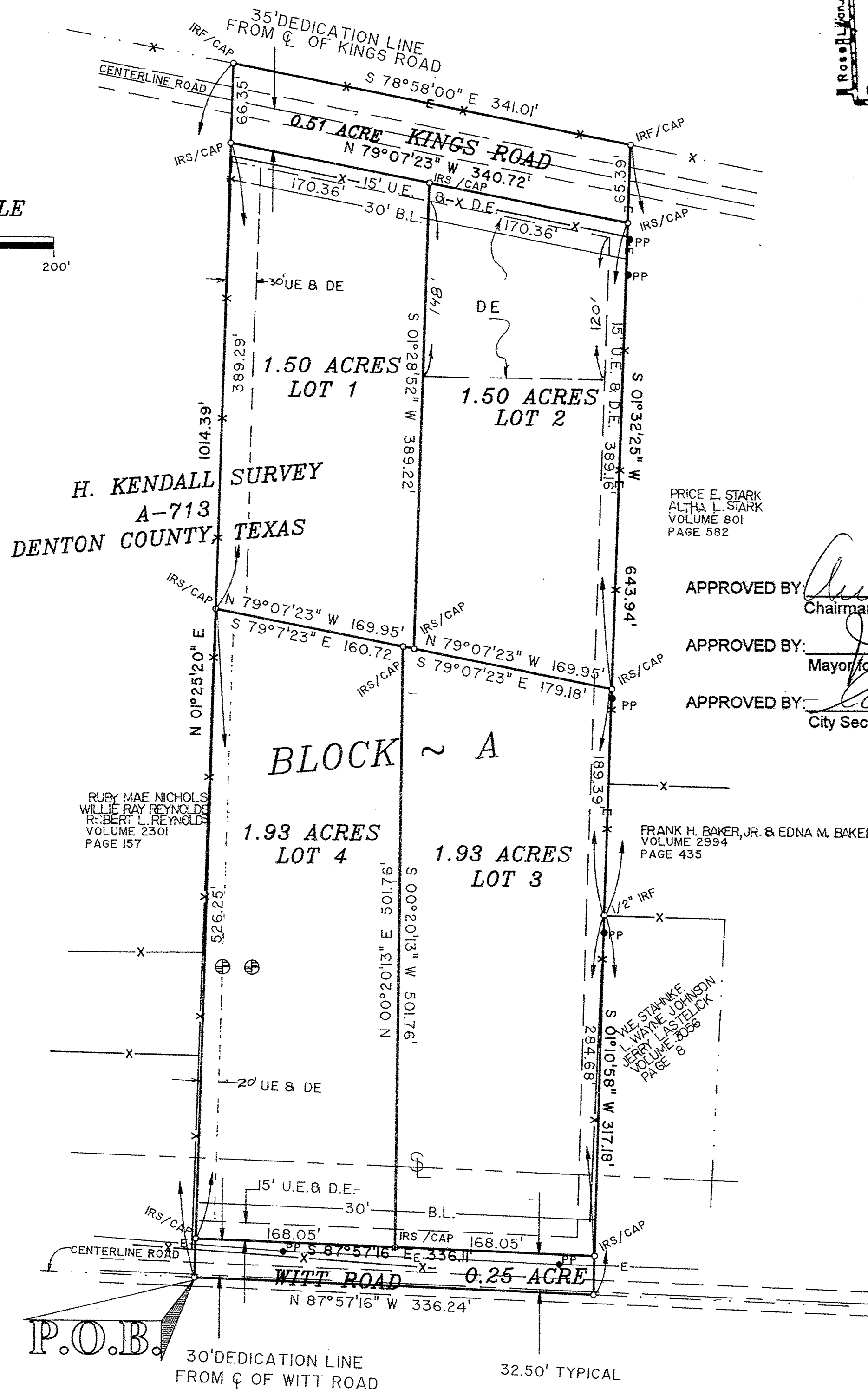
PROJECT NO.:
20505

SCALE:
SEE ABOVE

FIGURE NO.:
1

Filed for Record in
Denton County, TX
On Sep 25 1997
At 4:04pm
Doc# 97-0067361
PLA
Recorded
20.00
Doc# 97-0067361
31151
Deputy - BRANDIE

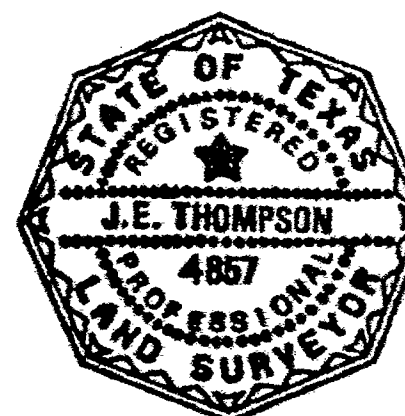
1" = 100'
GRAPHIC SCALE



PRICE E. STARK
ALTA L. STARK
VOLUME 801
PAGE 582

APPROVED BY: Andrew C. McChesney 090497
Chairman of Planning and Zoning for the City of Little Elm Date
APPROVED BY: Jim Kelly 090497
Mayor for the City of Little Elm Date
APPROVED BY: Kathy Phillips 090497
City Secretary for the City of Little Elm Date

FRANK H. BAKER, JR. & EDNA M. BAKER
VOLUME 2994
PAGE 435



OWNER
MARY LOUISE WILLIAMS
P.O. BOX 1559
FRISCO, TEXAS 75034
(972) 335-9114

DENTON COUNTY ELECTRIC
3501 FM 2181
CORINTH, TEXAS 76205
(817) 430-1195

SOUTHWESTERN BELL TELEPHONE
307 N. KENTUCKY
MCKINNEY, TEXAS 76069
(972) 569-4753

LEGEND
⊕ = PERC TEST HOLE
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
IRS/CAP = IRON ROD SET WITH CAP
B.L. = BUILDING LINE
U.E. = UTILITY EASEMENT
W.F. = WOOD FENCE
C.F. = CHAINLINK FENCE
W.F. = WIRE FENCE
PP = POWER POLE
S = SURVEY LINE
E = PLAT OR DEED CALLS
E- = OVERHEAD ELECTRIC

DRAWN BY: MA
CHECKED BY: JET
SCALE 1" = 100'
DATE DRAWN 1-20-97
REVISION:
09-02-97

FINAL PLAT
KINGS ROAD ESTATES
LOTS 1-4, BLOCK A
BEING 7.609 ACRES IN THE
H. KENDALL SURVEY, ABSTRACT No. 713
and the M.E.P. & P.R.R. Co. SURVEY, ABSTRACT No. 919
DENTON COUNTY, TEXAS

DEDICATION

CGO N 99376

WHEREAS, Mary Louise Williams is the owner of all that certain tract of land situated in the H. Kendall Survey, Abstract 713 and the M.E.P. & P.R.R. Co. Survey, Abstract Number 919, Denton County, Texas, and being a resurvey of a called 7.609 acre tract described in the Deed to Mary Louise Williams recorded in Clerk's File # 96-R0035637 of the Real Property Records of said County, as occupied on the ground the subject tract being more particularly described as follows:

BEGINNING at the Southwest corner of the tract being described herein at a point for in a road under apparent public use posted as Witt Road and being at Southwest corner of a called 26.501 acre tract of land described in the Deed to First State Bank of Frisco et al recorded in Volume 754, Page 5 of the Deed Records of said County;

THENCE North 01 Degree 25 Minutes 20 Seconds East passing en route at a distance of 20.00 feet a 1/2" capped iron rod set for witness in the North line of said Witt Road and continuing on said course passing en route at a distance of 933.54 feet a 1/2" capped iron rod set for witness in the South line of a road under apparent public use posted as Kings Road and continuing on said course for a total distance of 1014.39 feet to a 1/2" iron rod found for corner in the North line of said Kings Road;

THENCE South 78 Degrees 58 Minutes 00 Seconds East with the North line of said Kings Road a distance of 341.01 feet to a 1/2" capped iron rod found for corner;

THENCE South 01 Degrees 32 Minutes 25 Seconds West passing en route at a distance of 60.85 feet a 1/2" capped iron rod set for witness in the South line of Kings Road and continuing on said course for a total distance of 643.94 feet to a 1/2" iron rod found for corner at the Northwest corner of a called 0.674 acre tract described in the Trustee's Deed recorded in Volume 3056, Page 8 of the Real Property Records of said County;

THENCE South 01 Degree 10 Minutes 58 Seconds West passing en route at a distance of 297.18 feet a 1/2" iron rod found for witness in the North line of said Witt Road and continuing on said course for a total distance of 317.18 feet to a point for corner in said Witt Road;

THENCE North 87 Degrees 57 Minutes 16 Seconds West a distance of 336.24 feet to the PLACE OF BEGINNING and containing in all 7.609 acres of land more or less.

Now, therefore, know all men by these presents:

That Mary Louise Williams do hereby adopt this Plat designating herein described property as Kings Road Estates, in Denton County, Texas and do hereby dedicate to the public for use forever, the street right-of-way and public easements shown hereon.

By: Mary Louise Williams
Mary Louise Williams

State of Texas)
County of Denton)
Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Mary Louise Williams, known to me to be the person whose name is subscribed for the purposes and consideration therein expressed.

Kathy Phillips
September 1997
Notary Public, State of Texas
My Commission Expires: 10-12-98

Given under my hand and seal of office this 4th Day of
KATHY J. PHILLIPS
NOTARY PUBLIC
State of Texas
Comm. Exp. 10-12-98

Surveyors Certificate
I, John E. Thompson, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that the subdivision plat shown hereon accurately represents the described property as determined by a survey made on the ground, under my direction and supervision, and 1/2 inch iron rods capped "Kern" have been set at all boundary corners, block corners and points of curves along dedicated Right-Of-Way, unless otherwise noted. The monuments or marks set, or found, are sufficient to enable retracement.

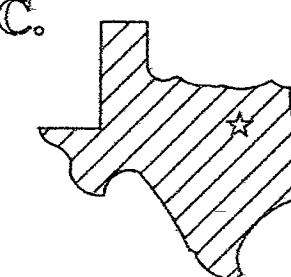
John E. Thompson
John E. Thompson
Registered Professional Land Surveyor
Number 4857

COUNTY REQUIRED GENERAL NOTES:

1. Water service to be supplied by private water wells.
2. All Lots for residential use.
3. Sanitary sewer to be provided by private facilities as approved by the Denton County Health Department.
4. Electric service to be provided from Denton County Electric.
5. Telephone to be provided by Southwestern Bell Telephone.
6. No Deed restrictions to be imposed by this Plat.
7. The maintenance of paving, grading and drainage improvements and/or easements shown on this Plat are the responsibility of the individual property owners and do not constitute acceptance of same for maintenance purposes by the County of Denton.
8. All boundary and lot line descriptions close to an accuracy of one in ten thousand.
9. FLOOD STATEMENT: I have examined the F.E.M.A. Flood Insurance Rate Map for Denton County, Texas Community Number 480774, effective date June 2, 1994 and the said map indicates that the property shown hereon is in Zone C which is defined as "Areas of minimal flooding as shown on Panel 0150 D of said map.

APPROVED BY: [Signature] DATE 9/23/97
DENTON COUNTY JUDGE
APPROVED BY: [Signature] DATE 9/11/97
DIRECTOR OF COUNTY PLANNING

KERN SURVEYING INC.
P.O. BOX 507
KIRUM, TEXAS 76249
(817) 482-6723
JOB No. 96206FP



- LEGEND OF ABBREVIATIONS
- D.R.D.C.T. DEED RECORDS, DENTON, TEXAS
 - O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
 - P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
 - ROW RIGHT OF WAY
 - IRS 1/2 INCH CAPPED REBAR STAMPED "WINDROSE" SET
 - C.M. CONTROLLING MONUMENT

LEGEND

* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY

- | | | | |
|---------|----------------------------|---------|---------------------------------|
| BO | BOLLARD | H | HIGHBANK |
| EM | ELECTRIC METER | I | SIGN |
| HC | HANDICAP | PLM | PIPELINE MARKER |
| GM | GAS METER | UCS | UNDERGROUND CABLE SIGN |
| GV | GAS VALVE | CTL | CATHODIC TEST LEAD |
| PH | FIRE HYDRANT | MW | MONITORING WELL |
| EDC | FIRE DEPARTMENT CONNECTION | P | PIN FLAG/PAINT MARK |
| WM | WATER METER | TC | TOP OF CURB |
| WV | WATER VALVE | G | GUTTER |
| CV | IRRIGATION CONTROL VALVE | TG | TOP OF GRATE |
| GI | GRATE INLET | FL | FLOW LINE |
| HB | HIGHBANK | STW | STORM SEWER |
| MANH | MANHOLE | SAN | SANITARY SEWER |
| CO | CLEANOUT | STM | STORM SEWER |
| TP | TELEPHONE PEDESTAL | CMP | CORRUGATED METAL PIPE |
| CP | CABLE PEDESTAL | CPP | CORRUGATED PLASTIC PIPE |
| EB | ELECTRIC BOX | RCP | REINFORCED CONCRETE PIPE |
| TSSB | TRAFFIC SIGNAL BOX | TEL | TELEPHONE |
| LP | LIGHT POLE | SWBT | SOUTHWESTERN BELL TELEPHONE CO. |
| TLP | TRAFFIC LIGHT POLE | WTR | WATER |
| GL | GROUND/SPOT LIGHT | UG | UNDERGROUND |
| PP | POWER POLE | FND | FOUND |
| PP/T | POWER POLE W/TRANSFORMER | IP | IRON PIPE |
| PP/LT | POWER POLE W/LIGHT | IR | IRON ROD |
| PP/CT | POWER POLE W/CONDUIT | NO | NUMBER |
| MP | METER POLE | PG | PAGE |
| SP | SERVICE POLE | R.O.W. | RIGHT-OF-WAY |
| GA | GUY ANCHOR | SQ. FT. | SQUARE FEET |
| OL | OVERHEAD POWER LINE | VOL | VOLUME |
| WV | WROUGHT IRON FENCE | F.C. | FILM CODE |
| WV | WOOD FENCE | B.L. | BUILDING LINE |
| CL | CHAINLINK FENCE | U.E. | UTILITY EASEMENT |
| GP | GATE POST | T | TREE/SHRUB |
| P | PER PLANS | | |
| APPROX. | APPROXIMATE | | |

PROPERTY DESCRIPTION:

BEING ALL OF LOT 3, BLOCK A, OF KINGS ROAD ESTATES, AN ADDITION TO DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET N, PAGE 375 OF THE PLAT RECORDS OF DENTON COUNTY, TEXAS.

TITLE COMMITMENT NOTES

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, G.F. NUMBER CHD1999-8000362001079, EFFECTIVE DATE SEPTEMBER 28, 2020. THIS COMMITMENT WAS RELIED UPON FOR ENCUMBRANCE RESEARCH, AND THE SURVEYOR HAS PERFORMED NO INDEPENDENT TITLE SEARCH, THEREFORE EASEMENTS, AGREEMENTS, OR OTHER DOCUMENTS, EITHER RECORDED, OR UNRECORDED MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY. THE FOLLOWING EXCEPTIONS FROM SCHEDULE "B" WERE ADDRESSED AS FOLLOWS:

10G. A 30' BUILDING SETBACK LINE, AS DISCLOSED BY PLAT RECORDED IN CABINET N, SLIDE 375, PLAT RECORDS, DENTON COUNTY, TEXAS, AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

10H. 15' UTILITY EASEMENT AND DRAINAGE EASEMENT RECORDED IN CABINET N, SLIDE 375, PLAT RECORDS, DENTON COUNTY, TEXAS, AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

10J. THE EASEMENT AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT TO SOUTHWESTERN BELL TELEPHONE COMPANY, RECORDED IN VOLUME 710, PAGE 846, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS DOES NOT AFFECT THE SUBJECT PROPERTY

SURVEYOR'S CERTIFICATE

CERTIFY TO: ALAN WEISS; OLD WITT ENTERPRISES, INC.; CHICAGO TITLE INSURANCE COMPANY; AND CHICAGO TITLE OF TEXAS, LLC:

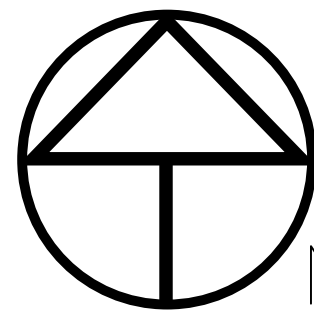
THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON AND IS CORRECT, AND TO THE BEST OF MY KNOWLEDGE, THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHTS OF WAY THAT I HAVE BEEN ADVISED OF EXCEPT AS SHOWN HEREON. BEARINGS AND DISTANCES ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202) NORTH AMERICAN DATUM OF 1983 (NAD 83)(US FOOT) WITH A COMBINED SCALE FACTOR OF 1.000150630.

MARK N. PEEPLES
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6443
STATE OF TEXAS



REVISIONS

DATE	REASON	BY
10/20/20	ADDED TITLE INFO.	E.R.



NORTH

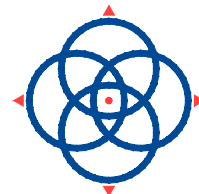
GRAPHIC SCALE: 1" = 20'

20 0 20 40 60 Feet

KING ROAD REALTY, LLC
DOC. NO. 2018-83254
D.R.D.C.T.

REMAINDER OF
PUMP, LLC
DOC. NO. 2015-35701
D.R.D.C.T.

REMAINDER OF
W.E. STAHNKE, L.
WAYNE JOHNSON &
JERRY LASTELUCK
VOL. 6056, PG. 8
D.R.D.C.T.



WINDROSE
LAND SURVEYING | PLATTING

220 ELM STREET, SUITE 200 | LEWISVILLE, TX 75057 | 214.217.2544
FIRM REGISTRATION NO. 10194331 | WINDROSESERVICES.COM

LAND TITLE SURVEY OF
LOT 3, BLOCK A, KINGS ROAD ESTATES
SITUATED IN THE
H. KENDALL SURVEY, ABSTRACT NO. 713 & THE
M.E.P. & P.R.R. SURVEY, ABSTRACT NO. 919
DENTON COUNTY, TEXAS

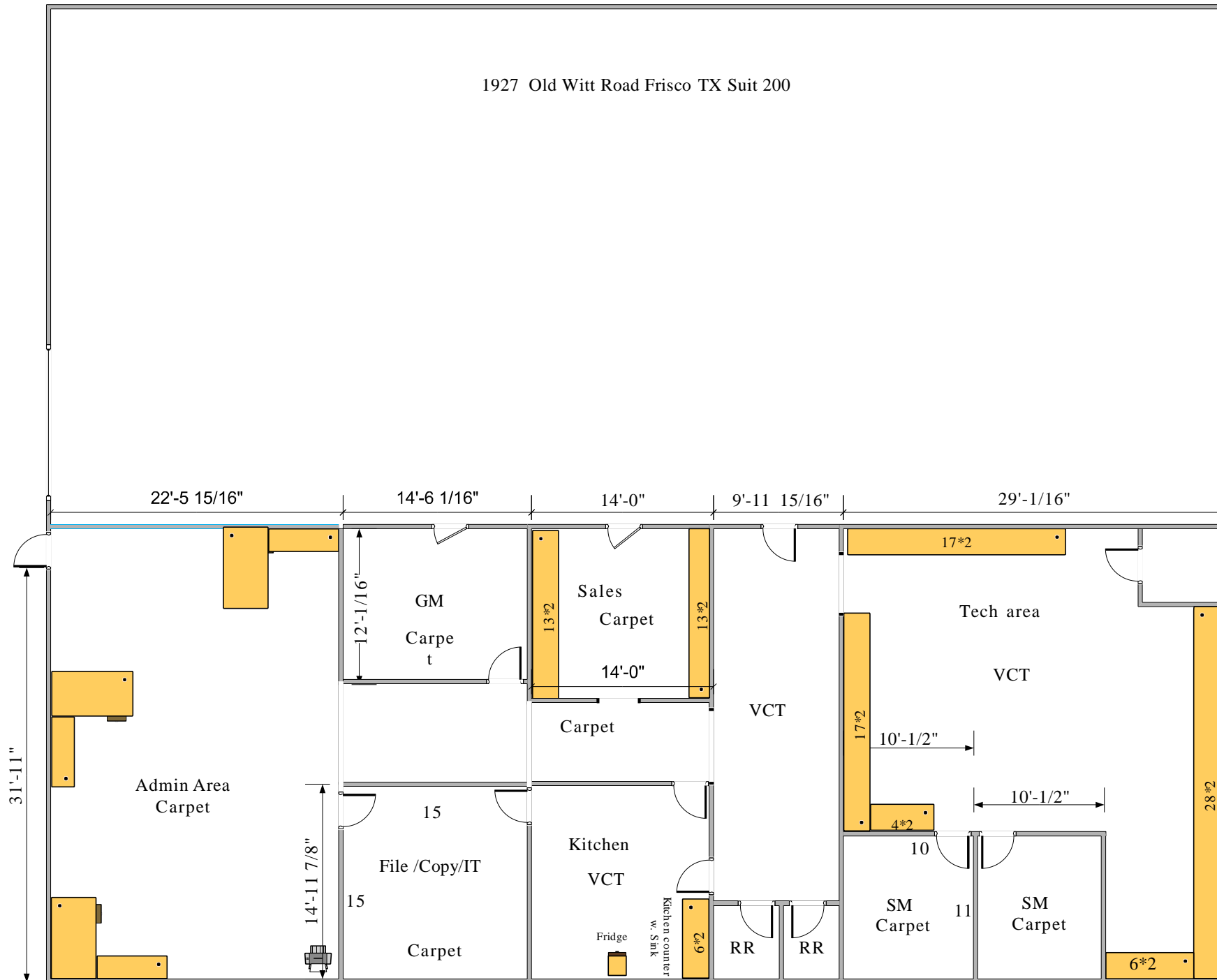
COPYRIGHT © WINDROSE LAND SERVICES THIS DOCUMENT IS COPYRIGHTED AND IS AN INSTRUMENT OF SERVICE FOR THE SPECIFIC PROJECT OR TRANSACTION FOR WHICH IT WAS PREPARED. REUSE, COPYING OR MODIFICATION OF THIS DOCUMENT WHETHER IN HARD COPY OR ELECTRONIC FORMAT OTHER THAN FOR THE SPECIFIC PURPOSE INTENDED, WITHOUT WRITTEN PERMISSION FROM WINDROSE LAND SERVICES IS A VIOLATION OF FEDERAL COPYRIGHT LAW.

FILED BY:	BLG	CHECKED BY:	MNP	JOB NO.	D56363-112986
DRAWN BY:	ER	DATE:	10/12/2020	SHEET NO.	1 OF 1

1927 Old Witt Road Frisco TX Suit 200

4,000 sq ft

Product
and
Equipment
Storage



2,700 sq ft

Office



TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/02/2022

OVERVIEW

Project	PUBLIC HEARING/ Liquor King (SUP-22-01130)
P&Z Hearing	06/02/2022
Council Hearing	July 5, 2022
Size	3,916 square feet
Current Zoning	Planned Development (Light Commercial Base)
Proposed Use	Retail/Commercial
Existing Use	Vacant
Future Land Use Plan Designation	Retail/Commercial
Applicant	Mihir Varia
Owner	Venkata Panchumarthi
Strategic Goal	

Agenda Item

PUBLIC HEARING/ Liquor King (SUP-22-01130). Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a Liquor Store use, located at 1951 FM 423, currently zoned Planned Development - Light Commercial (LC), through Ordinance No. 1457, as amended by Ordinance No. 1474, in order to allow for the sale of alcoholic beverages for off-site consumption only.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Located at 1951 FM 423, on the southeast corner of Smotherman Road and FM 423, within Little Elm town limits.

Planning Analysis

Background.

Subject property is currently zoned Planned Development - Light Commercial (PD-LC), through Ordinance No.1457, as amended by Ordinance No. 1474. This PD covers multiple parcels and contains a three building multi-tenant shopping center known as Siri's Crossing, with a mix of retail, office, and restaurant tenants. The subject property currently houses newly constructed, single-story, strip retail buildings with space for several new, and pending, neighborhood retail type businesses. The proposed liquor store would occupy two end-cap suites on the north side of Building 2, totaling 3,916 square-feet, opposite of BrassTap.

Per Section 106.01.13, a Liquor Store is defined as "A facility for the sale of beer, wine, and/or liquor not for on-premises consumption that derives 75 percent or more of its gross revenue from the on-premises sale of beer, wine, and/or liquor."

Section 106.05.02.2 (o) provides 3 provisions for a liquor store:

1. A liquor store may be no less than 1,000 ft from another liquor store. (The nearest liquor store is over 2,000 feet to the north of the Lot)
2. Prior to issuance of a certificate of occupancy, the business owner shall provide the town with a copy of its state permit to operate a liquor store.
3. All alcohol-related activities must meet all standards found in [Chapter 10](#), alcoholic beverages, of the Little Elm Code of Ordinances.

Chapter 106 of the Little Elm Code of Ordinances allows liquor store uses to locate within the Light Commercial (LC) district, through a Specific Use Permit (SUP). The purpose of the SUP requirement is to allow the Town to determine the situational suitability and appropriateness of each particular proposal. This allows review of the proposed operation any potential nuisances, as well as possible mitigation efforts, on a case by case basis. Thus, the Administration has broad discretionary approval of the requested SUP.

Proposal

The applicant is requesting approval of a liquor store as an allowed use on the subject property, for the purposes of on-premises sales of alcoholic beverages for off-premise consumption only. The applicant has provided a letter of intent describing a high-end, neighborhood one-stop-shop for beer, wine, and liquor.

The proposal includes a total SUP area of 3,916 square feet, with the submitted floor plan showing a typical retail store layout with aisles of shelves, walk-in-cooler, liquor storage, restrooms, and checkout area. The applicant has also provided pictures of the interior space of other liquor stores they own as a concept for the interior of this store, which will be adopted as part of the SUP Ordinance as the minimum standard.

Parking.

The proposed use is required to be parked at a ratio of one parking space per 200 square feet of floor area. The existing site was developed through an approved Concept Plan, which included two mixed-use (retail and restaurant) multi-tenant commercial buildings totaling 35,992 square-feet, requiring a total of 180 parking spaces at full tenant occupancy. The site provides a total of 188 parking spaces which meets parking requirements.

Development Standards.

This site was developed through an approved Concept Plan and, except for combining the two suites, the applicant is not making any exterior changes or site improvements in order to accommodate the proposed use. Therefore, no additional site requirements were reviewed at this time.

Comprehensive Plan.

The Future Land Use Plan (FLUP) designates the subject property with a retail/commercial land use category, which is appropriate for the proposed establishment. Therefore, the requested SUP, if approved, would not be in conflict with the Town's vision for this area.

Recommended Action

The purpose of an SUP is to add or modify specific land use rights to those already granted within a zoning district. Section 106.02.17 provides that each request considers the intensity of the proposed use within the context of the proposed location based on compatibility and suitability, and in evaluating the compatibility of the proposed use within the existing area context, "the town council may impose such additional development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, odor, gas, explosion, glare, offensive view, or other undesirable or hazardous conditions."

Given the purpose of a Specific Use Permit, Staff believes there are several possible conditions that could be placed on this SUP request to help make it more appropriate within the context of the existing shopping center, as well as its proximity to other uses.

1. Prior to issuance of a certificate of occupancy, the business owner shall provide the town with a copy of its state permit to operate as a bar, brewpub, or similar use.
2. All alcohol-related activities must meet all standards found in Chapter 10, Alcoholic Beverages, of the Little Elm Code of Ordinances.
3. No shelving in front of the glazing and limited window signage coverage or none at all.

Staff recommends the Planning and Zoning Commission evaluate the proposed SUP request based on the presented information, in accordance with Section 106.02.17, and make a recommendation accordingly.

Attachments

Location Map

SUP Exhibits



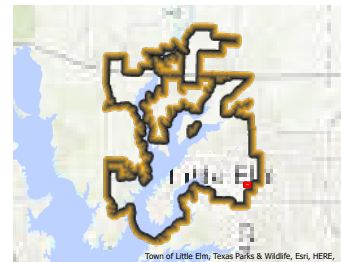
SUP 1951 FM 423 Suite opposite of Brass Tap

0 0.01 0.02 0.04 Miles



Town of Little Elm
Denton County, Tx

Date: 5/20/2022



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.



“The best liquor connoisseurs in the metroplex.”

Dt: 01/31/2022

Liquor King will be a neighborhood liquor store that will be located in centralized area between a residential neighborhood and a busy business district in little elm, Texas at 1931 F.M. 423

We are in the liquor store business to make profits at the same to give our customers value for their money and time; we want to give people who patronize our liquor store the opportunity to choose not only from a wide range of both locally and imported liquors but also from a wide range of beers and other alcoholic drinks that are manufactured in the United States of America. We know that our customers are the reason why we are in business which is why we will go the extra mile to get them satisfied when they visit our liquor store and also to become our loyal customers and ambassadors. Liquor King will ensure that all our customers are given first class treatment whenever they visit our store.

Liquor King is owned by Mr. Mihir Varia who has successfully managed and owned 4 locations within the DFW metroplex. It is a family business that will be managed alongside his immediate family member.

Liquor King is going to operate a standard and licensed neighborhood liquor store that will retail a wide range of liquors, beers and fine wines just like any other licensed and standard liquor store in the state of Texas.

Liquor King does not intend to start a liquor retailing business like the usual mom and pop business around the street corner; our intention of starting a liquor retail business is to build a high end finish liquor store that will be a one – stop shop for liquors, craft beers and fine wines which is why we will ensure that we put the right structure in place that will support the kind of growth that we have in mind while setting up the business.

Sincerely,

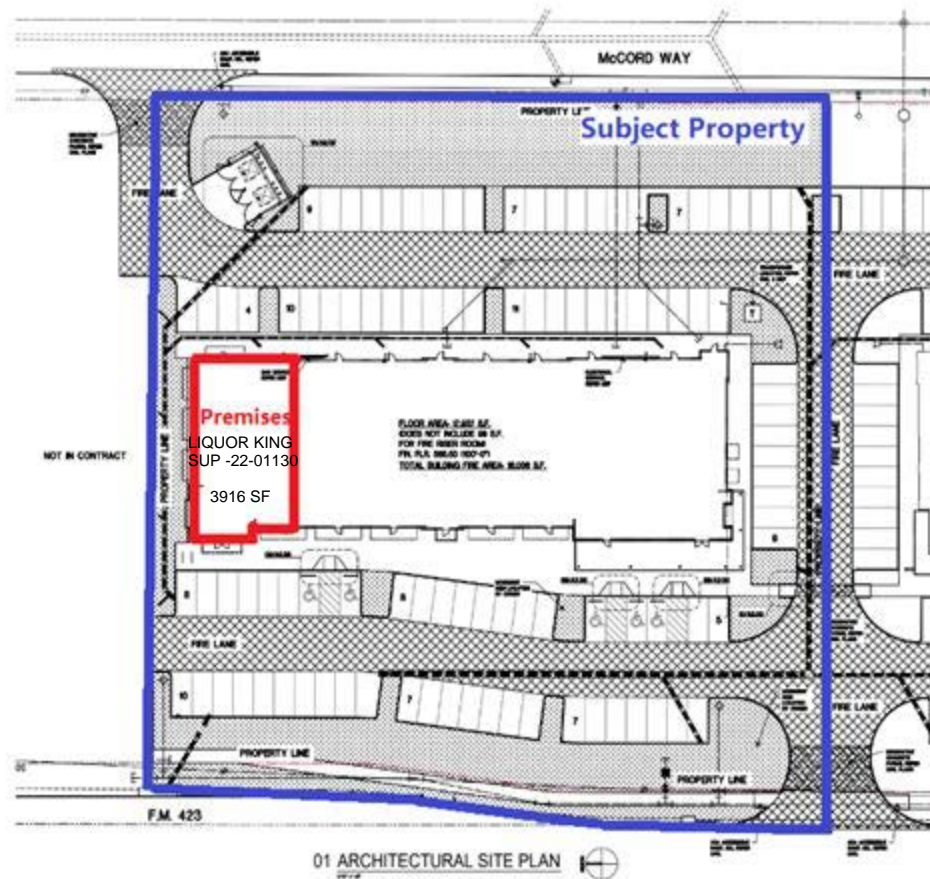
Mihir Varia

Mihir Varia

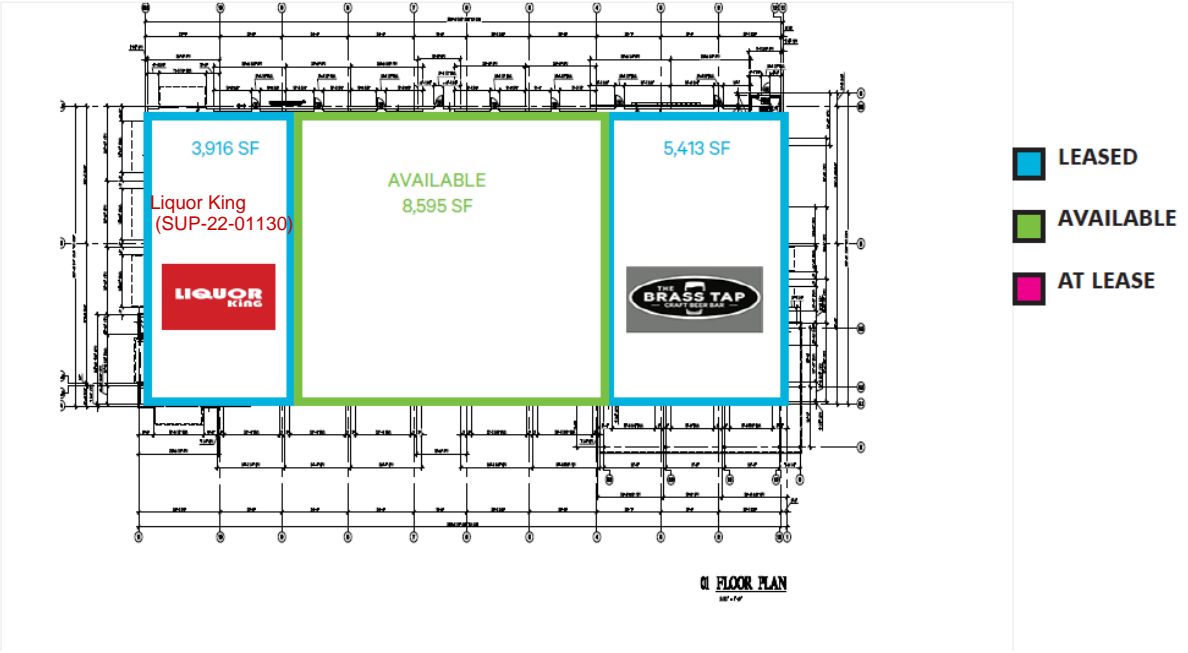
EXHIBIT A

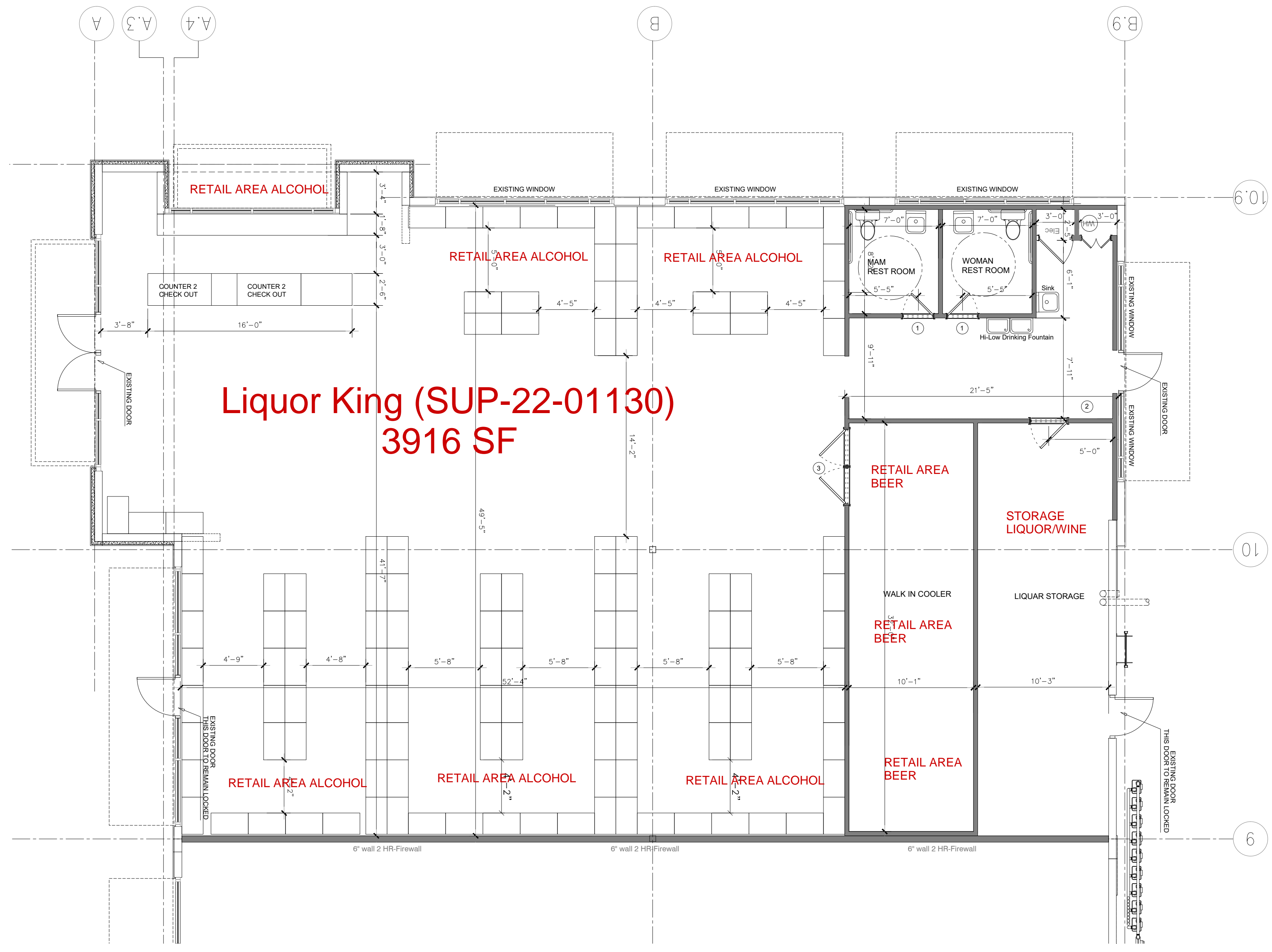
OUTLINE OF PREMISES

This Exhibit is attached to this Lease solely for the purpose of locating the Premises within the Center and depicting the general layout of the Center and shall not be deemed to be a representation, warranty or agreement by Landlord as to any information shown hereon or that the Center or stores be exactly as indicated hereon.



PREMISES





Liquor King (SUP-22-01130)
3916 SF

PROPOSED FLOOR PLAN

SCALE : 3/16"=1'-0"

DDR CONSULTING ENGINEERING
952 Windy Meadow Dr.
Plano TX 75023-4953
Registration Number F-13518

1931 FM 423, Little Elm,
TX 75078

Project Number:
Drawn By:SN
Checked By:RK
Date Issued:03/11/22

SHEET NUMBER
A1.0



01 (FRONT) WEST ELEVATION



02 (SIDE) NORTH ELEVATION

1/16" = 1'-0"



03 (SIDE) SOUTH ELEVATION

1/16" = 1'-0"



04 (REAR) EAST ELEVATION

1/16" = 1'-0"

COTTONWOOD CROSSING 2

LITTLE ELM, TEXAS
TEXAS PROPERTIES



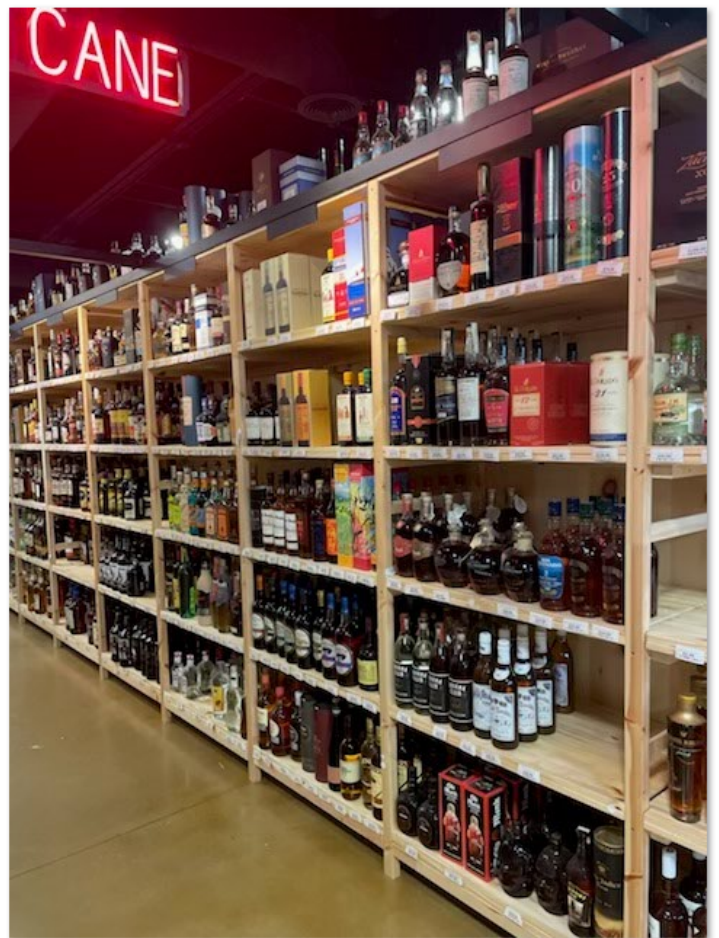
DALLAS, TX 972.385.9651
www.GSOarchitects.com
COPYRIGHT © 2018 GSO ARCHITECTS, INC.
THESE DRAWINGS, OR PARTS THEREOF, MAY NOT BE REPRODUCED IN ANY FORM, BY ANY METHOD,
FOR ANY PURPOSE, WITHOUT PRIOR WRITTEN CONSENT FROM GSO ARCHITECTS, INC.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

EL01

JOB NO: ---
ISSUE DATE: ---
SCALE: AS NOTED









TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/02/2022

OVERVIEW

Project	PUBLIC HEARING/ Almost Home Tap House (SUP-22-02678)
P&Z Hearing	06/02/2022
Council Hearing	July 5, 2022
Size	1,859 square feet
Current Zoning	Light Commercial (LC)
Proposed Use	Commercial
Existing Use	Commercial
Future Land Use Plan Designation	Retail/Commercial
Applicant	David Myers and Oliver Serrano
Owner	Scgx-Lake Shore Crossing Llc
Strategic Goal	

Agenda Item

PUBLIC HEARING/ Almost Home Tap House (SUP-22-02678). Public hearing, discussion, and take action on a recommendation regarding a request for a Specific Use Permit (SUP) for a Bar/Brewpub use, located at 850 W. Eldorado Parkway, Suite 700, currently zoned Light Commercial (LC), in order to allow for the sale and consumption of alcoholic beverages for on-premises consumption only.

- Staff Report/Applicant Presentation
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Located at 850 W. Eldorado Parkway, Suite 700, on the south side of Eldorado Parkway, approximately 500 feet southwest of Lobo Lane, within Little Elm town limits.

Planning Analysis

Background.

Subject property is currently zoned Light Commercial (LC) and has an existing Specific Use Permit (SUP), through Ordinance No. 1240, for the allowance of an auto leasing use. The subject property consists of one commercial building but is part of a larger multi-building multi-tenant shopping center with a mix of retail, office, auto, and restaurant tenants. The proposed establishment would occupy the currently vacant 1,504 square-foot Suite 700 as well as include a 355 square-foot outdoor patio. This suite was previously used by "Craft House" which was a similar use and also had an outdoor bar area.

A "Bar" or "Brewpub" is defined as "An establishment principally for the sale and consumption of alcoholic beverages on the premises that derives 75 percent or more of its gross revenue on a quarterly (three-month) basis from the sale or service of alcoholic beverages, as defined in the Texas Alcoholic Beverage Code, for on-premises consumption." - 106.05.02.2 (e) Chapter 106 stipulates that, among other requirements, a bar requires a Specific Use Permit (SUP) be issued for the bar to legally operate.

Chapter 106 of the Little Elm Code of Ordinances allows liquor store uses to locate within the Light Commercial (LC) district, through a Specific Use Permit (SUP). The purpose of the SUP requirement is to allow the Town to determine the situational suitability and appropriateness of each particular proposal. This allows review of the proposed operation any potential nuisances, as well as possible mitigation efforts, on a case by case basis. Thus, the Administration has broad discretionary approval of the requested SUP.

Proposal.

The applicant is requesting approval of a bar as an allowed use on the subject property within Suite 700, for the purposes of beer and wine sales for on-premise consumption only. The applicant has provided a letter of intent describing an upscale and friendly environment, as well as sample of interior atmosphere that they are intending to provide in this location. The submitted floor plan shows a total SUP area of 1,859 square feet, with an interior bar area and table and counter seating, and outdoor patio with table and counter seating.

Parking.

The proposed use is required to be parked at a ratio of one parking space per 100 square feet of indoor floor area. Only outdoor patios over 500 sq. ft. need to be calculated as part of the parking requirements, this patio is only 355 sq. ft. This suite would require 15 parking spaces. The existing site was developed with a 17,447 square-foot multi-tenant commercial building, which requires a total of 75 parking spaces at full tenant occupancy. The site provides a total of 75 parking spaces which meets parking requirements.

Development Standards.

This site was developed through an approved Concept Plan and since the applicant is not making any exterior changes or site improvements in order to accommodate the proposed use, no additional site requirements were reviewed at this time.

Comprehensive Plan.

The Future Land Use Plan (FLUP) designates the subject property with a retail/commercial land use category, which is appropriate for the proposed establishment. Therefore, the requested SUP, if approved, would not be in conflict with the Town's vision for this area.

Recommended Action

The purpose of an SUP is to add or modify specific land use rights to those already granted within a zoning district. Section 106.02.17 provides that each request considers the intensity of the proposed use within the context of the proposed location based on compatibility and suitability, and in evaluating the compatibility of the proposed use within the existing area context, "the town council may impose such additional development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, odor, gas, explosion, glare, offensive view, or other undesirable or hazardous conditions."

Given the purpose of a Specific Use Permit and stipulations for a "Bar" use in chapter 106, Staff recommends the following conditions be required with SUP approval:

1. Prior to issuance of a certificate of occupancy, the business owner shall provide the town with a copy of its state permit to operate as a bar, brewpub, or similar use.
2. All alcohol-related activities must meet all standards found in Chapter 10, Alcoholic Beverages, of the Little Elm Code of Ordinances.

Staff recommends the Planning and Zoning Commission evaluate the proposed SUP request based on the presented information, in accordance with Section 106.02.17, and make a recommendation accordingly.

Attachments

Location Map

SUP Exhibits



Legend

- Town ETJ
- Town Limits
- Parcels
- Subject Area
- Subject Property
- 200' Subject Area Buffer

Source: Town of Little Elm, NearMap, Denton County Appraisal District

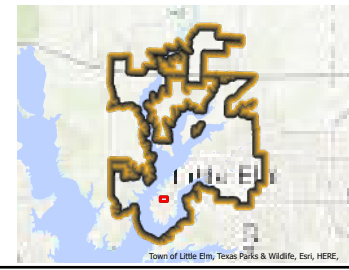


SUP 850 W. Eldorado Parkway Suite 700

0 0.01 0.03 0.05 Miles



Town of Little Elm
Denton County, Tx
 Date: 5/19/2022



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.

David Myers & Oliver Serrano

Almost Home Taphouse

850 W. Eldorado Parkway, Suite 700
Little Elm, TX 75068
(504) 458-4317
almosthometaphouse@gmail.com



14th April 2022

To Whom May Concern,

Thank you for your consideration of our new business endeavor, Almost Home Taphouse. Our intention for this space is to reopen a craft beer and wine haven to serve the Little Elm Community. The scope of business will be similar to the prior tenant, Little Elm Crafthouse. Our mission is to be DFW's most loved craft beer haven in order to serve patrons better than anyone else with ridiculously delicious craft beer and local wine in an authentic, fun, and friendly environment that makes them feel like they are "almost home."

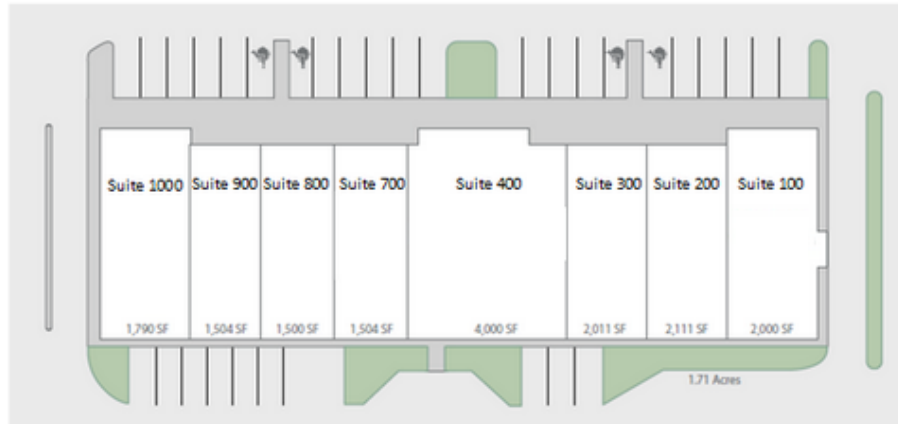
Thank you again for this opportunity to join the Little Elm business community.

Sincerely,

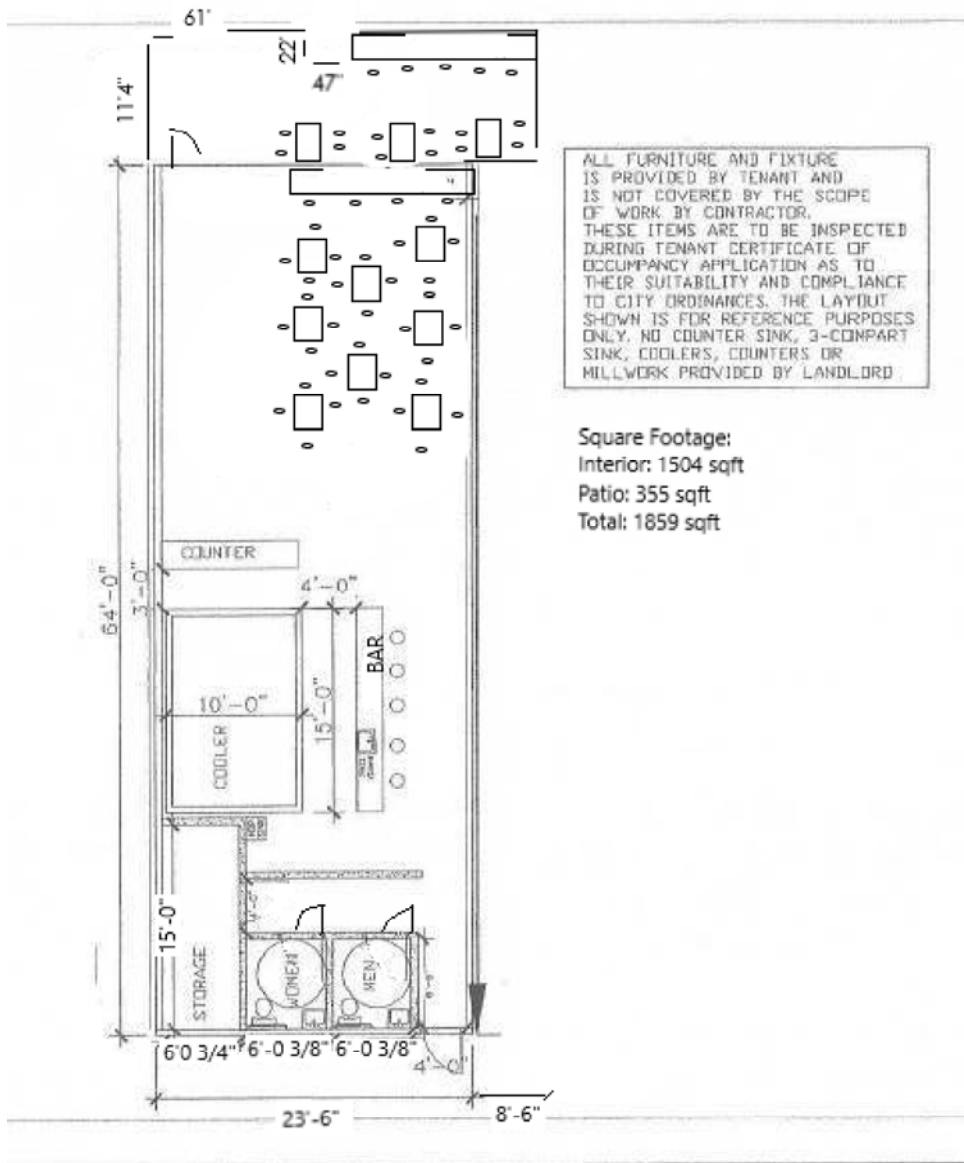
David Myers & Oliver Serrano

SITE PLAN OF SHOPPING CENTER

The site plan attached hereto is intended only to show the general layout of the Shopping Center or apart thereof. The site plan shall not be deemed to warranty or agreement by Landlord as to the shopping center, the premises, the existence of any particular tenant's or other stores or occupants or any matter shown thereon; and the site plan shows measurements and distances that are approximate and not scaled.



Suite 100 – Jimmy's Big Burgers
Suite 200 – Available
Suite 300 – Maharaja Indian Restaurant
Suite 400 – Available
Suite 700 – Almost Home Tap House
Suite 800 – Enterprise Rent-A-Car
Suite 900 – Margarita Hut
Suite 1000 – Mattress Guys



ALL FURNITURE AND FIXTURE IS PROVIDED BY TENANT AND IS NOT COVERED BY THE SCOPE OF WORK BY CONTRACTOR. THESE ITEMS ARE TO BE INSPECTED DURING TENANT CERTIFICATE OF OCCUPANCY APPLICATION AS TO THEIR SUITABILITY AND COMPLIANCE TO CITY ORDINANCES. THE LAYOUT SHOWN IS FOR REFERENCE PURPOSES ONLY. NO COUNTER SINK, 3-COMPART SINK, COOLERS, COUNTERS OR MILLWORK PROVIDED BY LANDLORD.

Square Footage:
Interior: 1504 sqft
Patio: 355 sqft
Total: 1859 sqft













TOWN OF LITTLE ELM PLANNING & ZONING COMMISSION

06/02/2022

OVERVIEW

Project	PUBLIC HEARING/ Village at Eldorado (PD-22-01649)
P&Z Hearing	06/02/2022
Council Hearing	July 5, 2022
Size	Approximately 1.5 Acres
Current Zoning	Planned Development
Proposed Use	Commercial
Existing Use	Commercial
Future Land Use Plan Designation	Retail/Commercial
Applicant	Daniel Stewart
Owner	2821 Eldorado LLC
Strategic Goal	

Agenda Item

PUBLIC HEARING/ Village at Eldorado (PD-22-01649). A request to rezone approximately 1.5 acres of land, currently zoned as Planned Development - Light Commercial (PD-LC) through Ordinance No. 484, generally located at 2821 Eldorado Parkway, on the south side of Eldorado Parkway, within Little Elm's town limits, in order to amend the existing Planned Development district, to allow a new commercial development with modified development standards.

- Staff Report
- Open Public Hearing
- Receive Public Comment
- Close Public Hearing
- Discussion and Recommendation

Location

Generally located at 2821 Eldorado Parkway, on the south side of Eldorado Parkway, approximately 550 feet East of FM 423, within Little Elm's town limits

Planning Analysis

Background.

Subject property is currently zoned Planned Development through Ordinance No. 484, which covers a total of 50 acres intended for low density residential and light commercial uses. Subject property is part of Tract A of the existing PD Concept Plan, which follows requirements of Light Commercial (LC) as the base zoning district. Tract A is currently developed and operating as a large mixed retail and restaurant use multi-tenant shopping center consisting of several lots and buildings. Subject property currently contains a vacant bank building.

Due to limitations of redeveloping an existing site, as well as the intent to subdivide the property into two lots, which would not meet the minimum acreage required for commercial lots, the property owner would need relief from various requirements of the Zoning Ordinance, and is therefore requesting to rezone the property to a new Planned Development district based on the Light Commercial (LC) district regulations with modified standards.

Proposal.

The proposed PD will consist of two separate lots, each containing a one-story quick service restaurant building with a drive-thru component. Lot 1 will encompass .65 acres and contain a 783 square-foot building, and Lot 2 will encompass the remaining .91 acres and contain a 2,858 square-foot building, both with drive-thru facilities in the rear of the site.

The property owner is proposing to meet all of the requirements outlined within the Light Commercial (LC) zoning district, with the following deviations:

1. Minimum Lot Size of 0.5 Acres
2. Reduction to tree spacing along internal pedestrian connections
3. Reduction of required landscape buffer along Eldorado Parkway
4. Minimum Parking Stall size 9 feet by x18 feet
5. Waiver to the requirement to provide curb stops and electric vehicle charging station infrastructure
6. Group A façade materials reduced to 70% minimum and maximum of 30% Group B materials
7. Reduction of façade window glazing percentages
8. Waiver to the requirement to screen rooftop mechanical equipment
9. Waiver to dumpster enclosure materials

The following sections outline how the proposed development is deviating from the current standards.

Uses. Restaurant uses with drive-thru facilities are allowed within the Light Commercial (LC) zoning district.

Design Standards. Proposed elevations for Lot 1 show the building to be constructed primarily of brick and stone with less than 30% of EIFS on each facade. The proposed building design provides minimal vertical building articulation, minimal horizontal articulation, is composed of muted earth tones, and utilizes the materials, colors, and awnings in order to provide minimal separation of the different portions of the building, in an effort to meet tripartite design requirements.

Proposed elevations for Lot 2 show the building to be constructed primarily of brick and stone with less than 30% of siding on each facade. However, while Hardie Board is classified as Material B, a lower masonry material, the composition of the proposed Lap Siding is not clearly identified. Lap Siding could potentially consist of wood instead of fiber cement, moving it into a Material C designation, which is only allowed to be used as a minor accent on a facade. The proposed building design provides minimal vertical building articulation, minimal horizontal articulation, is composed of muted earth tones, and utilizes the materials, colors, and awnings in order to provide minimal separation of the different portions of the building, in an effort to meet tripartite design requirements. Additionally, it does not appear that the rooftop mechanical equipment is being properly screened per the Town's screening requirements.

The applicant is requesting a minimum of 70% Material A, instead of the typical 80%, 30% Material B, instead of the typical 20%, and minimum glazing requirements to be captured as they appear on the facade plans, instead of the required 30%.

Landscaping. Proposed landscape plans comply with most of the requirements listed in Section 106.06.18 with the exception of the following. Landscape plans do not meet regulations for commercial properties requiring one tree along the internal pedestrian connections every thirty (30) linear feet. While the rest of the required trees are being provided, the new trees are being proposed at 2.5 to 3 caliper inches and do not meet the requirement to plant trees at least four inches in caliper when measured 12 inches above ground at time of planting. Regulations for commercial properties also require a minimum of twenty-five foot landscape buffer along Eldorado Parkway. This is a pre-existing condition on this site, resulting from the need for a deceleration lane into the shopping center. The property owner is requesting the landscape plans be approved as proposed and adopted into the new PD ordinance as the minimum requirements for this property.

Parking. Light Commercial district requires that restaurant uses be parked at one space per 100 square feet (patios under 500 square feet are exempt from parking requirements). Lot 1 is proposed to have a 783 square-foot restaurant, which requires eight parking spaces and the site provides 12. Lot 2 is proposed to have a 2,858 square-foot restaurant, which requires 29 parking spaces and provides 30. All parking spaces are being proposed at 9 feet wide by 18 feet long, which is consistent with the parking space sizing of the existing shopping center. Therefore, the property owner is requesting the parking dimensions to be approved as part of this PD request.

The proposed plans also do not provide the required curb stops for all perimeter parking spaces or electric vehicle charging station infrastructure. The property owner is requesting these requirements be waived as part of this PD request.

Fire. The fire department has reviewed and approved the proposed plans.

Dumpster. Since the proposed PD subdivides the property into two individual lots, both lots are required and providing double dumpster areas per site. However, screening regulations require that dumpsters enclosures shall be a minimum of eight-foot in height, constructed of brick or stone wall, of a color that is consistent with the color of the primary building, and in general shall be visually and aesthetically compatible with the overall project. The existing single dumpster enclosure is currently constructed of CMU, therefore the property owner is requesting to keep the existing and provide the new dumpster enclosures all of CMU. Additionally, evergreen shrubs, 24 inches in height at the time of planting, are required to be planted on the three solid masonry sides of the dumpster enclosure, spaced three feet on center, which is not met on Lot 2.

Comprehensive Plan. The future land use of this area is identified as retail and commercial. The proposed quick service restaurant tenants align with the Town's vision for this area.

Recommended Action

Development standards exist in order to ensure quality and longevity of future development. The proposed PD requests several modified development standards in order to work around the challenges, and within the confines, of an existing developed site envelope. This is just one of many redevelopment sites that will continue to arise as the Town continues to grow, therefore it is important to consider the level of flexibility from the Administration as we move forward with these types of requests.

While Staff is in support with most of the reasonable and minor waiver requests as a trade-off for an otherwise enhanced site and landscape design, Staff believes there are some minor additional opportunities to move the site further in the direction of meeting the Town's standards and elevate the proposed development overall.

Staff believes that the following items are important in order to make this development fit into the vision for this area and encourage continued exceptional redevelopment.

Enhance building design.

While Staff realizes these are quick service drive-thru restaurants, they are locating at one of the

busiest intersections, of Eldorado Parkway and FM 423, especially with adjacency to Frisco, and where all four corners are composed of large highly-trafficked shopping centers. Staff believes the proposed building designs lack in unique character and do not fully provide the tripartite design requirement. There is opportunity to provide additional visual interest through even minor enhanced design elements or architectural features, and increased glazing, even if faux, to better meet the tripartite requirements, meet the gazing requirements, and to enhance the aesthetic of the proposed buildings overall. Additionally, Staff does not support the use of lap siding as a masonry material unless clearly identified as such on the plans, or the lack of screening for the rooftop mechanical equipment for Lot 2.

Provide curb stops and electric vehicle charging station infrastructure.

This requirement does not take up room on the site as it utilizes existing parking spaces, and does not require the property owner to actually provide the charging stations, just provide the infrastructure necessary to install these stations in the future. This item is important because it promotes sustainability and encourages new developments to move into the future of the growing demand for innovative vehicle options. Curb stops are required for parking spaces around the perimeter of the site in order to protect and ensure the survivability of landscaping.

Enhance dumpster enclosures.

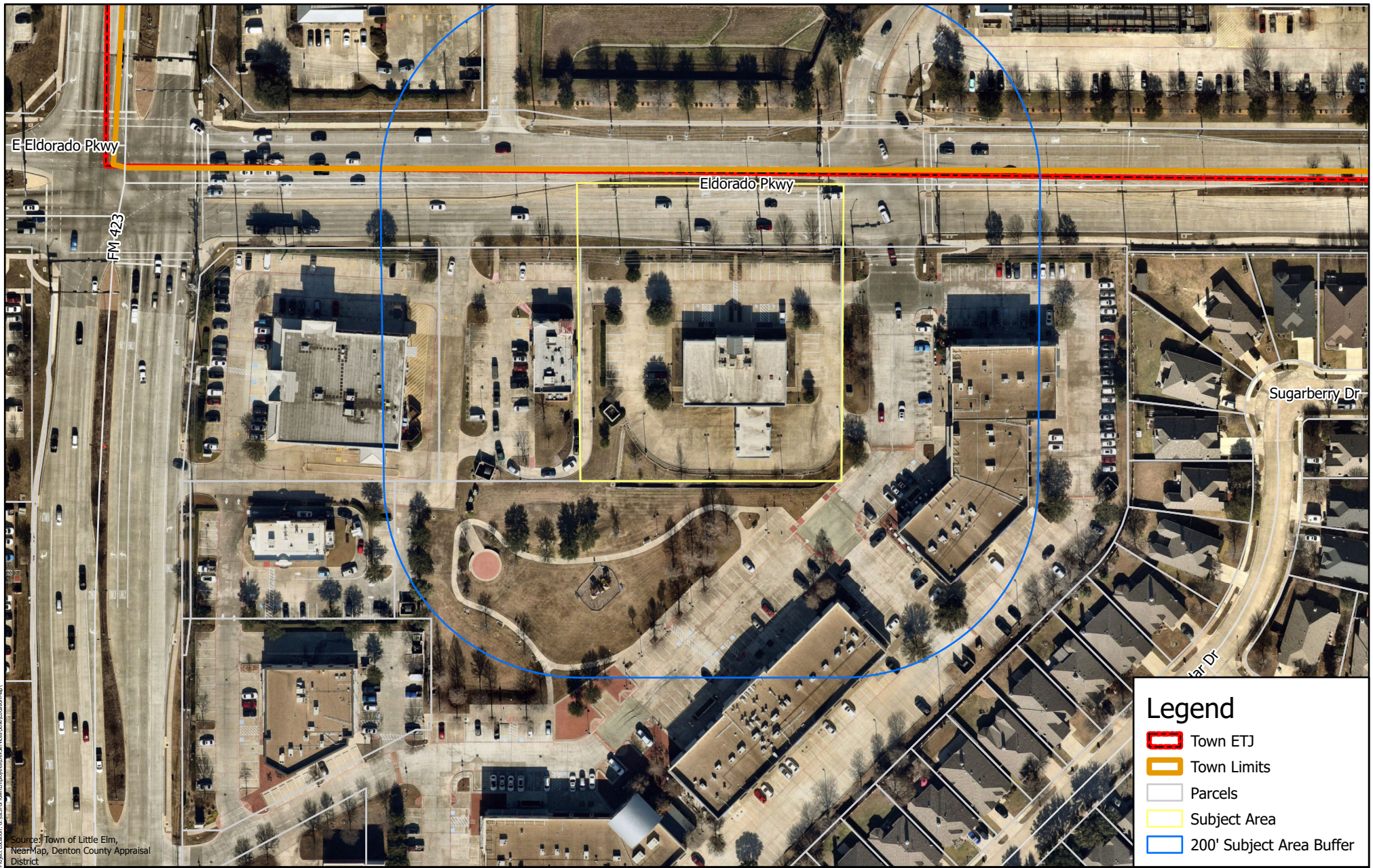
Screening regulations require that dumpster enclosures be a minimum of eight-foot in height, constructed of brick or stone wall, of a color that is consistent with the color of the primary building, and in general shall be visually and aesthetically compatible with the overall project. Staff does not support to continued use of CMU or stucco materials on dumpster enclosures. Additionally, evergreen shrubs, 24 inches in height at the time of planting, are required to be planted on the three solid masonry sides of the dumpster enclosure, spaced three feet on center, which is not met on Lot 2. While typically dumpster locations are at the back of a site, the rear portions of these lots face the large shopping center behind them. Staff believes that all dumpster enclosures on site should be constructed of appropriate masonry materials and colors that match the primary buildings.

Staff believes that if the Planning and Zoning Commission considers the approval of this item with the conditions for improvement as stated above, all applicable plans should have to be amended in order to accommodate the above items before proceeding to Town Council.

Staff recommends that the Planning and Zoning Commission review this request based on the impact and suitability of the proposed development within the context of the existing area, and the importance of the development standards from which the property is requesting to vary, as well as how the proposed development benefits the Town overall.

Attachments

Location Map
PD Exhibits



Legend

- Town ETJ
- Town Limits
- Parcels
- Subject Area
- 200' Subject Area Buffer



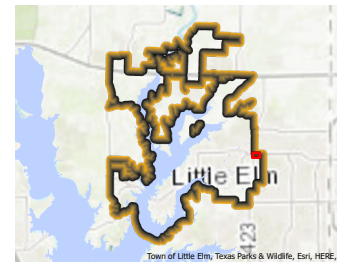
Planned Development (Zoning Change) 2821 Eldorado Parkway

0 0.01 0.03 0.05 Miles



**Town of Little Elm
Denton County, Tx**

Date: 5/19/2022



This product is to be used for graphical representation only. The accuracy is not to be taken/used as data produced for engineering purposes or by a Registered Professional Land Surveyor for the State of Texas. For this level of detail, supervision and certification of the produced data by a Registered Professional Land Surveyor for the State of Texas would have to be performed. Town of Little Elm and its members assume no responsibility for the accuracy of said data.



TOWN OF LITTLE ELM COMMERCIAL REVIEW COMMENTS

April 12, 2022

OVERVIEW

Project	2821 E Eldorado (PD-22-01649)
Applicant	Daniel Stewart

****Please use this form to submit all comment returns to Development@littleelm.org****

Planning

1. From previous discussions, there is opportunity to provide a proper sidewalk connection along the entire frontage and to bring in the sidewalk connection to the west of the existing one, since the site no longer aligns with that old connection. I think something like this could be viable, and would be preferable to the old connection.
2. In the site data table please provide lot acreage per lot, provide a breakdown of the proposed building sq ft per lot, with parking requirement and provision per lot.
3. Title block refers to this project as The Village at Eldorado. Is this the development name you would like to pursue with? This name will be utilized moving forward for all future submittals, not just zoning, this includes any and all future projects and construction. Just making sure.
4. Indicate size of proposed patio.
5. Dumpster enclosure must be at least 8 feet in height, and be constructed of masonry materials matching the building on site.
6. Provide one bike rack.
7. Please follow the landscape checklist to provide the required information and data tables.
8. Please review landscape requirements for commercial properties and provide the necessary tree plantings.
9. Existing site trees need to be identified in the table to ensure parking lot shade tree requirements can be met.
10. Provide dimensions and indicate the required landscape buffers, while front yard landscape might not be fully met, there needs to be at least a 5 foot buffer between all lots. Indicate this is being met.
11. Miscanthus Grass and Berkley Sedge are not on the approved list. Provide justification why being used over approved plant materials and what does they most closely resemble from the approved list.
12. Remove exterior signage from all facade plans. Add note that all exterior signage is part of a separate permitting process.
13. Dash in rooftop equipment and ensure it is fully screened
14. Please utilize the facade plan checklist in developing the facade plans.
15. Since this is a PD request, we would encourage the use of higher quality materials like brick, stone, or nichiha type product, in order to minimize such materials like hardie board and stucco.
16. Need to see color elevations for both buildings.
17. Please review architectural requirements for commercial properties, facades are required to provide horizontal and vertical articulation, tripartite design, and muted earth tones. Please revise facades accordingly.
18. Need to provide PD Standards, similar to the sample provided. Listing out the base zoning district, and then going through each individual section like Use, Area Requirements, Architectural Standards, Landscaping, etc. and indicating whether the proposed developments fully comply and if not, then provide how they vary. Last page of the PD narrative should list out the items that cannot be met as requested modified standards, and how they differ from the required.

19. Must return revised plan as one file, not individual pages, and must provide comment response sheet with explanations.

Fire

1. Need to provide a second Fire hydrant for Lot 1

Engineering

1. Provide sidewalk improvements along Eldorado Parkway. Staff understands that there are existing constraints in the area, but a reasonable effort to include walkability improvements is needed.
2. Revise the plan to relocate existing crosswalks and curb ramps as needed to accommodate the proposed layout.
3. Please note that any modifications to the existing detention pond will require a separate engineering analysis.
4. Provide a legend on all plan sheets that include any abbreviations.



April 19, 2022

Town of Little Elm
Planning Department
100 W. Eldorado Parkway
Little Elm, TX, 75068

Re: Comment Response Letter
Village at Eldorado PD
DEC Job #10102

Dear: Planning Department

The PD submittal for the referenced project have been revised to address review comments from the Town of Little Elm received on April 12, 2022. Below is a summary of how each comment was addressed.

Comment	Response
PLANNING	
1. From previous discussions, there is opportunity to provide a proper sidewalk connection along the entire frontage and to bring in the sidewalk connection to the west of the existing one, since the site no longer aligns with that old connection. I think something like this could be viable, and would be preferable to the old connection.	Sidewalk has been added and shown on the Site Plan.
2. In the site data table please provide lot acreage per lot, provide a breakdown of the proposed building sq ft per lot, with parking requirement and provision per lot.	Site Data Table has been revised.
3. Title block refers to this project as The Village at Eldorado. Is this the development name you would like to pursue with? This name will be utilized moving forward for all future submittals, not just zoning, this includes any and all future projects and construction. Just making sure.	Name will remain Village at Eldorado.
4. Indicate size of proposed patio.	Patio has been deleted.
5. Dumpster enclosure must be at least 8 feet in height, and be constructed of masonry materials matching the building on site.	Noted.

6. Provide one bike rack.	Bike rack is shown on Site Plan.
7. Please follow the landscape checklist to provide the required information and data tables.	Noted.
8. Please review landscape requirements for commercial properties and provide the necessary tree plantings.	Noted.
9. Existing site trees need to be identified in the table to ensure parking lot shade tree requirements can be met.	Existing trees have been identified.
10. Provide dimensions and indicate the required landscape buffers, while front yard landscape might not be fully met, there needs to be at least a 5 foot buffer between all lots. Indicate this is being met.	Dimension have been added to Site Plan.
11. Miscanthus Grass and Berkley Sedge are not on the approved list. Provide justification why being used over approved plant materials and what does they most closely resemble from the approved list.	Plant materials have been revised
12. Remove exterior signage from all facade plans. Add note that all exterior signage is part of a separate permitting process.	Removed.
13. Dash in rooftop equipment and ensure it is fully screened	Added to Façade Plan.
14. Please utilize the facade plan checklist in developing the facade plans.	Noted.
15. Since this is a PD request, we would encourage the use of higher quality materials like brick, stone, or nichiha type product, in order to minimize such materials like hardie board and stucco.	Materials shown on Façade Plan.
16. Need to see color elevations for both buildings	New color elevations provided.

17. Please review architectural requirements for commercial properties, facades are required to provide horizontal and vertical articulation, tripartite design, and muted earth tones. Please revise facades accordingly.	Facades have been revised.
--	----------------------------

18. Need to provide PD Standards, similar to the sample provided. Listing out the base zoning district, and then going through each individual section like Use, Area Requirements, Architectural Standards, Landscaping, etc. and indicating whether the proposed developments fully comply and if not, then provide how they vary. Last page of the PD narrative should list out the items that cannot be met as requested modified standards, and how they differ from the required.	PD standard similar to the example has been prepared.
---	---

19. Must return revised plan as one file, not individual pages, and must provide comment response sheet with explanations.	Comment letter has been prepared.
--	-----------------------------------

Fire

1. Need to provide a second Fire hydrant for Lot 1	A fire hydrant has been added to the plans.
--	---

Engineering

1. Provide sidewalk improvements along Eldorado Parkway. Staff understands that there are existing constraints in the area, but a reasonable effort to include walkability improvements is needed.	Site plan has been revised to show sidewalk and accessible route.
--	---

2. Revise the plan to relocate existing crosswalks and curb ramps as needed to accommodate the proposed layout.	Site plan has been revised.
---	-----------------------------

3. Please note that any modifications to the existing detention pond will require a separate engineering analysis.	Note has been added to site plan.
--	-----------------------------------

4. Provide a legend on all plan sheets that include any abbreviations.	Legend has been provided on sheets.
--	-------------------------------------

April 19, 2022
Village at Eldorado
DEC Job No. 10102



Please contact my office with any questions or additional comments.

Sincerely,

Shawn Rockenbaugh, P.E.
Project Manager
Development Engineering Consultants, LLC

VLLAGE AT ELDORADO

PLANNED DEVELOPMENT REGULATIONS

MAY 9, 2022

PREPARED BY



DEVELOPMENT ENGINEERING CONSULTANTS, LLC
5300 TOWN & COUNTRY BOULEVARD, SUITE 150
FRISCO, TEXAS 75034
469-850-0060

**VILLAGE AT ELDORADO
PLANNED DEVELOPMENT DISTRICT
STATEMENT AND INTENT OF PURPOSE**

This zoning submittal encompasses approximately 1.56 total acres of land within the Town of Little Elm more fully described on the legal description attached as Exhibit A (the “Property”). The proposed use for the Property is Light Commercial use. This planned development (“PD”) will provide the zoning regulations, as depicted on Exhibit B, necessary to develop the site and the final layout must generally conform to Exhibit C.

It is the intent of this PD to alter the zoning for the Property from current zoning of PD through Ordinance No. 484, to a New PD - Light Commercial, specifically for the subject property. Any conflict between this PD and the Zoning Ordinance shall be resolved in favor of those regulations set forth in this PD, or as may be ascertained through the intent of this PD. As used herein “Zoning Ordinance” means the comprehensive zoning of the Town of Little Elm, Texas, in effect on the effective date of this Agreement, except as otherwise defined in this Agreement. Uses and development regulations specifically modified, designated or included in the PD shall not be subject to amendment after the date of the adoption of this PD (the “Effective Date”) (whether through an amendment of the Zoning Ordinance or otherwise), except through an amendment of this PD. Uses and development regulations which otherwise are not specifically modified, designated or included in this PD shall be controlled by the “Zoning Ordinance”, unless the context provides the contrary.

PROJECT LOCATION

The proposed PD governs 1.56 acres of land located at the current address of 2821 Eldorado Parkway, a former bank building (currently vacant). The legal description is included as (Exhibit A) and the approved site plan is included as (Exhibit C).

The project area is primarily surrounded by commercial uses. This PD will provide the opportunity to develop the Property for Light Commercial uses with modified development standards.

SITE PLAN

Exhibit C identifies and locates the proposed quick service restaurant lots within the Property. The plan consists of two drive through restaurant developments.

EXHIBIT A
LEGAL DESCRIPTION

BEING all of Lot 1, Block A of The Village at Eldorado, an addition to the Town of Little Elm, Denton County, Texas according to the plat thereof recorded under Cabinet W, Page 337 of the Plat Records of Denton County, Texas and being more particularly described as follows:

BEGINNING at a ½" iron rod at the northeast corner of said Lot 1, same being common with the northernmost northwest corner of Lot 2A, Block A of The Village at Eldorado, an addition to the Town of Little Elm, Denton County, Texas according to the plat thereof recorded under Cabinet W, Page 337 of the Plat Records of Denton County, Texas and being along the southerly right-of-way line of Eldorado Parkway (F.M. 2934);

THENCE, departing said right-of-way line of Eldorado Parkway and along the common line of said Lot 1 and said Lot 2A the following three (3) courses and distances:

- 1) South 00°07'12" West for a distance of 231.02 feet to a point for corner
- 2) South 45°16'23" West for a distance of 41.10 feet to a point for corner
- 3) North 89°52'15" West for a distance of 233.72 feet to a point for corner;

THENCE North 00°08'40" East and passing the southeast corner of Lot 1, Block 1 of KFC/Long John Silvers Addition, an addition to the Town of Little Elm, Denton County, Texas according to the plat thereof recorded under Cabinet W, Page 337 of the Plat Records of Denton County, Texas at a distance of 20.00 feet and continuing along the common line of said Lot 1, Block A of The Village at Eldorado Addition and said Lot 1, Block 1 of KFC/LONG JOHN SILVERS ADDITION for a total distance of 260.01 feet to a point for corner, said point being in the southern right-of-way line of Eldorado Parkway;

THENCE South 89°52'16" East along the southern right-of-way line of Eldorado Parkway (F.M. 2934) for a distance of 262.75 feet to the POINT OF BEGINNING and containing 1.56 acres of land (67,909 square feet), more or less.

**EXHIBIT B
VILLAGE AT ELDORADO
STANDARDS**

DEVELOPMENT CONDITIONS FOR PD:

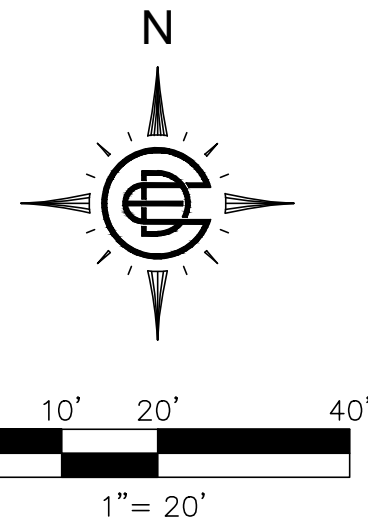
- 1) Use Regulations. No building, structure, land or premises will be used, and no building or structure shall hereafter be erected, constructed, reconstructed or altered except for one more of the uses specified in 106.05.01(e), "LC- Light Commercial District"
- 2) Base Zoning District. The permitted uses and standards shall be in accordance with the Light Commercial (LC) zoning district, unless otherwise specified herein.
- 3) Height and area regulations.
 - a. The height of buildings, the minimum dimensions of lots and yards, and the minimum lot area will conform to 106.03.03(e)(2) "Zoning Districts, LC- Light Commercial", except for minimum lot area. The minimum lot area shall be 0.50 acres. The revised standards for this PD are as follows;

ARTICLE III, TABLE U	
LC LIGHT COMMERCIAL DISTRICT DEVELOPMENT STANDARDS	
Maximum Height	60'
Minimum Front Yard Setback	20'
Maximum Front Yard Setback	100'
Minimum Side Yard Setback	No minimum
Minimum Side Yard Setback adjacent to residential	5'
Minimum Rear Yard Setback	No minimum
Minimum Rear Yard Setback adjacent to residential	35'
Minimum Lot Width	50'
Minimum Lot Area	0.5 Acres

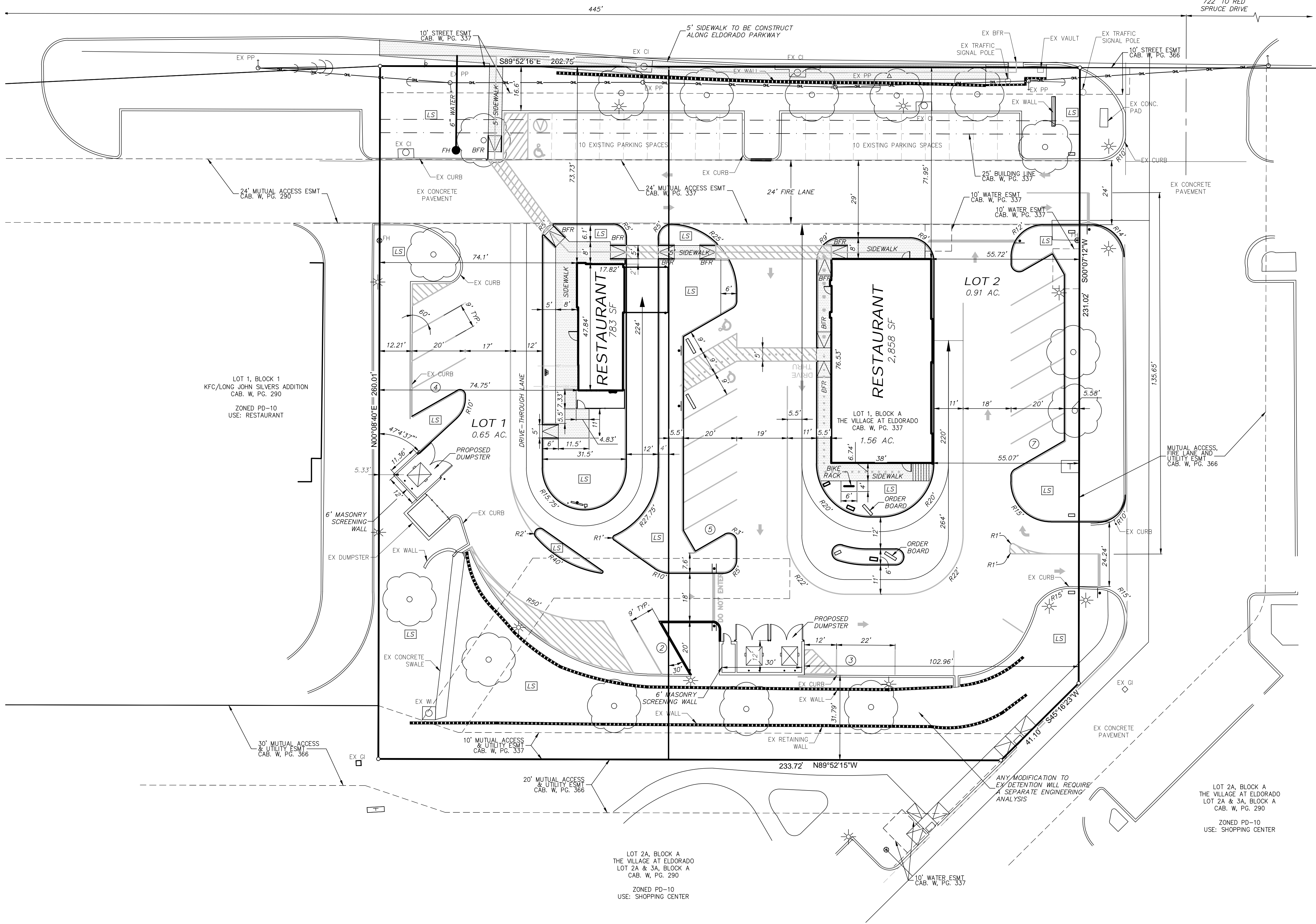
- 4) Landscape Requirements. Landscaping shall comply with the Zoning Ordinance, as it exists or may be amended in accordance with the standards in effect at the time of development or requested change. With the exception of the modified standards as listed below;
 - a. Per section 106.06.18(a)(9) One (1) urban tree is required along the internal pedestrian connections every thirty (30) linear feet. By this PD, tree spacing will be as shown on Exhibit D Landscape Plan.

- b. Per section 106.06.18(b)(2) A minimum twenty five (25) foot landscape buffer is required along Eldorado Parkway. By this PD the landscape buffer will be as shown on the Landscape Plan within Exhibit C.
- 5) Parking. Parking shall comply with the Zoning Ordinance with the exception of the following;
 - a. Per Section 106.06.40(c)(1) Standard parking space shall be 10 feet x 20 feet. By this PD standard parking shall be 9 feet x 18 feet to match existing spaces to remain and rest of adjacent shopping center.
- 6) Architectural Standards. Architectural standards shall meet the minimum requirements of 106.06.05 "Architectural Standards for Commercial Structures" with the exception of the following modified standards as listed below;
 - a. By this PD roof access can be provided external to the building.
 - b. Per Section 106.06.05(d), walls excluding windows, doors and other openings, shall be constructed of a minimum eighty percent (80%) Group A materials and a maximum of twenty percent (20%) Group B materials. By this PD Group A material requirement will be reduced to a minimum of seventy percent (70%) and Group B materials will be increased to a maximum of thirty percent (30%).
 - c. Per Section 106.06.05(c)(5) windows and glazing shall be limited to a minimum of thirty percent (30%) and a maximum of seventy percent (70%) of each building elevation facing a street, major access lane, or side yard greater than ten (10) feet. By this PD windows and glazing percentage will be reduced to the percentages as depicted on the façades depicted in Exhibit E.
- 7) Summary of Variances. The property shall meet the Zoning Ordinance requirements for LC-Light Commercial developments with the exception of the variances listed below;
 - a. Minimum Lot Size – 0.5 Acres
 - b. Reduction to tree spacing along internal pedestrian connections
 - c. Reduction of required landscape buffer along Eldorado Parkway
 - d. Minimum Parking Stall shall be 9'x18'
 - e. Allowance for external roof access
 - f. Group A façade materials reduced to 70% minimum and maximum of 30% Group B materials
 - g. Reduction of façade window glazing percentages

EXHIBIT C
SITE PLAN



ELDORADO PARKWAY
(EASTBOUND)



SITE DATA SUMMARY				
SITE DATA SUMMARY	EXISTING	LOT 1 - PROPOSED	LOT 2 - PROPOSED	TOTAL
EXISTING ZONING	PD-10	PD	PD	
LAND USE DESIGNATION	BANK	RESTAURANT	RESTAURANT	
GROSS ACREAGE	1.56	0.65	0.91	1.56
NET ACREAGE	1.56	0.65	0.91	1.56
NUMBER OF PROPOSED LOTS	1	1	1	2
PERCENTAGE OF SITE COVERAGE	10.2%	2.8%	7.2%	10.0%
AREA OF OPEN SPACE	60,947 SQ. FT.	27,475 SQ. FT.	36,794 SQ. FT.	64,269 SQ. FT.
PERCENTAGE OF OPEN SPACE	89.7%	97.2%	92.8%	94.6%
PERCENTAGE OF LANDSCAPE	34%	44.0%	28.1%	36.0%
AREA OF IMPERVIOUS COVERAGE	44,433 SQ. FT.	15,824 SQ. FT.	28,524 SQ. FT.	44,348 SQ. FT.
PROPOSED BUILDING AREA		783 SQ. FT.	2,858 SQ. FT.	3,641 SQ. FT.
NUMBER OF SINGLE-STORY BUILDINGS	1	1	1	2
NUMBER OF TWO-STORY BUILDINGS	0	0	0	0
MAXIMUM BUILDING HEIGHT		20 FT.	20 FT.	
PROPOSED FLOOR AREA		783 SQ. FT.	2,858 SQ. FT.	3,641 SQ. FT.
PROPOSED FLOOR AREA BY USE		783 SQ. FT. (REST)	2,858 SQ. FT. (REST)	3,641 SQ. FT. (REST)
REQUIRED PARKING		8 (1/100)	29 (1/100)	37 (1/100)
PROVIDED PARKING				
STANDARD	47	11 (1/100)	28 (1/100)	41 (1/100)
HANDICAP	4	1	2	3
TOTAL	51	12	30	42
INVENTORY PARKING				
INFRASTRUCTURE FOR CHARGING KIOSK	N/A	N/A	N/A	N/A
REQUIRED LOADING SPACES	0	0	0	0
PROVIDED LOADING SPACES	0	0	0	0
AREA OF OUTSIDE STORAGE	0	0	0	0
PERCENTAGE OF OUTSIDE STORAGE	0	0	0	0
START OF CONSTRUCTION (MONTH/YR)		MAY 2022	MAY 2022	

LEGEND		EXISTING	PROPOSED	ABBREVIATIONS
PROPERTY LINE				
BUILDING				BFR BARRIER FREE RAMP
FINISH FLOOR ELEVATION		FF= 100.00	FF= 100.00	CI CURB INLET
CURB				CONC CONCRETE
RETAINING WALL				CONST CONSTRUCTION EASEMENT
CURB INLET				DE
GRATE INLET				ESMT EASEMENT
WATER LINE				EX EXISTING
FIRE HYDRANT				EXIST EXISTING
WATER METER BOX				FF FINISHED FLOOR
WATER VALVE				FH FIRE HYDRANT
LIGHT POLE				FT FEET/FOOT
POWER POLE				GI GRATE INLET
ELECTRIC TRANSFORMER				LF LINEAL FEET
OVERHEAD LINE				MH MANHOLE
ACCESSIBLE PARKING				PP POWER POLE
SIGN				PROP PROPOSED
TREE				R RADIUS
				SF SQUARE FEET
				TYP TYPICAL
				WM WATER METER
				WV WATER VALVE

SITE PLAN

VILLAGE AT ELDORADO

2821 ELDORADO PARKWAY

CITY OF LITTLE ELM, TEXAS

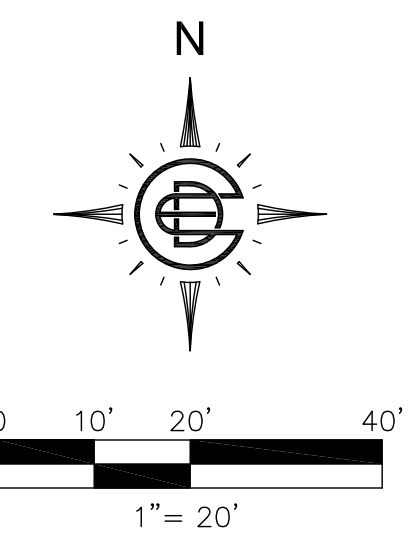
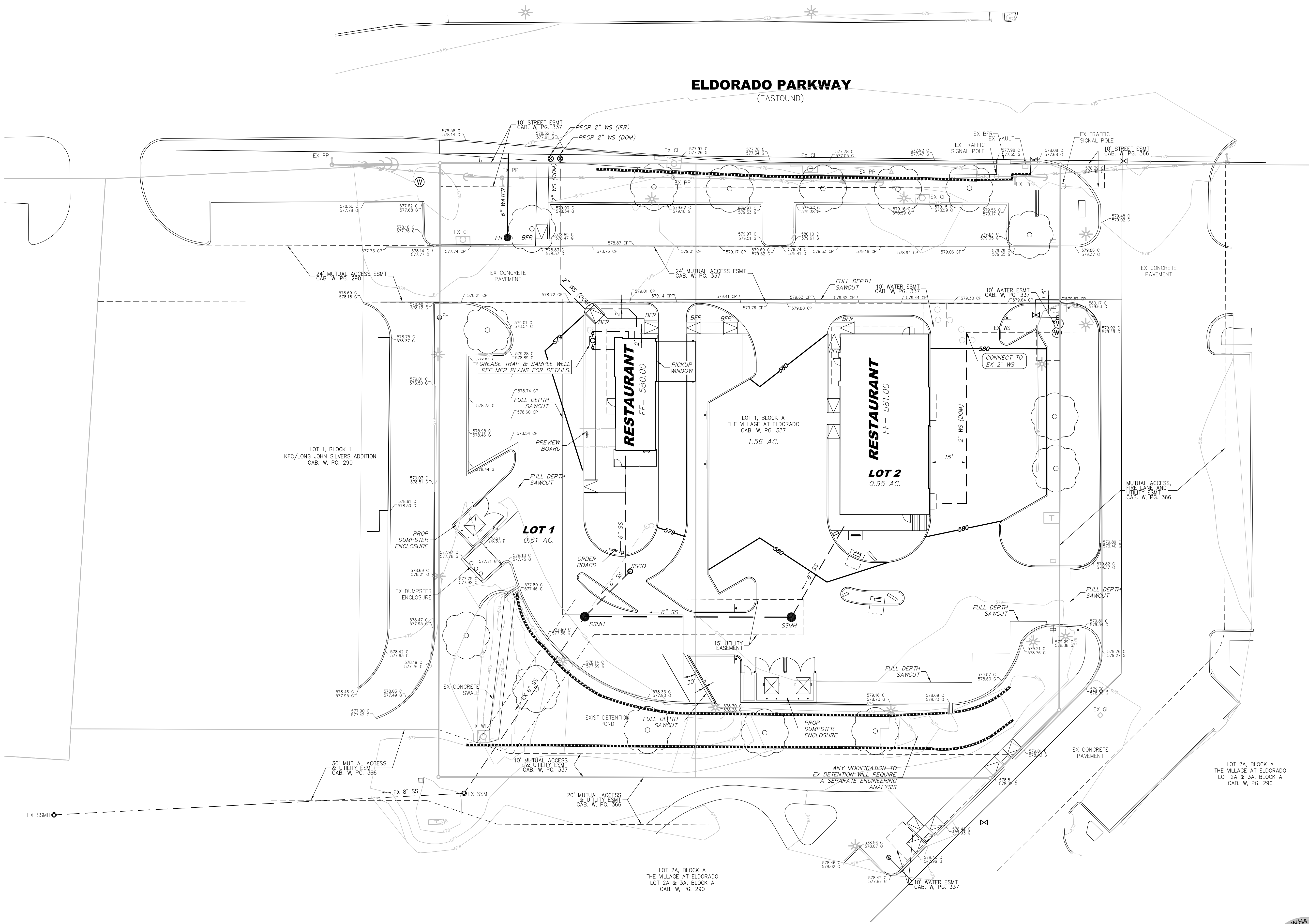
LOT 1, BLOCK A

THE VILLAGE AT
ELDORADO

J.COX SURVEY
ABSTRACT NO. 219
1.56 ACRES



ISSUE DATE	DEC. FILE NO.
02/17/22	10102
CITY FILE NO.	SHEET NO.
-	C1.0



LEGEND		EXISTING	PROPOSED
PROPERTY LINE			
BUILDING			
FINISH FLOOR ELEVATION		FF= 100.00	FF= 100.00
CURB			
RETAINING WALL			
CURB INLET			
GRATE INLET			
WATER LINE			
FIRE HYDRANT			
WATER METER BOX			
WATER VALVE			
SANITARY SEWER LINE			
SANITARY SEWER MANHOLE			
CLEANOUT			
LIGHT POLE			
POWER POLE			
ELECTRIC TRANSFORMER			
OVERHEAD LINE			
ACCESSIBLE PARKING			
SIGN			
TREE			

ABBREVIATIONS			
BFR	BARRIER FREE RAMP	SF	SQUARE FEET
C	CURB	SS	SANITARY SEWER
CI	CURB INLET	SSMH	SANITARY SEWER MANHOLE
CONC	CONCRETE	STA	STATION
CONST	CONSTRUCT	TYP	TYPICAL
CP	CONCRETE PAVEMENT	WM	WATER METER
DE	DRAINAGE EASEMENT	WV	WATER VALVE
DIA	DIAMETER		
DOM	DOMESTIC		
ESMT	EASEMENT		
EX	EXISTING		
EXIST	EXISTING		
FF	FINISHED FLOOR		
FH	FIRE HYDRANT		
FT	FEET/FOOT		
G	GUTTER		
GI	GRATE INLET		
IRR	IRRIGATION		
LF	LINEAL FEET		
MH	MANHOLE		
PP	POWER POLE		
PROP	PROPOSED		

ENGINEERING, GRADING & UTILITY PLAN

VILLAGE AT ELDORADO

2821 ELDORADO PARKWAY

CITY OF LITTLE ELM, TEXAS

PRELIMINARY FOR REVIEW ONLY

THESE DOCUMENTS ARE FOR REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMITTING. THEY HAVE BEEN PREPARED BY OR UNDER THE SUPERVISION OF DANIEL B. STEWART, P.E.

P.E. NO.: 107767
DATE: 02/17/22

DESIGN

2591 DALLAS PARKWAY, SUITE 300
FRISCO, TEXAS 75034
972-731-4354
TBPE FIRM NO. F-20255

ISSUE DATE
02/17/22

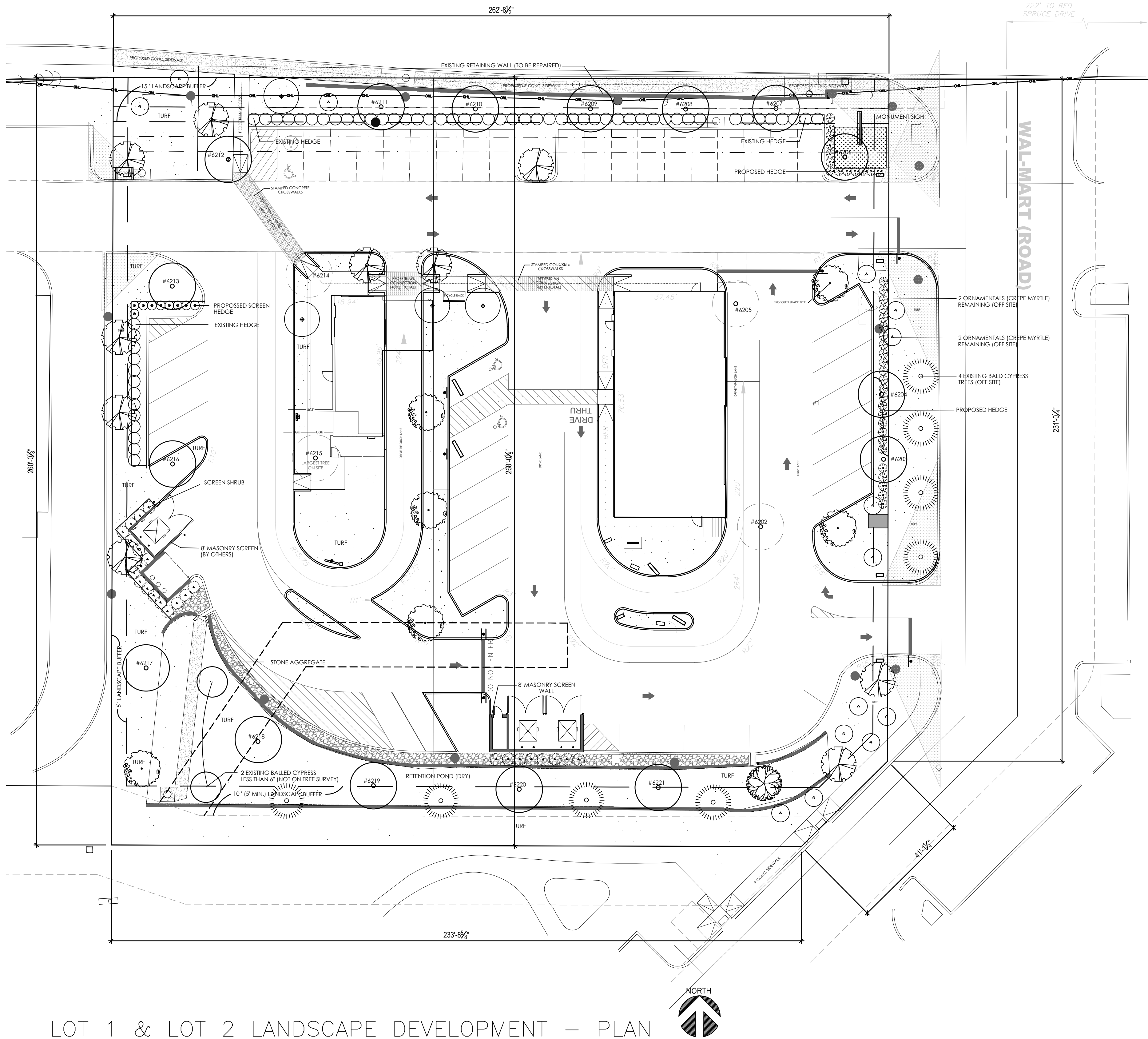
DEC FILE NO.
10102

CITY FILE NO.
-

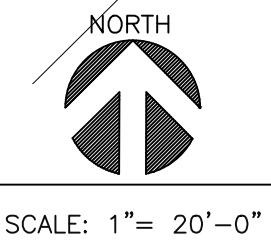
SHEET NO.
1



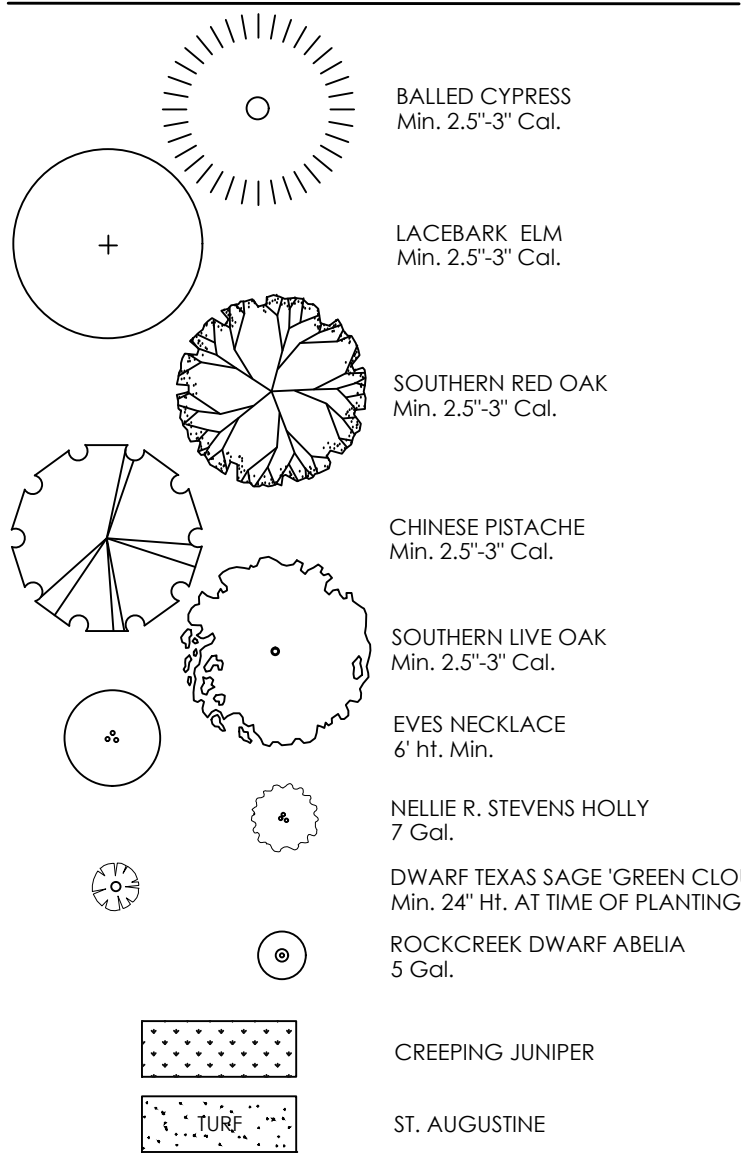
EXHIBIT D
LANDSCAPE PLAN



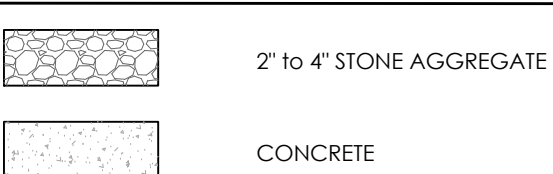
LOT 1 & LOT 2 LANDSCAPE DEVELOPMENT – PLAN



PROPOSED PLANT KEY



INERT MATERIALS KEY



LANDSCAPE TABULATION
CITY OF LITTLE ELM LANDSCAPE DESIGN GUIDELINES
FOR COMMERCIAL DEVELOPMENT

EXISTING ZONING: PD-10

TOTAL SITE
LOT 1 = .61 AC
LOT 2 = .95 AC
BUILDING LOT 1 = +/- 730 S.F.
BUILDING LOT 2 = +/- 2,824 S.F.
VEHICULAR USE AREA = +/- 37,111.13 S.F.

NON-RESIDENTIAL REQUIREMENTS
INTERIOR LANDSCAPE REQUIREMENTS
1 LARGE CANOPY TREE / 400 S.F. REQUIRED
10% LANDSCAPE OF GROSS VEHICULAR USE AREA REQUIRED

LOT 1 = 2,657 REQUIRED (10%) / 12,929 (48% PROVIDED)
7 LARGE CANOPY TREES REQUIRED & PROVIDED
7 EXISTING TREES REMAINING

LOT 2 = 4,138 REQUIRED (10%) / 11,126 (26% PROVIDED)
10 LARGE CANOPY TREES REQUIRED & PROVIDED
5 EXISTING TREES REMAINING
5 PROPOSED

PLANTED PARKING ISLANDS
MIN. 12 PARKING SPACES APART REQUIRED & PROVIDED.
A SMALL ORNAMENTAL TREE ALONG MAJOR ACCESS LANES
(SMALL ORNAMENTAL TREE / 25 L.F.)
WAL-MART (ACCESS LANE +/- 276 L.F. FRONTAGE)
11 ORNAMENTALS REQUIRED & PROVIDED
2 EXISTING (IN PARKWAY)
9 PROPOSED

INTERNAL PEDESTRIAN CONNECTION
1 URBAN TREE REQUIRED / 30 L.F. TO:
409 L.F. TOTAL
14 TREES REQUIRED (ON APPROVED URBAN TREE LIST)
08 TREES PROVIDED (ON APPROVED URBAN TREE LIST)
01 EXISTING
07 PROPOSED

LANDSCAPE AREAS PROTECTED BY 6" CONCRETE CURB, REQUIRED & PROVIDED.

PERIMETER LANDSCAPE REQUIREMENTS
20' LANDSCAPE BUFFER ADJACENT TO R.O.W. IS REQUIRED.
20' REQUIRED
15' PROVIDED (PARTIAL 20')

VEHICULAR AREAS TO BE SCREENED FROM ALL ADJUTING R.O.W.
A 36" MIN. HT. LIVING BARRIER IS REQUIRED FOR PARKING LOT SCREENING.
A 36" HT. EVERGREEN, SCREEN HEDGE IS REQUIRED & PROVIDED
36" HT. SCREEN EXISTING ALONG EL DORADO.
36" HT. PROPOSED ALONG WEST SIDE PARKING SPACE (TO BE 24" HT. AT PLANTING).

LANDSCAPE BUFFERS, ADJACENT TO PUBLIC R.O.W.
1 LARGE TREE / 30 L.F. REQUIRED
EL DORADO PARKWAY- STREET FRONTAGE (263 L.F.)
9 TREES REQUIRED
9 TREES PROVIDED
6 LARGE TREES EXISTING
2 LARGE TREES PROPOSED
3 ORNAMENTAL TREES FOR 1 LARGE CANOPY TREE

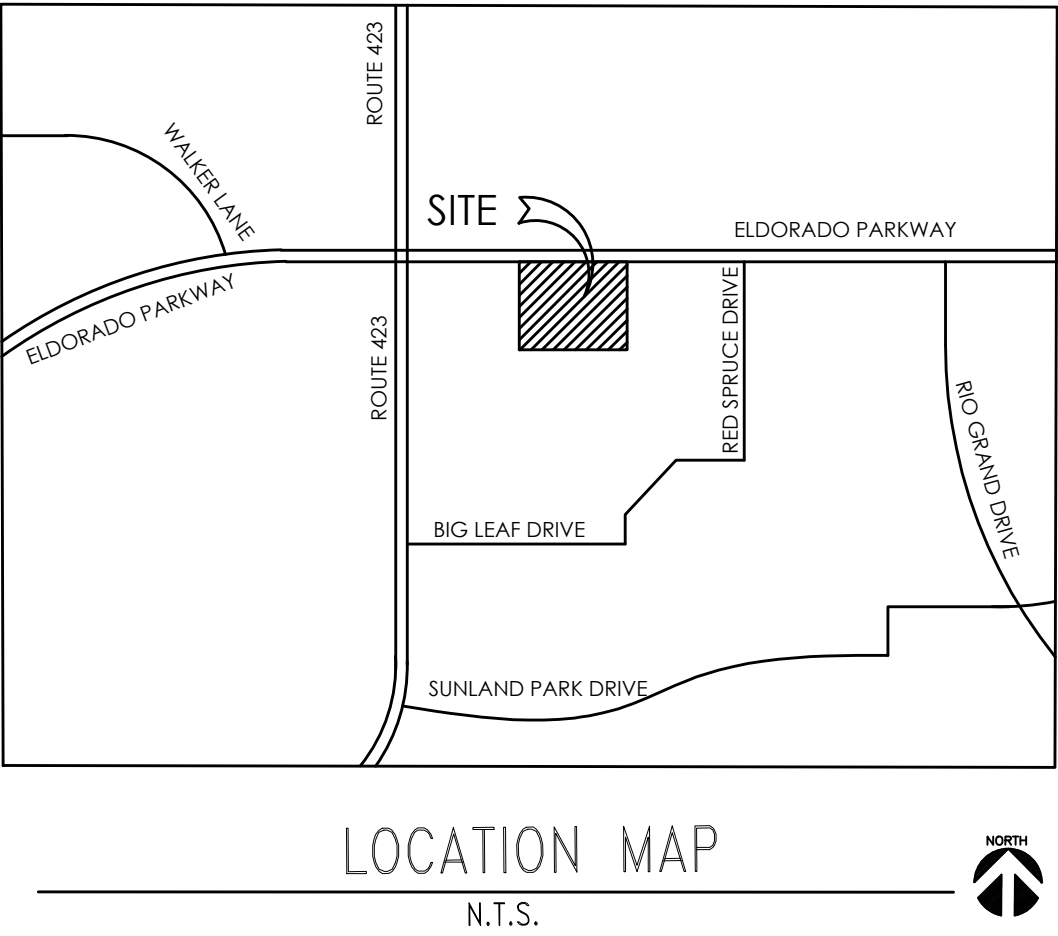
1 SMALL ORNAMENTAL TREE/ 5 LARGE TREES ADJACENT TO R.O.W.
2 ORNAMENTALS REQUIRED & PROVIDED

LANDSCAPE BUFFERS, ADJACENT TO SIMILAR ZONING
1 LARGE CANOPY TREE / 50 L.F.
WEST PROPERTY LINE - 60 L.F.
5 TREES REQUIRED
5 TREES PROPOSED
EAST PROPERTY LINE - 272 L.F.
2 TREES EXISTING
3 TREES PROPOSED
LOT 1 / LOT 2 PROPERTY LINE (SIMILAR ZONING)
5 TREES REQUIRED
5 TREES PROPOSED TREES REQUIRED
SOUTH PROPERTY LINE- 234 L.F.
(UTILITY EASEMENT)
5 TREES REQUIRED
5 TREES EXISTING

LANDSCAPE POINT SYSTEM
20 POINTS REQUIRED
20 POINTS PROVIDED
5 PTS. ENHANCED HARDSCAPE (STAMPED CROSS WALKS)
5 PTS. ENHANCED LANDSCAPE BUFFER (SOUTH SIDE)
5 PTS. ENHANCED SITE CANOPY (PARKING SPACING, PERIMETER TREES 1/30 L.F.)
5 PTS. ENHANCED LANDSCAPING (ENTRYWAY)

DETENTION POND BASIC (DRY) POND
338 L.F. PERIMETER
1 CANOPY / 30 L.F. OF PERIMETER
19 TREES REQUIRED
15 TREES PROVIDED
06 TREES EXISTING
07 TREES PROPOSED

IRRIGATION PROPOSED
ALL REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC,
UNDERGROUND LOW PRESSURE DRIP IRRIGATION SYSTEM. THIS SYSTEM WILL
BE DESIGNED BY A LICENSED IRRIGATOR BY THE STATE OF TEXAS. THIS SYSTEM
WILL CONTAIN A FREEZE / THAW SENSOR, WIND AND RAIN GAUGE AND
WILL BE DESIGNED TO PROVIDE 100% COVERAGE TO ALL EXISTING
AND PROPOSED PLANT MATERIAL.



TREE TABLE		
I.D.	COMMON NAME	DBH (IN.)
6202	LIVE OAK	6
6203	OAK	8
6204	OAK	8
6205	LIVE OAK	8
6206	OAK	12
6207	OAK	12
6208	OAK	14
6209	OAK	12
6210	OAK	10
6211	OAK	8
6212	LIVE OAK	6
6213	LIVE OAK	10
6214	LIVE OAK	6
6215	LIVE OAK	14
6216	ELM	6
6217	LIVE OAK	6
6218	CYPRESS	8
6219	CYPRESS	12
6220	CYPRESS	6
6221	CYPRESS	6

EXISTING TREES KEY



TREE PRESERVATION

VALUATION SCHEDULE
CLASS NO. 1
100% VALUE
5:1 RATIO (ALL OAKS)

TREE REMOVAL PERMIT REQUIRED

ESTIMATED FEE:
TREE VALUATION FORMULA
04 TREES REMOVED
1-06" CAL. = 0.7854 X 36 = 28.3 X 22.00 = \$ 622.60
1-08" CAL. = 0.7854 X 44 = 33.3 X 22.00 = \$ 1,106.40
1-14" CAL. = 0.7854 X 196 = 154.0 X 22.00 = \$ 3,388.00
TOTAL VALUE OF TREES REMOVED = \$ 5,117.00

SITE LANDSCAPE
DEVELOPMENT

THE VILLAGE AT EL DORADO
2821 El Dorado Parkway
Little Elm, Texas

REVISED:

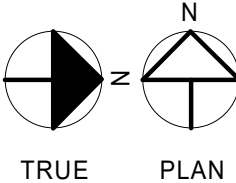
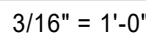
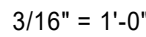
TITLE:
LANDSCAPE
DEVELOPMENT PLAN

EXHIBIT E
FAÇADE MATERIALS

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.

FINISH LEGEND			
MARK	DESCRIPTION	MANUFACTURER	FINISH / STYLE
BR-1	THIN BRICK VENEER	MERIDIAN BRICK	MAGNOLIA BAY
CD-1	COMPOSITE DECKING BOARDS	ENVISION COMPOSITE LUMBER	CARIBOU BROWN / SQUARE EDGE
FC-2	LAP SIDING	LP SMARTSIDE	CANYON BROWN / 8" CEDAR
FC-3	FIBERCEMENT SIDING	JAMES HARDIE	8" SUMMERWHEAT LAP SIDING & SMOOTH BATTEN BOARD / COBBLE STONE
MC-1	PRE-FINISHED METAL COPING	DURO-LAST	CANTED COPING / ANODIZED KAYNAR 500 CHAMPAGNE
MTL-1	METAL CANOPY	AMERICAN PRODUCTS, INC. (API)	TIGER DRYLAC - STEEL RACK ORANGE (RAL 2001)
MTL-2	METAL ACCENTS	VARIOUS	GREY BEIGE / RAL 1019
P-1	PAINT	BENJAMIN MOORE	CHANTILLY LACE (OC-65)
P-2	PAINT	BENJAMIN MOORE	BRIARWOOD (HC-175)
SF-1	STOREFRONT ASSEMBLY	KAWNEER	CLEAR ANODIZED
SV-1	STONE VENEER	SALADO	SONOMA / BUFF LUEDERS

MATERIALS CALCULATIONS TABLE								
	ELEVATIONS							
MATERIALS	NORTH (PRIMARY)		SOUTH		WEST		EAST	
	SF	%	SF	%	SF	%	SF	%
FENESTRATION	148	21	33	5	249	17	104	7
OTHER	564	79	654	95	1212	83	1375	93
TOTAL: WALL SQUARE FOOTAGE	712	100	687	100	1461	100	1479	100
BR-1: THIN BRICK VENEER (GROUP A)	330	59	398	61	538	44	573	42
SV-1: THIN STONE VENEER (GROUP A)	69	12	57	9	314	26	386	28
FC-2: LAP SIDING (GROUP B)	93	16	175	27	201	17	200	15
FC-3: FIBERCEMENT SIDING (GROUP B)	68	12	-	-	129	11	154	11
MC-1: PRE-FINISHES METAL COPING	25	4	23	4	51	4	55	4
MTL-1: METAL CANOPY	32	6	4	1	22	1	13	1
TOTAL: GROUP A		71		70		70		70
TOTAL: GROUP B		28		27		28		26



4" 101.05

THESE DRAWINGS ARE PREPARED FOR THE USE OF A SPECIFIC SITE AT A SPECIFIC LOCATION AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE PROJECT SITE IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE PROJECT SITE IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE PROJECT SITE IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE.

Bojangles

STORE NUMBER: 2067
2821 W. ELDORADO PKWY
FRISCO, TX 75033

JOB NUMBER: 28-21-01420

GP 3.1

ISSUE BLOCK	

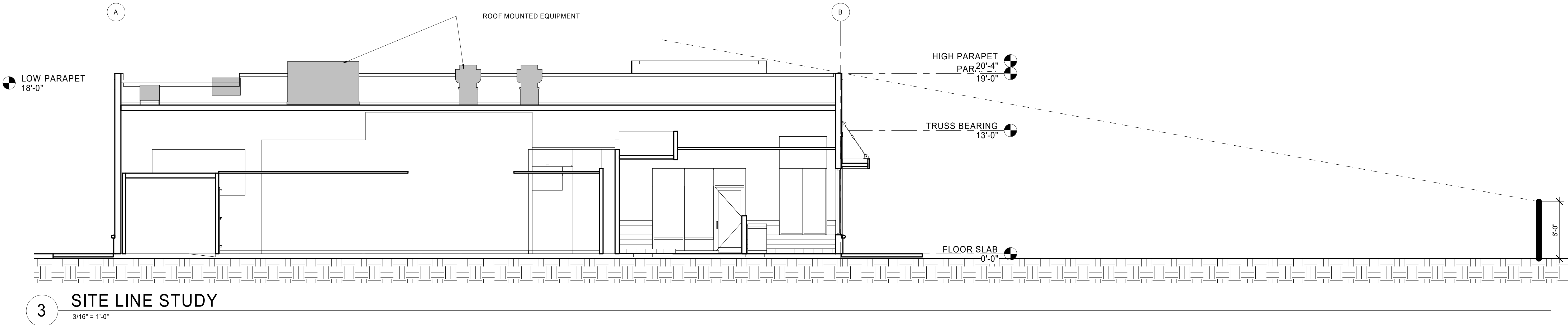
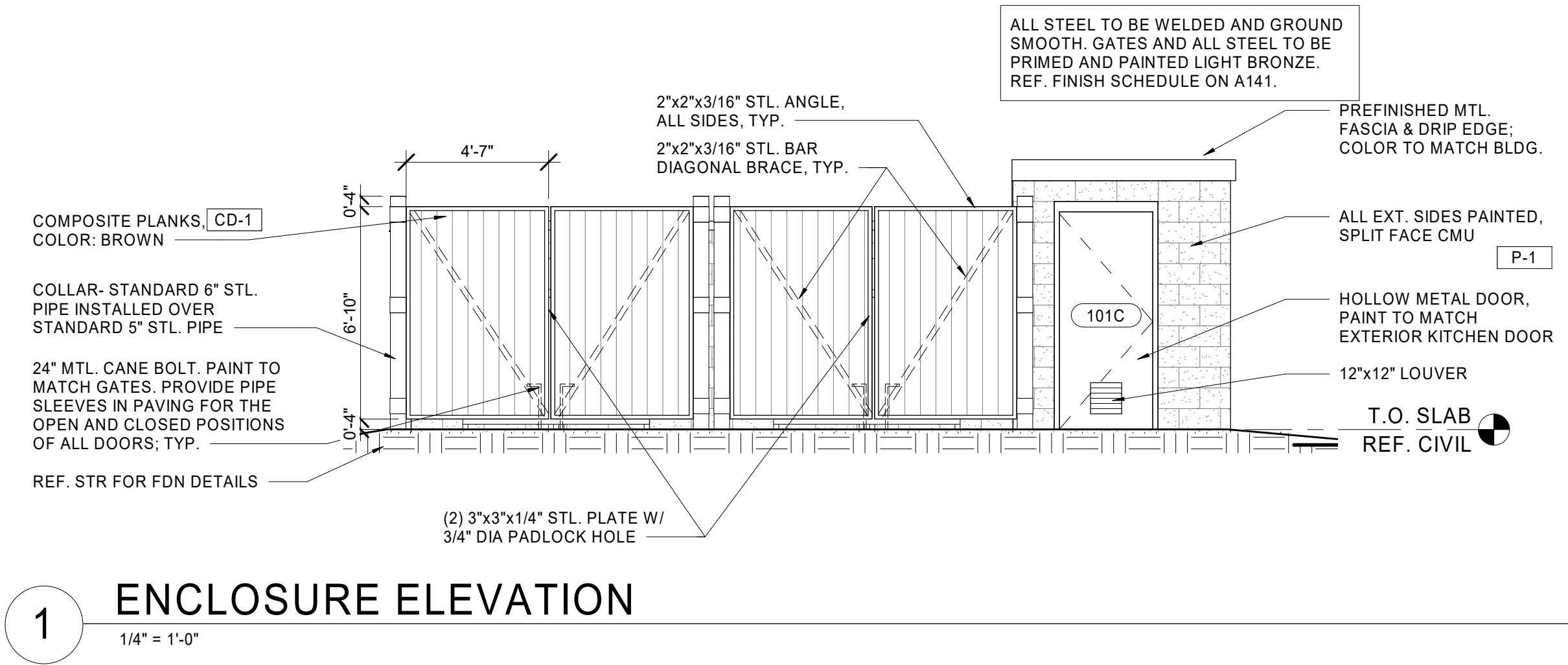
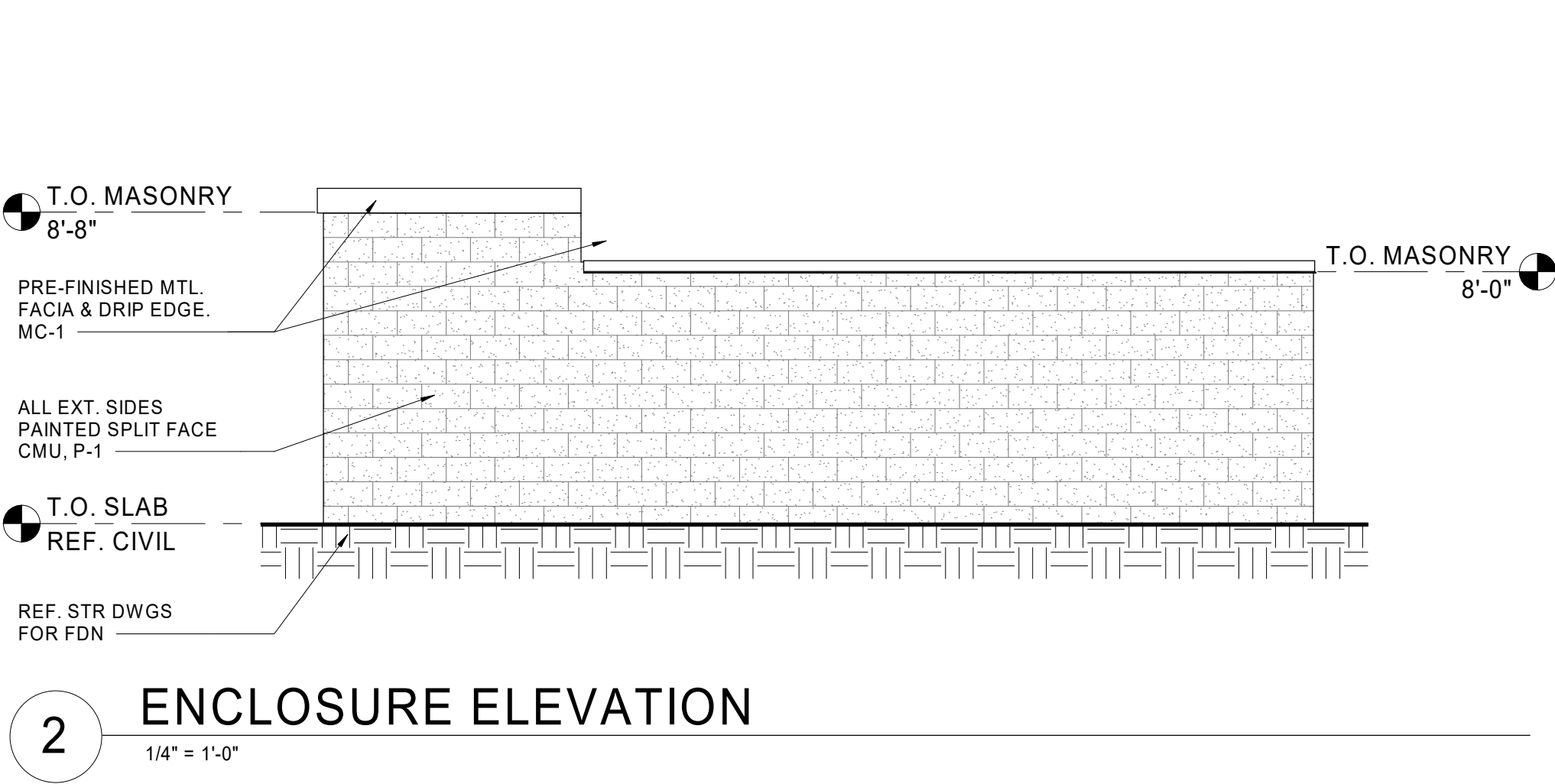
CHECKED BY:	KK
DRAWN BY:	JW
DOCUMENT DATE:	5/06/22
PROTO:	GP 3.1
PROTO CYCLE:	21.11

NOT FOR CONSTRUCTION

SUBDIVISION NAME:
THE VILLAGE AT ELDORADO
BLOCK A
LOT # 1

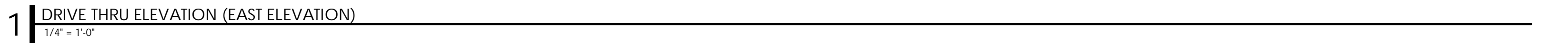
OWNER:
2821 ELDORADO LLC
10620 TREENA ST, STE 230
SAN DIEGO, CA 92131
(658)500-7788

APPLICANT:
DANIEL STEWART
5300 TOWN & COUNTRY
BLVD, STE 150
FRISCO, TX 75037
(469)850-0060

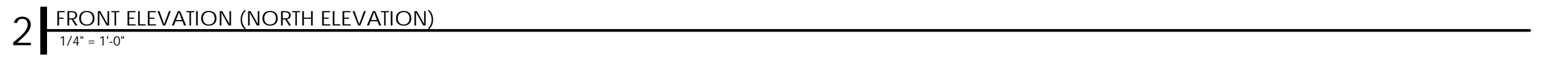


5/9/2022 11:59:17 AM

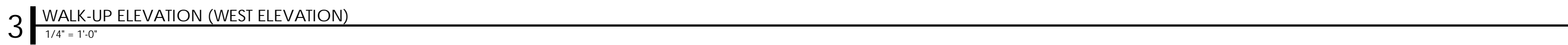
1 | DRIVE THRU ELEVATION (EAST ELEVATION)
1/4" = 1'-0"



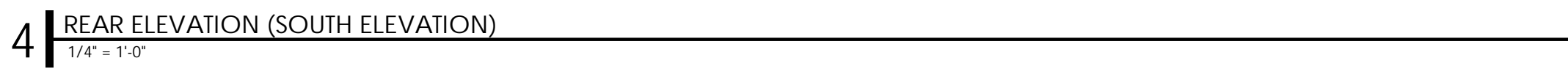
2 | FRONT ELEVATION (NORTH ELEVATION)
1/4" = 1'-0"



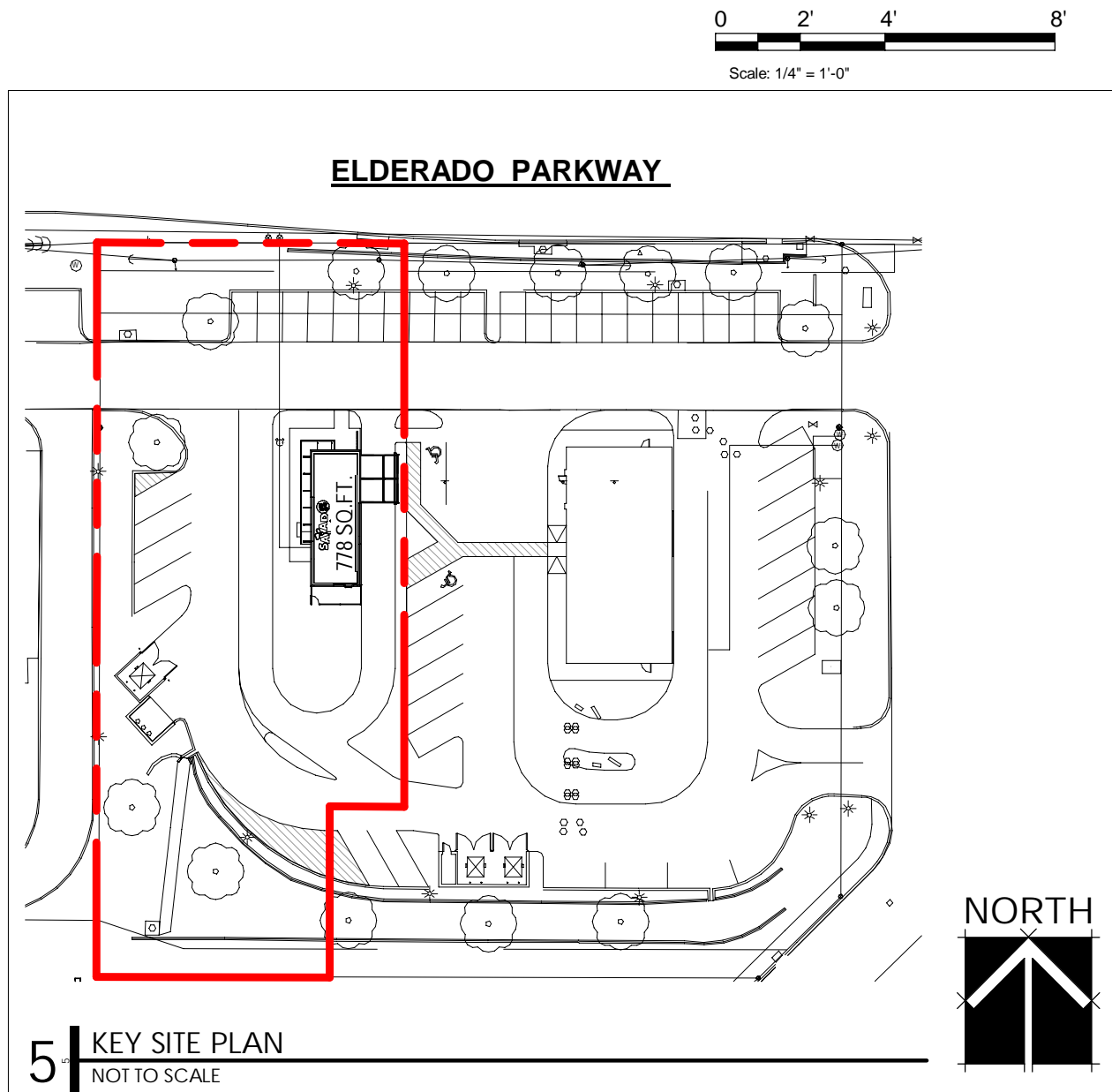
3 | WALK-UP ELEVATION (WEST ELEVATION)
1/4" = 1'-0"



4 | REAR ELEVATION (SOUTH ELEVATION)
1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE			
MARK	MATERIAL	DESCRIPTION	
BR-1	BRICK	PRODUCT: DART-TEX COLOR: ALASKA WHITE PATTERN: RUNNIGN BOND SIZE: KING	
BR-2	BRICK	PRODUCT: BELDEN BRICK COLOR: ENGLISH GRAY VELOUR PATTERN: STACKED BOND SIZE: NORMAN	
E-2	E.I.F.S.	PRODUCT: DRYVIT FINISH: SAND COLOR: MATCH SHERWIN WILLIAMS SW-7066 GRAY MATTERS	
E-4	E.I.F.S.	PRODUCT: DRYVIT FINISH: SAND COLOR: TO MATCH SHERWIN WILLIAMS SW-7004 SNOWBOUND	
MT-01	METAL COPING	COLOR: SW-7068 GRIZZLE GRAY.	
MT-02	METAL COPING	COLOR: SW-6887 NAVEL	
AWN	AWNING	PRODUCT: GREENHECK FINISH: ALUMINUM COLOR: SW-6887 NAVEL	
STFNT	STOREFRONT	FINISH: CLEAR ANODIZED	



FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.

**RESTAURANT WITH DRIVE-THRU
THE VILLAGE AT ELDORADO
BLOCK A, LOT 1**

PREPARATION DATE: MAY 9, 2022

ARCHITECT:
ROGUE ARCHITECTS
513 MAIN STREET, STE 300
FORT WORTH, TX 76102
817-820-0433
ASHLEY MORELAND

OWNER:
ANDREW LEHNER
214-437-2525

ENGINEER:
JONES|CARTER INC.
4500 MERCENTILE PLAZA DRIVE,
SUITE 210
FORT WORTH, TX 76137
682-268-2207
RYAN J. ALCALA, PE

APPLICANT:
DEVELOPMENT ENGINEERING
CONSULTANTS, LLC
5300 TOWN & COUNTRY BLVD, SUITE 150
FRISCO, TX 78034
469-897-5560
DANIEL STEWART, PE

423 & ELDORADO PKWY
LITTLE ELM, TX

PROTOTYPE VERSION 2.00

513 MAIN STREET, SUITE 300
FT. WORTH, TX 76102
817.820.0433
www.roguearchitects.com

SEAL

THIS DRAWING IS A DESIGN DEVELOPMENT DOCUMENT. SITE SPECIFIC MODIFICATIONS MADE UNDER THE RESPONSIBLE CHARGE OF THE ARCHITECT AND/OR ENGINEER-OF-RECORD WILL BE REQUIRED PRIOR TO USING THIS DOCUMENT FOR BIDDING, PERMITTING, OR CONSTRUCTION.

FACADE PLAN: 5/09/2022

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS. OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

ISSUE	DATE	DESCRIPTION

PROJECT INFORMATION

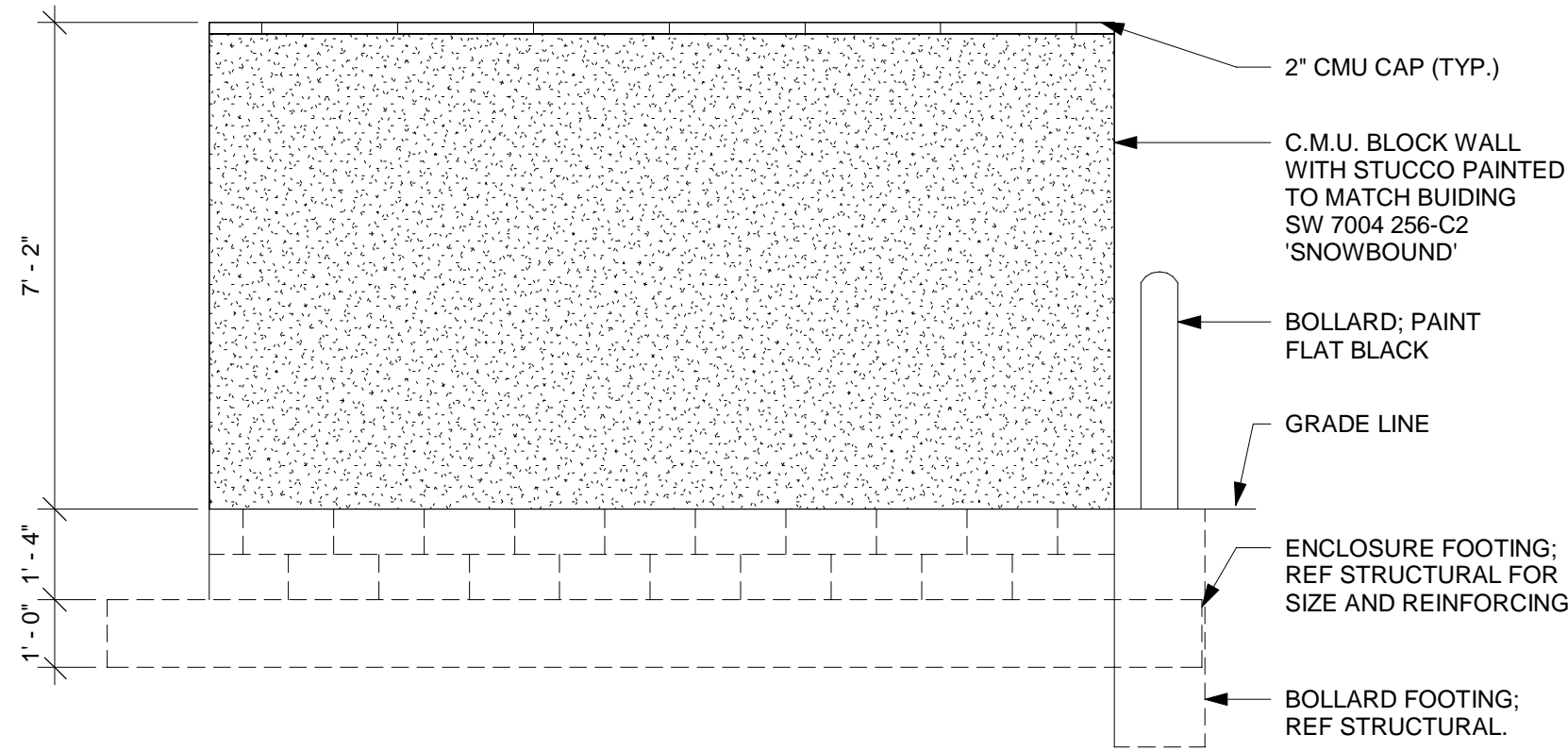
PROJECT NO:	22-0200
ORIGINAL ISSUE:	04/18/22
SCALE:	AS NOTED
DRAWN BY:	J. JEFFERY
CHECKED BY:	A.MORELAND

SHEET TITLE

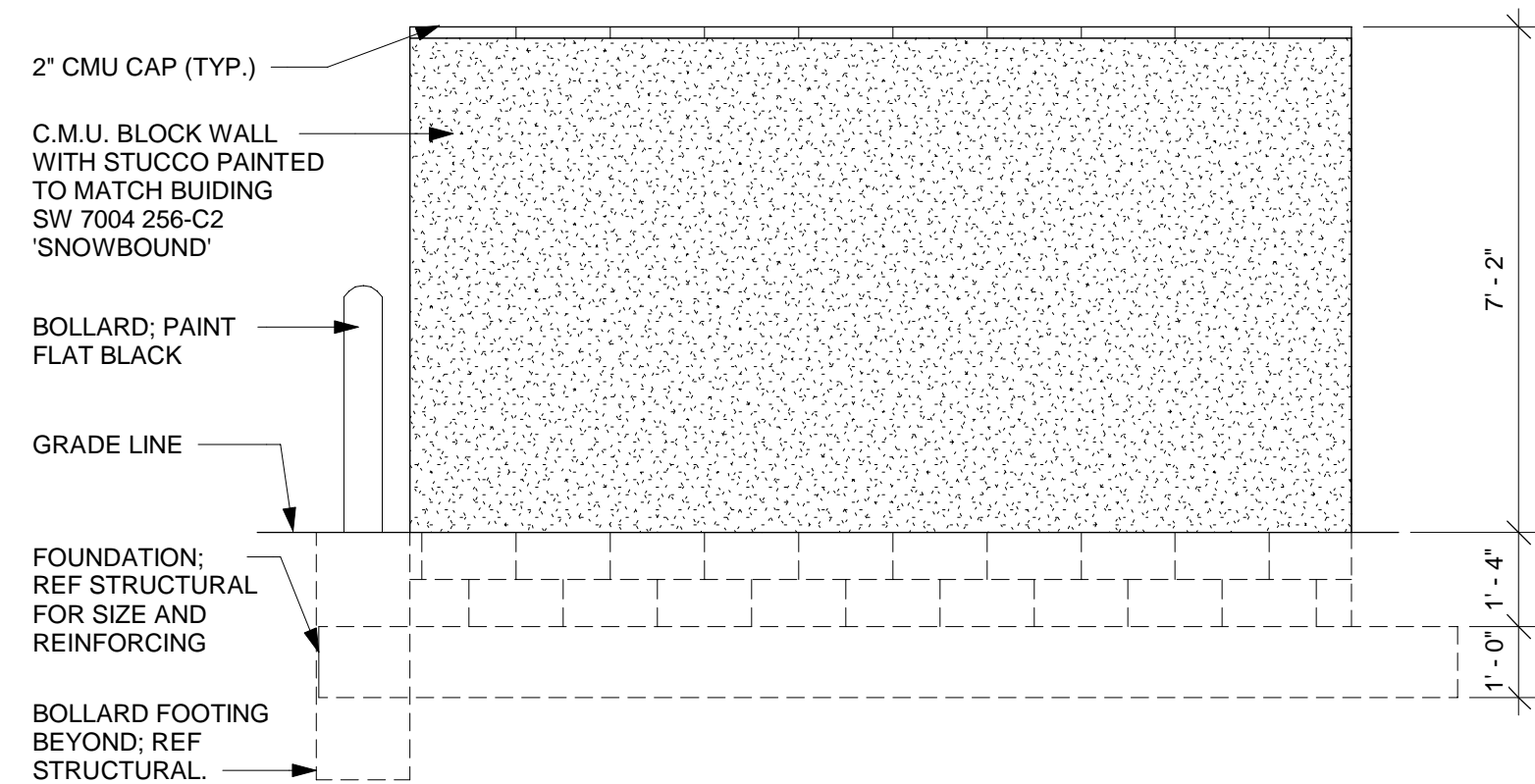
PRELIMINARY ELEVATIONS

SHEET NUMBER

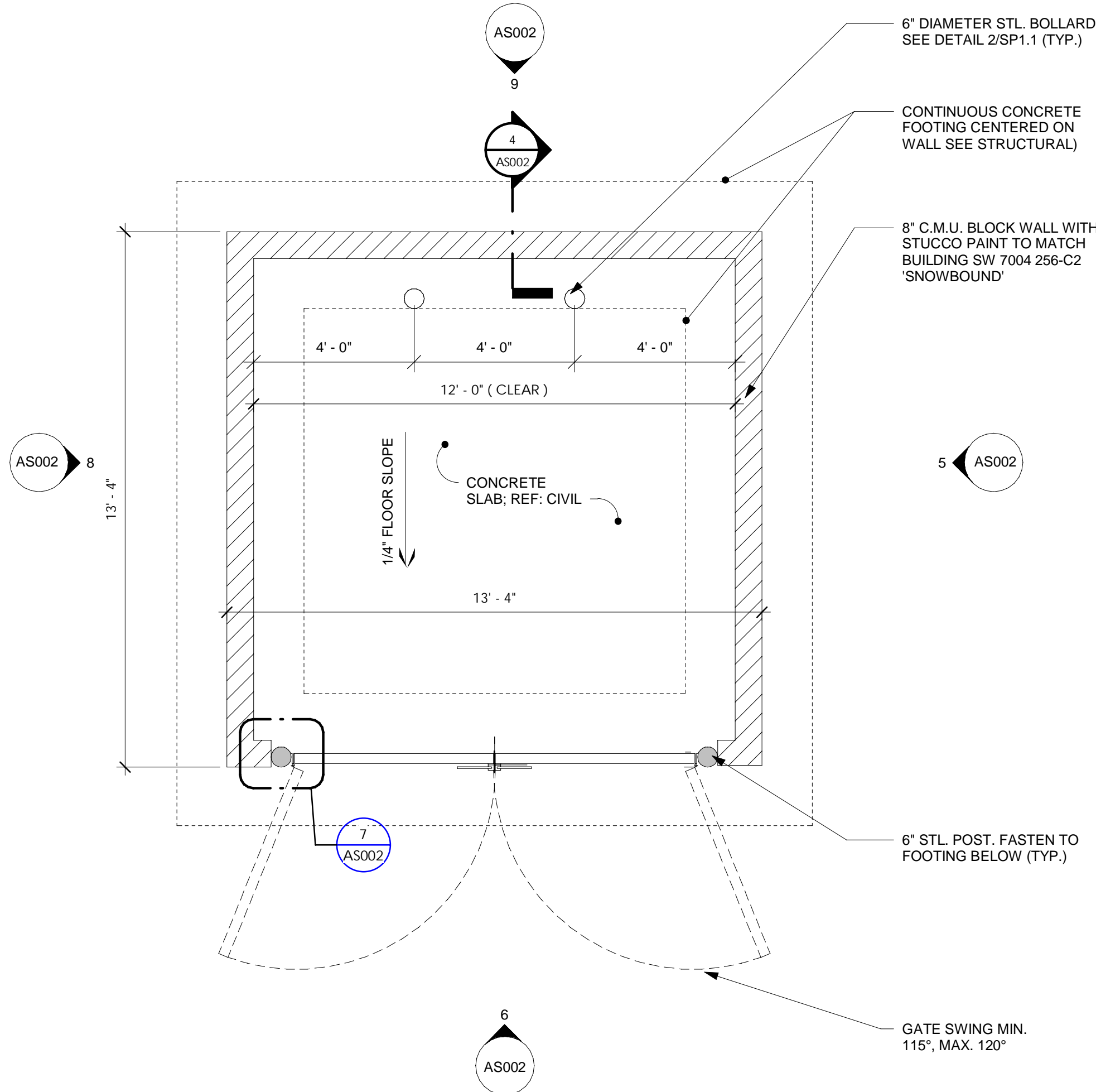
XX.XX



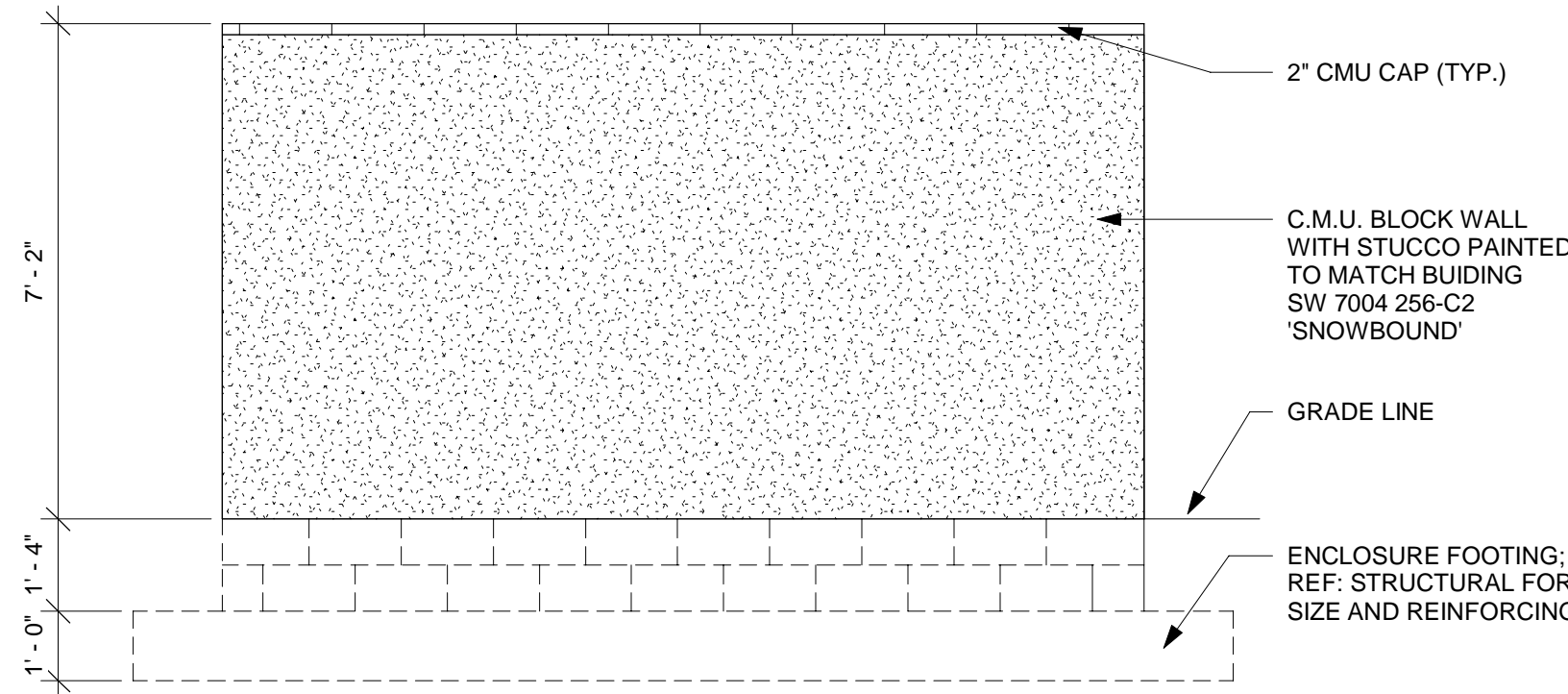
8 | SIDE ELEVATION "B"
3/8" = 1'-0"



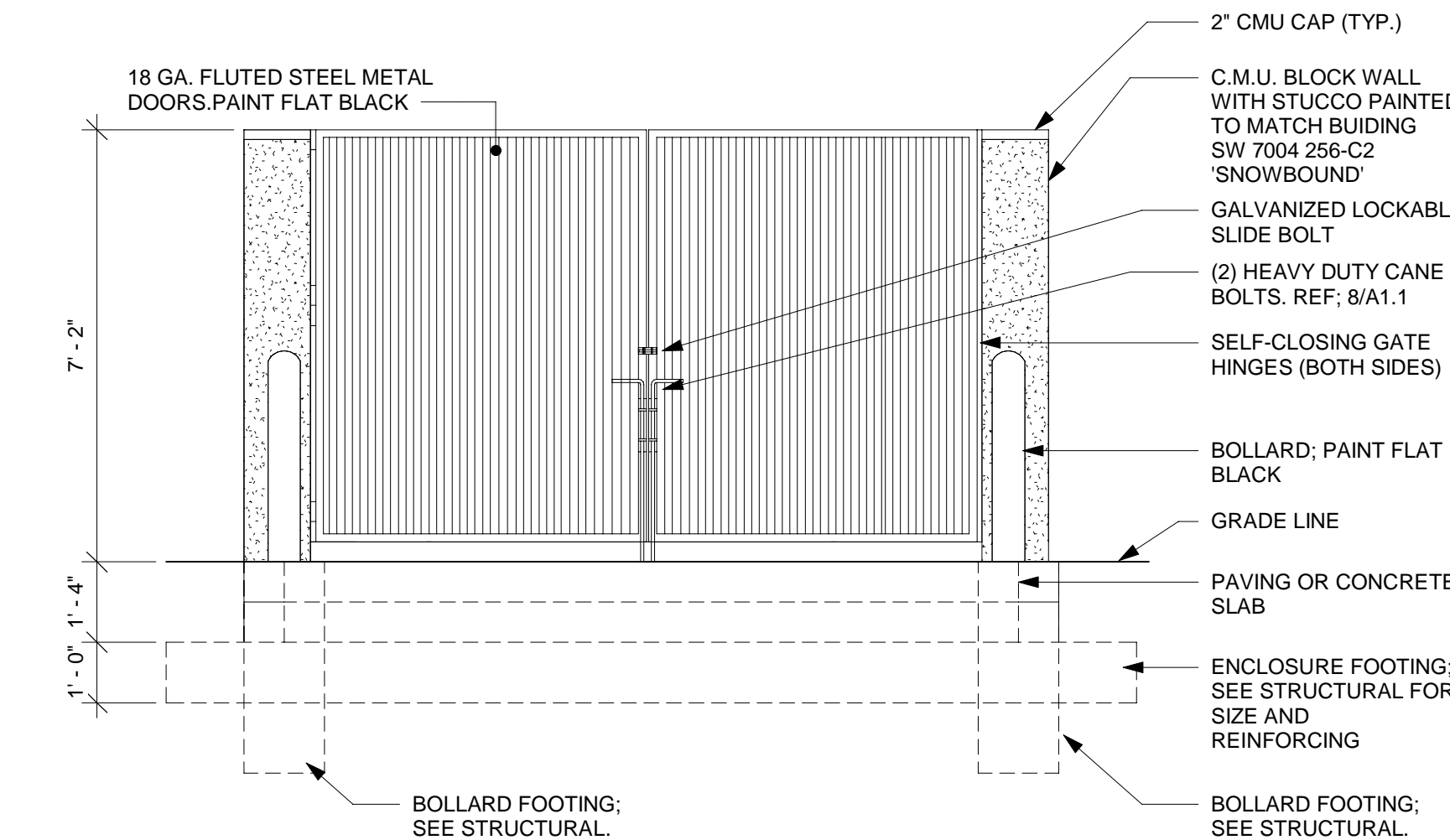
5 | SIDE ELEVATION "A"
3/8" = 1'-0"



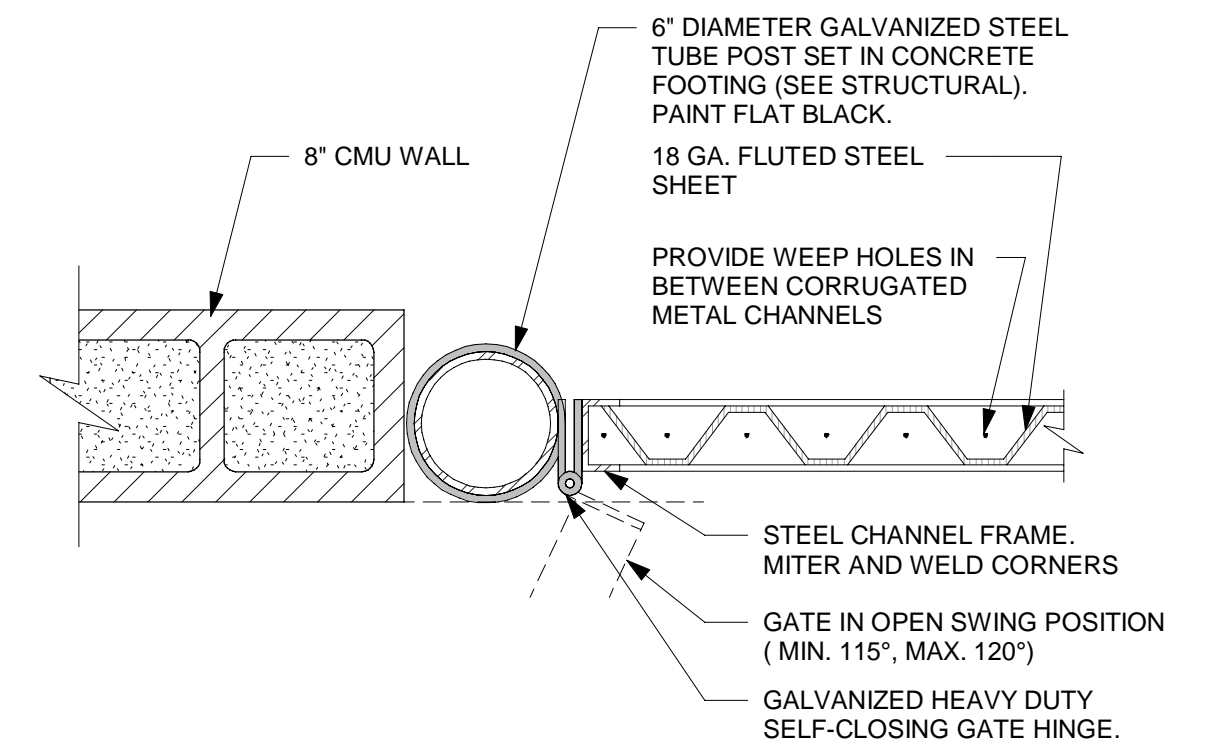
1 | FLOOR PLAN
3/8" = 1'-0"



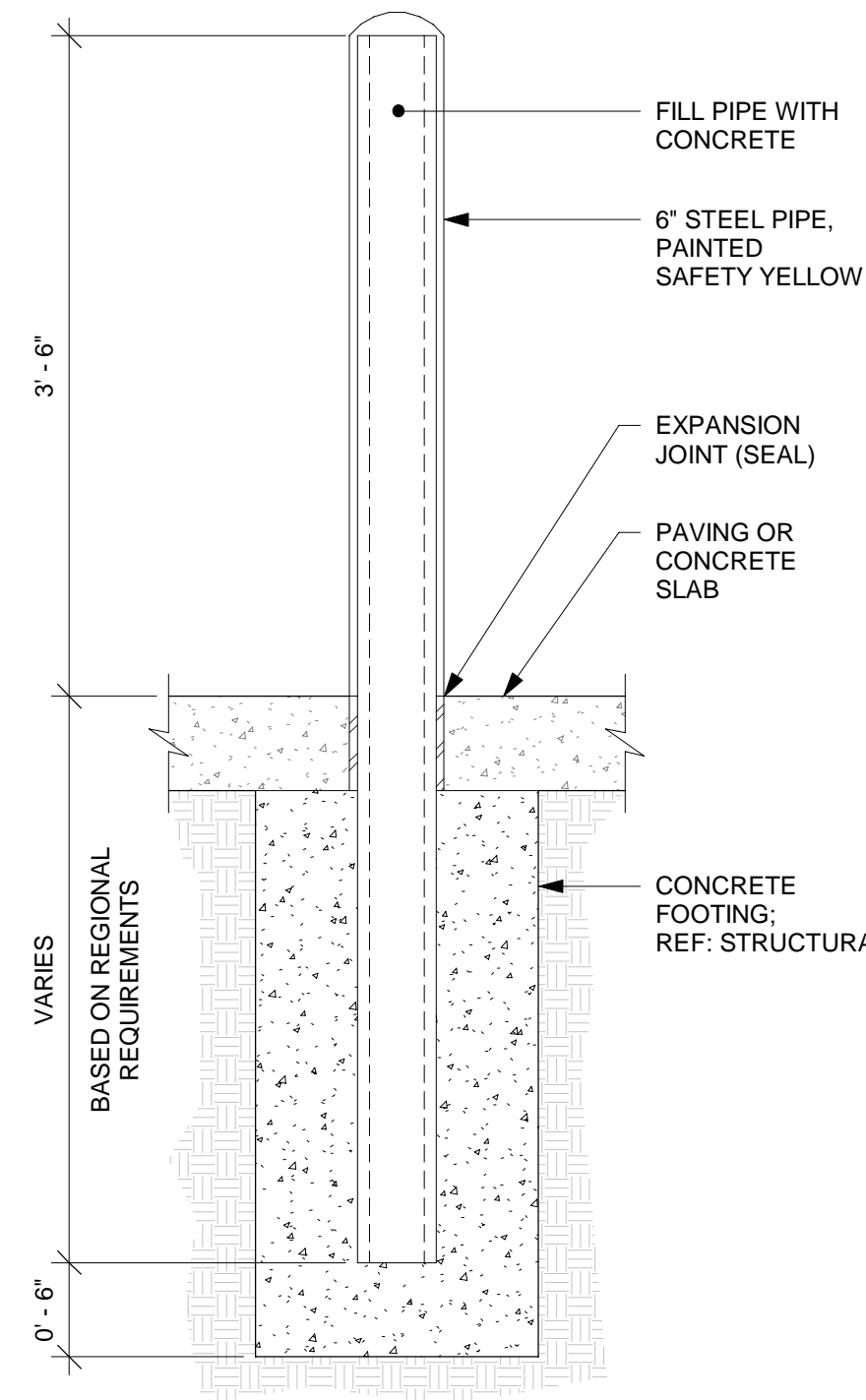
9 | BACK ELEVATION
3/8" = 1'-0"



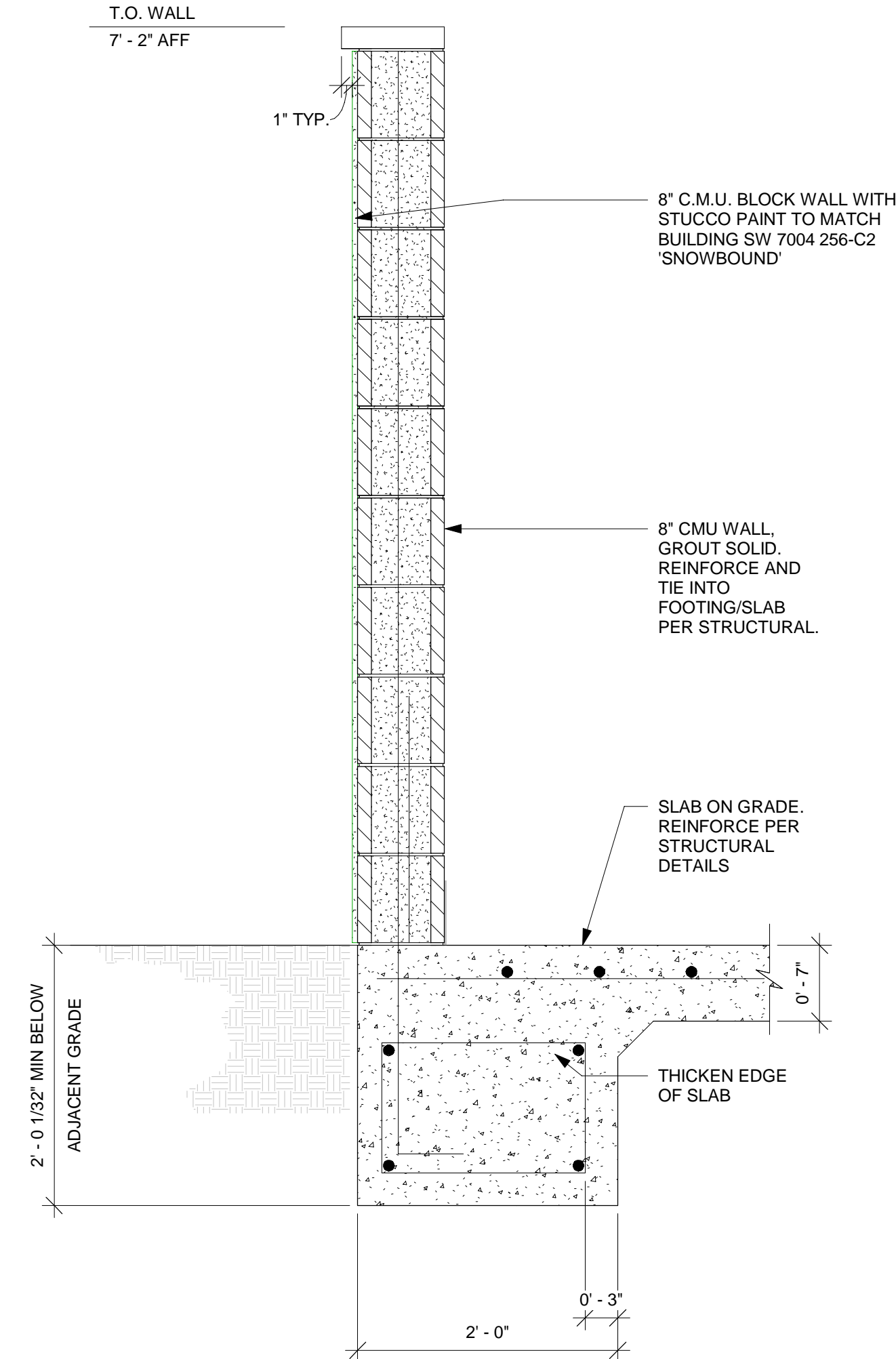
6 | FRONT ELEVATION
3/8" = 1'-0"



7 | GATE HINGE DETAIL
1 1/2" = 1'-0"



2 | SECTION AT CANE BOLT
1 1/2" = 1'-0"



4 | TYPICAL CMU WALL SECTION
1" = 1'-0"



423 & ELDORADO PKWY
LITTLE ELM, TX
PROTOTYPE VERSION 2.00



513 MAIN STREET, SUITE 300
FT. WORTH, TX 76102
817.820.0433
www.roguearchitects.com

SEAL

THIS DRAWING IS A DESIGN
DEVELOPMENT DOCUMENT.
SITE SPECIFIC MODIFICATIONS
MADE UNDER THE RESPONSIBLE
CHARGE OF THE ARCHITECT
AND/OR ENGINEER-OF-RECORD
WILL BE REQUIRED PRIOR TO
USING THIS DOCUMENT FOR
BIDDING, PERMITTING, OR
CONSTRUCTION.

FACADE PLAN: 5/09/2022

CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DIMENSIONAL ERRORS.
OMISSIONS OR DISCREPANCIES BEFORE
BEGINNING OR FABRICATING ANY WORK.
DO NOT SCALE DRAWINGS.

ISSUE DATE DESCRIPTION

ISSUE	DATE	DESCRIPTION

PROJECT INFORMATION

PROJECT NO:	22-0200
ORIGINAL ISSUE:	04/14/22
SCALE:	AS NOTED
DRAWN BY:	J. JEFFERY
CHECKED BY:	A. MORELAND

SHEET TITLE

TRASH ENCLOSURE
DETAILS

SHEET NUMBER

AS002

FACADE PLAN CHECKLIST

PROVIDE COMPLETED CHECKLIST SIGNED BY PREPARER WITH SUBMITTAL

* This checklist is not all-inclusive of all Town ordinances and standards.

GENERAL

- ☒ Title block (located in the lower right hand corner) containing the proposed subdivision name with block and lot number and preparation date
- ☒ Scale (appropriate for level of detail)
- ☒ Legend, if abbreviations or symbols are used
- ☒ Name, address and phone number of owner, applicant and architect
- ☒ Elevations of all four sides labeled North, East, South, and West with the front elevation designated as such
- ☒ Designate color and materials location on elevations, and provide manufacturer name for materials.
- ☒ Show reduction of site plan as a key. Include the building outline with north arrow.
- ☒ Materials calculations table showing for each elevation
 - ___ Total surface area of each elevation
 - ___ List of materials (including glazing) with square footage of each material per elevation and percentage of each material per elevation
- ☒ Building dimensions (length and width). Verify that the dimensions on the façade plan match the dimensions on the site plan.
- ☒ Building height starting at grade level. Label the grade elevation at 0 feet. (If multiple heights are used, provide dimension for each)
- ☒ Do not show any signs on the building. They are not reviewed as part of the façade plan.
- ☒ Dash in the location of roof mounted equipment. If the equipment extends above the parapet, cross sections of sight lines may be requested to verify screening of mechanical units.
- ☒ Add the following notes:

FACADE PLAN NOTES

- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
- All mechanical units shall be screened from public view as required by the Zoning Ordinance
- When permitted, exposed utility boxes and conduits shall be painted to match the building
- All signage areas and locations are subject to approval by Development Services
- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official

FOR FACADE PLANS SUBMITTED WITH A SITE PLAN:

- ☒ Provide dumpster enclosure elevations. Label the height and masonry materials and colors.
- ☐ Additional information as requested by staff to clarify the proposed development and compliance with minimum development requirements

Preparer's Name: Justin Whiteside

Preparer's Signature: _____

Preparation Date: 4/15/2022

FACADE PLAN CHECKLIST

PROVIDE COMPLETED CHECKLIST SIGNED BY PREPARER WITH SUBMITTAL

* This checklist is not all-inclusive of all Town ordinances and standards.

GENERAL

- ☒ Title block (located in the lower right hand corner) containing the proposed subdivision name with block and lot number and preparation date
- ☒ Scale (appropriate for level of detail)
- ☒ Legend, if abbreviations or symbols are used
- ☒ Name, address and phone number of owner, applicant and architect
- ☒ Elevations of all four sides labeled North, East, South, and West with the front elevation designated as such
- ☒ Designate color and materials location on elevations, and provide manufacturer name for materials.
- ☒ Show reduction of site plan as a key. Include the building outline with north arrow.
- ☒ Materials calculations table showing for each elevation
 - ___ Total surface area of each elevation
 - ___ List of materials (including glazing) with square footage of each material per elevation and percentage of each material per elevation
- ☒ Building dimensions (length and width). Verify that the dimensions on the façade plan match the dimensions on the site plan.
- ☒ Building height starting at grade level. Label the grade elevation at 0 feet. (If multiple heights are used, provide dimension for each)
- ☒ Do not show any signs on the building. They are not reviewed as part of the façade plan.
- ☒ Dash in the location of roof mounted equipment. If the equipment extends above the parapet, cross sections of sight lines may be requested to verify screening of mechanical units.
- ☒ Add the following notes:

FACADE PLAN NOTES

- This Facade Plan is for conceptual purposes only. All building plans require review and approval by Development Services.
- All mechanical units shall be screened from public view as required by the Zoning Ordinance
- When permitted, exposed utility boxes and conduits shall be painted to match the building
- All signage areas and locations are subject to approval by Development Services
- Roof access shall be provided internally, unless otherwise permitted by the Chief Building Official

FOR FACADE PLANS SUBMITTED WITH A SITE PLAN:

- ☒ Provide dumpster enclosure elevations. Label the height and masonry materials and colors.
- ☐ Additional information as requested by staff to clarify the proposed development and compliance with minimum development requirements

Preparer's Name: JOSEPH JEFFERY

Preparer's Signature: _____

Preparation Date: 05/09/2022